

# CITY of NOVI CITY COUNCIL

Agenda Item 1  
October 20, 2008

**SUBJECT:** Consideration of Zoning Map Amendment 18.682 with Planned Rezoning Overlay (PRO) SP08-09A from the applicant, J.S. Evangelista, LLC, to rezone property located at the southwest corner of Fourteen Mile and Novi Roads from RA, Residential Acreage with a Planned Unit Development (PUD) to RM-1, Low-Density, Low Rise, Multiple-Family Residential, favorable consideration of the PRO Concept Plan, and revocation of the right to develop under the existing Maples of Novi PUD. The subject property is 3.88 net acres.

**SUBMITTING DEPARTMENT:** Community Development Department - Planning <sup>Barb</sup>

**CITY MANAGER APPROVAL:** 

**BACKGROUND INFORMATION:** The petitioner is requesting consideration of a Planned Rezoning Overlay (PRO), in conjunction with rezoning request 18.682. The PRO acts as a zoning map amendment, creating a "floating district" with a conceptual plan attached to the rezoning of the parcel. As part of the PRO, the underlying zoning is changed, in this case to RM-1 as requested by the applicant, and the applicant enters into a PRO Agreement with the City, whereby the City and the applicant agree to any deviations to the applicable ordinances, use restrictions and tentative approval of a conceptual plan for development for the site. After final approval of the PRO Concept Plan and agreement, the applicant would submit for Preliminary and Final Site Plan under the typical review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two years, the PRO Concept Plan expires, the zoning reverts back and the agreement becomes void.

The parcel in the petition is located on the southwest corner of Fourteen Mile and Novi Roads in Section 2 of the City of Novi. The property totals 3.88 net acres. The current zoning of the parcel is RA, Residential Acreage *with a PUD*. The Maples of Novi PUD was approved on January 9, 1989 (PUD Plan, PUD Agreement and January 9, 1989 City Council minutes attached). The PUD included one-family residential units (Maples of Novi Condominium), a golf course (Maples Golf Course), local commercial buildings (Maples Place) and – on the subject site – a senior housing building. The project was proposed as a phased development and the subject site was approved for a 100 unit congregate care senior apartment housing building with one and two bedroom apartments. The Planning Commission approved a Preliminary Site Plan (SP98-57) for this building in January 2000 and the Final Site Plan was stamped approved in December of 2000. The Planning Commission approved three one-year Final Site Plan extensions but site plan approval expired in 2005.

The applicant is now proposing this rezoning with a PRO to facilitate the construction of a 93 unit, 186 bed, 61,583 square feet convalescent (nursing) home building and accessory uses for the occupants. The proposed Concept Plan is very similar to the previously approved site plan. As part of the PRO approval process, the City Council will need to revoke the right to develop under the existing Maples of Novi PUD plan and agreement. Revocation on the basis of the failure to develop a part of a phased development pursuant to a final site plan approval was contemplated in the former PUD ordinance. While final site plan approval was secured here, the expiration of that plan made it "of no effect," and required action to reestablish the approval. This has not occurred, and instead the PRO rezoning has been requested.

This matter was brought before the Planning Commission for a public hearing and their recommendation on September 24<sup>th</sup>, 2008. At that time, the Planning Commission made a positive recommendation to rezone the property with the PRO to the RM-1, Low Density, Low Rise, Multiple Family Residential District including a positive recommendation for the PRO Concept Plan. At the same meeting, the Planning Commission also approved the applicant's Concept Plan as a Preliminary Site Plan (SP08-09) contingent on the City Council approving the rezoning and the PRO Concept Plan and minor revisions to the Site Plan as requested in the Plan Review Center reports.

Included with the proposed PRO Concept Plan, the applicant is seeking positive consideration of several minor Zoning Ordinance deviations as listed in the Planning Review. The Zoning Ordinance permits deviations from the Ordinance provided that the City Council find that *"each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."* The applicant has stated that these deviations are necessary to construct the project and that these deviations are reasonable since the use is less intense and the same or similar to the deviations previously approved senior housing planned for this site. The applicant has also noted that a wall and landscaping will provide a buffer to the adjoining multiple family residential parcel.

The applicant is also proposing the following PRO conditions:

1. Use limited to a convalescent (nursing), congregate care and assisted living with accessory uses including dining, pharmacy, beauty shop, clinic and therapy services;
2. Maximum square footage 62,000 square feet;
3. Maximum lot coverage (building) 13%;
4. Minimum open space 45%;
5. Maximum number of units 93;
6. Maximum beds 186; and
7. Turn movements on Fourteen Mile Road are limited to right out only.

These conditions will limit the scope and size of the development and are consistent with the submitted PRO Concept Plan.

As part of the PRO, the applicant is required to provide a public benefit that would demonstrate more than just the usual benefits associated with standard rezoning and development of the property. As part of their public benefit the developer has agreed to donate, install, maintain and provide an easement for a City of Novi entrance sign on their site. Staff notes that additional public benefits include: the development of a 93-unit convalescent facility is slightly less intense than the previously approved senior apartment building and will have less impact upon utilities and roads, the applicant proposed a 6-foot tall screen wall. A row of 200 upright evergreen shrubs are proposed on the residential side of the wall and 12 canopy trees are shown along the west side of the building to soften the wall and buffer the new building from the apartments to the west. The applicant notes that the use will provide additional jobs in the community and add to the tax base since this is a for-profit venture and the proposed long-term care facility will provide a needed facility to the elderly. For additional discussion of the public benefits and the PRO conditions, please see the attached information provided by the applicant and the Plan Review Center reports.

The Plan Review Center reports support the following findings:

1. The applicant's proposal to donate, install and maintain a City of Novi entrance sign and sign easement, as approved by the City, is a public benefit;
2. Constructing the proposed convalescent facility provides additional public benefit by increasing the City's tax base, providing an additional long term care facility, providing new jobs, and expanding service to the City's elderly population is a public benefit; and
3. The ordinance deviations associated with the proposed concept plan are acceptable since the deviations proposed permit an enhancement of the development that would not occur if not granted, are consistent with the Master Plan and are compatible with the surrounding area.

A rezoning from RA to RM-1 requires the submittal of a Rezoning Traffic Impact Assessment. Since a traffic assessment was conducted for the Maples of Novi PUD and the proposed use is less intense than that approved with the PUD, the City's Traffic Consultant recommends a waiver of this requirement.

**RECOMMENDED ACTION:** Tentatively approve Zoning Map Amendment 18.682 with Planned Rezoning Overlay (PRO) SP08-09A from the applicant, J.S. Evangelista, LLC, to rezone property located at the southwest corner of Fourteen Mile and Novi Roads from RA, Residential Acreage with a Planned Unit Development (PUD) to RM-1, Low-Density, Low Rise, Multiple-Family Residential, favorable consideration of the PRO Concept Plan and revocation of the right to develop under the existing Maples of Novi PUD. Approval is subject to the following:

1. City Council waiving the Traffic Impact Assessment because the proposed convalescent (nursing) home use will generate less traffic than the previously approved senior housing apartment building;
2. Favorable findings of the proposed PRO conditions as listed above;
3. Acceptance of the applicant's offer for public benefits;
4. Tentative approval of the PRO Concept Plan; and
5. The applicant entering into a PRO Agreement with the City Council, including provisions required to revoke the PUD approval for this site and withdraw this property from that development.

For the following reasons:

- The petition is consistent with the Master Plan for Land Use 2004 which depicts this area for multiple family uses;
- Nursing home uses are compatible with the surrounding land uses;
- Adequate infrastructure exists to support nursing home and multiple-family uses; and
- The proposed PRO Concept Plan meets the intent of the Zoning Ordinance by providing a transition between multiple family and commercial development, by protecting and conserving the character of the area and by providing adequate access and utilities.

	1	2	Y	N
<b>Mayor Landry</b>				
<b>Mayor Pro Tem Capello</b>				
<b>Council Member Crawford</b>				
<b>Council Member Gatt</b>				

	1	2	Y	N
<b>Council Member Margolis</b>				
<b>Council Member Mutch</b>				
<b>Council Member Staudt</b>				

## **MAPS**

- 1. Location**
- 2. Future Land Use**
- 3. Zoning**
- 4. Regulated Woodlands, Wetlands,  
Floodplains & Natural Features**



# Rezoning 18.682 & SP08-09 Maple Manor Location Map

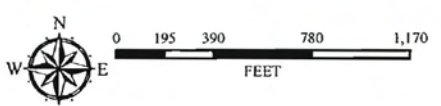


**Legend**

- Municipal Boundaries
- Tax Parcel



**CITY OF NOVI PLAN REVIEW CENTER**  
 Created by Mark Spencer  
 5/29/08  
 NOVI COMMUNITY DEVELOPMENT DEPARTMENT  
 45175 W. TEN MILE ROAD  
 NOVI, MI 48375-3024  
 (248) 347-0475  
 WWW.CITYOFNOVI.ORG

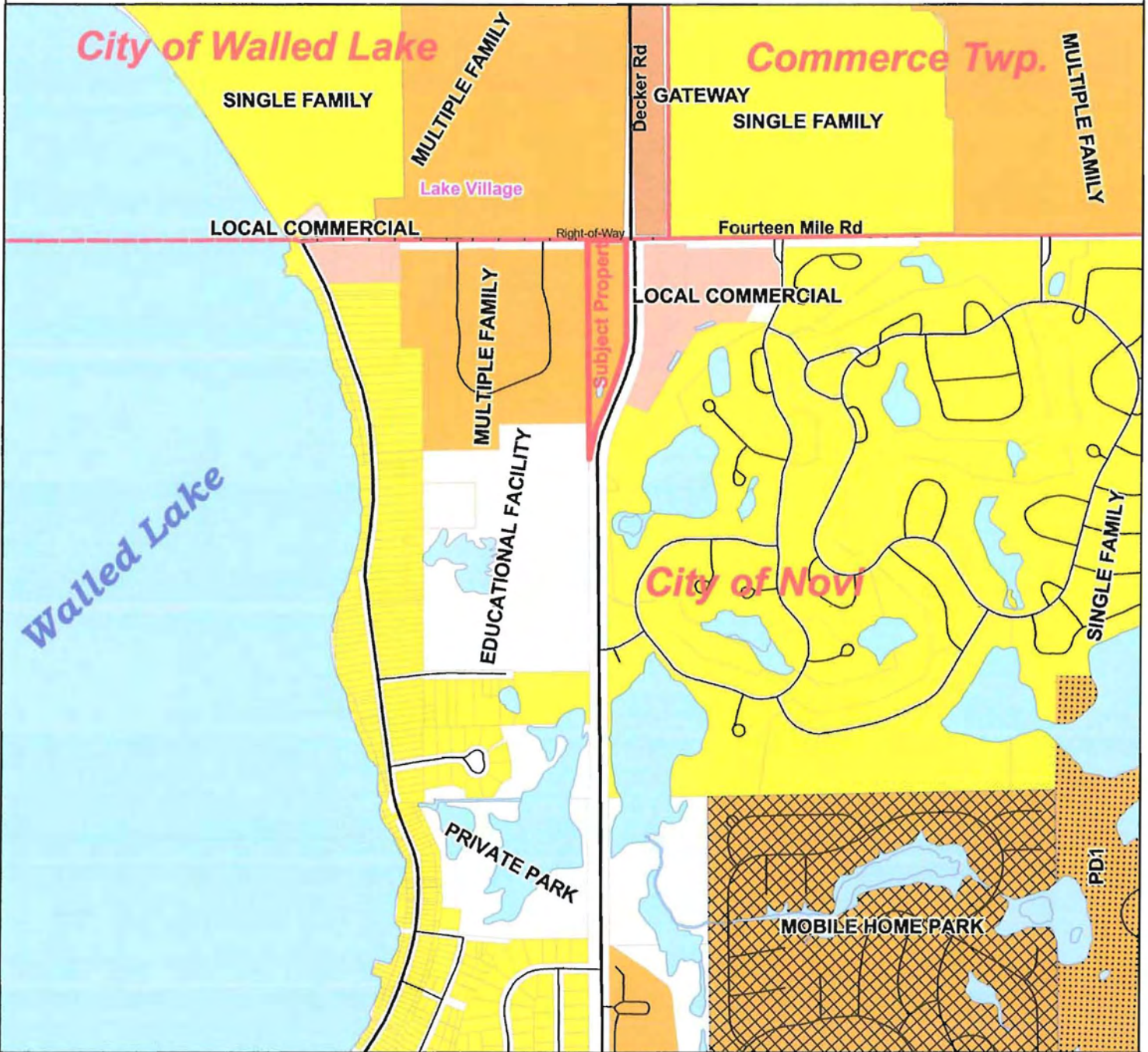


/18.682 Maple Manor location.mxd

**MAP INTERPRETATION NOTICE**  
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



# Rezoning 18.682 & SP08-09 Maple Manor Future Land Use Map

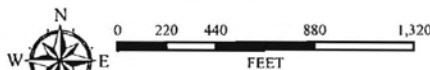


## Legend

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| <p> Municipal Boundaries</p> <p> SINGLE FAMILY</p> <p> MULTIPLE FAMILY</p> <p> PD1</p> | <p><b>Future Land Use 2008</b></p> <p> LOCAL COMMERCIAL</p> <p> EDUCATIONAL FACILITY</p> <p> PRIVATE PARK</p> | <p> MOBILE HOME PARK</p> <p> GATEWAY MIXED USE</p> <p> LOCAL COMMERCIAL</p> | <p><b>Neighbor's FLU</b></p> <p> GATEWAY MIXED USE</p> <p> LOCAL COMMERCIAL</p> <p> MULTIPLE FAMILY</p> <p> TOWNSHIP PARK</p> <p> SINGLE FAMILY</p> |
|--|---|---|---|



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/18.682 Maple Manor flu.mxd

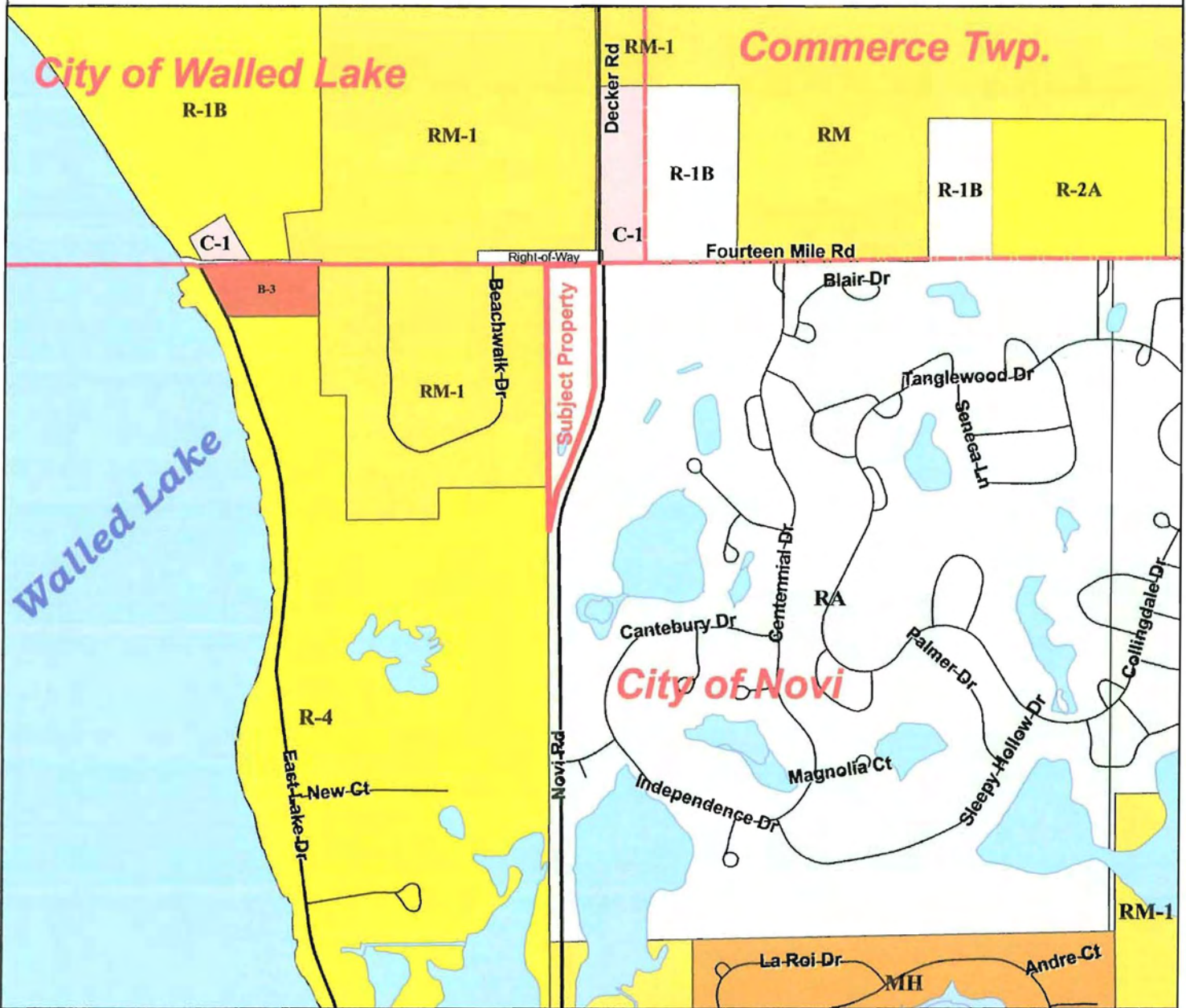
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# Rezoning 18.682 & SP08-09 Maple Manor

## Zoning Map



### Legend

#### Novi Zoning

- R-A: Residential Acreage
- R-4: One-Family Res.; 10,000 sq. ft.
- RM-1: Low-Density Multiple Family
- MH: Mobile Home
- B-3: General Commercial

#### Municipal Boundaries

- Municipal Boundaries
- R-1B: One-Family Res.
- R-2A: Two-Family Res.
- RM: Multiple Family Res.

#### Walled Lake Zoning

- C-1: Neighborhood Commercial
- R-1A: Single Family Res. 12,000 sq. ft.
- R-1B: Single Family Res. 9,000 sq. ft.
- RM-1: Multiple Family Res. Low Density



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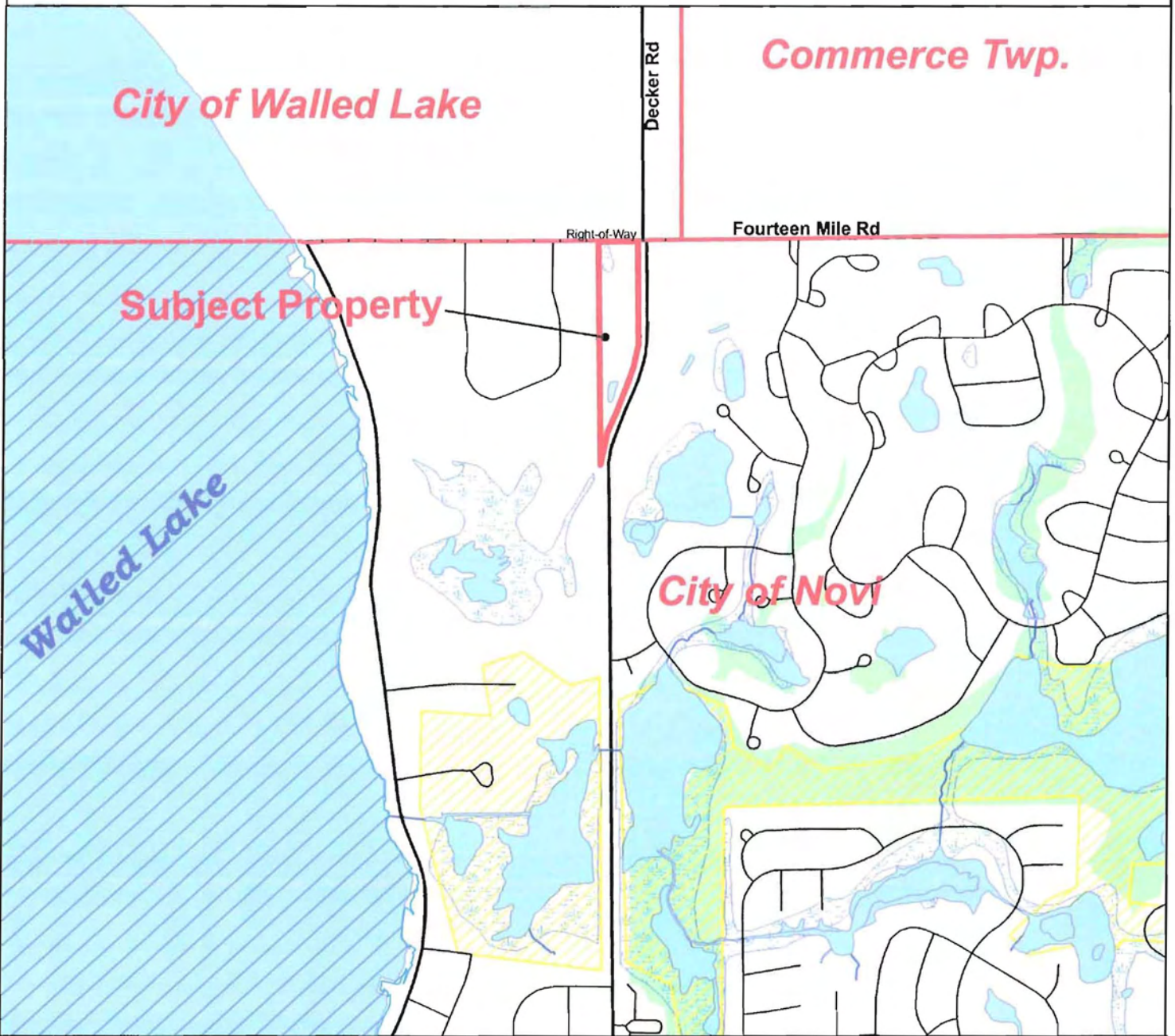


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# Rezoning 18.682 & SP08-09 Maple Manor

## Wetlands, Flood Plains, Regulated Woodlands & Natural Feature Map

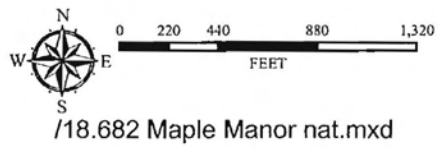


### Legend

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| <ul style="list-style-type: none"> <li> Municipal Boundaries</li> <li> Waterbodies</li> <li> Wetlands</li> </ul> | <p><b>Flood Hazard Areas</b></p> <ul style="list-style-type: none"> <li><b>100 yr. Flood Zones</b></li> <li> Flood Zone A</li> <li> Flood Zone AE</li> </ul> | <p><b>Natural Features</b></p> <p><b>Habitat Areas</b></p> <p><b>RANK</b></p> <ul style="list-style-type: none"> <li> High Priority</li> <li> Medium Priority</li> <li> Low Priority</li> </ul> | <p><b>Regulated Woodlands</b></p> <p><b>Woodland Type</b></p> <ul style="list-style-type: none"> <li> Light</li> <li> Medium</li> <li> Dense</li> </ul> |
|--|--|---|---|



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**PRO CONCEPT PLAN**  
**Preliminary Site Plan SP08-09A**

- 1. Reduced Site Plan**
- 2. Building Elevations**  
**(see applicant's response letter)**





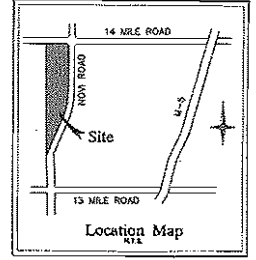
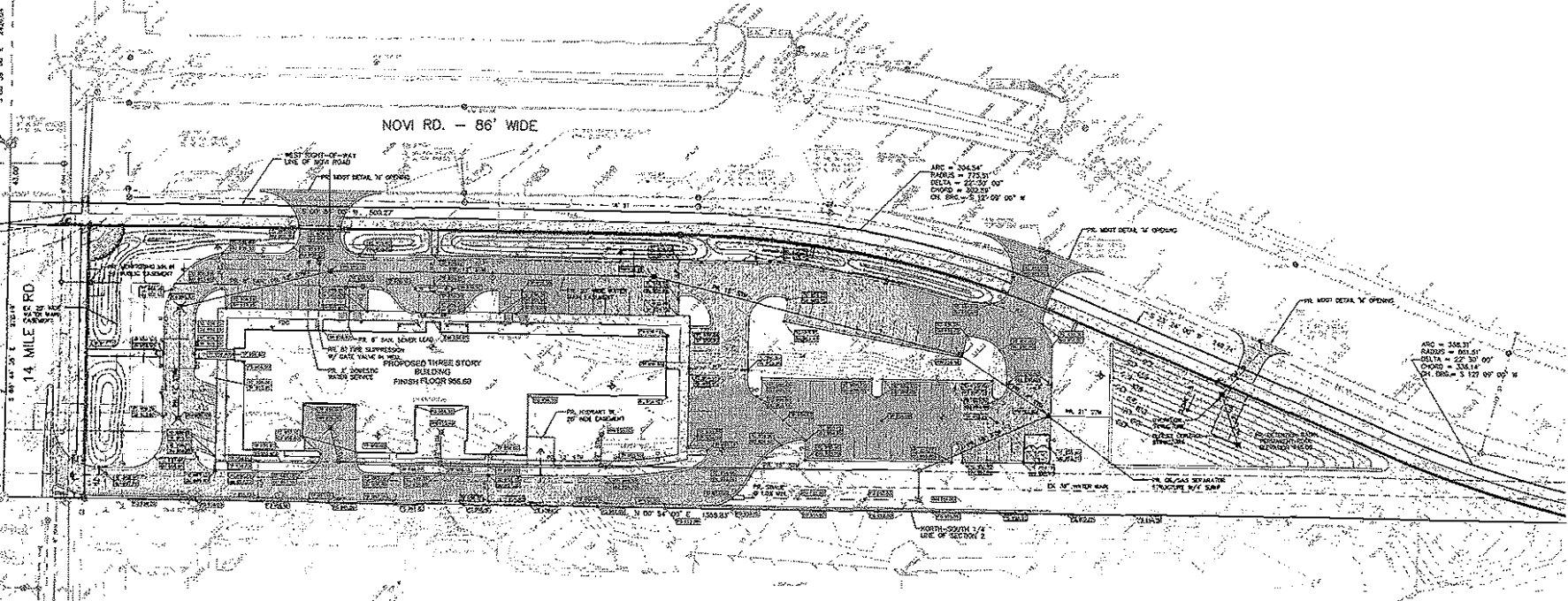


NE CORNER  
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S.P.C. 83  
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E. 13266240.401

S 1/4 CORNER  
SECTION 2  
T. 18 N. R. 8 E.  
S.P.C. 83  
N. 375334.106  
E. 13295416.045

N 1/4 CORNER  
SECTION 2  
T. 18 N. R. 8 E.  
S.P.C. 83  
N. 375101.351  
E. 13263552.149

LAKE VILLAGE  
DRIVE



**NOWAK  
&  
FRAUS**

Consulting Engineers  
Land Surveyors  
Land Planners

1310 N. Stephenson Highway  
Royal Oak, MI 48067-1508  
Tel: (248) 389-0886  
Fax: (248) 389-0885

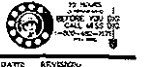


PROJECT  
Maple Manor of Novi

CLIENT  
J.S. Evangelista  
Development, LLC  
7071 Orchard Lake Road,  
Suite 253  
West Bloomfield, MI 48322  
Tel: (248) 626-1114  
Fax: (248) 626-3918  
Contact: Mr. Marcus Evangelista

PROJECT LOCATION  
Part of the Northeast  
1/4 of Section 2, T. 18 N.,  
R. 8 E., City of Novi,  
Oakland County,  
Michigan

DRAWN BY  
Preliminary Paving &  
Grading Plan &  
Utility Plan



DATE: REVISION:  
DATE: REVISION:  
DATE: REVISION:  
DATE: REVISION:

DRAWN BY  
S. Martiniac  
DESIGNED BY  
S. Martiniac  
APPROVED BY  
A. Orman  
DATE  
02-21-2008  
SCALE  
1"=40'

PROJECT NO.  
F197  
SHEET NO.  
SP-3

**TOPOGRAPHIC SURVEY NOTE**  
THE TOPOGRAPHIC SURVEY INDICATED ON THESE DRAWINGS WAS  
PERFORMED BY PROFESSIONAL ENGINEERING ASSOCIATES (PEA), 3400  
SOUTHFIELD AVENUE, SUITE 100, SOUTHFIELD, MICHIGAN 48034 AND  
DATE: 02/21/2008. SURVEY POINTS ARE SHOWN ON THE PLAN AND  
MARKED WITH 'P'.

**PAVING LEGEND**

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

**NOT FOR  
CONSTRUCTION**

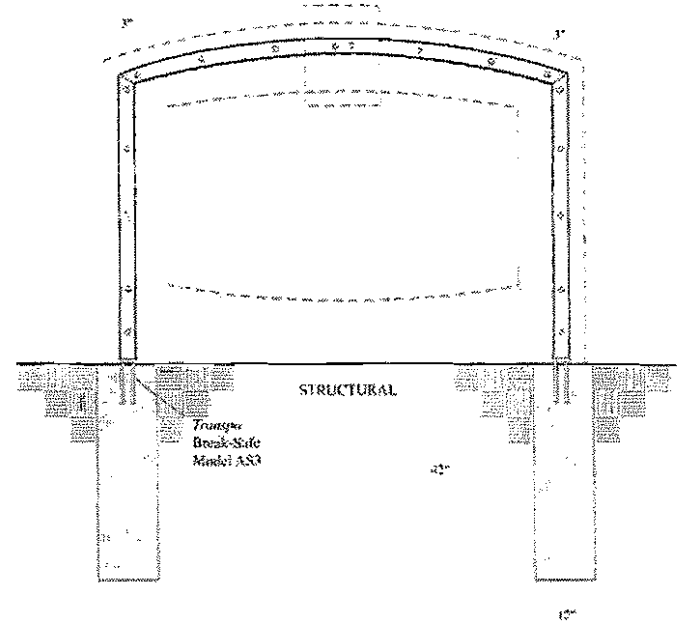
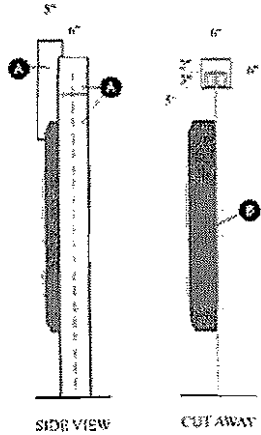
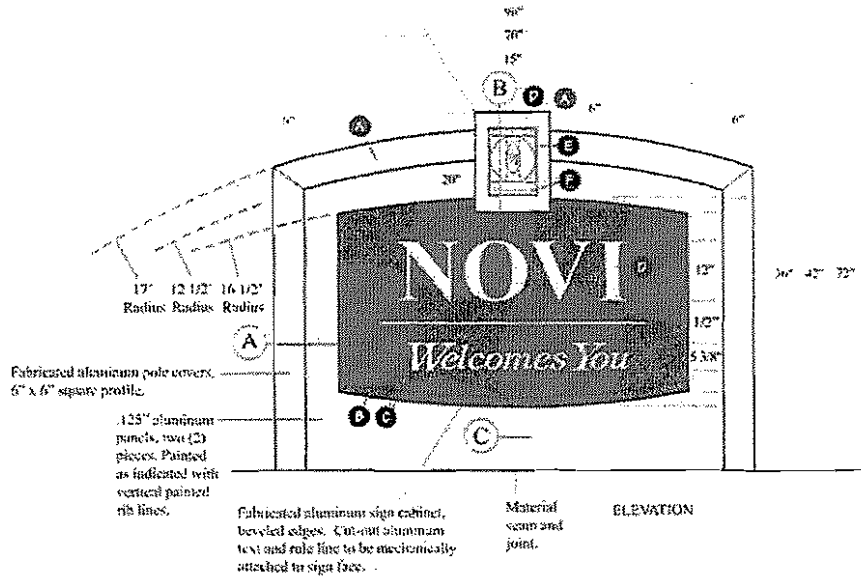
**LEGEND**

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	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		PROPOSED WATER MAIN
	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		PROPOSED WATER MAIN
	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		PROPOSED WATER MAIN
	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		PROPOSED WATER MAIN
	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		PROPOSED WATER MAIN
	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		PROPOSED WATER MAIN
	EASEMENT		PROPOSED GAS MAIN
	EASEMENT		PROPOSED OVERHEAD LINES
	EASEMENT		PROPOSED STORM SEWER
	EASEMENT		

**PROPOSED CITY OF NOVI SIGN**

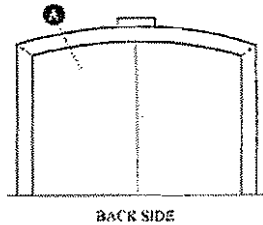


Fabricated aluminum sign cabinet, aluminum retainers and back. Painted as indicated with surface applied vinyl as indicated.



- A MAP Gold Standard #9A101SP
- B MAP to match PMS 286 Blue
- C MAP Brilliant Gold #30133
- D MAP White
- E 3M #7725-17 Vivid Blue
- F 3M #7725-431 Satin Gold
- G MAP #25813
- H MAP #23829

Standard 30° Glass Level



**SIGN TYPE D MONUMENT SIGN**  
Scale: 1/2" = 1'-0"

**Signgraphix**

39255 County Club Drive, Suite B-26,  
Farmington Hills, Michigan 48331-2433  
Ph: 248-849-1700 Fax: 248-849-1722  
www.signgraphix.net

DATE: 4-24-08  
DRAWING: 13613  
JOB: 14722

CLIENT SIGNATURE  
DATE:

45175 West 10 Mile Road, Novi, MI 48275

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**PREVIOUSLY APPROVED SITE PLAN**

**Maple Manor Senior Apartments**

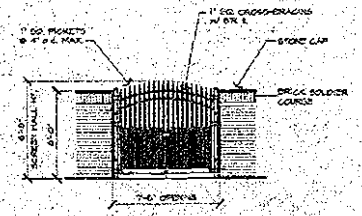
- 1. Final Site Plan**
- 2. Building Elevations**





Issued For:	
REVIEW:	10.11.00
BIDS:	11.7.00

**NOTE TO ALL CONTRACTORS:**  
 ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL DIMENSIONS ON DRAWING, AS WELL AS REVIEW & COORDINATE FLING & EXTERIOR ELEVATIONS. BEFORE A DETAIL IS BEGUN, COORDINATE WITH THE WORK. IF OPERATIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, ELEVATIONS, SECTIONS & DETAILS IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW & COORDINATE THE WORK, PLACE THE RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.



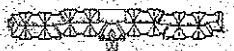
**3 SERVICE COURT - ENTRY GATE ELEVATION**  
 AIR SCALE: 1/4" = 1'-0"  
 NOTE: ALL GATE & GATE MECHANISM TO BE PAINTED BLACK

**1 WING B - EAST ELEVATION**  
 AIR SCALE: 1/4" = 1'-0"

**2 CORE - EAST ELEVATION**  
 AIR SCALE: 1/4" = 1'-0"

**MATERIAL SCHEDULE**

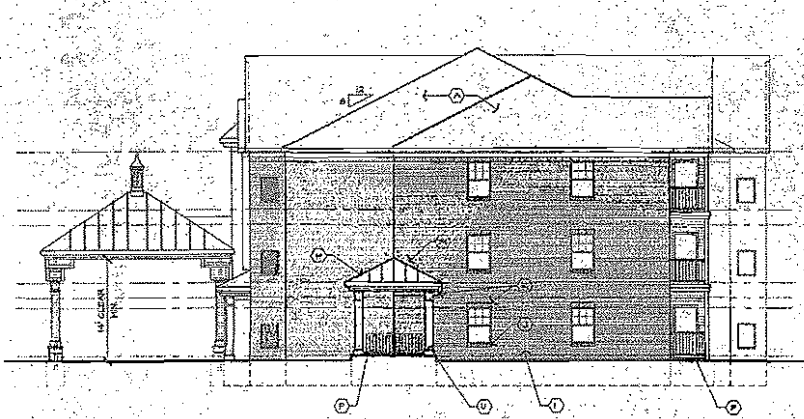
- |                                    |                   |
|------------------------------------|-------------------|
| (A) ASPHALT SHINGLES               | (L) 6\"/>         |
| (B) 1/2\"/>                        |                   |
| (C) 1/2\"/>                        |                   |
| (D) 2\"/>                          |                   |
| (E) DOUBLE TRUSS HORIZONTAL SIDING | (O) 1\"/>         |
| (F) TRIPLE TRUSS HORIZONTAL SIDING | (P) BRICK         |
| (G) 1/2\"/>                        |                   |
| (H) 1/2\"/>                        |                   |
| (I) BRICK ROWLOCK                  | (Q) BRICK SOLDIER |
| (J) BRICK ROWLOCK                  |                   |
| (K) BRICK SOLDIER                  |                   |
| (L) 6\"/>                          |                   |
| (M) 1/2\"/>                        |                   |
| (N) NOT USED                       | (R) 1\"/>         |
| (O) 1\"/>                          |                   |
| (P) 1\"/>                          |                   |
| (Q) 3/4\"/>                        |                   |
| (R) 1\"/>                          |                   |
| (S) 1\"/>                          |                   |
| (T) 1\"/>                          |                   |
| (U) 1\"/>                          |                   |
| (V) 1\"/>                          |                   |
| (W) 1\"/>                          |                   |
| (X) 1\"/>                          |                   |
| (Y) 1\"/>                          |                   |
| (Z) 1\"/>                          |                   |



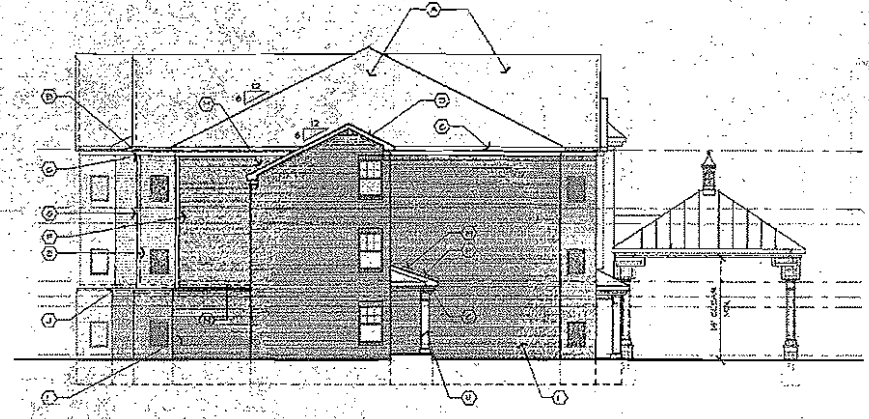
**KEY PLAN**

Project: **MAPLES MANOR**  
 Novi, Michigan  
 Sheet Title: **ELEVATIONS**

Project Number:	118
Drawn:	TACR
Checked:	PA
Date:	02.27.00
Sheet Number:	A19



**3 NORTH ELEVATION.**  
 A30 SCALE: 1/4" = 1'-0"



**2 SOUTH ELEVATION**  
 A30 SCALE: 1/4" = 1'-0"

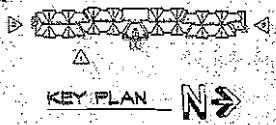


**1 WING 'A' - EAST ELEVATION**  
 A30 SCALE: 1/4" = 1'-0"

**NOTE TO ALL CONTRACTORS:**  
 ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL ON EXISTING OR DRAWINGS, AS WELL AS REVIEW & COORDINATE PLANS W/ EXISTING BLDG. ELEVATIONS & SECTIONS. DETAILS BEFORE COMMENCING WITH THE WORK. IF DISCREPANCIES OR CONFLICTS OCCUR BETWEEN PLANS, BLDG. ELEVATIONS, SECTIONS & DETAILS, IT SHALL BE THE DUTY OF THE ARCHITECT TO RESOLVE DISCREPANCIES WITH THE OWNER. CONTRACTORS MAY UTILIZE VERTICAL CURVES & COORDINATE THE WORK. CONTRACTORS AND SCALE DRAWINGS TO DETERMINE ALIGNMENT OF PARTS OF THE WORK SHALL TAKE FULL RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE IMPROPERLY LOCATED OR CONSTRUCTED.

**MATERIAL SCHEDULE**

(A) ADHESIVE SHEETED	(L) 6" VINYL TRIM
(B) MET. DRIP EDGE & BUTTER ON 2x8 PAGA. SD. (SALM. GLAD)	(M) MET. FLASHING
(C) 1/2" PINE ST. (SALM. GLAD)	(N) ROOF USED
(D) 2x8 HD. RAFT. SD. W/ 1/2" X 2" TRIM SD. (SALM. GLAD)	(O) ROOF EDGE VENT
(E) DOUBLE PINS HORIZONTAL CUTTING	(P) PRE-FAB MET. HANDRAIL
(F) 8" VINYL CORNER	(Q) PYRON PENDING HEAD ROSE
(G) MET. ROOF	(R) GABLE END LOUVER
(H) BRICK	(S) 6" SHUTTER
(I) BRICK MORTAR	(T) 1/4" SQ. COLUMN
(J) BRICK SOLDER	(U) DECORATIVE PANEL
	(V) 1/2" HD. TRIM SD.



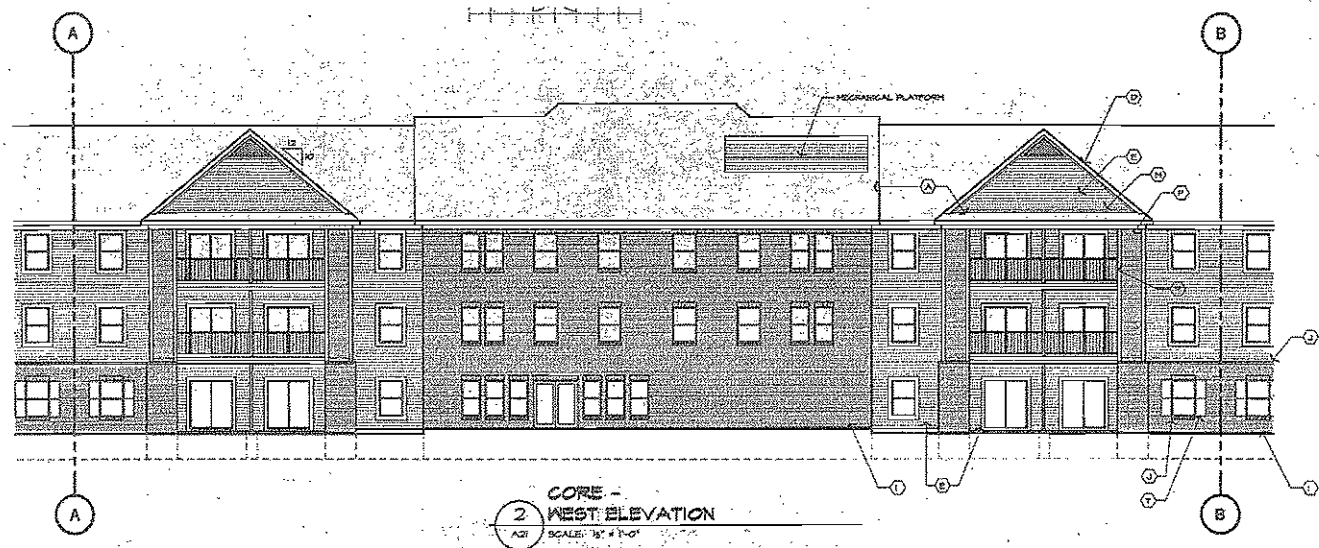
Project:

Issued For:	REVIEW
Date:	10.11.00
Drawn:	HLG
Checked:	HLG
Date:	11.7.00

Project:

MAPLES MANOR	
Novi, Michigan	
Sheet Title:	ELEVATIONS
Project Number:	118
Drawn:	TACH
Checked:	PA
Date:	3.27.00
Sheet Number:	A20

Issued For:	REVIEW
REVIEW	10.11.00
REVIEW	11.1.00
BIDS	11.7.00



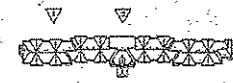
**CORE - WEST ELEVATION**  
A21 SCALE: 1/4" = 1'-0"



**WING 'B' - WEST ELEVATION**  
A21 SCALE: 1/4" = 1'-0"

**MATERIAL SCHEDULE**

- |  |                             |
|--|-----------------------------|
| (A) ASPHALT SHINGLES                   | (L) 6" VINYL TRIM           |
| (B) MTL. DROP SIDING & GUTTER ON DWS   | (M) MTL. FLASHING           |
| (C) FACIA BO. (ALUM. GLAD)             | (N) NOT USED                |
| (D) 1/2" FREEZE BO. (ALUM. GLAD)       | (O) ROOF RIDGE VENT         |
| (E) 1/2" HD. FLANK BO. & 1/2" HD. TRIM | (P) PROF-FAB MTL. HANDRAIL  |
| (F) BO. BELOW (ALUM. GLAD)             | (Q) NYLON KICKOUT HEAD 8002 |
| (G) DOUBLE FIVE HORIZONTAL SIDING      | (R) GABLE BO. LEVLER        |
| (H) TRIPLE THREE HORIZONTAL SIDING     | (S) 1" SHUTTER              |
| (I) 6" VINYL CORNER                    | (T) 1/2" SOL. COLUMN        |
| (J) MTL. ROOF                          | (U) DECORATIVE PANEL        |
| (K) BRICK                              | (V) 4" HD. TRIM BO.         |
| (L) BRICK ROOFLOCK                     |                             |
| (M) BRICK SOLIDER                      |                             |



**KEY PLAN**

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ALL CONTRACTORS SHALL VERIFY & COORDINATE ALL DIMENSIONS ON DRAWINGS, AS WELL AS VERIFY & COORDINATE PLANS AND ELEVATIONS, SECTIONS & DETAILS BEFORE CONSTRUCTION OF THE WORK. IF DIMENSIONAL ERRORS OR CONFLICTS OCCUR BETWEEN PLANS, ELEVATIONS, SECTIONS & DETAILS, IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO FAIL TO VERIFY, REVIEW & COORDINATE THE WORK, & CONTRACTORS WHO SCALE DRAWINGS TO FIT, SHALL BE RESPONSIBLE FOR ANY DIMENSIONAL ERRORS OR CONFLICTS.

Project:

**MAPLES MANOR**

Novi, Michigan

Sheet Title:

**ELEVATIONS**

Project Number: 118

Drawn by: TACH

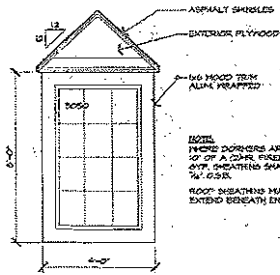
Checked by: PA

Date: 10.3.21.00

Sheet Number:

**A21**





**NOTE:**  
 THESE DORMERS ARE LOCATED WITH  
 1/2" OF A 2x4x8 FINISH WALL, 3/4" TYPE OF EXT.  
 INT'L INSULATION SHALL BE USED PLUS 1/2" OF  
 1/4" G.I.B.  
 ROOF INSULATION MUST COMPLETELY  
 EXTEND BENEATH ENTIRE DORMER

**2 TYP. DORMER DETAIL**  
 A22 SCALE: 1/2" = 1'-0"

**NOTE:** SIDE ELEVATION OF CORNER  
 HAS TRIM - ALUM. FINISHED & FACE IN  
 HORIZONTAL BOARD

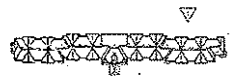


**1 WING 'A' - WEST ELEVATION**  
 A22 SCALE: 1/8" = 1'-0"

**NOTE TO ALL CONTRACTORS:**  
 ALL CONTRACTORS SHALL VERIFY & COORDINATE  
 ALL CONDITIONS ON DRAWINGS, AS WELL AS REVIEW  
 & COORDINATE PLANS & ELEVATION DETAILS.  
 CONTRACTORS SHALL BE RESPONSIBLE FOR  
 VERIFYING ALL DETAILS BEFORE COMMENCING THE  
 WORK. IF DISCREPANCIES OR CONFLICTS OCCUR  
 BETWEEN PLANS, ELEVATIONS, SECTIONS & DETAILS,  
 IT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT  
 BEFORE PROCEEDING WITH THE WORK. CONTRACTORS WHO  
 FAIL TO VERIFY, REVIEW & COORDINATE THE WORK,  
 CONTRACTORS WHO SCALE DRAWINGS TO DETERMINE  
 DIMENSIONS OF PARTS OF THE WORK, SHALL TAKE FULL  
 RESPONSIBILITY SHOULD THAT PORTION OF THE WORK BE  
 IMPROPERLY LOCATED OR CONSTRUCTED.

**MATERIAL SCHEDULE**

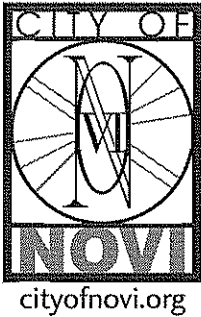
- |  |                            |
|--|----------------------------|
| (A) ASPHALT SHINGLES   | (L) 6" VINYL TRIM          |
| (B) MET. DRAIN EDGE & GUTTER ON 2x6<br>FASCIA ED. (ALUM. CLAD)   | (M) MET. FLASHING          |
| (C) 1/2" FINISH BR. CALUM. CLAD                                  | (N) NOT USED               |
| (D) 2x6 HD. BRAKE ED. w/ 1/2" HD. TRIM<br>ED. BELOW (ALUM. CLAD) | (O) ROOF EDGE VENT         |
| (E) DOUBLE TRIM  | (P) PRE-FAB MET. HANDRAIL  |
| (F) HORIZONTAL SIDING  | (Q) PYPON WOODEN HEAD ROSS |
| (G) TRIPLE TRIM -<br>HORIZONTAL SIDING                           | (R) GABLE END LOUVER       |
| (H) 6" VINYL CORNER  | (S) 15" SHUTTER            |
| (I) MET. ROOF  | (T) 14" SQ. COLUMN         |
| (J) BRICK  | (U) DECORATIVE PANEL       |
| (K) BRICK ROYLOCK  | (V) 4" HD. TRIM ED.        |
| (L) BRICK SOLDIER  |                            |



**KEY PLAN**

**Project:** MAPLES MANOR  
**Novi, Michigan**  
**Sheet Title:** ELEVATIONS  
**Project Number:** 118  
**Drawn:** TACH  
**Checked:** PA  
**Date:** 3.27.00  
**Sheet Number:** A22

**PLANNING COMMISSION  
MEETING MINUTES  
EXCEPTS  
SEPTEMBER 24, 2008**



# PLANNING COMMISSION

*Draft Copy*

CITY OF NOVI  
Regular Meeting

Maple Manor, Rezoning 18.682 with SP08-09A PRO  
**Wednesday, September 24, 2008 | 7 PM**  
Council Chambers | Novi Civic Center | 45175 W. Ten Mile  
(248) 347-0475

## CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

## ROLL CALL

**Present:** Members Brian Burke, Victor Cassis, Andrew Gutman, Michael Lynch, Michael Meyer, Mark Pehrson, Wayne Wrobel

**Absent:** Member David Greco (excused), Brian Larson (excused)

**Also Present:** Barbara McBeth, Deputy Director of Community Development; Mark Spencer, Planner; Kristen Kapelanski, Planner; Karen Reinowski, Planner; David Beschke, Landscape Architect; Lindon Ivezaj, Civil Engineer; Steve Dearing, Traffic Consultant; Doug Necci, Façade Consultant; Martha Holzheuer, Woodland Consultant; Kristin Kolb, City Attorney

## PUBLIC HEARINGS

### ZONING MAP AMENDMENT 18.682 WITH A PLANNED REZONING OVERLAY

The Public Hearing was opened on the request of J. S. Evangelista Development, LLC, for possible recommendation to City Council of a Rezoning with a Planned Rezoning Overlay. The subject property is located in Section 2, at the southwest corner of Fourteen Mile and Novi Road. The subject property is 3.88 net acres and the Applicant is proposing a 93-unit, 61,583 square-foot convalescent (nursing) home.

### MAPLE MANOR, SP08-09A

The Public Hearing was opened on the request of J. S. Evangelista Development, LLC, for Preliminary Site Plan, Special Land Use Permit, Woodland Permit and Stormwater Management Plan approval in conjunction with a Planned Rezoning Overlay rezoning petition recommendation. The subject property is located in Section 2, at the southwest corner of Fourteen Mile and Novi Road. The subject property is 3.88 net acres and the Applicant is proposing a 93-unit 61,583 square-foot convalescent (nursing) home.

Planner Mark Spencer described the Maple Manor rezoning request with Planned Rezoning Overlay. There is an approved PUD on this RA-zoned site, but this request would change the zoning to RM-1, low density Multiple Family Residential, with a PRO. This site is just inside the City limits. The Master Plan recommends Multiple Family Residential for this site. The underlying residential density is four units per acre, which is part of the density of the overall Maples PUD – which includes the Maples subdivision, commercial properties and golf course. This request is a recommendation to City Council and prior to the Planning Commission's motion, members should take under consideration the neighboring uses which are Maples Place commercial to the east (zoned RA/PUD and master planned for Commercial), the Maples recreation center to the southeast (zoned RA/PUD and master planned for Single Family Residential), Hickory Woods Elementary to the south (zoned R-1 and master planned for Educational Facilities), Beachwalk Apartments to the west (zoned RM-1), Lake Village Multiple Family Residential and vacant commercial property to the north in the city of Walled Lake (zoned Multiple Family Residential and Neighborhood Commercial and master planned for Multiple Family Residential and Commercial).

Mr. Spencer said that although the subject property is in the Master Plan with 4.0 density, this is an average for the entire PUD. The PUD plan that was approved showed one hundred dwelling units on this parcel, which is equivalent to 25 dwelling units per acre. Although residential density is not a consideration for nursing homes, the 93-unit nursing home could be considered similar to the residential that was already approved for this site.

There are no regulated wetlands on this site. A small body of water does show on the regulated wetland map. The site contains several regulated trees but the site is not in a regulated woodland. Initially, the City thought there were regulated wetlands on this site but after further review by the City's Wetland Consultant, it was determined there weren't any. There are two basins that are overgrown that have wetland species growing in them, but these were created as part of the commercial development and subdivision development at the time of their development in the late 1990s. These stormwater basins are considered watercourses by the Wetland Ordinance and therefore the

modification and fill of these basins requires a Wetland and Watercourse Minor Use Permit which is approved administratively and is not a function of the Planning Commission.

The Applicant provided information that the City determined to indicate that there are regulated trees on site, because the total of the multiple trunks of the trees exceeded the City's 36-inch requirement for landmark trees. Removal of those trees will require a Woodland Permit. Two Public Hearing notices were sent to the area residents. There are no critical habitat areas identified on the site. There may be some small amounts of wildlife in the remaining woodland areas.

The site is subject to the Maples PUD that was approved by City Council in 1989. The PUD included one-family residential units, golf course and the local commercial buildings that are opposite this site on the other side of Novi Road. This PUD is still in effect even though the site plan approved for this site has expired. That site plan included elevations that are similar to what is being reviewed at this meeting. Again that plan was a one-hundred unit, three-story congregate care senior apartment dwelling with one- and two-bedroom apartments. After three one-year Final Site Plan extensions, the plan expired in 2005, but the Applicant could still reapply with this site plan and be in compliance with the PUD.

Mr. Spencer showed the elevation of the current proposal for a 93-unit, 186-bed convalescent nursing home facility. The Applicant is not sure how many residents will occupy these rooms; the marketing strategy is to only market them to one individual for each room, but if a married couple or live-in couple or siblings wish to occupy one room this request provides the Applicant with flexibility to place two beds in one room. A nursing home is not an approved use under the current RA/PUD and therefore the Applicant is seeking this rezoning with a PRO. This change will permit the use of a nursing home.

As part of this PRO, the underlying zoning is changed and the Applicant enters into a PRO Agreement with the City whereby the City and the Applicant agree to any conditions, deviations from the Ordinance, and a concept plan for the development of the site. In order to expedite the Applicant's approval process, the Applicant has elected to submit a Preliminary Site Plan as the Concept Plan for this petition. The Applicant is asking the Planning Commission to consider a package of approvals that include a Special Land Use Permit as well, contingent upon the City Council's approval of the PRO, the PRO Conceptual Plan and the PRO Agreement. The Applicant has put a lot of effort into this project and the City feels this is a very well-developed plan at this stage, well beyond a general Concept Plan.

The Applicant has proposed the following conditions as part of the PRO Agreement:

- The use will be limited to a convalescent nursing or congregate care and assisted living facility with accessory uses including dining, pharmacy, beauty shop, clinic and therapy services that would be limited to the occupants of the site only.
- The square footage will be limited to 62,000 square feet.
- The maximum lot coverage will be 13%, providing a minimum open space of 45%.
- Unit limitation of 93 and bed limitation of 186.
- Limiting turn movements onto Fourteen Mile to right-out only, due to the proximity of the interchange.

The Ordinance also permits deviations from the strict application of the Zoning Ordinance. City Council may approve deviations if it finds that each Zoning Ordinance provision from which deviation is sought would, if not granted, prohibit an enhancement of the development that is in the public's interest, and approving said deviation would be consistent with the Master Plan and compatible with the surrounding areas.

Based on the site plan the following deviations are proposed as part of the PRO Agreement:

- Minimum lot area is required to be 1,500 square feet per bed; this plan proposes 908 square feet per bed.
- The maximum building height in RM-1 is 35 feet and two stories; this plan proposes 36 feet with three stories.
- The maximum parking, loading and driveway pavement in the required setback is 30%; this plan proposes a percentage greater than 30%, though the exact calculation was not readily available.
- The maximum building length is 180 feet, up to 360 feet with increased setbacks; this plan proposes 321 feet without increased setbacks.



- The Applicant proposes setback reductions for the building front from 122 feet to 68 feet; the exterior side yard from 75 feet to 42 feet; the rear set back from 122 feet to 37 feet. The rear and front yard setbacks are based on the previously stated length-of-building requirement that increases the standard 75 foot setback to 122 feet.
- The Applicant proposes parking lot set back deviations; the front and rear setbacks are 122 feet and the Applicant proposes 15.5 feet in the front and 2.5 feet for the rear. For the side exterior the Applicant proposes 57 feet in lieu of 75 feet.
- The Applicant proposes up to 35% asphalt shingles and 20% siding which is a deviation from the Façade Ordinance and requires a Section 9 Waiver.

The Applicant states these deviations are reasonable given they are less intense, the same or similar to the deviations previously approved under the senior housing component of the Maples PUD. Technically, since the zoning district changes, some of these requirements actually change as well. While this may seem like there are some big deviations, in reality this plan is a less intense use than what was previously approved.

The Applicant notes that a wall and landscaping will be provided to buffer the adjoining Multiple Family Residential parcel. The wall will be the length of the driveway. This driveway was not required on the original approved plan but because of current fire regulations an extra access was required along the back of the building. The Applicant proposes a screen wall to accommodate this design, and also a series of landscaping elements have been proposed to soften the effect of the building.

The Applicant proposed eight public benefits pursuant to the requirements under the PRO Ordinance. Several of the benefits are general items typical of many PRO proposals. One unique benefit is the Applicant's willingness to donate a new City of Novi sign, its installation and maintenance on a triangular-shaped landscaped area of about forty feet by forty feet in an easement on the northeast corner of the site. The Applicant proposes additional landscaping and a plaza for the sign; the details have not been solidified. Other public benefits include:

- Enhancing the tax base.
- Providing local long-term care
- Providing new jobs in the City.
- Expanding service to the elderly beyond the senior apartments that were previously approved.
- Providing a less intense use than what was previously approved.
- Providing a use that is compatible with the neighboring uses.

Mr. Spencer said that the plan does not demonstrate general compliance with several Ordinance requirements, and these have been covered in the list of deviation requests. Staff believes the proposed deviations are reasonable and can be recommended to City Council. The site plan is similar to what was previously approved, with the addition now of a rear access drive.

The discipline reviews propose several minor changes to the plan. The Applicant has agreed to complete all of these requests, except for Planning's suggestion to reorient the dumpster so that the doors don't face Novi Road. Oftentimes these doors are left open, leaving the dumpster visible from the public right-of-way.

The Façade Consultant recommended changes to reduce the impact of the asphalt shingles. He recommended approval of the Section 9 Waiver if the Applicant revises the rear elevation to be more consistent with the front elevation. The Applicant submitted modifications to the façades and they were distributed to the Planning Commission. The Façade Consultant asked for increased peaks that protrude into the shingles, and perhaps some relief into the façade that would better highlight the building.

There is a waiver request for the berm required for the westerly boundary; the Applicant has instead proposed a wall with landscaping to soften the effects.

A traffic study was not submitted with the application, based on the recommendation of the Traffic Consultant. He stated that this is a less intense use than what was previously submitted and approved. Therefore, the Maples PUD traffic study provided the necessary information.

The request includes a Special Land Use request. The Planning Commission must consider whether the use is detrimental to the thoroughfares or public services. Is it compatible to the adjacent land uses? Is it consistent with the Master Plan? Does it promote a socially- and economically-use of the land?

The Planning Division recommends positive consideration of this petition, conditioned on City Council's waiving of the traffic study requirement, and the Applicant making minor changes to the concept plan as requested in the reviews. The plan is consistent with the Master Plan. Nursing home uses are compatible with the surrounding land uses. Adequate infrastructure exists to support this use. The proposed PRO plan meets with the intent of the Zoning Ordinance by providing a transition between multiple family and commercial development. This plan protects and preserves the character of the area and provided adequate access and utilities. The Preliminary Site Plan, PRO, Concept Plan and Special Land Use Permit are recommended for approval subject to City Council's approval of the PRO, Concept Plan, deviations and the PRO Agreement, and the Planning Commission Waiver to allow for the westerly wall, and the Planning Commission Section 9 Façade Waiver, and the Applicant making the changes as discussed.

Marcus Evangelista addressed the Planning Commission. He introduced architect Dan Tosch with Progressive Associates and also his engineer, Alex Orman of Nowak and Fraus. He said that Mr. Spencer's description of the plan was accurate and complete. He reiterated that this is a less-intense use that will yield less traffic and congestion. Additionally, the nearby properties are commercial (CVS) and Multiple Family Residential. With regard to the community in general, a nursing home in Novi will serve a tremendous need. There is a high demand for long-term care service, as can be demonstrated by the new Providence Park hospital and the new Henry Ford hospital, both about four or five miles away from this site. The state of Michigan has projected 15% growth in western Oakland County, which further generates need for long-term care services. This proposal projects a minimum of one hundred new jobs in the City of Novi – professionals, nurses, therapists, dieticians, etc. This is a non-automotive sector use that will be great for the community and the economy. It will improve the Novi tax base.

With regard to the business, Mr. Evangelista said this will be family-owned and operated. The senior Evangelistas are the owners and the family provides hands-on doctors; Jose and Stella are his parents. They are both physicians. They also own Maple Manor of Wayne. They are the number one facility rated by Medicare in Michigan. They received a perfect state survey with zero deficiencies. He believed they were the only home in the state to do so. He was waiting for the final results to come out.

Their operation is JCAHO accredited, which is required for hospitals but voluntary for nursing homes. He thought his other Maple Manor was the only nursing home with this distinction in the state of Michigan. This demonstrates their commitment to quality. They are proud of their business.

Mr. Evangelista thought his corner was the ideal location for a Novi sign. This is the border between Novi and Walled Lake. The sign's appearance will be integrated into the site using landscaping and building materials.

Chair Pehrson opened the floor for public comment:

- David Tomczak, local resident: Walks this area several times per week because it is one of the remaining greenbelts in the area. He saw five deer drinking from the site's water the day prior. Monarch butterflies migrate to this site's milkweed. Goldfinches and nuthatches eat the thistles. Three species of frogs mate on this site. Two species of toads mate on this site. There are snapping turtles in the water. He leads mushroom hunts on this site – there are four edible mushrooms on this site. This building will be higher than Beach Walk Apartments and the lights will shine into those apartments. He doesn't want to hear sirens at night. Many people walk this area. He didn't want the wildlife misplaced.
- Lynne Roderick, Lake Village: Objected to the project because she will be able to see it out of her windows. She was concerned about security lighting. She was concerned about the traffic because it is heavy already. She thought a three-story building would ruin the integrity of the area. It will affect the value of her condo.
- Patti Suomo, Lake Village: Concerned about the traffic, especially that which will be caused by the 7 AM shift. She asked if the sidewalk would be continued, as it currently stops at Beach Walk.

- Gayla Rosey, Maples of Novi: Concerned about the height of the building because it was not aesthetically pleasing. She thought traffic would worsen. She said the residents of Novi already know where Novi is so she didn't see the sign as a public benefit. She is a nurse and said there is a nursing shortage in the area. She worried about the wildlife. There is an egret rookery that is located in the Maples of Novi of which everyone is protective. The local commercial affected these grounds where the egrets eat, and she guessed that the DNR was not aware that all of this commercial was going to be developed in this area. This building and its noise may be the one that disrupts the egrets' migration flight patterns and nesting grounds.

Member Gutman read the correspondence into the record:

- Elaine Stiles, Aquaduct Drive: Objected for traffic reasons.
- Dorothy Salas, Independence: Objected for traffic reasons, proximity to school and loss of vegetation.
- Kay Placta, Lake Village: Objected because she liked the current character of the neighborhood. She is worried about the sirens and delivery trucks, increased traffic and property values.
- James Remijan: Objects because the City has enough traffic.
- Joann and David Willis, Neptune: Objected for traffic, noise, and congestion reasons.
- Michael Lawrence, Vine Court: Objected because of impact to the wetlands.
- Catherine Szuba, Neptune: Worried about the landscaping and doesn't want to become a big city.
- Rebecca Turner, Neptune: Objects because of the impact to the wetlands and habitat.
- Sandra Earhart, Neptune: Objects because of wetland, pollution, noise and traffic concerns.
- Verna Kuhlmana, Livingston: Objected for reasons of traffic, loss of trees, and danger near the elementary school.
- Daniel Tzemski, Lake Village: Objected to the use of the wetlands.
- Amy Moldenhauer, Lake Village: Objected because of loss of habitat for the deer and other animals. She doesn't want to lose her view and thinks this will be an eyesore. There will be an increase in traffic and noise.
- Melissa Hungley and Lise Traub, Canterbury: Objects because they prefer open space and trees, and they don't want more traffic.
- Kara Kite, Blue Ridge: Objected for concerns about the protected natural habitats, property values and the wetlands.
- Joseph Sisom, Arrowhead: Objected for reasons of wetland impact, noise, wildlife and the changing water table.
- Kimberly Boone, Neptune: Objected because she didn't want the trees cut down. She is worried about the sewer drains. She wished to see pre-sales before this is built.
- Barbara Zuwacki, Walled Lake: Didn't want the area built up so much.
- Lisa Price, Mariner: Objects because of impact to wildlife.
- Eric Winter, Lake Village: Objected because of impacts to trees and wetlands.
- Luanne Dillon, Lake Village: Objects because the proposal is unnecessary.
- Constance Colenzo, Jasper Ridge: Objects because she is worried about the value of her condo and foreclosures in the area.
- Barbara Miller, Independence: Objects for traffic reasons.
- Patrick Butler, English Way: Objects for reasons of excessive police, fire and rescue traffic. He wondered whether the City's resources were strong enough to support this project.
- Diane Schram: Objects because the building is too high and will damage the wetlands.
- Elaine Chow, Jasper: Objected to the plan.
- Judith Chamberlain, Mariner: Concerned about traffic, wildlife displacement and wants to see more occupancy.
- Anne Winton, Lake Village: Worried about wetlands, natural features and doesn't like the height.
- Mary Patmore, Horton: Approved of the plan and objected.
- Joseetta Howes, Canterbury: Provided empty response.
- Theodore Solno, Blair: Approved of the plan.
- Margarita Baschillio, Canterbury: Approved of the plan.
- Jane West, Canterbury: Approved of the plan.
- Robert Henshaw, Canterbury: Thought the plan was better than a gas station or restaurant and approves.
- Sandy and Eric Gerwin, Centennial: Approved of the plan.
- Marguerite Walsh, Neptune Drive: Approved and thought it was good for the community.

- June Ferguson, Independence: Approved and welcomed it to the area.
- Arnold Johnson, Lake Village: Approved of the plan and thought the corner would look better.
- Dimitra Dadgar, Livingston: Objected for traffic reasons.
- Rose Provo, Mariner: Approved and liked the location.
- James Daly, Mariner: Approved of the plan but thought three stories is too high.
- Marilyn Donaldson, Neptune: Thought this was a good use.
- Susan Pogark, Neptune: Approved of the plan.
- Enid Stilbrecht, Primrose: Approved of the plan.
- Genevieve Riley: Approved and thought it would beautify the area.
- Lillian Bassey, Magnolia: Approved of the plan.
- Rose Provo: Approved of the plan.

Chair Pehrson closed the Public Hearings on the rezoning with PRO and the site plan.

Member Lynch confirmed this building was approved for senior housing under the PUD, which included the Maples of Novi, the golf course and the shopping center. Now, the senior housing is changing to a less-dense convalescent center. Mr. Spencer said that there are also minor modifications and a change in procedure as well. Member Lynch thought this is an improvement to the original plan.

Member Lynch asked whether the use of sirens was typical at this type of facility. Mr. Evangelista said no; ambulances will come and go but they don't typically use their sirens. Also, they will usually use just one ambulance company, and they can work this detail out with them.

Member Lynch confirmed that the sidewalks will be built along Fourteen Mile. He complimented the Applicant for having zero deficiencies on his recent state audit at their Wayne facility. Member Lynch supported this plan and reiterated that it is an improvement over the previous plan.

Member Meyer said the concerns of the area citizens should be respected. The Applicant was commended for his JCAHO attainment, which supports the notion that this Applicant provides far more than just minimum care to his residents. Member Meyer confirmed that the Section Nine Waiver is for a one-foot deviation.

Moved by Member Meyer, seconded by Member Burke:

**In the matter of Zoning Map Amendment 18.682 and Planned Rezoning Overlay Concept Plan SP08-09A for Maple Manor, motion to recommend approval to the City Council to rezone the subject property from Residential Acreage, RA, with a Planned Unit Development, PUD, to Low Density Multiple Family, RM-1, with a Planned Rezoning Overlay, with the following considerations: 1) Waiving of the Traffic Impact Assessment because the proposed convalescent (nursing) home use will generate less traffic than the previously approved senior housing apartment building; 2) Inclusion of the PRO conditions as proposed by the Applicant as follows: A) Uses limited to a convalescent (nursing) home, congregate care facility and assisted living facility with accessory uses including dining, pharmacy, beauty shop, clinic and therapy services; B) Maximum building square footage 62,000 square feet; C) Maximum lot coverage (building) 13%; D) Minimum open space 45%; E) Maximum number of units 93; F) Maximum number of beds 186; and G) Turn movements on Fourteen Mile limited to right-out only; 3) A Planning Commission Finding that the Applicant's proposal to donate, install and maintain a City of Novi entrance sign and sign easement, as approved by the City, is a public benefit; 4) A Planning Commission Finding that constructing the proposed convalescent facility provides additional public benefit by increasing the City's tax base, providing an additional long term care facility, providing new jobs, and expanding service to the City's elderly population is a public benefit; 5) City Council considering the Ordinance deviations associated with the proposed concept plan as detailed in the Staff and Consultant review letters acceptable; 6) Subject to the Planning Commission conditions of Preliminary Site Plan SP08-09A approval, including the Applicant making minor changes to the Concept Plan as requested in the Preliminary Site Plan Review letters; for the reasons that: 1) The petition is consistent with the Master**



Plan for Land Use 2004 which depicts this area for multiple family uses; 2) Nursing home uses are compatible with the surrounding land uses; 3) The proposed use is less intense than the previously approved senior housing use; 4) Adequate infrastructure exists to support nursing home and multiple-family uses; 5) The proposed PRO Concept Plan meets the intent of the Zoning Ordinance by providing a transition between multiple family and commercial development, by protecting and conserving the character of the area, by providing adequate access and utilities and providing a City of Novi entrance sign as a public benefit; and 6) The petition is in compliance with Article 34, Section 3402 of the Zoning Ordinance.

#### **DISCUSSION**

Member Wrobel asked whether the City was going to accept the Applicant's offer to house and maintain a City of Novi sign. Mr. Spencer responded that Community Relations Manager Sheryl Walsh welcomed this opportunity.

Member Wrobel asked about the Westside lighting and the backside lighting. The Applicant responded that all lighting will comply with the City of Novi Ordinance. It will be cut-off lighting, the pole height would be no more than 15 feet tall, and no light will be disbursed on adjacent property. The lighting will all be pole-mounted. The building lighting will only be on the entrance canopy and entrances. There will be no spotlights or floodlights.

Member Wrobel asked what kind of activity would occur in the rear of the building (west side), and when would this activity occur. The Applicant said that this would accommodate the food service, and it is also where the ambulance delivery would take place. Member Wrobel thought this could potentially create a problem for the apartments. The Applicant said there are recesses in the building; these areas will accommodate the service vehicles. They are interior courts into the building. The fire department would have to come to the Novi Road side of the building.

Member Cassis said that the Master Plan and Zoning Committee has already reviewed this site and did its due diligence at that time. Member Cassis was impressed by the Applicant's parents who attended that meeting; attention by the owner impresses Member Cassis. They have excellent credentials.

Member Cassis noted that the location of this site is on Fourteen Mile, which is a well-traveled road. He thought that it was worthy of this use regardless of the potential for sirens.

Deputy Director of Community Development Barbara McBeth wished to clarify that the height deviation that was discussed earlier can be approved by City Council as part of the PRO Agreement.

#### **ROLL CALL VOTE ON MAPLE MANOR, REZONING 18.682 AND PRO SP08-09A POSITIVE RECOMMENDATION MOTION MADE BY MEMBER MEYER AND SECONDED BY MEMBER BURKE:**

**In the matter of Zoning Map Amendment 18.682 and Planned Rezoning Overlay Concept Plan SP08-09A for Maple Manor, motion to recommend approval to the City Council to rezone the subject property from Residential Acreage, RA, with a Planned Unit Development, PUD, to Low Density Multiple Family, RM-1, with a Planned Rezoning Overlay, with the following considerations: 1) Waiving of the Traffic Impact Assessment because the proposed convalescent (nursing) home use will generate less traffic than the previously approved senior housing apartment building; 2) Inclusion of the PRO conditions as proposed by the Applicant as follows: A) Uses limited to a convalescent (nursing) home, congregate care facility and assisted living facility with accessory uses including dining, pharmacy, beauty shop, clinic and therapy services; B) Maximum building square footage 62,000 square feet; C) Maximum lot coverage (building) 13%; D) Minimum open space 45%; E) Maximum number of units 93; F) Maximum number of beds 186; and G) Turn movements on Fourteen Mile limited to right-out only; 3) A Planning Commission Finding that the Applicant's proposal to donate, install and maintain a City of Novi entrance sign and sign easement, as approved by the City, is a public benefit; 4) A Planning Commission Finding that constructing the proposed convalescent facility provides additional public benefit by increasing the City's tax base, providing an additional long term care facility, providing new jobs, and expanding service to the City's elderly population is a public benefit; 5) City Council considering the Ordinance deviations associated with the proposed concept plan as detailed in the Staff and Consultant review letters**

acceptable; 6) Subject to the Planning Commission conditions of Preliminary Site Plan SP08-09A approval, including the Applicant making minor changes to the Concept Plan as requested in the Preliminary Site Plan Review letters; for the reasons that: 1) The petition is consistent with the Master Plan for Land Use 2004 which depicts this area for multiple family uses; 2) Nursing home uses are compatible with the surrounding land uses; 3) The proposed use is less intense than the previously approved senior housing use; 4) Adequate infrastructure exists to support nursing home and multiple-family uses; 5) The proposed PRO Concept Plan meets the intent of the Zoning Ordinance by providing a transition between multiple family and commercial development, by protecting and conserving the character of the area, by providing adequate access and utilities and providing a City of Novi entrance sign as a public benefit; and 6) The petition is in compliance with Article 34, Section 3402 of the Zoning Ordinance. *Motion carried 7-0.*

Moved by Member Meyer, seconded by Member Burke:

**ROLL CALL VOTE ON MAPLE MANOR, SP08-09A SPECIAL LAND USE MOTION MADE BY MEMBER MEYER AND SECONDED BY MEMBER BURKE:**

In the matter of SP08-09A, Maple Manor, motion to approve the Special Land Use Permit for a convalescent (nursing) home subject to: 1) City Council approval of Rezoning Petition 18.682, PRO, Concept Plan SP08-09A and related PRO Agreement; and 2) Compliance with all conditions and requirements listed in the Staff and Consultant review letters; for the reasons that the Planning Commission finds that the use is otherwise in compliance with all applicable provisions of the Zoning Ordinance and that relative to other feasible uses of the site, the proposed use: 1) Will not cause any detrimental impact on existing thoroughfares or the capabilities of public services and facilities; 2) Is compatible with the natural features and characteristics of the land and adjacent uses of land; 3) Is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use; 4) Will promote the use of land in a socially and economically desirable manner; 5) Is (1) listed among the provision of uses requiring Special Land Use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located; and 6) and the plan meets the requirements of Section 2516. *Motion carried 7-0.*

Moved by Chair Pehrson, seconded by Member Burke:

In the matter of Maple Manor, SP08-09A, motion to approve the Preliminary Site Plan, subject to: 1) City Council approval of Rezoning Petition 18.682, PRO, Concept Plan SP08-09A and related PRO Agreement; 2) City Council granting a waiver of the west berm requirement and the Applicant replacing it with a six foot masonry wall; 3) City Council granting a Section 9 Façade Waiver subject to the Applicant modifying the façade to add decorative dormer windows on the front and rear façades, or other equal method of mitigating the expanse of asphalt shingles; and 4) The Applicant making minor corrections listed in the Staff and Consultant review letters; for the reason that the site plan: 1) Meets the intent of the Master Plan; 2) Meets the intent of the Zoning Ordinance; and 3) Is otherwise in compliance with Section 3402, Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

**DISCUSSION**

Mr. Spencer said that the sidewalks are part of the site plan, and he has had conversations with the Transportation Director of the Walled Lake Schools, and they are looking forward to this addition because the children who live in Beach Walk can walk to school.

**ROLL CALL VOTE ON MAPLE MANOR, SP08-09A PRELIMINARY SITE PLAN MOTION MADE BY MEMBER MEYER AND SECONDED BY MEMBER BURKE:**

In the matter of Maple Manor, SP08-09A, motion to approve the Preliminary Site Plan, subject to: 1) City

**Council approval of Rezoning Petition 18.682, PRO, Concept Plan SP08-09A and related PRO Agreement; 2) City Council granting a waiver of the west berm requirement and the Applicant replacing it with a six foot masonry wall; 3) City Council granting a Section 9 Façade Waiver subject to the Applicant modifying the façade to add decorative dormer windows on the front and rear façades, or other equal method of mitigating the expanse of asphalt shingles; and 4) The Applicant making minor corrections listed in the Staff and Consultant review letters; for the reason that the site plan: 1) Meets the intent of the Master Plan; 2) Meets the intent of the Zoning Ordinance; and 3) Is otherwise in compliance with Section 3402, Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 7-0.***

Moved by Member Meyer, seconded by Member Burke:

**ROLL CALL VOTE ON MAPLE MANOR, SP08-09A WOODLAND PERMIT MOTION MADE BY MEMBER MEYER AND SECONDED BY MEMBER BURKE:**

**In the matter of Maple Manor, SP08-09A, motion to approve the Woodland Permit subject to the conditions and items listed in the Staff and Consultant review letters being addressed on the Final Site Plan; for the reason that the plan is in compliance with Chapter 37 of the Code of Ordinances. *Motion carried 7-0.***

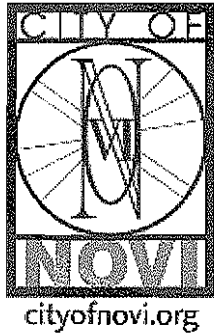
Moved by Member Meyer, seconded by Member Burke:

**ROLL CALL VOTE ON MAPLE MANOR, SP08-09A STORMWATER MANAGEMENT PLAN MOTION MADE BY MEMBER MEYER AND SECONDED BY MEMBER BURKE:**

**In the matter of Maple Manor, SP08-09A, motion to approve the Stormwater Management Plan subject to the conditions and items listed in the Staff and Consultant review letters being addressed on the Final Site Plan; for the reason that the plan is in compliance with Chapter 11 of the Code of Ordinances. *Motion carried 7-0.***

**PLANNING REZONING REVIEW**





# PLAN REVIEW CENTER REPORT

September 5, 2008

## Planning Review

**MAPLE MANOR OF NOVI PRO  
Rezoning 18.682**

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### **Petitioner**

J. S. Evangelista Development, LLC

### **Review Type**

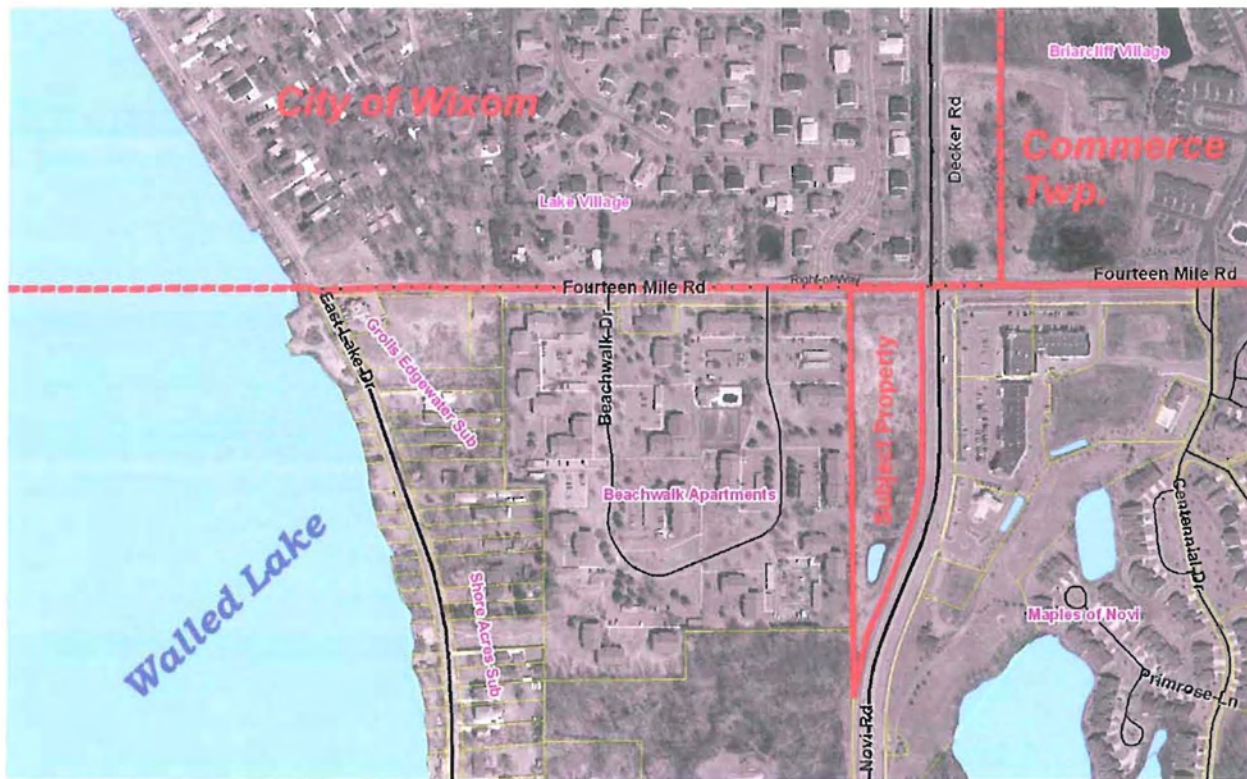
Rezoning request from Residential Acreage (RA) with an approved Planned Unit Development (PUD) to Low Density Multiple-Family Residential (RM-1), with a Planned Rezoning Overlay (PRO).

### **Property Characteristics**

- Site Location: Southwest corner of Fourteen Mile and Novi Roads
- Site Size: 4.664 acres gross, 3.88 acres net
- Surrounding Zoning: East and South East: Residential Acreage (RA) with a PUD; Southwest: One-Family Residential (R-4); West: Multiple Family Residential (RM-1); North: Multiple Family Residential (RM-1) in the City of Walled Lake; and Northeast: Neighborhood Commercial (C-1) in City of Walled Lake.
- Current Site Use: Vacant
- Surrounding Land Uses: East: Maples Place local commercial center; Southeast: Maples of Novi residential club house and recreation area; Southwest: Hickory Woods Elementary School; West: Beachwalk Apartments; North: Lake Village multiple-family residential in City of Walled Lake; and Northeast: vacant property in City of Walled Lake.
- School District: Walled Lake Consolidated Schools
- Proposed Use: 93 unit (186 bed) 61,583 square feet convalescent (nursing) home
- Plan Date: July 21, 2008

### **Project Summary**

The petitioner is requesting a rezoning with a PRO of a 4.664 acre parcel located in Section 2 of the City of Novi from Residential Acreage (RA) with a PUD to Low Density Multiple-Family Residential (RM-1). The applicant is proposing a three story, 93 unit, 186 bed, 61,583 square feet convalescent home. Currently, the site is subject to the Maples of Novi PUD conditions that were approved by the City Council in 1989. The approved PUD has an area of about 230 acres and the proposed development included the Maples of Novi one-family residential units (built), the Maples Golf Course (built), the Maples Place shopping center (built) and a



senior housing building (not built). The PUD project was proposed as a phased development with an overall residential density of 4.0 dwelling units per acre. The subject Maple Manor site was approved for a 100 unit congregate care senior apartment housing building with one and two bedroom apartments but it was never started. The Planning Commission approved a Preliminary Site Plan (SP98-57) for a senior apartment building in January 2000 and the Final Site Plan was stamped approved in December of 2000. The Planning Commission approved three Final Site Plan approval extensions but the approval expired in 2005.

**Current Proposal**

The owners of the property now would like to build a 93 unit, 186 bed convalescent (nursing home) facility instead of the previously approved congregate care facility. The applicant has indicated that most of the rooms will be occupied by one person and that the two bed designation allows them the flexibility of placing couples and family members in the same room. The previously approved building contained individual dwelling units with complete living facilities. The proposed units contain sleeping and toilet facilities but do not include kitchen or bathing facilities. The floor plan of the proposed building includes nurse’s stations, a clinic, a pharmacy, a beauty salon, recreation areas, therapy area, administrative offices, storage rooms and common kitchen, dining and bathing facilities. The applicant has stated that the therapy, pharmacy, beauty salon and clinic uses are only for the occupants of the building and not available for use by the general public. These uses are permitted uses in the RM-1 District when they are accessory to a permitted use.

The applicant met with the Planning Commission’s Master Plan and Zoning Committee on June 17, 2008 and the Committee made favorable comments.

### **Approval Process**

Since, the proposed use of the site is not the same as the use approved as part of the PUD, either the PUD must be revised or the property must be rezoned to a zoning district that permits a convalescent home. Although the PUD portion of the Zoning Ordinance (Section 2700) was removed from the Ordinance in the early 1990s, the PUD provisions in effect at the time of the approval of the Maples of Novi PUD remain in effect and the PUD could be amended provided the amendment meets the requirements of the Ordinance and it is approved by City Council. Former Section 2700.9.c. stated that a change in use is a major change to the PUD and thus a revised PUD would need to go through the whole PUD process in order to amend the PUD plan and PUD agreement. A rezoning with a PRO can accomplish the same result and thus keep the proposed use in compliance with our current Zoning Ordinance requirements. The applicant has elected to pursue this course of action. Council will need to rescind a portion of the PUD plan and/or agreement to move forward with the rezoning action.

### **Planned Rezoning Overlay (PRO)**

The PRO acts as a zoning map amendment, creating a "floating district" with a conceptual plan attached to the rezoning of the parcel. PRO requests require a 15-day public hearing notice for the Planning Commission, which offers a recommendation to the City Council, who can grant the final approval of the PRO. As a part of the PRO, the underlying zoning is changed, in this case to RM-1 as requested by the applicant, and the applicant enters into a PRO Agreement with the City, whereby the City and applicant agree to any deviations to the applicable ordinances and tentative approval of a conceptual plan for development for the site. After final approval of the PRO plan and agreement, the applicant can receive Preliminary and Final Site Plan approval under the typical review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two years, the rezoning and PRO concept plan expires and the agreement becomes void. In order to streamline the approval process, the applicant submitted a Preliminary Site Plan as its Concept Plan for approval subject to obtaining Concept Plan and PRO Agreement approval from City Council.

### **Recommendation**

The Planning Department ***recommends positive consideration*** of the petition to rezone the subject property from RA with a PUD to RM-1 with a PRO, with the submitted Preliminary Site Plan to be used as the required PRO Concept Plan, ***conditioned on the City Council waiving the Traffic Study requirement and the applicant making minor changes to the Concept Plan as requested in the Preliminary Site Plan Review letters*** for the following reasons:

- The petition is consistent with the Master Plan for Land Use 2004 which depicts this area for multiple family uses;
- Nursing home uses are compatible with the surrounding land uses;
- Adequate infrastructure exists to support nursing home and multiple-family uses; and
- The proposed PRO Concept Plan meets the intent of the Zoning Ordinance by providing a transition between multiple family and commercial development, by protecting and conserving the character of the area and by providing adequate access and utilities.

### **Options**

The Planning Commission has the following options in its recommendation to City Council:

1. Recommend approval of rezoning the petition area from RA with a PUD to RM-1 with a PRO as requested (with or without recommendations to modify the proposed PRO Plan, Conditions and/or deviations) (***Applicant request and Staff recommendation***).
2. Recommend approval of rezoning the petition area from RA with a PUD to RM-1 without a PRO.
3. Recommend denial of the rezoning request to allow the property to remain zoned as RA with a PUD.
4. Recommend rezoning of the parcel to OS-2, Planned Office Service (which also permits nursing homes) or any other designation that the Planning Commission determines is appropriate. Given the current Master Plan designation for the property and the developments in the area, there are no other alternatives that the Planning Division has analyzed at this time. Please note that the use of this option would require the Planning Commission to hold and send notice for another public hearing with the intention of recommending rezoning to another designation.

### **Planning Review**

#### **Rezoning Request Submittal Requirements**

1. A Traffic Study was not submitted with this application. The previously approved senior apartments would generate more trips per day than the proposed nursing home. The applicant has provided under separate cover, a request to the Planning Commission to waive the required traffic study. This waiver is supported by the City's traffic consultant.
2. A survey drawing of the property in the petition prepared by a registered professional surveyor was submitted with the application.
3. A Preliminary Site Plan to be used as the Concept Plan was submitted with the application.
4. The applicant provided a list of proposed PRO conditions and some conditions are inferred based on the submitted concept plan (see below for further discussion).
5. The applicant has provided proposed PRO ordinance deviations (see below for further discussion).

#### **Master Plan for Land Use**

The petitioner's request to rezone the subject property to RM-1 is consistent with the multiple-family designation in the Master Plan. Although this area is depicted for multiple-family uses, the underlying residential density is listed as 4.0 dwelling units per acre because this was the overall approved density for the entire Maples of Novi PUD. The subject property portion of the PUD was approved for 100 dwelling units which is 25 dwelling units per acre (100 units/3.88 net acres = 25 dwelling units per acre). Although residential density is not a consideration for nursing homes, the 93 unit nursing home could be considered similar to the approved density.

The Master Plan history of the site is as follows:

- The 1988 and 1993 Master Plans for Land Use depict the subject property and the entire Maples of Novi PUD area for single-family residential use with a Planned Unit Development at 4.0 dwelling units per acre.
- The 2020 Master Plan for Land Use (1999) and the Master Plan for Land Use 2004 depict the subject property for multiple-family residential use at 4.0 dwelling units per acre. The





balance of the residential portion of the Maples of Novi PUD is depicted for single-family residential use at 4.0 dwelling units per acre.

Zoning

The following table summarizes the zoning and land use status for the property in the petition and the surrounding properties.

**Land Use and Zoning  
 For Subject Property and Adjacent Properties**

	<b>Existing Zoning</b>	<b>Existing Land Use</b>	<b>Master Plan Land Use Designation</b>
Subject Site	RA with PUD	Vacant	Multiple-Family Residential
Northern Parcel (City of Walled Lake)	RM-1 Low Density Multiple-Family Residential	Multiple-Family Residential (Lake Village)	Multiple-Family Residential
Southern Parcel	RA, Residential Acreage with PUD	Single-Family Residential (Maples of Novi)	Single Family Residential
Eastern Parcel	RA, Residential Acreage with PUD	Local Commercial (Maples Place)	Local Commercial
Western Parcel	RM-1, Low Density Multiple-Family Residential and R-4 One-Family Residential	Multiple-Family Residential (Beachwalk Apartments) and Educational Facility (Hickory Woods Elementary School)	Multiple-Family Residential and Educational Facility



Compatibility with Surrounding Land Use

The surrounding land uses are shown on the above chart. The compatibility of the requested RM-1, Low Density Multiple-Family Residential zoning with the zoning and uses on the adjacent properties should be considered by the Planning Commission in making the recommendation to City Council on the rezoning request.

The property to the **north** of the subject property is located in the City of Wixom and it is developed with multiple-family dwelling units (Lake Village).

The property to the **west** of the subject property is developed with multiple-family residential dwellings (Beachwalk Apartments) and a small portion of the site borders a wooded area of the Walled Lake Consolidated Schools' Hickory Woods Elementary School site.

The property to the **south** of the subject property (located on the east side of Novi Road) is developed as the residential open space and club house for the Maples of Novi single-family home development. It was developed as part of the Maples of Novi PUD.

The property to the **east** of the subject property is developed for local commercial uses (Maples Place).

Comparison of Zoning Districts

The following chart compares the permitted uses and bulk requirements of the property's current RA zoning and the proposed RM-1 zoning. A comparison of the OS-2 district was provided as an alternative since a nursing home is also a permitted use in this district.

	<b>RA - Zoning with PUD agreement (Existing)</b>	<b>RM-1 with a PRO - Zoning (Requested)</b>	<b>OS-2 with a PRO - Zoning (Alternate)</b>
Principal Permitted Uses	Senior Housing per approved PUD area plan	<ol style="list-style-type: none"> <li>1. One-family dwellings</li> <li>2. Two-family dwellings</li> <li>3. Multiple-family dwellings</li> <li>4. Farms and greenhouses</li> <li>5. Public parks</li> <li>6. Cemeteries</li> <li>7. Family and group day care homes</li> <li>8. Churches</li> <li>9. Utility and public service buildings</li> <li>10. Day care centers</li> <li>11. Private non-commercial recreation</li> <li>12. Golf courses</li> <li>13. Colleges</li> <li>14. Private pools</li> </ol>	<ol style="list-style-type: none"> <li>1. Office buildings</li> <li>2. Medical offices</li> <li>3. Facilities for human care i.e. sanitariums, hospitals, <u>convalescent homes</u> &amp; assisted living facilities</li> <li>4. Off street parking lots</li> <li>5. Public parks and outdoor recreation</li> </ol>

	<b>RA - Zoning with PUD agreement (Existing)</b>	<b>RM-1 with a PRO - Zoning (Requested)</b>	<b>OS-2 with a PRO - Zoning (Alternate)</b>
		15. Mortuaries 16. Bed & breakfasts 17. Shared, independent and congregate elderly housing	
Special Land Uses	none	1. <u>Convalescent homes</u>	1. Accessory retail & service uses in same building as permitted use 2. Sit down restaurants 3. Public owned buildings 4. Banks 5. indoor recreation 6. Day care centers
Minimum Lot Size	Total PUD 20 acres	Residential none Convalescent 1,500 square feet per bed	None
Maximum Building Height	35 feet three stories	35 feet two stories	42 feet three stories
Minimum Building Setbacks	Front – 50 feet Side (exterior) – 50 feet Rear – 40 feet	Front, Side & Rear 75 feet plus 1/3 foot for every foot building length exceeding 180 feet	Front –50 feet Side – 50 feet Rear – 50 feet
Maximum Building Length	None	180 feet or up to 360 feet if building setback increased 1 foot for every 3 feet building length when bordering a residential district or major thoroughfare	None

**Note: The types of uses could be restricted and lot area, setback, building height and building length requirements could be reduced as part of the proposed PRO agreement.**

Intent of Zoning Districts

The RA District is intended to be primarily for low density large lot single family dwellings.

The proposed RM-1 District is intended to be primarily for multiple-family dwelling structures, and related uses, which will generally serve as zones of transition between the non-residential districts and major thoroughfares and freeways and lower-density One-Family Districts.

The alternative OS-2 District is intended to be primarily for various types of office uses performing administrative, professional and personal services and for businesses which provide a service as opposed to selling a product.

#### Infrastructure Concerns

The area is adequately served by utilities installed for the Maples PUD. See the City Engineer's review for details.

#### Natural Features

- **Woodlands:** The Regulated Woodlands map shows no regulated woodlands on a the property in the petition.
- **Wetlands:** The City's Wetlands Map depicts two small wetlands on the property in the petition. A field delineation found three small wetlands on the site. See the City's Wetland Consultant review for details.
- **Wildlife Habitat:** The Natural Features Map does not show any critical habitat on the property in the petition.

#### Development Potential

Development under the current zoning would be limited to a senior housing building. Previously a 100 unit three story building was approved on the site. The development potential for any rezoning to RM-1 or OS-2 with a PRO would be limited by the size building approved on the PRO conceptual plan.

#### Rezoning Request Requirements

1. A Traffic Study is required but the City's Traffic Consultant is recommending a waiver of the requirement since the site was previously approved for a higher intensity use as part of the Maples of Novi PUD.
2. A survey drawing of the property in the petition prepared by a registered professional surveyor was submitted with the application.

#### Conditions for Planned Rezoning Overlay Agreement

The Planned Rezoning Overlay process involves a PRO plan and specific PRO conditions in conjunction with a rezoning request. The submittal requirements and the process are codified under the PRO ordinance (Article 34). Within the process, which is completely voluntary by the applicant, the applicant and City Council can agree on a series of conditions to be included as part of the approval.

The applicant is required to submit a Conceptual Plan and a list of terms that they are willing to include with the PRO agreement. In order to expedite the approval process, the applicant has elected to submit a Preliminary Site Plan as the Conceptual Plan for this petition. The applicant is asking the Planning Commission to consider approving the Preliminary Site Plan and Special Land Use Permit contingent upon the City Council approving the PRO, PRO Conceptual Plan and PRO Agreement. The applicant's Plan has been reviewed by the City's Staff and consultants (See Preliminary Site Plan Reviews). The following items were provided on a list or shown on the Site Plan prepared by the applicant and interpreted by the Plan Review Center as conditions

they are willing to attach to the PRO:

1. Use limited to a convalescent (nursing), congregate care and assisted living with accessory uses including dining, pharmacy, beauty shop, clinic and therapy services.
2. Maximum square footage 62,000 square feet;
3. Maximum lot coverage (building) 13%;
4. Minimum open space 45%;
5. Maximum number of units 93;
6. Maximum beds 186; and
7. Turn movements on Fourteen Mile Road are limited to right out only.

**Ordinance Deviations**

Under Section 3402.D.1.c, deviations from the strict application of the Zoning Ordinance may be permitted by the City Council in the PRO agreement. These deviations must be accompanied by a finding by the City Council that *"each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."* For each such deviation, City Council should make the above finding if they choose to include the items in the PRO agreement. The following items on the concept plan do not meet ordinance requirements some of which were included a list of ordinance deviations to be included as part of the proposed PRO agreement.

<b>Ordinance Item &amp; (Section No.)</b>	<b>Required per RM-1</b>	<b>Proposed</b>
Minimum Lot Area – (602(2))	1,500 square feet total land area per bed	908 square feet per bed
Maximum Building Height (2400)	35 feet two stories	36 feet three stories
Maximum amount of parking, loading area and driveway pavement in required setback (2400 footnote e)	30%	Over 30%
Maximum Building Length (2400 footnote e)	180 feet or up to 360 feet with increased setbacks	321.87 feet increased setbacks not provided (see below)
Minimum Building Setbacks (2400 & footnote b, e & t)	Front - 122 feet  Side Exterior – 75 feet  Rear – 122 feet	Front – 68.31 feet building 42.51 feet canopy  Side Exterior – 54.21 feet canopy  Rear- 37.73 feet
Minimum Parking, Drives and Loading Area Setbacks	Front - 122 feet Side Exterior – 75 feet Rear – 122 feet	Front – 15.5 feet Side Exterior – 57.4 feet Rear – 2.5 feet
Façade (2520)	Siding not permitted Region 1  Asphalt shingles not permitted in Region 1	Up to 20% siding  Up to 35% asphalt shingles

The applicant has stated that these deviations are reasonable since the use is less intense and the same or similar to the deviations previously approved senior housing planned for this site. The applicant has also noted that a wall and landscaping will provide a buffer to the adjoining multiple family residential parcel.

#### Public Benefit Under PRO Ordinance

At this time, the applicant has identified eight items of public benefit. These items should be weighed against the proposal to determine if the proposed PRO benefits **clearly outweigh** the detriments of the proposal. The benefits proposed include:

1. A City of Novi Entrance sign to be donated, installed and maintained by the developer.
2. Providing a 40 foot by 40 foot easement to the City for the placement of the above entrance sign;
3. Enhance tax base;
4. Providing needed long term care facility;
5. Providing new jobs;
6. Expanding service to the elderly above and beyond the senior apartments previously approved;
7. Providing a less intense use than previously approved use will reduced traffic impacts; and
8. Providing a use that is compatible with the neighboring uses.

#### Applicant Burden under PRO Ordinance

The Planned Rezoning Overlay ordinance requires the applicant to make certain showings under the PRO ordinance that requirements and standards are met. The applicant should be prepared to discuss these items, especially in relation to part a listed below, where the ordinance suggests that the enhancement under the PRO request would be unlikely to be achieved or would not be assured without utilizing the Planned Rezoning Overlay. Section 3402.D.2 states the following:

- a. *Approval of the application shall accomplish, among other things, and as determined in the discretion of the City Council, the integration of the proposed land development project with the characteristics of the project area, and result in an enhancement of the project area as compared to the existing zoning, and such enhancement would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.*
- b. *Sufficient conditions shall be included on and in the PRO Plan and PRO Agreement on the basis of which the City Council concludes, in its discretion, that, as compared to the existing zoning and considering the site specific land use proposed by the applicant, it would be in the public interest to grant the Rezoning with Planned Rezoning Overlay; provided, in determining whether approval of a proposed application would be in the public interest, the benefits which would reasonably be expected to accrue from the proposal shall be balanced against, and be found to clearly outweigh the reasonably foreseeable detriments thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles, as presented to the City Council, following recommendation by the Planning Commission, and also taking into consideration the special knowledge and understanding of the City by the City Council and Planning Commission.*



**Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission.** Additionally, a letter from the applicant is requested to be submitted with the next set of plans submitted highlighting the changes made to the plans addressing each of the comments listed above.

Please contact Mark Spencer at (248) 735-5607 or [mspencer@cityofnovi.org](mailto:mspencer@cityofnovi.org) with any questions or concerns.

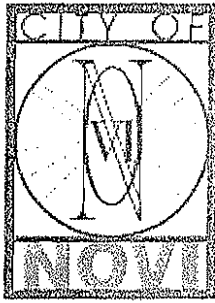


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Prepared by Mark Spencer, AICP, Planner

**ENGINEERING REZONING REVIEW**

# MEMORANDUM



cityofnovi.org

**TO:** MARK SPENCER; PLANNER, COMMUNITY DEVELOPMENT  
**FROM:** BEN CROY, P.E.; CIVIL ENGINEER, ENGINEERING  
**SUBJECT:** ENGINEERING REVIEW OF REZONING REQUEST 18.682  
**DATE:** JUNE 20, 2008

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In response to your request, we have reviewed the proposed rezoning of the parcel located on the southwest corner of Novi Road and 14 Mile in Section 2 for availability and potential impacts to public utilities. It is our understanding that the applicant is requesting that approximately 4.664 acres be rezoned from R-A (with an approved PUD density) to RM-1 with a PRO.

In reviewing the information provided, we have determined that the rezoning would result in a decrease in the water and sanitary sewer demands for this parcel. Therefore, we have no utility related concerns with the rezoning application as presented.

The decrease in utility demand was determined by comparing the proposed zoning, RM-1 with a PRO, to the previously approved PUD for the Maple Manor development. The previously approved Maple Manor PUD consisted of eighty-six 1-bedroom units and fifteen 2-bedroom units resulting in 63 REUs. The currently proposed plan consisting of a convalescent home with 184 beds equates to 56 REUs. The other ancillary uses within the building (beauty salon, etc.) were considered negligible.

**cc:** Rob Hayes, P.E.; City Engineer  
Brian Coburn, P.E.; Engineering  
Benny McCusker, Public Works Director

## **TRAFFIC REZONING REVIEW**



BIRCHLER ARROYO  
ASSOCIATES, INC.

June 6, 2008

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

SUBJECT: Maples Manor Planned Rezoning Overlay Plan, SP#08-09, Traffic Review

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments. Items to be resolved are highlighted in bold font.

### Recommendation

We recommend approval of both the proposed rezoning and the preliminary site plan, subject to the issues highlighted below being satisfactorily addressed on the final site plan.

### Project Description

What is the applicant proposing?

1. The applicant, J.S. Evangelista Development, L.L.C., proposes to construct a three-story convalescent home on the southwest corner of 14 Mile Road and Novi Road. The 4.66-acre site was initially proposed to be rezoned to OS-2 with a Planned Rezoning Overlay (PRO) option; however, the applicant subsequently requested that the new zoning be RM-1 with a PRO option. We note that unlike the latter proposal, the former would have required a formally designated loading zone (per Sec 2507.1 of the Zoning Ordinance).

The submission letter cites "93 units," and the plans show both 93 resident rooms and – in the parking data block – 184 beds (the number of beds is also needed to forecast trip generation). The proposed development includes three driveways: two on the west side of Novi Road and one, exit-only driveway on the south side of 14 Mile Road.

### Traffic Study

Was a study submitted and is it acceptable?

2. Given current proposal's anticipated trip generation (see below) relative to the number of trips assumed for this property in the 1999 traffic study for the entire Maples PUD, we recommend that the City waive the requirement for a rezoning traffic impact assessment.



### Trip Generation

How much traffic would the proposed development generate?

- Table 1 forecasts the number of driveway trips potentially generated by the proposed development, based on rates published by the Institute of Transportation Engineers (ITE). A trip is a one-directional vehicle movement into or out of the site.

Table 1. Trip Generation Forecast

Land Use	ITE Code	Size	Weekday Trips	AM Peak-Hour Trips			PM Peak-Hour Trips		
				In	Out	Total	In	Out	Total
Nursing Home	620	184 Beds	429	21	10	31	17	23	40

### Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

- The proposed north driveway on Novi Road does not meet the spacing standard relative to its distance from 14 Mile Road. Given Novi Road's 40-mph speed limit, Sec 11.216 of the City's Design and Construction Standards (DCS) requires a minimum same-side driveway spacing of 185 ft, *near-edge to near-edge*. The plan incorrectly applies this dimension to the center of the driveway. The proposed north drive must be moved south about 23 ft.
- Even with the required relocation of the north driveway per comment 4, that drive will be adequately spaced relative to both the existing opposite-side shopping center drive and the proposed same-side south drive. The south drive, as proposed, will meet opposite-side spacing standards relative to both existing shopping center drives.
- The proposed exit-only driveway on 14 Mile Road scales 207 ft west of Novi Road, and therefore meets the City's minimum same-side driveway spacing standard as well (14 Mile also has a 40-mph speed limit).

### Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

- Traffic will enter the site only from Novi Road. With respect to the modest volumes of vehicles slowing to enter the site (per Table 1), through traffic will benefit from the existence of both a center left-turn lane and two southbound through lanes. We do not recommend any new lanes or tapers on Novi Road.

### Driveway Design and Control

Are the driveways acceptably designed and signed?

8. The drives on Novi Road are shown a City-standard width of 30 ft. The proposed entering and exiting curb return radii for these drives, all 30 ft, exceed the City standard of 20 ft; however, per the footnote for DCS Fig. IX.1, we recommend that the City accept the proposed larger radii given the traffic volumes and speeds on Novi Road.
9. The one-way driveway on 14 Mile Road exceeds the City-standard width by 1.5 ft and has a larger-than-standard exiting radius. Due to the occasional trucks using this drive, however, we support the proposed width and radius (subject to comment 10a below).
10. The applicant proposes to prohibit exiting left turns from the 14 Mile driveway, presumably due to the drive's proximity to the signalized intersection and the anticipated low percentage of destinations to the west. We support the proposed turn prohibition; however, to make it more effective, we recommend that:
  - a. The entire drive should bend toward the east, maintaining a uniform width of 17.5 ft.
  - b. A "Right Turn Only" sign (R3-5) should be mounted under the proposed STOP sign in lieu of the proposed "No Left Turn" sign. Also, an additional sign post should be installed on the west side of the drive, supporting back-to-back "One-Way" (R6-2) signs to further deter traffic from entering here.

### Pedestrian Access

Are pedestrians safely and reasonably accommodated?

11. The site plan shows the existing safety path along the west side of Novi Road being removed and replaced by a new, 8-ft concrete path 1 ft inside the proposed 60-ft half right-of-way. Also, the existing sidewalk west of the site will be extended to Novi Road.
12. The final site plan should show the pavement marking changes needed on both roads to accommodate the above sidewalk relocation and extension (at a minimum, new crosswalk striping and stop bars).
13. Barrier-free ramps are noted in several appropriate locations and also detailed on a plan sheet. We recommend that the final site plan also show each ramp graphically in the exact location intended.

### Circulation

Can vehicles safely and conveniently maneuver through the site?

14. On the south end of the site, maneuvering aisles are shown as wide as 26 ft in places. To reduce the amount of impermeable surface without impeding good circulation, all two-way maneuvering aisles should maintain a width of 24 ft (measured to face-of-curb where applicable). The landscaped island in the south lot should be enlarged accordingly.
15. The proposed one-way driveway along the west side of the building is only 17 ft wide, which would make it difficult if not impossible for a large vehicle (such as a fire truck) to maneuver past a parked or disabled vehicle. The Fire Marshal should review and comment on the width of this driveway.
16. The parking stalls along the one-way aisle north of the building must be angled, per Sec 2506 of the Zoning Ordinance.
17. An east-facing "One-Way" sign (R6-2) should be added near the west property line, centered on the north aisle discussed in the preceding comment.
18. A north-facing "Do Not Enter" sign is proposed near the northwest corner of the building. A diagrammatic No Right Turn (R3-1) sign should be mounted to the back of this sign.

### General / Miscellaneous Comments

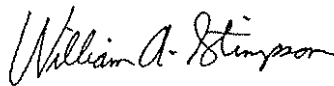
Are there any significant issues beyond those discussed above?

19. The proposed 60-ft half right-of-way along both abutting roads should be shown more boldly, and the line along 14 Mile Road should be separately labeled as such. Dedication of the "balance" to achieve the 60-foot half right-of-way should be discussed.
20. The final site plan should label curb radii more explicitly.

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP  
Vice President

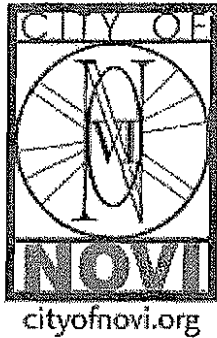


William A. Stimpson, P.E., PTOE  
Director of Traffic Engineering



David R. Campbell  
Senior Associate

**CONCEPT PLAN  
PLANNING REVIEW**



## **PLAN REVIEW CENTER REPORT**

September 5, 2008

### **Planning Review**

Maple Manor

SP #08-09A

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#### **Petitioner**

J. S. Evangelista Development, LLC

#### **Review Type**

PRO/Concept Plan/Revised Preliminary Site Plan/Special Land Use Permit

#### **Property Characteristics**

- Site Location: Southwest corner of Fourteen Mile and Novi Roads
- Site Size: 4.664 acres gross, 3.88 acres net
- Current Zoning: Residential Acreage (RA) with a Planned unit Development (PUD)
- Proposed Zoning: Low Density Residential (RM-1) with Planned Rezoning Overlay (PRO)
- Surrounding Zoning: East and South East: Residential Acreage (RA) with a PUD; Southwest: One-Family Residential (R-4); West: Multiple Family Residential (RM-1); North: Multiple Family Residential (RM-1) in the City of Walled Lake; and Northeast: Neighborhood Commercial (C-1) in City of Walled Lake
- Surrounding Land Uses: East: Maples Place local commercial center; Southeast: Maples of Novi residential club house and recreation area; Southwest: Hickory Woods Elementary School; West: Beachwalk Apartments; North: Lake Village multiple-family residential in City of Walled Lake; and Northeast: vacant property in City of Walled Lake
- School District: Walled Lake Consolidated Schools
- Proposed Use: 186 bed 61,583 sq. ft. convalescent (nursing) home
- Plan Date: April 25, 2008

#### **Project Summary**

The applicant is proposing a three story, 93 unit, 186 bed, 61,583 sq. ft. convalescent home. Currently, the site is subject to the Maples of Novi PUD conditions that were approved by the City Council in 1989. The PUD included one-family residential units, a golf course, local commercial buildings and a senior housing building. The project was proposed as a phased development with an overall residential density of 4.0 dwelling units per acre. The subject site was approved for a 100 unit congregate care senior apartment housing building with one and two bedroom apartments. The Planning Commission approved a Preliminary Site Plan (SP98-57) for this building in January 2000 and the Final Site Plan was stamped approved in



December of 2000. The Planning Commission approved three one-year Final Site Plan extensions but site plan approval expired in 2005.

The owners of the property now would like to build a 93 unit, 186 bed convalescent (nursing home) facility instead of the previously approved facility. A nursing home is not an approved use under the current RA PUD zoning. The applicant has applied for a rezoning to RM-1 with a PRO a district that permits nursing home uses.

The previously approved building contained individual dwelling units with complete living facilities and the units in the proposed building contain sleeping and toilet facilities but do not include kitchen or bathing facilities. The proposed floor plan for the building includes nurse's stations, a clinic, a pharmacy, a beauty salon, recreation areas, a therapy area, administrative offices, storage rooms and common kitchen, dining and bathing facilities. The applicant has stated that the therapy, pharmacy, beauty salon and clinic uses are only for the occupants of the building and not available for use by the general public. These uses are permitted in the RM-1 District only when they are accessory to a permitted use.

### **Recommendation**

The Planning Staff recommends **approval** of the Preliminary Site Plan and Special Land Use Permit subject to City Council approval of the submitted rezoning petition, PRO Concept Plan, PRO deviations (as noted in the accompanying Rezoning Review) and PRO Agreement, and making minor corrections as listed below and in other reviews.

### **Comments:**

The Preliminary Site Plan was reviewed under the general requirements of Article 6, Low Density Multiple-Family Residential (RM-1) District, and Section 2400, the Schedule of Regulations of the Zoning Ordinance, and other sections of the ordinance, as noted. Items in **bold** need to be considered by the Planning Commission at the time of Preliminary Site Plan Review, and the underlined items addressed at the time of Final Site Plan Review:

- 1. Schedule of Regulations and RM-1 Lot Area requirement** The Site Plan does not demonstrate general compliance with Section 2400, the Schedule of Regulations, relating to building and parking setbacks, maximum building length, maximum pavement in the building setback areas and maximum building height and the lot area requirement in Section 602 for nursing homes located in the RM-1 district, but if the proposed deviations in the applicant's PRO proposal are approved by City Council these items will comply with the Ordinance requirements. The proposed building height and length, setbacks and overall lot design are very similar to the previously approved senior housing site plan. The proposed deviations to Section 2400 requirements are as follows:

Ordinance Section	Item	Requirement	Proposed
602(2)	Minimum lot area per nursing home bed	1,500 square feet	908 square feet
2400	Maximum building height	35 feet two stories	36 feet three stories
2400 footnote e.	Maximum amount of parking, loading area and driveways in required setback	30%	Over 30%
2400	Maximum Building Length	180 feet or up to 360 feet with increased setbacks	321.8 feet no increased setbacks (see below)
2400	Minimum Building Setback	Front east 122 feet Side north 75 feet Rear west 122 feet	East building 68.3 feet East canopy 42.5 feet North canopy 54.2 feet West building 37.7 feet
2400	Parking, Drives and Loading Area Setback	Front east 122 feet Side north 75 feet Rear west 20 feet	East 15.5 feet North 57.4 feet West 2.5 feet

**2. Parking Facilities** (Sections 2505, 2506 & 2509) The proposed use requires 87 parking spaces and the applicant has proposed 88 spaces. The applicant has proposed 9 foot wide 17, 17.5 and 19 feet deep parking spaces adjacent to 22 to 26 foot wide one-way and two-way drive aisles. The applicant is asked to consider reducing the depth of all spaces that overhang 7 foot or wider sidewalks and all spaces that overhang landscaping to 17 feet and to reduce the width of all adjacent two-way drive aisles to 24 feet in order to reduce the amount of impervious surface on the site. The north parking area is proposed with 70 degree parking spaces adjacent to a 22 foot wide one-way drive. The applicant is asked to consider a reduced drive width to reinforce the one-way nature of the drive

**3. Pedestrian Circulation** (Sections 2516 & 2700 & City Code 11-276) The applicant proposes to move the existing pathway along Novi Road to one foot inside of the proposed 60 foot half right-of-way and to provide a public sidewalk in the Fourteen Mile Road right-

of-way. All building entrances are adequately connected to a building perimeter sidewalk that is connected to the parking lot and to Fourteen Mile and Novi Roads. The applicant is asked to consider striping or using decorative paving to clearly delineate the walkways as they pass from under the building canopies and cross the parking lot driveways.

**4. Dumpster Enclosure** (Section 2503) Dumpster enclosures are required to be made of material that matches the principal building. The proposed enclosure is located in the rear yard with its doors facing Novi Road. Due to the narrowness of this lot, and the proposed location, the dumpster will be highly visible from Novi Road when the enclosure doors are open. The applicant is asked to consider relocated the enclosure to better screen the opening from Novi Road.

**5. Special Land Use Considerations** The Planning Commission in exercising its discretion over site plan approval should consider the following factors relative to other feasible uses of the site:

- Whether the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

## **6. Other Issues**

- **Planning and Lighting Summary Charts:** The applicant is asked to review other minor items in the attached Summary Charts and make corrections as noted.
- **Address** An **address must be assigned** before a building permit is issued. The Planning Division recommends filing an address application (available at <http://www.cityofnovi.org/Resources/Library/Forms/Bldg-AddressesApplication.pdf>) to the Community Development Department, at the time of submittal of a Final Site Plan, or as soon as possible prior to submittal for building permits.

**7. Response Letters** A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters and attached charts, is requested prior to the matter being reviewed by the Planning Commission. Additionally, a letter from the applicant is requested to be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above, in other review letters and with any conditions of Planning Commission approval.

Please contact Mark Spencer at (248) 735-5607 or [mspencer@cityofnovi.org](mailto:mspencer@cityofnovi.org) with any questions or concerns.

  
Prepared by Mark Spencer, AICP, Planner

Attachment: Planning Review Chart  
Lighting Chart



Item	Required	Proposed	Meets Requirements?	Comments
	(3) Min. 40 ft. building setback.  (4) Accessory buildings and uses customarily incident to any permitted use.	37.75 ft. . from west property line other setbacks exceed 40 ft.  Accessory pharmacy, clinic, beauty salon and physical therapy facilities to serve facility only	No  Yes	See more restrictive setback requirements listed below
Intent of District	Designed to provide sites for multiple-family dwelling structures, and related uses, which will generally serve as zones of transition between the nonresidential districts and major thoroughfares and freeways and lower-density Single-Family Districts.	Proposed building very similar in appearance to a multi-family apartment building	Yes	
Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	35 ft. two stories  Roof top appurtenances additional 5 ft.	<u>36 ft. three stories</u> no appurtenances proposed	No	Reduce height or seek City Council Waiver [applicant intends to seek waiver]
Building Length (Section 2400, footnote e)	180 ft. or up to 360 ft. if building setback increased 1 ft. for every 3 ft. building length when bordering a residential district or major thoroughfare	<u>321.87 ft. - requires additional setbacks that are not provided</u>	No	Reduce length or seek City Council waiver [applicant intends to seek waiver] See setback requirements below
Additional RM-1 Requirements (Section 2400, footnote e)	1. Must front on public or private road 2. Maximum 30% of setback areas parking, drives & loading area 3. Sidewalk connectivity 4. Minimum distance between buildings $S = LA + LB + 2(HA + HB)$ 5. Parking and drives must be located 25 ft. from walls of dwelling structure with openings	1. Fronts public road 2. Exceeds 30% 3. Provided One building 28 ft. to dwellings west of site	Yes  No  Yes  N/A  Yes	Redesign to provide additional area or seek City Council waiver [applicant intends to seek waiver]



Item	Required	Proposed	Meets Requirements?	Comments
	Parking and drives must be 20 feet from property or right-of-way line	15.6 ft. east side 57 ft. north side 2.5 ft. west side	No Yes No	Redesign to provide additional setback or seek City Council waiver [applicant intends to seek waiver]
Lot Coverage (Section 2400, footnote e)	Maximum 25%	12%	Yes	
<b>Building Setback</b>				
Front east (2400 & footnotes b, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(322-180 \times 0.33)+75 = 122$ ft.	<u>68.31 ft.</u> building <u>42.51 ft.</u> canopy	No	Redesign to increase setback or seek City Council waiver [applicant intends to seek waiver]
Side north exterior (2400 & footnotes b, c, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. – North frontage does not exceed 180 ft. – 75 ft. required	<u>54.21 ft.</u> covered porch 109.78 ft. main building	No	Redesign to increase canopy setback or seek City Council waiver [applicant intends to seek waiver]
Rear west (2400 footnotes b, c, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(322-180 \times 0.33)+75 = 122$ ft.	<u>37.73 ft.</u>	No	Redesign to increase setback or seek City Council waiver [applicant intends to seek waiver]
<b>Parking Setback</b>				
Front east (2400 footnote b & e)	75 ft. Must comply with building setback	<u>15.59 ft.</u>	No	Redesign to increase setback or seek City Council Waiver
Side north exterior (2400 footnote b & e)	75ft. Must comply with building setback	<u>57.44 ft.</u>	No	Redesign to increase setback or seek City Council Waiver
Rear west (2400 footnote b & e)	20ft.	30 ft parking spaces <u>2.5 ft.</u> parallel access drive	Yes/No	Redesign to increase setback or seek City Council Waiver
<b>Parking Requirements</b>				
Number of Parking Spaces (2505)	One per 4 beds and one for each employee  186 beds/4 = 47 parking spaces 40 employees = <u>87 spaces required</u>	88 provided	Yes	
Parking Space Dimensions and Maneuvering Lanes (2506 & 2509.c.2.i)	9 ft. x 19 ft. parking space dimensions and 24 ft. wide two-way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks	9 ft. x 17.5ft. and 9 ft. x 17 ft. 90 degree spaces and 9 ft. by 18 ft. 70 degree spaces provided – 24.5 to 26 foot wide two-way drives	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	and landscaping as long as detail indicates a 4" curb at these locations. Min. 22 ft. two-way drives permitted with no adjacent parking – min. 12 ft. one way drives permitted with no adjacent parking – required fire lanes must be min. 18 ft. wide.	adjacent to 90 degree parking and 22 ft. one-way drives adjacent to 70 degree parking spaces		
End Islands (Section 2506.13)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 ft. wide, have an outside radius of 15ft. , and be constructed 3 ft. shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.	Dimensions provided for most islands	Yes?	<u>Provide dimensions showing all islands at least 8 ft. wide, 15 ft. radius and 3 ft. shorter than parking spaces</u>
Barrier Free Spaces (Barrier Free Code)	4 barrier free spaces required: 3 standard barrier free, 1 van accessible.	6 barrier free spaces provided – 2 standard and 4 van accessible	Yes	<u>The Building Code may require at least one barrier free space close to the south entrance – Applicant is asked to review this issue with the Building Division</u>
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with a 5 ft. wide access aisle for standard barrier free spaces, and 8 ft. wide with an 8 ft. wide access aisle for van accessible space	Provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space	Provided	Yes	
Loading Spaces (Section 2507)	Five (5) square ft. per front foot of building up to a total area of three hundred sixty (360) square ft. per building	39 ft. x 35 ft. area provided (1,365 sq. ft.)	Yes	Consider providing "no parking loading zone" signs
Dumpster (Chapter II, Section 21-145)	Screen wall or fence required for all dumpsters, must be at	Enclosure exteriors match building - protective bollards	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
and Section 2503.2.F)	least five ft. in height, and provided on three sides. Enclosure to match building materials – Design must include protective features	provided		
Dumpster Enclosure (Sections 2503.2.F and 2520.1)	Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. It is to be located as far from barrier free spaces as possible. Enclosure to match building materials	Enclosure located over 20 ft. from property line	Yes	<u>Applicant may want consider locating enclosure so when doors are open the dumpster is not visible from roads</u>
Roof top equipment and wall mounted utility equipment (Section 2503.2.E.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	None Depicted	?	<u>Depict all roof top and wall mounted equipment if any</u>
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of <u>Preliminary Site Plan submittal</u>	Lighting plan submitted	Yes/No	<u>See Lighting Review Summary Chart</u>
Sidewalks (City Code Section 11-276(b))	A 5 ft. -8 ft. wide sidewalk shall be constructed along all major thoroughfares as required by the City of Novi's Pedestrian and Bicycle Master Plan.	5 ft. sidewalk proposed on Fourteen Mile Rd. 8 ft. pathway on Novi Rd.	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Sidewalks provided	Yes	
Pedestrian Connectivity (Section 2516.2.b (3) and 2700.2.h(4))	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval ... Whether the traffic circulation features within the site and	Connection provided  Applicant response letter indicates pedestrian driveway crossings will be striped	Yes	<u>Depict proposed striping of pavement where the pedestrian walkways cross the driveways</u>

Item	Required	Proposed	Meets Requirements?	Comments
	location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets			
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
Design and Construction Standards Manual	General layout and dimension of proposed physical improvements, showing the following: Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval		?	Contact Angie Pawlowski at 248- 735-5631 to schedule a meeting with the Committee
Development/ Business Sign	Signage if proposed requires a permit.	Sign proposed	Yes	For sign permit information contact Alan Amolsch in Neighborhood Services 248-347-0436.
<i>PRO Requirements (3402)</i>	Proposed more restrictive requirements or conditions.	Provided (see applicant's amended Planned Rezoning Overlay Petition letter dated August 28, 2008)	Yes	See Planning Review Rezoning 18.682 for discussion.
<i>PRO Requirements (3402)</i>	Describe each Zoning Ordinance deviation and why if the not	Deviations provided - Reasons in public interest provided (see	Yes	See Planning Review Rezoning 18.682 for discussion.

Item	Required	Proposed	Meets Requirements?	Comments
	granted would prohibit an enhancement of the development that would be in the public interest, and describe how the deviation would be consistent with the City's Master Plan and compatible with the surrounding area.	applicant's amended Planned Rezoning Overlay Petition letter dated August 28, 2008)		
<i>PRO Requirements (3402)</i>	Describe how an enhancement of the project area would be unlikely to be achieved or would not be assured in the absence of the use of a Planned Rezoning Overlay.	Provided (see applicant letter dated 8/4/08)	Yes	
<i>PRO Requirements (3402)</i>	Describe benefits which would reasonably be <u>expected to accrue from the proposal shall be balanced against, and be found to clearly outweigh the reasonably foreseeable detriments</u> thereof, taking into consideration reasonably accepted planning, engineering, environmental and other principles.	Provided (See applicant letter dated 8/5/08)	Yes	

Prepared by Mark Spencer, AICP (248) 735-5607

### Lighting Review Summary Chart

Project name                Maple Manor  
 Review Date:                August 27, 2008  
 Final Site Plan:            SP 08-09A  
 Plan Date:                    July 21, 2008

**Bolded items must be addressed at the time of Final Stamping Set**

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes/No	<b>See below</b>
Lighting plan (Section 2511.2.a.1)  Entrance Fixtures Required (2003 State Building Code Sec.10-06)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes/	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data ___ Fixture height <input checked="" type="checkbox"/> Mounting & design ___ Glare control devices ___  Type and color rendition of lamps <input checked="" type="checkbox"/> Hours of operation ___ Photometric plan <input checked="" type="checkbox"/>	Yes/No	<b>Provide fixture and photometric data for HD fixture and provide a note on the plan with hours of operation</b>
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted	Yes/No	<b>Last note may not be needed if hours of operation 24 hours</b>



Item	Required	Meets Requirements?	Comments
	<ul style="list-style-type: none"> <li>- Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.</li> </ul>		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> <li>- Parking areas- 0.2 min. <u>X</u></li> <li>- Loading and unloading areas- 0.4 min. <u>X</u></li> <li>- Walkways- 0.2 min. <u>X</u></li> <li>- Building entrances, frequent use- 1.0 min. <u>X</u></li> <li>- Building entrances, infrequent use- 0.2 min. <u>X</u></li> </ul>	Yes	
Maximum illumination at property line (Section 2511.3.k)	Max. 1.0 at non-residential property line	Yes	
Cut off Angles (Section 2511.3.i & m)	All cut off angles of fixtures must be 90 degrees – City may waive cutoff requirement when historic or decorative fixtures used	Yes	

Item	Required	Meets Requirements?	Comments
Abuts Residential (Section 2511.3.l)	Max fixture height 25' <del>X</del>  No direct light source shall be visible at the property line Max 0.5 foot candle at property line __	Yes/No	<b>Illumination exceeds 0.5 foot candles along west boundary</b>

**CONCEPT PLAN  
WETLANDS REVIEW**



Environmental Consulting & Technology, Inc.

2200 Commonwealth Blvd.  
Suite 300  
Ann Arbor, MI 48105  
(734) 769-3004  
FAX (734) 769-3164

September 8, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Maples Manor  
Wetland Review of the Preliminary Site Plan (SP#08-09A) - **REVISED**

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Maples Manor Preliminary Site Plan (Plan) including plan sheets prepared by Nowak & Fraus dated July 21, 2008 (Revised Per Site Plan Review). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the setback provisions in the Zoning Ordinance. ECT also visited the site on September 5, 2008.

#### **Existing Conditions**

The proposed development is located on a 4.66-acre site in Section 2 on the southwest corner of Fourteen Mile Road and Novi Road. The project includes the construction of a proposed three-story building, associated parking and utilities and an on-site stormwater detention basin. Three (3) areas labeled as existing wetland are indicated on the Plan (Sheet P-1, Topographic Survey). It appears as if at least the two (2) larger of these areas were previously-constructed as stormwater detention facilities. These are currently considered to be 'watercourses' by the City of Novi Wetland and Watercourse Ordinance. The third "wetland" area appears to be categorized as a non-essential wetland according to the City of Novi Wetland and Watercourse Protection Ordinance. In addition, none of these areas appear to be regulated by the MDEQ.

#### **Proposed Impacts**

The Plan appears to propose impacts to most, if not all, of the existing, on-site "wetland" areas. Although the Plan appears to graphically depict three areas of "wetland", these acreages still do not appear to be quantified. In addition, the Plan does not appear to quantify the proposed wetland/watercourse impacts (i.e. proposed impact area and volume of any proposed wetland cut or fill). Impacts also appear to be proposed within the 25-foot natural features setbacks (wetland/watercourse buffers). Currently, the boundaries of the 25-foot wetland setbacks are not shown on the Plan. These boundaries shall be indicated on the Plan and the wetland/watercourse buffer areas shall be quantified. Wetland/watercourse buffer impact quantities shall also be shown on the Plan (i.e., both impact area and proposed volume of cut or fill).

### **Comments and Conditions**

1. Any impacts (temporary or permanent) to the 25-foot wetland buffer will require a City of Novi Authorization to Encroach the 25-Foot Wetland Setback. ECT continues to ask that the wetland/watercourse and wetland/watercourse buffer impact areas and volumes be provided on the Plan for the purpose of permitting the proposed wetland (and watercourse)/wetland (and watercourse) buffer impacts.
2. The wetland/watercourse buffer (25-foot wetland/watercourse setback) boundaries still do not appear to be shown on the Plan. The overall wetland/watercourse and wetland/watercourse buffer existing area quantities and proposed impact area quantities are also not indicated on the Plan. Please review and revise the Plan as necessary. We recommend adding this additional information to Sheet P-1 (Topographic Survey) and any other suitable sheets.
3. It is ECT's understanding that during a 1999 site assessment, no wetlands were found on site and that the two watercourses that exist on site were excavated stormwater and or sedimentation basins. In addition, it is ECT's opinion that the existing stormwater storage function of these wetland areas can be mitigated for in a proposed storm water detention basin. After review of additional material submitted since the previous Plan review, ECT has concluded that the proposed impacts to the on-site wetland/watercourses do not appear to require an MDEQ wetland permit. While an MDEQ wetland permit does not appear to be necessary, a City of Novi Minor Use wetland/watercourse permit will be required for the project because the City of Novi Wetland Code defines the detention basins as watercourses and proposed impacts to watercourses require a permit. As stated in our June 19<sup>th</sup> review letter, we continue to ask that "wetland" and watercourse impact areas and fill volumes be provided for permitting purposes,

***If the proposed impacts are three hundred (300) cubic yards or less and not exceeding ten thousand (10,000) square feet in area then the permitting for these impacts can be handled administratively with a City of Novi Minor Use Permit. Should the proposed impacts exceed this area or volume, a NON-Minor Use permit would be required as well as approval from the City of Novi Planning Commission.***

4. Please provide details of the oil/gas separator structure and mechanical forebay structure that is to be used prior to the discharge of storm water into the proposed detention pond.
5. After review of additional material submitted since the previous Plan review, ECT has concluded that the proposed impacts to the on-site wetlands do not appear to require an MDEQ wetland permit.

### **Additional Comments**

1. The Applicant should provide a native wetland seed mix within the proposed detention basin. This will help to replace the existing functions of the on-site wetland and watercourse areas.

**Permits**

ECT believes the proposed project will require a City of Novi Minor Use Wetland Permit as well as a Natural Features Setback Authorization for proposed permanent impacts to the 25-foot wetland buffer.

It does not appear that a MDEQ wetland permit is necessary for this project.

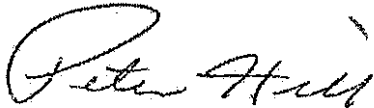
**Recommendation**

ECT recommends **conditional approval** of the Preliminary Site Plan for Maples Manor at this time, contingent upon satisfactory resolution of the above *Comments and Conditions*.

If you have any questions please contact our office

Respectfully,

**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**

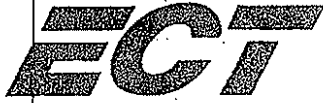


Peter F. Hill, P.E.  
Associate Engineer

cc: Angela Pawlowski, City of Novi Community Development (e-mail)  
Mark Spencer, City of Novi Community Development (e-mail)  
Alex Orman, Nowak & Fraus ([aorman@nowakfraus.com](mailto:aorman@nowakfraus.com))



**CONCEPT PLAN  
WOODLANDS REVIEW**



**Environmental Consulting & Technology, Inc.**

September 8, 2008

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Maple Manor  
Woodland Review of the Preliminary Site Plan (SP#08-09A)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Maples Manor Preliminary Site Plan (Plan) including plan sheets prepared by Nowak & Fraus dated July 21, 2008 (Revised Per Site Plan Review). The plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed development is located on a 4.66-acre site in Section 2 on the southwest corner of Fourteen Mile Road and Novi Road. The project includes the construction of a proposed three-story, 75,900 square feet convalescent home, associated parking and utilities, and an onsite stormwater detention basin.

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on Friday, September 5, 2008. The site does not contain regulated woodlands per the City of Novi Official Woodlands Map. ECT found that the *Topographic Survey Plan* (Sheet P-1) and *Tree Preservation Plan* (Sheet L1) accurately depict existing site conditions. The surveyed trees have been marked with the survey numbers in orange paint.

#### Plan Review

Although the Plan proposes the removal of 16 trees with dbh greater than or equal to 8 inches, ECT found that the majority of these trees are unregulated under the Woodland Protection Ordinance. The only trees that are regulated under the Ordinance Section 37-4(b) are landmark trees, trees with an overall d.b.h. of 36 inches or greater. These landmark trees include tree #'s 7, 12, and 14. Per the *Tree Preservation Plan* (Sheet L1) and *Landscape Plan* (Sheet L2), 40, 2.5-inch caliper replacement trees are required, all of which are to be planted onsite. However, since only three trees onsite are regulated, the number of required replacements is only 17, not 40. In general, it appears as if the Applicant is prepared to meet the requirements of the City of Novi Woodland Ordinance and tree replacement requirements but has not calculated the number of replacement trees correctly.

#### Revised Woodland Impacts

ECT suggests that the proposed Plan calls for the following impacts to onsite regulated trees:

- 8 total regulated stems (3 regulated trees) with 8-inch dbh or greater to be removed/impacted (tree #'s 7, 12, and 14)
- 17 replacement trees required (4 replacements for tree # 7, 5 replacements for tree # 12, and 8 replacements for tree # 14)

### Site Plan Compliance with Ordinance Chapter 37 Standards

The Plan appears to lack a couple of items necessary for compliance with the Site Plan standards. The following information must be provided in the Plan:

- Save vs. removal status information in the tree survey table on the *Topographic Survey Plan* (Sheet P-1).
- Correct number of regulated trees to be impacted (3) and required tree replacements (17) on the *Tree Preservation Plan* (Sheet L1) and *Landscape Plan* (Sheet L2).
- Clear labeling, location, and dimensions of private and public utilities and their associated easements, especially as it relates to the location of replacement trees onsite on the *Landscape Plan* (Sheet L2).
- Clear labeling of the trees to count as woodland replacement trees on the *Landscape Plan* (Sheet L2). These replacements must be indicated graphically so that location and spacing suitability can be better assessed. The Plant Schedule on Sheet L2 needs to be corrected to reflect the reduced number of replacement trees required and to clearly show the exact number of each species of tree to count as woodland replacements.

### Tree Replacement Plan

The *Landscape Plan* (Sheet L2) provides the proposed replacement locations onsite for 40 replacements. The Plan calls for river birch (*Betula nigra*), sweetgum (*Liquidambar styraciflua*), black hills spruce (*Picea glauca* 'Densata'), Colorado blue spruce (*Picea pungens*), Columbia plane tree (*Platanus x acerifolia* 'Columbia'), and redspire pear (*Pyrus calleryana* 'Redspire'). These trees are proposed at the southern end of the site along the parking lot and detention basin. Colorado blue spruce, Columbia plane tree, and redspire pear are not native to Michigan nor are they on the approved tree replacement list of species; these are not acceptable replacement species. The proportion of evergreens to deciduous replacement material is very high compared to the composition of species being removed. Also, please note that evergreen trees must be a minimum of 7 feet tall and each fulfills 0.5 tree replacement credits. ECT recommends that more native hardwood species are used instead, incorporating species found within regulated woodlands in the area such as bitternut hickory (*Carya cordiformis*), northern red oak (*Quercus rubra*), white oak (*Quercus alba*), swamp white oak (*Quercus bicolor*), bur oak (*Quercus macrocarpa*), black walnut (*Juglans nigra*), sugar maple (*Acer saccharum*), red maple (*Acer rubrum*), American basswood (*Tilia americana*), American beech (*Fagus grandifolia*), and ironwood (*Ostrya virginiana*). The diversity of proposed replacement tree species is commendable.

Many of the proposed replacement trees are located less than 10 feet from built structures and utilities and are spaced too close together. Woodland replacement trees should be set back at least 10 ft from buildings, walls, parking lots, and other built structures. The stormwater main and other utilities and structures will likely require ongoing maintenance that could disturb both the above- and belowground portions of the replacement trees. With the long-term viability of the trees in mind, woodland replacements should not be planted within 10 ft of overhead or belowground utilities or their associated easements. To allow room for maturation of the plant material, woodland replacement tree spacing should follow the criteria below:

- Large evergreen trees: 15 feet on-center minimum
- Large deciduous canopy trees (>40 feet tall): 35 feet on-center minimum
- Medium deciduous trees (20-40 feet tall): 30 feet on-center minimum
- Subcanopy deciduous trees (<20 feet tall): 20 feet on-center minimum

### Recommendation

ECT recommends conditional approval of the Preliminary Site Plan, contingent upon the Applicant addressing the missing information and corrections stated above in the Final Site Plan. Although the Applicant appears to be prepared to meet the requirements of the City of Novi Woodland Ordinance and the associated tree

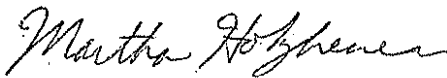
Ms. Barb McBeth  
September 8, 2008  
Page 3

replacement requirements, revisions are needed to the tree replacement calculations. Missing tree save vs. remove status information, utility and easement information, and revised replacement tree numbers, spacing, and location should be included. In consideration of the success of their establishment and long-term viability, replacement trees should not be planted within 10 feet of structures or utilities and their associated easements and should be spaced appropriately for mature tree size.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully,

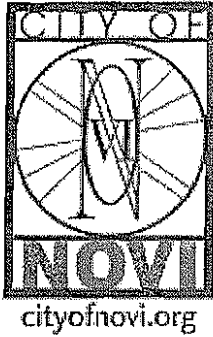
ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Martha Holzheuer, Certified Arborist  
Landscape Ecologist

cc: Angela Pawlowski, City of Novi Community Development  
Mark Spencer, City of Novi Community Development

**CONCEPT PLAN  
LANDSCAPE REVIEW**



## PLAN REVIEW CENTER REPORT

August 25, 2008

### Preliminary Landscape Review

Maple Manor 08-09A

#### Review Type

Preliminary Landscape Review

#### Property Characteristics

- Site Location: Novi Road / Fourteen Mile
- Site Zoning: RA
- Site Use(s): Health Care Facility
- Plan Date: 7/21/08

#### Professional Recommendation

Site Plan Approval of the preliminary site plan for Maple Manor of Novi SP#08-09A is recommended. The Applicant must receive one Planning Commission waiver as noted below.

#### Ordinance Considerations

##### Adjacent to Residential (Sec. 2509.3.a.)

1. The project site is adjacent to residential property to the west. A 4'6" to 6' tall landscaped berm is required. **The Applicant has proposed a 6' high masonry screen wall as allowed under the Ordinance with a Planning Commission waiver of the berm. Staff supports the waiver.** Please also note that the Applicant has proposed softening the wall from the neighboring residential through the use of upright evergreen shrubs.

##### Adjacent to Public Rights-of-Way – Berm (Wall) and/or Buffer (Sec. 2509.3.b.)

1. Berms are required along both right-of-ways. Adjacent to parking or access drives (Novi Road), the berm must be 2' high with a 3' crest and placed in a 20' greenbelt. Areas not adjacent to parking (Fourteen Mile) require a berm 4' high with a 4' crest and placed in a 34' wide greenbelt. The Applicant has provided landscape berms meeting these requirements.
2. Right-of-way planting requirements have been met.
3. Twenty five foot clear vision areas have been provided as required.
4. Additional shrubs and perennials have been added along the berms in order to meet opacity requirements.
5. Berm cross sections have been provided as required.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. Street Trees have been provided as required. Sub-canopy trees are acceptable for use under the overhead utility locations.

##### Parking Landscape (Sec. 2509.3.c.)

1. A total of 3,370 SF of interior parking landscape area is required. This requirement has been met.



2. A total of 50 Parking Lot Canopy Trees are required and have been provided.
3. Please depict areas for snow storage on the plans.

**Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))**

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. This requirement has been met.

**Building Foundation Landscape (Sec. 2509.3.d.)**

1. The minimum 4' bed has been shown at all building foundation locations with the exception of access areas.
2. The Applicant has exceeded the requirement for Building foundation area landscape.

**Storm Basin (LDM)**

1. A total of 70% to 75% of the basin rim area must be landscaped with large native shrubs.
2. The bottom of the basin will be seeded with appropriate native seed mix as required.

**Loading Area**

1. The Loading Area has been located to the rear of the building and appropriately screened.

**Plant List (LDM)**

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

**Planting Details and Notations (LDM)**

1. The Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. An Irrigation Plan and Cost Estimate are required.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

  
David R. Beschke, RLA

**Landscape Review Summary Chart**

**Date: September 8, 2008**

Project Name: Maple Manor of Novi  
 Project Location: Novi Road  
 Sp #: 08-09  
 Plan Date: 7/21/08  
 Review Type: Preliminary Landscape Plan  
 Status: **Approval recommended with appropriate waiver.**

Item	Required	Proposed	Meets Requirement	Comments
Name, address and telephone number of the owner and developer or association.(LDM 2.a.)	Yes	Yes	Yes	Include on plan sheets.
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	Include on plan sheets.
Legal description or boundary line survey.(LDM 2.c.)	Yes	Yes	Yes	Include on plan sheets.
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	Include on plan sheets.
A landscape plan 1"-20' minimum. Proper North. (LDM 2.e.)	Yes	Yes	Yes	
Consistent Plans throughout set.	Yes	Yes	Yes	All plan sheets much match.
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	Yes	Yes	Provide proposed contours at 2' interval for the entire site.
Existing plant material. (LDM 2.e.(2))	Yes	Yes	Yes	Show location type and size. Label to be saved or removed. Plan shall state if none exists.
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	Identify all, including perennials.
Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W. (LDM 2.e.(4))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))	Yes	Yes	Yes	
Clear Zone (LDM 2.3.(5) - 2513)	Yes	Yes	Yes	
Zoning (LDM 2.f.)	Yes	Yes	Yes	Include all adjacent zoning.
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Requires original signature.
<b>Plant List (LDM 2.h.) – Include all cost estimates.</b>				
Quantities	Yes	Yes	Yes	
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper. Sub-Canopy trees must be 2.5" in caliper.
Root	Yes	Yes	Yes	
Type and amount of mulch	Yes	Yes	Yes	Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.

Item	Required	Proposed	Meets Requirement	Comments
Type and amount of lawn	Yes	Yes	Yes	Include in cost estimate.
Acceptable species	Yes	Yes	Yes	Per the Landscape Design Manual.
Diversity	Yes	Yes	Yes	Max. 20% Genus, 15% Species.
<b>Planting Details/Info (LDM 2.i.) – Utilize City of Novi Standard Details.</b>				
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
<b>Transformers (LDM 1.e.5.)</b>	<b>Yes</b>	<b>Yes</b>	<b>No</b>	<b>Show locations and provide 24" clear of plantings on all sides.</b>
Cross-Section of Berms (LDM 2.j.)	NA			Provide all proposed dimensions.
ROW Plantings (LDM 1)	Yes	Yes	Yes	Include required calculations.
<b>Walls (LDM 2.k.)</b>	<b>Yes</b>	<b>Yes</b>	<b>Yes/No</b>	<b>Planning Commission waiver required.</b>
<b>Landscape Notations – Utilize City of Novi Standard Notes.</b>				
Installation date (LDM 2.i.)	Yes	Yes	Yes	Provide intended date.
Statement of intent (LDM 2.m.)	Yes	Yes	Yes	Include statement of intent to install and guarantee all materials for 2 years.
Plant source (LDM 2.n.)	Yes	Yes	Yes	Indicate Northern grown nursery stock.
Miss Dig Note (800) 482-7171	Yes	Yes	Yes	All plan sheets.
Mulch type.	Yes	Yes	Yes	Natural color, shredded hardwood mulch.
2 yr. Guarantee	Yes	Yes	Yes	
Approval of substitutions.	Yes	Yes	Yes	City must approve any substitutions in writing prior to installation.
Tree stakes guy wires.	Yes	Yes	Yes	No wire, hose or <i>plastic</i> .
Maintenance	Yes	Yes	Yes	Include a minimum of one cultivation in June, July and August for the 2-year warranty period.
Car Parking (Landscape) Setback (2400)	Yes	Yes	Yes	
<b>Parking Area Landscape Calculations (LDM 2.0.)</b>				
A. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			$A = 14535 \times 10\% = 1453 \text{ sf}$
B. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district	Yes			$B = 45546 \times 5\% = 2277 \text{ sf}$
C. For : OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special	NA			$C = \times 1\% = \text{sf}$

Item	Required	Proposed	Meets Requirement	Comments
Land Use or non-residential use in any R district				
A. For: I-1 and I-2 Landscape area required due to # of parking spaces	NA			A = 7% x = SF
B. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			B = 2% x = SF
C. For: I-1 and I-2 Landscape area required due to vehicular use area	NA			C = 0.5% x = SF
Total A, B and C above = Total interior parking lot landscaping requirement	Yes	Yes	Yes	3730 SF required; 7232 SF provided.
Parking lot tree requirement	Yes	Yes	Yes	50 trees required and provided.
Perimeter greenspace Plantings	Yes	Yes	Yes	Perimeter trees provided at 1 per 35 LF.
<b>Parking Lot Plants</b>				
Max. 15 contiguous space limit	Yes	Yes	Yes	
Parking Land Banked	NA			
Interior Landscape requirements (LDM.2.p.)	Yes	Yes	Yes	
<b>Snow Deposit (LDM.2.q.)</b>	<b>Yes</b>	<b>Yes</b>	<b>No</b>	<b>Depict adequate areas on plan.</b>
Soil Type (LDM.2.r.)	Yes	Yes	Yes	Per USDA or borings.
<b>Irrigation plan (LDM 2.s.)</b>	<b>Yes</b>	<b>Yes</b>	<b>No</b>	<b>Provide irrigation plan with final site plan.</b>
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes	Include final estimate of irrigation system at Final Site Plan submittal.
<b>Residential Adjacent to Non-residential</b>				
<b>Berm requirements met (2509.3.a.)</b>	<b>Yes</b>	<b>Yes/No</b>	<b>Yes/No</b>	<b>Waiver required and supported.</b>
Planting requirements met (LDM 1.a.)	Yes	Yes	Yes	
<b>Adjacent to Public Rights-of-Way</b>				
Berm requirements met (2509.3.b.)	Yes	Yes	Yes	
Planting requirements met (2509.3.b.- LDM 1.b.)	Yes	Yes	Yes	
Street tree requirements met (2509.3.b)	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			
<b>Subdivision requirements</b>				
R.O.W. and Street Trees (2509.3.f - LDM 1.d))	NA			

Item	Required	Proposed	Meets Requirement	Comments
Single Family	NA			
40 wide non-access greenbelt				
Street Trees				
Islands and boulevards				
Multi family	NA			
Condo Trees				
Street trees				
Foundations plantings				
Non-Residential	NA			
Interior street trees				
Evergreen shrubs				
Subcanopy trees				
Plant massing				
Basin plantings				
Loading Zone Screening (2507)	Yes	Yes	Yes	Located to rear of build & adjacent to same zoning.
Landscape Wall or Berm for OST loading zone screening (2302.A)	NA			
Wildlife Habitat Area (Wildlife Habitat Master Plan Map)	NA			
Subdivision Ordinance Appendix C - ROW Buffer Non-Access Greenbelt (402.B3, 403.F)	NA			
Subdivision Natural Features (403.C) Man-made Bodies of Water (403.D) Open Space Areas (403.E)	NA			

### **Financial Requirements Review**

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 155,207.25			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 2,3328.10			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

### **Financial Requirements (Bonds & Inspections)**

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 149,607.25		Does not include street trees. Includes irrigation (estimated).
Landscape Financial Guaranty	YES	\$ 224,410.87 (150%)		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 8,976.43		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater.  This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 1,346.46		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500 (To be verified).		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	YES	\$ 15,600		\$400 per tree – Contact City Forester for Details
Street Tree Inspection Fee	YES	\$ 936		6% of the Street Tree Bond as listed above. – Contact City Forester for Details
Street tree Maintenance Fee	YES	\$ 975		\$25 per trees – Contact City Forester for Details
Landscape Maintenance Bond	YES	\$ 14,960.72		10% of verified cost estimate due prior to release of Financial Guaranty (initial permit received after October 2004)



NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 2509, Landscape Design Manual and the appropriate items under the applicable zoning classification.
2. NA means not applicable.
3. Critical items that must be addressed are in bold.
4. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.
5. For any further questions, please contact:

David R. Beschke, RLA  
City of Novi Landscape Architect  
45175 W. Ten Mile Road  
Novi, Michigan 48375-3024  
(248) 735-5621  
(248) 735-5600 fax  
dbeschke@cityofnovi.org

**CONCEPT PLAN  
TRAFFIC REVIEW**

September 8, 2008

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375



**SUBJECT: Maples Manor Preliminary Site Plan, SP#08-09A, Traffic Review**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments. Items to be resolved on future submittals are highlighted in bold font.

### Recommendation

We recommend approval of the preliminary site plan, subject to the issues highlighted below being satisfactorily addressed on the final site plan. The applicant has made a number of revisions to the conceptual plan submitted as part of the PRO application that address the bulk of the concerns we noted in our letter dated June 6, 2008. A number of our comments below describe the revisions made to the preliminary site plan.

### Project Description

What is the applicant proposing?

1. The applicant, J.S. Evangelista Development, L.L.C., proposes to construct a three-story convalescent home on a 4.66-acre on the southwest corner of 14 Mile Road and Novi Road. Our understanding is that the facility will include 93 resident rooms and 184 beds. The proposed development includes three commercial driveways: two on the west side of Novi Road and one, exit-only driveway on the south side of 14 Mile Road.

### Traffic Study

Was a study submitted and is it acceptable?

2. No traffic impact assessment has been submitted. As stated in our June 3 review letter, we recommend that the Planning Commission waive the requirement for a traffic impact assessment. The City's Site Plan and Development Manual lists three possible factors to be considered by the Planning Commission when considering a waiver of a traffic impact study, one of which is "A similar traffic study was previously prepared for the site and is still considered applicable." Planning Commission can make a determination that the findings of the 1999 traffic study approved for the entire Maples PUD are applicable for the site plan proposed.

**Trip Generation**

How much traffic would the proposed development generate?

- Table I forecasts the number of driveway trips potentially generated by the proposed development, based on rates published by the Institute of Transportation Engineers (ITE). A trip is a one-directional vehicle movement into or out of the site.

Table I. Trip Generation Forecast

Land Use	ITE Code	Size	Weekday Trips	AM Peak-Hour Trips			PM Peak-Hour Trips		
				In	Out	Total	In	Out	Total
Nursing Home	620	184 Beds	429	21	10	31	17	23	40

**Vehicular Access Locations**

Do the proposed driveway locations meet City spacing standards?

- The proposed northerly driveway on the west side of Novi Road has been relocated on the preliminary site plan in order to meet the spacing standards of the City's Design and Construction Standards (Section 11-216.d.1.d). The driveway is now 185 feet (measured near-edge to near-edge) from the south side of 14 Mile Road, as required based on the 40 mph speed limit on this section of Novi Road. The revised driveway locations meet all other driveway spacing requirements, including spacing from existing commercial driveways on the east side of Novi Road.
- As stated in our previous review, the proposed exit/right-turn only driveway on 14 Mile Road is greater than 200 ft west of Novi Road, and therefore meets the City's minimum same-side driveway spacing standard as well (14 Mile also has a 40-mph speed limit).
- Preliminary site plan now shows a maintenance access drive to the proposed detention basin on the west side of Novi Road. Our preference would be to avoid another new curb cut on Novi Road, but the need for a retention wall along the north side of the detention basin likely precludes the possibility of locating the drive on the south side of the parking lot.

**Vehicular Access Improvements**

Will there be any improvements to the public road(s) at the proposed driveway(s)?

- Traffic will enter the site only from Novi Road. With respect to the modest volumes of vehicles slowing to enter the site (per Table I), through traffic will benefit from the existence of both a center left-turn lane and two southbound through lanes. We do not recommend any new lanes or tapers on Novi Road.

### Driveway Design and Control

Are the driveways acceptably designed and signed?

8. The drives on Novi Road are shown a City-standard width of 30 ft. The proposed entering and exiting curb return radii for these drives, all 30 ft, exceed the City standard of 20 ft; however, per the footnote for DCS Fig. IX.1, we recommend that the City accept the proposed larger radii given the traffic volumes and speeds on Novi Road.
9. Relative to the previously proposed design, the one-way driveway on 14 Mile Road has been widened and angled slightly to the east. The drive approach is now dimensioned 21 feet wide (one foot wider than permitted by DCS Figure IX.2), and the widest part of the drive (measured at 90 degrees to the west curb at the start of the 2-foot radius) is about 24 feet (the 20-foot dimension on the plan is incorrect). We recommend that the back-of-curb to back-of-curb width of this drive and its approach be a uniform 20 feet, the maximum width permitted by the City's Design and Construction Standards. Based on our evaluation of truck maneuvering requirements, such a design will accommodate the largest vehicle likely to use this driveway.
10. The signage plan for the one-way driveway has been revised per our June 3 review letter.

### Pedestrian Access

Are pedestrians safely and reasonably accommodated?

11. The preliminary site plan site plan shows the revised pavement striping for the crosswalks across the west and south approaches to the Novi Road/14 Mile Road intersection to accommodate the new/reconstructed pathways along both roads. The applicant's response letter states that the existing STOP bars at the west and north approaches are located such that they can remain in their current locations. The STOP bars should be shown on the final site plan.
12. The location of all barrier-free ramps have been included on the preliminary plan as discussed in our June 3 letter.

### Circulation

Can vehicles safely and conveniently maneuver through the site?

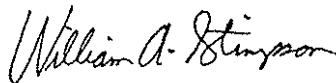
13. As noted on our letter dated June 3, maneuvering aisles on the south side of the proposed parking lot are shown as wide as 26 ft in places. To reduce the amount of impermeable surface without impeding good circulation, all two-way maneuvering aisles should maintain a width of 24 ft (measured to face-of-curb where applicable). Applicant's response letter dated August 4 states that the wide maneuvering lanes are necessary for truck circulation; unless this can be demonstrated graphically on the site plan by the applicant's engineer, we continue to recommend that the aisles be narrowed to the City standard. Generally, curb radius adjustments are more effective at accommodating large vehicle circulation than the use of overwidth aisles.

14. The parking stalls along the one-way aisle north of the building have been revised satisfactorily as angled spaces, consistent with Section 2506 of the Zoning Ordinance.
15. Preliminary site plan includes the additional signing for the one-way drive operation as recommended in our letter dated June 3.

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP  
Vice President



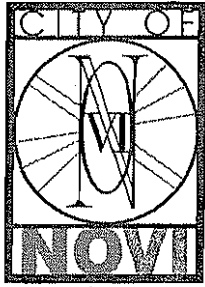
William A. Stimpson, P.E., PTOE  
Director of Traffic Engineering



David R. Campbell  
Senior Associate

**CONCEPT PLAN  
ENGINEERING REVIEW**





cityofnovi.org

## **PLAN REVIEW CENTER REPORT**

September 8, 2008

### **Engineering Review**

Maple Manor of Novi

SP #08-09A

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#### **Petitioner**

J.S. Evangelista Development, LLC

#### **Review Type**

Preliminary Site Plan

#### **Property Characteristics**

- Site Location: Southwest corner of Novi Road and Fourteen Mile
- Site Size: 4.7 acres
- Plan Date: July 21, 2008

#### **Project Summary**

- Construction of a three-story, 75,900 square-foot building and associated parking. Site access would be provided by two access points on Novi Road and one right-out-only access point on Fourteen Mile.
- Water service would be provided by a connection to the existing on-site water main. A 2-inch domestic lead and an 8-inch fire lead will be provided to serve the building. Two new hydrants are proposed and one is to be relocated. Approximately 100 feet of new water main is proposed.
- Sanitary sewer service would be provided by an 8-inch extension from the existing 8-inch sanitary along the south side of 14 Mile.
- Storm water would be collected by a single storm sewer collection system and routed to an on-site detention basin sized for the 100-year storm. A permanent pool within the basin is proposed for storm water pretreatment. The basin would discharge at controlled rates to the Novi Road storm sewer system.

#### **Recommendation**

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Label the master planned 60-foot half right-of-way width for Fourteen Mile Road on all relevant plan sheets. If it is the intent to dedicate the additional right-of-way to the master planned width along Fourteen Mile, label the new delineation as "proposed" right-of-way.
2. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. It could not be located in the information submitted.
3. Provide sight distance measurements for the southern Novi Road entrance in accordance with Figure VIII-E of the Design and Construction Standards. Currently, the plans only show sight distance measurements for the northern entrance.
4. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-embedded detectable warning plates, or equal, and shall be approved by the Engineering Department. Stamped concrete will not be acceptable.

Water Main

5. The response letter indicates the Liber and Page is provided for all existing water main easements, but this information could not be located on the plans.

Sanitary Sewer

6. If feasible, shift the sanitary sewer monitoring manhole to the north side of the sidewalk to avoid the need for an additional easement outside the road right-of-way.
7. Provide a sanitary sewer basis of design for the development on the utility plan sheet.

Storm Sewer

8. Show and label the roof conductors, and show where they tie into the storm sewer.

Storm Water Management Plan

9. Provide release rate calculations for all three design storm events (first flush, bank full, 100-year).
10. Provide the volume of the permanent pool (minimum first flush volume).
11. Provide a 4-foot sump and oil/gas separator in the last storm structure prior to discharge to the basin.
12. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
13. The grass paver access should stop at the sidewalk since this type of access is not typically provided within the basin itself. Grass paver access should be provided along the access easement shown between the parking lot and the basin.

14. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
15. Label the low water, high water and freeboard elevation of the basin on the utility plan and Storm Water Management Plan. Also include the first flush and bankfull elevations on the Storm Water Management Plan.
16. The runoff coefficient for post-construction lawn area shall be a minimum of 0.35 per Chapter 5 of the Engineering Design Manual.
17. If the permanent water surface elevation within the basin is at 946, the 4-foot wide safety shelf should be at 945 (currently shown at 946).

Paving/Grading

18. The right-of-way sidewalk shall continue across each drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.

**The following must be submitted at the time of Final Site Plan submittal:**

19. A letter from either the applicant or the applicant's engineer must be submitted with the preliminary site plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

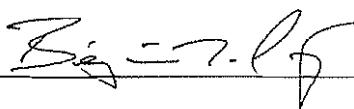
21. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
22. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
23. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

24. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for work within the right-of-way of Novi Road and 14 Mile must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
27. A permit for work within the right-of-way of 14 Mile must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
28. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
29. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
30. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
31. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
32. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
33. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
34. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Benjamin Croy, PE at (248) 735-5635 with any questions or concerns.



cc: Rob Hayes, City Engineer  
Mark Spencer, Community Development Department  
Tina Glenn, Water & Sewer Dept.

**CONCEPT PLAN  
FAÇADE REVIEW**

# METCO SERVICES, INC.

ENGINEERS, ARCHITECTS, & SURVEYORS

23917 Cass St. • Farmington • Michigan • 48335 • (248) 478-3423 • Fax (248) 478-5656

September 8, 2008

City of Novi Planning Department  
45175 W. 10 Mile Rd.  
Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Deputy Director Community Development

Re: FACADE ORDINANCE – Preliminary Site Plan Review  
**Maples Manor (SP08-09)**  
Façade Region: 1 (10 Mile Road)  
Zoning District: R-4  
Size: **1 New Building, 3-stories – 61,583 Sq. Ft.**

Dear Ms. McBeth:

The following is the Façade Review for preliminary site plan review regarding the drawings prepared by Progressive Associates, Inc., dated June 17, 2008 for compliance with Novi Ordinance 2520; the Façade Ordinance. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column. Materials that exceed the maximum percentage allowed by the Ordinance are highlighted in bold and marked with an "X".

Drawings Dated 6-17-08	FRONT FAÇADE	REAR FAÇADE	SIDE FAÇADES	INTERIOR FAÇADES	ORDINANCE MAXIMUM
BRICK	35%	50%	52%	50%	100% (30% MIN)
STONE	15%	0%	5%	0%	50%
CEMENT FIBER TRIM/SIDING	<b>20%X</b>	<b>16%X</b>	<b>17%X</b>	<b>15%X</b>	0%
ASPHALT SHINGLES	<b>30%X</b>	<b>34%X</b>	<b>26%X</b>	<b>35%X</b>	25%

#### Comments:

1. The percentage of Cement Fiber Trim and Siding exceeds the ordinance maximum on all facades. The percentage of Asphalt Shingles exceeds the ordinance maximum on all facades.
2. We would point out that in a previous submittal for this project, gable roofs and balconies were indicated on the rear façade. We recommended at that time that that design exhibited better massing and proportion. The applicant has chosen not to incorporate the gable roofs and balconies.
3. The drawings indicate that the trash enclosure and 4'-6" screen wall will be composed of poured concrete with simulated brick pattern. This material is prohibited in façade region 1. Dumpster enclosure walls should match the (brick) building.
4. The intent of the façade ordinance paragraph 2520.3 entitled Roof Appurtenances is to provide screening for all HVAC and utility fixtures that are within public view. This applies to ground and wall mounted fixtures. We would point out that the applicant will be required to indicate locations and methods of screening of such items prior to final approval. Screening materials must be consistent with the building's façade materials (brick).

5. The City of Novi requires a Façade Inspection for all projects. The inspection will use the actual material sample board, approved by the Planning Commission, to check it against the actual materials delivered to the site. A materials sample board is required for this project showing the exact material selections to be used with regards to the facades.

**Recommendations:**

1. On the rear façade cement fiber siding (James Hardie Siding) is used only on walls which are inset from adjacent projecting bays and as such are substantially concealed from view. The use of this material is consistent with the overall design and massing of the building. Therefore, a Section 9 Waiver is recommended for the use of cement fiber siding on the rear elevation.
2. On all facades the use of cement fiber trim around windows and projecting bays is consistent with the design and massing of the building and generally enhances the overall design. Therefore, a Section 9 Waiver is recommended for the use of Cement Fiber Trim.
3. With respect to the excessive percentage of asphalt shingles, we would recommend a Section 9 Waiver contingent upon the applicant incorporating design elements to mitigate the visual effect of the large expanse of shingles. We would suggest that this could be accomplished by adding the gable roof mentioned in comment number 2 above, and adding decorative dormer windows on the front and rear facades.

**It is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and a Section 9 Waiver is recommended, contingent upon the addition of decorative dormer windows on the front and rear facades, or other equal method of mitigating the expanse of asphalt shingles suitable to the Planning Commission.**

If you have any questions regarding this matter, please contact me at your convenience.

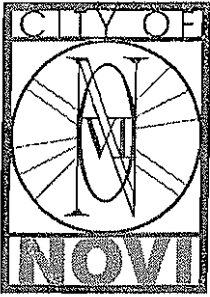
Sincerely,  
Metco Services



Douglas R. Necci AIA

**CONCEPT PLAN  
FIRE REVIEW**





**CITY COUNCIL**

Mayor  
David B. Landry

Mayor Pro Tem  
Kim Capello

Bob Gatt

Terry K. Margolis

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Dave Staudt

**City Manager**  
Clay J. Pearson

**Fire Chief**  
Frank Smith

**Deputy Fire Chief**  
Jeffrey Johnson

September 5, 2008

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Maples Manor, Novi Rd. & Fourteen Mile Rd., southwest corner

SP#: 08-09A, Preliminary Site Plan (Revised Conceptual/PRO)

**Project Description:**

3 story, 75,965 S.F., 100 bed Assisted Living facility with 4 Critical Care Beds

**Comments:**

The items noted in my June 17<sup>th</sup> letter have been addressed with the following exceptions that shall be corrected with their plan submittal.

3. The location where the fire protection and domestic water mains enter the building shall be reconsidered. As proposed, they will be installed under the building for the entire width to the mechanical room in the rear. The leads should enter from the west side to the mechanical room.  
***The applicant has replied that the water service and the fire line locations have remained unchanged. According to NFPA 24, Standard for the Installation of Private Fire Service Mains, Section 10.6.1: Pipe shall not be run under buildings. This issue needs to be addressed.***
  
5. The fire hydrant proposed at the southwest corner of the building shall be relocated 100' north or another hydrant shall be added at the northwest corner.  
***This hydrant was relocated as requested however is appears to be situated too far off of the road. It shall be at least 10' but not more than 15' from back of curb.***  
***DCS 11-68 (f)(1)a***

**Recommendation:**

The plan is **Recommended for Approval** with the above items being corrected on the next plan submittal.

Sincerely,

Michael W. Evans  
Fire Marshal

cc: file

**Novi Fire Department**  
42975 Grand River Ave.  
Novi, Michigan 48375  
248.349-2162  
248.349-1724 fax

cityofnovi.org

**CONCEPT PLAN  
APPLICANT RESPONSE LETTER(S)**

September 17, 2008

City of Novi  
Planning Commission  
45175 West 10 Mile Road  
Novi, Michigan 48375

Attention: Mr. Mark Spencer, Planner

Re: **Preliminary Site Plan Review SP#08-09**  
**Maple Manor of Novi**  
Novi Road & 14 Mile Road  
N&F Job No. F197

Dear Sirs:

The following letter is a response to the various departmental review comments pertaining to the above noted project. The responses are in order of the review letters received. Any indicated changes will be reflected in the Final Site Plan submittals, as is customary for the City of Novi.

**Planning Review of PSP and Special Land Use Permit – September 5, 2008**

1. The plans will be revised to reflect painted crosswalks to delineate the walkways that pass under the building canopies and cross the parking lot driveways.
2. After reviewing an alternate orientation for the dumpster, the applicant has concluded to propose the location and orientation to remain as indicated on the submitted plans.
3. Any outstanding parking island dimensions will be included with the Final Site Plan submission.
4. The applicant will include the suggested “No Parking Loading Zone” signs with the Final Site Plan submission.
5. No roof top or wall mounted units have been depicted since no such units are being considered. It is anticipated that any mechanical units will be located within the courtyard of the loading/unloading area. There is sufficient space and the location is screened from public view.
6. Enclosed please find a completed “Project and Street Name Request Form” for review. The proposed project name is “Maple Manor Rehab Center of Novi.”

**Lighting Review – August 27, 2008**

1. Photometric data for HD fixture will be provided with the Final Site Plan submission.
2. The proposed convalescent facility will be continually staffed, 24 hours a day, seven days per week. Therefore, it can be inferred that the hours of operation will be 24 hours. This will be noted in the Final Site Plan submission.
3. The lighting design will be revised to ensure the 0.6 through 0.8 fc illumination levels fall within the 0.5 fc maximum requirement. These changes will be included in the Final Site Plan submission.

4.

**Environmental Consulting & Technology, Inc. (Wetland Review) – September 8, 2008**

1. The buffer impact areas and water course fill volumes have been provided to the Planning Department in an email correspondence. The fill volume is approximately 2,580 cubic yards. The 25' buffer area that would be removed as a result of filling the detention pond would be approximately 23,990 square feet. This information will be added to the plans for the Final Site Plan submission.
2. The required impact areas and buffer areas will be depicted on the Final Site Plan submission.
3. We understand that there are three watercourse impact areas that are of concern. The westernmost area is 0.02 acres. The southernmost area is 0.16 acres and the third area is 0.40 acres. This information, along with the fill volume(s) will be included in the Final Site Plan submission for permitting purposes.
4. Construction details of the proposed oil/gas separator structure and mechanical forebay will be provided with the Final Site Plan submission.

**Environmental Consulting & Technology, Inc. (Woodland Review) – September 8, 2008**

Please refer to the enclosed letter by Mr. George A. Ostrowski, Jr., RLA, dated September 17, 2008.

**Preliminary Landscape Review – August 25, 2008**

Please refer to the enclosed letter by Mr. George A. Ostrowski, Jr., RLA, dated September 17, 2008.

**Birchler Arroyo Associates, Inc. – Traffic Review – June 6, 2008**

1. The back-of-curb to back-of-curb width for the one-way exit approach will be revised from 21-feet to 20-feet in the Final Site Plan submission.
2. The existing stop bar pavement markings for both 14 Mile Rd. and Novi Rd. will be depicted on the Final Site Plan submission to substantiate the information forwarded in our letter of August 4, 2008.
3. A truck circulation plan will be included in the Final Site Plan submission to substantiate the need for wider maneuvering lanes than the City of Novi minimum lane widths.

**Engineering Review – June 18, 2008**

As stated by the engineer, the comments provided will be addressed with the Final Site Plan submission. All construction drawings will conform to City of Novi Engineering requirements.

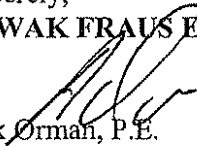
**Facade Ordinance – Metco Services, Inc. – June 20, 2008**

Please refer to the enclosed letter from Progressive Associates, Inc.

City of Novi - Planning Commission  
Re: Site Plan Review SP#08-09  
Maple Manor of Novi  
September 17, 2008  
Page 3 of 3

We trust the above satisfactorily address the comments and concerns of the departmental reviews, and look forward to discussing these matters at the next available Planning Commission meeting.

Sincerely,  
**NOWAK FRAUS ENGINEERS**



Alex Orman, P.E.  
Senior Associate

Encl. (3)

c.c. Mr. Marcus Evangelista, Maple Manor Rehab Center, 39999 Venoy Rd., Wayne, MI 48184

September 17, 2008

City of Novi  
Planning Commission  
45175 West 10 Mile Road  
Novi, Michigan 48375

Attention: Mr. Mark Spencer, Planner

Re: **Landscape and Woodland Review SP#08-09**  
**Maple Manor of Novi**  
Novi Road & 14 Mile Road  
N&F Job No. F197

Dear Sirs:

The following letter is in response to the landscape review comments dated September 10, 2008, pertaining to the above noted project.

**Landscape Review** (dated 0825/08)

1. Although electrical transformers are not shown, it is anticipated that any such additional mechanical equipment will be located within the service court area located at the northwest portion of the building. In the event that a transformer is located outside this screened area, all screening will comply with the City of Novi requirements.
2. Areas for snow deposition have already been identified on the plan, keyed with a triangle to depict pile areas. These locations will be coordinated with maintenance personnel.
3. An irrigation plan will be prepared upon approval of the preliminary site plan.

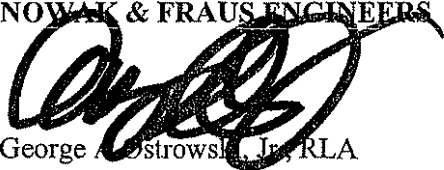
**Woodland Review** (dated 09/08/08 per ECT)

1. Calculations for tree removals and replacement will be corrected to reflect those in the review letter by ECT, when submitted for final site plan approval. As noted in the review letter the change does not impact the overall completeness of the plan.

We believe that the aforementioned revisions address the comments and concerns of the departmental reviews, and look forward to discussing the matter at the next available Planning Commission meeting.

Sincerely,

**NOWAK & FRAUS ENGINEERS**



George Ostrowski, Jr., RLA  
Associate

NOWAK & FRAUS, PLLC

**Progressive**  
**Progressive Associates, Inc.**  
**Architects**

September 17, 2008

Mr. Mark Spencer, AICP  
Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

RE: Maple Manor of Novi  
SP No 08-09A

Dear Mr. Spencer:

The following response is offered pursuant to the Façade Review prepared by Mr. Douglas R. Necci, AIA, METCO Services, Inc. dated September 8, 2008.

1. Façade elevations will be modified to add "brick projections/building offsets" with gable roof details. The intent is to reduce the amount of cement-fiber siding and trim and visible asphalt shingles that would occur with the use of "hip roof" details.  
(Note: See attached elevation sketches)

The proposed "projections" will also aid in mitigating the mass of the building and enhance the overall design.

Further, we would anticipate that the overall cement-fiber siding/trim will be reduced by 10-15% and the visible asphalt shingle façade will be reduced by approximately 10%.

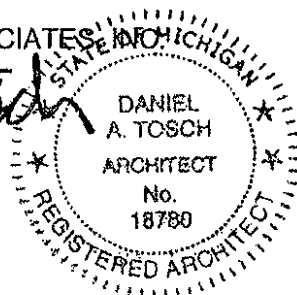
Complete Building Elevations will be provided for final review and approval.

2. The Trash Enclosure Walls and Screen Wall will be revised to indicate brick veneer that will match the building.

Should additional clarification be necessary, please feel free to contact us.

Sincerely,

PROGRESSIVE ASSOCIATES, INC. MICHIGAN  
*Daniel A. Tosch*  
Daniel A. Tosch  
President



DAT/gz

Encl.

C: Marcus Evangelista

**Progressive**  
Progressive Associates, Inc.  
Architects

838 W. Long Lake #250  
Bloomfield Hills, MI 48302  
248 546-5940 Fax 248 546-4820  
Email: pai@progressiveassociates.com

September 17, 2008



PARTIAL WEST ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

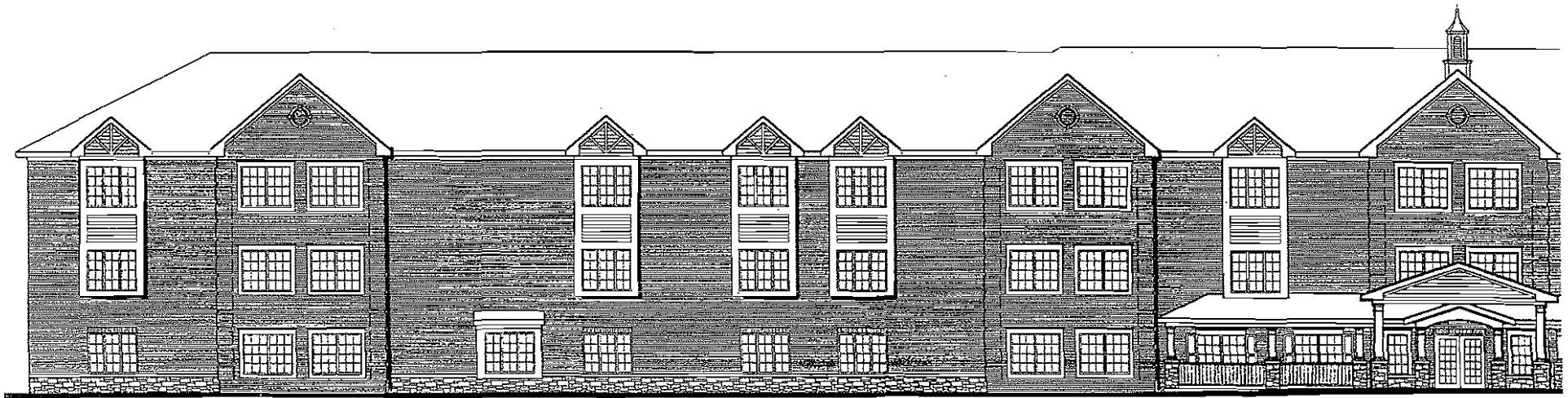
SK1



**Progressive**  
Progressive Associates, Inc.  
Architects

838 W. Long Lake #150  
Bloomfield Hills, MI 48307  
248 540-5945 Fax 248 540-4820  
Email: pai@progressiveassociates.com

September 17, 2008



PARTIAL WEST ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

SK2

**Progressive**  
Progressive Associates, Inc.  
Architects

838 W. Loop Lake #250  
Bloomfield Hills, MI 48302  
248 540-5940 Fax 248 540-4320  
Email: [pa@progressiveassociates.com](mailto:pa@progressiveassociates.com)

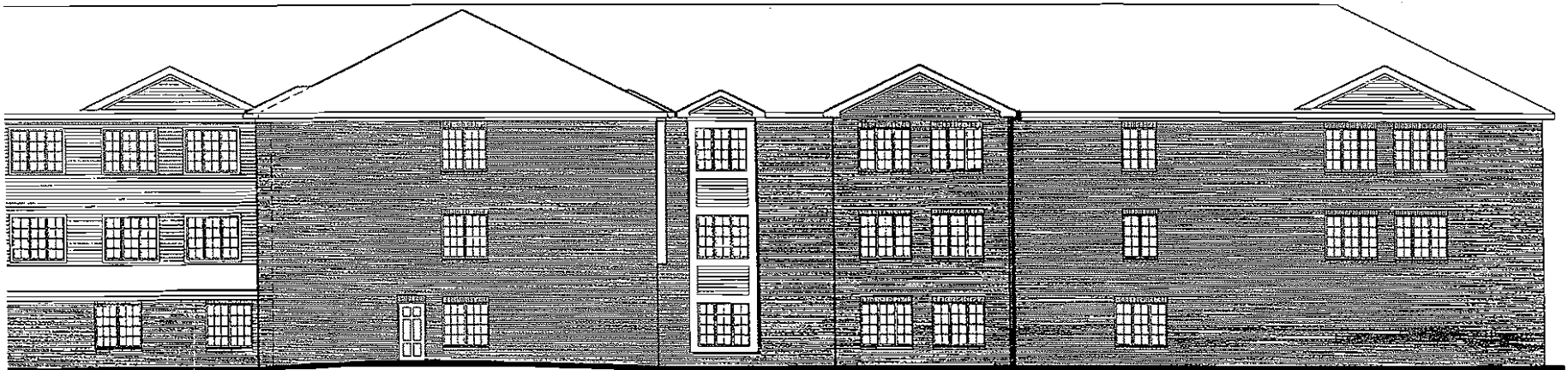
September 17, 2008



SOUTH ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

SK3



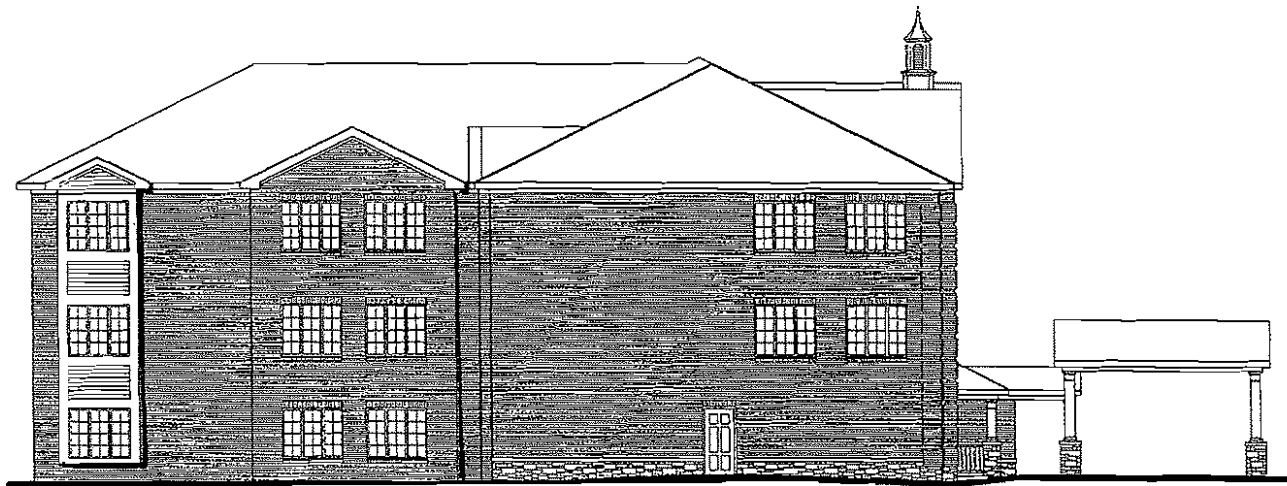
PARTIAL EAST ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

**Progressive**  
Progressive Associates, Inc.  
Architects

838 W. Long Lake #250  
Bloomfield Hills, MI 48302  
248 540-5940 Fax 248 540-4820  
Email: [pa@progressiveassociates.com](mailto:pa@progressiveassociates.com)

September 17, 2008



TYPICAL COURTYARD/ NORTH ELEVATION

MAPLE MANOR of NOVI  
Concept Elevations

SK5