



cityofnovi.org

## Hickory Woods Elementary SP 09-27

### **Hickory Woods Elementary, SP09-27**

Public Hearing of the request of TMP Architecture, Inc., for Wetland Permit approval. The subject property is located in Section 2, north of Thirteen Mile, west of Novi Road, in the R-4, One-Family Residential District. The subject property is approximately 28.6 acres and the applicant is proposing the addition of four classrooms on the northeastern side of the school.

### **Required Action**

Approval/denial of the Wetland Permit

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Comments provided	10/19/09	Stamping Sets required.
Wetlands	Approval recommended	10/14/09	<ul style="list-style-type: none"><li>• 469 cubic yards of fill proposed in regulated wetland.</li><li>• Authorization to encroach into the 25-foot natural features setback required.</li></ul>
Landscape	Comments provided	10/16/09	
Engineering	Approval recommended	10/14/09	Minor items to be addressed on the Stamping Set submittal.
Traffic	Comments provided	10/14/09	
Fire	Approval recommended	10/13/09	

## **Motions**

### **Approval – Wetland Permit**

In the matter of Hickory Woods Elementary, SP 09-27, motion to **approve** the Wetland Permit, subject to the following:

- a. The comments and conditions listed in the wetland review letter being addressed on the Wetland Permit; and
- b. *(additional conditions here if any)*

for the following reasons... *(because the plan is in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the Ordinance)*

### **Denial – Wetland Permit**

In the matter of Hickory Woods Elementary, SP 09-27, motion to **deny** the Wetland Permit, for the following reasons.....

## PLANNING REVIEW



## PLAN REVIEW CENTER REPORT

October 19, 2009

### Planning Review

Hickory Woods Elementary

SP09-27

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#### Petitioner

TMP Architecture, Inc.

#### Review Type

Preliminary/Final Site Plan

#### Property Characteristics

- Site Location: 30655 Novi Road (north of 13 Mile Road, west of Novi Road)
- Site Size: 28.6 acres
- Zoning: R-4 (One-Family Residential)
- Adjoining Zoning: North: RM-1; East: RA (across Novi Road); South and West: R-4
- Proposed: Single-story, four classroom addition
- Plan Date: 09-01-09

#### Project Summary

The existing Hickory Woods Elementary School is proposing the addition of four classrooms on the northeastern side of the school. To accommodate the proposed addition, the existing driveway on the northern end of the site as well as drive leading to the back of the school on the northeastern end and adjacent parking would be relocated.

#### Recommendation

Approval of the Preliminary/Final Site Plan is **recommended, subject to consideration by the Planning Commission of a Wetland Permit**. The applicant should submit response letters to the attached set of reviews, and additional plan sets so the matter can proceed to the Planning Commission for consideration of the Non-Minor Use Wetland Permit.

#### Ordinance Standards

The submitted Preliminary/Final Site Plan was reviewed per the standards of Article 4 (R-1 through R-4, One-Family Residential District) and relevant sections of Article 24 (Schedule of Regulations) and Article 25 (General Provisions).

1. Public School Reviews: The City has limited jurisdiction when reviewing and approving plans proposed by public schools. Therefore, many of the attached comments are advisory in nature. The City of Novi appreciates the opportunity to comment on the plan in relation to the Zoning Ordinance Standards.
2. Wetland Permit Required: The Walled Lake School system should note that **a City of Novi Non-Minor Use Wetland Permit is required as well as Authorization to Encroach**

Hickory Woods Elementary Addition, SP09-27  
Preliminary/Final Site Plan  
October 19, 2009

**into the 25 foot Natural Features Setback.** The Planning Commission is authorized to review and approve wetland permits. Please see the attached review letter from the City's environmental consultants, ECT, Inc. for additional information.

**Planning Commission Approval of Wetland Permit**

The applicant should address the comments in all review letters in a response letter to be submitted with the Plan Sets for consideration by the Planning Commission. Thirteen copies of the plan should be submitted to the Community Development Department, along with the response letter for scheduling at the Planning Commission.

**Stamping Set Approval**

Following the Planning Commission's consideration of the Wetland Permit, the applicant will be asked to submit 9 sets of plans for Stamping Set approval. The Stamping Sets must have original signatures and original seals.

Please contact the Planning Division with any questions about this review or any of the other reviews for the project, or if you do not receive a complete package of review letters. (Letters needed: Planning, Engineering, Traffic, Landscape, Wetlands, Fire)

Brian Walsh for Kristen Kapelanski  
Planning Review by Kristen Kapelanski 248.347.0586 or kkapelanski@cityofnovi.org

**WETLAND REVIEW**



Environmental Consulting & Technology, Inc.

October 14, 2009

Ms. Barbara McBeth  
Deputy Director of Community Development  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: Hickory Woods Elementary School (SP09-27) Preliminary Site Plan Review for Wetlands

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Hickory Woods Elementary School Addition preliminary site plan (Plan) prepared by Spalding DeDecker Associates and TMP Architecture and dated September 1, 2009. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the setback provisions in the Zoning Ordinance.

**Existing Conditions and Proposed Impacts**

The site is located west of Novi Road, south of 14-Mile Road in Section 2 at the existing Hickory Woods Elementary School campus. The proposed project would add an addition to the northeast wing of the school building and add four more classrooms to the facility. The addition would require building into an area of existing driveway and building a new driveway in regulated wetland and 25-foot Natural Features Setback.

According to the Plan, wetland boundaries appear to have been accurately delineated and surveyed. ECT believes that the wetland slated for impact is regulated by both the City and MDEQ. The size of the subject wetland is, according to the Plan, greater than five-acres.

*Proposed wetland impact is placement of 469 cubic yards of fill into 4,371 square feet (0.1-acre).  
Proposed impact to the 25-foot Natural Features Setback is 5,945 square feet, or 0.136-acre.*

**Required Permits**

ECT believes the proposed project will require wetland use permits from the MDEQ and the City of Novi, as well as *Authorization to Encroach into the 25-foot Natural Features Setback.*

**Comments and Recommendation**

***ECT recommends approval of the Preliminary Site Plan.*** Given the necessary adjacencies associated with the existing school building and the proposed addition, ECT believes the applicant is constrained with respect to the location of the project. Therefore, the wetland impacts are unavoidable.

If you have any questions regarding the contents of this letter, please contact our office.

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

John A. Freeland, Ph.D., PWS  
Environmental Scientist

cc: Angela Pawlowski

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Boulevard, Ste 300  
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**LANDSCAPE REVIEW**





## PLAN REVIEW CENTER REPORT

### Preliminary Landscape Review

Hickory Woods Elementary School – SP#09-27

#### Review Type

Preliminary/Final Site Plan

#### Property Characteristics

Site Location: 30655 Novi Road (north of 13 Mile Road, west of Novi Road)  
Site Size: 28.6 acres  
Zoning: R-4 (One-Family Residential)  
Adjoining Zoning: North: RM-1; East: RA (across Novi Road); South and West: R-4  
Proposed: Single-story, four classroom addition  
Plan Date: 09-01-09

#### Project Summary

The existing Hickory Woods Elementary School is proposing the addition of four classrooms on the northeastern side of the school. To accommodate the proposed addition, the existing driveway on the northern end of the site as well as drive leading to the back of the school on the northeastern end and adjacent parking would be relocated. This document is a courtesy review for consideration by the school authorities. The Applicant is asked to please take into consideration the comments as follow.

#### Ordinance Considerations

##### Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. A 6' to 8' high landscape berm is typically required to screen adjacent residential properties. No berm exists or has been proposed. It does appear that there may be a significant vegetative screen along the property line which would serve to buffer the property.

##### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. No alterations are proposed along the right-of-way. As such, no berm/buffer is sought.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. No alterations are proposed along the right-of-way. As such, no additional street trees are requested.

##### Parking Landscape (Sec. 2509.3.c.)

1. Additional parking lot paving is proposed. Typically the Ordinance calls for landscape islands and Parking Lot Trees for non-residential parking areas or Special Uses. However, due to the zoning and use, no landscape area or Parking Lot Trees are specifically required. The Applicant is asked to consider the addition of these plantings to improve the site aesthetics.

##### Building Foundation Landscape (Sec. 2509.3.d.)

1. For non-residential uses, a 4' wide landscape bed is typically required at all building foundation areas with the exception of access points.

2. An area 8' wide multiplied by the length of the foundation is required as foundation landscape area. Opportunities exist to install this foundation landscape. The Applicant is asked to consider adding the required building foundation landscape area and plantings.

**Plant List (LDM)**

1. No Plant List has been provided. It appears that no additional plantings are proposed. Please clarify and provide a Plant List as necessary.
2. Please include a cost estimate for plantings and shredded hardwood mulch.

**Planting Details (LDM)**

1. No Planting Details have been provided. If plantings are proposed, please include the standard City of Novi Planting Details.

**Landscape Notes (LDM)**

1. No Planting Notations have been provided. If plantings are proposed, please include the standard City of Novi Planting Notations.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. All landscape areas are required to be irrigated. Please clarify if irrigation is proposed and provide an irrigation plan and cost estimate.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



Reviewed by: David R. Beschke, RLA

## ENGINEERING REVIEW



## PLAN REVIEW CENTER REPORT

October 14, 2009

### Engineering Review

Hickory Woods Elementary Addition  
SP09-27

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#### Petitioner

Hickory Woods Elementary

#### Review Type

Preliminary Site Plan

#### Property Characteristics

- Site Location: Novi Road, North of 13 Mile Road
- Site Size: 28.6 acres
- Plan Date: August 28, 2009

#### Project Summary

- Construction of a four classroom addition and associated parking.
- Water service would be provided by an 8-inch extension from Novi Road. The existing 8-inch water main on the site is proposed to be re-routed around the addition.
- Sanitary sewer service would be provided by extending a lead from the existing sanitary manhole on site.

#### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

#### Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments (to be addressed prior to the Final Site Plan submittal):**

**General**

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Label the Novi Road right-of-way on the plan.
4. Show all existing and proposed public utility easements on the plan.

**Water Main**

5. Profiles are required for all water main 8-inches in diameter or larger.

**Sanitary Sewer**

6. Lower the proposed lead invert in EX. MH#6 on the plan to within a foot of the lowest invert.
7. The minimum diameter of all roof leads is 8-inches. The proposed leads are 6-inch.

**Storm Sewer**

8. All storm sewer shall be a minimum 12-inch class IV reinforced concrete pipe. Please label all pipe on the next submittal.

**Storm Water Management Plan**

9. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
10. Shown and label on the plan where storm water drainage is being discharged from the site.

**Paving & Grading**

11. All approach pavement within the City of Novi right-of-way shall match the cross section of Novi Road. The current City standard cross section is 1 1/2" 4c Bit. over 1 1/2" 3c Bit. over 2" 2c Bit. on 12-inches of 21AA aggregate. Show this cross section detail on sheet C1.3.
12. Aggregate base under curb shall meet the depth of the adjacent roadway. The proposed detail is labeling 21AA as being 4" in depth. Please revise the cross section on sheet C1.3 to meet the roadway depth.
13. Add an ADA detectable warning surface to the accepting ramp to the south of the approach. Since the ramp is not being reconstructed, an adhesive DWS will be allowed. Please show details for any DWS proposed on the next submittal.

**The following must be submitted at the time of Final Site Plan submittal:**

14. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
15. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the

determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

16. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

17. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
18. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni In the Community Development Department (248-347-0430) for forms and information.
19. A permit for work within the right-of-way of Novi Road must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
20. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
21. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
22. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



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cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Tina Glenn, Water & Sewer Dept.

**TRAFFIC REVIEW**

October 14, 2009

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375



**SUBJECT:** Hickory Woods Elementary School Addition, SP#09-27,  
Traffic Review of Preliminary Site Plan

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments. Items to be resolved are highlighted in bold font.

### **Recommendation**

We recommend approval of the preliminary site plan, subject to the issues highlighted below being satisfactorily addressed.

### **Project Description**

What is the applicant proposing?

1. The applicant, TMP Architecture, Inc. proposes to construct a 4-classroom addition to the north side of an existing elementary school. School is located on the west side of Novi Road, between 13 Mile and 14 Mile Roads. Proposed addition would necessitate shifting a portion of the existing one-way drive which circulates counter-clockwise around the perimeter of the building. The existing inbound driveway on the west side of Novi Road is proposed to be widened, creating a three-lane driveway with designated left-turn, right-turn, and through lanes. Proposed new paving would be limited to the widened portion of the inbound driveway and the portions of the parking lot/circulation lanes in the immediate vicinity of the proposed addition. The remainder of the parking lot(s), the maneuvering lanes, the one-way circulation drives, and the outbound driveway will remain unchanged.

### **Traffic Study**

Was a study submitted and is it acceptable?

2. No traffic impact assessment was required nor submitted. The addition of four classrooms could conceivably accommodate additional students, which would generate additional traffic. Our understanding is that the addition is intended to accommodate the existing student population, and not new/additional students or classes. The widening of the inbound driveway to three lanes will assist in mitigating any increase in traffic.



### **Trip Generation**

How much traffic would the proposed development generate?

3. Trip generation rates for elementary schools published by the Institute of Transportation Engineers (ITE) are based upon number of students. Based on our conversation with the project's manager and architect, the proposed classroom addition is intended to accommodate the building's existing students. The existing traffic volumes and trip distribution patterns are not expected significantly to change as a result of the proposed expansion.

### **Vehicular Access Locations**

Do the proposed driveway locations meet City spacing standards?

4. The school has two existing driveways on the west side of Novi Road; one inbound and one outbound. Those driveways are roughly 250 feet apart (measured near-curb-to-near-curb), which meets the City's same-side driveway spacing standards based on the 40-mph speed limit of that portion of Novi Road.
5. The outbound school driveway would ideally have a more favorable alignment with Waverly Drive on the east side of Novi Road, but no changes are proposed to that driveway. If ever reconstruction of the school's outbound driveway is proposed (perhaps as part of a future expansion to the south side of the school), that would be the opportunity to consider aligning it with Waverly Drive.

### **Vehicular Access Improvements**

Will there be any improvements to the public road(s) at the proposed driveway(s)?

6. The north side of the school's existing inbound driveway is proposed to be widened, but its approach from Novi Road will be reconstructed with a curb and gutter design identical to the existing driveway, including a 35-foot entering radius. No deceleration lanes or tapers are proposed, and no traffic study was submitted to analyze whether such an improvement would be warranted. Those warrants are based on the volume of peak-hour turns (which we assume are substantial), and current traffic volumes on southbound Novi Road.

### **Driveway Design and Control**

Are the driveways acceptably designed and signed?

7. The inbound driveway is proposed to be widened to three lanes with a 36-foot cross-section (measured back-to-back of curb). While this width is technically wider than the maximum permitted by the City for a one-way commercial drive approach (max. 20 feet), it is appropriate for the three-lane function of the driveway.
8. Preliminary plan did not include a detailed signing and striping plan for proposed and/or existing signs and pavement markings at the two site driveways. Final site plan should include a detailed signing and striping plan, which should include details of existing signing/striping to remain. Details should include existing/proposed regulatory signage at the existing outbound driveway. Per City policy, all signing and striping shall comply with the standards of the Michigan Manual of Uniform Traffic Control Devices (MMUTCD).

## **Pedestrian Access**

Are pedestrians safely and reasonably accommodated?

9. The existing pathway along the west side of Novi Road will have to be reconstructed where it intersects the inbound driveway and a new ramp will be installed. Sheet C1.3 properly labels the crosswalk to be painted white per MMUTCD standards.
10. Existing sidewalk around the perimeter of the north side of the building will be replaced with a 8-foot new section around the perimeter of the expanded building.

## **Circulation**

Can vehicles safely and conveniently maneuver through the site?

11. The section of the one-way circulation drive around the building which is to be rebuilt has been designed to match the dimensions of the existing one-way drive (22-foot cross section), consistent with City standards.
12. If not already in place, directional signage and pavement markings should be installed/applied where the two-way parking lot maneuvering aisle intersects with the one-way circulation drive (to prevent drivers from turning into one-way traffic). Directional-arrow pavement markings should be applied along the two-way maneuvering aisle to alert drivers of it's two-way traffic flow.

## **General / Miscellaneous Comments**

Are there any significant issues beyond those discussed above?

13. At least two of the nine parking stalls to be relocated do not meet the minimum 9-foot width as required per Section 2506 of the Zoning Ordinance. Any new stalls should meet the dimensional standards of the City's Zoning Ordinance.

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP  
Vice President



William A. Stimpson, P.E.  
Director of Traffic Engineering



David R. Campbell  
Senior Associate

**FIRE REVIEW**



October 13, 2009

**CITY COUNCIL**

Mayor  
David B. Landry

Mayor Pro Tem  
Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

Brian Burke

**City Manager**  
Clay J. Pearson

**Fire Chief**  
Frank Smith

**Deputy Fire Chief**  
Jeffrey Johnson

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Hickory Woods Elementary School Addition  
30655 Novi Rd.

SP#: 09-27

**Project Description:**

Approx. 5900 S.F. addition (4 Classrooms) to an existing elementary school.

**Comments:**

None

**Recommendation:**

The above is **Recommended for Approval.**

Sincerely,

Michael W. Evans  
Fire Marshal

cc: file

**Novi Fire Department**  
42975 Grand River Ave.  
Novi, Michigan 48375  
248.349-2162  
248.349-1724 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER(S)**



**SDA Response to Preliminary  
Site Plan Review Comments**

Engineering

General

1. Note provided on sheet C1.1 that all utility, soil erosion, and right-of-way work will comply to the City of Novi standards and specifications. Other onsite paving construction is not subject to local jurisdiction.
2. City Standard Detail Sheets will be submitted with the stamping set.
3. Novi Road right-of-way has been labeled.
4. The only existing easement is the over the existing watermain. That easement is indicated as well as the proposed watermain easement.

Water Main

5. The watermain profile has been added.

Sanitary Sewer

6. We have lowered the proposed sewer lead invert at MH #6 as requested.
7. Private roof leads are not subject to local jurisdiction and have been left at 6" diameter. This size is adequate to handle the small amount of roof drainage.

Storm Sewer

8. We have provided utility note number 1 on sheet C1.2, which indicates that all storm sewer shall be C76-Class IV RCP.

Storm Water Management Plan

9. Per earlier discussion, we have provided calculations indicating the nominal change in the impervious factor for the site. This change will not negatively impact the existing storm sewer system, and we have stated this on the plan.
10. We have provided a copy of the original storm sewer plan from 1990, which indicates the storm sewer discharge at the west property line.

Paving and Grading

11. Approach pavement cross section has been modified as requested.
12. Curb detail has been modified as requested.
13. Adhesive detectable warning strip has been indicated at the south side of the approach.

Additional Items for Final Site Plan Submittal

14. This letter highlights the changes made to the plans.
15. An itemized construction cost estimate will be submitted with the Final Site Plan.

Additional Items for Stamping Set Submittal

16. A draft copy of the watermain easement will be submitted.



Additional items to be addressed prior to construction

17. Grading permit will be issued at the preconstruction meeting.
18. Plans and application have been submitted for the SESC permit.
19. Plans and application have been submitted for the ROW permit.
20. Plans and application have been submitted for the MDEQ watermain permit.
21. Please discuss the construction inspection fees with the owner and construction manager.
22. Please discuss the performance guarantee with the owner and construction manager.

Traffic

The only item requiring comment is item 8 regarding signing and striping plan:

8. Additional striping and signage has been indicated. No changes are proposed at the existing outbound driveway and that driveway is not shown on the plan. A note has been added that all signing and striping shall comply with the standards of the MMUTCD.

**REDUCED SITE PLAN**

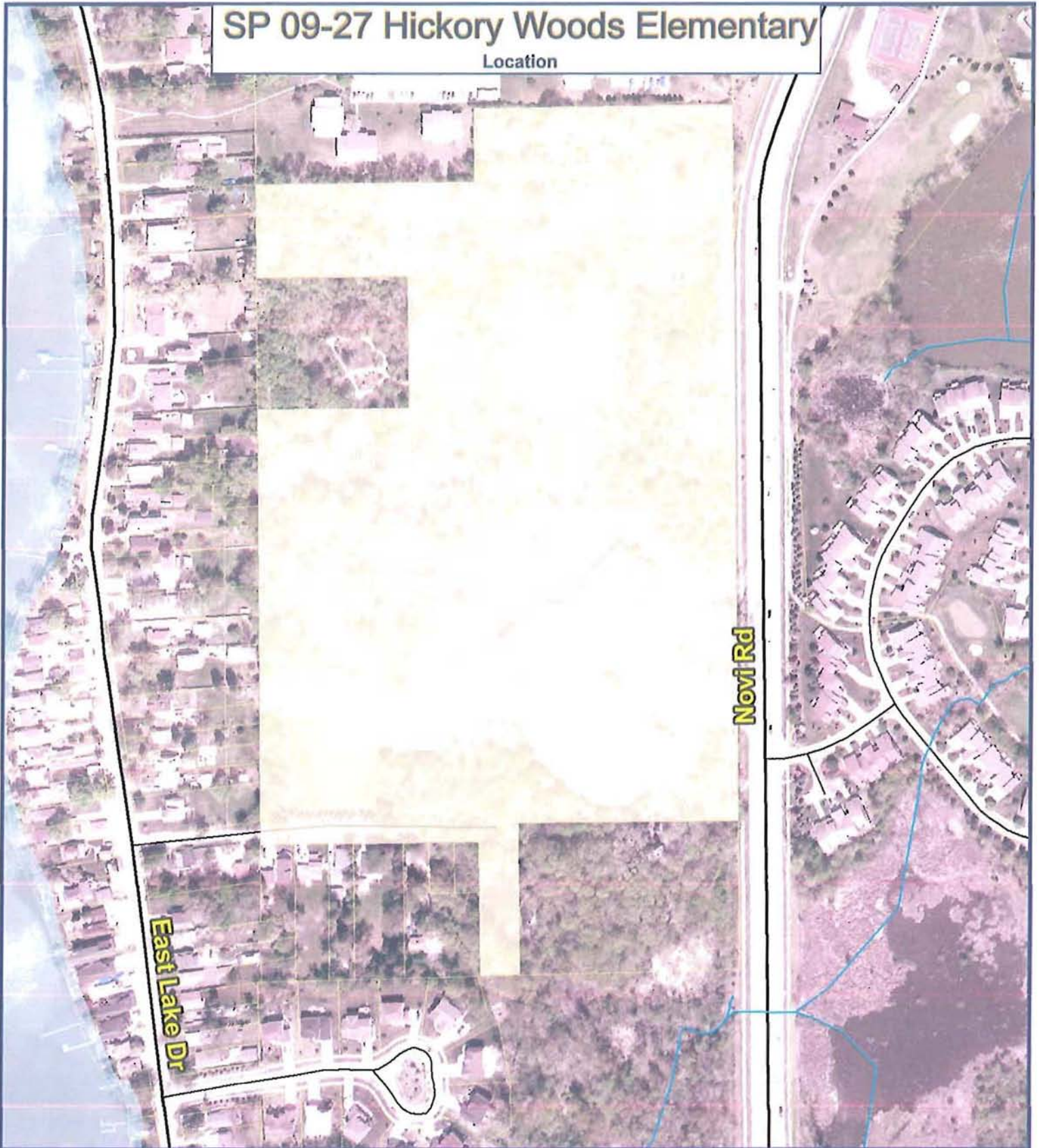




**LOCATION MAP**

# SP 09-27 Hickory Woods Elementary

Location



Map Author: Kristen Kapelanski  
Date: 11/09/09  
Project: SP09-27 Hickory Woods Elementary  
Version #: 1.0

## Map Legend

 Subject Property

### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



**City of Novi**  
Department Division  
Department Name  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org



1 inch = 250 feet