



DFCU SITE PLAN 10-49

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Consideration of the request of DFCU Financial for Preliminary Site Plan approval. The subject property is located in Section 24, on the north side of Ten Mile Road, west of Haggerty Road, in the OS-1, Office Service District. The subject property is approximately 2.39 acres and the applicant is proposing to construct a 4,200 square foot credit union with drive-through facilities.

Required Action

Approve or Deny Preliminary Site Plan and Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	01/03/11	Items to address on the Final Site Plan submittal.
Engineering	Approval recommended	01/04/11	<ul style="list-style-type: none"> • Items to address on the Final Site Plan submittal. • Per RCOC, an extension of the left turn lane on Ten Mile Road will be required.
Traffic	Approval recommended	12/14/10	Items to address on the Final Site Plan submittal.
Landscape	Approval recommended	01/03/11	Items to address on the Final Site Plan submittal.
Façade	Approval recommended	01/03/11	Section 9 waiver needed for the overage of asphalt shingles on all facades.
Fire	Approval recommended	01/03/10	Items to address on the Final Site Plan submittal.

Approval- Preliminary Site Plan

In the matter of the request of DFCU, SP 10-49, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Section 9 waiver for the overage of asphalt shingles on all facades;
and
- b. Compliance with all conditions and requirements listed in the staff and consultant review letters;
- c. *(Insert specific considerations here)*

(because the plan is otherwise in compliance with Article 11, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)

Denial- Preliminary Site Plan

In the matter of the request of DFCU, SP 10-49, motion to **deny** the Special Land Use permit, *(because it is not in compliance with the following sections of the Zoning Ordinance...)*

Approval – Stormwater Management Plan

In the matter of DFCU, SP 10-49, motion to **approve** the Stormwater Management Plan, subject to the following:

- a. Compliance with all conditions and requirements listed in the staff and consultant review letters;
- b. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Denial – Stormwater Management Plan

In the matter of DFCU, SP 10-49, motion to **deny** the Stormwater Management Plan, *(because it is not in compliance with Chapter 11 of the Code of Ordinances.)*

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

January 3, 2011

Planning Review

DFCU

SP10-49

Petitioner

DFCU Financial

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North of Ten Mile Road, West of Haggerty Road (Section 24)
- Site Zoning: OS-1, Office Service
- Adjoining Zoning: All Directions: OS-1
- Current Site Use: Vacant
- Adjoining Uses: All Directions; Existing Medical Office
- School District: Novi School District
- Site Size: 2.39 acres
- Plan Date: 12-07-10

Project Summary

The applicant is proposing to construct an approximately 4,200 square foot DFCU credit union with drive-through facilities and associated parking, landscaping and stormwater detention facilities. The site is located on the north side of Ten Mile Road west of Haggerty Road and will have access off of the access drive for the existing medical office building to the north.

Recommendation

Approval of the Preliminary Site Plan is recommended. Provided the Planning Commission approves the Preliminary Site Plan, the applicant should revise the plans per the comments in this and other review letters and submit plans for Final Site Plan approval.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 11 (OS-1 Office Service District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Photometric Plan: There are a number of minor items to be addressed on the photometric plan. **The applicant should revise the photometric plan to address the comments noted in the Lighting Review Chart.**

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to appearing before the Planning Commission and with the Final Site Plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner
248-347-0586 or kkapelanski@cityofnovi.org

Planning Review Summary Chart

DFCU SP10-49

Preliminary Site Plan

Plan Date: 12-07-10

Bolded items to be addressed on Final Site Plan.

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Community Office	No change	Yes	
Zoning	OS-1 Office Service	No change	Yes	
Use (Sec. 1101 and 1102)	General and medical office, banks, personal service establishments, etc.	Bank	Yes	
Building Heights (Sec. 2400)	30 feet maximum	30 feet	Yes	
Building Setbacks (Sec. 2400)				
Front Yard (South)	20 feet	47 feet	Yes	
Interior Side Yard (East)	15 feet	159 feet	Yes	
Interior Side Yard (West)	15 feet	35 feet	Yes	
Rear Yard (North)	20 feet	75 feet	Yes	
Parking Setbacks (Sec. 2400)				
Front Yard (South)	20 feet	22 feet	Yes	
Interior Side (East)	10 feet	15 feet	Yes	
Interior Side Yard (West)	10 feet	15 feet	Yes	
Rear Yard (North)	10 feet	20	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Parking				
Number of Parking Spaces (Sec. 2505)	Bank: One space for every 150 sq. ft. gross floor area. 4,200/150 = 28 spaces required	45 spaces proposed	Yes	
Stacking Spaces (Sec. 2506.12)	3 spaces inclusive of vehicle at window	Minimum of 3 spaces shown at each window	Yes	Architectural site plan should accurately show stacking spaces as depicted on Sheet C3.0.
Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)	9' x 19' parking space dimensions (9' x 17' if over sidewalk) and 24 feet wide drives	9' x 19' and 9' x 17' angled parking spaces proposed. 24' wide maneuvering lanes are proposed.	Yes	Parking spaces can be 17' long for spaces adjacent to landscape areas as long as a 4" curb is indicated.
Barrier Free Parking				
Barrier Free Spaces (Barrier Free Design Manual)	2 accessible spaces, 1 van space	2 accessible spaces, both van spaces	Yes	
Barrier Free Signs (Barrier Free Design Manual)	1 sign for each accessible space required.	Signs provided	Yes	
Other				
Dumpster and Refuse (Chapter II, Sec. 16-20; Chapter II Sec. 21, division 8; Appendix A Sec. 2520.1; & Appendix A Sec. 2503.1.D)	Refuse must be contained properly For dumpsters: Screen wall or fence required for all dumpsters, must be at least five feet in height, and provided on three sides. Enclosure to match building materials No detached accessory building shall be located	Dumpster set back 17 feet from nearest property line and 76 feet from building. Screening of 6 feet provided on three sides to match building façade.	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	closer than ten (10) feet to any main building nor shall it be located closer than (6) feet to any interior side lot or rear lot line.			
Loading Spaces (Sec. 2507.5)	Not required for banks	None provided	Yes	
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan	Lighting plan provided.	See attached Lighting Review Chart.	
Sidewalks (City Code Sec. 11-276 b)	5 ft. sidewalk required along Ten Mile Road. Site should be connected to sidewalk system.	Sidewalk provided to connect to existing sidewalk on Ten Mile Road.	Yes	
Signs (City Code Chap. 28)				Contact Jeannie Niland at 248-735-5678 for sign permit information.

Lighting Review Summary Chart

DFCU

SP 10-49

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes?	The applicant should confirm there are no light fixtures on the exterior façade of the building.
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data Fixture height Mounting & design Glare control devices Type and color rendition of lamps Hours of operation Photometric plan	No	Applicant should provide hours of operation and color rendition for all light fixtures. Applicant should provide details of all lighting fixtures.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	22' mounting height proposed.
Required Notes (Section 2511.3.b)	- Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.	No	Applicant should add the required notes to the photometric plan.

Item	Required	Meets Requirements?	Comments
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes?	Applicant shall provide color rendition of lamps.
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes?	The applicant should confirm there are no light fixtures on the exterior façade of the building.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

January 4, 2011

Engineering Review

Dearborn Federal Credit Union – Novi Branch
SP10-49

Petitioner

DFCU Financial

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North side of Ten Mile Road, west of Haggerty Road
- Site Size: 2.3.9 acres
- Plan Date: 12-7-2010

Project Summary

- Construction of an approximately 4,200 square-foot bank building and associated parking. Site access would be provided by a connection to the shared drive between the existing Providence Office Building and Jaguar Dealership. An emergency access drive (grass pavers) will be provided at the northeast portion of the site.
- Water service would be provided by an existing 8-inch main running through the site from the existing 16-inch water main along the north side of Ten Mile Road. A 2-inch domestic lead would be provided to serve the building,
- Sanitary sewer service would be provided by the existing 8-inch sewer running through the site.
- Storm water would be collected by a single storm sewer collection system, be pretreated in a forebay and detained onsite for the 100-year storm. All storm water will discharge into the Walled Lake Branch of the Middle Rouge River at a controlled rate.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. It is understood that the RCOC has requested a left turn lane extension on Ten Mile Road in their review. The applicant's architect has acknowledged this letter and via email stated they will show this turn lane on the next plan submittal.
2. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
3. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
4. Please add the site location map to the first plan sheet.
5. Provide rim elevations for all public utility structures and spot grades adjacent to them. If any structures (water, sewer or storm) need to be adjusted, label so on the plan.
6. Keep all castings outside of the curb/gutter where applicable.
7. Label all existing utility diameters on all relevant plan sheets.
8. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
9. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
10. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
11. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
12. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
13. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
14. Show a hatched area on relevant sheets representing the ingress/egress easement (24 feet wide) from the existing public right-of-way to the emergency access connection through the adjoining property. This would be considered an offsite easement and needs to be approved/recorded by the City prior to Final Site Plan approval. Final Site Plan approval will NOT be given until all offsite easements are approved and recorded.

Water Main

15. An additional fire hydrant is required per the fire department review. The hydrant shall have a 10-foot easement off center. Provide both on the next submittal.
16. Due to the hydrant requirement, three (3) sealed sets of revised utility plans along with the MDNRE permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

17. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
18. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.
19. Provide a note on the Utility Plan stating the sanitary lead will be buried at least 5 feet deep where under the influence of pavement.

Storm Sewer

20. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge off- site/to the storm water basin.
21. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
22. Illustrate all pipes intersecting manholes on the storm profiles.
23. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
24. Show and label all roof conductors, and show where they tie into the storm sewer.
25. Rip rap is required at all end sections. Show this on the plan and detail sheet.

Storm Water Management Plan

26. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
27. Show detention basin grades/contours on the storm water plan and all other relevant sheets. Also, label all relevant information (i.e. access route, emergency spillway, etc.).
28. Storm water restriction is required in the detention basin. The plan that was submitted by the applicants engineer via email shows a standpipe being

- added to the existing detention basin. Be sure to show freeboard (1-foot minimum) elevation.
29. The detention basin outlet standpipe shall be designed with orifices at the bankfull and 100-year elevations. Please provide the calculations and revise the details to show this.
 30. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging. Wire mesh at the base of the standpipe is not required and should be removed.
 31. State the site plan name and date for the existing storm water basin calculations that are on sheet C5.1.
 32. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
 33. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
 34. Provide an access easement for maintenance over the storm water detention system and sediment forebay. If there is an existing. Show all existing easements on the plan. Also, include an access easement to the detention area from the public road right-of-way.

Paving & Grading

35. The southern most drive shall be widened to 20-feet for fire access.
36. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations.
37. Provide spot grades along property lines adjacent to perimeter curb line spot grades to demonstrate site drainage is self-contained and excess runoff is not encroaching on the neighboring property.
38. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
39. All end islands shall terminate 3-feet short of the proposed 19-foot stalls and 2-feet short of proposed 17-foot stalls. The proposed plan shows the half end islands extending the full stall length.
40. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
41. Provide the standard Type 'M' approach at the main driveway approach.
42. Add the required 2-percent cross-slope to the sidewalk detail.
43. Consider reducing the stall lengths from 19-feet to 17-feet with a 4-inch curb (for stalls adjacent to curb/gutter). This will reduce impervious area on the site. Also, stalls along the buiding frontage can be reduced to 17-feet with a

- 4-inch integral curb and 7-foot wide path as opposed to the proposed 5-foot wide walkway.
44. Bumper blocks shall not be used unless there are excessive barrier free spaces.
 45. The emergency access path shall be able to support a 35-ton live load. Please stat that the proposed cross section can handle a 35-ton live load on the plan and detail.
 46. Add mountable curb adjacent the emergency access drive and provide a detail.

Off-Site Easements

47. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.

The following must be submitted at the time of Final Site Plan submittal:

48. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
49. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

50. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
51. A draft copy of the emergency access easement must be submitted to the Community Development Department.
52. A draft copy of the 20-foot wide easement (if applicable) for the sanitary monitoring manhole to be constructed on the site must be submitted to the Community Development Department.

53. A draft copy of the 20-foot wide easement for the fire hydrant to be constructed on the site must be submitted to the Community Development Department.

The following must be addressed prior to construction:

54. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
55. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
56. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
57. A permit for work within the right-of-way (public utility easements) must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
58. A permit for work within the right-of-way of Ten Mile Road must be obtained from the Road Commission for Oakland County. Please contact the RCO (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
59. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
60. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
61. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
62. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Lindon Ivezaj at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

TRAFFIC REVIEW

December 14, 2010

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



SUBJECT: DFCU – Novi Branch,
Preliminary Site Plan, SP#10-49, Traffic Review

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval, subject to the issues shown below in **bold** being satisfactorily addressed on the final site plan.

Project Description

What is the applicant proposing?

1. The applicant, DFCU Financial (Mark Winnik), proposes to construct a 4,200-s.f. credit union with three drive-through lanes (including one equipped with an ATM) on a 2.39-acre site on the north side of 10 Mile Road a short distance west of Haggerty.
2. DFCU's only full-time access would occur via a connection to an existing driveway shared by Jaguar of Novi and Excel Rehabilitation Services. As can be seen in Figure 1 (attached), that existing drive connects to Haggerty Road as well as 10 Mile. Some credit union traffic will likely pass through the Jaguar site as well as the parking lot end aisle along the west side of the Excel building.
3. To meet the City requirement for a secondary access to the DFCU site proper, a 24-ft-wide gated connection to Excel's parking lot has also been proposed.

Trip Generation and Traffic Study

How much new traffic would be generated? Was a traffic study submitted and was it acceptable?

4. According to average trip generation rates published by the Institute of Transportation Engineers, a 4,200-s.f. drive-in bank generates 622 one-way vehicle trips per day, 52 in the AM peak hour and 108 in the PM peak hour (half entering and half exiting). Nearly half of the generated driveway trips would pre-exist as vehicles already passing by the site.

5. Since the number of peak-hour, peak-direction trips generated is expected to be less than 75, City policy does not require that the applicant to submit any type of traffic study.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

6. No new public road access drives have been proposed. For the record, we note that the existing shared drive on 10 Mile exceeds the City's minimum same-side driveway spacing (230 ft, near-curb to near-curb, for the 45-mph speed limit), and falls only 9 ft short of the City's minimum opposite-side driveway spacing (150 ft required versus 141 ft provided to the first opposing drive to the east, per our scaling of the Jaguar of Novi site plan).

Vehicular Access Improvements

Will there be any improvements to the public road(s) at the proposed driveway(s)?

7. No public road improvements have been proposed. For the record, we note that the City-required improvements for Jaguar of Novi (excerpts attached) would have provided a (City- and Road Commission-standard) 150-ft long left-turn lane in advance of the existing driveway now proposed to be shared by the credit union as well as Jaguar and Excel. The second attached aerial photo (Figure 2) shows, however, that the Jaguar-sponsored road improvements actually constructed start the left-turn lane much closer to the subject drive. There appears to be space in the full-width left-turn lane for only one vehicle to stack for the driveway, rather than the six provided by a 150-ft long left-turn lane.

Driveway Design and Control

Are the driveways acceptably designed and signed?

8. Per City standards, full-time, two-way vehicular access to a site should normally be provided by external and/or internal drives at least 24-ft wide. Indeed, the approved site plan for Jaguar of Novi (excerpts attached) shows the shared driveway just north of Jaguar's west access being widened to 24 ft (back-of-curb to back-of-curb). DFCU's plan, however, shows the existing drive at that location being only 21 ft wide (back-to-back).
9. The site's proposed full-time access drive is appropriately designed, with a 25-ft width (back-to-back) and 25-ft-radius curb returns. **The exiting STOP sign should be noted (and tabled) as an R1-1 and 24-inches in size, the MMUTCD-sanctioned STOP sign size for low-speed situations. Also, if there is no existing STOP sign on the opposing Jaguar driveway, one should be installed there to ensure that Jaguar traffic does not always have the right-of-way relative to credit union traffic.**
10. The emergency-only access connection to the west side of Excel's parking lot is proposed to be 24 ft wide and gated. Since this connection aligns with the lot's west end aisle, a fire truck arriving from Station #1 would likely drive straight through the connection from the end aisle, and not require an opening any wider than the City standard of 18 ft. However, since a fire truck could also arrive from Station #3 via 10 Mile Road and need to use this connection, the 24-ft width is appropriate to serve that truck as it turns into the site from

the lot's southernmost east-west parking aisle. **The City's Fire Marshal should offer a recommendation regarding the proposed gate design.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

11. A 4-ft-wide sidewalk is proposed between the existing 10-Mile walk and the walk proposed along the east side of the new building. **This sidewalk connection should be widened to 5 ft and shown equipped with an ADA-compliant ramp (with a detectable surface) at each end.**

Parking and Circulation

Are parking spaces appropriately located and designed? Can vehicles safely and conveniently maneuver through the site?

12. Internal drives, parking lot aisles, and end islands have been satisfactorily designed.
13. All parking spaces are shown 19 ft long, resulting in excessive impermeable surface. **At a minimum, parking spaces abutting the sidewalk on the building pad should be shortened to 17 ft to the face of a 7-ft-wide, 4-inch-high thickened-edge sidewalk. The proposed bumper blocks are significant, unnecessary tripping hazards and should be eliminated.**
14. **A plan note and/or sheet 7.0 detail should be included to ensure that the width of parking spaces adjacent to end islands is referenced to the face (not back) of curb (i.e., 9 ft to face for regular spaces or 8 ft to face for a barrier-free space).**
15. For compliance with City policy that all traffic control devices (striping as well as signs) follow the design and placement guidelines in the MMUTCD:
 - a. **All regular parking spaces must be marked in white, and all barrier-free spaces must be marked in blue (including the wheelchair symbol).**
 - b. **Stripes separating the drive-through and bypass lanes should be white and, to discourage lane changing, should follow a solid rather than broken pattern.**
16. **Per City policy and standard engineering practice, directional arrows should be shown solid only if they will actually be placed on the pavement; those shown only to illustrate intended traffic flows for the reviewer's benefit should be shown hollow. The number of arrows now shown on the plan is excessive; as a general rule, arrows should be included only to designate exceptions to normal two-way, drive-on-right traffic flow.**
17. **A second DO NOT ENTER sign should be placed on the left side of the drive-through exit to supplement the sign proposed on the right side, and the MMUTCD sign code (R5-1) should be included.**

- 18. The final site plan should include a Signing Quantities table, listing all traffic control and parking signs by verbal description, MMUTCD sign code, and quantity required.**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachments:

Two aerial photos
Three excerpts of approved site plan for Jaguar of Novi

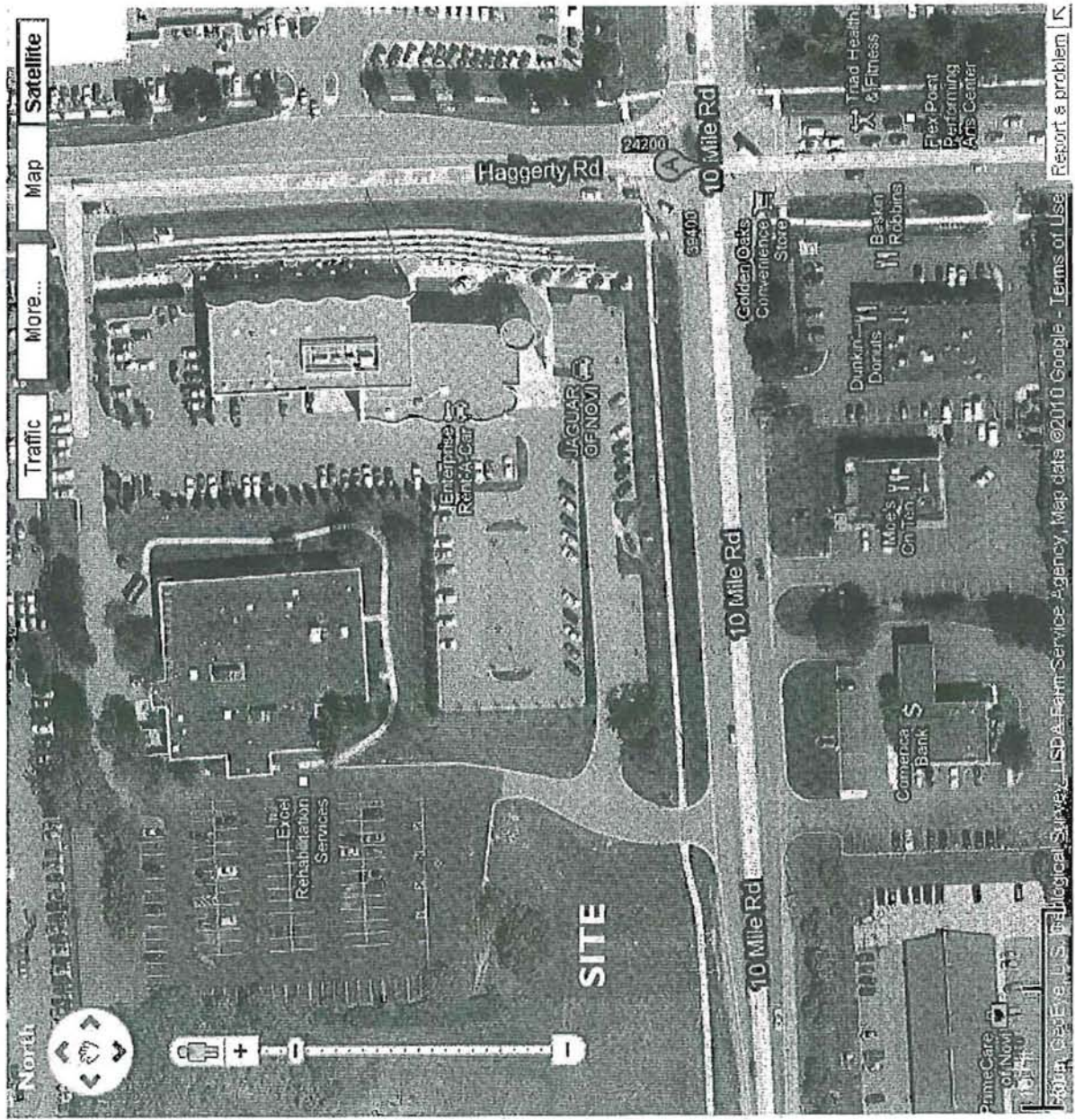


Figure 1. Vicinity Aerial for Proposed DFCU - Novi Branch

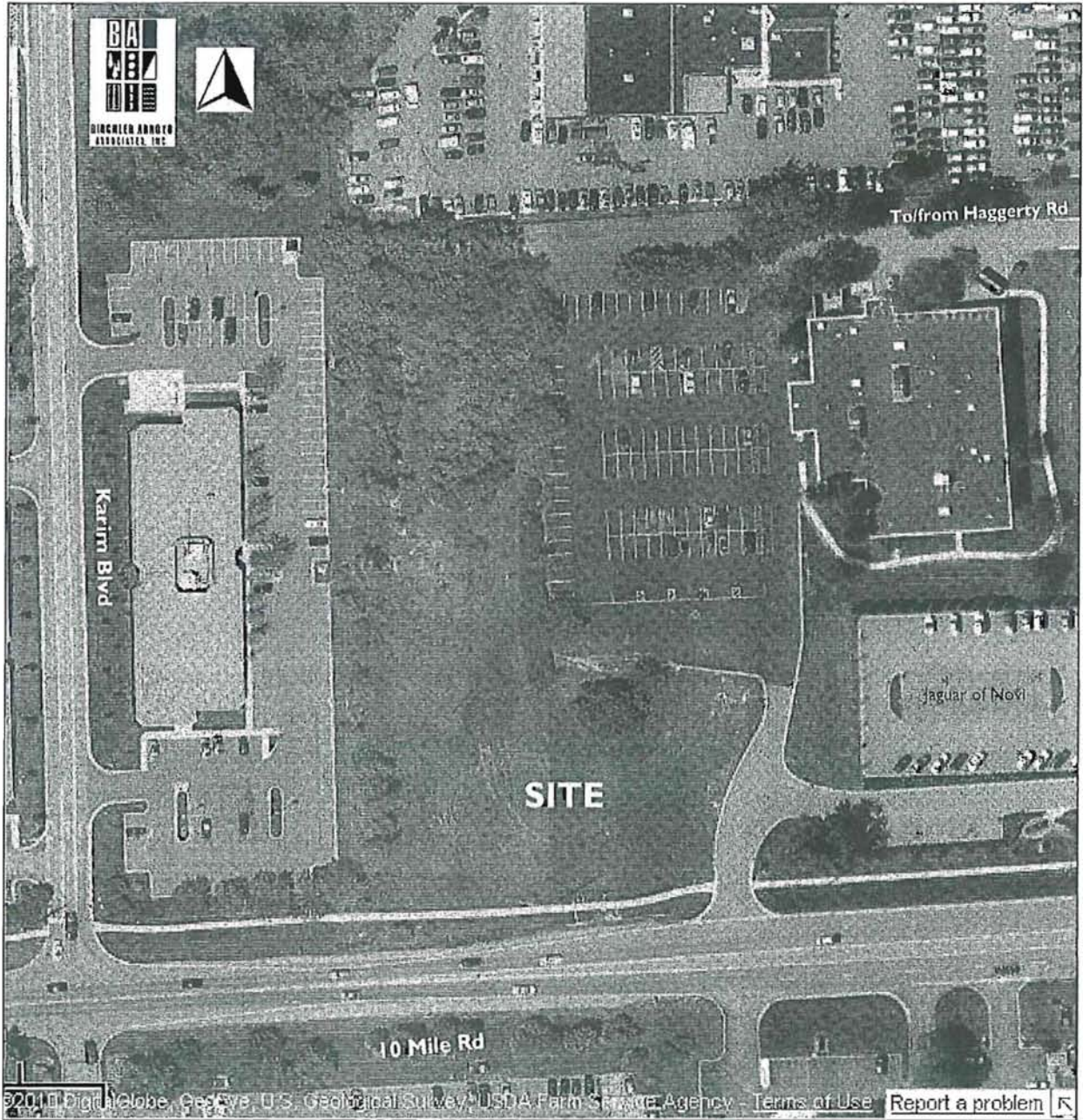


Figure 2. Site of Proposed DFCU - Novi Branch

R.O.W. NOTES

1. REMOVE OR RELOCATE FIXED OBJECTS PRIOR TO EXCAVATION.
2. MAINTAIN TWO-WAY TRAFFIC AT ALL TIMES.
3. PROPER SIGNING IS REQUIRED BEFORE ANY WORK IN R.O.W. IS STARTED.

GENERAL NOTES:

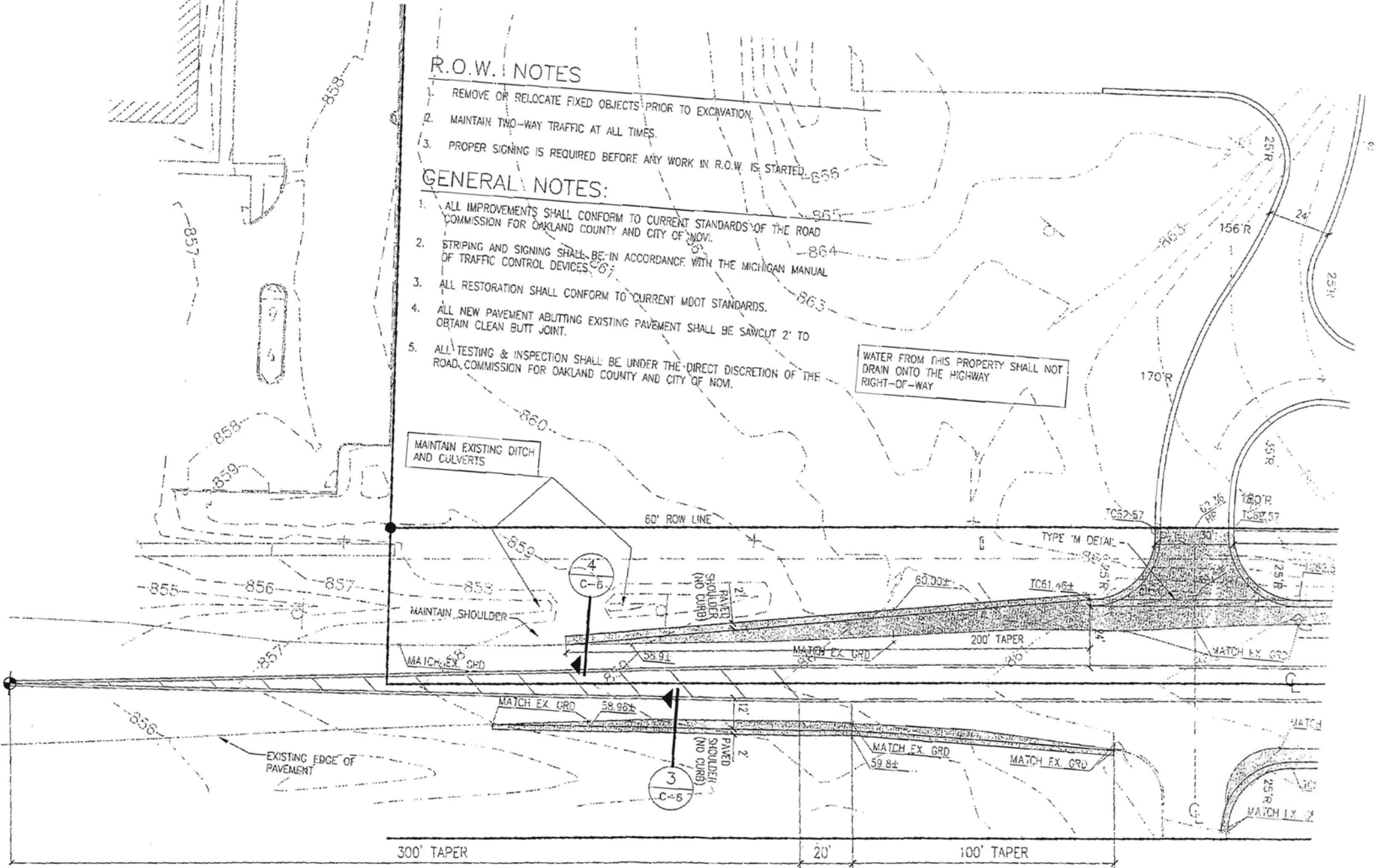
1. ALL IMPROVEMENTS SHALL CONFORM TO CURRENT STANDARDS OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI.
2. STRIPING AND SIGNING SHALL BE IN ACCORDANCE WITH THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES.
3. ALL RESTORATION SHALL CONFORM TO CURRENT MDOT STANDARDS.
4. ALL NEW PAVEMENT ABUTTING EXISTING PAVEMENT SHALL BE SAWCUT 2' TO OBTAIN CLEAN BUTT JOINT.
5. ALL TESTING & INSPECTION SHALL BE UNDER THE DIRECT DISCRETION OF THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI.

WATER FROM THIS PROPERTY SHALL NOT DRAIN ONTO THE HIGHWAY RIGHT-OF-WAY

MAINTAIN EXISTING DITCH AND CULVERTS

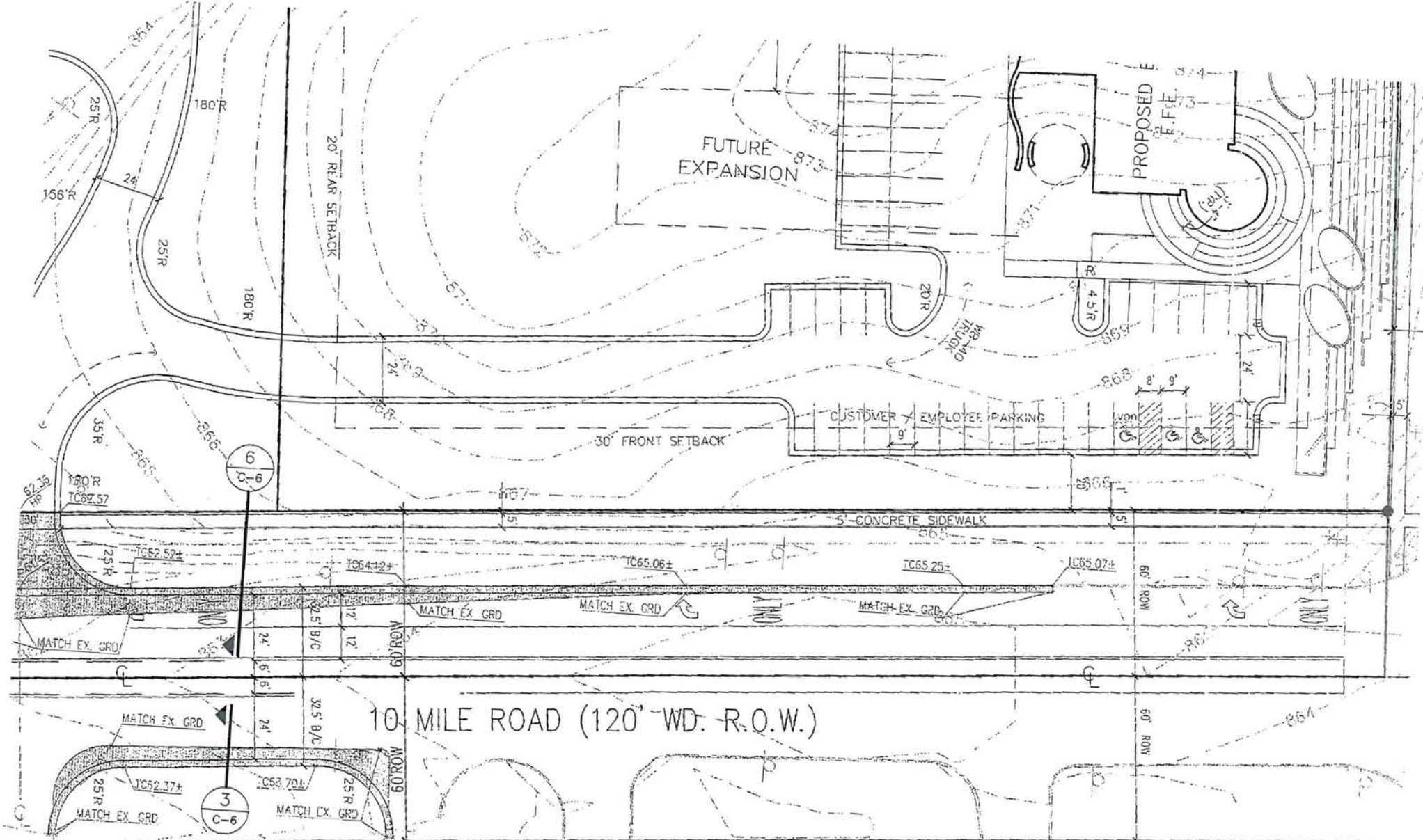
MAINTAIN SHOULDER

EXISTING EDGE OF PAVEMENT



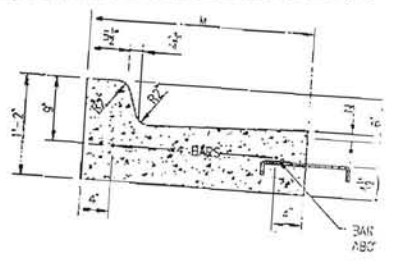
Excerpt of City-Approved Site Plan for Jaguar at Novi, 4-27-01
(SP#00-49)

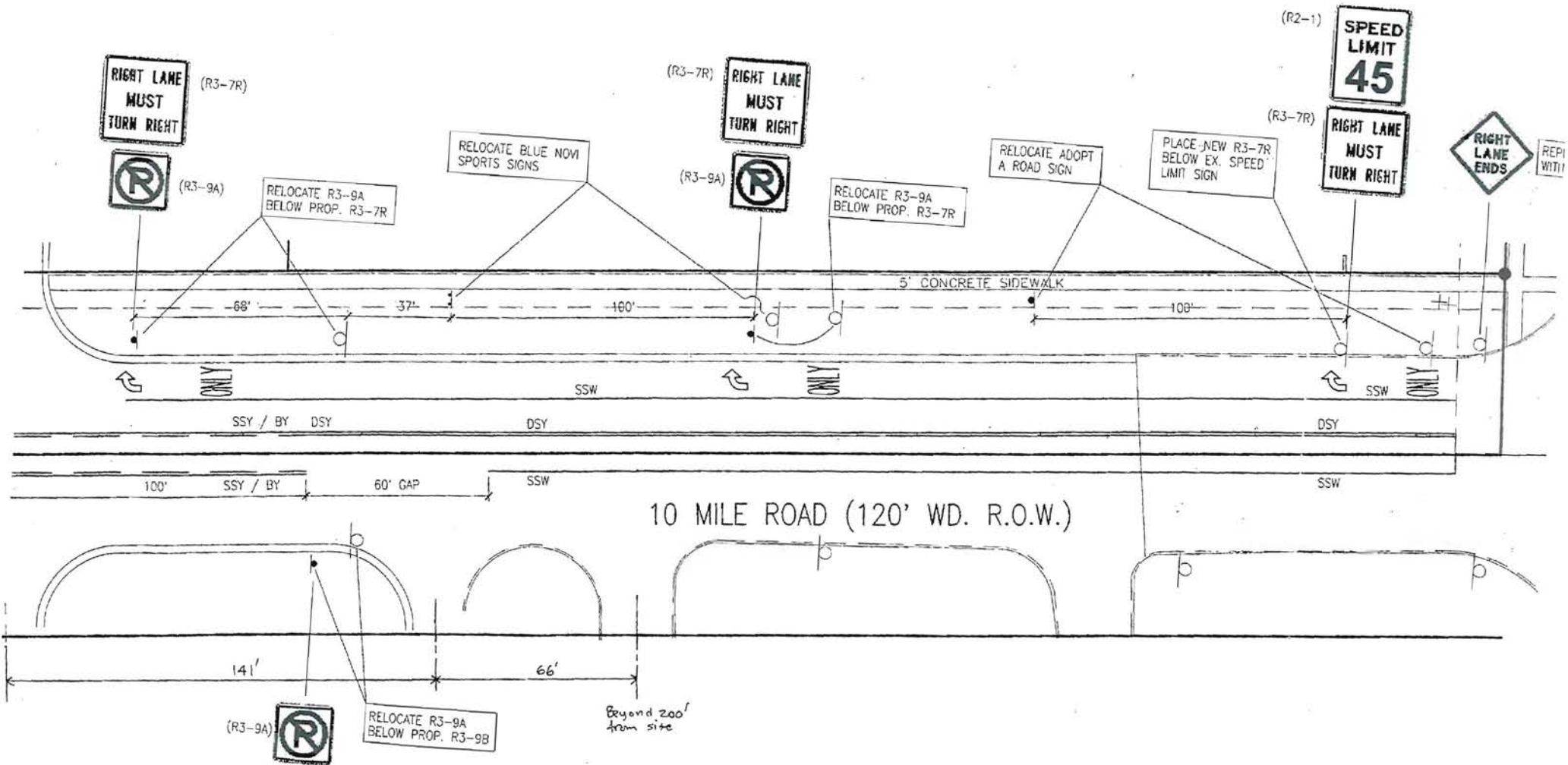
TEN MILE APPROACH SIGHT DISTANCE:
WEST: ± 3000 FT.
EAST: ± 1600 FT.



PROACH SIGHT DISTANCE:
 L 3000 FT

Excerpt from SP#00-49, cont'd





Excerpt from SP#00-49, cont'd

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

January 3, 2011

Preliminary Landscape Review

DFCU – NOVI BRANCH

Property Characteristics

- Site Location: Ten Mile Road
- Site Zoning: OS-1
- Adjoining Zoning: All Directions: OS-1
- Current Site Use: Vacant
- Plan Date: 12/07/10

Recommendation

Approval of the Preliminary Site Plan for DFCU SP#10-49 is recommended. Please address the concerns noted below upon subsequent submittal.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 2.5' tall berm is required along the Ten Mile right-of-way adjacent to parking and vehicular access areas. This has been provided.
2. Right-of-way greenbelt planting calculations have been provided. Plantings meet the right-of-way requirements.
3. One (1) canopy or large evergreen tree is required per 35 L.F. of frontage. These have been provided.
4. One (1) sub-canopy tree is required per 20 L.F. of frontage. These have been provided.
5. A 20' wide greenbelt is required. This has been provided.
6. All required 25' clear vision areas are shown at vehicular access points.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 35 L.F. placed between the sidewalk and curb. These have been provided. Sub-canopy trees have also been used due to the presence of overhead utilities.

Parking Landscape (Sec. 2509.3.c.)

1. Calculations for interior parking lot landscape area and interior parking lot canopy trees have been provided. Requirements have been met.
2. Snow storage areas are depicted as required.
3. All parking lot islands are irrigated as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees have been provided at 35 LF surrounding parking and access areas.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. This has been provided.
2. A total of 8' x the length of the building foundation of total landscape area is required. This has been provided.

Plant List (LDM)

1. A Plant List has been provided as required. All costs for plant materials, mulch and irrigation have been provided.

Planting Notations and Details (LDM)

1. Please provide all Planting Details and Notations generally meet the requirements of the Ordinance and the Landscape Design Manual. Please change the reference to plastic or nylon strapping to fabric strapping only.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan has been provided as required.

General

1. The loading area has been adequately screened through the use of landscape vegetation.
2. The proposed transformer has been adequately screened through the use of landscape vegetation.
3. All existing site vegetation has been designated on the plans.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 70,500			Includes street trees. Does not include irrigation costs.
Final Landscape Review Fee	\$ 1,057.50			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 82,300		Does not include street trees. Includes irrigation.
Landscape Financial Guaranty	YES	\$ 123,450		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 4,938		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 740.70		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 500		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	NO	\$ 3,200		\$400 per tree.
Street Tree Inspection Fee	NO	\$ 192		6% of the Street Tree Bond as listed above.
Street tree Maintenance Fee	NO	\$ 200		\$25 per tree.
Landscape Maintenance Bond	NO	\$ 8,230		10% of verified cost estimate due prior to release of Financial Guaranty.

FACADE REVIEW



January 3, 2011

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE REVIEW**
Dearborn Federal Credit Union - Novi Branch
Preliminary Site Plan Approval, SP10-49
 Façade Region: 1, Zoning District: OS-1, Building Area: 4,635 S.F

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan for the above referenced project based on the drawings and sample board prepared by Arconcepts Architects, dated December 7, 2010. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column.

	East (front)	North	West	South	Ordinance Maximum
Brick	43.0%	37.0%	52.0%	37.0%	100% (30% Min.)
Limestone	16.0%	10.0%	8.0%	10.0%	100%
Molded cornices, trim, columns & surrounds	5.0%	5.0%	2.0%	5.0%	15%
Asphalt Shingles	36.0%	48.0%	38.0%	48.0%	25%

Recommendation - As shown above the percentages of Asphalt Shingles exceeds the maximum percentage allowed by the Facade Chart on all facades. The Asphalt Shingle roof is articulated by hipped rooflines that are consistent with and enhance the overall design of the building. It is our recommendation that the design is consistent with the intent and purpose of the Ordinance. A Section 9 Waiver is therefore recommended for the overage of Asphalt Shingles.

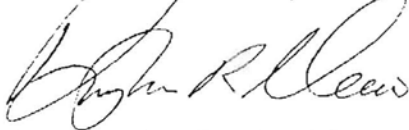
The drawings indicate that the dumpster enclosure is constructed of brick to match the building as required by the Ordinance.

Notes to the applicant:

1. Inspections - The City of Novi requires Façade Inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. This should occur immediately after the materials are delivered. Materials must be approved before installation on the building. Please contact the Novi Building Department's Automated Inspection Hotline at (248) 347-0480 to request the Façade inspection.
2. Revisions after Approval – The Novi Planning Commission's approval under the Façade Ordinance is based upon the façade design indicated on the drawing referenced herein and the materials and colors shown on the sample board. Revisions and modifications to any of these items after approval will require reapplication.

If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

FIRE REVIEW



January 3, 2011

TO: Barbara McBeth, Deputy Director of Community Development, City of Novi

RE: DFCU – Novi Branch
Ten Mile Rd. west of Haggerty

SP#: 10-49 – Preliminary Site Plan

Project Description:

Construction of a single story 4200 S.F. Credit Union (Business Use) building.

Comments:

1. A fire hydrant shall be provided within 300' hose laying distance of all parts of the building. There is a water main running under the proposed parking lot. A hydrant should be installed in one of the parking islands in the new parking lot.
2. The designated fire lane on the south side of the building shall be increased to 20' wide.
3. The applicant is proposing to use a "grass paver" system for the emergency secondary access drive with a gate. Additional information shall be provided to demonstrate compliance with section 11-194(a)(19) of the Design and Construction Standards. Specifically: width of gate, load carrying capacity of thirty five (35) tons, and proper signage.

Recommendation:

This submittal is recommended for approval with the above item being addressed on the next plan submittal.

Sincerely,

Michael W. Evans
Fire Marshal

cc: file

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

Terry K. Margolis

Andrew Mutch

Dave Staudt

Justin Fischer

Wayne Wrobel

City Manager
Clay J. Pearson

Director of Public Safety
David Molloy

Director of Fire and EMS
Jeffrey Johnson

Novi Fire Department
45125 W. Ten Mile Rd.
Novi, Michigan 48375
248.349-2162
248.347-0570 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



RESPONSE TO SITE PLAN REVIEW

January 6, 2011
Revised: January 7, 2011

City of Novi Community Development Department
45175 W. Ten Mile Road
Novi, MI 48375
PH 248-347-0475 | FX 248-735-5633

Attention: Ms. Kristen Kapelanski
Planner, City of Novi
kkapelanski@cityofnovi.org

**Re: PRELIMINARY SITE PLAN REVIEW
SCHEDULED MEETING JANUARY 12, 2011
Proposed DFCU – Novi Branch
10 Mile | Haggerty
Novi, MI**

Dear Kristen:

On behalf of DFCU Financial ('Applicant') and in accordance with your previous email, I hereby submit to you this *revised* response to comments in the staff and consultant review letters received by Arconcepts on January 5, 2011 for the above referenced project.

**Planning Review
PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10
Review Date: January 3, 2011**

Ordinance Requirements

1. Applicant acknowledges that the photometric plan shall be revised in order to address the comments noted in the Lighting Review Chart.

Planning Review Summary Chart

PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10

- Parking
 - a. Stacking Spaces (Sec. 2506.12)

ARCONCEPTS, INC.

ARCHITECTS • DESIGNERS • FACILITY PLANNERS
MICHIGAN | ILLINOIS | FLORIDA | INDIANA | OHIO | GEORGIA | NORTH CAROLINA

43334 W. Seven Mile Road Suite 350 Northville, Michigan 48167 Phone: 248.596.1090 Fax: 248.596.1094

- Architectural site plan shall be coordinated with illustrated stacking spaces as depicted on Sheet C3.0.
- b. Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)
Parking spaces may be modified to 17' long for spaces (with 4" curb) adjacent to landscape areas as deemed appropriate for this site.

Lighting Review Summary Chart

PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10

- General
 - a. Lighting Plan (Section 2511.2.a.1)
Architect confirms that no light fixtures shall be placed on 'façade' of the exterior of the building. However, in order to comply with the NEC (National Electric Code) and the Life Safety Requirements of this specific project function, all exit | entry doors into the facility shall have a light fixture located at each door and be placed in the soffit above with no visible appearance on the façade.
 - b. Lighting Plan (Section 2511.2.a.2)
Applicant will submit hours of operation and color rendition for all light fixtures. Applicant shall provide details of all lighting fixtures specified on project.
 - c. Required Notes (Section 2511.3.b)
We have reviewed the comments and take no exceptions with them. The information will be addressed and included on the drawings prior to the final site plan submittal.
 - d. Required conditions (Section 2511.3.f)
Applicant will submit a color rendition for all lamps.
 - e. Cut off Angles (Section 2511.3.1(2))
Architect confirms that no light fixtures shall be placed on 'façade' of the exterior of the building. However, in order to comply with the NEC (National Electric Code) and the Life Safety Requirements of this specific project function, all exit | entry doors into the facility shall have a light fixture located at each door and be placed in the soffit above with no visible appearance on the façade.

Engineering Review
PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10
Review Date: January 4, 2011

Additional Comments (to be addressed prior to Final Site Plan submittal):

General

Items 1 through 12: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Item 13: Most of all proposed trees are located outside of the utility easements. Where proposed trees are required within a utility easement, the trees shall be placed a minimum horizontal distance of 5 feet from existing or proposed utilities. Locations of all proposed trees shall be reviewed prior to Final Site Plan submission for compliance to the ordinance. All utilities are shown on the Landscape Plan (refer to Sheet L-101).

Item 14: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Water Main

Items 15 and 16: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Sanitary Sewer

Items 17 through 19: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Storm Sewer

Items 20 through 25: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Storm Water Management Plan

Items 26 through 33: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Item 34: An access easement for maintenance already exists over the storm water system, the documents being recorded in Liber 23930 Page 206 and Liber 33936 Page 574. These documents include the DFCU parcel and were prepared as part of the development of the Jaguar dealership which also shares use of the storm sewer and detention basin. Copies will be provided as part of the final site plan submittal. DFCU has prepared a similar document which incorporates the previous documents and it will also be provided as part of the final site plan submittal.

Paving & Grading

Items 35 through 46: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal. In addition, the Owner is reviewing the suggestion of reducing parking space length along the perimeter of the lot.

Off-Site Easements

Item 47: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Final Site Plan submittal – additional requirements

Items 48 and 49: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Stamping set submittal – additional requirements

Items 50 through 53: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Construction Commencement – items to be addressed prior

Items 54 through 62: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Traffic Review
PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10
Review Date: December 14, 2010

Driveway Design and Control

Item 9: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Item 10: Applicant shall await comments | recommendations regarding the proposed gate design from the City's Fire Marshal.

Pedestrian Access

Item 11: The currently existing sidewalk in front of the DFCU parcel as well as the adjacent lots to the east and west of this parcel are 5' wide (site confirmed). We assume this item is not an issue.

Parking and Circulation

Item 13: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal. In addition, the Owner is reviewing the suggestion of reducing parking space length along the perimeter of the lot.

Items 14 through 18: Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Preliminary Landscape Review
PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10
Review Date: January 3, 2011

Ordinance Considerations

Planting Notations and Details (LDM)

Item 1: Planting details are provided on Sheet L-102 which shall meet the requirements of the Ordinance and Landscape Design Manual. Landscape Architect will review all details prior to final Site Plan submittal for compliance to the ordinance. Final Planting Details shall indicate "fabric strapping only" and the reference to 'plastic or nylon strapping' shall be removed prior to Final Site Plan submission.

Façade Ordinance Review
PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10
Review Date: January 3, 2011

Applicant has reviewed the comments and takes no exceptions. The information will be addressed prior to the final site plan submittal.

Fire Marshal Review
PROJECT SP10-49
Proposed DFCU Novi
Plans Dated 12-07-10
Review Date: January 3, 2011

Comments

Items 1 thru 3: We have reviewed the comments and take no exceptions with them. The information will be addressed prior to the final site plan submittal.

Kristen, we trust this information is acceptable to you for use in the scheduled Preliminary Planning Commission meeting scheduled for January 12th. If for some reason you require further information or material, please do not hesitate to contact me and I will assure you delivery of any additional items immediately.

Please contact me at 248.596.1090 if you have any questions or comments. Once again, thank you for your ongoing assistance in our efforts in bringing DFCU into the Novi Community.

Respectfully,

Ai

Arconcepts*inc.*

ARCHITECTS | DESIGNERS | PLANNERS
A CERTIFIED DBE | WBE BUSINESS
MUCP CERTIFIED

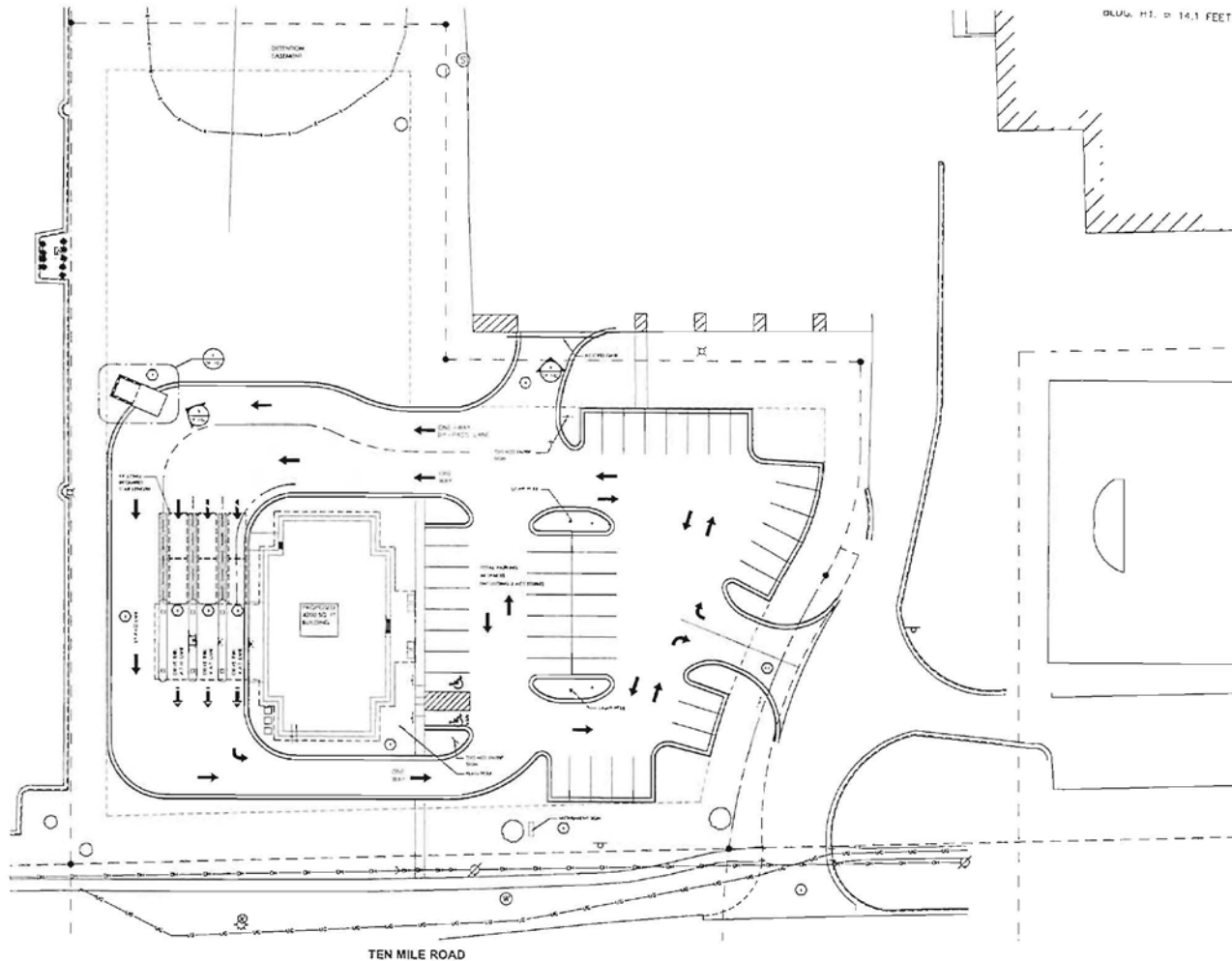


SHIRLEY A. GHANNAM AIA, ALA, NCARB
PRESIDENT | DIRECTOR OF ARCHITECTURE

Attachments

c.c. Mr. Mark D. Winnik, VP Facilities – DFCU Financial
Ms. Maria M. Green, Project Architect – Arconcepts, Inc. (Architects)
Mr. Alan D. Boyer, PE – LSG Engineering (Civil Engineers)
Mr. Scott Goldman, ASLA – James C. Scott & Associates, Inc. (Landscape Architects)

SITE PLAN



GENERAL NOTES:

- 1. SEE ALL (S.A.) REQUIREMENTS FOR ALL UTILITIES AND ALL LOCAL ORDINANCES AND REGULATIONS.
- 2. ALL UTILITIES TO BE LOCATED AND DEPTH TO BE DETERMINED BY THE CONTRACTOR.
- 3. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.
- 4. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.
- 5. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.
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KEY NOTES: O

- 1. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.
- 2. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.
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- 9. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.
- 10. ALL UTILITIES TO BE DEEPER THAN THE FINISHED GRADE.



KEY PLAN
SCALE: 1/8" = 1'-0"

THE CITY OF NOVI
10000 TEN MILE ROAD
NOVI, MI 48240
313.486.2000

NOVI ENGINEERING CENTER
10000 TEN MILE ROAD
NOVI, MI 48240
313.486.2000

NOVI ENGINEERING CENTER
10000 TEN MILE ROAD
NOVI, MI 48240
313.486.2000



1 ARCHITECTURAL SITE PLAN
SCALE: 1/8" = 1'-0"

APPROVED BY: _____
DATE: _____

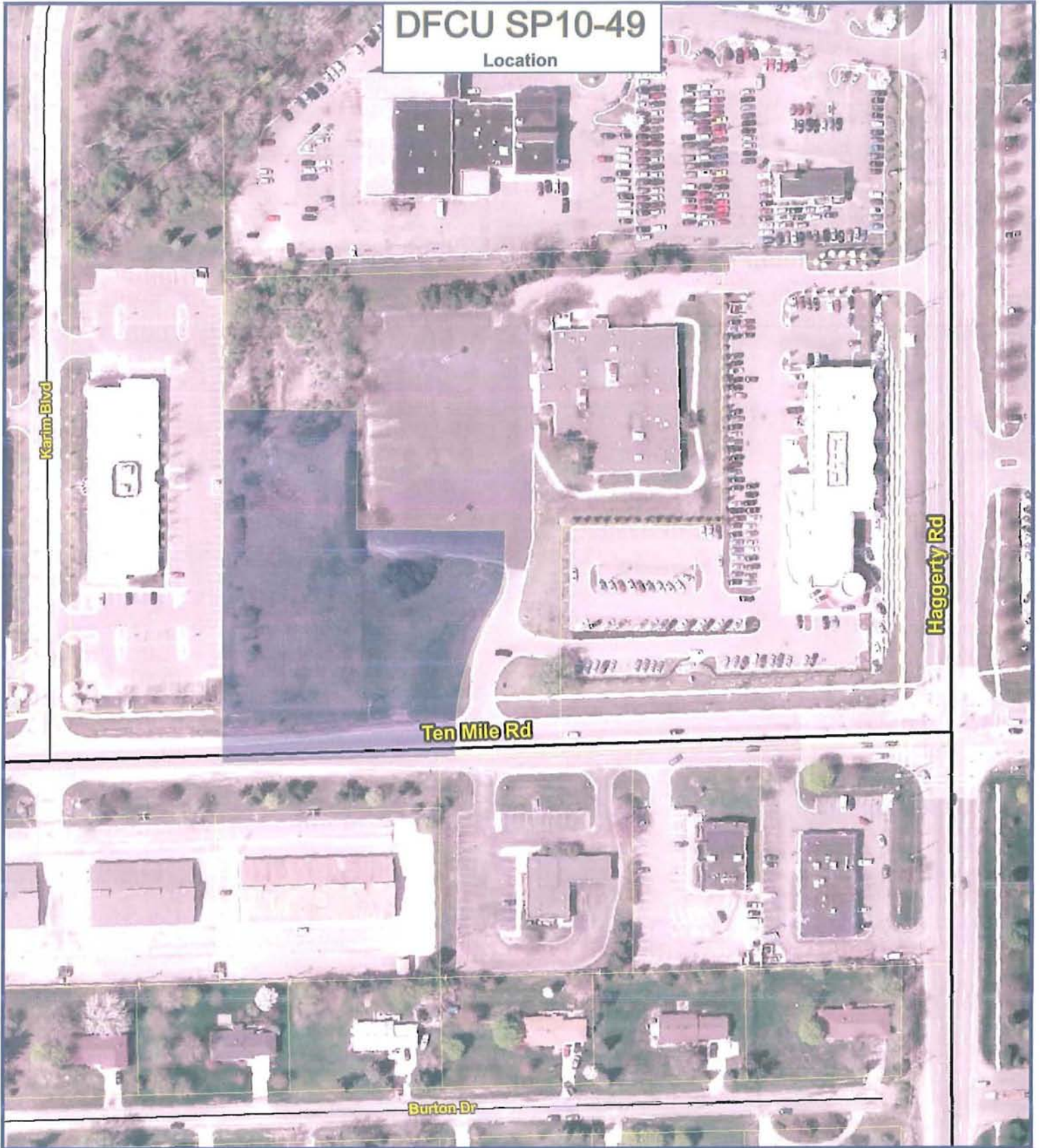
10/21/2010 PRELIMINARY SITE PLAN 11/14/2010 PRELIMINARY SITE PLAN DATE: 05/04/2010 BY:	
CONSULTANT:	
PROJECT: DFCU - NOVI BRANCH NEW FACILITY 10 MILE ROAD NOVI, MI ARCHITECTURAL SITE PLAN	
ARCHITECT'S WORK:	
NOT ISSUED FOR CONSTRUCTION	
MAP:	
NOVI SP-101	

MAPS

**Location/Air Photo
Zoning
Future Land Use
Natural Features**

DFCU SP10-49

Location



Map Author: Kristen Kapelanski
Date: 01-04-11
Project: DFCU SP10-49
Version #: 1.0

Map Legend

 Subject Property



City of Novi
Department Division
Department Name
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Feet

0 950 1,900 3,800 5,700

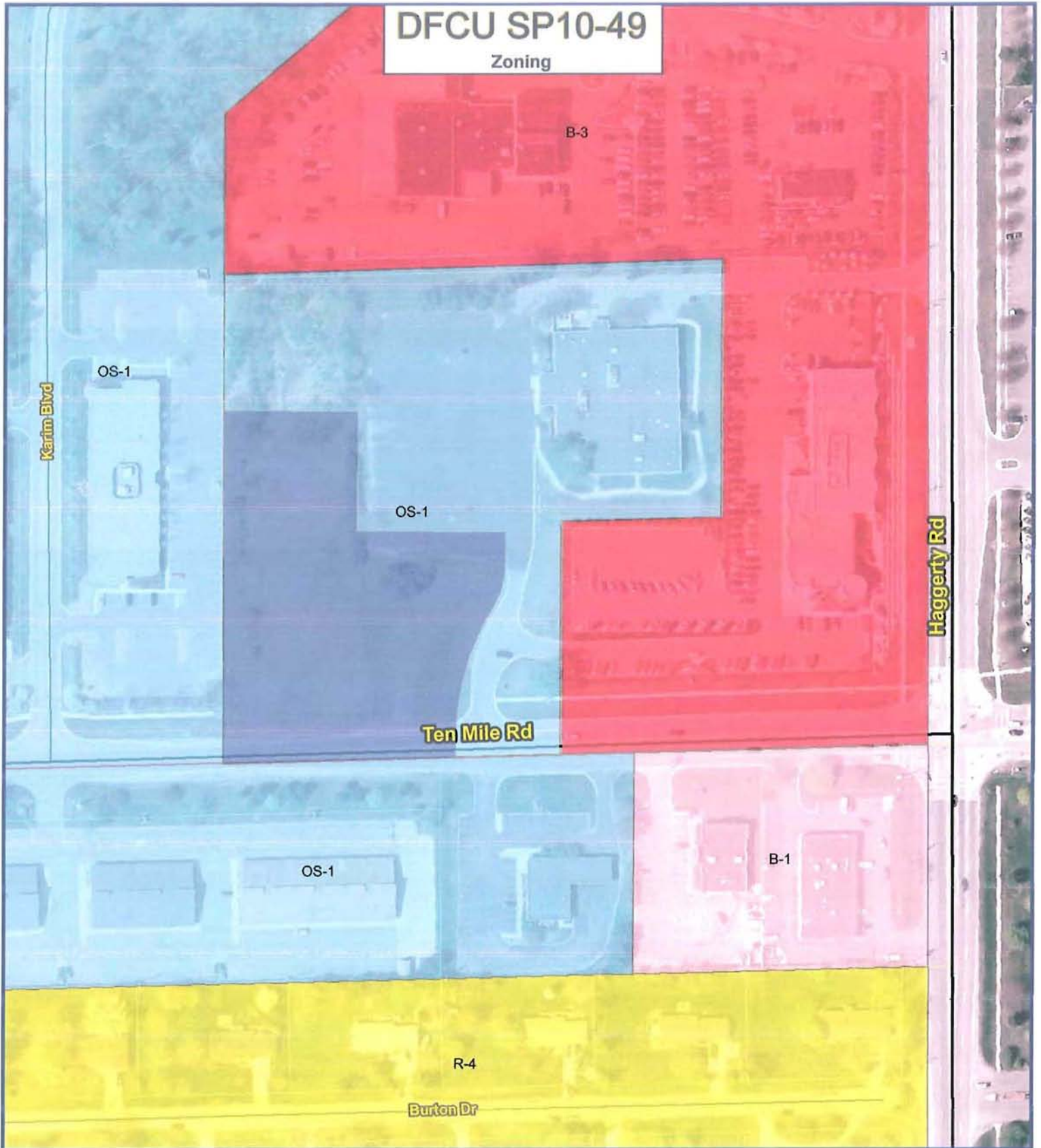
1 inch = 83,333 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

DFCU SP10-49

Zoning



Map Author: Kristen Kapelanski
Date: 01-04-11
Project: DFCU SP10-49
Version #: 1.0

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Map Legend

-  Subject Property
-  R-4: One-Family Residential District
-  B-1: Local Business District
-  B-3: General Business District
-  OS-1: Office Service District



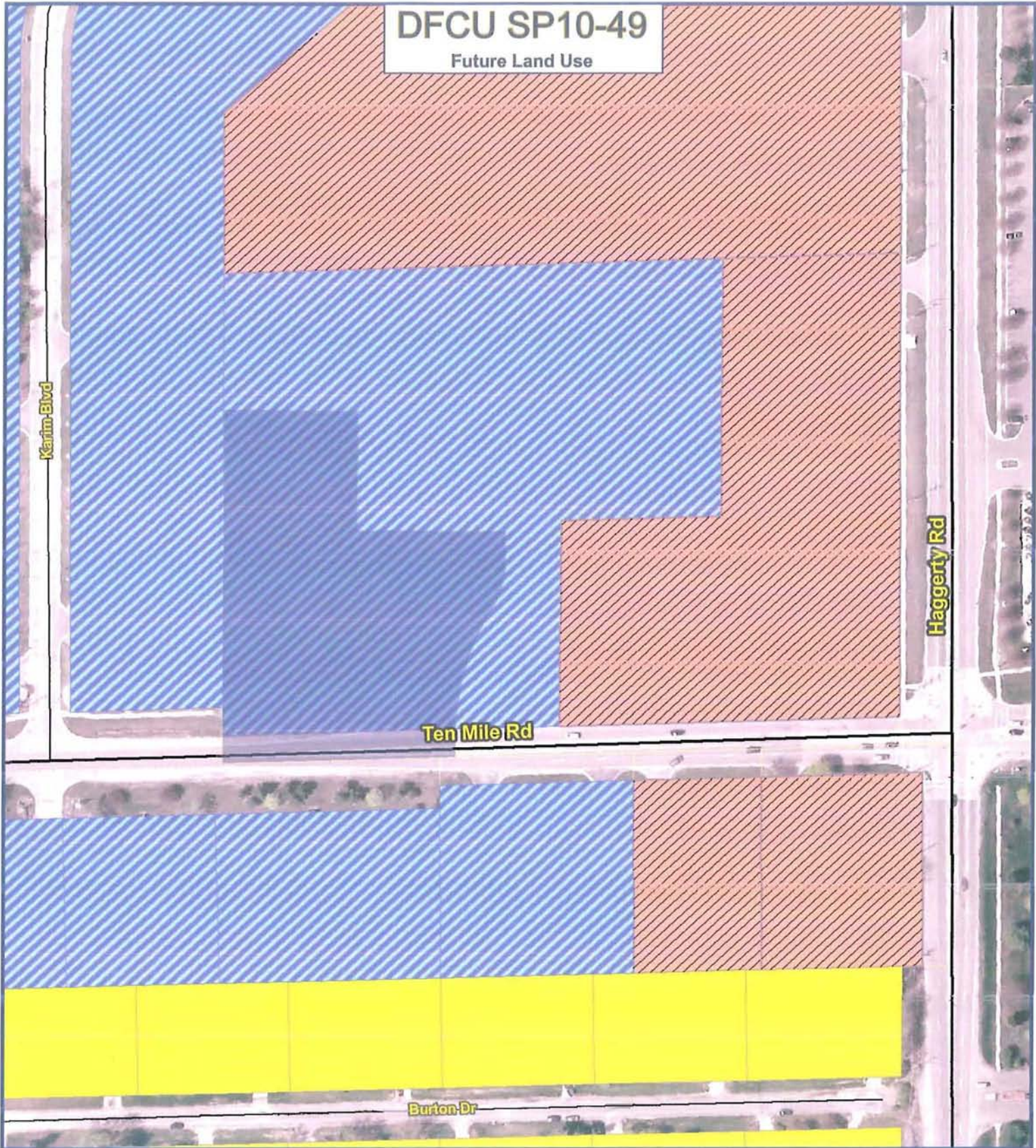
City of Novi
Department Division
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 83,333 feet

DFCU SP10-49





Future Land Use



Map Author: Kristen Kapelanski
Date: 01-04-11
Project: DFCU SP10-49
Version #: 1.0

MAP INTERPRETATION NOTICE
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Map Legend

-  Subject Property
-  Single Family
-  Community Office
-  Community Commercial



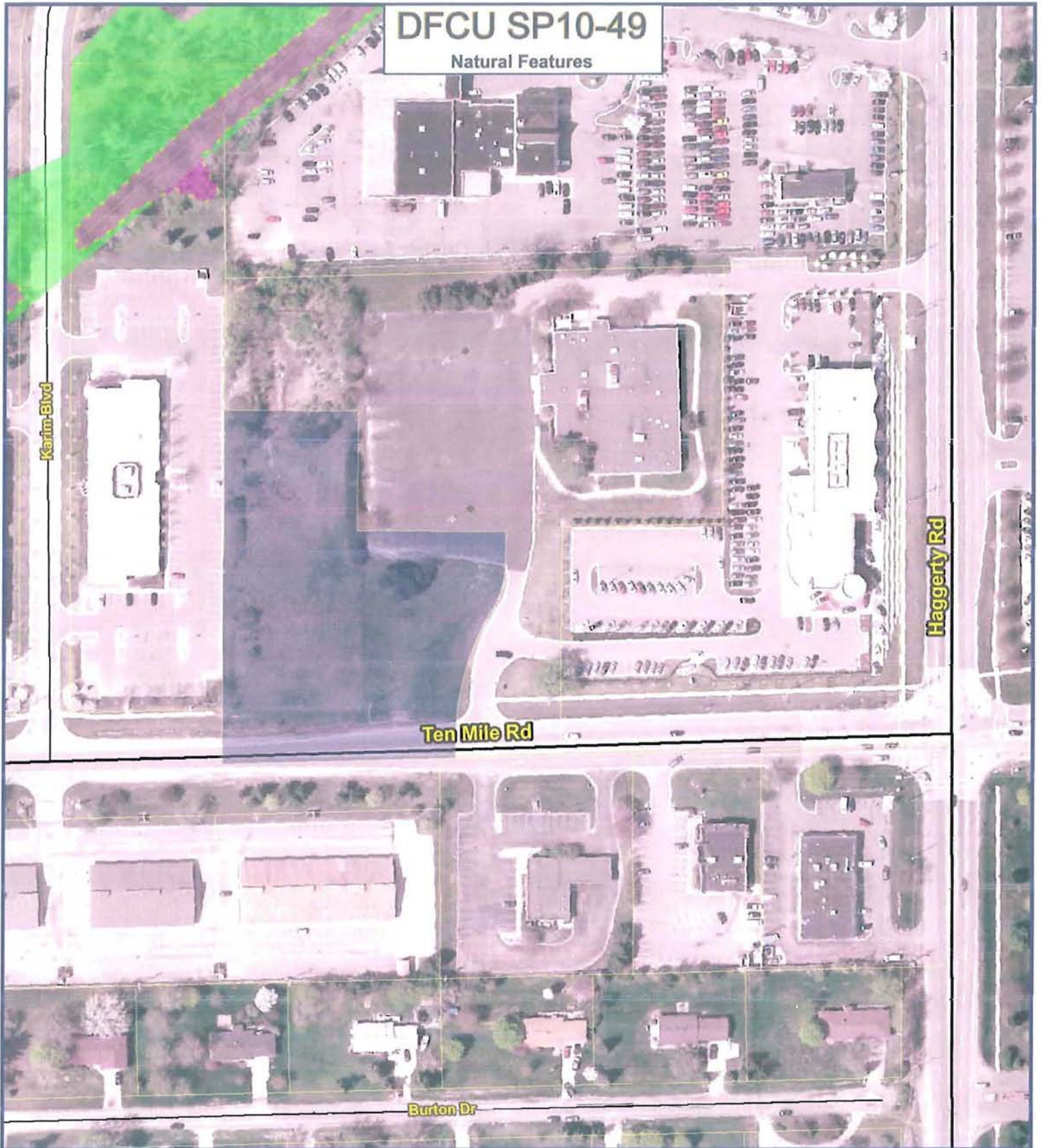
City of Novi
Department Division
451.75 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 83,333 feet

DFCU SP10-49

Natural Features



Map Author: Kristen Kapelanski
Date: 01-04-11
Project: DFCU SP10-49
Version #: 1.0

Map Legend

- Subject Property
- Wetland Areas
- Woodlands



City of Novi
Department Division
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

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1 inch = 83,333 feet