



MACPROFESSIONALS SP 11-06

MACPROFESSIONALS SP 11-06

Consideration of the request of Nadlan 32 LLC for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located at 30275 Hudson Drive, at the southwest corner of Cartier Drive and Hudson Drive, in Section 4 of the City. The property totals 3 acres and the applicant is proposing interior renovations and landbanked parking.

REQUIRED ACTION

Approval or denial of Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	02/08/11	<ul style="list-style-type: none"> • ZBA variance required for the deficient number of parking spaces. • Items to be addressed on the Final Site Plan submittal.
Engineering	Approval recommended	02/08/11	Items to be addressed on the Final Site Plan submittal.
Landscaping	Approval recommended	01/27/11	Items to be addressed on the Stamping Set submittal.
Woodlands and Wetlands	Approval recommended	01/26/11	No woodlands or wetlands present. No additional review required.
Fire	Approval recommended	02/04/11	No additional items to be addressed.

Motion sheet

Approval – Preliminary Site Plan

In the matter of the request of Nadlan 32 LLC for MacProfessionals SP 11-06, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Applicant receiving a variance for the deficient number of parking spaces from the Zoning Board of Appeals (110 spaces provided, 128 spaces required); If the applicant does not receive the needed variance, the alternative plan provided to show the full amount of parking required would satisfy the requirements of Section 2505 of the Zoning Ordinance and a variance from the ZBA would be required to allow banked parking to exceed more than 25% of the total amount of required parking;
- b. Planning Commission finding that the applicant has demonstrated the following: The use would require less parking than would typically be required; Parking will not occur on any street or driveway, any area not approved and developed for parking and will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking; The requested parking landbanking will not create traffic or circulation problems on or off site; and The requested parking landbanking is consistent with the public health, safety and welfare of the City and the purposes of the Zoning Ordinance; and
- c. Compliance with all the conditions and requirements listed in the staff and consultant review letters;
- d. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)

Approval – Storm Water Management Plan

In the matter of the request of Nadlan 32 LLC for MacProfessionals, SP 11-06, motion to **approve** the Storm Water Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan submittal; and
- b. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

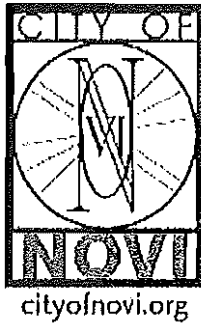
Denial – Preliminary Site Plan

In the matter of the request of Nadlan 32 LLC for MacProfessionals SP 11-06, motion to **deny** the Preliminary Site Plan...because the plan is not in compliance with Article 19, Article 24 and/or Article 25 of the Zoning Ordinance.

Denial – Storm Water Management Plan

In the matter of Nadlan 32 LLC for MacProfessionals, SP 11-06, motion to **deny** the Storm Water Management Plan ...because the plan is not in compliance with Chapter 11 of the Code of Ordinances.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

February 8, 2011

Planning Review

MacProfessionals

SP #11-06

Petitioner

Nadlan 32 LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 30275 Hudson Drive, Southwest corner of Cartier Drive and Hudson Drive in Phase II of the Beck North Corporate Park
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, South & East: I-1; West: M-1, Light Industrial (City of Wixom)
- Site Use(s): Proposed office
- Proposed Use(s): Expansion of office use (formerly designated as warehouse)
- Adjoining Uses: North, South & East: Vacant; West: Existing Light Industrial/Office uses (City of Wixom)
- Site Size: 3.0 acres
- Plan Date: 01-24-11

Project Summary

MacProfessionals is proposing to occupy the existing vacant speculative office/warehouse building located at 30275 Hudson Drive. The original site plan (SP06-06) was stamped on September 13, 2006. The existing, approved site has a 33,166 square foot office/warehouse building with 84 parking spaces. When the plan was approved, parking was calculated based on the following uses: 11,750 square feet of office space and 21,416 square feet of warehouse space. The applicant has proposed increasing the office space (by adding a mezzanine and converting some of the warehouse space) and now proposes the following breakdown of uses: 23,378 square feet of office space and 15,991 square feet of warehouse space. In order to address the parking deficiency, the applicant has proposed landbanked parking.

Recommendation

Approval of the Preliminary Site Plan is **recommended**, provided the applicant receives approval from the Planning Commission to allow landbanked parking spaces with revisions as defined below and the necessary variance from the Zoning Board of Appeals (or incorporating additional parking spaces). This matter will be scheduled for an upcoming Planning Commission meeting. Provided the applicant receives approval from the Planning Commission, the plans should be corrected to address comments in this and other review letters and plans should be submitted for Final Site Plan review.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1 Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in bold below must be addressed by the applicant.

1. Number of Parking Spaces: A total of 128 parking spaces are required and 110 parking spaces (including 26 landbanked spaces) are proposed. **The applicant should add 18**

additional spaces (6 of these could be landbanked spaces) or seek a variance from the Zoning Board of Appeals for the deficient number of parking spaces.

2. **Barrier Free Spaces:** Per the Barrier Free Code, 5 barrier free spaces are required in parking lots with 101 to 150 parking spaces. **The applicant should provide one additional barrier free space.**
3. **Landbanked Parking:** The applicant has proposed 26 landbanked parking spaces. The Planning Commission may approve the landbanking of parking spaces if an applicant can demonstrate that the number of parking spaces required is in excess of the actual requirements for the functional use of the business, for up to 25% of the required number of parking spaces on the site, subject to the following conditions:
 - The minimum number of spaces required for the site shall be 45, prior to the landbanking request (*meets requirement 128 required*);
 - An alternative parking site plan shall be submitted that conforms with City ordinances (*proposed landbanked parking spaces depicted on the site plan*);
 - All areas designated for landbanking shall be maintained as landscaped open space or be maintained in its natural vegetative condition existing prior to development, provided the natural vegetation is in keeping with the general appearance of the area (*the banked parking space area currently contains some natural vegetation and no landscaping changes are proposed*);
 - In addition to the above requirements, approval shall be granted only upon finding by the Planning Commission that the proposal meets the following:
 - The applicant has demonstrated the use would require less parking than what would typically be required (*applicant has provided a floor plan showing mostly individual offices intended to be occupied by one employee as well a significant amount of shared office function space (i.e. lobby, conference rooms, etc.)*);
 - Parking will not occur on any street or driveway, any area not approved and developed for parking and will not occur on that area where parking construction has been landbanked until such time as that area is constructed for such parking (*staff recommends placing this condition on the approval*);
 - The requested parking landbanking shall not create traffic or circulation problems on or off site (*no apparent problems*);
 - The requested parking landbanking shall be consistent with the public health, safety, and welfare of the City and the purposes of the Zoning Ordinance (*appears consistent*);
 - The owner of property for which parking landbanking has been granted shall report any proposed change in the use or occupancy of the property to the Building Official prior to said increase or change, who shall evaluate the need for some or all of the landbanked parking spaces to be installed. Upon determination by the Building Official, or his designee, that some or all of the landbanked spaces need to be installed, the applicant shall install some or all of the landbanked spaces prior to any change in the use or occupancy of the property (**applicant should place a note on the plan acknowledging this requirement**); and
 - In approving landbanking of parking, the City may prescribe such conditions regarding the character, location, landscaping and other features that will in its judgment secure the objectives and purposes of this Ordinance. Violations of such conditions, when made a part of the terms under which the landbanking is permitted, shall be deemed a violation of this Ordinance.
4. **Lighting:** **The applicant should provide lighting details for the landbanked parking area at the time of Final Site Plan submittal.**

5. Lot Splits and Combinations: At this time, no property combination or split has been submitted and the Community Development Department has not received a request for condominium approval that would affect the subject property. It appears a portion of unit 31 will be added to the site to accommodate the proposed landbanked parking. The applicant must create this parcel prior to Stamping Set approval and should submit any proposed Master Deed changes to the Community Development Department for review. **Plans will not be stamped until the parcel is created.**

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to appearing before the Planning Commission. In addition, a response letter highlighting changes to the plan is requested with the next set of plans submitted.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con or to schedule a Pre-Con, please contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Reviewed by Kristen Kapelanski, AICP

PLANNING REVIEW SUMMARY CHART

Review Date: 02-08-11
 Project Name: MacProfessionals
 Project Number: SP11-06
 Plan Date: 01-24-11

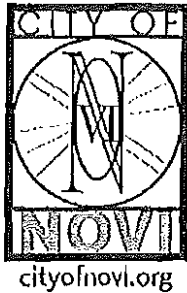
Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Industrial Research Development Technology	No change proposed	Yes	
Zoning	I-1, Light Industrial	No change proposed	Yes	
Use (Secs. 1902; 1903; 1904)	Principal Permitted Uses include warehouses and office	Warehouse and office	Yes	
Building Height (Sec. 2400)	40' maximum	No change proposed.	Yes	
Building Setback (Section 2400)				
Front (north)	40'	93'	Yes	No changes to existing building footprint proposed.
Exterior Side (east)	40'	93'	Yes	
Interior Side (west)	20'	80'	Yes	
Rear (south)	20'	120'	Yes	
Parking Setback (Section 2400)				
Front (north) and Exterior Side (east)	40 feet and: <ul style="list-style-type: none"> development must be bigger than 2 acres Parking area not more than 50% of area between setback line and building façade Screened from ROW by 2.5' berm or wall. Planning Commission must find the parking area to be compatible with surrounding development	40 feet: <ul style="list-style-type: none"> Development is 3.00 acres Parking area is approximately 23% (east) and 31% (north) of area between setback line and building façade Screened from ROW by 3' berm. Planning Commission approval granted on April 26, 2006. 	Yes	No changes to north parking proposed. A portion of the landbanked parking is proposed in the east yard.

Item	Required	Proposed	Meets Requirements?	Comments
Interior Side (west)	10'	12'	Yes	No changes to west parking proposed.
Rear (south)	10'	12'	Yes	A portion of the landbanked parking is proposed in the south yard.
Number of Parking Spaces (Sec. 2505)	Office: 1 parking space for each 222 sq ft. of usable floor area. 23,378 sq ft. / 222 = 105 spaces required Warehouse: 1 parking space for each 700 sq. ft. of usable floor area. 15,991 sq ft. / 700 = 23 spaces required total 128 spaces required	Total = 110 spaces shown (26 landbanked spaces)	No	Applicant should modify the plan to include 18 additional parking spaces or seek a variance from the Zoning Board of Appeals.
Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)	9'X19' 90 deg spaces with 24' aisles - May reduce to 17' deep from face of 4" curb if abuts landscaping or 7' sidewalk	9'x17' 90 degree spaces proposed with 24' aisles	Yes	Applicant should indicate a 4" curb wherever 17' spaces are proposed.
Barrier-Free Spaces (Barrier Free Code)	5 accessible spaces; 1 space must be van accessible	4 barrier free spaces provided, 2 spaces are van accessible	No	Applicant should provide one additional barrier free space.
Barrier-Free Space Dimensions (Barrier-Free Code)	8' wide with a 5' wide access aisle for standard barrier free, and 8' wide with an 8' wide access aisle for van accessible spaces	Existing spaces meet standards	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signs shown for existing spaces	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Landbanked Parking (Sec. 2505.16)	Minimum number of spaces required for site shall be 45 prior to request	128 spaces required	Yes	Planning Commission approval of landbanked parking required. Refer to the Planning Review Letter for additional information.
	Area proposed to accommodate landbanked parking shall be maintained as open space if parking is not installed	Landbanked parking area currently maintained as open space	Yes	
Loading Spaces (Sec. 2507 and 1905.4)	Loading space must be provided in the rear or interior side yard; one 10x50 foot loading zone required as minimum	Over 2,700 square feet shown in the rear yard	Yes	No changes to existing loading zone proposed.
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building and setback the same as parking from all property lines; In addition, the structure must be in the rear or interior side yard.	Dumpster located in rear yard; Dumpster enclosure is set back appropriately	Yes	Applicant should confirm that no changes to trash enclosure are proposed.
Exterior Lighting (Sec. 2511)	Information needed with the Final Site Plan	Lighting information not provided.		Applicant should provide lighting details for the landbanked parking area.

Prepared by Kristen Kapelanski, AICP, (248) 347-0586 or kkapelanski@cityofnovi.org

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

February 8, 2011

Engineering Review

Macprofessionals

SP11-06

Applicant

Nadlan 32, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Unit 32 & Part of Unit 31 of the Beck North Corporate Park - Phase II; Southwest Corner of Hudson and Cartier Drive; Section 4 of the City of Novi, Oakland County, Michigan; (30275 Hudson Drive).
- Parcel ID: 50-22-04-152-020 & part of -019
- Site Size: 3.50 acres
- Plan Date: January 24, 2011

Project Summary

- Construction of an approximately 21,780 square-foot (0.50 Acre) landbank parking expansion. Site access would be provided via public roadways (Hudson and Cartier Drives).
- Storm water would be collected by a two-structure storm sewer extension from the existing sites storm sewer collection system.

Recommendation

Approval of the Preliminary Site Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. On the Final Site Plan, show all proposed work in bolder line weights and fonts while all existing infrastructure to be shown with lighter line weights and fonts.
4. Show the locations of all light poles, if any, within the parking expansion area. Indicate the typical foundation depth for the pole(s) and verify no conflicts exist with any adjacent infrastructure. Light poles in a public utility easement will require a License Agreement.
5. Provide a construction materials table on the plan, listing the quantity and material type for each, being proposed.

Storm Sewer

6. For the Final Site Plan, label all storm sewer lengths, diameter, slope and material. Also include a schedule listing the casting type and other relevant information for each proposed storm structure. **Round castings and covers shall be provided on all catch basins not located within the curb.**
7. Provide a profile of the proposed 12" storm sewer length, "A" to "B".
8. Show and provide along with the existing detention and restriction calculations of Unit 32 (previously approved), the addition of 0.50 acres from Unit 31 due to the parking lot expansion and the off-site or undeveloped portion.

Paving & Grading

9. Provide a proper Butt-Joint Detail for those areas of new asphalt pavement meet the existing asphalt pavement.
10. The Plan refers to the use of four (4) inch high curb, while the detail specifies six (6) inch high curb. Please stay with the detail.

The following must be submitted at the time of Final Site Plan submittal:

11. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

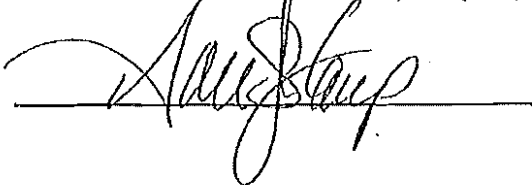
12. A draft copy of the private cross access easement for shared use of the drive of the adjacent property to the south along with proposed exhibits must be submitted to the Community Development Department.

13. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.

The following must be addressed prior to construction:

14. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
15. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
16. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
17. An Incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

Please contact Aaron J. Staup at (248) 347-3270 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Barb McBeth, Community Development Department
Kristen Kapelanski, Planner, Community Development Department
Tina Glenn, Water & Sewer Dept.

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

January 31, 2011

Preliminary Landscape Review

Mac Professionals SP#11-06

Property Characteristics

- Site Location: Unit 32 and Part of Unit 31 Beck North Corporate Park
- Site Zoning: I-1 - Light Industrial
- Adjoining Zoning: I-1 - Light Industrial
- Current Site Use: Vacant
- Adjoining Uses: North (across Grand River): various retail; South: Fountain Park Apartments; East: Fountain Park Apartments access drive; West: Vacant
- School District: Novi Community School District
- Site Size: 9.8 acres
- Plan Date: 01-19-11

Ordinance Considerations

The Applicant is proposing additional parking to be located in an area previously depicted on an approved site plan as land banked parking.

Recommendation

Approval of the Preliminary Site Plan for Mac Professionals SP#11-06 is recommended. Please address the concerns noted below upon subsequent submittal.

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The property is not adjacent to residential zoning.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. The Applicant has provided the required 3' high berm adjacent to the right of way.
2. Plantings have been provided on the berm as required.

Street Tree Requirements (Sec. 2509.3.b.)

1. Two (2) street trees are required and have been provided.

Parking Landscape (Sec. 2509.3.c.)

1. Calculations have been provided for the required Parking Lot Landscape Area per Ordinance requirement. The Applicant is required to install a total of 444 square feet of Interior Parking Lot Landscape Area. The Applicant has met this requirement.

2. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. By virtue of the existing and proposed trees, the Applicant meets the perimeter planting requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. Building foundation landscape will not be altered.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

Planting Details & Notations (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated.

General

1. Final financial requirements will be verified upon Stamping Set submittal.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.



Reviewed by: David R. Beschke, RLA

Financial Requirements Review

To be completed at time of Final Site Plan Review.

Item	Amount	Verified	Adjustment	Comments
Full Landscape Cost Estimate	\$ 5,520			Includes street trees. Does not include Irrigation costs.
Final Landscape Review Fee	\$ 82.80			1.5% of full cost estimate Any adjustments to the fee must be paid in full prior to stamping set submittal.

Financial Requirements (Bonds & Inspections)

Item	Required	Amount	Verified	Comments
Landscape Cost Estimate	YES	\$ 6,020		Does not include street trees. Includes Irrigation.
Landscape Financial Guaranty	YES	\$ 9,030		This financial guarantee is based upon 150% of the verified cost estimate. For Commercial, this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Landscape Inspection Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 500		For projects up to \$250,000, this fee is \$500 or 6 % of the amount of the Landscape cost estimate, whichever is greater. This cash or check is due prior to the Pre-Construction meeting.
Landscape Administration Fee (Development Review Fee Schedule 3/15/99)	YES	\$ 75		This fee is 15% of the Landscape Inspection Fee. This cash or check is due prior to the Pre-Construction meeting.
Transformer Financial Guarantee	YES	\$ 0		\$500 per transformer if not included above. For Commercial this letter of credit is due prior to the issuance of a Temporary Certificate of Occupancy. For Residential this is letter of credit is due prior to pre-construction meeting.
Street Tree Financial Guaranty	NO	\$ 800		\$400 per tree.
Street Tree Inspection Fee	NO	\$ 24		6% of the Street Tree Bond as listed above.
Street tree Maintenance Fee	NO	\$ 50		\$25 per tree.
Landscape Maintenance Bond	NO	\$ 602		10% of verified cost estimate due prior to release of Financial Guaranty.

WOODLANDS AND WETLANDS REVIEW



Environmental Consulting & Technology, Inc.

2200 Commonwealth Blvd.
Suite 300
Ann Arbor, MI 48105
(734) 769-3004
FAX (734) 769-3164

MEMORANDUM

TO: Novl Plan Review Center

FROM: Peter F. Hill, P.E. P.H.
Associate Engineer

DATE: January 26, 2011

RE: Mac Professionals – Landbank Parking Expansion
(Unit 32 and Part of Unit 31 Beck North Corporate Park)
SP#11-06
Preliminary Site Plan Review for Woodlands & Wetlands

Environmental Consulting & Technology, Inc. (ECT) has completed the woodland and wetland Preliminary Site Plan "verification" review for the proposed tenant build-out for the Mac Professionals/Landbank Parking Expansion project located on the southwest corner of Hudson Drive and Cartier Drive (Unit 32 and Part of Unit 31 of Beck North Corporate Park), located in (Section 4). This included the review of the preliminary site plan prepared by biddison architecture+design and Alpine Engineering dated January 24, 2011.

Based on our review of Novl aerial photos, Novl GIS, and the City of Novl Official Wetlands and Woodlands Maps, it does not appear that this Plan involves Impacts to Regulated Woodland or Wetland.

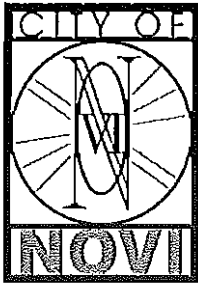
The proposed project site does not contain any Regulated Woodland areas.

There is a pocket of Regulated, Forested wetland located in the southwest corner of the project area (located on both Unit 32 and Unit 31). This area of wetland appears to be located within a previously-designated Conservation Easement. The 25-foot wetland setback has been shown on the Plan, however the wetland boundary itself does not appear to be indicated or labeled. The *Landbank Parking Plan* (Sheet 1) contains a note that indicates "No Disturbance In This Area". In addition, any additional site stormwater runoff appears to be directed to the Beck North Phase II Development Dissipation Basins and ultimately into other existing wetlands (i.e., Note 1, Sheet 1), rather than into this isolated, forested wetland.

No further woodland or wetland review appears to be necessary.

Thank you for the opportunity to review these plans. If you have any questions, please feel free to contact me.

FIRE REVIEW



February 4, 2011

CITY COUNCIL

Mayor
David B. Landry

Mayor Pro Tem
Bob Gatt

Terry K. Margolis

Andrew Mutch

Dave Staudt

Justin Fischer

Wayne Wrobel

City Manager
Clay J. Pearson

Director of Public Safety
David Molloy

Director of Fire and EMS
Jeffrey Johnson

TO: Barbara McBeth, Deputy Director
Community Development, City of Novi

RE: Macprofessionals – Landbank Parking Expansion
SP: 11-06, Preliminary Site Plan

Dear Ms. McBeth,

The above plan has been reviewed and it is **Recommended for Approval.**

Sincerely,

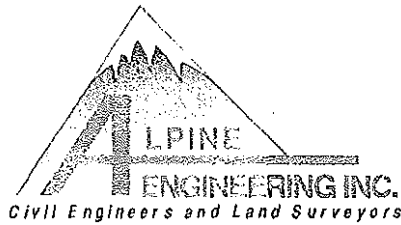
Michael W. Evans
Fire Marshal

cc: file

Novi Fire Department
45126 W. Ten Mile Rd.
Novi, Michigan 48375
248.349-2162
248.347-0570 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



46892 West Road, Suite 109
Novi, Michigan 48377
Phone: 248-926-3701
Fax: 248-926-3765

February 16, 2011

Kristen Kapelanski, ACIP
Planner, City of Novi
City of Novi Community Development Department
45175 West 10 Mile Road
Novi, Michigan 48375

Re: **MacProfessionals**
30275 Hudson Drive
Preliminary Site Plan Response Letter
City Plan Review #SP11-06

Dear Kristen:

Alpine Engineering, Inc. has received the City Site Plan review comments for above referred project and offers the following comments:

Planning Review dated February 8, 2011

Ordinance Requirement

- 1.-4. Please see Biddison Architecture response letter.
5. Parcel will be created prior to Stamping Set approval.

Response Letter

Response letter is provided.

Pre-Construction Meeting

Comments understood.

Miscellaneous Planning Review Chart Comments

Please see Biddison Architecture response letter.

Engineering Review dated February 8, 2011

General

1. Note will be provided on Final Site Plans stating that all work shall conform to the current City of Novi standards and specifications.
2. Comment understood.
3. The Final Site Plan will show proposed work in bolder line weights and fonts and existing infrastructure in lighter line weights and fonts.
4. Locations of light poles, if any, will be provided on the Final Site Plan.
5. Construction materials will be provided on the Final Site Plan.

Storm Sewer

6. Detailed storm sewer information will be provided on the Final Site Plan. Round castings and covers will be provided on all catch basins not located within the curb.
7. A profile will be provided for the proposed storm sewer.

8. Detention and restriction calculations for the existing and proposed will be provided on the Final Site Plan.

Paving and Grading

9. Butt-Joint detail will be provided on the Final Site Plan.
10. Reduce parking stalls lengths are being used. Locations of 4" high curb are denoted on the plans and a note is provided next to the detail stating to provide 4" curbs at denoted area.

Items required at time of Final Site Plan submittal:

11. Cost estimate will be provided at Final Site Plan submittal.

Items required at time of Stamping Set submittal:

12. Draft copies of the private cross access easement will be provided.
13. 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries will be shown on Exhibit B drawings as necessary.

Items required prior to construction:

- 14.-17. Comments understood. Items to be provided as required prior to construction.

Landscape Review dated January 31, 2011

No response required.

ECT Review dated January 26, 2011

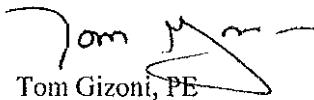
No response required.

City of Novi Fire Department Review dated February 4, 2011

No response required.

If you have any questions please feel free to call our office at (248) 926-3701.

Regards,
Alpine Engineering Inc.


Tom Gizoni, PE

cc: Amson Dembs Development, Inc.

February 16, 2011

Kristen Kapelanski, ACIP
City of Novi
Community Development Dept.
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Mac Professionals
30275 Hudson drive
Preliminary Site Plan Response Letter
City Plan Review #SP11-06

Dear Kristen:

The following is an item-by-item response to your review letter dated February 8, 2011.

1. The applicant will be seeking a variance for the additional 18 parking spaces.
2. The additional barrier free space will be provided as required.
3. A note will be added to the plans stating that the owner will keep the building department informed of any future change in the business which will require some or all of the banked parking to be provided.
4. Lighting design for banked parking areas will be provided at time of final site plan approval.
5. All appropriate documentation will be provided as required.

The required 13 sets of Site Plan Documents have been submitted with this letter.

Sincerely,



Kevin Biddison AIA
Biddison architecture + design

320 Martin Street Suite LL-10
Birmingham, MI 48009
p 248-554-9500

SITE PLAN

GENERAL SITE NOTES:

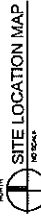
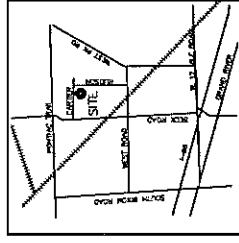
- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE, AS AMENDED BY THE CITY OF CHICAGO ORDINANCES.
- 2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 9. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 10. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 11. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 12. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 13. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 14. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 15. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 16. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 17. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 18. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 19. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 20. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 21. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 22. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 23. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 24. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.
- 25. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CITY OF CHICAGO ORDINANCES.

APPLICANT INFORMATION:

PROJECT INFORMATION:
 PROJECT NAME: [BLANK]
 PROJECT ADDRESS: [BLANK]
 PROJECT CITY AND STATE: [BLANK]
 PROJECT CONTACT: [BLANK]
 PROJECT PHONE: [BLANK]
 PROJECT EMAIL: [BLANK]
 PROJECT DATE: [BLANK]
 PROJECT DRAWING NO.: [BLANK]
 PROJECT SHEET NO.: [BLANK]

LEGAL DESCRIPTION:

LEGAL DESCRIPTION:
 [LEGAL DESCRIPTION TEXT]

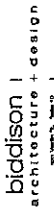


SITE STATISTICS:

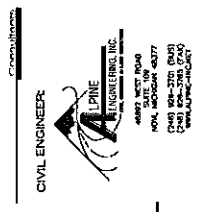
USE GROUP: [BLANK]
 CONSTRUCTION TYPE: [BLANK]
 GROSS FLOOR AREA: [BLANK] SQ. FT.
 LOT COVERED: 31.7%
 FLOOR AREA: [BLANK] SQ. FT.
 BUILDING HEIGHT: [BLANK] FT.
 EXISTING BUILDING: [BLANK]
 PROPOSED BUILDING: [BLANK]
 PROPOSED LOT AREA: [BLANK] SQ. FT.
 PROPOSED GARAGE AREA: [BLANK] SQ. FT.
 PROPOSED PARKING SPACES: [BLANK]
 PROPOSED EMPLOYEES: [BLANK]
 PROPOSED VISITORS: [BLANK]



PROPOSED SITE PLAN



CIVIL ENGINEER:
 ALPINE ENGINEERING, INC.
 4400 S. KENNESAW AVE.
 SUITE 100
 CHICAGO, IL 60632



LANDSCAPE ARCHITECT:
 ALLEN DESIGN ARCHITECTS
 4400 S. KENNESAW AVE.
 SUITE 100
 CHICAGO, IL 60632

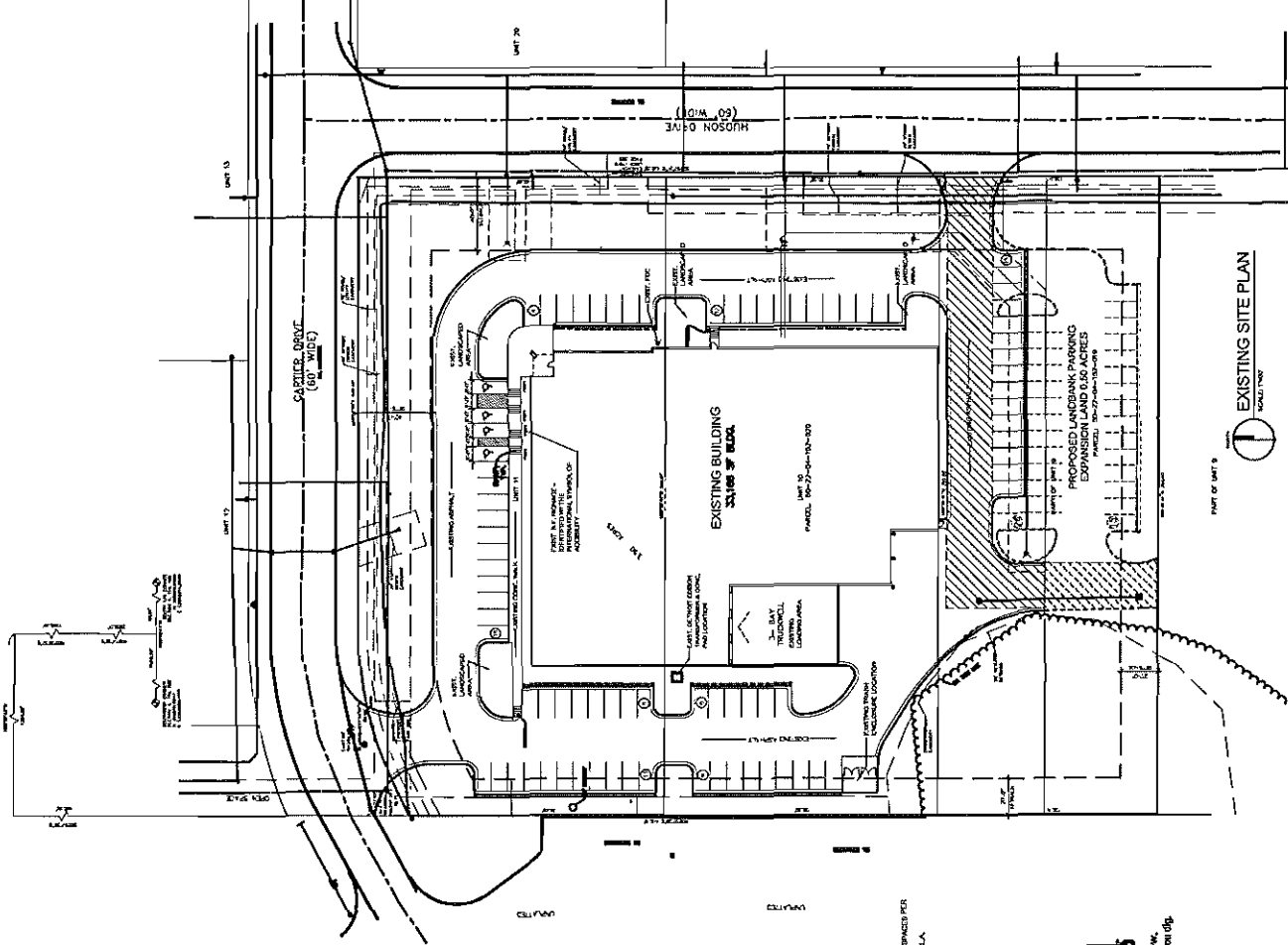
PROPOSED TENANT BUILD-OUT FOR:
Mac Professionals

2025 Hudson Drive
 Rose, Michigan

PROPOSED DESIGN:
 LANDSCAPE ARCHITECT
 10/24/11
 10/25/11

PROPOSED DESIGN:
 CIVIL ENGINEER

SITE PLAN



EXISTING SITE PLAN
 1
 PART OF SHEET 1728-10

1728-10

SP-101

ALTERNATIVE SITE PLAN

NADLAN 32 LLC
26090 LANNYS RD.
NOVI, MI 48375
(248)380-7100
(248)380-7659 FAX

February 16, 2011

City of Novi
Clay Pearson
45175 W. Ten Mile Rd.
Novi, MI 48375

Re: Macprofessionals SP11-06

Dear Clay,

Per your meeting with Ryan at your office please see attached a sketch of Macprofessionals showing future parking expansion up to 128 parking spaces. Should a variance not be granted at the zoning meeting we will implement this drawing.

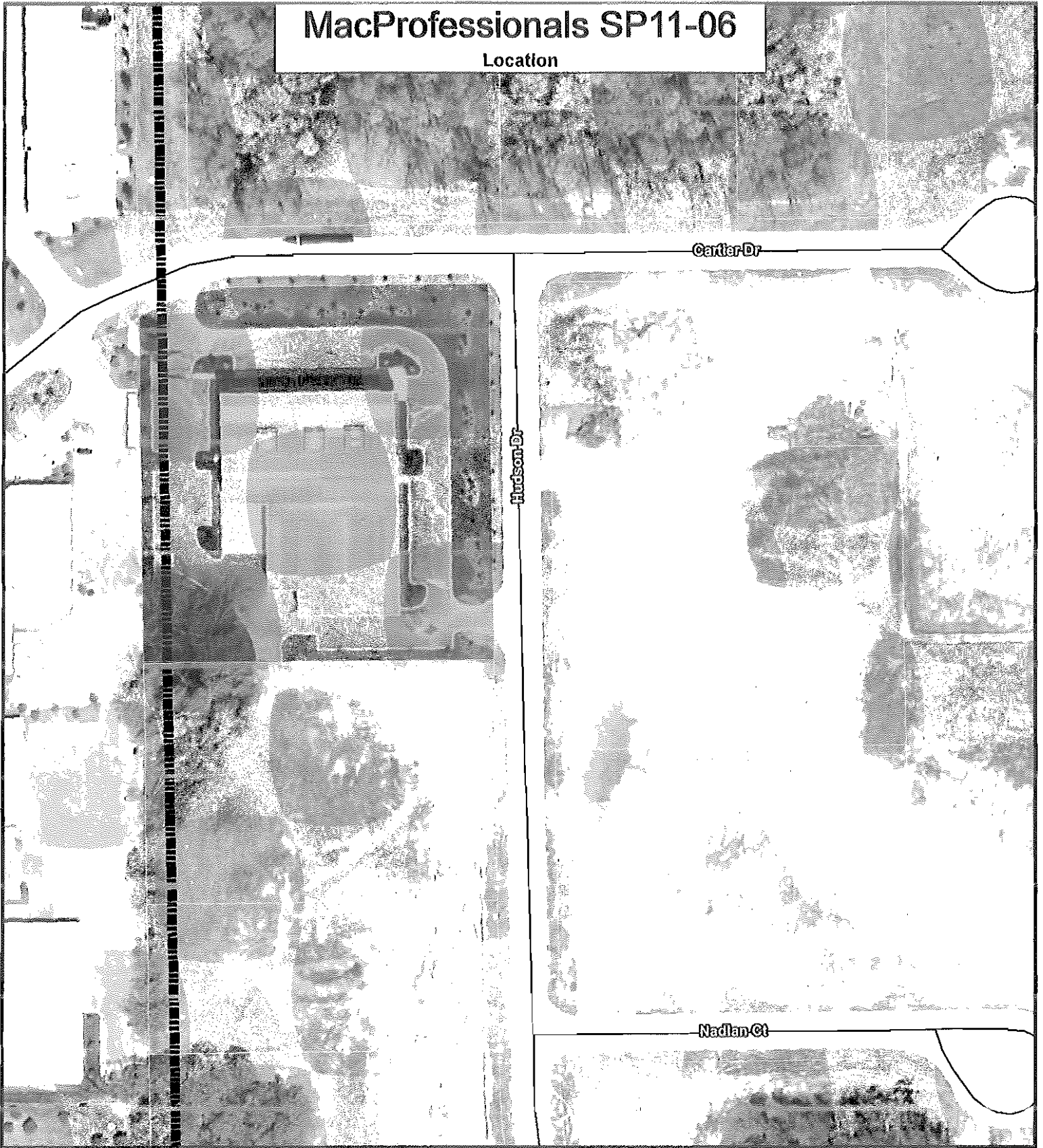
Sincerely,


Jackie Varney

MAPS
Location
Zoning
Future Land Use
Natural Features

MacProfessionals SP11-06

Location



Map Author: Kristen Kapelanski
Date: February 14, 2011
Project: MacProfessionals SP11-06
Version #: 1.0

Map Legend



Subject Property

City Incorporated Boundary



City of Novi
Planning Division
Community Development
46175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Feet

0 950 1,900 3,800 5,700

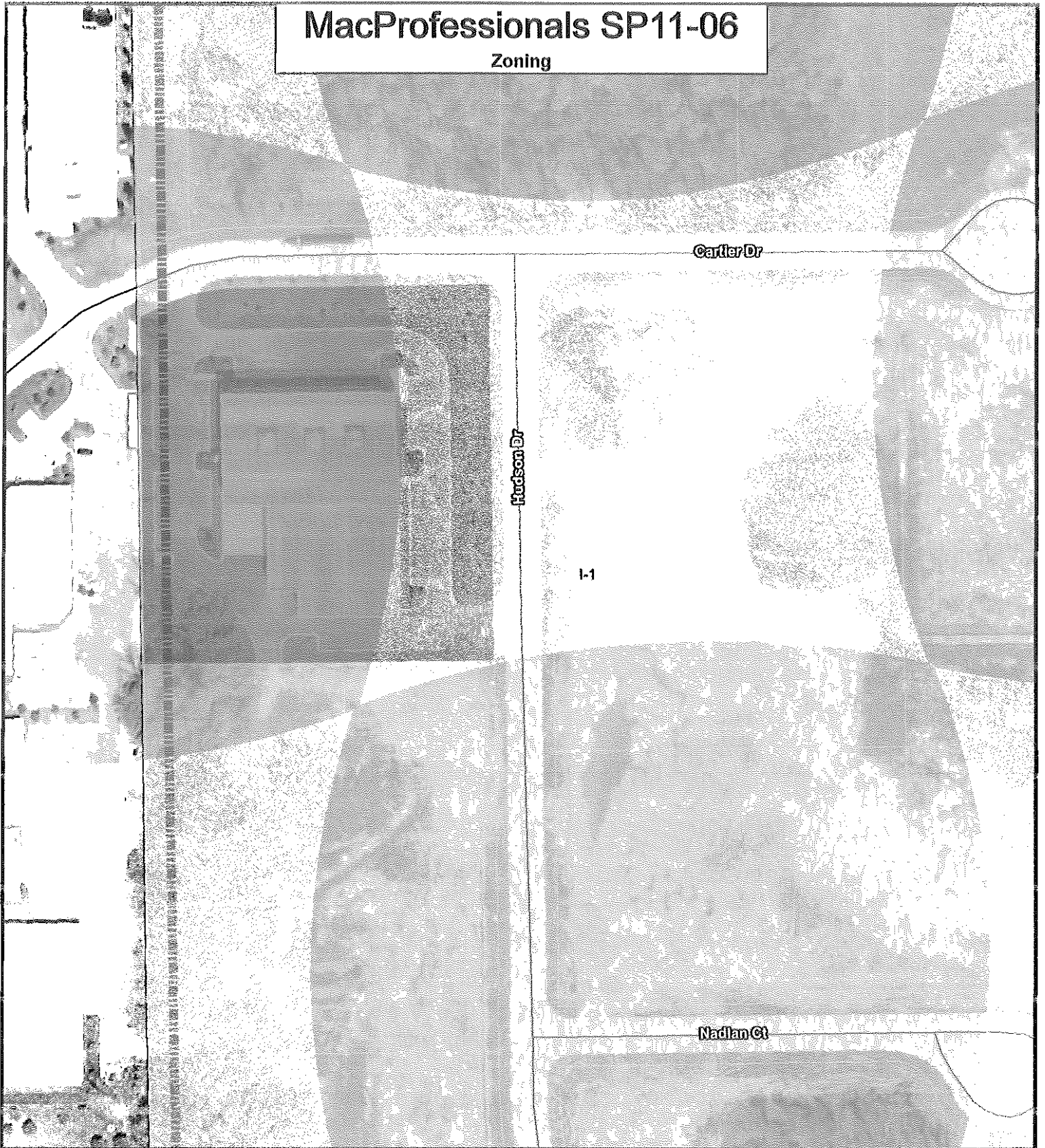
1 inch = 83,333 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary line statements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.




MacProfessionals SP11-06

Zoning



Map Author: Kristen Kappelanski
Date: February 14, 2011
Project: MacProfessionals SP11-06
Version #: 1.0

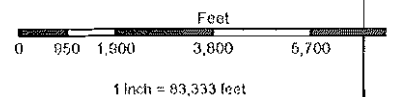
Map Legend

-  Subject Property
-  City Incorporated Boundary
-  I-1: Light Industrial District



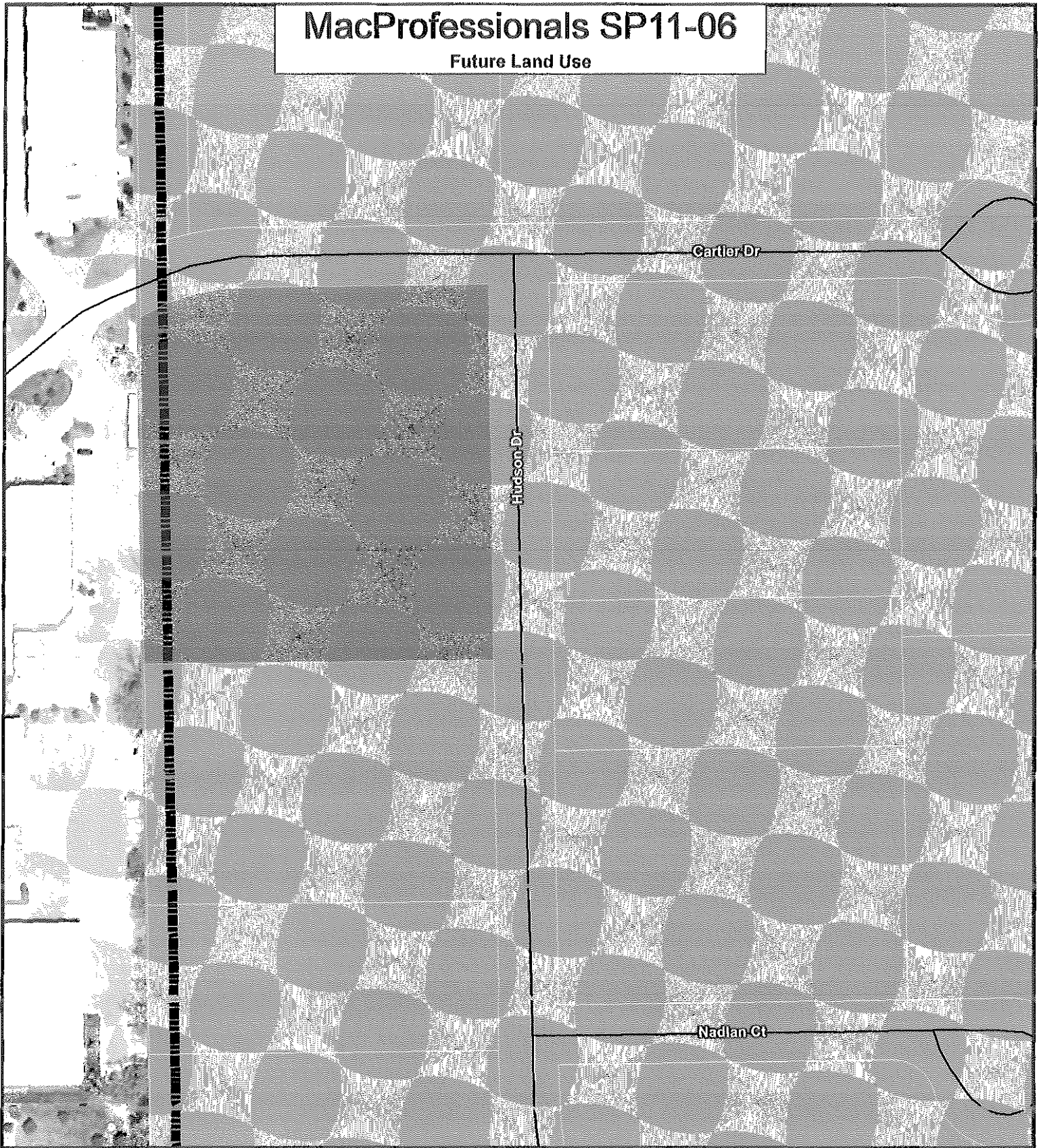
City of Novi
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



MacProfessionals SP11-06

Future Land Use



Map Author: Kristen Kapelanski
Date: February 14, 2011
Project: MacProfessionals SP11-06
Version #: 1.0

Map Legend



Subject Property

City Incorporated Boundary

Industrial Research Development Technology



City of Novi
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Feet

0 950 1,900 3,800 5,700

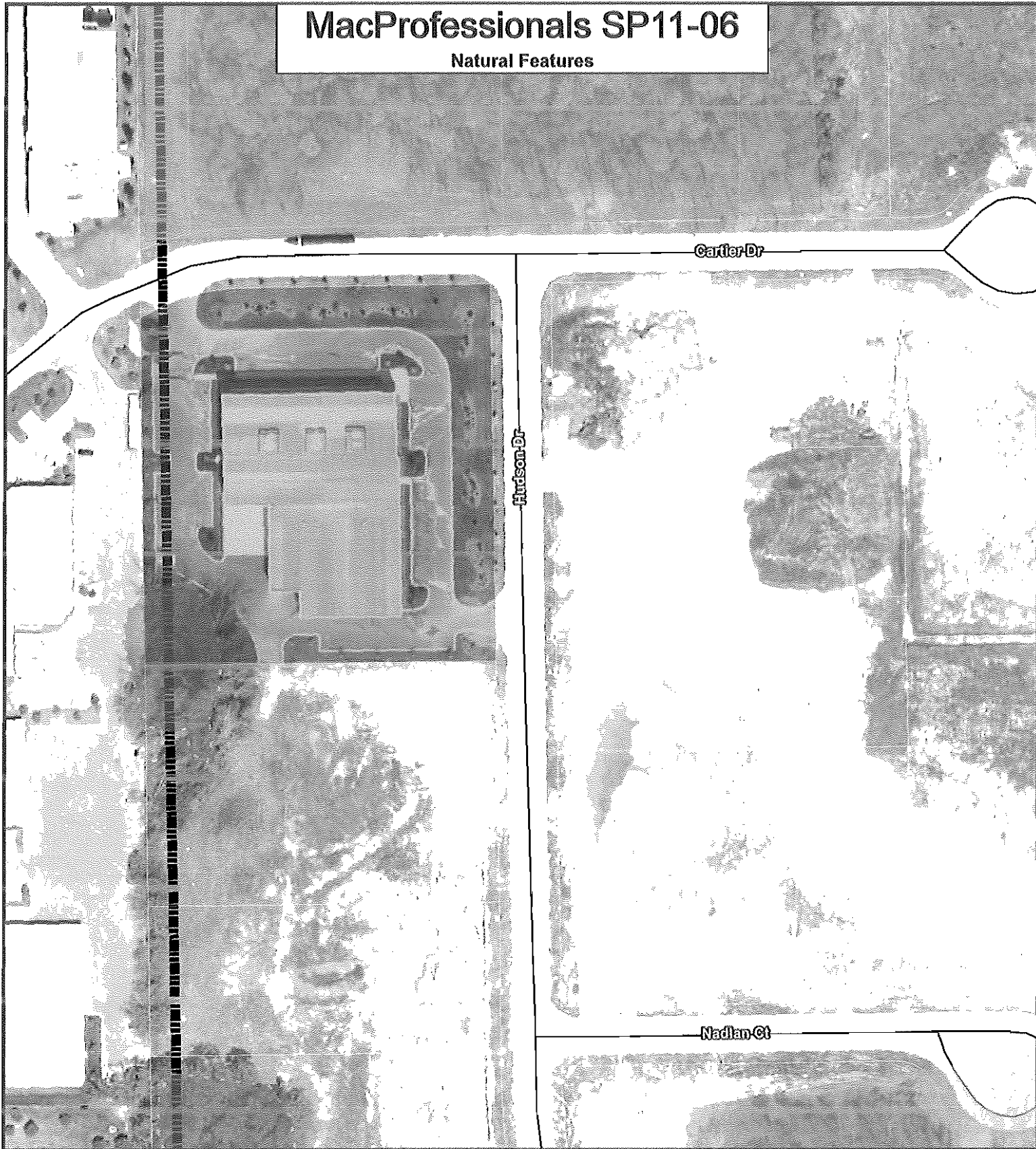
1 inch = 83,333 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.





MacProfessionals SP11-06

Natural Features



Map Author: Kristen Kapelanski
Date: February 14, 2011
Project: MacProfessionals SP11-06
Version #: 1.0

Map Legend

-  Subject Property
-  City Incorporated Boundary
-  Wetland Areas
-  Woodlands



City of Novi
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor or as defined in Michigan Public Act 152 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

