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Wrenchers Garage SP 09-25

WRENCHERS GARAGE SITE PLAN NO. 09-25-

Public hearing on the request of Roy Baker for Special Land Use Permit, Preliminary Site Plan, and Storm Water Management Plan approval. The subject property is located at the southeast corner of Grand River Avenue and Lannys Road in Section 15. The subject property is 1.4 acres and the applicant is proposing a 5,000 sq. ft. automotive service facility in an existing 16,000 sq. ft. building.

Required Action

Approve/deny the Special Land Use Permit, Preliminary Site Plan, Wetland Permit, Woodland Permit and Storm Water Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval Recommended	9/21/09	<ul style="list-style-type: none"> • ZBA variance for minimum lot area • ZBA variance for parking in front and side yard • ZBA variance for minimum parking spaces • Providing an acceptable noise impact statement • ZBA variance for parking setback • Minor items to be addressed at time of Final Site Plan submittal
Landscaping	Approval Recommended	9/18/09	<ul style="list-style-type: none"> • PC waiver of berm adjacent to Lannys Road • PC waiver of street tree requirement • Minor items to be addressed at time of Final Site Plan submittal
Traffic	Approval Recommended	9/21/09	<ul style="list-style-type: none"> • Reconfigure parking to provide access to entrances on west side of building • Minor items to be addressed at time of Final Site Plan submittal
Engineering	Approval Recommended	9/18/09	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal
Façade	Meets requirements	9/21/09	<ul style="list-style-type: none"> • Section 9 waiver • Replacing ribbed metal panel equipment screening with flat panel metal • Minor items to be addressed at time of Final Site Plan submittal
Fire	Approval Recommended	9/21/09	<ul style="list-style-type: none"> • Minor items to be addressed at time of Final Site Plan submittal

Motions

Approval – Special Use Permit

In the matter of Wrenchers Garage, SP09-25, motion to **approve** the Special Use Permit for an automotive service establishment subject to the following:

- a. Obtaining a variance from the Zoning Board of Appeals from the following special requirements for automotive service establishments:
 - a. Minimum lot area from 2.0 acres to 1.4 acres;
 - b. Parking in front and exterior side yards; and
 - c. Overhead door facing major road
- b. Obtaining a Zoning Board of Appeals variance for parking spaces required from 68 to 20;
- c. Providing and acceptable noise impact statement; and
- d. *(additional conditions here)*

for the reason that the Planning Commission finds that relative to other feasible uses of the site, the proposed automotive service establishment use:

- a. Will not cause any detrimental impact on existing thoroughfares or the capabilities of public services and facilities;
- b. Is compatible with the natural features and characteristics of the land and adjacent uses of land;
- c. Is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
- d. Will promote the use of land in a socially and economically desirable manner;
- e. Is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located; and
- f. *(additional findings here if any)*

Approval – Preliminary Site Plan

In the matter of Wrenchers Garage, SP 09-25, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Obtaining a Zoning Board of Appeals variance to reduce the front yard parking lot setback from 40 feet to 10 feet;
- b. Reconfiguring the parking spaces on the west side of the building to permit access to all entrance doors;
- c. Planning Commission waiver of the landscape berm requirement along Lannys Road due to existing conditions;
- d. Planning Commission waiver of the street tree requirements due to lack of available space;
- e. Planning Commission granting of a Section 9 waiver because the proposed design will add interest and enhance the overall appearance of the building;
- f. Replacing the proposed ribbed metal panels with flat metal panels;
- g. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- h. *(additional conditions here if any)*

for the following reasons...*(because it is otherwise in compliance with Article 19, Section 2400 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance).*

Approval – Storm Water Management Plan

In the matter of Wrenchers Garage, SP 09-25, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.) ...*

Denial - Special Land Use Permit

In the matter of Wrenchers Garage, SP09-25, motion to **deny** the Special Use Permit for an automotive service establishment for the reason that the Planning Commission finds that relative to other feasible uses of the site, the proposed automotive service establishment use:

- g. Will **cause a detrimental impact** on existing thoroughfares or the capabilities of public services and facilities;
- h. Is **not** compatible with the natural features and characteristics of the land and adjacent uses of land;
- i. Is **not consistent** with the goals, objectives and recommendations of the City's Master Plan for Land Use;
- j. Will **not promote** the use of land in a socially and economically desirable manner; and
- k. *(additional findings here if any)*

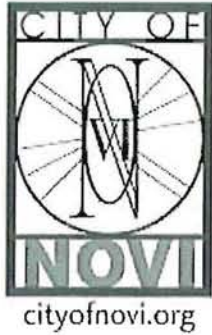
Denial Preliminary Site Plan

In the matter of Wrenchers Garage, SP 09-25, motion to **deny** the Preliminary Site Plan, for the following reasons... *because it is not in compliance with Section _____ of the Zoning Ordinance.*)

Denial Storm Water Management Plan

In the matter of Wrenchers Garage, SP 09-25, motion to **deny** the Storm Water Management Plan, for the following reasons...*(because it is not in compliance with Chapter 11 of the Code of Ordinances.)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 21, 2009

Planning Review

Wrencher's Garage

SP09-25

Petitioner

Wrenchers, Roy Baker

Review Type

Preliminary Site Plan and Special Land Use Permit

Property Characteristics

- Site Location: Southeast corner of Grand River Avenue and Lannys Road
- Site Size: 1.4 acres
- Zoning: I-1, Light Industrial
- Surrounding Zoning: North: I-2, General Industrial; East, South and West: I-1
- Surrounding Land Uses: North: manufacturing and open storage yard uses; East: manufacturing and warehousing; South and Southwest: general offices; West: general rental business
- School District: Novi Community Schools
- Proposed: Automobile service establishment in 5,400 sq. ft. of an existing industrial/warehouse building with façade, parking lot and landscaping improvements
- Plan Date: August 26, 2009

Project Summary

The applicant, Roy Baker of Wrenchers, is requesting Special Land Use and Preliminary Site Plan approval to establish an automobile service business in an existing 16,000 square foot industrial/warehouse building at the southeast corner of Grand River Avenue and Lannys Road. The applicant proposes a small canopy, equipment screening and some painting of the existing building. He also proposes to reconfiguring, expand and pave the parking in the front and west side of the building, add landscaping to the site and construct interior improvements in a 5,400 square foot lease area.

Recommendation

The Planning Staff recommends **approval** of the Special Land Use Permit and Preliminary Site Plan subject to the following:

1. Applicant obtaining the following variances from the Zoning Board of Appeals:
 - a. Special Requirements for automobile service establishments located on a major thoroughfare:
 - i. Minimum 2 acre lot area (1.4 existing);
 - ii. Parking in front and exterior side yard (reconfigured and existing);

- iii. Overhead door facing Grand River Avenue (existing);
 - b. Minimum parking space requirement of 68 (20 proposed);
 - c. Parking setback variance;
2. Reconfigure the parking on the west side of the building to permit access to all entrance doors;
3. Applicant providing an acceptable noise impact statement; and
4. Applicant providing the information requested and making the corrections listed in the City's Staff and Consultant review letters.

Comments:

The Preliminary Site Plan and Special Land Use request was reviewed under the general requirements of Article 19, I-1, Light Industrial District and Section 2400, the Schedule of Regulations of the Zoning Ordinance, and other sections of the ordinance, as noted. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of the Zoning Ordinance and other regulatory documents are highlighted on the attached chart. Items in **bold** below must be addressed by the applicant or Planning Commission before Site Plan Approval may be granted. Items underlined need to be addressed at the time of Final Site Plan Review:

1. **Schedule of Regulations** Although the Site Plan does not demonstrate general compliance with the standards of Section 2400, the Schedule of Regulations, relating to building and parking setbacks, the building and the portion of the parking lot that is not changing complies with the Zoning Ordinance because they are existing non-conforming structures (Section 2502.4). The applicant is proposing to reconfigure and expand a portion of the front parking lot. This includes increasing the width of the landscape strips between the parking lot and Grand River Avenue by moving the parking closer to the building and paving the entire front and side parking areas. Parking is not permitted in the front yard setback in the I-1 District. Therefore, the applicant is asked to **remove the parking from the front yard or seek a Zoning Board of Appeals variance** to permit the small expansion of the parking area in front of the building. The Planning Staff supports this variance since it will improve the overall appearance of the site.
2. **Parking Spaces** (Section 2505) The existing building is divided into three tenant spaces. The Zoning Ordinance requires one parking space per 700 square feet of usable floor area for the two industrial/warehouse areas. Totalling 10,236 square feet, the Ordinance requires 14 parking spaces to service this area. The proposed 5,000 square foot automotive service facility with four employees is required to provide 54 parking spaces. A total of 68 parking spaces is required and the applicant proposes to provide 20 spaces. In addition, proposed parking spaces on the west side of the building appear to block access to one personnel door and one overhead door. The applicant is asked to reconfigure this parking area to provide room for the personnel door to fully open, provide a 36 inch wide access aisle to this door and to provide unobstructed access to the overhead door, or eliminate these doors.

The applicant has discussed that the proposed "Wrenchers" concept with the Planning Staff, noting that the use is unlike a typical vehicle service establishment and may not require as much on-site parking as other automotive service establishments. The applicant is asked to **provide a written explanation of the concept for the Planning Commission.**

The existing gravel yard in the rear of the building could be configured and paved to accommodate an additional 48 parking spaces. The Planning Commission may want to discuss with the applicant the possibility of paving the rear area to meet the parking space requirements. **The applicant is asked to provide the additional parking spaces required or obtain a Zoning Board of Appeals variance.** The applicant proposes to provide two barrier free van accessible parking spaces and is asked to provide barrier free sign details and locations on the Final Site Plan.

- 3. Loading Space (Section 2507)** The existing gravel yard serves as an unloading/loading area and no new areas are proposed.
- 4. Pedestrian Circulation** A pathway exists along Grand River Avenue. Since Lannys Road is not a collector or arterial road, no sidewalk is required along Lannys Road. Pedestrian access to the building from the Grand River pathway provided through the driveway is acceptable due to the low number of employees and lack of room to place a sidewalk.
- 5. Special Land Use Considerations** Automotive service establishments uses are permitted on parcels in the I-1 District subject to meeting the requirements of Sections 1903.4 and 2516.2(c). A set of additional requirements must be met when an automotive service establishment proposes to locate on a major road. The proposed site does not meet all of these requirements. In order to locate the proposed business on this site the **applicant must obtain the following variances from Section 1903.4 from the Zoning Board of Appeals:**
 - **Minimum site area of two acres**, proposed site is only 1.4 acres;
 - **No vehicle parking in front or required side yards**, existing and proposed parking is in the front and side yards; and
 - **No service doors may face a major thoroughfare**; the existing overhead door faces Grand River Avenue.

In addition, Section 1903.4 states that vehicle parking on site shall be limited to customers and employees, not for vehicle storage longer than twenty-four (24) hours, not for used car sales and no wrecked or partially dismantled vehicles or vehicles without current license plates may be stored outside. The applicant is asked to provide notes on the Final Site Plan acknowledging these restrictions. The Special Land Use also requires the submittal of a noise statement. An analysis is needed to determine if the proposed use exceeds allowable noise standards of the Ordinance. The applicant is asked to **submit the Noise Statement before this matter goes before the Planning Commission.**

The Planning Commission in exercising its discretion over site plan approval should consider the following factors relative to other feasible uses of the site:

- Whether the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare-level of service.
- Whether the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm

water disposal and police and fire protection to service existing and planned uses in the area.

- Whether the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

6. Outdoor Lighting (Section 2511) All parking areas must meet the lighting requirements of Section 2511. The Applicant is asked to submit a lighting plan that meets these requirements with the Final Site plan submittal.

7. Other Issues

- **Pre-Construction Meeting** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. Contact Sarah Marconi for a sample checklist or to schedule a Pre-Construction Meeting at 248-347-0430 or smarchioni@cityofnovi.org.

8. Response Letters A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested prior to the matter being reviewed by the Planning Commission. Additionally, a letter from the applicant is requested to be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above, and with any conditions of Planning Commission approval.

Please contact Mark Spencer at (248) 735-5607 or [mspencer@cityofnovi.org](mailto:m Spencer@cityofnovi.org) with any questions or concerns.



Prepared by Mark Spencer, AICP, Planner

Attachment: Planning Review Chart

PLANNING REVIEW SUMMARY CHART

Review Date: 9/14/09
Project Name: Wrencher's Garage
Site Plan Number: SP09-25
Plan Date: 8/26/09

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

Item	Required	Proposed	Meets Requirements ?	Comments
Master Plan	Light industrial	No change proposed	Yes	
Zoning	I-1, Light Industrial	No change proposed	Yes	
Principal Uses Permitted when not abutting residential (1901 & 1902)	<ul style="list-style-type: none"> Offices, service activities, laboratories research and development; Publicly parks, parkways and outdoor recreational facilities, health and fitness facilities that do not exceed two thousand (2,000) square feet in size, warehousing, manufacturing, trade schools, greenhouses, public utility buildings other than outside storage and service yards & indoor recreation facilities, pet boarding, veterinary hospitals or clinics, 			
Uses Permitted Subject to Special Conditions (1903.4)	Auto undercoating, freestanding restaurants, automobile service establishments but not including vehicle undercoating, body repair and collision work, painting, tire recapping, or auto dismantling operations: a. For any such use on a lot adjacent to a major thoroughfare ,	Automobile Repair and service	Yes	Permitted subject to Planning Commission approval of Special Land Use and site plan.

Item	Required	Proposed	Meets Requirements ?	Comments
	<p>the following special requirements shall apply:</p> <p>(1) <u>Minimum site size of two (2) acres.</u></p> <p>(2) <u>Minimum site frontage of two hundred (200) feet.</u></p> <p>(3) <u>No vehicle parking in front of actual building setback line.</u></p> <p>(4) <u>No vehicle parking in required side yard setbacks.</u></p> <p>(5) <u>No service bay doors shall face a major thoroughfare.</u></p> <p>(6) <u>No more than one (7) curb cut shall be allowed to the major thoroughfare.</u></p> <p>b. <u>Vehicle parking on site shall be limited to customers and employees, and not for vehicle storage longer than twenty-four (24) hours nor for used car sales.</u></p> <p>c. <u>No wrecked or partially dismantled vehicles or vehicles without current license plates may be stored outside.</u></p> <p>d. <u>A noise impact statement is required subject to the standards of Section 2519.10(c).</u></p> <p>Self-storage facilities, retail sales activities when ancillary to an otherwise permitted use, central dry cleaning plants or laundries, railroad transfer, classification and storage yards, tool, die, gauge and machine shops,</p>	<p>Existing 1.4 acre site</p> <p>Existing 211 ft.</p> <p>Parking in front</p> <p>Parking in side yard</p> <p>Existing service bay doors facing Grand River Ave.</p> <p>One curb cut</p> <p>No note on plan</p> <p>No note on plan</p> <p>None provided</p>	<p>No</p> <p>Yes</p> <p>No</p> <p>No</p> <p>No</p> <p>Yes</p> <p>Yes/No</p> <p>Yes/No</p> <p>No</p>	<p>Would require ZBA variance</p> <p>Would require ZBA variance</p> <p>Would require ZBA variance</p> <p>Would require ZBA variance</p> <p>Place restrictive notes on plan</p> <p>Place restrictive notes on plan</p> <p>Provide noise impact statement</p>

Item	Required	Proposed	Meets Requirements ?	Comments
	storage facilities for building materials, sand, gravel, stone, lumber, storage of contractor's equipment and supplies, provided such is enclosed within a building, municipal uses, and motion picture, television, radio and photographic production facilities			
Intent of District	Designed so as to primarily accommodate research, office and light industrial uses, including wholesale activities, warehouses, and industrial operations whose external, physical effects are restricted to the area of the district and in no manner affect in a detrimental way any of the surrounding districts.			
Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	40 ft.	20 ft.	Yes	
Building Setback				
Front (2400 & 2908) north	40 ft.	Existing building 37 ft.	Yes/No	Existing non-conforming
Side west exterior (2400 & 2908)	40 ft.	Existing building 35 ft. 11 in.	Yes/No	Existing non-conforming
Side east interior (2400 & 2908)	20 ft.	Existing building 14 ft.	Yes/No	Existing non-conforming
Rear south (2400 & 2908)	20 ft.	130+/- ft.	Yes	
Parking Setback				
Front north (2400 h)	40 ft. and not in front of building	10 ft. Located in front yard - Existing parking partially in ROW	No	Remove parking from setback or obtain a variance from the ZBA

Item	Required	Proposed	Meets Requirements ?	Comments
		Expansion/Reconfiguring of front yard parking proposed		
Side west exterior (2400 h and c)	40 ft.	0 ft. Existing aisle and parking at 0 ft.	Yes	Existing non-conforming parking
Side east interior(2400)	20 ft.	30 ft.	Yes	
Rear south (2400)	20 ft.	140+/- ft.	Yes	
Number of Parking Spaces (2505)	68 parking spaces required <u>Industrial/Warehouse</u> 1/700 sq. ft. usable floor area $10,236/700 = 14.4$ <u>Automotive Service</u> 1/100 sq. ft. usable floor area plus 1/employee $5004/100 = 50$ 4 employees = 4 Total = 68.4 = 68	20 plus potential 45 in gravel yard	Yes/No	Provide additional 48 parking spaces or seek ZBA variance
	9 ft. x 19 ft. parking space dimensions and 24 ft. wide two-way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	17, 18 and 19 ft. by 9 ft. spaces proposed	Yes	
End Islands (Section 2506.13)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent	Provided	Yes	

Item	Required	Proposed	Meets Requirements ?	Comments
	parking stall as illustrated in the Zoning Ordinance.			
Barrier Free Spaces (Barrier Free Code)	1 barrier free spaces required and 3 required if banked built: 1 space must be van accessible.	2 van accessible barrier free spaces	Yes	<u>If additional parking is developed in the rear of the building another barrier free space may be needed</u>
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle for standard barrier free spaces, and 8' wide with an 8' wide access aisle for van accessible spaces	Access aisles provided	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	None	No	<u>Depict location of barrier free signs and include sign detail</u>
Loading Spaces (Section 2507)	Provide in rear or interior side	Provided (existing gravel yard)	Yes	
Dumpster (Chapter II, Section 21-145 and Section 2503.2.F)	Enclosure required for dumpster. Min. one foot taller than dumpster	Existing	Yes	
Dumpster Enclosure (Sections 2503.2.F and 2520.1)	Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. It is to be located as far from barrier free spaces as possible. Enclosure to match building materials.	Existing	Yes	
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Not included	No	<u>Submit with Final Site Plan</u>
Roof top equipment and wall mounted utility equipment (Section 2503.2.E.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the	No new equipment proposed	Yes	

Item	Required	Proposed	Meets Requirements ?	Comments
	design and color of the building			
Sidewalks (City Code Section 11-276(b))	A 5'-8' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts	Pathway exist along Grand River –	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Existing building not connected No changes proposed	Yes/No	<u>Access to doors on the west side of the building must be maintained. Reconfigure parking spaces so that personnel door can open all the way with a 36 inch wide access aisle between the parking spaces and relocated parking spaces so they are in front of overhead door</u>
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Most items provided	Yes/No	<u>Provide tax id no. on site plan</u>
	General layout and dimension of proposed physical improvements, showing the following: Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		Yes/No	Provide location of all doors on Site Plan sheet
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

Prepared by Mark Spencer, AICP (248) 735-5607

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

September 18, 2009

Preliminary Landscape Review

Wrencher's Garage Renovation SP#09-25

Property Characteristics

- Site Location: Grand River Avenue / Lannys Road
- Site Zoning: I-1
- Plan Date: 8/26/09

Recommendation

Approval of the Preliminary Site Plan for 09-25 Papa Wrencher's Garage is recommended provided the Applicant receive the necessary Planning Commission waivers. Please address all other comments on the Final Site Plan submittal.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The property is not adjacent to residential uses.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' high landscaped berm is required along street frontages. Please provide this where possible. The existing swale along Lannys Road will preclude the installation of the berm. **Staff supports a Planning Commission waiver for the berm along the Lannys Road frontage.** *Please clearly depict the proposed berm location along the Grand River Avenue frontage. Please extend the landscape planting area proposed at the northeast corner of the site through the Grand River frontage to meet the landscape berm requirements. Landscape beds along Grand River should extend to the limits of the clear vision areas. Please label the clear vision areas on the plan.*
2. One canopy or evergreen tree is required for every 40' of road frontage. Five canopy trees are required along the Grand River Avenue frontage. These have been provided. Nine canopy or evergreen trees are required along the Lannys Road frontage. Three have been provided. The existing swale along Lannys Road precludes the installation of the remaining 6 trees in the location of the berm. *The applicant may need to locate the required trees at the southwest portion of the site. Staff recommends the use of evergreen trees to further screen the rear parking area.*
3. One Sub-canopy tree is required for every 30' of road frontage. Seven Trees are required along the Grand River frontage. None have been provided. *Please revise the plans to indicate the intended locations for the sub-canopy trees.*
4. Eleven sub-canopy trees are required along the Lannys Road frontage. None are proposed. *Please revise the plans to indicate the intended locations for the sub-canopy trees. Due to the existing swale, the applicant may need to locate the sub-canopy trees at the southwest portion of the site.*

Street Tree Requirements (Sec. 2509.3.b.)

1. Street Trees are required at 1 tree per 45' of road frontage to be located between the sidewalk and the curb line. **Due to the lack of available space, Staff supports a Planning Commission waiver for the street trees.**

Parking Landscape (Sec. 2509.3.c.)

1. *Please provide parking lot landscape tree and landscape island calculations on the plans per the ordinance. Future islands should be shown in the landbanked parking area. All interior parking lot islands must be a minimum of 300 S.F. and 10' in width.*

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required around the entire foundation with the exception of access areas.
2. A total of 8' x the perimeter of the foundation is required as building foundation landscape area. Please provide all calculations.
3. The applicant has provided for foundation landscape area across the frontage of the building. All other areas are points of access. Additional landscape has been provided along the easterly frontage which may offset the overall building foundation area requirement. *The applicant should provide calculations verifying this requirement has been met.*

Plant List (LDM)

1. Please provide a plant list *cost estimates* per the ordinance.
2. All canopy trees are required to be 3" caliper per the Landscape Design Manual. Please adjust the proposed caliper size of the canopy trees to 33' minimum.

Planting Details & Notations (LDM)

1. Please provide planting details and notations per Ordinance requirements. *Standard City of Novi planting details and notations are available in hard copy and electronic form. These should be provided with the Final Site Plan submittal.*

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. *Please provide a plan showing existing or planned irrigation Upon Final Site Plan submittal.*

General

1. Please show minimum 2' contour intervals on the landscape plan.
2. Please clearly delineate lawn areas from paved areas.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

TRAFFIC REVIEW

September 21, 2009

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



SUBJECT: Wrenchers Garage and Restoration Shop, SP#09-25
Traffic Review of Preliminary Site Plan

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to Planning Commission and Council approval of the waivers identified below, as well as the submission of a final site plan satisfactorily addressing the issues shown below in **bold**.

Project Description

What is the applicant proposing?

1. The applicant, Wrenchers LLC, is proposing various site improvements at 44455 Grand River (see attached birdseye aerial photo). **A complete survey of existing conditions should be included with the final site plan, to help clarify exactly what changes are being proposed.**

Traffic Study

Was a study submitted and was it acceptable?

2. It appears that the existing building size and site access locations would remain essentially unchanged. Since we have no basis for forecasting a significant change in trip generation or distribution, a traffic study is unwarranted.

Trip Generation

How much traffic would the proposed development generate?

3. See comment 2.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

4. The existing site access drive on Grand River, which would be retained, is 141 ft east of Lanny's Lane and 118 ft west of the next commercial drive to the east (near-curb to near-curb). Since the plan does not show existing driveways along the opposite side of Grand River within 200 ft of the site (as required by the City of Novi *Site Plan and Development Manual*), it is not immediately evident what the opposite-side driveway spacings are. **To meet City requirements and provide a complete record for the file, opposite-side driveways within 200 ft of the site should be added to the plan.**
5. Although it is clear that the existing site access driveway on Grand River does not meet the minimum spacing standards specified in the City's Design and Construction Standards (DCS Sec 11.216(d)(1) d and e)), the City's Engineering Division has determined that these standards do not apply since the driveway already exists (and is not proposed to be changed, at least physically). In this particular case, we would have supported a waiver of the requirements, since it appears that reasonable alternatives to retaining the existing insufficiently spaced driveway do not exist.
6. Only the City's same-side driveway spacing requirement applies to a local street such as Lanny's Road. The minimum spacing is 105 ft, and this would be exceeded to both the north and south, whether the existing drive is retained as proposed, or the drive is shifted and rebuilt as we recommend below.

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

7. No improvements are required on Grand River, since the plan proposes (and it would be appropriate) to retain the existing drive's entering and exiting curb returns, which were constructed in the relatively recent past as part of the Grand River widening project.
8. The site plan proposes to retain and overlay the existing 64-ft wide "driveway" on Lanny's Road. As indicated in our pre-application comments, we believe that a City-standard driveway should be provided instead, since paving is proposed and there appears to be no operational need to maintain such a wide curb cut. **In providing a commercial standard driveway, we recommend that the backs of the curb returns be placed 14 ft from the centerline of Lanny's (per attached mark-up), to accommodate the potential future widening of the road to a City-standard local street (i.e., 28 ft wide back-to-back). This would minimize any future disruption to the site frontage, and therefore benefit the applicant as well as the general public.**

Driveway Design and Control

Are the driveways acceptably designed and signed?

9. **The site access on Lanny's Road should be reconstructed as closely as possible to the City's commercial driveway standard. This will improve traffic flow and safety, and put to better use the paving expense already proposed in this area of the site. To optimize future circulation, the new driveway should be positioned so that its southern edge aligns with the south side of the land-**

banked parking aisle. A Council waiver of the 15-ft minimum exiting radius will still be required (see DCS Figure IX.1).

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

10. Yes. Given the existing and proposed building uses, and the width of the Grand River drive, we see no real need for a sidewalk stub connecting the safety path to the parking lot.

Parking and Circulation

Can vehicles safely and conveniently maneuver through the site?

11. **If and when the 45 land-banked parking spaces in the rear lot are provided on a paved surface, ADA requirements will dictate that one additional barrier-free space be provided for the resulting site total of 65 spaces.**
12. According to the floor plan (sheet A.1), there is a service door on the west façade 29 ft south of the northwest building corner. This door is not shown on the architectural site plan (sheet C.1), nor does it line up with the small concrete pad shown on the latter sheet. **The door's location should be accurately shown on sheet C.1. To provide reasonable and safe building access at this location, a barrier-free access aisle should be aligned with the door, a ramp provided if necessary to reach the elevation of the threshold, and the angled parking spaces shifted south as necessary to make room for the access aisle and the one additional barrier-free space indicated in comment 12 as eventually being necessary.**
13. **Consistent with Novi design standards, the end island at the northeast building corner should be set back 2 ft from the aisle and rounded with a 15-ft radius.**
14. **On the final site plan, MMUTCD-standard wheelchair symbols should be shown in the barrier-free parking spaces, not the initials "H.C." and "H.C. VAN." Also, MMUTCD-standard barrier-free signs (R7-8 and R7-8a as applicable) should be proposed in the landscape strip adjacent to the building, a location where they will not incur damage from vehicles overhanging the sidewalk.**

Miscellaneous

15. **An engineering site plan, with appropriate supplemental details, should be included with the final site plan. The engineering plan should clarify the exact nature of the site improvements proposed; for example, where curb and gutter will be provided and where it will not. For traffic flow and safety reasons, we recommend that curb and gutter be provided, at a minimum, along the sides of the new driveway on Lanny's (per comments 8-9 above), as well around the perimeter of the south parking lot when that lot is eventually paved.**

- 16. To avoid "dead" corners that will inevitably accumulate debris, the curb and gutter on either internal side of the Grand River driveway should be aligned as shown in the second attached plan mark-up.**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering



David R. Campbell
Senior Associate



44455 Grand River

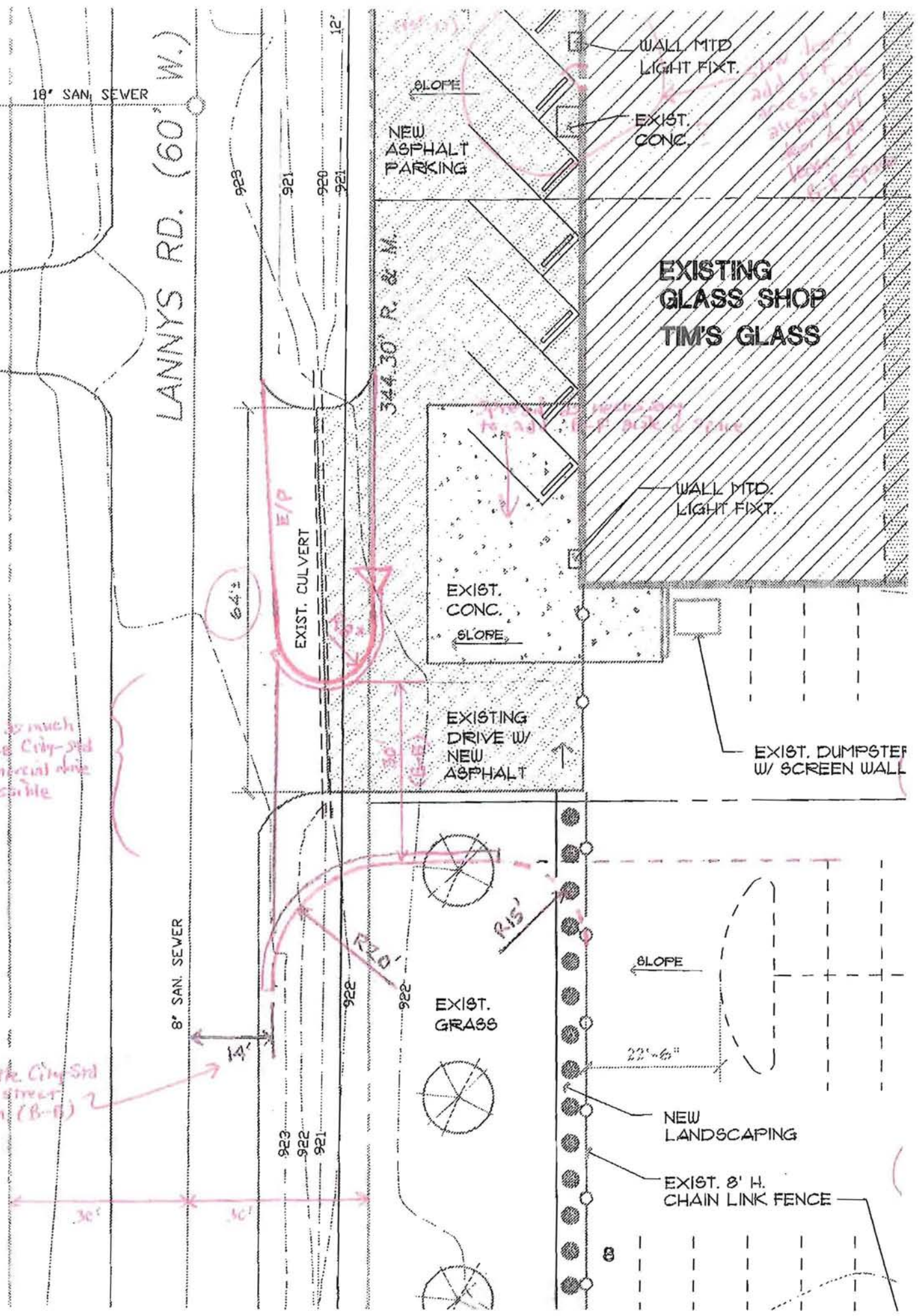


18" SAN. SEWER

LANNYS RD. (60' W.)

Build as much of the City-Std commercial drive as possible

Half the City-Std local street width (B-B)



NEW ASPHALT PARKING

WALL MTD LIGHT FIXT.

EXIST. CONC.

EXISTING GLASS SHOP
TIM'S GLASS

WALL MTD. LIGHT FIXT.

EXIST. CONC.

EXISTING DRIVE W/
NEW ASPHALT

EXIST. DUMPSTEF
W/ SCREEN WALL

EXIST. GRASS

NEW LANDSCAPING

EXIST. 8' H.
CHAIN LINK FENCE

923
921
920
921
12'

344.30' R. & M.

E/P
EXIST. CULVERT

64'±

8" SAN. SEWER

14'

922
922
921

922
926

R20'

R15'

SLOPE

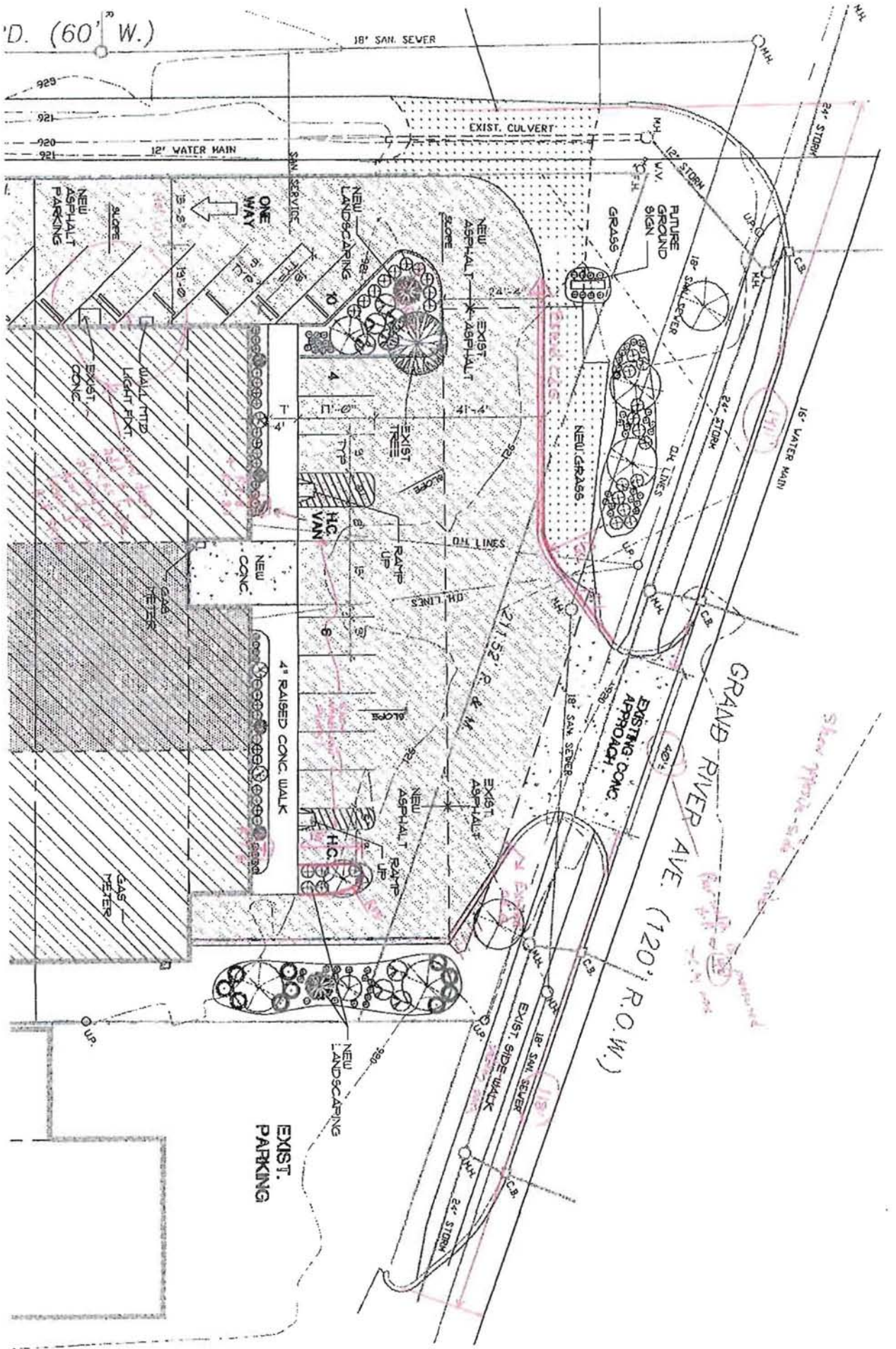
22'-6"

30'

30'

8

D. (60' W.)



EXIST. PARKING

GRAND RIVER AVE. (120' R.O.W.)

EXISTING CONC. APPROACH

EXIST. ASPHALT RAMP

EXIST. SIDE WALK

18" SAN. SEWER

24" STORM

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

8'-0"

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

September 18, 2009

Engineering Review

Wrencher's Garage
SP09-25

Petitioner

Wrenchers

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: SW corner of Grand River Avenue and Lannys Road
- Site Size: 1.42 acres

Project Summary

- Re-construction of an existing building and associated parking. Site access would be provided by two approaches, one from Grand River Avenue and one from Lannys Road.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Clearly label the right-of-way line for both Grand River Avenue and Lannys Road.
4. Be sure to show all details per City of Novi standards.

Storm Water Management Plan

5. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
6. Calculate pre and post development impervious areas. Compare the two and show there is minimal difference if any.

Paving & Grading

7. Label the radii and lengths of all end islands.
8. Provide spot elevations along the parking lot and sidewalk. Show drainage patterns and also show the spot grades near the new concrete pad in front of the building. Be sure to show the 4-inch integral curb.
9. Show pavement and sidewalk details including curb.
10. Label whether or not the approach off of Lannys Road is paved. If it is not, please add to the plan or provide a reason the approach is not being re-constructed.
11. Label the angle of the angled parking stalls.
12. Show ramp details on the plan.

The following must be submitted at the time of Final Site Plan submittal:

13. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. ***The cost estimate must be itemized*** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
14. A letter from either the applicant or the applicant's engineer must be submitted with the PSP highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be addressed prior to construction:

15. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

16. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
17. A permit for work within the right-of-way of Lannys Road must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
18. A permit for work within the right-of-way of Grand River Avenue must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
19. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
20. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
21. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.

cc: Ben Croy, Engineering
Brian Coburn, Engineering
Mark Spencer, Community Development Department
Tina Glenn, Water & Sewer Dept.

FAÇADE REVIEW

September 21, 2009

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE**
Wrenchers - Preliminary Site Plan Approval
SP 09-25
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan for the above referenced project based on the drawings prepared by S. Hoffman, Architect, dated August 26, 2009. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule are highlighted in bold.

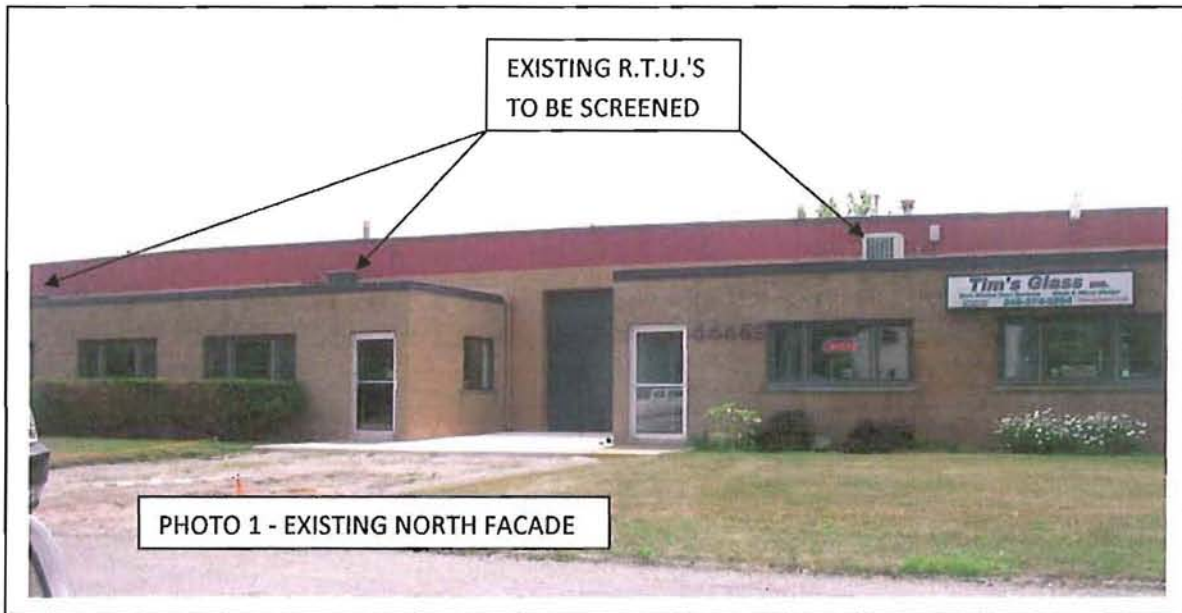
For the purpose of the Facade Ordinance this project is considered an Alteration as described in Section 2520.6 of the Ordinance. The percentages shown below represent the proposed materials for the entire north (front) facade and the portions of the east and west facades being altered. No alterations were proposed for the south facade.

	North (Front)	West	East	South	Ordinance Maximum (Minimum)
Brick	59.0%	53.0%	53.0%	NA	100% (30%)
Ribbed Metal Panels (Equip. Screens)	9.0%	7.0%	7.0%	NA	0%
Flat Metal (Canopy, Trim & Truss)	7.0%	40.0%	40.0%	NA	50%
Painted C.M.U.	25.0%	0.0%	0.0%	NA	0%

Comments: As shown above the percentage of Painted Concrete Masonry Units (C.M.U.) exceeds the ordinance maximum on the north facade, and the percentage of Ribbed Metal Panels exceeds the Ordinance maximum on the north, west and east facades. The C.M.U. located on the north facade represents an existing material and no additional C.M.U. is proposed. The Ribbed Metal Panels are used to screen existing and somewhat unsightly rooftop mechanical equipment (R.T.U's) currently visible on the north, west and east facades. It should be noted that the design can be brought into compliance with respect to the roof equipment screens by using Flat Metal Panels in lieu of Ribbed Metal Panels. The applicant has noted that the proposed metal roof, equipment screens and trim and existing overhead doors will be "painted red to match building".

It is assumed that all new red paint will match the subdued red color presently found on the north facade (Photo 1, below). The use of bright red color would not be consistent with the section 2520.2 of the Ordinance which prohibits the use of dissonant and/or intense colors.

Recommendations: The proposed design will add interest and enhance the overall appearance of the building and is consistent with the intent and purpose of the Facade ordinance. A section 9 waiver is recommended contingent upon the applicant using Flat Metal Panels in lieu of Ribbed Metal Panels for the roof equipment screens, and the applicant submitting a color sample of the proposed red paint that is consistent with the subdued red color currently found on the north facade.



If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



September 21, 2009

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

Brian Burke

City Manager
Clay J. Pearson

Assistant City Manager
Pam Antil

Fire Chief
Frank Smith

Deputy Fire Chief
Jeffrey Johnson

TO: Barbara McBeth, Deputy Director
Community Development, City of Novi

RE: Wrencher's Garage, SP09-25
Preliminary Site Plan & Special Land Use

Dear Ms. McBeth,

The above plan has been reviewed and it is **Recommended for Approval** with the following items to be addressed.

1. A completed Hazardous Materials Survey and Inventory shall be provided prior to final approval being given.
2. Emergency access shall be provided for the rear access drive. If a power gate is installed, a Knox key switch shall be provided for Fire Department access.
3. It shall be verified through the Building Department that compliance is met with the Michigan Building Code for this use in this building.

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department
42975 Grand River Ave.
Novi, Michigan 48375
248.349-2162
248.349-1724 fax

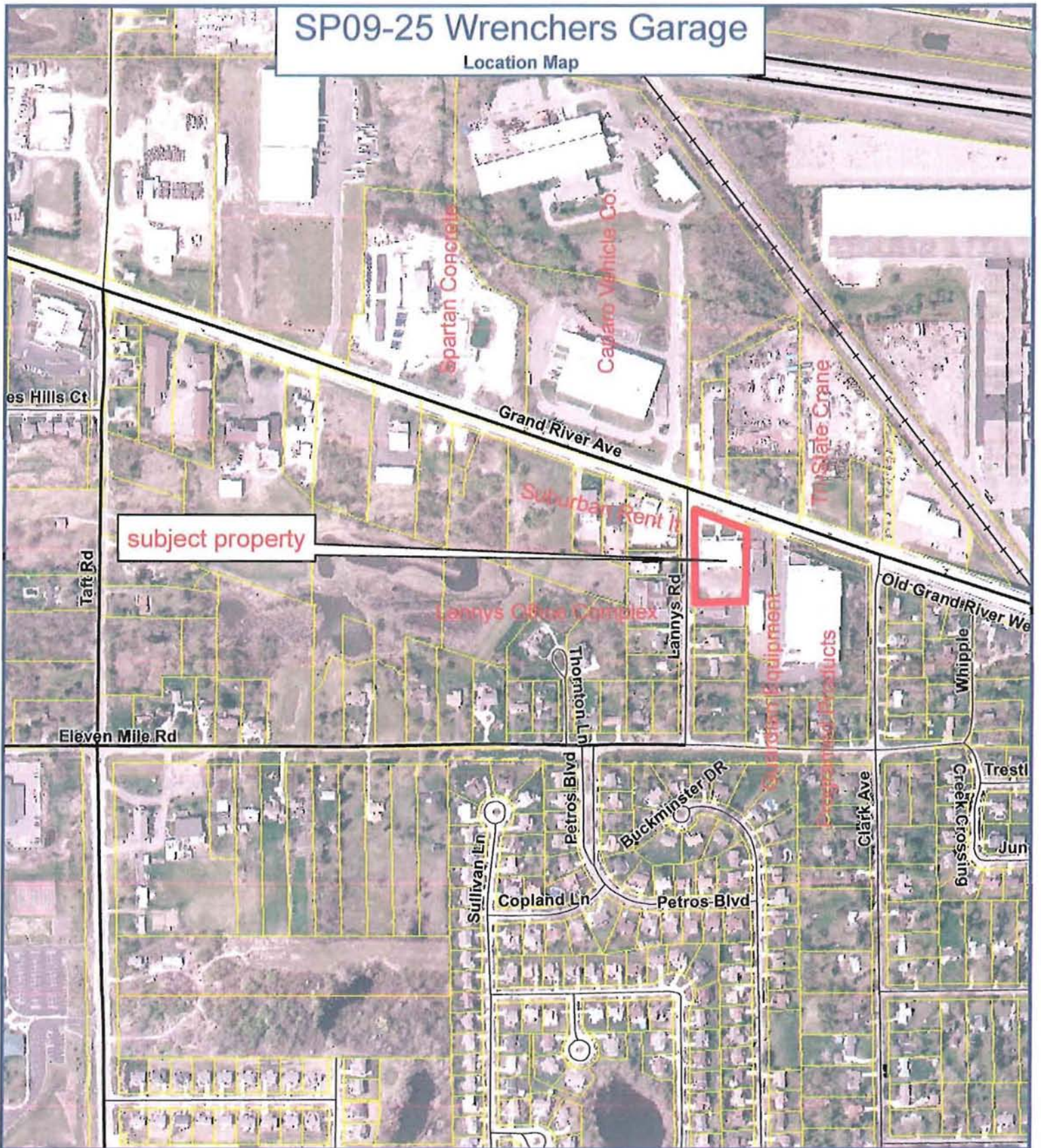
cityofnovi.org

MAPS

**Location/Air Photo
Future Land Use
Zoning
Natural Features**

SP09-25 Wrenchers Garage

Location Map



Map Author: Mark Spencer
 Date: 9/18/09
 Project: SP09-25 Wrenchers
 Version #: 1.0

Map Legend

 Tax Parcels

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



City of Novi
 Planning Division
 Community Development Dept.
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

0 62.5 125 250 375 500
 Feet

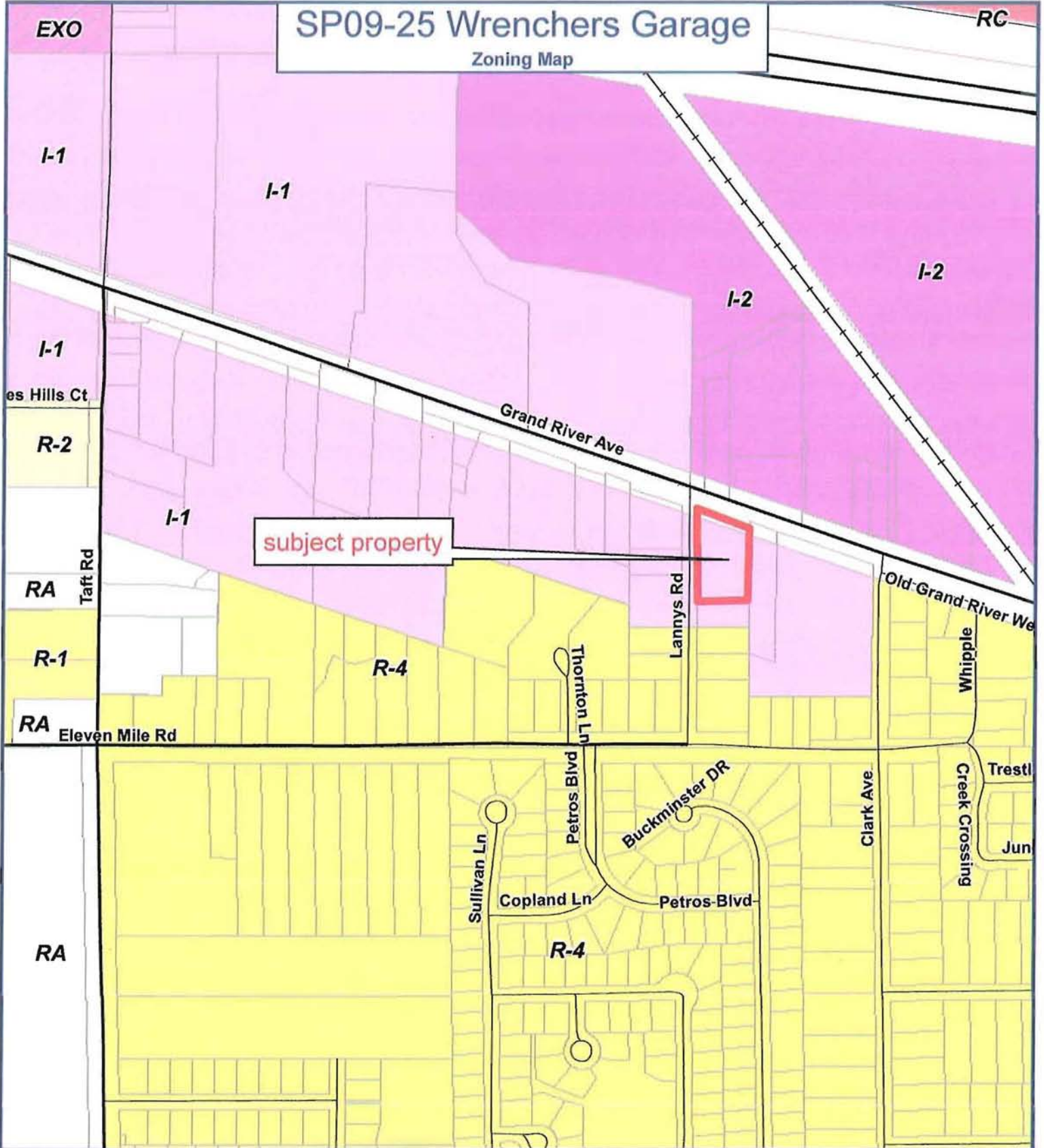
1 inch = 500 feet



SP09-25 Wrenchers Garage

Zoning Map

RC



Map Author: Mark Spencer
 Date: 9/18/09
 Project: SP09-25 Wrenchers
 Version #: 1.0

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Map Legend

Tax Parcels	R-4: One-Family Residential District
Zoning	EXO: OST District with EXO Overlay
R-A: Residential Acreage	EXPO: EXPO District
R-1: One-Family Residential District	I-1: Light Industrial District
R-2: One-Family Residential District	I-2: General Industrial District
R-3: One-Family Residential District	RC: Regional Center District

City of Novi
 Planning Division
 Community Development Dept.
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

1 inch = 500 feet

SP09-25 Wrenchers Garage

Future Land Use Map

REGIONAL COMMERCIAL

OFFICE

LIGHT INDUSTRIAL

es Hills Ct

Grand River Ave

subject property

Taft Rd

Lannys Rd

Old Grand River We

Whipple

Eleven Mile Rd

Thornton Ln

SINGLE FAMILY

Buckminster DR

Clark Ave

Trestle

Jun

Creek Crossing

EDUCATIONAL FACILITY

Sullivan Ln

Petros Blvd

Copland Ln

Petros Blvd

PRIVATE PARK

Map Author: Mark Spencer
Date: 9/18/09
Project: SP09-25 Wrenchers
Version #: 1.0

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Map Legend

LAND USE CLASSIFICATION

- SINGLE FAMILY
- OFFICE
- REGIONAL COMMERCIAL
- LIGHT INDUSTRIAL
- EDUCATIONAL FACILITY
- PRIVATE PARK



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0 62 5125 250 375 500
Feet

1 inch = 500 feet



SP09-25 Wrenchers Garage

Natural Features Map



subject property

Map Author: Mark Spencer
 Date: 9/18/09
 Project: SP09-25 Wrenchers
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

Habitat Priority Areas FIRM Flood Hazard Areas

RANK

- High
- Medium
- Low
- Woodlands

Flood Zones

- 1.0% Chance Flood Zone A
- 1.0% Chance Flood Zone AE
- Wetlands



City of Novi
 Planning Division
 Community Development Dept.
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

0 62 125 250 375 500
 Feet
 1 inch = 500 feet



REDUCED SITE PLAN

WRENCHERS GARAGE

44455 GRAND RIVER - NOVI - MI

SITE DATA:

LEGAL DESCRIPTION: LOTS 12, 13 AND 14 OF "MARY'S ORCHARD SUBDIVISION", AS RECORDED IN LIBER 70, PAGE 26, PLATS, OAKLAND COUNTY RECORDS

ZONED: I-1
 LAND AREA: 62,050 S.F. = 1.42 ACRES

BUILDING DATA:

TIM'S GLASS	5,865 S.F. GROSS
WRENCHERS	5,415 S.F. GROSS
MARINO CUTLERY	5,504 S.F. GROSS
TOTAL:	16,784 S.F. GROSS

PARKING DATA:

REQUIRED:

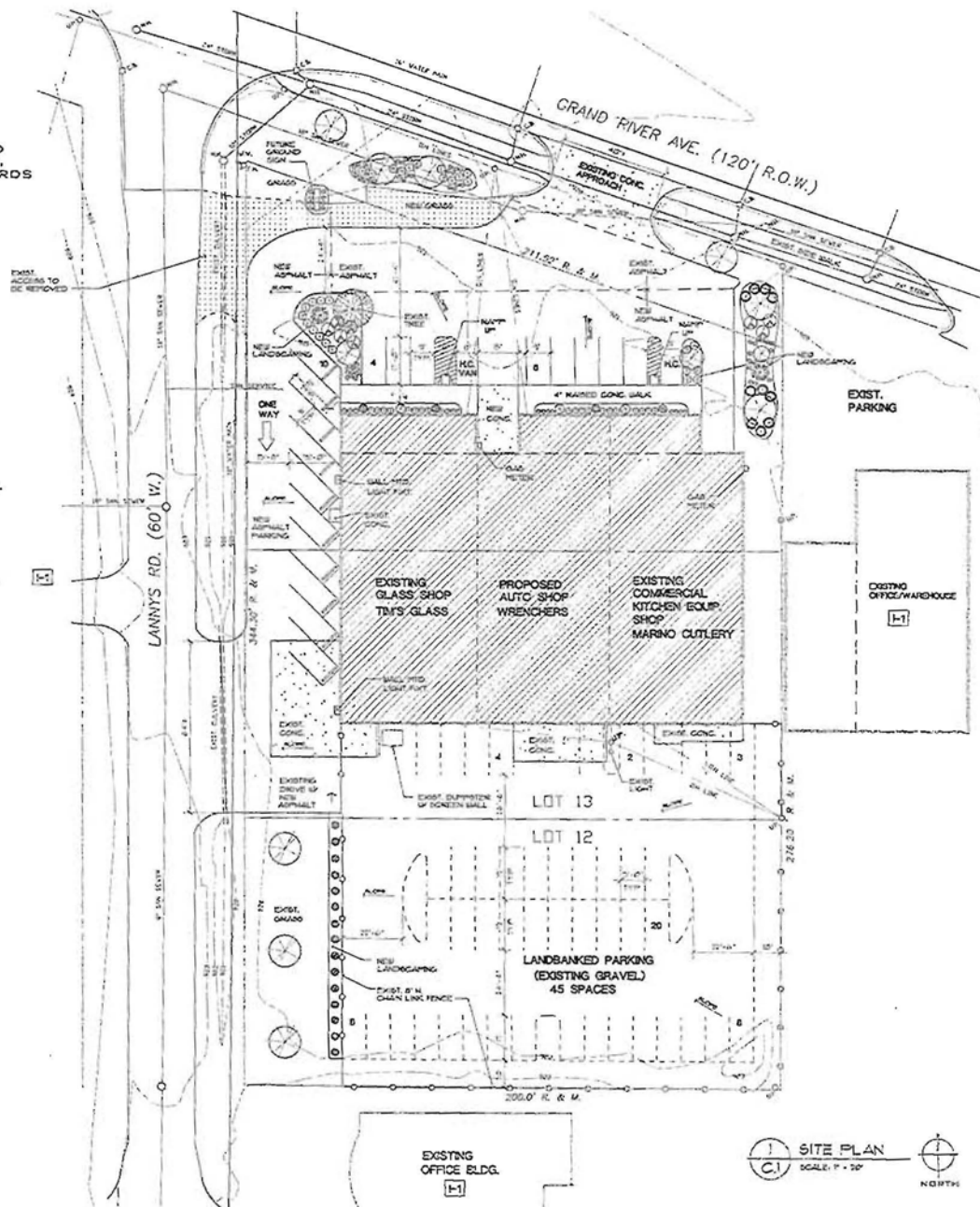
TIM'S GLASS:	1 PER 700 SQ. FT. USABLE FLOOR AREA 5,250/700 = 7.4 = 7
WRENCHERS:	1 PER 100 SQ. FT. USABLE FLOOR AREA + ONE FOR EACH EMPLOYEE 5,004/100 = 50 + 4 EMPLOYEES = 54
MARINO CUTLERY:	1 PER 700 SQ. FT. USABLE FLOOR AREA 5,006/700 = 7.1 = 7
TOTAL REQUIRED:	68 SPACES
TOTAL PROVIDED:	63 SPACES (45 LANDBANKED)

SHEET INDEX:

C.1	TITLE SHEET - SITE PLAN
LS.1	LANDSCAPE PLAN
A.1	FLOOR PLAN
A.2	ELEVATIONS



LOCATION MAP
 NO SCALE



EXISTING
 OFFICE BLDG.
 [H-1]

(C.1) SITE PLAN
 SCALE: 1" = 20'



S. HOFFMAN
 ARCHITECT

P.O. BOX 252474
 WEST BLOOMFIELD
 MICHIGAN 48325
 P. 248.202.6913
 F. 512.532.9564

PROJECT:
 WRENCHERS

44455 GRAND RIVER
 NOVI, MICHIGAN

SHEET TITLE:

TITLE SHEET
 SITE PLAN



ISSUED FOR:

SPECIAL LAND
 USE APPROVAL
 07.17.09
 05.26.09
 ZBA
 09.16.09
 PRE-LIM.
 SITE PLAN
 APPROVAL
 09.24.09

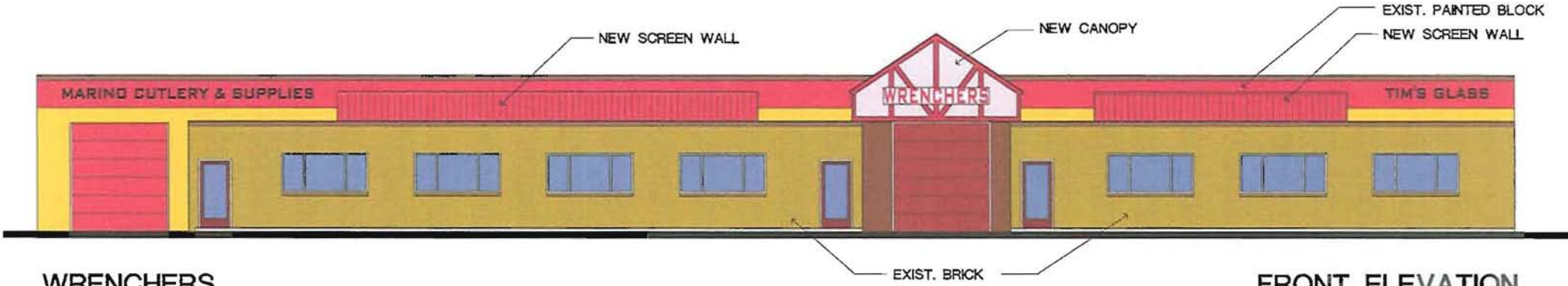
DO NOT SCALE
 PRINTS - USE
 FIGURED
 DIMENSIONS ONLY

JOB NO.

0917

SHEET NO.

C.1



WRENCHERS

44455 GRAND RIVER, NOVI, MI

FRONT ELEVATION

APPLICANT RESPONSE LETTER(S)

HOFFMAN DESIGN INC.

P.O. BOX 252434 WEST BLOOMFIELD, MI 48325
248-202-6913 FAX: 512-532-9504

September 24, 2009

City of Novi
Planning Department
45175 W. Ten Mile Rd.
Novi, MI 48375

Re: Wrencher's Garage – SP09-25 – Plan Review comments and responses.

Dear Mr. Spencer:

Please consider this letter as explanation and response to your review for the project noted above.

Planning Review:

As we have presented in our documents, the building is non-conforming and existing and any improvements to this site are in the process of getting multiple variances and special land use approvals. The variances we are requesting are, relating to section 1903.4, are:

1. Minimum site area of two acres – currently the site is only 1.4
2. Parking in front yard setback.
3. Parking in side yard setback.
4. Garage doors on the side of the building facing a major thoroughfare.
5. Required amount of parking spaces – 68 required, 20 provided with 45 land banked.

Notes to the plans will be added to ensure that vehicles will not be stored for more than 24 hours, not be sold or left partially dismantled outside.

A noise impact analysis has been performed and will be included with the final site plan documents submission.

Currently, outdoor lighting is handled by existing wall pack fixtures mounted on the building and fixtures mounted to existing utility poles. A lighting plan adhering to section 2511 standards will be submitted with final site plan approval documents. Any additional lighting required will be added to the plan.

Landscape Review:

Due to the existing parking and site constraints, the landscaping on this site is very challenging. The plans will be modified according to the review comments and calculations provided for. Any insufficient quantities will be address and documented upon final site plan approval document submissions. Plans will have the standard Novi planting details and correct plant material sizes. Irrigations plans and cost break downs will also be provided upon Final site plan submittal.

Parking and Vehicular Traffic Review:

As recommended, the complete survey of existing conditions will be included in the final site plan approval document submission. The architectural site plan will also reflect all curb cuts within 200 ft. of the site. Regarding the move and changes to the Lanny's Road access to the site, we believe that we can accommodate most of the city standards and requirements. Unfortunately, the recommendation does not show consideration of

the overhead door located on the west side of the building. Moving the access point will considerably hinder accessibility and maneuverability of any large vehicles trying to enter the building. We can apply the correct standards to any future access construction but we would have to leave it in the current location.

At some point in the future, when there is a necessity for more parking, the plans will be updated and handicap accessibility will be provided for. All access points in the building, location of spaces, markings, signs and walks will be provided for.

As recommended, the parking layout will be adjusted to accommodate the door on the west side and all islands will adhere to the city of Novi standards.

Upon final site plan document submission, all engineering details, grading, proposed curbing and calculations will be provided and meet city of Novi engineering standards. If any curbs are required that will not be detrimental or prohibit current water drainage courses, they will be added.

Engineering Review:

Upon final site plan document submission, all engineering details, grading, proposed curbing and calculations will be provided and a note stating that all work shall conform to the current City of Novi engineering standards. If any curbs are required that will not be detrimental or prohibit current water drainage courses, they will be added at that time.

The Right of Way will be more clearly delineated for Grand River and Lanny's Road as well as all radii at access points and islands. All parking space angles will be labeled, sidewalk and 4 inch integral curb and handicap ramp details will also be provided. The approach off of Lanny's Road will not be reconstructed until the parking in the rear of the building is warranted; it will currently be left unaltered.

Upon final Site Plan document submission, a cost estimate for all engineering work will be provided.

Façade Review:

As recommended, the proposed equipment screen walls will be changed from ribbed metal panels to flat metal panels. The screen walls will be painted the exact subdued red color that is currently on the building.

Fire Marshal Review:

As set forth by the fire marshal, the rear gate/access will be provided with a Knox box and or key switch. Prior to final approval, a completed Hazardous Materials Survey and Inventory shall be provided to the Fire Department.

Thank you for the expedience and thoroughness of yours and the consultants reviews. Should you have any further concerns, please do not hesitate to contact me or the project owners.

Sincerely,

A handwritten signature in blue ink, appearing to read "Stephan M. Hoffman".

Stephan M. Hoffman, RA

Plans available for viewing at the
Community Development Department.