

MEMORANDUM



TO: MEMBERS OF THE PLANNING COMMISSION
FROM: KRISTEN KAPELANSKI, PLANNER
THRU: BARBARA MCBETH, COMMUNITY DEVELOPMENT DEPUTY
DIRECTOR
SUBJECT: MEDILODGE OF NOVI 10-05A
DATE: MARCH 19, 2010

The attached packet for consideration of the Medilodge of Novi Preliminary Site Plan, Special Land Use Permit, Wetland Permit, Woodland Permit and Stormwater Management Plan includes negative recommendations in the Façade and Woodlands review letters. Staff has been working with the applicant to resolve these outstanding issues but it doesn't appear a resolution is likely until Monday or Tuesday of next week, meaning revised letters with supporting material will not be ready for inclusion in the Planning Commission's packets. Staff does expect the applicant will provide the missing woodlands information and revised elevations by early next week. The City's consultants have offered to review that information and revise their letters and recommendations (if appropriate) prior to the Planning Commission meeting. Revised letters will be passed on to the Planning Commission via email as soon as they are available and hardcopies will be distributed at the Planning Commission meeting.



MEDILODGE OF NOVI SP10-05A

MEDILODGE OF NOVI, SP10-05A

Public Hearing of the request of The Medilodge Group for Preliminary Site Plan, Woodland Permit, Wetland Permit and Special Land Use Permit approval. The subject property totals approximately 20.05 acres and is located in Section 17, north of Eleven Mile Road between Beck Road and Wixom Road, parcel 5022-17-400-002. The applicant is proposing a 120 bed 78,560 square foot convalescent (nursing) home building.

REQUIRED ACTION

Approve or deny Special Land Use Permit, Preliminary Site Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended <i>(contingent on approval of PRO Agreement by City Council)</i>	03/08/10	<ul style="list-style-type: none"> Applicant should adjust the façade to incorporate additional residential design elements. Applicant should submit revised plans to address the Woodland concerns. Items to be addressed on the Final Site Plan.
Landscaping	Approval recommended	03/10/10	<ul style="list-style-type: none"> Additional plantings should be provided on the eastern property line to buffer adjacent residential. Items to be addressed on the Final Site Plan.
Wetlands	Approval recommended	03/08/10	Items to be addressed on the Final Site Plan.
Woodlands	Denial recommended	03/08/10	<ul style="list-style-type: none"> Applicant should complete a tree survey for the entire property. Applicant should revise the plans to clearly show impacts and replacements. Items to be addressed on the Final Site Plan.
Traffic	Approval recommended	03/04/10	Items to be addressed on the Final Site Plan.
Engineering	Approval recommended	03/08/10	Items to be addressed on the Final Site Plan.
Façade	Denial recommended	02/16/10	<ul style="list-style-type: none"> Applicant should add additional features of the proposed Suburban Low-Rise District. Items to be addressed on the Final Site Plan.

Fire	Approval recommended	03/09/10	Items to be addressed on the Final Site Plan.
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Approval – Special Land Use Permit

In the matter of the request of The Medilodge Group, SP 10-05A, motion to approve the Special Land Use permit, subject to the following:

- a. Planning Commission finding under Section 2516.2.c for the Special Land Use permit:
Whether, relative to other feasible uses of the site,
 - The proposed use will not cause any detrimental impact on existing thoroughfares *(due to the fact that per the approved Traffic Study, the proposed development will generate less traffic than development under the original R-3 zoning).*
 - The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *(due to the fact that the applicant has provided residential architectural elements and a design with a residential character.)*
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
 - The proposed use will promote the use of land in a socially and economically desirable manner.
 - The proposed use is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located *(as noted in the staff and consultant's review letters);*
- b. Contingent on approval of the PRO Agreement by the City Council and any additional provisions contained in that agreement being addressed on the Final Site Plan;
- c. Compliance with all conditions and requirements listed in the staff and consultant review letters;
- d. *(Insert specific considerations here)*

For the following reasons... *(because the plan adheres to the approved concept plan and deviations included therein and is otherwise in compliance with Article 6, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)*

Denial – Special Land Use Permit

In the matter of the request of The Medilodge Group, SP 10-05A, motion to deny the Special Land Use permit, for the following reasons...*(because it does not meet the following standards of the ordinance for approval of a Special Land Use permit...)*

Approval – Preliminary Site Plan

In the matter of The Medilodge Group, SP 10-05A, motion to approve the Preliminary Site Plan, subject to the following:

- a. The applicant providing a tree survey for the entire property and adequately addressing the woodland consultant's concerns;
- b. Additional plantings being provided along the eastern property line to buffer the adjacent residential;
- c. Applicant adjusting façade to incorporate additional elements of the suburban low-rise concept;
- d. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- e. Contingent on approval of the PRO Agreement by the City Council and any additional provisions contained in that agreement being addressed on the Final Site Plan;
- f. *(additional conditions here if any)*

for the following reasons... *(because the plan adheres to the approved concept plan and deviations included therein and is otherwise in compliance with Article 6, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)*

Denial – Preliminary Site Plan

In the matter of The Medilodge Group, SP 10-05A, motion to **deny** the Preliminary Site Plan, for the following reasons... *(because it is not in compliance with the following sections of the Zoning Ordinance....)*

Approval – Wetland Permit

In the matter of The Medilodge Group, SP 10-05A, motion to **approve** the Wetland Permit, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. Contingent on approval of the PRO Agreement by the City Council and any additional provisions contained in that agreement being addressed on the Final Site Plan;
- c. (additional conditions here if any)

for the following reasons...(because it is in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the Ordinance).

Denial– Wetland Permit

In the matter of The Medilodge Group, SP 10-05A, motion to **deny** the Wetland Permit, for the following reasons...(because it is not in compliance with Chapter 12 of the Code of Ordinances).

Approval – Woodland Permit

In the matter of The Medilodge Group, SP 10-05A, motion to approve the Woodland Permit, subject to:

- a. The applicant providing a revised tree survey identifying all of the trees on the entire property;
- b. The applicant revising the plans so that trees removals and replacements are clearly shown;
- c. Contingent on approval of the PRO Agreement by the City Council and any additional provisions contained in that agreement being addressed on the Final Site Plan; and
- d. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan;
- e. (additional conditions here if any)

for the following reasons...(because it is in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance).

Denial– Woodland Permit

In the matter of The Medilodge Group, SP 10-05A, motion to deny the Woodland Permit, for the following reasons...(because it is not in compliance with Chapter 37 of the Code of Ordinances).

Approval – Stormwater Management Plan

In the matter of the Medilodge Group, SP 10-05A, motion to **approve** the Storm Water Management Plan, subject to the following:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. Contingent on approval of the PRO Agreement by the City Council and any additional provisions contained in that agreement being addressed on the Final Site Plan;
- c. (additional conditions here if any)

for the following reasons...(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Denial– Stormwater Management Plan

In the matter of The Medilodge Group, SP 10-05A, motion to **deny** the Storm Water Management Plan, for the following reasons...(because it is not in compliance with Chapter 11 of the Ordinance.)

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

March 8, 2010

Planning Review

Medilodge of Novi

Preliminary Site Plan SP10-05A

Petitioner

The Medilodge Group

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North side of Eleven Mile Road between Beck Road and Wixom Road (Section 17)
- Site Zoning: RM-1, Low Density, Low-Rise Multiple-Family Residential with a PRO
- Adjoining Zoning: North and East: R-3, One-Family Residential (OSC, Office Service Commercial further north); West: RA, Residential Acreage; South: R-1, One-Family Residential with a PRO (across Eleven Mile Road)
- Site Use: Vacant
- Adjoining Uses: North: Vacant, Providence Hospital Campus (further north); East: Vacant, Single-family Residential; West: ITC Easement, Wildlife Woods Park and Single-family Residential (further west); South: Existing Single-family Residential and approved but not built residential development
- Proposed Use: 120 bed convalescent home
- Site Size: 20 acres
- Plan Date: 02/19/10

Project Summary

The parcels in question are located on the north side of Eleven Mile Road, between Wixom Road and Beck Road in Section 17 of the City of Novi. The property totals 20 acres. The current zoning of the property is RM-1, Low Density, Low-Rise Multiple-Family Residential with a PRO. The applicant has proposed a 78,560 square foot, 120 bed convalescent home. The proposed convalescent home would include centralized dining and physical therapy facilities along with other ancillary features. This property was recently rezoned with a Planned Rezoning Overlay (PRO) from R-3 to RM-1. The Planning Commission gave a positive recommendation for approval of the concept plan and rezoning to City Council on February 24, 2010. The rezoning with PRO appeared before the City Council on March 8, 2010. At that meeting, City Council granted preliminary approval of the plan and rezoning. The applicant is currently working with the City Attorney on finalizing the Planned Rezoning Overlay Agreement which will appear before the City Council for their consideration at an upcoming meeting. The Preliminary Site Plan is generally consistent with the approved concept plan.

Recommendation

Approval of the ***Preliminary Site Plan is recommended*** contingent on the approval of the PRO Agreement by the City Council. The plan is in compliance with most Ordinance requirements and the

conditions set forth in the Planned Rezoning Overlay agreement with planning related items to be addressed at the time of Final Site Plan submittal.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to the Planned Rezoning Overlay Concept Plan, Article 6 (RM-1, Low Density, Low-Rise Multiple-Family Residential District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed by the applicant or Planning Commission before Preliminary Site Plan Approval may be granted.

1. Barrier Free Spaces: Per the Barrier Free Code, one of every six barrier free spaces must be van accessible. Twenty-one barrier free spaces have been provided but only one of those is van accessible. **The applicant should alter the plans so that four of the twenty-one barrier free spaces are van accessible. One sign should be provided for each barrier free space.** The plans do not provide details concerning the ramps or access for barrier free spaces along the main entrance. **The applicant should provide details showing whether these spaces will be flush with the adjacent sidewalk or whether ramps will be provided.**
2. Loading Space: Approximately 360 square feet of loading space has been provided. **The proposed loading zone should be clearly indicated with the appropriate striping.**
3. Dumpster Screening: Dumpster screening one foot taller than the proposed dumpster should be provided. Interior bumpers or posts must be shown. **The applicant should include the height of the dumpster on the screening details and indicate protective bollards.**
4. Height of Lighting: The height of proposed lighting fixtures cannot exceed 25 feet when adjacent to residential districts. **The applicant should provide elevations showing mounting heights for light fixtures attached to the building.**
5. Photometric Plan – Required Notes: **The applicant should include the hours of operation and required notes on the photometric plan.**
6. Minimum/Maximum Illumination: Light levels seem particularly high at the borders of the parking on the eastern and western property lines. **The applicant may want to consider reducing light levels at these locations, particularly at the southeastern border of the parking lot due to the adjacent single-family residence.** When a site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle. **The applicant should provide illumination levels at the property line.**
7. Cut-off Angles: All cut off angles of fixtures must be 90 degrees when adjacent to residential districts. **The applicant should revise the fixtures so that all have a 90 degree cut off.**
8. On-Site Sidewalk: The proposed plans show a sidewalk along the majority of the eastern side of the building. However, the sidewalk along the western side of the building does not extend the full length of the building or loop around the access drive. **The applicant should consider providing a sidewalk along the access drive and connecting the internal sidewalk system to the regional pathway proposed as part of the public benefit.**

9. Façade: The subject property is anticipated to be included in the new Suburban Low-Rise District as part of the Master Plan update. Buildings in this new district should have a residential character to their façade, including peaked roofs, dormers, covered porches, etc. The applicant has included some of these features as part of their proposal but **per the City Council preliminary approval motion (March 8, 2010) the applicant should incorporate additional features of the proposed Suburban Low-Rise concept as stated in the Façade Consultant's review letter, dated February 16, 2010.**
10. Woodland Review: There are a number of outstanding issues regarding the tree survey and woodland replacement plan. **The applicant should submit revised plans to address the concerns noted in the Woodland Review Letter.**

Planned Rezoning Overlay

The rezoning with a Planned Rezoning Overlay was granted conceptual approval by City Council on March 8, 2010. The PRO acts as a zoning map amendment, creating a "floating district" with a conceptual plan attached to the rezoning of the parcel. As a part of the PRO, the underlying zoning is changed, in this case to RM-1 as requested by the applicant, and the applicant enters into a PRO Agreement with the City, whereby the City and applicant agree to any deviations to the applicable ordinances and tentative approval of a conceptual plan for development for the site. The following ordinance deviations were included in the PRO Agreement

1. The maximum permitted building length is 360 feet. The overall building length if proposed to be 492 feet. This ordinance deviation will be included in the PRO Agreement.
2. A building in the RM-1 District must be oriented at a minimum angle of 45 degrees to adjacent single-family residential zoning. The proposed structure is perpendicular to Eleven Mile Road with the rear half of the structure rotated 30 degrees. This ordinance deviation will be included in the PRO Agreement.
3. The required side yard building setback is 134 feet (based on the building length). The building is proposed to be setback 123 feet on the east side. This ordinance deviation will be included in the PRO Agreement.
4. The dumpster is required to be located in the rear yard. The proposed dumpster and dumpster enclosure is shown in the interior (western) side yard. This ordinance deviation will be included in the PRO Agreement.
5. A 4.5 foot to 6 foot high landscaped berm is required along the west, north and east property boundaries. No berm is provided in any of the aforementioned yards. These ordinance deviations will be included in the PRO Agreement.
6. The ordinance requires a minimum of 30 percent brick and a maximum of 25 percent asphalt shingles on each façade. The façade does not meet these standards. These deviations will be included in the PRO Agreement.

When a PRO is proposed, applicants are required to demonstrate a public benefit above and beyond what would be associated with the normal development of the site. This public benefit is included in the PRO Agreement. The public benefits associated with the subject property are as follows:

1. The list of permissible permitted uses, the number of beds and the permitted size of the facility will be limited as part of the PRO Agreement. *This will be included in the PRO Agreement and is reflected on the plans as noted above.*
2. The applicant has agreed to relocate the proposed floodplain mitigation as indicated in the PRO Concept Plan Woodland Review Letter. *The floodplain mitigation has been relocated accordingly.*
3. The applicant has agreed to locate the required sanitary sewer extension along the southern side of Eleven Mile Road. *The sanitary sewer extension has been located accordingly on a supplemental utility plan.*

4. The applicant has agreed to a conservation easement totaling 8.5 acres located mostly in the rear of the property. *This will be included in the PRO Agreement and has been included as part of the Preliminary Site Plan submission materials.*
5. The developer agreed to provide a pathway through the adjacent ITC Utility Easement. *A plan depicting this pathway was not included in the Preliminary Site Plan submittal. **The applicant should provide a plan depicting the proposed pathway.***
6. The applicant has agreed to increase the landscape plantings on the east property line to assist in providing a buffer for the adjacent residential properties. ***The applicant should include additional screening along the eastern property line. See the Landscape Review Letter for additional information.***

The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two years, the PRO concept plan expires and the agreement becomes void.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the matter being reviewed by the Planning Commission**. Additionally, a letter from the applicant is requested to be submitted with the next set of plans submitted highlighting the changes made to the plans addressing each of the comments listed above.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. To give you an advance notice of the requirements and what must be in place prior to the Pre-Con, a sample Pre-Con checklist is attached. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.


Report by Partner Kristen Kapelanski (248) 347-0586

PLANNING REVIEW SUMMARY CHART
Preliminary Site Plan SP10-05A
Project Name: MediLodge of Novi
Plan Date: 02/19/10

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Single-Family Residential	Multiple-Family Residential	No	<p>Applicant should be advised that this property is currently part of the Master Plan update, which is nearing completion. The updated Master Plan (yet to be approved by the Planning Commission) may include an option in the form of a new zoning district that could be utilized on this property. The proposed 'Suburban Low-Rise District' would permit the proposed use and would be in compliance with the Master Plan. The proposed rezoning is not in compliance with the current Master Plan.</p> <p>Initial approval of the proposed rezoning with PRO was granted by the City Council on March 8, 2010. Once the PRO Agreement is drafted, it will be forwarded to the City Council for their approval.</p>
Zoning	RM-1 with PRO	RM-1 with PRO		Use permitted in RM-1
Principal Uses Permitted (Sec. 601)	Single, two and multiple - family residential.		N/A	
Uses Permitted Subject to Special Conditions (Sec. 602)	<p>Convalescent homes, assisted living facilities, hospice care facilities and child care centers subject to:</p> <p>(1) Convalescent homes, assisted living facilities and hospice care facilities: 1,500 sq. ft. total land area per bed.</p> <p>(2) Child care centers: min. 100 sq. ft. outdoor play area per child and min. 2,800 sq. ft. and fenced and screened</p>	<p>120 bed convalescent home – 7,260 sq. ft. of lot area per bed provided</p> <p>40' + building setback on all sides</p>	Yes	See more restrictive setback requirements listed below.

Item	Required	Proposed	Meets Requirements?	Comments
	from any residential district. (3) Min. 40 ft. building setback. (4) Accessory buildings and uses customarily incident to any permitted use.			
Building Height (Section 2400, Schedule of Regulations & 2603.2.E)	35 ft. two stories Roof top appurtenances additional 5 ft.	30 feet (to midpoint of roof) one story	Yes	
Building Length (Section 2400, footnote e)	180 ft. or up to 360 ft. if building setback increased 1 ft. for every 3 ft. building length when bordering a residential district or major thoroughfare	Maximum 492' length proposed	No	This deviation will be included in the PRO agreement.
Additional RM-1 Requirements (Section 2400, footnote e)	<ol style="list-style-type: none"> 1. Minimum setback of 150 ft. from shoreline 2. Must front on public or private road 3. Structure shall be oriented at a minimum angle of 45° to adjacent RA and R-3 properties. 4. Maximum 30% of setback areas parking, drives & loading area 5. Off-street parking and drives shall not be located closer than 25' to any wall of a dwelling structure which contains openings involving living areas nor closer than 8' to any wall that does not contain openings. 6. Sidewalk connectivity 7. Minimum distance between buildings 	<ol style="list-style-type: none"> 1. N/A 2. Fronts public road 3. Main building perpendicular to 11 Mile with the rear half rotated 30° 4. 8% setback coverage 5. Adequate setbacks provided 6. Provided 7. N/A 	No	A deviation for inadequate building orientation will be included in the PRO agreement.

Item	Required	Proposed	Meets Requirements?	Comments
	$S = LA + LB + 2(HA + HB)$			
Lot Coverage (Section 2400, footnote e)	Maximum 25%	18% lot coverage	Yes	
Building Setback				
Front south (2400 & footnotes b, c & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(205-180 \times 0.33)+75 = 83$ ft.	88 feet	Yes	
Side interior east (2400 & footnotes b, d, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(360-180 \times 0.33)+75 = 134$ ft.	123 feet	No	This deviation will be included in the PRO agreement.
Side interior west (2400 & footnotes b, c, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. $(360 -180 \times 0.33)+75 = 134$ ft.	179 feet	Yes	
Rear north (2400 footnotes b, c, e & t)	75 ft. plus 1/3 ft. for every foot building length exceeding 180 ft. – North frontage does not exceed 180 ft. – 75 ft. required	400 feet +	Yes	
Parking Setback				
Front south (2400 footnote b)	75 ft. Must comply with building setback	80 feet	Yes	
Side interior east (2400 footnote b)	20 ft.	29 feet	Yes	
Side interior west (2400 footnote b)	20 ft.	145 feet	Yes	
Rear north (2400 footnote b)	20ft.	400 feet +	Yes	
Parking Requirements				
Number of Parking Spaces (2505)	One per 4 beds and one for each employee 120 beds/4 = 30 parking spaces 30 employees = 60 spaces required	116 provided	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Parking Space Dimensions and Maneuvering Lanes (2506 & 2509.c.2.f)	9 ft. x 19 ft. parking space dimensions and 24 ft. wide two-way drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	9 ft. x 19 ft. with 24 ft. wide drives	Yes	
Barrier Free Spaces (Barrier Free Code)	5 barrier free spaces required One of every six spaces must be van accessible Physical therapy uses require 20% of all parking provided to be barrier free	21 barrier free spaces provided – 20 standard and 1 van accessible	No	Four of the 21 barrier free spaces must be van accessible.
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with a 5 ft. wide access aisle for standard barrier free spaces, and 8 ft. wide with an 8 ft. wide access aisle for van accessible spaces	Barrier free spaces sized correctly.	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	No signs provided.	No	Applicant should provide one sign for each barrier free space.
Loading Spaces (Section 2507)	Five (5) square ft. per front foot of building up to a total area of three hundred sixty (360) square ft. per building = 360 sq. ft. required	360 sq. ft. loading space provided.	Yes	Applicant should provide striping for the loading zone.
Dumpster (Chapter R, Section 21-145 and Section 2503.2.F)	Screen wall or fence required for all dumpsters, must be at least five ft. in height, and provided on three sides. Enclosure to match building materials – Design must include protective features.	Screening to be 6' in height and to match building.	Yes?	Applicant should indicate height of proposed dumpster/generators. Protective bollards should be shown.
Dumpster Enclosure (Sections	Dumpster enclosure to be located in rear yard, and set back from	Dumpsters located in the interior (western) side yard setback	No	This deviation will be included in the PRO agreement.

Item	Required	Proposed	Meets Requirements?	Comments
2503.2.F and 2520.1	property line a distance equivalent to the parking lot setback. It is to be located as far from barrier free spaces as possible. Enclosure to match building materials	equal to the parking lot.		
Roof top equipment and wall mounted utility equipment (Section 2503.2.F.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	None Depicted	Yes?	Applicant should depict all roof top and wall mounted equipment if any or otherwise indicate no roof top or wall mounted equipment will be included.
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of <u>Preliminary Site Plan submittal</u>	Photometric plan submitted.		See attached lighting review chart for additional information.
Sidewalks (City Code Section 11-276(b))	A 5 ft. -8 ft. wide sidewalk shall be constructed along all major thoroughfares as required by the City of Novi's Pedestrian and Bicycle Master Plan.	5 ft. sidewalk proposed on Eleven Mile Rd. Sidewalks provided	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.			
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval			<u>Contact Angie Pawlowski at 248-735-5631 to schedule a meeting with the Committee</u>
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland at 248-735-5678.</u>
Approval conditions of City Council Motion 03-08-10	Sanitary Sewer extension provided along Eleven Mile Road.			

Item	Required	Proposed	Meets Requirements?	Comments
	Floodplain mitigation relocated.			
	Applicant incorporating additional features of the Suburban Low-Rise District into the façade.			

Prepared by Kristen Kapelanski, AICP (248) 347-0586

Lighting Review Summary Chart

Medilodge
SP #10-05A

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	No	Applicant should provide elevations showing mounting heights for light fixtures attached to the building.
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data Fixture height Mounting & design Glare control devices Type and color rendition of lamps Hours of operation Photometric plan	No	Applicant should provide hours of operation.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes?	Applicant should provide elevations showing mounting heights for light fixtures attached to the building.
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited 	No	Applicant should include the required notes.

Item	Required	Meets Requirements?	Comments
	operations shall be permitted after a site's hours of operation.		
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	Light levels seem particularly high at the borders of the parking lot on the eastern and western property lines. The applicant may want to consider reducing light levels at these locations, particularly at the southeastern border of the parking lot due to the adjacent single-family residence.
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes?	The applicant should provide illumination levels at the property line.
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	No	Some of the proposed fixtures do not have a 90 degree cut off. The applicant should revise the fixtures so that all have a 90 degree cut off.

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

March 10, 2010

Preliminary Landscape Review

Medilodge of Novi SP#10-05A

Property Characteristics

- Site Location: Eleven Mile Road
- Proposed Zoning: RM-1 Low Density Multi-family Residential PRO
- Plan Date: 2/19/10

Recommendation

Approval of the Preliminary Site Plan for 10-05A Medilodge of Novi is recommended.

Please address all other minor comments on the subsequent site plan submittals.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The project site is adjacent to residential properties on all property boundaries. Typically a 4'6" to 6' high landscape berm is required along these property boundaries. The applicant may choose to request a Planning Commission waiver for the berms if it can be shown that significant natural features would be disturbed by the installation. Regardless of berm installation, the applicant must provide buffer landscape along the property boundaries or preserve existing vegetation. It appears that the westerly property line will be adequately buffered with the proposed plantings and existing vegetation. A PRO deviation from ordinance standards was granted for the west and north berms. Staff would support a waiver of the landscape berm on the easterly property boundary to facilitate the environmentally sound storm water controls as proposed. **The applicant should demonstrate that the buffer proposed at the easterly property line will be adequate to buffer the adjacent residential property. It is likely that additional shrub plantings will be necessary to assure opacity.**

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. The applicant has not proposed parking bays directly adjacent to the public right-of-way that would require buffering.

Street Tree and Buffer Requirements (Sec. 2509.3.b.)

1. One canopy deciduous street tree is required per 35 L.F. of frontage along Eleven Mile Road to be located between the curb and sidewalk. The applicant has met this requirement.
2. One canopy deciduous or large evergreen tree is required per 35 L.F. of buffer along Eleven Mile Road. The applicant has met this requirement.
3. One sub-canopy tree is required per 25 L.F. of buffer along Eleven Mile Road. The applicant has met this requirement.

Parking Landscape (Sec. 2509.3.c.)

1. A total interior landscape island area of 4,439 S.F. is required and has been provided.
2. The applicant has met the requirement for parking lot canopy trees will be required.

3. A minimum one parking lot perimeter canopy tree per 35 L.F. is required. The applicant has met this requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required along all building foundations with the exception of access points. The applicant has met this requirement.
2. An area 8' wide multiplied by the length of building foundations is required as foundation landscape area. The applicant has enough square footage to meet this requirement. *Proposed plantings must be fully detailed upon Final Site Plan submittal.*

Loading Zone Screening

1. The Applicant has proposed a utility area on the west side of the building. The utility fixtures and loading zone must be adequately screened through the use of privacy fencing and/or landscape.

Plant List (LDM)

1. A Plant List has been provided as required.

Planting Details & Notations (LDM)

1. Planting notations and installation details have been provided.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. Please provide an Irrigation Plan and cost estimate on subsequent submittals.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



Reviewed by: David R. Beschke, RLA ASLA

WETLANDS REVIEW



Environmental Consulting & Technology, Inc.

March 8, 2010

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Medilodge SP 10-05 Wetland Review for the Preliminary Site Plan

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the proposed Medilodge preliminary Site Plan (Plan) prepared and submitted by JWDesign dated February 19, 2010. ECT has visited the site to verify wetland boundaries and discussed wetland aspects of the proposed project in letters sent to the City dated November 16, 2009 and February 2, 2010. What follows is a summary of our findings regarding the current Plan.

Site Comments:

An ECT summary of the wetland boundary was submitted to the city on November 16, 2009. The wetland boundary was found to be accurate then, and is accurately depicted on the Plan.

The entire site is approximately 20-acres with approximately 5.4 acres of wetland and 2.87-acres of Natural Features Setback. The proposed Plan would construct a 78,560 square foot, 120-bed rehabilitation facility and associated infrastructure. The parcel is about twice as long as it is wide, with the long dimension running north-south. The proposed development is mostly in the southern half of the property, near 11-Mile Road. Most of the northern half of the parcel would remain undeveloped except for installation of a sanitary sewer.

The west side of the southern half of the property contains forested and scrub-shrub wetland. Additional forested and scrub shrub wetland occurs in the east-central portion of the property and in smaller areas in the northern half of the property. Approximately the northern 30-percent of the parcel adjacent to Providence Hospital contains some high-quality forested wetland and upland beech-maple-hickory woodland.

Proposed Impacts

The Plan proposes to fill approximately 9,884 square feet (0.23-acre) of regulated wetland, mostly on the west side of the proposed building, and 7,655 square feet (0.17-acre) of "temporary" wetland impact. The Plan would

also permanently impact approximately 19,006 square feet (0.44-acre) of the 25-foot Natural Features Setback and temporarily impact 15,706 (0.36-acre) of same.

Additional Potential Impacts

In addition to the wetland and buffer impacts called out on the plan, a watermain crossing is proposed for the southwest corner of the property. The crossing is close to wetland and may be within the within the wetland buffer, particularly when temporary work zone impacts are considered. No wetland or wetland buffer impacts appear to be identified at the crossing, according to the Plan. The applicant is advised to reconsider potential wetland impacts at this location.

Permits

The wetlands on the site appear to be regulated by the City of Novi and the MDEQ by virtue of being within 500-feet of a tributary to Island Lake and Davis Creek. A pond located to the north on Providence Hospital property may be another MDEQ regulating water body. It is ECT's opinion that the proposed project would require a DNRE (fka MDEQ) Wetland Use Permit, a City of Novi Non-Minor Use Permit, and *Authorization to Encroach* into the 25-Foot Natural Features Setback.

Comments

1. The wetland impact called out as "temporary" is found along the proposed 8-inch sanitary sewer north of 11-Mile Road. Although the Plan proposes to return the soil to original grade, several trees within the wetland would be cut down to accommodate the sewer line corridor. Cutting the trees and replacing them with herbaceous vegetation over the sewer pipe would eliminate forested wetland and replace it with herbaceous wetland. ECT believes this would require, at minimum, additional enhancements to compensate for the loss of the forested wetland habitat.
2. ECT recommends the proposed wetland impact for the 8-inch sanitary sewer north of 11-Mile Road be avoided by moving it to the south side of the street.
3. Although the area of proposed permanent wetland impact is less than 0.25-acre and does not require mitigation under the City's Wetland Ordinance, ECT recommends that the proposed stormwater basins be "naturalized" to have the look and function of natural wetlands, consistent with to the extent allowed under the specifications approved by the City's stormwater engineer.
4. In the previous review, ECT recommended that the northern third, or so, of the property be placed into a conservation easement. The current plan shows approximately 8-acres proposed for placement into

a conservation easement, with much of the area concentrated around the edges of the property. The current plan shows a large central portion of the northern third of the property, including a large wetland, left out of the conservation easement. ECT recommends the remaining wetland be included into the conservation easement.

5. Location of silt fence should be included on the final site plan.
6. A cost estimate for restoration of temporary wetland and wetland buffer impacts should be included on the final Site Plan.

Recommendation

ECT recommends conditional approval of the Preliminary Site Plan with the condition that the above comments be satisfactorily addressed.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.

A handwritten signature in cursive script that reads "John A. Freeland". The signature is written in black ink on a white background.

John A. Freeland, Ph.D., PWS
Environmental Scientist

WOODLANDS REVIEW



Environmental Consulting & Technology, Inc.

March 8, 2010

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Medilodge of Novi
Woodland Review of the Preliminary Site Plan (SP#10-05A; formerly ZCM 09-0041)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan (Plan) prepared and submitted by JWDDesign dated February 19, 2010. The Plan and supporting documentation were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

The proposed development is located north of Eleven Mile Road between Wixom and Beck Roads in Section 17. The proposed Plan would construct a 78,560 square foot, 120-bed licensed skilled nursing home and associated infrastructure, parking, and stormwater detention basins.

Onsite Woodland Evaluation

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on February 8, 2010. ECT found that the *Tree Removal and Preservation Plan* (Sheet L-2) does not accurately depict existing site conditions. It appears that only regulation-sized trees (dbh ≥ 8 ") within close proximity to the proposed development have been depicted and described on the Plan. These surveyed trees have been marked with numbered metal tree tags. Numerous, mature trees, meeting and exceeding regulation size and occurring on the northern half of the property, have not been depicted on the Plan. These trees appeared to have been marked with a different type of metal tree tag from a past survey. Comparing the *Tree Removal and Preservation Plan* (Sheet L-2) in the Concept/PRO Plan and the Preliminary Site Plan, it appears that some but not all of the regulation-size trees have been added. For example, tree #27 is not shown at all in the plan drawing or Tree Survey Schedule on Sheet L-2 of the Concept/PRO Plan but is shown as being removed on the plan drawing and Tree Survey Schedule on Sheet L-2 of the Preliminary Site Plan. The northern half of the property also includes relatively dense areas of understory trees, shrubs, and groundcover. Therefore, the Preliminary Site Plan does not sufficiently characterize the regulated woodland on the site.

Per Sec. 37-4(c)(3) of the updated Woodland Protection Ordinance, "On any parcel containing any degree of regulated woodland, the applicant shall provide site plan documentation showing the locations, species, size and condition of all trees of 8" (dbh) or larger. Existing site understory trees, shrubs, and groundcover conditions must be documented on the site plan...in the form of a brief narrative. The woodland conditions narrative should include information regarding plant species, general quantities and condition of woodland vegetation." Therefore, the locations of all regulation-size trees on the site and condition of understory and groundcover vegetation must be included for the Plan to be in compliance with the Woodland Protection Ordinance plan standards.

The entire site is approximately 20 acres with 12.5 acres of regulated woodland dominating the northern and western two-thirds of the property. Approximately 5.4 acres of the regulated woodland consists of forested and scrub-shrub wetland on the west side of the southern half of the property, in the east-central portion of the property, and in four smaller areas on the northern half of the property. The regulated woodland onsite is unique

2200 Commonwealth
Boulevard, Suite 300
Ann Arbor, MI
48105

(734)
769-3004

FAX (734)
769-3164

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due to the intactness of the mosaic of upland and wetland forest. This upland/lowland connectivity provides for excellent ecological functioning and diverse wildlife habitat.

Considering the site at a landscape scale, the regulated woodland onsite is associated with a tributary of Davis Creek in the northeast corner of the property and, therefore, ultimately drains to Island Lake to the southwest. It is contiguous with upland and lowland forest to the north, east, and west. In their Potential Conservation/Natural Areas Report (July 2002, updated April 2004) for Oakland County, Michigan Natural Features Inventory (MNFI) identified this swath of contiguous woodland as a Priority Three Area for conservation, based upon total size, core area size, stream corridor, landscape connectivity, restorability of surrounding lands, vegetation quality, parcel fragmentation, and element occurrences (rare species) criteria (see attached map). Separated by Eleven Mile Road, the onsite regulated woodland is adjacent to one of only three Priority Two Areas designated within the City of Novi. When considered with adjacent Priority Two and Priority Three Areas and additional regulated woodland, such as Wildlife Woods Park to the west, the onsite woodland serves as an important stepping stone feature in the landscape connecting the only two Priority One Areas designated in the City, near Walled and Island Lakes, respectively (see attached map).

Based on historical aerial photographs, the property was predominantly farm field circa 1949, with woodland associated with only the northernmost wetlands. Reforestation of the property progressed throughout the following decades, first in association with the wetlands and later in the upland portions of the site. As a result, the northern and wetland portions of the site contain the highest quality, most mature woodland vegetation. In particular, the northern third of the parcel adjacent to the sanitary sewer right-of-way and Providence Hospital property contains high quality forested wetland and upland mesic southern forest.

During the February 8, 2010 field visit, ECT observed that the northern portion of the site was dominated by sugar maple, northern red oak, American elm, white ash, red maple, shagbark hickory, ironwood, American beech, and musclewood in the upland overstory and understory. The forested wetland areas were dominated by large-diameter eastern cottonwood, silver and red maple, red ash, and bur oak in the overstory and maple, ash, elm, musclewood, and silky dogwood in the understory. The woodland groundcover was intact, with a diverse composition of native tree seedlings, shrubs, forbs, and graminoids. The diversified age structure of the woodland is also noteworthy, ranging from seedlings and understory saplings to mature overstory trees with 20-inch dbh or more. The woodland understory contained relatively few invasives species and significant amounts of native tree advanced regeneration. Advanced regeneration consists of understory trees positioned to move into the overstory as mature trees die or blow over, opening gaps in the canopy. The upland southern two-thirds of the property were dominated by native pioneer species, including American elm, white ash, black cherry, and grey dogwood in the woodland areas and grey and silky dogwood, eastern redcedar, and ground juniper in the area that was cultivated the longest. This area also had low invasive species density, especially considering the past land use history of this portion of the property. See attached site photographs.

Woodland Impact Review

Per summary calculations in the lower right-hand corner of the *Tree Removal and Preservation Plan* (Sheet L-2), the Plan proposes the removal of 54 trees with dbh greater than or equal to 8 inches, requiring 79 replacement credits, all of which are to be provided onsite. However, ECT found it exceedingly difficult to read the tree survey numbers on the plan drawing provided in Sheet L-2, especially where trees occur close together and large, bold "existing tree to be removed" symbols obscure tree survey numbers. This made a complete comparison of impacts depicted on the plan drawing to the impacts listed in the Tree Survey Schedule impossible. While attempting this comparison, ECT noted the following issues:

1. Tree #528, a 12" silver maple, is shown as being saved in the Tree Survey Schedule but is depicted as being removed on the plan drawing on Sheet L-2. If tree #528 will be impacted by installation of the sanitary sewer north of Eleven Mile Rd, an additional 2 replacement credits will be required.

2. Tree #547, and 21" silver maple, is shown as being saved in the Tree Survey Schedule and on the plan drawing on Sheet L-2. However, the retaining wall for the generator and dumpster area on the west side of the development is shown as being only 7' from this tree. ECT believes it is unlikely that the retaining wall can be installed without impacting the critical root zone of tree #547. Therefore, an additional 3 tree replacement credits are required.
3. Following the data provided in the Tree Survey Schedule and adding the 5 credits required per Items 1 and 2 above, ECT calculated that 75 woodland replacements credits would be required. ECT does not know how the Applicant arrived at 79 credits but is concerned that further inconsistencies may occur between the plan drawing and Tree Survey Schedule. Additional inconsistencies cannot be identified at this time due to poor legibility of the drawing.

In addition to the legibility and inconsistency issues noted above, ECT is concerned that regulated woodland impacts have not been accurately identified and replacements correctly calculated for the proposed project for the following reasons:

4. The limits of grading associated with the project have not been clearly depicted, and not all regulation-size trees have been shown for the site. No tree protection fencing is depicted on the Plan. Accurate critical root zones have not been depicted on the site plan for all regulated trees within 50' of proposed grading or construction activities. All these factors combined make it difficult to evaluate where construction work will be conducted and what regulated trees will be impacted vs. adequately protected. It appears that numerous additional regulated woodland tree impacts have been added along the sanitary sewer lines north of the development and north of Eleven Mile Rd., possibly due to critical root zone impacts. With no clear limits of grading/disturbance, missing regulated tree locations, and no tree protection fence or critical root zones shown, the note on Sheet L-2 regarding tree protection fencing being field located at the critical root zones of saved trees is not sufficient to accurately evaluate the number and location of regulated woodland tree impacts and subsequently required replacement credits.
5. ECT understands that the existing overhead electric utility running east-west across the south side of the property will be relocated underground per the utility company (Sheet C-2). Relocation of this utility underground has the potential to impact numerous regulated trees in the forested wetland on the west side of the property. Knowing the location and impact area required to relocate this utility is necessary to accurately evaluate the number of impacted regulated woodland trees and subsequent replacement credits.
6. A description of proposed changes to drainage within regulated woodlands, including grade changes and changes in water levels, has not been included on the Plan. ECT understands per Sheet L-3 that 1,183 SF of permanent wetland impact is proposed along the drainage feature that connects the large forested/scrub-shrub wetland on the southwest side of the property to the forested/scrub-shrub wetland on the east-central side of the property. A culvert connecting the two larger wetlands does not appear to be proposed. ECT also understands per Sheet C-3 that two stormwater detention basin outlets are proposed to discharge water to this connective drainage feature and the east-central wetland, respectively. ECT is concerned about the hydrological impacts to the regulated woodland and whether or not additional impacts to regulated woodland vegetation can be expected. If so, these impacts should be incorporated into regulated tree impact and replacement calculations.

Woodland Replacement Review

Per landscape Sheets L-4, L-5, L-6, and L-8, ECT found that the Plan proposes 69 deciduous trees (69 woodland replacement credits), 21 evergreen replacement trees (14 woodland replacement credits), and 48 large shrubs (8

woodland replacements credits) to be placed onsite (91 woodland replacement credits total). ECT is concerned with the following issues relating to woodland replacement credits and regulated woodland restoration:

1. The woodland replacement credits depicted in the plan drawings are inconsistent with the woodland credits presented in the Woodland Replacement Tree Schedule on Sheet L-9 (13 not 12 bur oaks) and the Reforestation Credit Table on Sheet L-5 (91 not 79 total woodland replacement credits). The quantities appear to be incorrect for the deciduous and evergreen replacement trees in the Reforestation Credit Table, and the replacement ratio for evergreen trees $\geq 6'$ in height is 1.5:1 not 3:1.
2. Approximately half of the replacement material is proposed too close to structures and/or underground utilities and their easements. Some proposed species are also inappropriate, due to location and shade intolerance or being non-native to Michigan. ECT encourages the placement of native woodland credits back into the forested wetland along the southwest side of the property, within the floodplain compensating cut area, outside of the driveway loop adjacent to remaining regulated woodland, and along the sewer line north of the development. However, replacement material should not be located 1) within 10' of built structures or the edges of utility easements (Item i below is a special exception) and 2) over underground utilities or within their associated easements. Specifically, the following locations/species are not appropriate for woodland replacement material:
 - a. Sheet L-4 and L-5: large shrub and deciduous tree material in southwest corner of site located too close to the proposed sanitary sewer, sewer easement, and electrical utility to be relocated belowground.
 - b. Sheet L-5: too shady for 3 eastern redcedar near western parking lot.
 - c. Sheet L-5: red oak east of generator/dumpster area too close to concrete patio and building.
 - d. Sheet L-5: river birch north and northwest of building not native to Michigan; some are too close to road and 8" water main.
 - e. Sheet L-5: bur oak and tuliptree north of loop drive too close to road edge
 - f. Sheet L-5: eastern redcedar north of loop drive too close to basin outlet pipe and sanitary sewer.
 - g. Sheet L-5: river birch east of east parking lot and detention basins not native to Michigan; some are too close to stormwater pipes.
 - h. Sheet L-5: bur oak and sweetgum east of east parking lot too close to stormwater pipe.
 - i. Sheet L-6: bur oaks and sugar maples too close to sanitary sewer and sewer easement north of development. ECT understands that the sewer in this location will be ~20' deep and will be difficult to access within a 20' easement for maintenance. ECT asks that in this location, no replacement materials are located within 20' of either side of the sewer line (40' effective planting buffer).
3. A significant portion of the proposed woodland replacement credits are located outside of the proposed conservation easement depicted on the Conservation Easement Plan. ECT is also concerned that the "gourd-shaped" forested/scrub-shrub wetland on the west side of the site, north-central adjacent upland, and floodplain compensating cut portions of the onsite regulated woodland are not proposed within the conservation easement. As currently proposed, the conservation easement fails to provide long-term protection for woodland replacement credits and significant site natural features. Future impacts to these natural features would result in significant fragmentation of the regulated woodland onsite, resulting in a loss of interior/core wildlife habitat and increase in lower quality edge habitat.
4. ECT is unsure of what measures are being proposed within the buffer expansion areas designated on Sheet L-4. Both expansion areas occur within the regulated woodland where disturbance is not planned. Existing native vegetation in these areas should be left intact and undisturbed.

5. It is not clear how much and what type of native groundcover vegetation will be used to restore regulated woodland areas impacted by floodplain compensating cul and sewer line installation.

Site Plan Compliance with Ordinance Chapter 37 Standards

The Plan lacks several items necessary for compliance with the Site Plan standards. The following information must be provided in the Plan:

1. Locations of *all* regulation-size trees on the site,
2. Woodland conditions narrative for understory and groundcover vegetation for the site,
3. Legible tree survey numbers and reduced tree removal symbols on Sheet L-2—tree survey numbers should not be obscured,
4. Graphic depiction of tree protection fence locations on Sheet L-2; fence detail on Sheet L-10,
5. Graphic depiction of the limits of grading/disturbance on Sheet L-2 in relation to regulated woodland and regulation-size trees,
6. For regulated trees depicted as being saved within 50' of proposed grading or construction activity boundaries, graphic depiction of the trees' critical root zones to show impact will be avoided,
7. A description of proposed changes to drainage within regulated woodlands, including grade changes and changes in water levels,
8. Corrected tree removal and replacement values as outlined above—addition of a replacement credit column in the Tree Survey Schedule would be helpful,
9. Corrected replacement material locations and species as outlined above,
10. Corrected reforestation credit table as outlined above,
11. Clarification of proposed actions in buffer expansion areas in existing regulated woodland, and
12. Clarification of woodland groundcover restoration measures in floodplain compensating cul and sewer installation areas

Recommendation

ECT does not recommend approval of the Plan at this time. Significant changes must be made to the Preliminary Site Plan to address the specific issues and corrections outlined above and bring the Plan into compliance with the City of Novi Woodland Protection Ordinance Chapter 37 standards. ECT recommends that a Revised Preliminary Site Plan be submitted once utility installation/relocation and grading impacts to onsite regulated woodland are better understood and can be depicted graphically. The location of much of the woodland replacement material should be revised to avoid built structures, underground utilities, and their easements. The existing regulated woodland to remain onsite is the preferred location for woodland replacement credits and should receive priority over locations in developed areas, as it provides an excellent opportunity for the long-term survival of the plant material.

ECT applauds the Applicant's use of a conservation easement to protect the important natural features of the site. ECT strongly encourages the Applicant to expand the boundaries of the conservation easement to the edges of the sanitary sewer easement north of the development to protect additional forested/scrub-shrub wetland, high quality connected upland forest, and compensated floodplain and to prevent further loss of core/interior woodland habitat within a Priority Three Conservation Area.

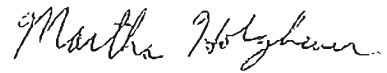
Medilodge of Novi (SP#10-05A)
Preliminary Review for Woodlands
March 8, 2010

Page 6

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Martha Holzheuer, ISA Certified Arborist, ESA Certified Ecologist
Landscape Ecologist

cc: Kristen Kapelanski
David Beschke
Angela Pawlowski

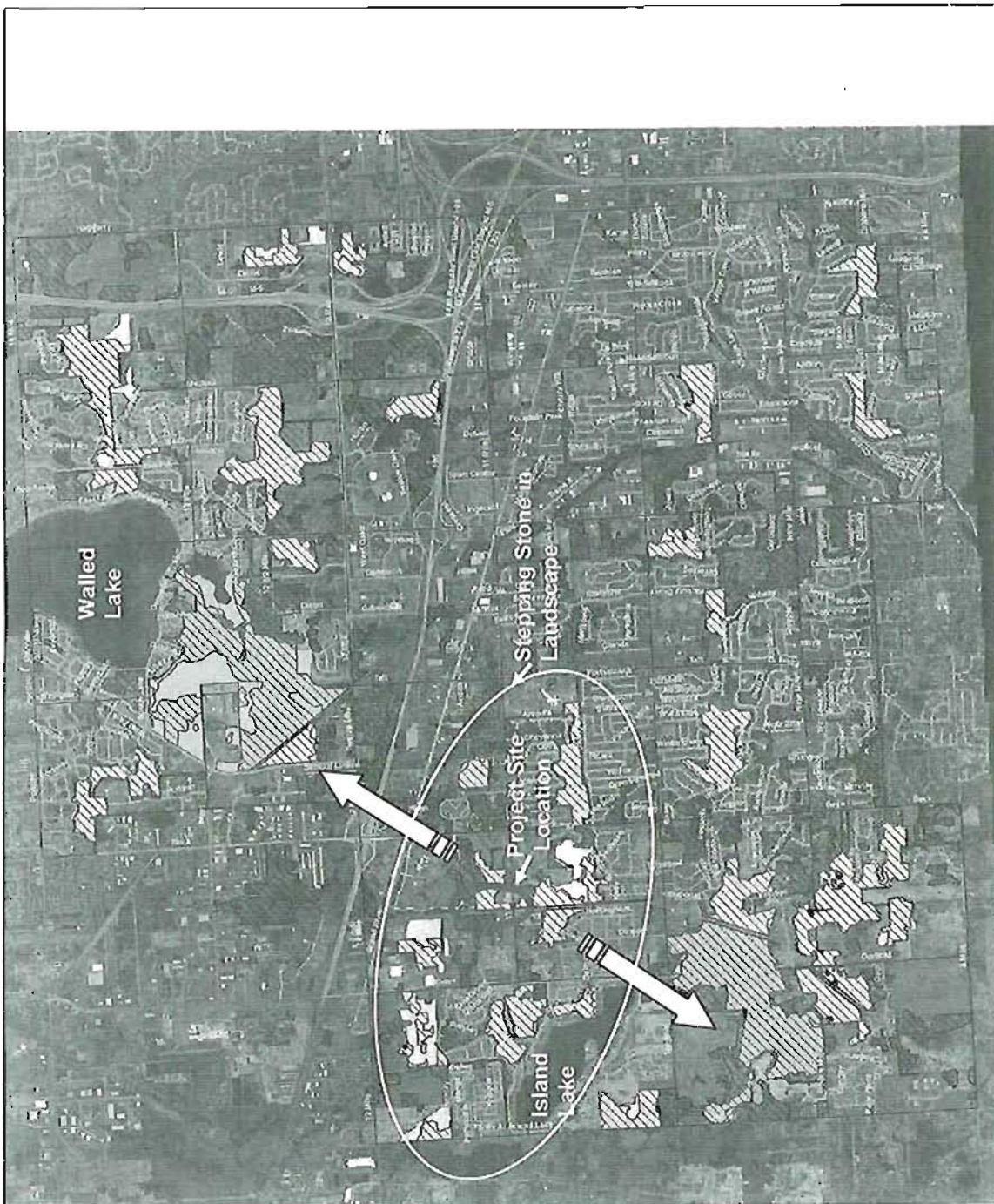


City of Novi Natural Areas

-  Novi Woodland
-  Natural Areas 2004
-  Priority One
-  Priority Two
-  Priority Three



ECT Environmental Consulting & Technology, Inc.





Above: Forested/scrub shrub Wetland A-B west side of property
Below: Forested/scrub shrub Wetland A-B east side of property





Above: Low density woodland north of development, opportunity for planting replacement credits
Below: Low density woodland north of development, opportunity for planting replacement credits





Above: High quality mesic southern forest north end of property
Below: High quality forested wetland northeast corner of property, wetland C-D





Above: Large northern red oak in high quality mesic southern forest and forested welland north end of property
Below: High quality mesic southern forest and forested welland northeast corner of property, welland C-D





Above: High quality forested wetland northwest corner of property, wetland E
Below: High quality mesic southern forest northwest end of property





Above: High quality mesic southern forest to be impacted by east end of sewer line
Below: High quality mesic southern forest to be impacted by east end of sewer line



TRAFFIC REVIEW

March 4, 2010

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



**SUBJECT: Medilodge of Novi, Preliminary Site Plan,
SP#10-05A, Traffic Review**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval, subject to the issues shown below in **bold** being satisfactorily addressed on the final site plan.

Project Description

What is the applicant proposing?

1. The Medilodge Group proposes to construct a 120-bed nursing home on a 20.047-acre site on the north side of (30-mph) Eleven Mile Road between Beck and Wixom Roads.
2. The preliminary site plan proposes two undivided access drives 322 ft apart (near-edge to near-edge). The west drive for Medilodge would be more-or-less aligned with the approved (but not yet built) west drive for Oberlin, a planned 58-unit detached condominium development. The east drive for Medilodge would be 267 ft west of Oberlin's approved east drive (center-to-center).
3. To enhance on-site circulation by emergency vehicles, the east and west parking lots would be connected at the rear by a 20-ft wide, uncurbed driveway proposed to be marked as both one-way counterclockwise and for emergency vehicles only.
4. The building's visitor entrance would be on the east lot and the building's service entrance would be on the west lot.
5. **In response to our review of the conceptual PRO plan, curb-and-gutter now appears where proposed. However, all back-of-curb radii have not been dimensioned as requested (only the access drive returns are dimensioned). Also, now that an uncurbed rear driveway is proposed, the centerline radii of that driveway should be shown.**

Traffic Study

Was a study submitted and was it acceptable?

6. We have previously reviewed the applicant's Rezoning Traffic Impact Study (by Traffic Engineering Associates, Inc., dated 1-16-10) and found it acceptable. No further traffic study is required for the site plan, given the low forecasted trip generation.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

6. The same-side spacing between the two proposed driveways, 322 ft (near-edge to near-edge), is well in excess of the City minimum for a 30-mph "road speed" (125 ft, per Design and Construction Standards, Section 11-216(d)(1)d). The only other same-side driveways in the general area are for individual homes, for which the spacing standard does not apply.
7. With respect to opposite-side driveways:
 - a. The proposed west drive should be considered aligned with the approved west drive for Oberlin, since the physical centerline of the former appears to align with the west edge of Oberlin's boulevard island (the latter being the equivalent of a driveway centerline in evaluating possible entering left-turn interlock).
 - b. The proposed east drive is offset 352 ft east of Oberlin's approved west drive and 267 ft west of Oberlin's approved east drive. Both of these distances are well in excess of the applicable City standards for opposite-side driveway spacing (200 ft and 150 ft, respectively, per DCS Figure IX.12).

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

8. Given the average daily traffic volume on Eleven Mile (roughly 3,000 vehicles), more than 20 entering left turns in any one hour would be required at either access drive to warrant a passing or center left-turn lane (per DCS Figure IX.8). Since the proposed nursing home would generate a total of only 9-13 entering vehicles per hour from both directions, no road improvements are needed to accommodate entering left turns.
9. Similarly, the potential entering right turns – some fraction of the 9-13 total entering vehicles per hour – will be well below the warrants for right-turn road improvements (about 80 for a taper and 235 for a full deceleration lane).

Driveway Design and Control

Are the driveways acceptably designed and signed?

10. Each driveway is appropriately designed, and exiting STOP (R1-1) signs are now proposed on the engineer's preliminary site / utility plan (**although the requested 24-inch size is not specified**). **To help ensure that the STOP signs are visible to exiting drivers, these signs should also be shown on the landscape plans.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

11. A 5-ft wide concrete sidewalk and boardwalk already exist on the site frontage, consistent with the City's Bicycle & Pedestrian Master Plan. An appropriate internal walk along each access drive would connect to this existing sidewalk.
12. **Barrier-free access ramps must be detailed and proposed at appropriate internal locations as well as at the two site access drives.**

Parking and Circulation

Are parking spaces appropriately located and designed? Can vehicles safely and conveniently maneuver through the site?

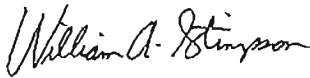
13. The dimensions of the proposed parking lots and abutting sidewalks appear generally satisfactory. **The final site plan must include notes confirming that the 7-ft wide sidewalks abutting the lots will be limited to 4 inches in height above the abutting pavement, and the end parking spaces (adjacent to landscape islands) will be a full 9 ft wide (for regular spaces) or 8 ft wide (for barrier-free spaces) to the face of curb (not back of curb).**
14. The number of barrier-free parking spaces has been increased, and these spaces are now more appropriately distributed relative to the building entrances.
15. The proposed rear driveway has been widened to 20 ft from the 18 ft previously proposed, and the proposed absence of curb-and-gutter has been indicated. Signage is proposed that would limit this drive to both one-way (counterclockwise) flow and emergency-vehicle-only use. We see no need for signing both restrictions, as emergency vehicles will obviously use the drive in either direction as necessary (and the 20-ft width would allow for two such vehicles to pass in either direction in those rare instances where doing so might be appropriate). **To reduce the visual clutter and cost, we recommend that the proposed ONE WAY signs be deleted.**
16. The driveway width on the north and south sides of the landscape circle by the main entrance has been widened to 43-44 ft from the 20 ft previously proposed. **To reduce the amount of unnecessary impermeable surface – and better control the range of paths followed by circulating vehicles – we recommend that the round landscape island be elongated so that the drives north and south of the island are no wider than 35 ft. Even with such a change, our turning template indicates that a full-size bus could circulate 360 degrees around the island without backing up. Also, to help ensure that smaller vehicles turning into and out of the drop-off circle do not encroach on the wrong side of the perimeter parking aisle, the blunt corners on the north and south end islands should be rounded with at least a 12-ft radius.**
17. Striping and signing details needing to be addressed on the final site plan are as follows:

- a. **Wheelchair symbols in the barrier-free spaces should face to the right when viewed from the parking aisle (those west of the building are incorrect).**
- b. **A sign symbol should be shown at the back of walk opposite each barrier-free parking space, with the sign indicated as an R7-8 and supplemented with a VAN ACCESSIBLE plate (R7-8a) as applicable.**
- c. **A plan note should indicate that all regular parking spaces shall be striped with white paint and all barrier-free parking spaces shall be striped with blue paint, per City policy and Section 3B.18 of the Michigan Manual of Uniform Traffic Control Devices.**
- d. **The design (size, color combination, and reflective nature) of the proposed AUTHORIZED AND EMERGENCY VEHICLE ONLY signs should be specified. (As indicated above, we believe that the accompanying ONE WAY signs are unnecessary and should be deleted.)**
- e. **Sign mounting heights must be detailed. Per the MMUTCD, for sign installations near parking or walking areas (e.g., barrier-free signs), there must be a full 7 ft under the main sign and at least 6 ft under a supplemental (e.g., VAN ACCESSIBLE) sign. For signs in other locations (e.g., exiting STOP signs), the mounting height may be reduced to 5 ft.**
- f. **The final site plan must include a Signing Quantities table, specifying the number of signs by legend, MMUTCD sign code (where applicable), and size. As we previously requested, the plan should indicate that the exiting STOP signs on the two access drives will be the 24-inch size permitted by the MMUTCD for low-speed situations.**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

March 8, 2010

Engineering Review

MediLodge of Novi
SP10-05A

Petitioner

The MediLodge Group

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North side of Eleven Mile Road, West of Beck Road
- Site Size: 20.05 acres
- Plan Date: 2-19-2010

Project Summary

- Construction of an approximately 78,560 square-foot single-story nursing home facility and associated parking. Site access would be provided by two drive approaches off of Eleven Mile Road.
- Water service would be provided by an 8-inch extension from the existing 16-inch water main along the north side of Eleven Mile Rd. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve the building, along with three (3) additional hydrants on the site.
- Sanitary sewer service would be provided by extending an 8-inch sewer from the northeast corner of the site south and extending across the frontage on Eleven Mile Road.
- Storm water would be collected by a two storm sewer collection systems, a north and south basin. The north basin system consists of two equalizer basins and the south basin system consists of three equalizer basins. All storm water will be detained on-site for the 100-year storm then discharged at two points into the existing wetland on the parcel, eventually making its way to the Novi Lyon Drain.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Provide the City's standard detail sheets for water main (2 sheets-6/15/98), sanitary sewer (Sheet 1-6/15/98 and Sheet 2-4/24/06), storm sewer (1 Sheet-6/15/98) and paving (1 Sheet-12/15/00) at the time of the Stamping Set submittal.
4. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
5. Provide sight distance measurements for the Eleven Mile Road entrances in accordance with Figure VIII-E of the Design and Construction Standards.
6. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
7. Provide a traffic control plan for the proposed road work activity (Eleven Mile Road). The plan shall list all MMUTCD barricades, signage, etc on a separate plan sheet in accordance to the proposed site.
8. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
9. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
10. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
11. All utility crossing shall be at or close to a 90-degree angle where feasible.
12. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
13. Please submit plans on 24"x36" plan sheets per the City of Novi standard.

Water Main

14. Maintain a 10-foot horizontal clearance between utilities where applicable. The proposed storm structure located at the northwest corner of the building is currently within the 10-foot buffer of the 8-inch watermain.
15. Profiles are required for all watermain greater than or equal to 8-inches in diameter for the final site plan submittal.
16. Label the lead lengths, material and size on the plan.

Sanitary Sewer

17. Due to the depth of the proposed sewer, the sanitary easement shall be 40-feet in width (20-foot off center of the pipe). Show this on the plan.

18. Show calculations for the future service area of the sewer extension along Eleven Mile Road and calculate the sewer size required. Based on the demand, the 8-inch sewer shown may not provide sufficient capacity.
19. Sanitary sewer stubs shall be extended all the way to the property lines.
20. Watertight plugs/bulkheads shall be provided at each sanitary sewer stub.
21. An easement is required for all sewer outside of the right-of-way.
22. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
23. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
24. Provide a note on the Utility Plan and sanitary profile stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.
25. *For 8-inch and larger extensions* - Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.

Storm Sewer

26. The proposed plan shows several structures between the "pods" that are not labeled (i.e. roof conductors, clean outs, inlets, etc). Please label these structures.
27. All storm sewer conveying flow shall be a minimum of 12-inch RCP. Please show this on the plan and profiles on the final site plan submittal.
28. Relocate the end sections in the basins further away from the outlet of the basin in order to fully utilize the permanent pool for sedimentation control. This includes moving the end sections in basin S-2 to the south end of the basin.
29. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
30. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharging into the basins.
31. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
32. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
33. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
34. Show and label all roof conductors, and show where they tie into the storm sewer.
35. Rip rap is required at each end section per City of Novi standards.

Storm Water Management Plan

36. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

37. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
38. An adequate maintenance access route to each basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
39. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
40. Provide an access easement for maintenance over the storm water detention system. Also, include an access easement to the detention area from the public road right-of-way.
41. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
42. Provide a standpipe outlet detail for each outlet on the plan.

Paving & Grading

43. Please add a separate paving/grading plan to the plan set. The current plan is clustered and difficult to read.
44. Open cutting Eleven Mile Road shall not be permitted unless no other option is feasible. In this case, a bore and jack seems feasible.
45. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations.
46. Add a note to the plan stating that all damaged sidewalk/pathway due to construction shall be fully restored to meet City standards.
47. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection. Provide spot grades as necessary to establish this grade.
48. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
49. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
50. Provide a line designation representing the effective 19-foot stall length for 17-foot perimeter stalls.
51. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
52. Provide the standard Type 'M' approach at the Eleven Mile Road driveway/intersections.
53. The right-of-way sidewalk shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 6/8-inches thick along the crossing or match the

proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 6-inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.

54. Show all pavement cross-sections.

Flood Plain

55. A City of Novi floodplain use permit will be required for the proposed floodplain impact. This should be submitted as soon as possible. Contact the Building Department for submittal information. An MDEQ floodplain use permit will also be required prior to site plan approval.

Off-Site Easements

56. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.

The following must be submitted at the time of Final Site Plan submittal:

57. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
58. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

59. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
60. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
61. A draft copy of the 40-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
62. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

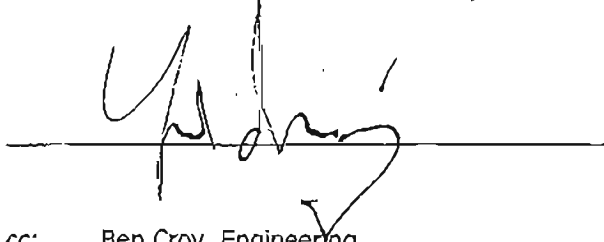
The following must be addressed prior to construction:

63. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
64. An NPDES permit must be obtained from the MDNRE because the site is over 5 acres in size. The MDNRE requires an approved plan to be submitted with the Notice of Coverage.
65. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchionni in the Community Development Department (248-347-0430) for forms and information.
66. A permit for work within the right-of-way of Eleven Mile Road must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
67. A permit for water main construction must be obtained from the MDNRE. This permit application must be submitted through the City Engineer after the water main plans have been approved.
68. A permit for sanitary sewer construction must be obtained from the MDNRE. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
69. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
70. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
71. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
72. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Engineering Review of Preliminary Site Plan
MediLodge of Novi
SP# 10-05A

March 8, 2010
Page 7 of 7

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelański, Community Development Department
Tina Glenn, Water & Sewer Dept.

FAÇADE REVIEW



February 16, 2010

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: FACADE ORDINANCE - **Facade Review**
Medilodge of Novi, ZCM10-0005 (facade)
 Façade Region: 1, Zoning District: R-3 (RM-1)

Dear Ms. McBeth;

The following is the Facade Review for Conceptual/P.R.O. of the above referenced project based on the drawings prepared by J.W. Design, dated 2/1/10. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule are highlighted in bold.

Please note that this review is based on conceptual drawings. While these drawings adequately portrayed the overall design approach, calculation of the precise percentages of materials was not possible at the time of this review. It should also be noted that the design has evolved significantly since the prior submittal. No sample board was available at the time of this review.

Approximate Percentages	EAST	WEST	NORTH	SOUTH	Ordinance Maximum (Minimum)
BRICK	15%	11%	11%	11%	100% (30% MIN)
CULTURED / DECORATIVE STONE	31%	23%	23%	23%	50%
SMOOTH STONE	12%	5%	5%	5%	50%
VINYL SIDING	1%	1%	1%	1%	50%
ASPHALT SHINGLES	41%	60%	60%	60%	25%

As shown above the percentages of Asphalt Shingles exceeds the maximum percentage allowed by the Facade Chart, and the percentage of Brick is below the minimum percentage required by the Facade Chart.

This project is located within the City's proposed Suburban Low-Rise Zoning District which is intended to maintain architecture that is in context with nearby residential neighborhoods. This standard suggests the use of residential style elements such as gable facing roof lines, facade shifts, varied colors, dormers, covered porches with decorative trim and balustrades, residential sized windows, shutters, overhangs, and others features typical of residential architecture. A primary goal of the proposed Ordinance is to limiting the amount of sloped roof facade that

typically occurs on large residential style buildings. The proposed facades and roof lines appear to be generally responsive to these guidelines however several inconsistencies between the elevations and floor plan are noted. Covered porches are indicated in eight locations on the floor plan. However, not all of these porches are indicated on the elevations and those that are lack well defined residential character. The applicant should coordinate the drawings and clarify the treatment of the covered porches. While the roofs associated with the building secondary "wings" are well articulated, a comparatively large expanse of asphalt shingled roof exists over the central portion of the building. Additional features such as gabled dormers, roof balustrade, or cupolas should be considered to further punctuate this part of the roof.

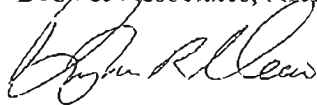
Many 3-sides exterior courts are created by the buildings unique floor plan. It is noted that little or no plant material is currently proposed in these areas. It is suggested that additional carefully placed plantings be used to frame and subdivide views of the building when viewed from the ring-road, as well as add interest in the court areas when viewed from the building's interior.

Recommendations: With respect to the percentage of brick being significantly below the minimum percentage required by the Ordinance, the sum of the percentage of all masonry materials (brick, cultured stone and smooth stone taken together) significantly exceeds this minimum requirement. Therefore, we would provide a favorable recommendation for a Section 9 Waiver for this item, contingent upon the following;

1. Final construction drawings shall be submitted showing the proposed materials for all facades. The above referenced concerns pertaining to the Suburban Low-Rise Zoning District should be address at that time.
2. A sample board color showing harmonious match in colors and complementary textures of all proposed facade materials shall be submitted for approval.
3. Final construction drawings for the generators and dumpsters enclosures shall be submitted for approval. Screen walls should be of masonry (brick and/or stone) matching the building.

We would be happy to discuss this matter with the applicant at a time of his convenience. If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



March 9, 2010

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Medllodge of Novi

SP#: SP10-05A , Preliminary Site Plan

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Galt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

Justin Fischer

City Manager
Clay J. Pearson

Fire Chief
Frank Smith

Deputy Fire Chief
Jeffrey Johnson

Project Description:

78,560 S.F., Single Story, 120 Bed Skilled Nursing Facility

Comments:

1. The location of the fire department connection needs to be shown on the plans. The fire code requires it to be located on the front/address side of the building, in an accessible location, within 100' of a hydrant.
 - *The FDC shall be located near the front/main entrance. See the attached plan with the location indicated.*
2. The hydrant placements shall be adjusted in the following manner, (See the attached plan):
 - *Hydrant #2 shall be moved 100' north and located in the island on the east (building) side of the drive.*
 - *Hydrant #3 shall be moved 50' northeast.*
 - *Hydrant #4 shall be moved 100' south in the end island on the west (building) side of the drive.*

Recommendation:

The plan is **Recommended** for Approval with the above items being corrected on the next plan submittal.

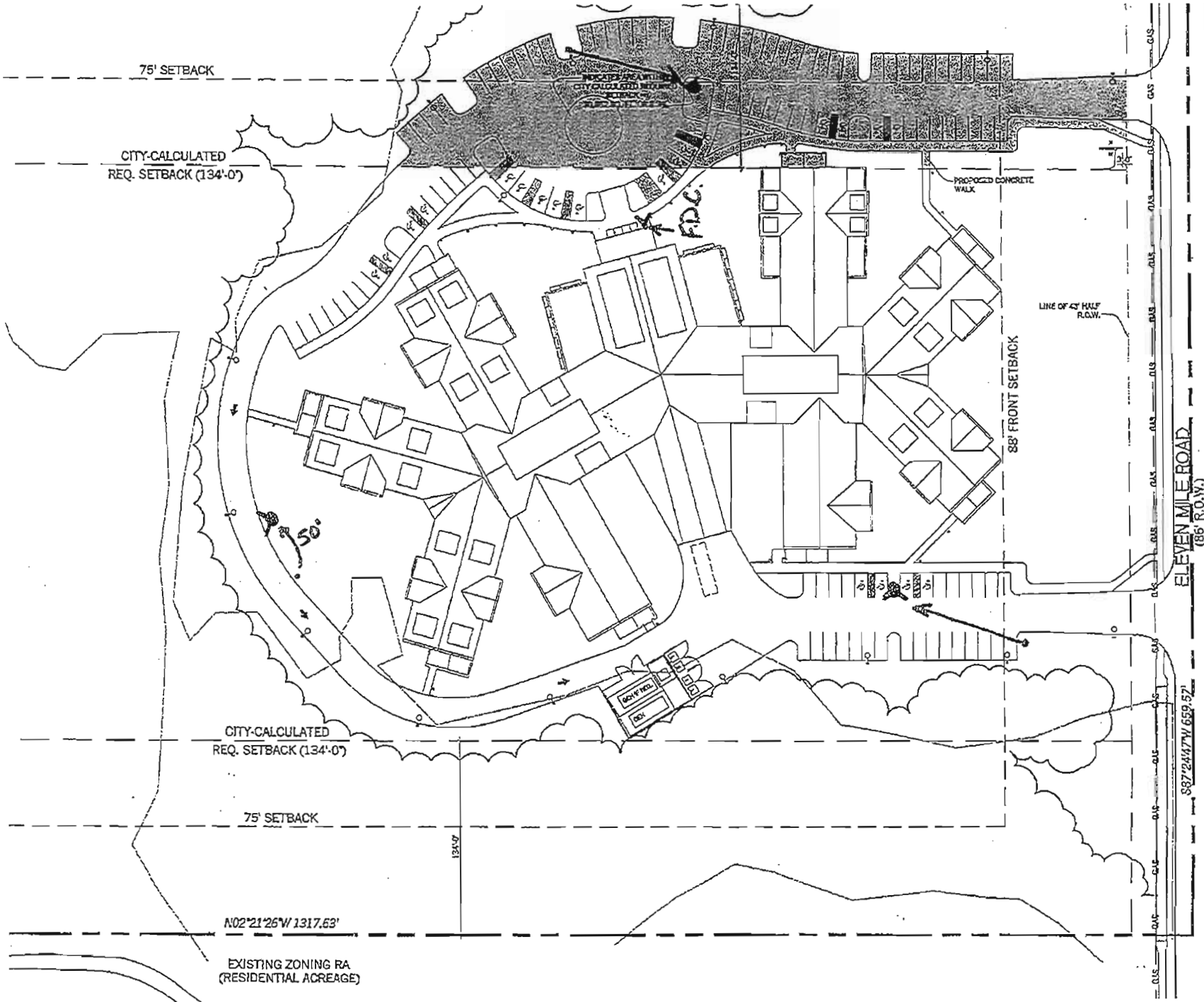
Sincerely,

Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department
42975 Grand River Ave.
Novi, Michigan 48375
248.349-2162
248.349-1724 fax

cityofnovi.org



KEY PLAN

CLIENT:
 MEDILODGE

PROJECT:
 PROPOSED

SHEET CONTENTS:
 SITE CALCU

ARCHITECTURAL SITE PLAN