



MANDO AMERICA CORPORATION SITE PLAN 10-37

MANDO AMERICA CORPORATION, SITE PLAN 10-37

Consideration the request of Amson Dembs Development for Mando America Corporation for Preliminary Site Plan approval. The subject property is located in Section 4, at 29930 Hudson Drive, east of Hudson Drive between Cartier Drive and West Road, in the I-1, Light Industrial District. The subject property is approximately 4.18 acres and the applicant is proposing to add a mezzanine for office space, a drop-off area and make façade alterations to the existing building.

Required Action

Approve or Deny Preliminary Site Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	09/01/10	Parking calculations for any future uses will need to be evaluated by the Planning Division prior to building occupancy
Traffic	Approval recommended	08/20/10	Minor issues to address on the Stamping Set submittal.
Landscape	Approval recommended	09/01/10	Minor issues to address on the Stamping Set submittal.
Facade	Approval recommended	08/29/10	No outstanding issues.
Fire	Approval recommended	08/26/10	Minor issues to address on the Stamping Set submittal.

Approval – Preliminary Site Plan

In the matter of Mando America Corporation, SP 10-37, motion to **approve** the Preliminary Site Plan, subject to the following:

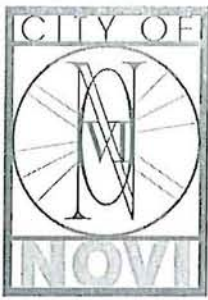
- a. Parking calculations for any future uses will need to be evaluated by the Planning Division prior to building occupancy;
- b. Applicant submitting the required Hazardous Materials Survey;
- c. Compliance with all conditions and requirements listed in the staff and consultant review letters; and
- d. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)

Denial - Preliminary Site Plan

In the matter of Mando America Corporation, SP 10-37, motion to **deny** the Preliminary Site Plan, *(because it is not in compliance with the following sections of the Zoning Ordinance...)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 1, 2010

Planning Review

Mando America Corporation

SP10-37

Petitioner

Amson Dembs Development

Review Type

Site Plan

Property Characteristics

- Site Location: 29930 Hudson Drive, east of Hudson Drive between Cartier Drive and West Road (Section 4)
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: All Directions: I-1
- Current Site Use: Existing vacant Light Industrial
- Adjoining Uses: All Directions: vacant Light Industrial
- School District: Walled Lake School District
- Site Size: 4.18 acres
- Plan Date: 08/13/10

Project Summary

The applicant is proposing to occupy and alter an existing vacant industrial building at 29930 Hudson Drive in the Beck North Corporate Park. As part of the alteration, the applicant has proposed the addition of 12,806 sq. ft. of office space in the form of a mezzanine and the conversion of a portion of the first floor warehouse space to office. The remainder of the building will be used as a research/lab area for product development. This is a principal permitted use in the I-1 District. The applicant has also proposed minor façade alterations and parking lot revisions (shifting spaces to accommodate a drop-off-area).

Recommendation

Approval of the site plan is recommended. Stamping sets are required after approval from the Planning Commission.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1 Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Planning Commission Approval: Per Section 2516.b of the Zoning Ordinance, "Unless administrative review is permitted pursuant to subparts (c) or (d), below, or subsection 2516.4, all site plans shall be reviewed for approval by the Planning Commission." Since more than 10,000 sq. ft. of office space is proposed to be added, the plan requires the approval of the Planning Commission.
2. Traffic Inspection: A traffic inspection is required before project close-out. Traffic Inspection fees must be paid prior to the release of the Building Permit. **Please contact Lindon Ivezaj at 248-735-5694 for Traffic Inspection fees.**

3. Parking: The applicant has submitted detailed floor plans for the office area of the building and general floor plans for the industrial research area. In addition to these materials, the owners of Mando America Corp. have submitted a letter describing the generally activities of the business and indicating a max employee count for the entire building (including the industrial research area) of 125 people and an additional letter describing the research and testing activities that will take place in the industrial research portion of the building, which indicates no more than 12 employees will be in the industrial research portion of the building at any one time. Based on this information and the detailed floor plans submitted, for the purposes of the parking calculations, it is reasonable to use 85% of the calculated square footage given the amount of "repetitive space" in the office area (i.e., restrooms, cafeteria, copy rooms, etc. that will be accessory to proposed offices and cubicle areas) and the activities described for and employee count provided for the industrial research area of the building.

Warehouse, manufacturing and research facilities are required to have one parking space for each 700 square feet of usable floor area or five spaces plus one for each one and one-half employees in the largest working shift, whichever is greater. The calculated usable floor area for the industrial research portion of the facility is 40,219 sq. ft. which would require 49 spaces (based on 85% of the square footage as detailed above) and the largest shift present in the industrial area is made up of 12 employees, which would require 8 spaces. Therefore, 49 spaces are required for the industrial research portion. The office portion of the building requires one space for each 222 sq. ft. Approximately 28,600 sq. ft. of office use are proposed, which would require 110 spaces (based on 85% of the square footage as detailed above). The total number of spaces required for the entire facility is 159 spaces. The site plan indicates a total of 160 parking spaces provided for on site with 131 existing parking spaces and 29 landbanked parking spaces that could be constructed if necessary. Adequate parking has been provided on site for this use. Parking for any future uses will need to be evaluated by the Planning Division prior to building occupancy.


Stamping Set Approval

Stamping sets are still required for this project. Provided the applicant receives the necessary approval from the Planning Commission, eight revised sets of plans should be submitted for Stamping Set approval.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to appearing before the Planning Commission.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner
248-347-0586 or kkapelanski@cityofnovi.org

TRAFFIC REVIEW

August 20, 2010

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



SUBJECT: Mando America Corporation / Proposed Preliminary and Final Site Plan, SP#10-37, Traffic Review

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of only the preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed in a revised final site plan.

Project Description

What is the applicant proposing?

1. The applicant, Amson Dembs Development Company, proposes to modify the north end of the existing building at 29930 Hudson Drive. Relative to traffic issues, the changes would consist primarily of adding a vehicle drop-off/pick-up lane at the northeast corner of the building, and shifting the six required barrier-free parking spaces further east.

Trip Generation

How much traffic would the proposed development generate?

2. The proposed 76,400-s.f. research-and-development center can be expected to generate about 620 one-way trips per day, with about 105 trips in either peak hour (88 of which would be moving in the peak direction).

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

3. The existing direct-access driveway on Hudson Drive would remain in the same location.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed driveway(s)?

4. No. We do recommend, however, that the City consider striping the two-way left-turn lane on Hudson Drive as called for in the previously approved plans for the overall park.

Driveway Design and Control

Are the driveways acceptably designed and signed?

5. The driveway would be widened slightly, but at 37.5 ft wide (back-to-back), it would have an acceptable width between the City's industrial standard (35 ft) and industrial maximum (40 ft). The radius of the exiting curb return is proposed to be reduced from the existing 30 ft to 25 ft, the City minimum for an industrial drive. Although retaining a 30-ft radius would ordinarily be preferred, that larger radius would result in excessive tracking over an existing manhole that is not worth relocating. The proposed design, therefore, is acceptable.
6. **Unless the applicant strongly prefers salvaging the existing 30-inch STOP sign exiting the site, we would prefer to see a 24-inch STOP sign used (permitted by the MMUTCD for low-speed locations).**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

7. **A 5-ft wide sidewalk is proposed to abut the new building façade in the vicinity of the barrier-free parking spaces, in apparent violation of the Zoning Ordinance (Sec 2509.3d(2) (which calls for a minimum landscape strip of 4 ft). There is a 3.5-ft-wide grass strip between this walk and the back of curb, within which a series of barrier-free parking signs would be installed. It appears unlikely that the three ramps shown within the grass strip meet ADA standards. We therefore recommend that both the landscape reviewer and City engineering staff closely review this part of the site plan and make appropriate recommendations.**

Parking and Circulation

Can vehicles safely and conveniently maneuver through the site?

8. The proposed relocation of barrier-free parking spaces is satisfactory, despite the extent to which walking/rolling distances to the main door are increased (to 130 ft in the worst case). **Relative to this issue, the applicant should comment on who will be able to use the easterly vestibule near the east end of the barrier-free spaces.**
9. The proposed drop-off/pick-up lane is satisfactory, given the relatively low usage it is likely to receive. However, **the island separating this lane from the main parking aisle is too narrow. To enhance its visibility and make it less inconvenient to walk over, the island should be widened to 4 ft back-to-back. To improve the island's maintainability and aesthetics, consideration should be given to constructing a 5-ft wide monolithic raised slab instead of a curbed island.**
10. **A note should be added to the plan to ensure that the barrier-free parking spaces adjacent to the curb at each end of the module are a full 8 ft wide to the face of curb (not the back of curb).**

11. On sheet SP.101 under Parking Data, **the correct number of required barrier-free spaces (per ADA, 28 CFR Part 36, Sec 4.1.2) is, in fact, the six spaces proposed, not the five spaces indicated.**

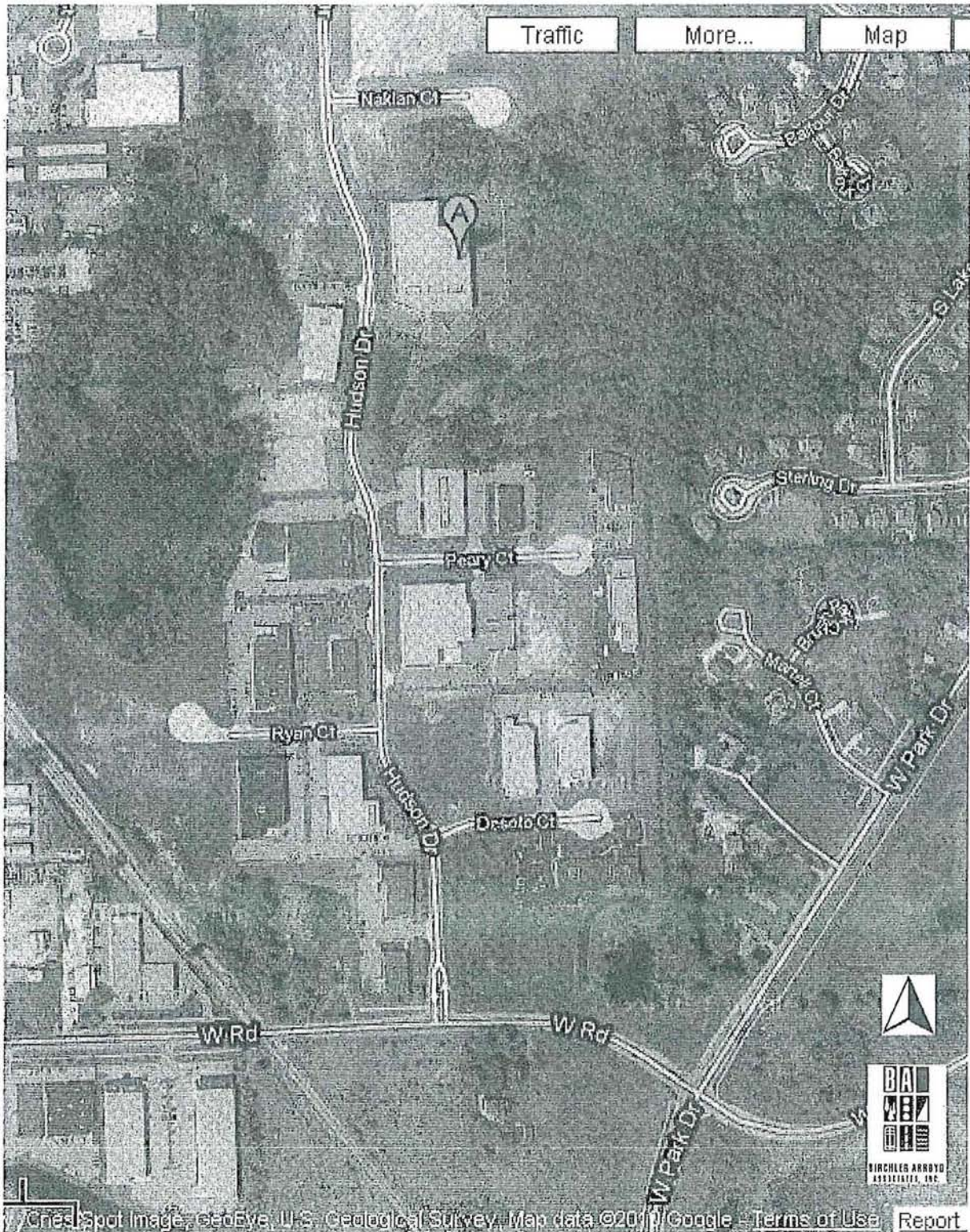
Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP
Vice President

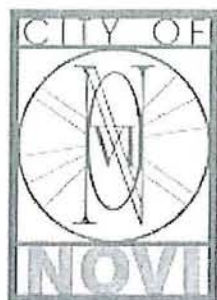


William A. Stimpson, P.E.
Director of Traffic Engineering



Location of Site (29930 Hudson) within Beck North

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

September 1, 2010

Preliminary & Final Landscape Review

Mando America Renovation

Property Characteristics

- Site Location: Unit 35 – Beck North Corporate Park
- Site Zoning: I-1 - Light Industrial
- Plan Date: 8/13/10

Recommendation

Approval of the Preliminary and Final Site Plan for SP#10-37 Mando America is recommended. Please address the following minor comments on the Stamping Set Submittal.

Ordinance Considerations

Building Foundation Landscape (Sec. 2509.3.d.)

A small number of shrubs will be removed at the building foundation to accommodate new access to the building. The ordinance allows access points to be excluded from foundation planting requirements. The plans indicate that these shrubs will be relocated on the site per the Landscape Architect. No other improvements that would affect the site landscape are proposed.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

A handwritten signature in black ink, appearing to read 'DRB'.

Reviewed by: David R. Beschke, RLA

FAÇADE REVIEW



August 29, 2010

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review**
MANDO American Corp, SP10-37, Preliminary & Final S.P.A.
 Façade Region: 3, Zoning District: I-1

Dear Ms. McBeth;

The following is the Facade Review for Preliminary and Final Site Plan Approval of the above referenced project based on the drawings prepared by Biddison Architecture and Design, dated 8/17/10. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule, if any, are highlighted in bold.


	WEST	SOUTH	EAST	NORTH	Ordinance Maximum (Minimum)
BRICK	0%	0%	Unaltered	Unaltered	100% (Note 1)
SPLIT FACED CMU	59%	58%	Unaltered	Unaltered	75% (Note 2)
STRIATED SCORED CMU	13%	6%	Unaltered	Unaltered	25% (Note 2)
FLAT METAL PANELS	23%	30%	Unaltered	Unaltered	50%
RIBBED METAL PANELS (SCREEN)	5%	6%	Unaltered	Unaltered	10%
Note 1 - 30% minimum Brick required, except in I-2 and I-2 Districts (not applicable to this project)					
Note 2 - Combined percentage of Split Faced and Striated Scored CMU must not exceed 75%.					

This application consists of the alteration of the west and south facades of an existing building located in Façade Region 3. No alterations are proposed for the east and north facades. The Facade Ordinance Section 2520.6 states that when new materials are proposed for an existing façade, the entire façade shall be subject to the Schedule Regulating Façade Materials. The requirement for 30% minimum Brick (2520, footnote 9) does not apply to this project as it is located in the I-1 zoning district.

Recommendation - As shown above the proposed alterations to the west and south facades are in full compliance with the Facade Ordinance. The Ordinance does not require the alteration of all facades when selected facades are proposed to be altered. Therefore, the unaltered facades (east and north) are in technical compliance with the Facade Ordinance. A Section 9 Waiver is not required for this project.

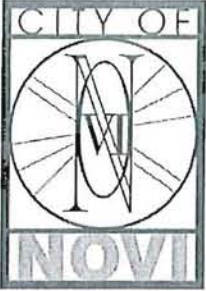
If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name.

Douglas R. Necci, AIA

FIRE REVIEW



August 26, 2010

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Mando America Corp., 29930 Hudson Dr.

SP#: SP10-37, Preliminary/Final Site Plan

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

Justin Fischer

City Manager
Clay J. Pearson

Director of Public Safety
David Molloy

Director of Fire and EMS
Jeffrey Johnson

Project Description:

Mando America Corporation will be occupying an existing 68,885 S.F. vacant building at the above address on Hudson Dr. and utilize the building as a sales and technical center.

Comments:

1. Mando America Corp. will need to complete a hazardous materials survey and inventory and submit this form to both the Building and Fire Departments.
2. This site plan states that any storage of products will be kept to a maximum height of 12'. The applicant needs to be aware that in order to store combustible products above 12', there are several other requirements regarding this building that must be met.

Recommendation:

Recommended for Approval

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department
42975 Grand River Ave.
Novi, Michigan 48375
248.349-2162
248.349-1724 fax

cityofnovi.org

LETTERS FROM APPLICANT
DESCRIBING USE



August 17, 2010

City of Novi

RE: Business / Operation

Mando America currently located in Plymouth, Michigan is in the process of building new and moving to Novi. The address at the new location in Novi is: 29930 Hudson Drive.

This is a facility of approximately 76,400 square feet. This is broken down into 28,600 sq-ft of office space and 47,800 sq-ft of lab space. The builder is Amson Dembs Development.

Mando America is a Korean owned supplier of premium components and systems to the automotive industry. Our primary product lines are Steering, Brake, and Suspension systems.

Our new facility is intended for a sales and technical center. The facility will house our North American Sales and Engineering groups. This includes growth to approximately 125 employees over the next 5 years. We run one standard 8 hour shift, 8:30 AM – 5:30 PM. The lab area will be used for component testing and installation of our components into vehicles for demonstration. There will not be manufacturing at this location.

Our products are a mix of mechanical and electronic components. There will be some storage of these components in the lab area in proper storage racks.

We expect to close on the new building at the end of 2010 with an occupancy date of January 2011. We look forward to being a long term partner of your community.

Please contact us if you have any questions.

Best regards,

A handwritten signature in cursive script that reads 'R.A. Kozlowski'.

Ronald Kozlowski
Mando America
Director
734-395-2093

MANDO America Corporation: 45901 5 Mile Road Plymouth, MI 48170



September, 1, 2010

City of Novi

RE: Business / Operation

Our current lab area staff includes: 1 manager, 4 quality engineers, 1 test engineer, and 3 engineering technicians.

The majority of our testing work is automated and requires minimal staffing. However, the testing and support staff is expected to grow to a maximum of 12 people over the next 5 years and is included in the 125 mentioned in the previous letter.

Please contact us if you have any questions.

Best regards,

A handwritten signature in black ink that reads "R.A. Kozlowski".

Ronald Kozlowski
Mando America
Director
734-395-2093

APPLICANT RESPONSE LETTER

September 02, 2010

Kristen Kapelanski
Planner, City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: **Mando America**
Formerly (Units 29 & 30)
Beck North Corporate Park
Final Site Plan Review
SP10-37

Dear Ms. Kapelanski:

Our office has reviewed your letter dated September 1, 2010 and will comment on the following items that were listed in bold text. This letter will accompany (13) sets of plans and (1) 8.5x11 site plan submitted for site plan approval.

Ordinance Requirements

Comment #2:

Response: The owner will contact Lindon Ivezaj for Traffic Inspection fees.

Comment #3:

Response: The owner will contact the Planning Department prior to any use occupancy changes.

Driveway Design and Control

Comment #6:

Response: The owner will confirm if the 30" STOP sign is to remain or if a 24" STOP sign will replace it.

Pedestrian Access

Comment #7:

Response: It has been noted. The owner will take into consideration the recommendations from the landscape reviewer and City engineering Dept.

Parking and Circulation

Comment #8:

Response: The easterly vestibule near the east end of the barrier-free spaces will be labeled, "*Employee use only*".

27750 Stansbury Blvd. Suite 100
Farmington Hills, MI 48334
p 248•426•7700 f 248•426•7710

Comment #9:

Response: The proposed island will be poured as a monolithic raised slab.

Comment #10:

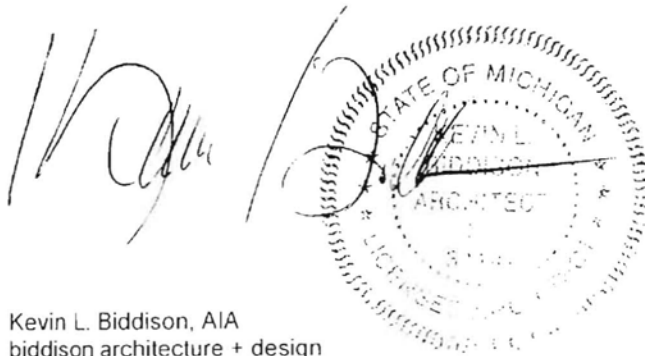
Response: A note will be added to the site plan stating: "The barrier-free parking spaces adjacent to the curb at each end of the module are a full 8 foot wide to the face of the curb (not the back of the curb)."

Comment #11:

Response: The number of barrier-free spaces proposed will be revised to indicate (6) spaces as required.

Please contact me, if you have any further questions regarding this project.

Sincerely,



Kevin L. Biddison, AIA
biddison architecture + design

27750 Stansbury Blvd. Suite 100
Farmington Hills, MI 48334
p 248•426•7700 f 248•426•7710

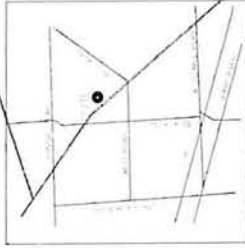
SITE PLAN

APPLICANT INFORMATION:

MANDO AMERICA CORPORATION
1634.08
1634.08
1634.08

LEGAL DESCRIPTION:

THE LAND DESCRIBED IN THIS PLAN IS PART OF THE TRACT DESCRIBED AS FOLLOWS: ...



SITE STATISTICS:

PROPOSED STATISTICS:
TOTAL AREA: 163,408 SQ FT
TOTAL BUILDING AREA: 163,408 SQ FT
TOTAL OPEN SPACE: 0 SQ FT

EXISTING STATISTICS:
TOTAL AREA: 163,408 SQ FT
TOTAL BUILDING AREA: 163,408 SQ FT
TOTAL OPEN SPACE: 0 SQ FT

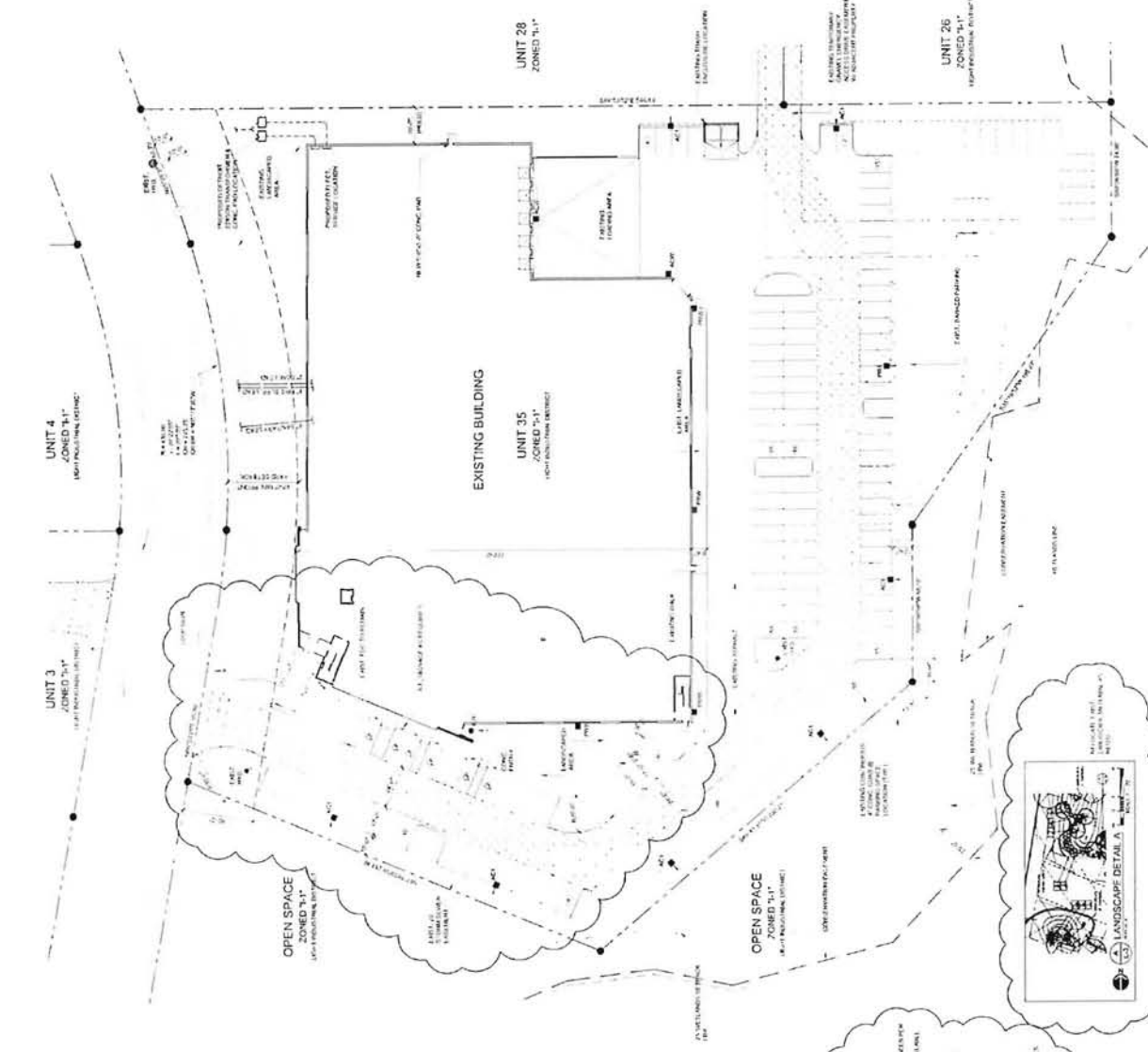
PROPOSED IMPROVEMENTS:
NEW BUILDING: 163,408 SQ FT
NEW OPEN SPACE: 0 SQ FT
NEW PARKING: 0 SPACES

GENERAL SITE NOTES:

1. THE SITE IS ZONED R-1 (RESIDENTIAL SINGLE-FAMILY) AND THE PROPOSED DEVELOPMENT IS A COMMERCIAL BUILDING. THE DEVELOPER HAS OBTAINED THE NECESSARY ZONING VARIANCES FROM THE CITY OF BERKELEY.
2. THE PROPOSED DEVELOPMENT IS A COMMERCIAL BUILDING WITH A TOTAL FLOOR AREA OF 163,408 SQ FT. THE BUILDING WILL BE CONSTRUCTED IN PHASES.
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30. THE PROPOSED DEVELOPMENT IS A COMMERCIAL BUILDING WITH A TOTAL FLOOR AREA OF 163,408 SQ FT. THE BUILDING WILL BE CONSTRUCTED IN PHASES.

PROPOSED IMPROVEMENTS:
NEW BUILDING: 163,408 SQ FT
NEW OPEN SPACE: 0 SQ FT
NEW PARKING: 0 SPACES

EXISTING STATISTICS:
TOTAL AREA: 163,408 SQ FT
TOTAL BUILDING AREA: 163,408 SQ FT
TOTAL OPEN SPACE: 0 SQ FT



SITE PLAN
SCALE: 1" = 100'

CONSTRUCTION NOTES:
ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF BERKELEY ZONING ORDINANCE AND THE CITY ENGINEER'S APPROVED PLANS.

NOTES:
1. THE SITE IS ZONED R-1 (RESIDENTIAL SINGLE-FAMILY) AND THE PROPOSED DEVELOPMENT IS A COMMERCIAL BUILDING. THE DEVELOPER HAS OBTAINED THE NECESSARY ZONING VARIANCES FROM THE CITY OF BERKELEY.

GENERAL SITE NOTES:
1. THE SITE IS ZONED R-1 (RESIDENTIAL SINGLE-FAMILY) AND THE PROPOSED DEVELOPMENT IS A COMMERCIAL BUILDING. THE DEVELOPER HAS OBTAINED THE NECESSARY ZONING VARIANCES FROM THE CITY OF BERKELEY.

MAPS

Location/Air Photo
Zoning

Mando America Corp. SP10-37

Location

Nadlan Ct

Hudson Dr

Hudson Dr



Map Author: Kristen Kapelanski
Date: 08/31/10
Project: SP10-37 Mando America
Version #: 1.0

Map Legend

 Subject Property

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



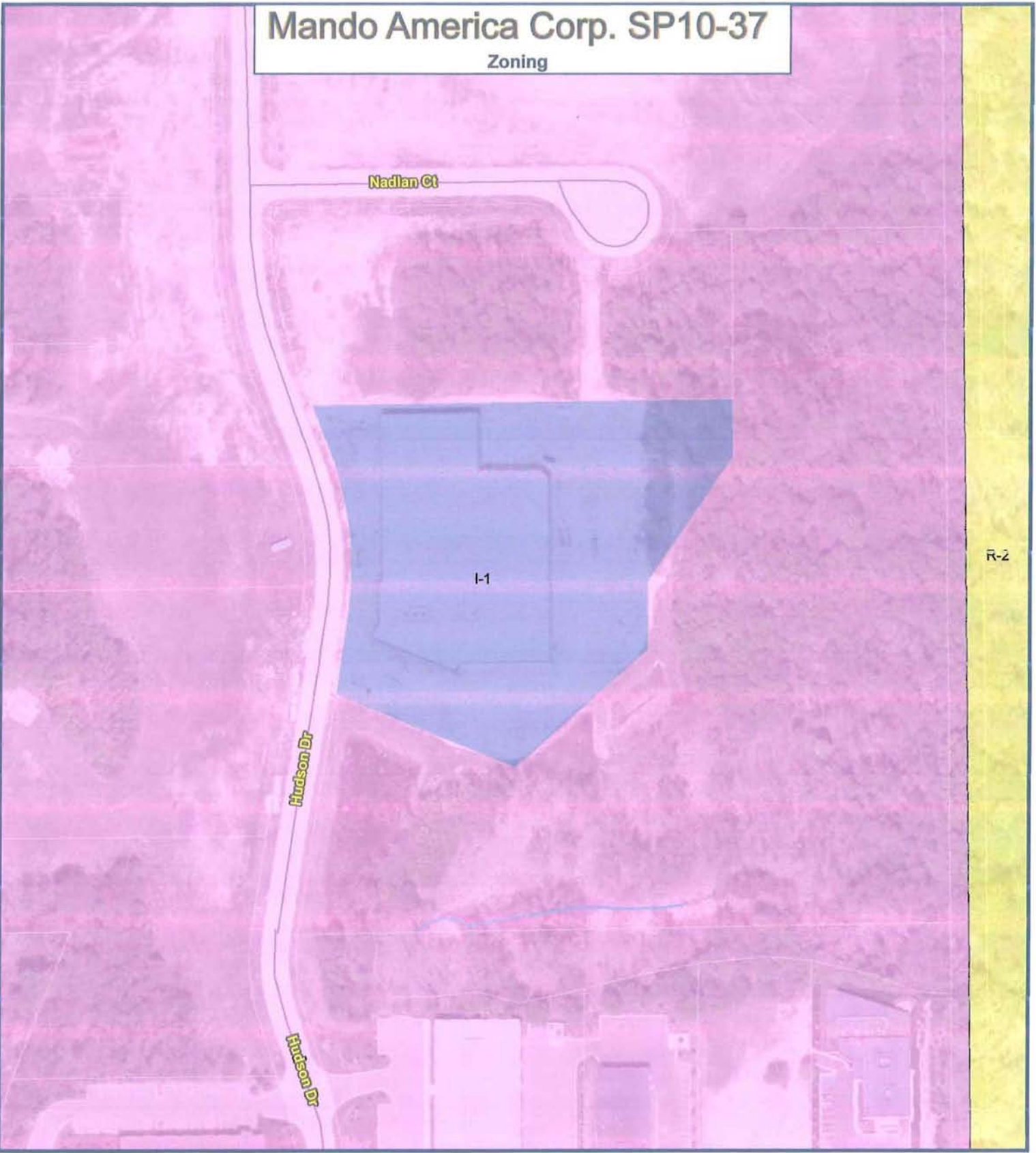
City of Novi
Department Division
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 169 feet

Mando America Corp. SP10-37

Zoning




Map Author: Kristen Kapelanski
 Date: 08/31/10
 Project: SP10-37 Mando America
 Version #: 1.0


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Map Legend

- Subject Property
- R-2: One-Family Residential District
- I-1: Light Industrial District



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Feet

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