



GRACE IMMANUEL BIBLE CHURCH SITE PLAN 10-39

GRACE IMMANUEL BIBLE CHURCH, SITE PLAN 10-39

Public Hearing at the request of Grace Immanuel Bible Church for Special Land Use Permit and Preliminary Site Plan approval. The subject property is located in Section 36, at 21900 Meadowbrook Road, north of Eight Mile Road and east of Meadowbrook Road, in the R-3, One-Family Residential District. The subject property is approximately 2.9 acres and the applicant is proposing an approximately 1,152 square foot addition to the north side of the existing church.

Required Action

Approve or Deny Special Land Use Permit and Preliminary Site Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	09/21/10	<ul style="list-style-type: none"> • Noise Impact Statement required. • Issues to address at the time of Final Site Plan submittal.
Engineering	Approval recommended	09/20/10	<ul style="list-style-type: none"> • Issues to address at the time of Final Site Plan submittal.
Traffic	Approval recommended	09/07/10	<ul style="list-style-type: none"> • Issues to address at the time of Final Site Plan submittal.
Landscape	Approval recommended	09/23/10	<ul style="list-style-type: none"> • Applicant should consider additional plantings along the easterly property line. • Issues to address at the time of Final Site Plan submittal.
Facade	Approval recommended	09/23/10	<ul style="list-style-type: none"> • No outstanding issues to address.
Fire	Approval recommended	09/22/10	<ul style="list-style-type: none"> • No outstanding issues to address.

Approval- Special Land Use

In the matter of the request of Grace Immanuel Bible Church, SP 10-39, motion to **approve** the Special Land Use permit, subject to the following:

- a. Planning Commission finding under Section 2516.2.c for the Special Land Use permit:
Whether, relative to other feasible uses of the site,
 - The proposed use will not cause any detrimental impact on existing thoroughfares *(due to the fact that the proposed addition will generate 11 additional trips during the week and 42 additional trips on Sunday).*
 - The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *(due to the fact that the proposed operation will not generate a substantial amount of noise or adverse impacts.)*
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
 - The proposed use will promote the use of land in a socially and economically desirable manner.
 - The proposed use is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located *(as noted in the staff review letters);*
- b. Applicant submitting the required Noise Impact Statement; and
- c. Compliance with all conditions and requirements listed in the staff and consultant review letters;
- d. *(Insert specific considerations here)*

(because the plan is otherwise in compliance with Article 4, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)

Denial- Special Land Use

In the matter of the request of Grace Immanuel Bible Church, SP 10-39, motion to **deny** the Special Land Use permit, *(because it does not meet the following standards of the ordinance for approval of a Special Land Use permit...)*

Approval – Preliminary Site Plan

In the matter of Grace Immanuel Bible Church, SP 10-39, motion to **approve** the Preliminary Site Plan, subject to the following:

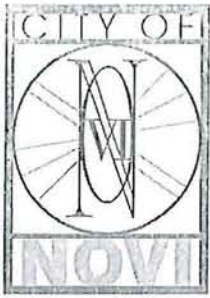
- a. Applicant submitting the required Noise Impact Statement;
- b. Compliance with all conditions and requirements listed in the staff and consultant review letters; and
- c. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Article 4, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)

Denial - Preliminary Site Plan

In the matter of Grace Immanuel Bible Church, SP 10-39, motion to **deny** the Preliminary Site Plan. *(because it is not in compliance with the following sections of the Zoning Ordinance....)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

September 21, 2010

Planning Review

Grace Immanuel Bible Church

SP10-39

Petitioner

Grace Immanuel Bible Church

Review Type

Special Land Use / Site Plan

Property Characteristics

- Site Location: 21900 Meadowbrook Road, North of Eight Mile Road and east of Meadowbrook Road (Section 36)
- Site Zoning: R-3, One-Family Residential
- Adjoining Zoning: North, South and East: R-3; West (across Meadowbrook Road): R-1
- Current Site Use: Existing Grace Immanuel Bible Church
- Adjoining Uses: All Directions: Single-Family Residential
- School District: Novi Community School District
- Site Size: 2.9 acres
- Plan Date: 09-01-10

Project Summary

The subject property is located on the east side of Meadowbrook Road between Eight Mile Road and Nine Mile Road at 21900 Meadowbrook Road. The applicant is proposing an approximately 1,152 sq. ft. addition on the north side of the existing Grace Immanuel Bible Church. The zoning of the parcel is R-3, One-Family Residential. The applicant previously received approval of the required Special Land Use Permit from the Planning Commission on May 9, 2007. Since the proposed addition increases the size of the use, the Special Land Use Permit must be re-evaluated by the Planning Commission. Ten additional parking spaces will be installed along with the addition.

Recommendation

Provided the applicant submits the required Noise Impact Statement, approval of the preliminary site plan and special land use permit is recommended.

Special Land Use Considerations

In the R-3 District a church falls under the Special Land Use requirements (Sections 402.1). Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 4 (R-1 – R-4 One-Family Residential Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Noise Impact Statement: Per the provisions of Section 402.1.g a Noise Impact Statement is required. **The applicant should provide the required Noise Impact Statement.** Alternately, the applicant can request a waiver of this provision from the Planning Commission via written correspondence. The applicant should refer to Section 2519.10 for the Noise Impact Statement requirements.
2. Shed: The plans indicate that the existing shed just north of the church building will be relocated to accommodate the proposed addition. **The applicant should indicate the proposed location of the existing shed on the plans.** The new location will need to meet all setback requirements.
3. Screening: The applicant should consider adding additional plantings in the rear yard to better screen the parking lot from the adjacent residence. Please see the landscape review letter for additional detail.
4. Parking: The applicant has applied for a variance from the Zoning Board of Appeals to allow the addition without the construction of the required ten additional parking spaces. **Should the variance be granted, the applicant should revise the plan prior to Stamping Set submittal to omit the parking spaces that would not be installed.**

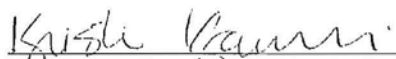
Stamping Set Approval

Stamping sets are required for this project. Provided the applicant receives approval of the Preliminary Site Plan and Special Land Use Permit from the Planning Commission, the plans should be corrected to address comments in this and other review letters and eight sets of the plan should be submitted for Stamping Set approval.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to appearing before the Planning Commission.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner
248-347-0586 or kkapelanski@cityofnovi.org

PLANNING REVIEW SUMMARY CHART

Plan Date: 09-01-10
 Project Name: Grace Immanuel Bible Church
 Project Number: 10-39

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan.

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Single Family Residential	No change Proposed	Yes	
Zoning	R-3, One-Family Residential	No change proposed	Yes	
Principal Uses Permitted (Sec. 401)	Uses permitted: Detached one-family dwellings, parks, cemeteries, home occupations, accessory buildings, outdoor recreational facilities, keeping of horses and ponies, and Family Day Care Homes.			
Uses Permitted Subject to Special Conditions (Sec. 402)	Churches, schools, utility and public service buildings, Group Day Care Homes, Day Care Centers, and Adult Day Care Centers, recreational areas, recreation centers, swimming pools, golf courses, colleges, universities, mortuaries, and bed and breakfasts.	Church	Yes	Subject to approval the revised Special Land Use Permit by Planning Commission – Must meet following Conditions (see details below): <ul style="list-style-type: none"> a. Minimum lot size 3 acres b. Minimum lot width 200 ft. c. Access to arterial road d. 75 ft. building setback all property lines e. 35 ft. parking setback from residential f. Screening of parking areas (See Landscape Review) g. Noise Impact Statement required

Item	Required	Proposed	Meets Requirements?	Comments
Intent of District (Sec. 400)	R-3 - Provide for an environment of predominately one-family detached dwellings along with other residentially related facilities which serve the residents of the district	Church	Yes	
Lot area (Sec. 402.1.a.)	3 acres	2.45 acres Existing lot	No	Applicant received a variance on June 5, 2007.
Lot width (Sec 402.1.b.)	200 ft.	299 ft.	Yes	
Access (Sec. 402.1.c.)	Must have access to arterial road	Existing driveway to Meadowbrook Road	Yes	
Noise Impact Statement (Sec. 402.1.g)	Noise Impact Statement required	None provided.	No	Applicant should provide the required Noise Impact Statement or request a waiver from the Planning Commission.
Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	35 ft.	No Change Proposed.	Yes	
Building Setback (building for proposed Church only – site also contains one single family home and a garage)				
Front (2400 & 402.d.)	75 ft.	95+/- ft.	Yes	
Side south (2400 & 402.d.)	75 ft.	74 ft.	No	Applicant received a variance on June 5, 2007.
Side north (2400 & 402.d.)	75 ft.	130+/- ft.	Yes	
Rear east (2400 & 402.d.)	75 ft.	250+/- ft.	Yes	
Parking Setback				
Front (2400 h & 402.e.)	No parking in front yard (95 ft. at front of building)	80+/- ft.	No	Applicant received a variance on June 5, 2007.
Side south (2400 h & 402.e.)	35 ft. adjacent to residential lots	20 ft.	No	Applicant received a variance on June 5, 2007.

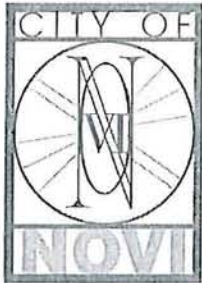
Item	Required	Proposed	Meets Requirements?	Comments
Side north (2400 h & 402.e.)	35 ft. adjacent to residential lots	140+/- ft.	Yes	
Rear (2400 h & 402.e.)	35 ft. adjacent to residential lots	100+/- ft.	Yes	
Number of Parking Spaces (2505)	1 space per 3 seats or capacity as regulated by building or fire codes, or for every 6 ft. of pew in the main unit of worship, which ever is greater 121 people/3 = 40 spaces required	40 spaces provided	Yes	The Building Division has indicated a building occupancy of 121 people. Applicant has also applied for a variance from the Zoning Board of Appeals so that the required 10 additional parking spaces do not need to be installed.
Parking Space Dimensions and Maneuvering Lanes (2506)	9 ft. x 19 ft. parking space dimensions and 24 ft. wide drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	9 ft. X 19 ft. spaces with 20 ft. and 24 ft. aisles provided	Yes	
Barrier Free Spaces (Barrier Free Code)	2 barrier free spaces required: 1 standard barrier free, 1 van accessible.	1 standard and 1 van accessible barrier free spaces provided	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with a 5 ft. wide access aisle for standard barrier free spaces, and 8 ft. wide with an 8 ft. wide access aisle for van accessible spaces	8 ft. wide with a 7ft. wide access aisle shown	No	Applicant should increase the size of the access aisle to 8' to meet Barrier Free Code requirements.

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signs provided	Yes	
Dumpster (Chapter II, Section 21-145 and Section 2503.2.F)	Not required	None provided	Yes	
Dumpster Enclosure (Sections 2503.2.F and 2520.1)	Dumpster enclosure to be located in rear yard, and set back from property line a distance equivalent to the parking lot setback. It is to be located as far from barrier free spaces as possible. Enclosure to match building materials	None proposed	Yes	
Exterior lighting (Section 2511)	Photometric plan and exterior lighting details needed at time of	No new lighting proposed?	Yes?	A photometric plan will be required if additional lighting is proposed.
Sidewalks (City Code Section 11-276(b))	Existing site	None proposed		
Building Code	Building exits must be connected to sidewalk system or parking lot.	Building entrances connected to parking lot		

Item	Required	Proposed	Meets Requirements?	Comments
	General layout and dimension of proposed physical improvements, showing the following: Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area	<u>Most information provided</u>	Yes/No	Applicant should indicate where existing shed will be relocated. The shed will need to meet all setbacks.

Prepared by Kristen Kapelanski, AICP (248) 347-0586

ENGINEERING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

September 20, 2010

Engineering Review

Grace Immanuel Bible Church

SP10-39

Petitioner

Grace Immanuel Bible Church

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Meadowbrook Road, north of Eight Mile Road
- Site Size: 2.45 acres
- Plan Date: 9-1-10

Project Summary

- Construction of an approximately 1,152 square-foot building addition and the possibility of 10 additional parking spaces.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Clearly show all proposed changes to the site on the plan. Differentiate between existing and proposed utilities and pavement.
4. Show additional parking lot grading on the next submittal.
5. If the additional parking spaces are required, additional storm water treatment shall be required along the existing swale.

Sanitary Sewer

6. Provide current lead invert elevations on the plan.
7. Construction of a structure over an existing sanitary lead is not permitted. The existing lead will have to be rerouted. Provide a revised plan for the sanitary lead on the plan.
8. All sanitary leads are a minimum of 6-inch diameter SDR 23.5 with a minimum 1% slope. Label this on the site plan.

Paving & Grading

9. Since the majority of the parking lot is not curbed, the added parking spaces will not require curb and gutter. However, bumper blocks are recommended for a barrier.
10. Provide a pavement cross-section detail on the plan for any proposed pavement.

The following must be submitted at the time of Final Site Plan submittal:

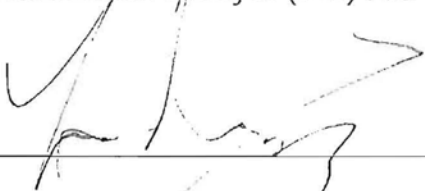
11. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
12. If parking spaces are required, an itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. ***The cost estimate must be itemized*** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be addressed prior to construction (ONLY IF PARKING SPACES ARE REQUIRED):

13. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

14. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
15. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
16. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
17. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office if any additional signage is added to the plan.

Please contact Lindon Iyezaj at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

TRAFFIC REVIEW

September 7, 2010

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



**SUBJECT: Grace Immanuel Bible Church, Preliminary Site Plan,
SP#10-39, Traffic Review**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval, subject to the issues shown below in **bold** being satisfactorily addressed on the final site plan.

Project Description

What is the applicant proposing?

1. The applicant proposes a 1,152-s.f. building addition at the north end of the existing 2,243-s.f. church. Primary uses within the building will be an 84-seat chapel and one large Sunday school room. No information has been provided as to the existing sizes of these uses.
2. **The submission is unclear as to whether or not the parking lot is proposed for enlargement.** The Site Plan shows ten additional spaces in dashed lines around the northern and eastern periphery of the existing lot as "possible additional parking spaces if required based on Building Department-determined occupant load for entire building of 121 people." The Landscape Plan, however, shows these ten spaces in solid lines and has them labeled as "Proposed Parking."

Trip Generation

How much new traffic would be generated?

3. According to average trip generation rates published by the Institute of Transportation Engineers, a 3,395-s.f. church can be expected to generate 31 one-way vehicle trips on a typical weekday and 82 such trips on a typical Sunday (26 during the peak hour). Relative to the existing 2,243-s.f. church, the proposed larger church can be expected to increase weekday trips by 11 and Sunday trips by 42 (14 during the peak hour).

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

4. No new access drives are proposed. As a matter of record, the church's existing driveway appears to be about 175 ft north of Marks Drive (near-edge to near-edge). This spacing exceeds the City's 125-ft minimum for the 30 mph speed limit on Meadowbrook Road.

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

5. No access improvements have been proposed by the applicant. Given the forecasted peak-hour trip generation, the potential directionality of those trips, and the current average daily traffic on Meadowbrook Road (about 7,900 vehicles), no right-turn or left-turn mitigation is warranted based on City standards (DCS Figures IX.8 and IX.10).

Driveway Design and Control

Are the driveways acceptably designed and signed?

6. No driveway modifications have been proposed by the applicant. However, if not already in place, **a 24-inch STOP (RI-1) sign should be installed at the east end of the exiting driveway return.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

7. There is neither an existing sidewalk along this section of Meadowbrook Road, nor a proposal by the church to provide a sidewalk along its driveway to connect to a future Meadowbrook sidewalk. The Planning Commission may wish to discuss this issue with the applicant and appropriate City staff.

Parking and Circulation

Are parking spaces appropriately located and designed? Can vehicles safely and conveniently maneuver through the site?

8. **All plan sheets must be consistent relative to the proposed parking lot configuration.** Specifically:
 - a. **Will the ten additional parking spaces actually be built at the time the church building is enlarged?**
 - b. **How far east will the westernmost of those parking spaces be offset from the nearest existing space in the northwest corner of the lot? The Site Plan shows a 9-ft offset, and the Landscape Plan shows a 6-ft offset (the former is preferred).**
 - c. **Will curb-and-gutter be used to border any of the lot? If not, 4-inch high bumper blocks should be proposed in the ten new spaces, set in 2 ft from the edge of pavement (relative to the vertical face contacted by tires).**

- d. **The marking and signing of the two barrier-free parking spaces should be detailed in the same fashion. The Landscape Plan shows the wheelchair symbols on the pavement, the signs set back from the pavement so as to minimize damage from overhanging bumpers, and the signing of both spaces as van-accessible. These same features should appear on the Site Plan. Also, at least the Site Plan should label the related pavement markings as being blue, and should include the corresponding MMUTCD sign codes (R7-8 and R7-8a for the RESERVED PARKING and VAN ACCESSIBLE signs, respectively).**
9. Associated with the 50-ft turning radius shown to be available for circulation by the City's largest fire truck (on the northeast side of the parking lot) is the associated 29-ft inside turning radius for that vehicle. We find that that smaller-radius turn would just clear the marked parking spaces, and should therefore be considered adequate. At the west end of this parking module, the fire truck could take a slightly larger-than-minimum turn to clear the marked spaces. All other aspects of the access and circulation design are satisfactory.
10. Given that the parking lot exists and will remain relatively unchanged (with the possible exception of ten spaces being added around the northern and eastern periphery), the Planning Commission may wish to waive the normal requirement for landscaped end islands. However, **to help ensure a clear maneuvering path for a large fire truck, parking should be discouraged – via yellow crosshatching – in the two locations shown in the attached plan mark-up.**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.

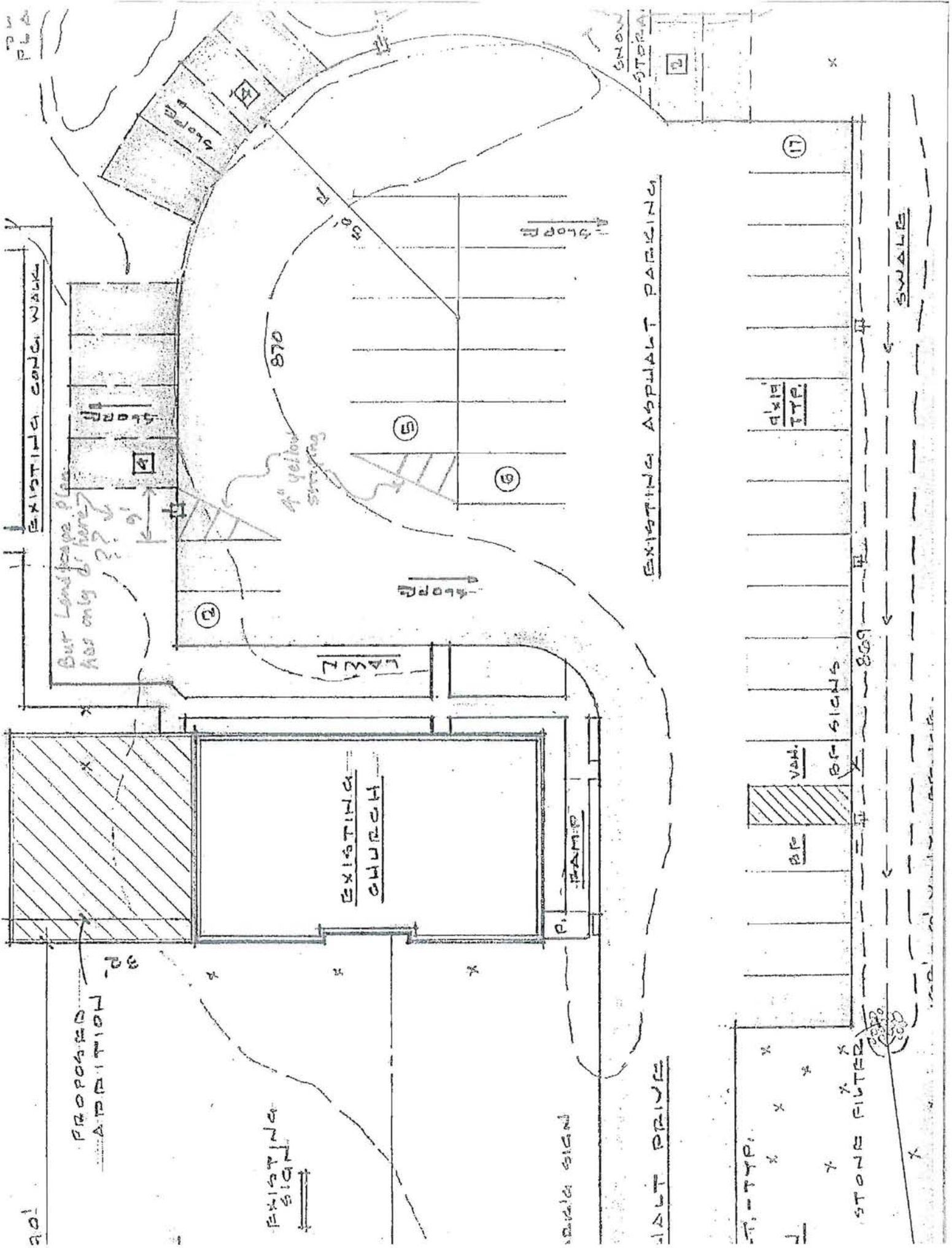


Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachment



P.W.
PLA

EXISTING CONCR. WALK

Our Landscape Plan
has only 6' here??

Shop

Shop

(2)

870

4" yellow
striking

3 4 5

↑ Slope

(5)

(6)

↑ Slope

EXISTING ASPHALT PARKING

SNOW
STORA

(2)

(11)

868

SWALES

201

PROPOSED
ADDITION

32

EXISTING
SIGN

EXISTING SIGN

ASPHALT DRIVE

STONE FILTER
SAND

BR

veh.

BR signs

200

X

X

X

X

X

X

X

X

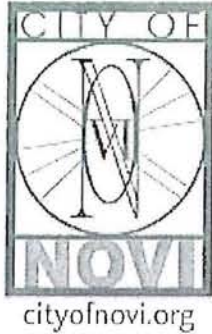
X

X

X

X

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

September 23, 2010

Preliminary Landscape Review

Grace Immanuel Bible Church

Petitioner

Grace Immanuel Bible Church (Rev. C. Sexton)

Project Zoning

R-3 - One-Family Residential

Recommendation

The Preliminary Site Plan for SP10-39 Grace Immanuel Bible Church is recommended.

Ordinance Considerations

1. Residential Adjacent to Non-Residential (Sec. 2509.3.a)

1. The property is adjacent to residentially zoned property on the north, east and south sides. The proposed addition should not affect any of the surrounding residential properties. Fencing and landscape berms currently buffer the adjacent properties.
2. *At the easterly side of the property, a berm and existing plantings buffer the adjacent property. The Applicant may wish to consider the planting of buffer plantings directly along the easterly property line to assure full buffer from the single family residential property.*

2. Adjacent to Rights-of-Way (Sec. 2509.3.b)

1. Right-of-way berms are typically required per Sec. 2509.3.b. and Right-of-Way Landscape Screening Requirements Chart with the purpose of screening parking and vehicular access areas. The proposed parking lot expansion will not alter the view from the roadside, and the current parking is adequately screened by existing vegetation which is to be perpetually maintained.

3. Parking Area Landscape Requirements (Sec. 2509.3.c)

1. The parking area and landscape as it exists and is proposed meets the requirements of parking area landscape requirements. Existing shrub plantings that must be removed to accommodate the expanded parking will be relocated directly adjacent to the new parking spaces and around the building addition.
2. Perimeter Canopy Trees are required at a minimum 1 per 35' around the entire parking area. The plan meets these requirements.

4. Building Perimeter Landscaping (Sec. 2509.3.d)

1. Foundation Planting Areas are required for all buildings (8' x entire perimeter of building). The plan meets this requirement. Plantings relocated from on the site will be used to fulfill the foundation planting requirements.
2. A 4' wide landscape bed has been provided as required around the building foundation.

5. Storm Basin Landscape Requirements (LDM)

1. No storm basins are proposed.

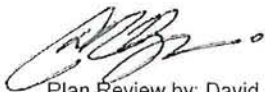
6. Plant List (LDM)

1. A Plant List has been provided that meets the requirements of the Ordinance and Landscape Design Manual.

7. Plan Notes & Details (Sec. 2509. 4. 5. 6. & 7.)

1. All required City of Novi plan notations and landscape installation details have been provided.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. The appropriate section of the applicable ordinance is indicated in parenthesis. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.



Plan Review by: David R. Beschke, RLA – (248)-735-5621

FACADE REVIEW



September 23, 2010

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE REVIEW**
Grace Immanuel Bible Church, SP10-39
 Façade Region: 1, Zoning District: R-3

Dear Ms. McBeth:

The following is the Façade Review for the above referenced project based on the drawings prepared by Carl E. Gaiser, Architect, dated June 18, 2010. The percentages of materials proposed for each façade are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials that are in non-compliance with the Façade Schedule, if any, are highlighted in bold.

	West	North	East	South	Ordinance Maximum (Minimum)
Brick (existing)	42%	0%	0%	(Unaltered)	100% (30%)
Vinyl Siding	0%	100%	39%	(Unaltered)	0%
Asphalt Shingles	58%	0%	61%	(Unaltered)	25%

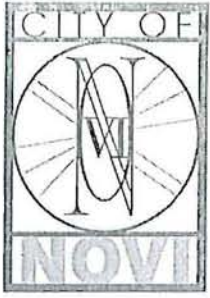
As shown above the percentages of brick is below the ordinance minimum on the north and east facades the percentage of vinyl siding and asphalt shingles exceed the ordinance maximum on the north, west and east facades. This project is considered an addition in accordance with Section 2520.7 of the Façade Ordinance, which allows for a continuation of existing materials provided that certain conditions are met, as follows; the addition does not exceed 100% of the existing floor area, all new materials constitute a continuation of existing materials, textures and colors, and the visual effect is to appear as part of the existing building. It is our recommendation that these conditions have been met with the proposed design. The application is in full compliance with the Façade Ordinance and a Section 9 Waiver is not required.

If you have any questions regarding this matter please do not hesitate to call.

Sincerely,
 DRN & Associates, Architects PC


 Douglas R. Necci, AIA

FIRE REVIEW



September 22, 2010

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

Terry K. Margolis

Andrew Mutch

Kathy Crawford

Dave Staudt

Justin Fischer

City Manager
Clay J. Pearson

Director of Public Safety
David Molloy

Director of Fire and EMS
Jeffrey Johnson

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: Grace Immanuel Bible Church
21900 Meadowbrook Rd.

SP#: 10-39, Preliminary Site Plan Review

Project Description:

1,152 S.F. addition to an existing church along with parking lot improvements.

Comments:

None

Recommendation:

Recommended for Approval

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

APPLICANT RESPONSE LETTER

RECEIVED

SEP 29 2010

CITY OF NOVI
COMMUNITY DEVELOPMENT

**Carl E. Gaiser, Architect
33018 Grand River Ave.
Farmington, Michigan 48336**

Ms. Kristen Kapelanski
Planner, City of Novi
45175 W. Ten Mile Rd.
Novi, Michigan 48357

Dear Ms. Kapelanski:

This letter is in response to the comments in the review letters regarding the Grace Immanuel Bible Church's planned addition.

- A Noise Impact Statement was submitted at the time the church was first established 3 years ago and it should be adequate since we are only adding one small heating/air conditioning unit in the new addition. That N.I.S. should be on file.
- The existing shed has been relocated and shown on the site plan and landscape plan, behind the existing house northeast of the church.
- If a variance is granted we will revise our site plan and landscape plan to omit the parking spaces that will not be installed.
- The van access aisle between the van accessible space and the standard barrier free space is 8-ft in width and is existing at the site.
- A photometric plan should not be required since no new lighting is proposed. The original P.P. should be on file.
- The requirement of 10 additional parking spaces is being appealed.
- A 24-inch STOP sign will be shown on the site plan at the east end of the drive.
- The 10 additional parking spaces will be constructed, if required, at the time of the church construction.
- The new parking spaces in the northwest corner will be offset 9-ft to the east from the existing two spaces in that corner.
- 4-inch high bumper blocks will be installed on the new parking spaces, if required by the City, and shown on the site plan.
- The wheelchair symbols will be shown on the revised site plan BF spaces.
- Yellow crosshatching will be shown on the site plan to ensure a clear maneuvering path for a fire truck.

Sincerely,


Carl E. Gaiser, Architect

SITE PLAN

Grace Immanuel Bible Church
21900 - 21950 Meadowbrook
Novi, Michigan

NO.	DATE	REVISIONS
1	9-1-10	
2	9-9-10	

Carl R. Becker
Site Plan

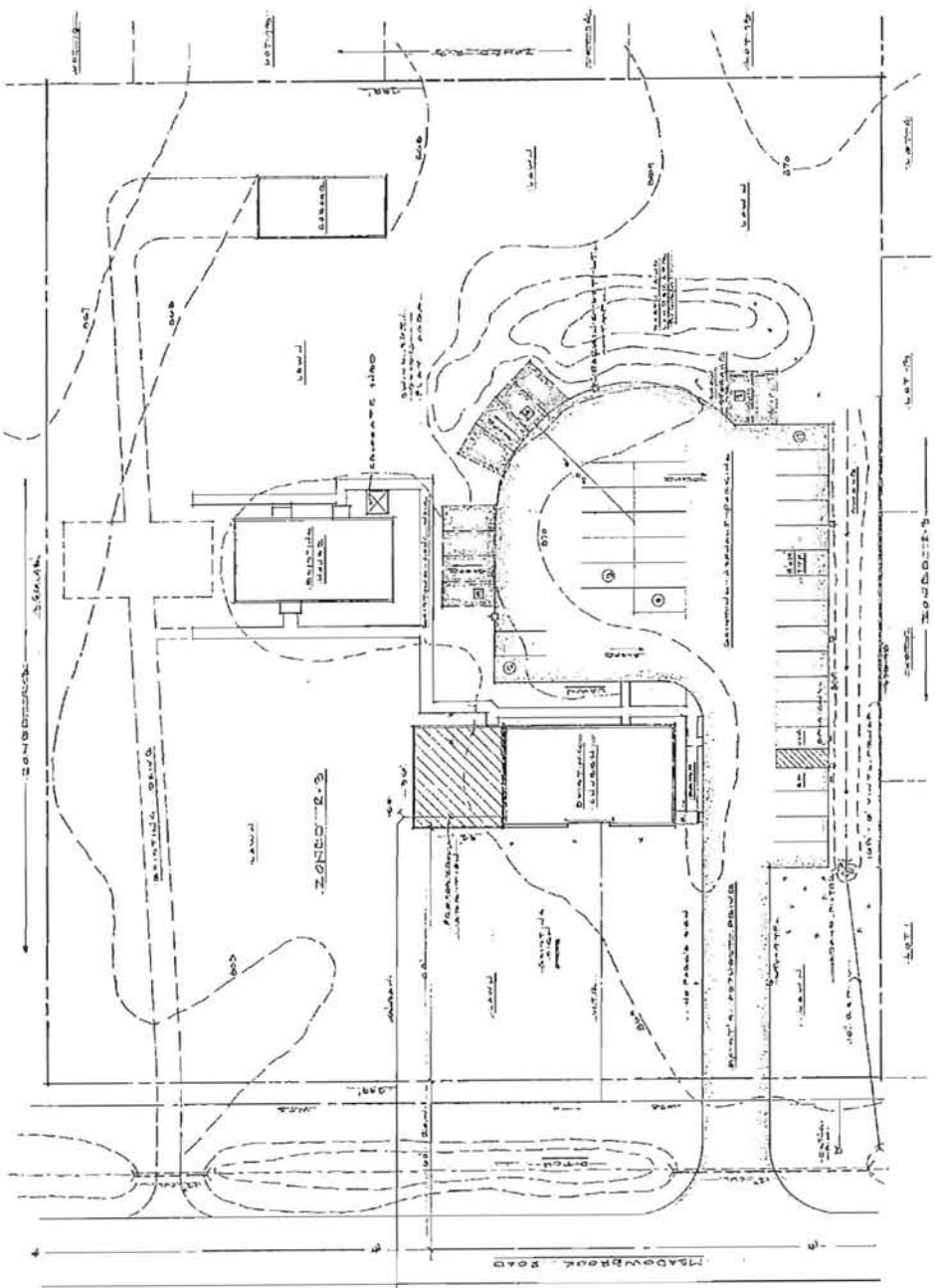
DATE: 10-10-10
SCALE: 1/8" = 1'-0"



LOCAL DESCRIPTION:
The site is located on the east side of Meadowbrook Road, between 21900 and 21950. The site is approximately 1.5 acres in size and is currently vacant. The surrounding area consists of residential and commercial properties.

GRACE IMMANUEL BIBLE CHURCH
21900 - 21950 MEADOWBROOK ROAD

NOTES:
1. THE SITE IS TO BE DEVELOPED AS A CHURCH AND PARSONAGE.
2. THE CHURCH BUILDING IS TO BE APPROXIMATELY 10,000 SQ. FT. IN AREA.
3. THE PARSONAGE IS TO BE APPROXIMATELY 2,000 SQ. FT. IN AREA.
4. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 120 PARKING SPACES.
5. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 TRUCK SPACES.
6. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE SPACES.
7. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE RACKS.
8. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR STATIONS.
9. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE STORAGE CAGES.
10. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE WASH STATIONS.
11. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS.
12. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR PARTS.
13. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR SUPPLIES.
14. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS AND PARTS.
15. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR SUPPLIES AND TOOLS.
16. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS, PARTS AND SUPPLIES.
17. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS, PARTS, SUPPLIES AND TOOLS.
18. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS, PARTS, SUPPLIES AND TOOLS.
19. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS, PARTS, SUPPLIES AND TOOLS.
20. THE SITE IS TO BE DEVELOPED WITH A TOTAL OF 100 BICYCLE REPAIR TOOLS, PARTS, SUPPLIES AND TOOLS.



SITE PLAN
SCALE: 1/8" = 1'-0"
UNDERSHOWN PLAN ON SEPARATE SHEET
CONTACT: [Redacted] ADDRESS: [Redacted] PHONE: [Redacted]

MAPS

**Location/Air Photo
Zoning
Future Land Use
Natural Features**

Grace Immanuel Bible Church SP10-39

Location



Map Author: Kristen Kapelanski
 Date: 09-27-10
 Project: Grace Immanuel Bible Church SP10-39
 Version #: 1.0

Map Legend

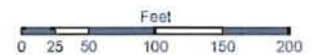
 Subject Property



City of Novi
 Department Division
 Department Name
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

MAP INTERPRETATION NOTICE

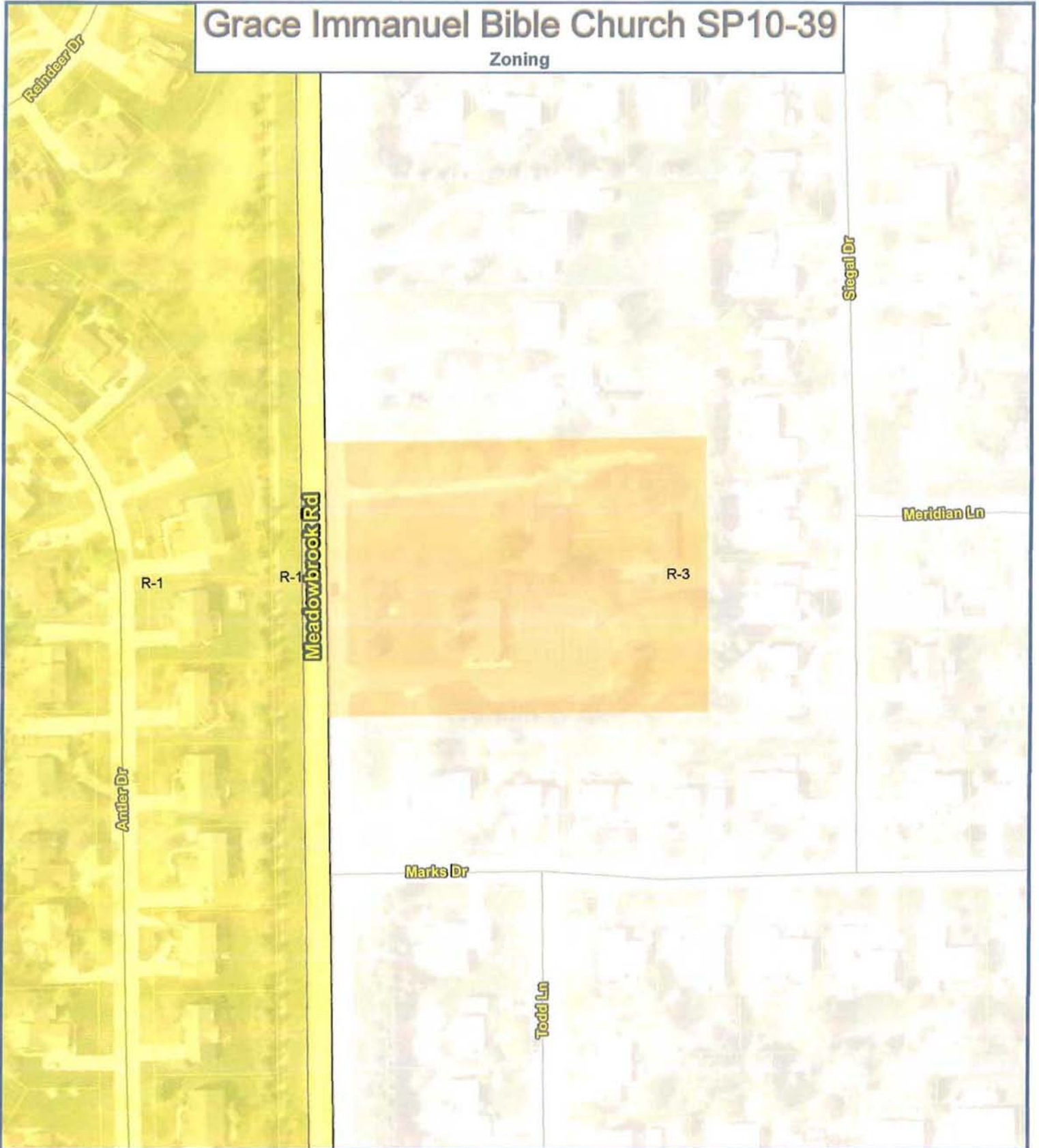
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



1 inch = 142 feet

Grace Immanuel Bible Church SP10-39

Zoning



Map Author: Kristen Kapelanski
 Date: 09-27-10
 Project: Grace Immanuel Bible Church SP10-39
 Version #: 1.0

Map Legend

-  Subject Property
-  R-1: One-Family Residential District
-  R-3: One-Family Residential District



City of Novi
 Department Division
 Department Name
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org



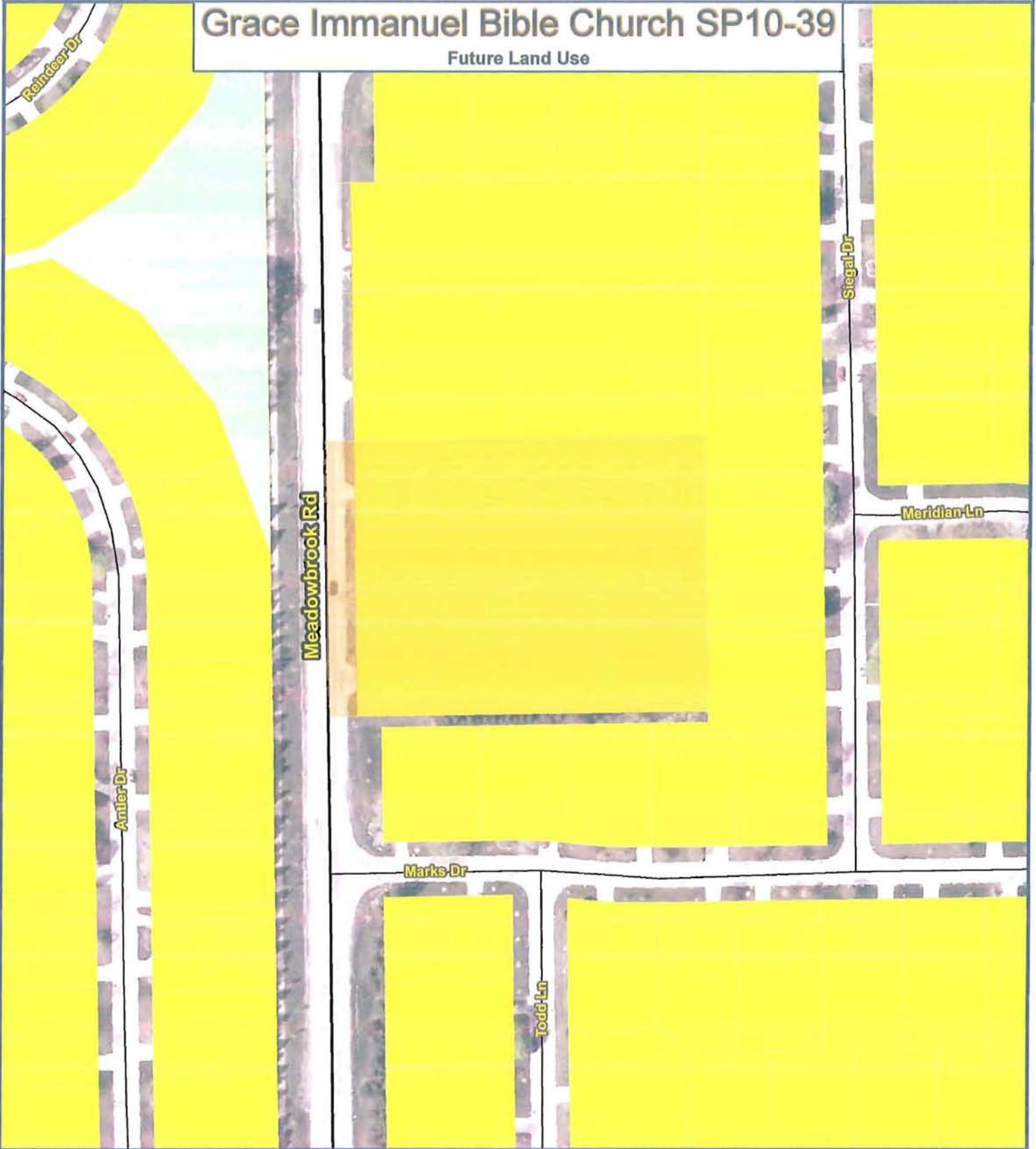
1 inch = 142 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Grace Immanuel Bible Church SP10-39

Future Land Use



Map Author: Kristen Kapelanski
 Date: 09-27-10
 Project: Grace Immanuel Bible Church SP10-39
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Map Legend

- Subject Property
- SINGLE FAMILY
- PRIVATE PARK



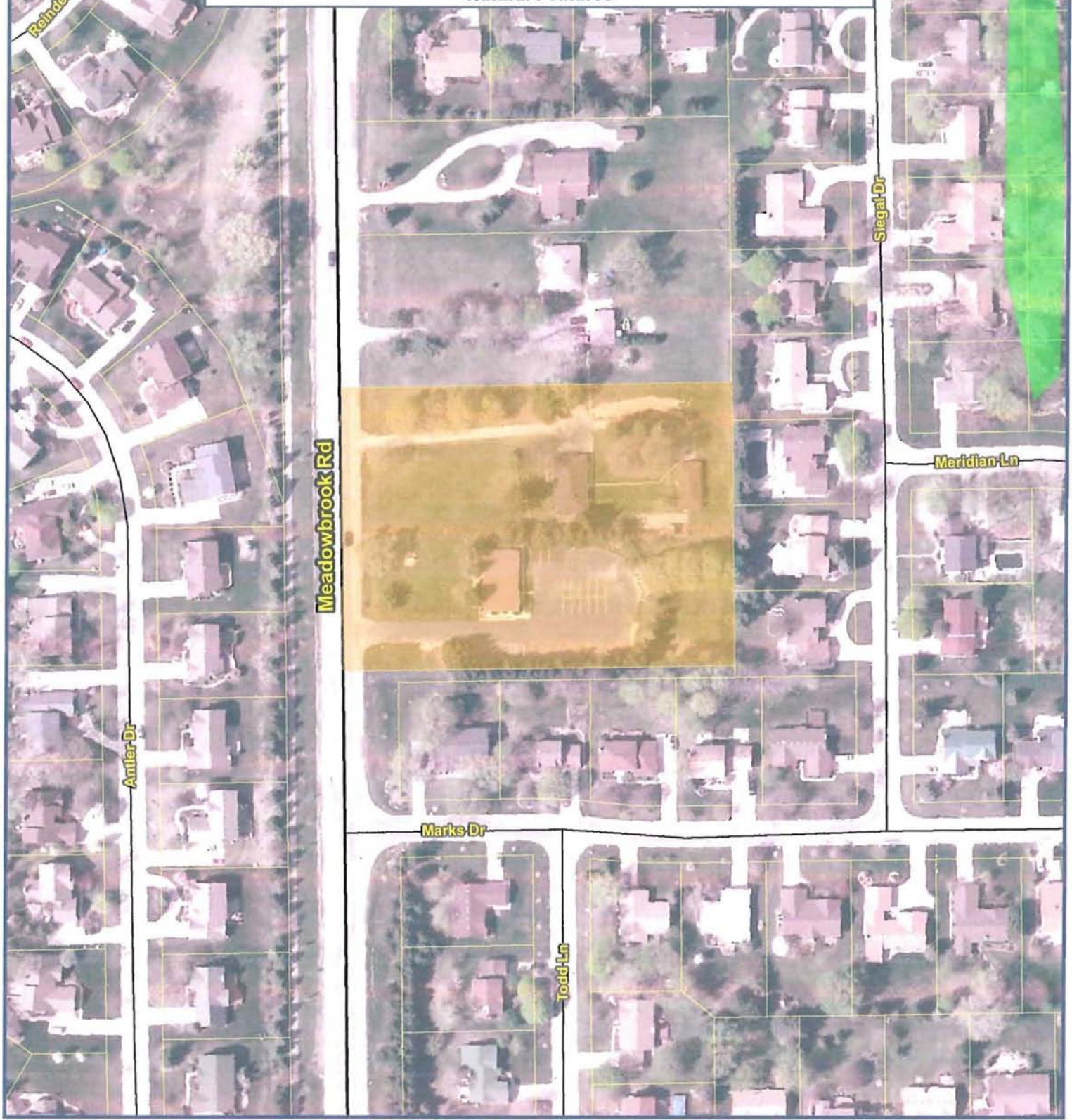
City of Novi
 Department Division
 Department Name
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 142 feet

Grace Immanuel Bible Church SP10-39

Natural Features



Map Author: Kristen Kapelanski
 Date: 09-27-10
 Project: Grace Immanuel Bible Church SP10-39
 Version #: 1.0

Map Legend

- Subject Property
- Wetland Areas
- Woodlands



City of Novi
 Department Division
 Department Name
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

