



Kroger Fuel Station JSP12-44

Kroger Fuel Station, JSP12-44

Consideration of the request of Landplan Engineering, for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 4 at 47045 Pontiac Trail, south of Pontiac Trail and east of Beck Road in the B-3, General Business District. The subject property is 1.08 acres and the applicant is proposing a fuel station consisting of 7 dual customer fuel pumps and a 207 square foot service kiosk.

REQUIRED ACTION

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	11/06/12	<ul style="list-style-type: none"> • Applicant should adjust the site layout to accommodate the required parking setback (10' required, 8' provided or seek a variance from the Zoning Board of Appeals). • Applicant will seek a variance from the Zoning Board of Appeals in order to locate the access drive closer than 100 feet to a residential district. • Items to address on the Final Site Plan.
Engineering	Approval recommended	11/05/12	Items to address on the Final Site Plan.
Traffic	Approval recommended	10/31/12	<ul style="list-style-type: none"> • Planning Commission waiver of same-side driveway spacing required (230' required, 118' provided). • Planning Commission waiver of opposite-side driveway spacing required (200' required, 64' provided). • Items to address on the Final Site Plan.
Landscaping	Approval recommended	11/06/12	<ul style="list-style-type: none"> • Planning Commission waiver required for berm along the eastern property line. • Planning Commission waiver required to relocate foundation landscaping. • Items to address on the Final Site Plan.

Facade	Approval recommended	11/06/12	<ul style="list-style-type: none">• Section 9 façade waiver required for the overage of aluminum composite panels.• Items to address on the Final Site Plan.
Fire	Approval recommended	10/18/12	Items to address on the Final Site Plan.

Motion sheet

Approval – Preliminary Site Plan

In the matter of Kroger Fuel Station, JSP12-44, motion to **approve** the Preliminary Site Plan subject to the following:

- a. Applicant adjusting the site layout to accommodate the required western side yard parking setback or receiving a variance from the Zoning Board of Appeals (10' required, 8' provided);
- b. Applicant receiving a variance from the Zoning Board of Appeals in order to locate an access drive closer than 100 feet to a residential zoning district;
- c. Planning Commission same-side driveway spacing waiver (230' required, 118' provided);
- d. Planning Commission opposite-side driveway spacing waiver (200' required, 64' provided);
- e. Planning Commission waiver for the required berm on the eastern property line as an existing 6' masonry wall is proposed to remain;
- f. Planning Commission waiver for the required foundation landscaping as the applicant has located in other areas of the site;
- g. Section 9 façade waiver for the overage of aluminum composite panels;
- h. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- i. *(additional conditions here if any)*

for the following reasons...*(because it is otherwise in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Approval – Stormwater Management Plan

In the matter of Kroger Fuel Station, JSP12-44, motion to **approve** the Stormwater Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

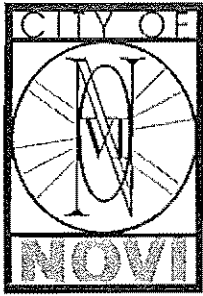
Denial

In the matter of Kroger Fuel Station, JSP12-44 motion to **deny** the Preliminary Site Plan, for the following reasons...(because the plan is not in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance.)

Denial Storm Water Management Plan

In the matter of Kroger Fuel Station, JSP12-44, motion to **deny** the Stormwater Management Plan, for the following reasons...(because the plan is not in compliance with Chapter 11 of the Ordinance.)

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

November 6, 2012

Planning Review

Kroger Fuel Station

JSP12-44

Petitioner

Landplan Engineering

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 47045 Pontiac Tr., south of Pontiac Tr. and east of Beck Rd. (Section 4)
- Site Zoning: B-3, General Business
- Adjoining Zoning: North: Commercial (Commerce Township); South and West: B-3; East: RM-1
- Current Site Use: Vacant
- Adjoining Uses: North: Existing commercial; South: Shopping Center; West: Pharmacy; East: Multiple-family development
- School District: Walled Lake District
- Site Size: 1.08 acres
- Plan Date: 10-10-12

Project Summary

The applicant is proposing to construct a fuel station on an outlot of the existing shopping center at the southeast corner of Pontiac Trail and Beck Road. The proposed Kroger Fuel Station would complement the Kroger store on the opposite side of Pontiac Trail in Commerce Township. The applicant is proposing 7 dual customer fuel pumps along with a 207 sq. ft. service kiosk. Access points are shown on the shopping center entrance drive and Pontiac Trail.

Recommendation

Provided the applicant receives the necessary variances from the Zoning Board of Appeals, staff recommends approval of the Preliminary Site Plan. There are only minor planning related items to be addressed on the Final Site Plan submittal. Planning Commission approval of the Preliminary Site Plan is still required.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 15 (B-3 General Business District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Access Points: **Access points for fuel stations must be located 100 feet from residential zoning. The proposed access point on Pontiac Trail is 35 feet from the adjacent residential district.** The applicant has elected to seek a variance from the Zoning Board of Appeals for this deficiency. If the variance is not granted, plans will need to be modified to meet the ordinance standards.
2. Parking Setback: The required side yard parking setback is 10 feet. The applicant has provided an 8 foot setback in the western side yard. **The applicant should adjust the site layout to accommodate the required parking setback or seek a variance from the Zoning Board of Appeals.**
3. Parking Space Dimensions: **The applicant should ensure all parking spaces are 17 feet to the face of curb and denote a 4 inch curb wherever 17 foot spaces are proposed.**
4. Barrier Free Signage: **The applicant should indicate the required barrier free sign on the site plan.**
5. Dumpster Screening: **The applicant should provide the required dumpster screening details.** Additional information regarding the requirements can be found in the planning review chart.

6. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

Planning Review Summary Chart

Kroger Fuel Station

JSP12-44

Preliminary Site Plan

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Community Commercial	Community Commercial	Yes	
Zoning	B-3	B-3	Yes	
Use (Sec. 1501 and Sec. 1502)	Commercial uses, etc. listed in Section 1501 and Section 1502	Fuel station	Yes	
Building Height (Sec. 2400)	30 feet	19 feet	Yes	
Fueling Station Provisions (Sec. 1402.1)				
Access points	Must be located 100' from an intersection or a residential district	Access point on Pontiac Trail 35 feet from adjacent residential property	No	Applicant will seek a variance from the Zoning Board of Appeals.
Lot area	Min. 1 acre	1.08 acres	Yes	
Noise Standards	Noise Impact Statement per Sec. 2519.10(c) required	Noise Impact Statement submitted indicating site will not exceed noise standards	Yes	
Building Setbacks (Sec. 2400)				
Front (north)	30 feet	66 feet	Yes	
Interior Side (west)	15 feet	24 feet	Yes	
Interior Side (east)	15 feet	36 feet	Yes	
Rear (south)	20 feet	94 feet	Yes	
Parking Setbacks (Sec. 2400)				
Front (north)	20 feet	25 feet	Yes	
Interior Side (west)	10 feet	8 feet	No	Applicant should adjust the site layout to meet the required setback. Alternately, a new application could be submitted to the Zoning Board of Appeals.
Interior Side (east)	10 feet	20 feet	Yes	
Rear (south)	10 feet	36 feet	Yes	
Number of Parking Spaces (Sec. 2505)	One for each fuel dispensing stand plus one per 200 sq. ft. usable floor area (min. 3 spaces required)	4 spaces provided	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	3 spaces required			
Parking Space Dimensions (Sec. 2506)	9' x 19' parking space dimensions and 24' wide drives for 90° parking layout. (9' x 17' if overhang on 7' wide interior sidewalk or landscaped area as long as detail indicates 4" curb)	9' x 17' parking space dimensions with 24' wide drive for 90° parking space.	Yes	A 4" curb should be indicated on the site plan wherever 17' spaces are proposed. It appears spaces have been measured to back of curb. Striping should be adjusted so spaces measure 17' in length to face of curb.
Barrier Free Spaces (Barrier Free Code)	1 van accessible space	1 van accessible space	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with an 8' wide access aisle for van accessible	8' wide with a 8' wide access aisle	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	No barrier free sign indicated.	No	Applicant should provide required barrier free sign.
Loading Spaces (Sec. 2507)	10 sq. ft. of loading space for each front ft. of building in the rear yard 23' x 10 = 230 sq. ft. required	230 sq. ft. loading space shown	Yes	
Loading Space Screening	View of loading and waiting areas must be shielded from rights of way and adjacent properties.	Loading space to be screened by landscaping	Yes	
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally	Dumpster enclosure setback 63 feet from the proposed building and setback 42 feet from the nearest property line in the rear yard.	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	attached to the building and setback the same as parking from all property lines; in addition, the structure must be in the rear or interior side yard.			
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	Dumpster screening details not provided.	No	Applicant should provide details for dumpster screening.
Exterior Signs	Exterior Signage is not regulated by the Planning Division or Planning Commission.			<u>Please contact Jeannie Niland (248.347.0438).</u>
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.	Photometric plan provided.		Please see attached lighting chart.
Sidewalks (City Code Sec. 11-276(b))	Building exits must be connected to sidewalk system or parking lot.	Sidewalk connections existing	Yes	

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

Lighting Review Summary Chart

Kroger Fuel Station

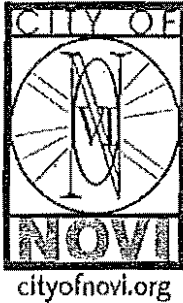
JSP12-44

Preliminary Site Plan

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: Photometric data Fixture height Mounting & design Glare control devices Type and color rendition of lamps Hours of operation Photometric plan	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation. 	Yes	

Item	Required	Meets Requirements?	Comments
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 5, 2012

Engineering Review

Kroger Fuel Station

JSP12-0044

Petitioner

Kroger, Applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: E. of Beck Rd and S. of Pontiac Trail
- Site Size: 1.08 acres
- Plan Date: October 10, 2012

Project Summary

- Construction of an approximately 5,418 square-foot dispensing canopy, 198 square-foot kiosk and associated parking. Site access would be provided by access points on Pontiac Trail and Beck Rd.
- Water service would be provided by a 1-inch domestic lead.
- Sanitary sewer service would be provided a 6-inch PVC service line from the existing monitoring manhole on site.
- Storm water would be collected by the existing storm water management system with the addition of four (4) catch basins on site.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

Storm Sewer

2. Provide a note stating that a minimum cover of three (3) feet shall be maintained at all times.

Storm Water Management Plan

3. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
4. Revise the composite runoff coefficient 'c' value for impervious area to 0.95 from 0.80 as provided.

Paving & Grading

5. Revise the inlet filter detail (detail 8) on C-500 to show a silt sack with overflow capacity versus a grate wrapped in geotextile fabric.

Off-Site Easements

6. Provide a temporary construction easement for the drive approach to Pontiac Trail on the adjacent property to the east, parcel 50-22-04-100-010.

The following must be submitted at the time of Final Site Plan submittal:

7. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
8. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. The cost estimate must be itemized for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

9. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole on the site must be submitted to the Community Development Department.
10. Executed copies of any required off-site easements (if any are required) must be submitted to the Community Development Department.

The following must be addressed prior to construction:

11. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
12. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
13. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
14. A permit for work within the right-of-way of Pontiac Trail must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
15. A permit for work within the right-of-way of Pontiac Trail must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
16. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
17. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
18. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
19. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Tina Glenn, Water & Sewer Dept.

TRAFFIC REVIEW

October 31, 2012

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375



**SUBJECT: Kroger Fuel Center D-634, JSP12-0044, PSP12-0034,
Traffic Review of Preliminary Site Plan & Traffic Impact Statement**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of both the preliminary site plan and traffic impact statement, subject to the needed variance being granted, and subject to the items shown below in **bold** being satisfactorily addressed by the final site plan.

Project Description

What is the applicant proposing?

1. The applicant is proposing a gas station for an undeveloped outlot along Pontiac Trail just east of Beck Road (see attached aerial photo; the main Kroger store is across the road in Commerce Township). The station would have 14 fueling positions and a small building dispensing very limited retail goods (e.g., cigarettes). Access would occur at two points: a full-service curb cut on the existing north-south shopping center drive, 160 ft south of Pontiac Trail (near-curb to near-curb), and a right-in/right-out-only drive on Pontiac Trail, 118 ft east of the existing shopping center drive and about 42 ft west of the neighboring residential property.

Trip Generation & Traffic Study

How much traffic would the proposed development generate? Was a traffic study submitted and was it acceptable?

2. A traffic impact statement prepared by the applicant's traffic consultant (Wilcox Professional Services) and dated October 11, 2012 was reviewed. The statement's trip generation forecast, which we have found satisfactory, is summarized in Table 1 (below).
3. The October 11 study assumed no growth in background traffic by the time the proposed gas station opens. The existing peak-hour volumes were later increased to reflect the possible reoccupation of the shopping center's vacant space (estimated by Wilcox to be

Table 1. Trip Generation Forecast¹

Land Use	ITE Use No.	No. of Fueling Positions	Average Daily Traffic	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Gas Station	944	14	2,360	87	83	170	97	97	194
Pass-By Trips			1,180 ²	50	49	99	41	40	81
New (driveway - pass-by) Trips			1,180 ²	37	34	71	56	57	113

¹ A trip is a one-directional vehicular movement into or out of the site. The first row of the table presents driveway trips, based on rates and guidelines found in *Trip Generation – 8th Edition* (ITE, 2008) and *Trip Generation Handbook – 2nd Edition* (ITE, 2004). These two publications are now available in a 9th Edition (2012) which should be used in the next study submitted.

² Pass-by trips are driveway trips made by vehicles already passing the site en route to primary destinations elsewhere. While the forecasted ADT pass-by trips appear reasonable (based on assuming an average of the 58% AM pass-by and 42% PM pass-by), we note that the customary and preferred practice is to avoid forecasting in the absence of period-specific ITE data.

20%). This was reflected in a study addendum received on 10-31-12 (as footnoted under Table 2, below, which was created earlier to summarize the findings of the 10-11 study).

4. The study's trip distribution model and resulting assignments of site-generated traffic appear reasonable. Selected graphics illustrating peak-hour traffic volumes near the site are attached – from both the current study and another (2003) study prepared by another consultant for the abutting shopping center. The recently counted volumes turning into and out of the center compare relatively well to the previously forecasted volumes, an interesting finding given the center's vacancies and the nine years since the earlier study.
5. The study found that the proposed access plan for the gas station will result in acceptable delays and levels of service (LOS), both exiting the site and turning left into the site. As can be seen in Table 2 (below), the LOS will fall one grade for traffic exiting the two most-impacted driveways – including a LOS of E exiting onto Beck – but the associated average delay for the latter – about 42 sec – is not considered unusually long for a driveway on a busy arterial road (the associated 95th-percentile exiting queue is forecasted as 1-3 cars). It should also be noted in regard to the Beck egress that drivers have the option of traveling through the shopping center and exiting via its south drive on Beck.
6. Wilcox also found that the traffic impacts of the gas station at the Beck / Pontiac Trail intersection would be negligible. The study does recommend, however, that the existing right-turn-only designation on the northbound approach be converted to an optional through-right designation, since two lanes continue north (into Commerce Township) for approximately ¼ mile (prior to ending at a school driveway). **We suggest that the City of Novi approach RCOC, Commerce Township, and/or the City of Wixom (lying to the west of this road section) regarding this Wilcox recommendation.**
7. The study's final conclusion is that the proposed right-in/right-out driveway – specifically the right-in feature – is necessary to accommodate fuel truck ingress and on-site circulation (see related discussion below). The right-out feature, on the other hand, will be useful in reducing the amount of traffic having to exit the existing nearby shopping center driveway.

Table 2. Traffic Impacts on Level of Service

Intersection	Approach	Condition	AM Peak Hour		PM Peak Hour	
			Delay (sec)	LOS	Delay (sec)	LOS
Beck Road & Existing North Shopping Center Drive	WB Out	Before	32.5	D	28.2 ¹	D
		After	41.7	E	42.1	E
	SB Left In	Before	8.0	A	12.5	B
		After	8.1	A	12.7	B
Pontiac Trail & Existing Shopping Center Drive	NB Out	Before	12.1	B	21.4 ²	C
		After	15.4	C	26.2	D
	WB Left In	Before	1.6	A	3.8	A
		After	8.9	A	10.9	B
Proposed Right-In / Right-Out Drive	NB Right Out	After	11.5	B	17.3	C

¹ In a study addendum dated 10-31-12, Wilcox shows this delay increasing by only 0.8 sec with a 20% increase in existing driveway traffic (to reflect a possible increase in shopping center occupancy to 100%), The exiting LOS would remain D. Carrying such a volume increase forward to the build-out scenario would probably have substantially the same impact.

² Also assuming a 20% increase in the exiting volume (for the reason cited above), this delay would increase by 2.1 sec over the value displayed in the table. The exiting LOS would remain C.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

8. No. The new (right-in/right-out) driveway would be only 118 ft east of the existing shopping center driveway (near-back-of-curb to near-back-of-curb). **A Planning Commission waiver of the City's minimum same-side driveway spacing, 230 ft for a 45-mph road such as Pontiac Trail (per DCS Sec 216(d)(1)d), is required. We support the access plan and therefore the needed waiver.**
9. Also, the center of the new driveway would be only about 64 ft west of the center of the existing east shopping center driveway across the road. **DCS Figure IX.12 requires a minimum opposite-side driveway spacing for this direction of offset of 200 ft, so another waiver – of the standard shown in the above figure and cited in Sec 216(d)(1)e – is also needed.** Since the channelized driveway design – as refined and signed as indicated below – will effectively preclude the interlocking entering left turns serving as the basis for this standard, we support its waiver.
10. As proposed, the exiting radius of the new driveway would encroach at least 13 ft on the frontage of the neighboring parcel; such encroachment is generally prohibited by DCS Sec 216(a)(2). **To avoid a radius encroachment, this driveway should be redesigned as recommended in comment 13 (below).**
11. Finally, Sec 1501.1 of the Zoning Ordinance permits (in a B-3 district such as this) the proposed use subject to certain restrictions. One of those restrictions, appearing in Sec 1402.1a, states that "Entrances shall be no less than one hundred (100) feet from..."

adjacent residential districts.” Hence, **the proposed new (right-in/right-out) driveway requires a variance with respect to Sec 1402.1a.** We support the needed variance, subject to the driveway being redesigned and signed as discussed below.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed driveway(s)?

12. Yes. The existing outside eastbound lane of Pontiac Trail will be extended to a point just east of the proposed new driveway, after which a new taper will be constructed.

Driveway Design and Control

Are the driveways acceptably designed and signed?

13. No. While the turning path portrayed for entering tanker truck supports the proposed 30-ft-wide right-in-only driveway width, the right-out-only driveway width is not as narrow as it should be and the proposed island is not as large as it could be. Revising the latter two variables would strengthen the physical deterrence offered relative to illegal (left-turn) movements, as well as make the island more conspicuous for both entering and exiting traffic. **Our attached mark-up shows our recommended redesign, which will require the prohibition of exiting large-truck movements at this drive (which would also improve safety and reduce noise relative to the neighboring residential units).**
14. To maximize the degree to which the new driveway movements are limited to those intended by the design, **the final site plan should include the traffic control signs shown in our attached site plan mark-up.**
15. To ensure that traffic already exiting the main north-south shopping center driveway always has the right-of-way, **a 24-inch STOP (RI-1) sign should also be proposed at the gas station egress in the site’s southwest corner.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

16. No. Pedestrians approaching the proposed sales building from outside the site (e.g., to buy cigarettes) would be tempted to walk in the site’s southwest access drive. To avoid this safety concern, **an east-west sidewalk stub should be provided about 9 ft north of the drive (and equipped with a ramp at its east end).**

Parking and Circulation

Are parking spaces appropriately designed, marked, and signed? Can vehicles safely and conveniently maneuver through the site?

17. **Consistent with the 17-ft-long parking stripes proposed, the abutting south curb should be limited in height to 4 inches (detail sheet C-500 shows the only proposed curb as about 6 inches high at lip of gutter).**

18. Four marked parking spaces have been proposed. **The westernmost such space is intended to be the site's required handicapped space, but must be properly marked and signed as such** (it is also shown 1 ft wider than the 8-ft standard for such spaces, a satisfactory width if the applicant prefers to use it here):
- a. **Per the 2011 MMUTCD, the handicapped space should be marked with a blue stripe on each side, with the stripe on the space's east side accompanied by an abutting white stripe** (indicating the west side of the undesignated adjacent space).
 - b. **An International Symbol of Accessibility (wheelchair symbol) should be shown on the pavement in the designated parking space, and (also per the manual) this symbol should be white (not the previous blue).**
 - c. **The crosshatching of the access aisle should be noted as blue.** (Per ADA, this aisle could also be narrowed to the 8-ft standard width, measured to face of curb.)
 - d. **The unlabeled sign symbol at the head of the handicapped space needs to be labeled as consisting of two signs: the RESERVED PARKING [wheelchair symbol] ONLY (R7-8) sign atop a VAN ACCESSIBLE (R7-8P) sign. The lower sign must be at least 6'-3" above grade, and the sign post should be dimensioned or noted as being 2 ft behind the back of curb.**
19. **The crosshatching of the loading zone should be noted as 4-inch yellow striping 4 ft on-center, and the NO PARKING LOADING ZONE sign should be noted as being a R7-6 sign located 2 ft behind the back of curb.**

Miscellaneous

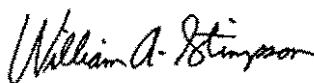
What other issues should be addressed?

20. **The final site plan should include a Signing Quantities Table.**
21. **Consideration should be given to shifting the dumpster enclosure a few feet further east, so that trucks approaching it are less likely to interfere with traffic circulation around the pumps, and the enclosure's separation from the end parking space is easier to maintain (than the 2.5-ft separation now proposed).**

Sincerely,
BIRCHLER ARROYO ASSOCIATES, INC.

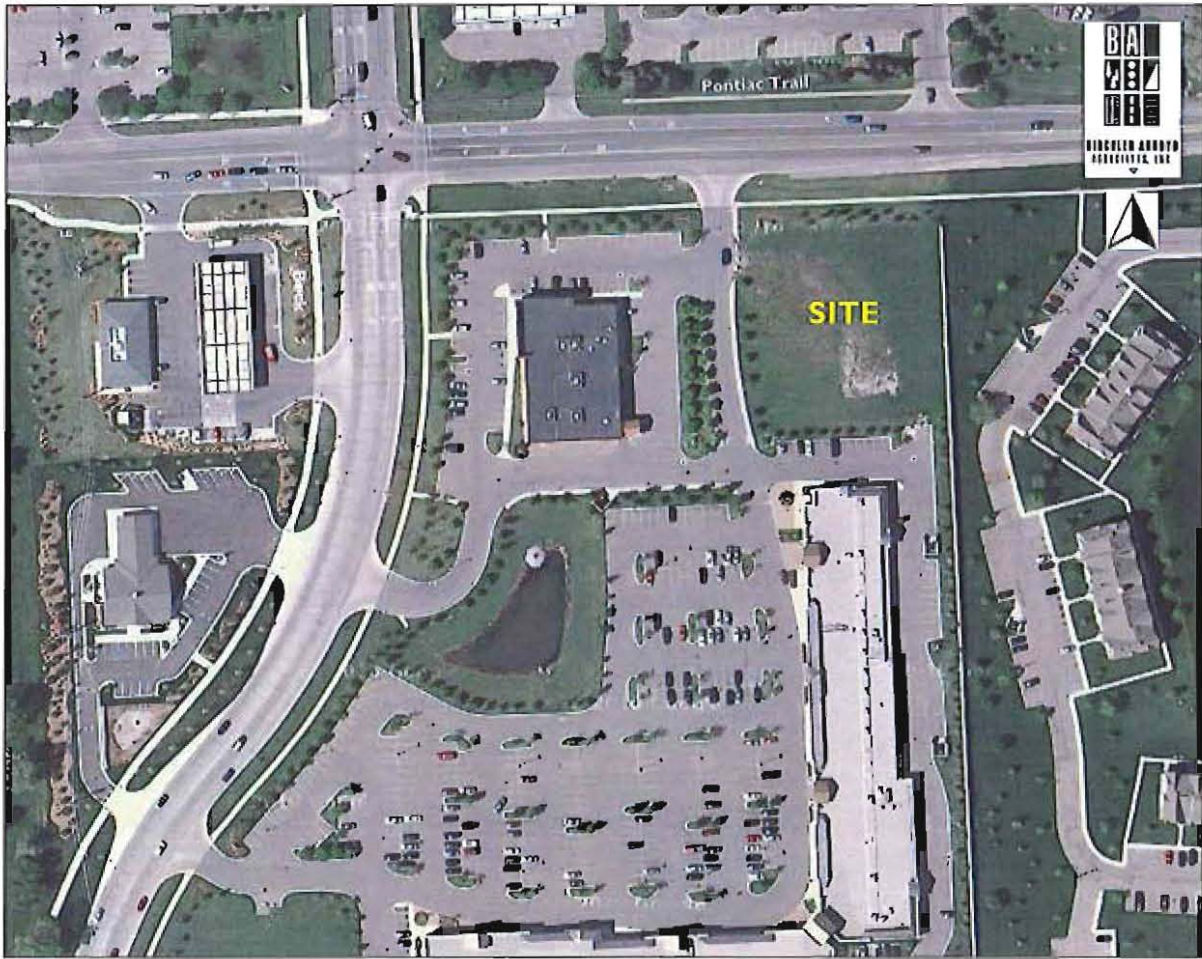


Rodney L. Arroyo, AICP
Vice President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachments: Aerial photo, three pages of traffic diagrams, & BA mark-up of PSP



Aerial Photo of Proposed Kroger Gas Station Site and Surroundings

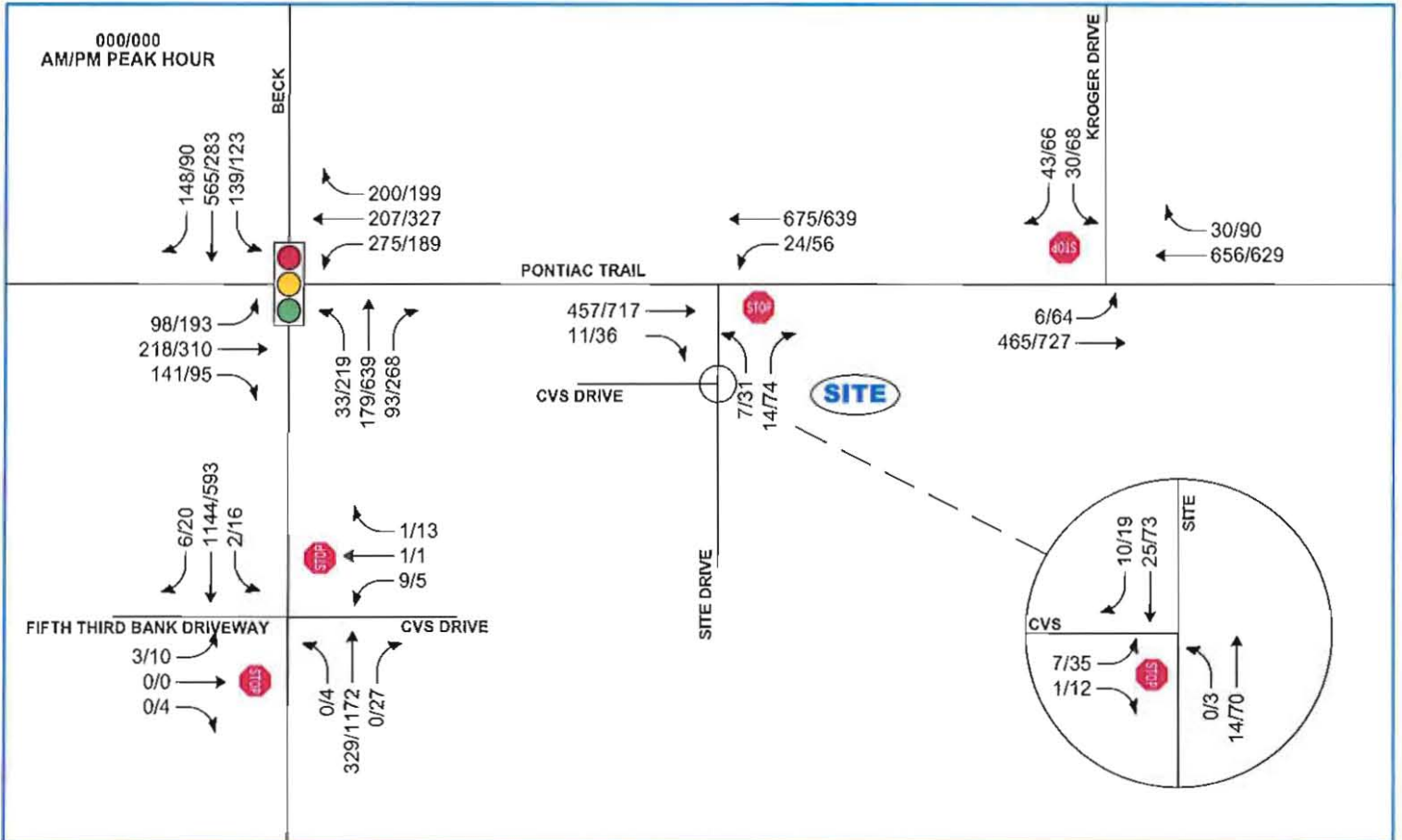


FIGURE 1
EXISTING TRAFFIC VOLUMES

KROGER FUEL STATION DEVELOPMENT - NOVI, MI



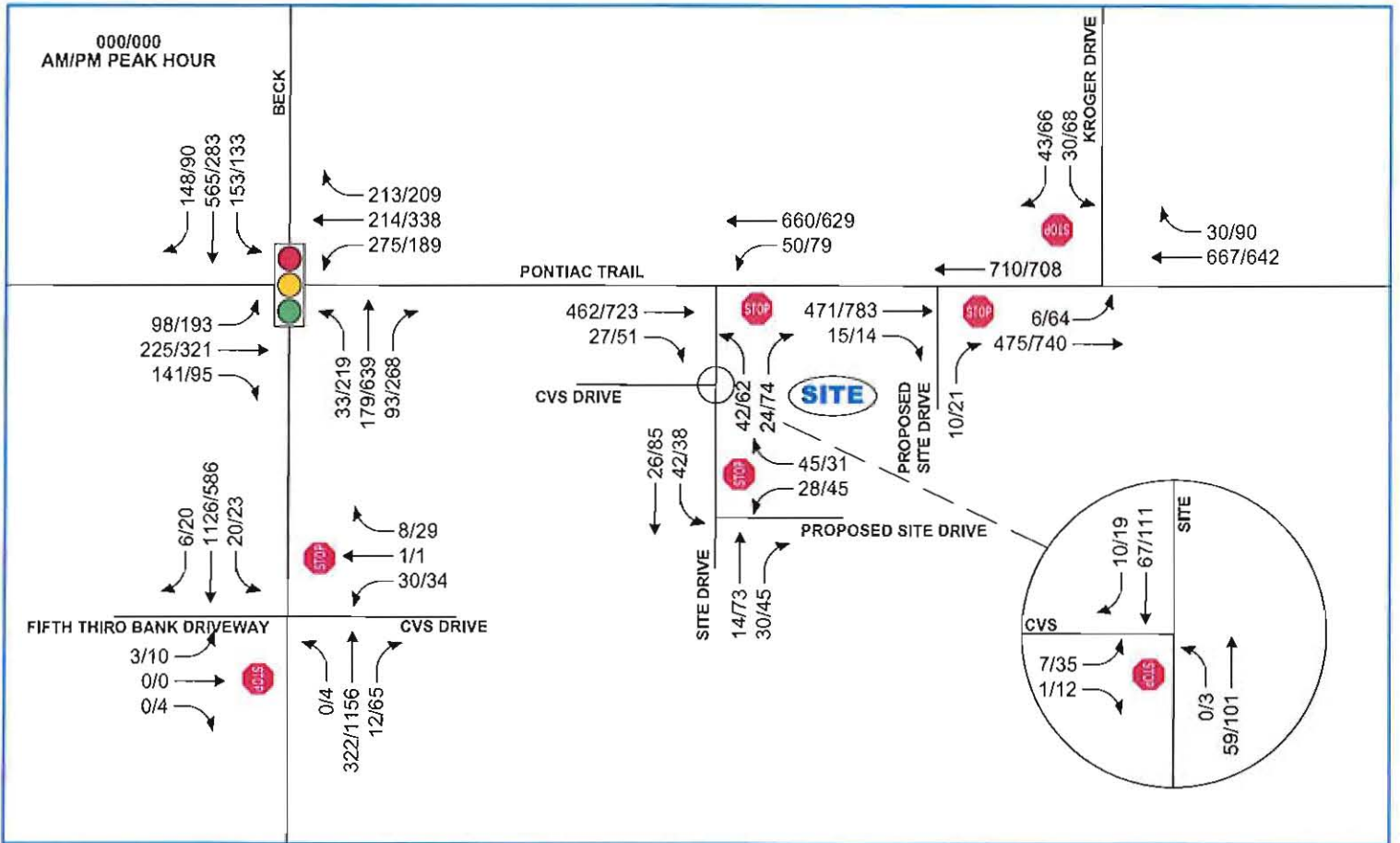


FIGURE 3
TOTAL FUTURE TRAFFIC VOLUMES

KROGER FUEL STATION DEVELOPMENT - NOVI, MI



Max 1-way drive width (per DCS for R3-2) 72', Max P 25'

R3-2

PONTIAC TRAIL (120' ROW)

COMMERCE TWP

CITY OF NOVI

Facing

NE SW
DO NOT ENTER
R5-1 R3-2

126.00' CANOPY

25.00'

10.00'

16.00'

55.00'

41.91'

R3-2

R3-2
R36.00'
R2.00'

N87°14'37"E 200.78'

R30.00'
R2.00'

STOP R1-1
R3-2

R4-7



R5-2

30.00' FRONT BUILDING SET

C-18

C-18

C-12

C-3

C-8

C-10

C-8

C-10

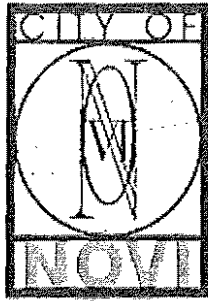
PROPOSED KROGER GAS STATION

Mark-up by

Biehler Arroyo Assoc, Inc.

10-30-12

LANDSCAPE REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

November 6, 2012

Preliminary Site Plan 12-44

Kroger D-634 Fuel Station

Property Characteristics

Site Location: 47045 Pontiac Tr., south of Pontiac Tr. and east of Beck Rd. (Section 4)
Site Zoning: B-3, General Business
Adjoining Zoning: North: Commercial (Commerce Township); South and West: B-3;
East: RM-1
Current Site Use: Vacant
Adjoining Uses: North: Existing commercial; South: Shopping Center; West: Pharmacy;
East: Multiple-family development
School District: Walled Lake District
Site Size: 1.08 acres
Plan Date: 10-10-12

Recommendation

Approval for the Preliminary Site Plan for the Kroger Fuel Station SP12-44 is recommended provided the Applicant receives the necessary waivers from the Planning Commission.

Ordinance Considerations

Adjacent to Residential (Sec. 2509.3.a.)

1. Typically a 6' to 8' tall berm would be required along the easterly boundary adjacent to residential property. An existing 6' tall solid masonry wall exists that was installed as part of the overall development. Please clearly depict the existing wall on the landscape plan. The uninterrupted wall extends along the entire east and south property boundary of the Shoppes at the Trail development. **The Planning Commission may choose to waive the berm requirement as this area is fully screened from the adjacent property. Staff would support the waiver.**

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm with a 2' crest is required along the Pontiac Trail right-of-way adjacent to parking areas. The berm has been provided. Additional shrubs and perennials should be added to meet opacity requirements.
2. Right-of-way greenbelt planting calculations have been provided and requirements have been met.
3. Please label the twenty five foot clear vision areas clear vision areas at access points on the plan.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 45 LF adjacent to parking. The Applicant has met the requirement.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 1,747 SF of interior parking landscape area is required. The Applicant has met the requirement.

2. Please show snow storage areas on the plan as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The Applicant has adequately provided for the requirement.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. Due to the nature of the use, landscape cannot be provided at the small building. The Applicant has provided additional landscape along the east side of the site to compensate. The plantings should be installed in a common bed for ease of future maintenance. **A waiver for the relocation of foundation landscape is required. Staff supports the waiver.**
2. A total of 1,747 SF of building foundation landscape area is required. The Applicant has provided well in excess of the requirement in other areas of the site.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. The Planting Details and Notations as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon Stamping Set submittal.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.


Reviewed by: David R. Beschke, RLA

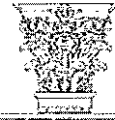
FACADE REVIEW



Phone: (248) 880-6523
 E-Mail: dnecci@drnarchitects.com
 Web: drnarchitects.com

DRN & ASSOCIATES, ARCHITECTS, PC

50850 Applebrooke Dr., Northville, MI 48167



November 6, 2012

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review**
Kroger Fuel Station, PSP12-0034
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Landplan Engineering, P.A., dated 10/10/12. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule, if any, are highlighted in bold.

Building	North	South	East	West	Ordinance Maximum (Minimum)
Brick	45%	66%	64%	61%	100% (30%)
Aluminum Composite Panels (Equivalent to EIFS)	45%	26%	27%	29%	25%
Cornice (Metal)	10%	8%	9%	10%	15%

Canopy	North	South	East	West	Ordinance Maximum (Minimum)
Brick	20%	20%	61%	61%	100% (30%)
Aluminum Composite Panels (Equivalent to EIFS)	62%	62%	29%	29%	25%
Cornice (Metal)	18%	18%	10%	10%	15%

This project consists of two structures; a kiosk building and canopy. The canopy is subject to Section 2520.12 of the Façade Chart as well as the Façade Chart. Section 2520.12 requires that not less than 30% of the canopy façade be constructed of identical materials as the building. The fascia of the canopy and kiosk building are proposed to be "Aluminum Composite Panels". This material is not specifically listed on the Façade Chart. The sample board indicates that this material is visually equivalent to EIFS. It is therefore treated as EIFS for this review.

As shown above the percentage of Aluminum Composite Panels (EIFS) on all facades exceeds the maximum percentage allowed by the Façade Chart. A Section 9 Waiver is required for this material.

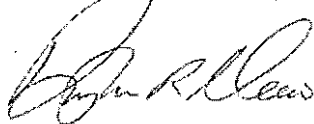
Recommendation: The sample board and rendering provided indicate that the Aluminum Composite Panels harmonize well with the brick color and is consistent with the overall design of both structures. The requirements of Section 2520.12 pertaining to canopies have been met. The design is consistent with the intent and purpose of the Façade Ordinance. A Section 9 Waiver is therefore recommended for the overage of Aluminum Composite Panels.

Notes to the Applicant: The City of Novi requires Façade Inspections for all materials listed above and / or displayed on the sample board. It is the applicant's responsibility to request the inspection at the appropriate time; immediately after delivery and before installation. Please use the Novi Building Department's Online Inspection Portal by following the link below. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". The inspection will be performed within 24 hours of the request.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>

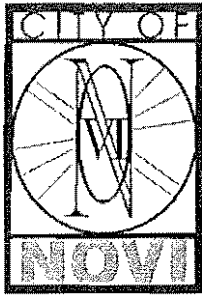
If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



October 18, 2012

TO: Barbara McBeth, Deputy Director of Community Development
Joe Shelton, Fire Marshal

RE: Preliminary Site Plan
Kroger (D-634), Retail Fuel Center, @ 47045 Pontiac Trail

SP#: JSP12-44

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

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Clay J. Pearson

Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

Project Description:

This project is for a Retail Fuel Center (Gas Station), on 47,059 SF lot (1.08 Acres) with an added 206 SF – single story building kiosk. Also a 5,418 SF canopy will be installed above pumps & building.

Comments:

1. Per IFC (2006) - 2203.2, states that "Emergency Disconnect Switches" are required to be installed with signage in approved locations. This system is not shown on plans. This item needs to be added upon plan submittal. This is also a City of Novi Ordinance Requirement SEC. 15-69.
2. Per IFC (2006) - 2205.5, Fire Extinguishers are required on pumping stations. Item is missing from pumps #5 & #6. This is also a City of Novi Ordinance Requirement SEC 15-96, to be installed within 30ft of each pump.
3. Better description is needed of "Bulk Display" item listed on equipment legend #23. Listed on plan set (page A101). If this is combustible storage, it cannot be stored within 30ft of fuel pumps. Per IFC (2006) SEC 315.3.1 (Misc. Combustible Storage) and NFPA (2009) 60.1.24(2) & 60.4.11.1.3 (Clearance from Combustibles).

Recommendation:

The above plan has been reviewed and would be recommended for approval, pending the items listed above are complied with. The items above are unchanged from previous review (JSP12-44) on August 24, 2012.

Sincerely,

Andrew Copeland – Inspector II/CFPE
City of Novi – Fire Dept.

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



Civil Engineering
Landscape Architecture
Community Planning
Surveying

Landplan Engineering, P.A.

37740 Hills Tech Drive
Farmington Hills, MI 48331

telephone 248.987.4011
email info@landplan-pa.com
web www.landplan-pa.com

November 8, 2012

City of Novi Planning Department.
Mrs. Kristen Kapelanski, AICP Planner
45175 West 10 Mile Rd.
Novi, MI 48375

Re: **JSP12-44** Kroger Fuel Station (Pontiac Trail and Beck Rd)
Preliminary Site Plan Review Center Report

Dear Ms. Kapelanski,

We have received the Preliminary Site Plan Review letter dated November 6, 2012. The drawings will be revised for our Final Site Plan submittal. Our responses below correspond with the numbering convention of your combined review letters and can be found below.

Planning Review – Kristen Kapelanski

1. Acknowledged.
2. The western side yard will be revised to provide a 10' parking set back
3. Parking spaces will be revised to be 19' to face of 6" curb
4. Barrier free sign will be called out and detailed.
5. Dumpster screening details will be included.
6. Landplan will coordinate signage Jeannie Niland.

Engineering Review – Adam Wayne

1. Note will be added.
2. Note will be added.
3. Acknowledged.
4. Composite Runoff Coefficient for impervious area will be 0.80 per coordination with City of Novi Engineering.
5. Detail 8 on C-500 will be revised to show silt sack with overflow capacity.
6. A draft of the temporary construction easement will be provided for review.

Traffic Review – William A. Stimpson

13. The approach, as designed, was approved by Scott Sintkowski, Oakland County Road Commission Engineer, based on MDOT geometrics. The review letter was forwarded to Scott for his approval. Upon his approval, the revisions will be made as recommended.
14. See #13 above.
15. See #13 above.
16. A sidewalk stub with ramp will be included.
17. See planning review #3 above.
18. Notes will be added to address comments a.-d.
19. Loading zone notes will be revised.

Landscape Review – David R. Beschke, RLA

1. We intend to seek a waiver for the berm requirement..
2. We intend to seek a waiver for the foundation landscaping.
3. easement will be provided for review.

Facade Ordinance Review – Douglas R. Necci, AIA

1. We intend to seek a Section 9 for the coverage of aluminum composite panels.
2. We will comply with the inspection requirements for facades.

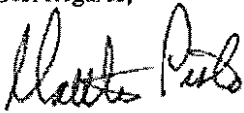
Fire Department Review – Douglas R. Necci, AIA

1. Will comply with IFC (2006) 2203.2.
2. Will comply with IFC (2006) 2205.5
3. The Bulk Display will be compliant with (IFC 2006) SEC 315.3.1 and NFPA (2009) 60.1.24(2) and NFPA (2009) 604.11.1.3.

Additionally, all items required for final site plan and stamping sets will be followed.

We appreciate your time and efforts. Please call with any questions.

Best Regards,



Matthew Pisko
Landplan Engineering, P.A.

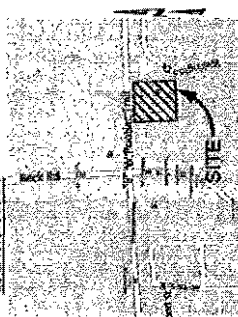
SITE PLAN

SOIL GROUP DESCRIPTIONS:

ALL SOIL GROUPS AND SUBGROUPS ARE CLASSIFIED ACCORDING TO THE UNIFORM SOIL CLASSIFICATION SYSTEM (USCS) AND THE SOIL BULK DENSITY AND MOISTURE CONTENT CORRELATION CHART (ASTM D 2922-97). THE SOIL GROUPS ARE CLASSIFIED AS FOLLOWS:

- 1. **CLAYEY SAND (SM):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS CLAYEY SAND (SM) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%. THE SOIL IS CLASSIFIED AS CLAYEY SAND (SM) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 2. **SAND (SW):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS SAND (SW) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 3. **CLAYEY SAND (SM):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS CLAYEY SAND (SM) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 4. **SAND (SW):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS SAND (SW) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 5. **CLAYEY SAND (SM):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS CLAYEY SAND (SM) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 6. **SAND (SW):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS SAND (SW) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 7. **CLAYEY SAND (SM):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS CLAYEY SAND (SM) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 8. **SAND (SW):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS SAND (SW) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 9. **CLAYEY SAND (SM):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS CLAYEY SAND (SM) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.
- 10. **SAND (SW):** TO A DEPTH OF 18 INCHES, THE SOIL IS CLASSIFIED AS SAND (SW) WITH A LIQUID LIMIT (LL) OF 25% AND A PLASTICITY INDEX (PI) OF 4%.

LOCATION MAP:



PROJECT NARRATIVE:
 THE PROJECT CONSISTS OF THE CONSTRUCTION OF A RETAIL FUEL CENTER AND A BECK ROAD. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010.

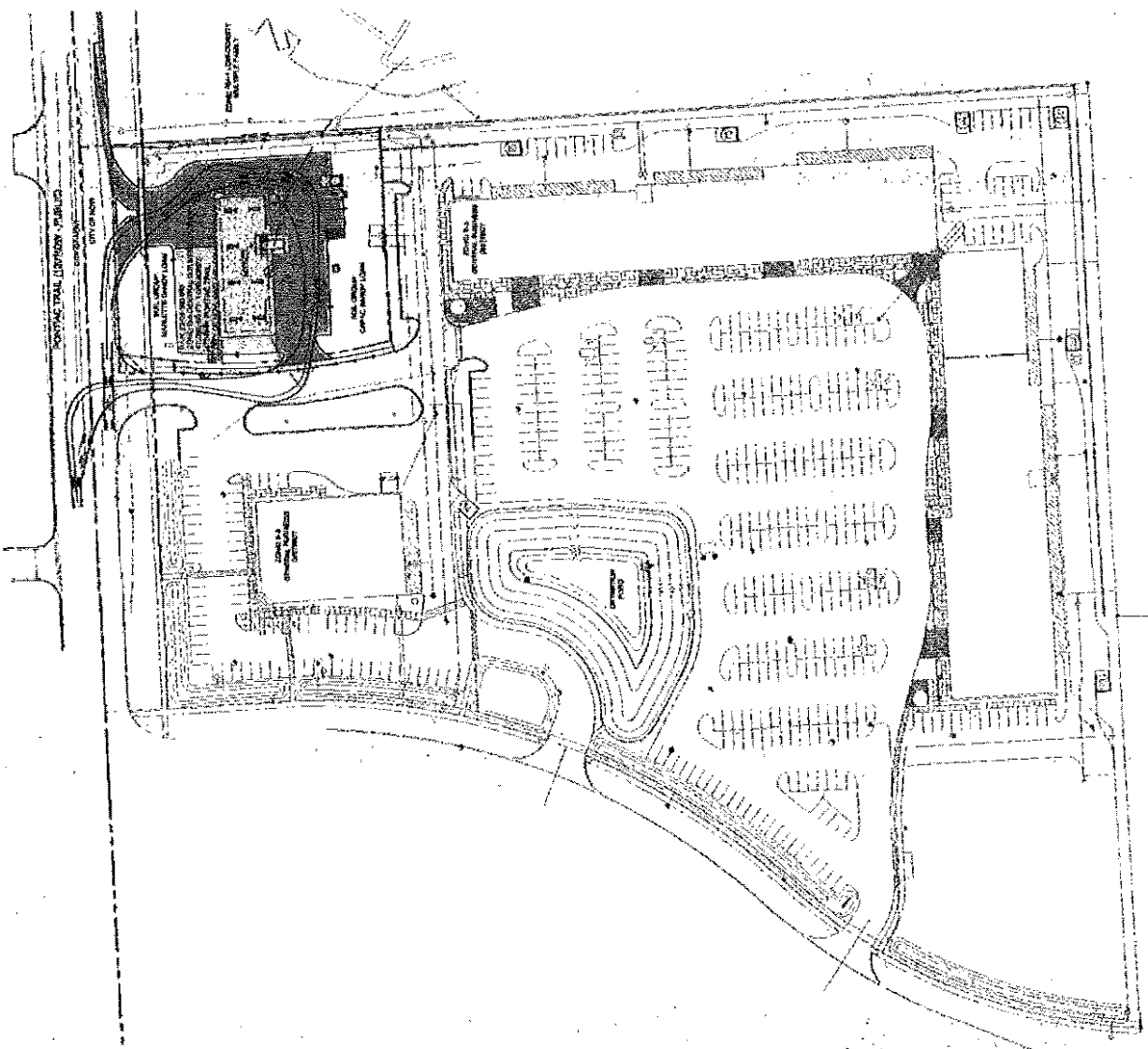
PROJECT DESCRIPTION:
 THE PROJECT CONSISTS OF THE CONSTRUCTION OF A RETAIL FUEL CENTER AND A BECK ROAD. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010.

LEGAL DESCRIPTION:
 THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010.

GENERAL NOTES:
 THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010.

NOTES TO GENERAL CONTRACTOR:
 THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010.

NOT FOR CONSTRUCTION:
 THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010. THE PROJECT IS SCHEDULED TO BE COMPLETED BY THE END OF 2010.



COMPOSITE SITE PLAN - PROPOSED CONSTRUCTION

SCALE: 1/8" = 1'-0"



Landplan Engineering, PA
 1000 W. 10th Street, Suite 100
 Erie, PA 16590
 Phone: 814-833-1111
 Fax: 814-833-1112
 Email: info@landplan.com



KROGER D-334
 RETAIL FUEL CENTER at BECK ROAD
 47045 PORTAGE TRAIL, #148380
 ROYAL, MI 48060
 COMPOSITE SITE PLAN - PROPOSED CONSTRUCTION

NO. OF SHEETS	2
NO. OF SHEETS USED	1
DATE	10/15/10



C-002
 PROJECT NO.
 SHEET NO.
 DATE

Landplan Engineering, P.A.
 10000 Lakeshore Drive, Suite 100
 Minneapolis, MN 55425
 Tel: 763-437-1100
 Fax: 763-437-1101
 www.landplan.com

Landplan Engineering, P.A.
 10000 Lakeshore Drive, Suite 100
 Minneapolis, MN 55425
 Tel: 763-437-1100
 Fax: 763-437-1101
 www.landplan.com



KROGER D-514
RETAIL FUEL CENTER
47045 PONTIAC TRAIL @ BECK ROAD
NOVI, MI 48390
DIMENSION CONTROL SITE PLAN

NO. 1	DATE	DESCRIPTION
1	11/11/10	ISSUED FOR PERMIT
2	01/14/11	REVISED PER COMMENTS
3	02/01/11	REVISED PER COMMENTS
4	02/01/11	REVISED PER COMMENTS



Scale: 1" = 40'
 Date: 11/11/10
 Project: Kroger D-514
 Location: 47045 Pontiac Trail @ Beck Road, Novi, MI 48390

C-200

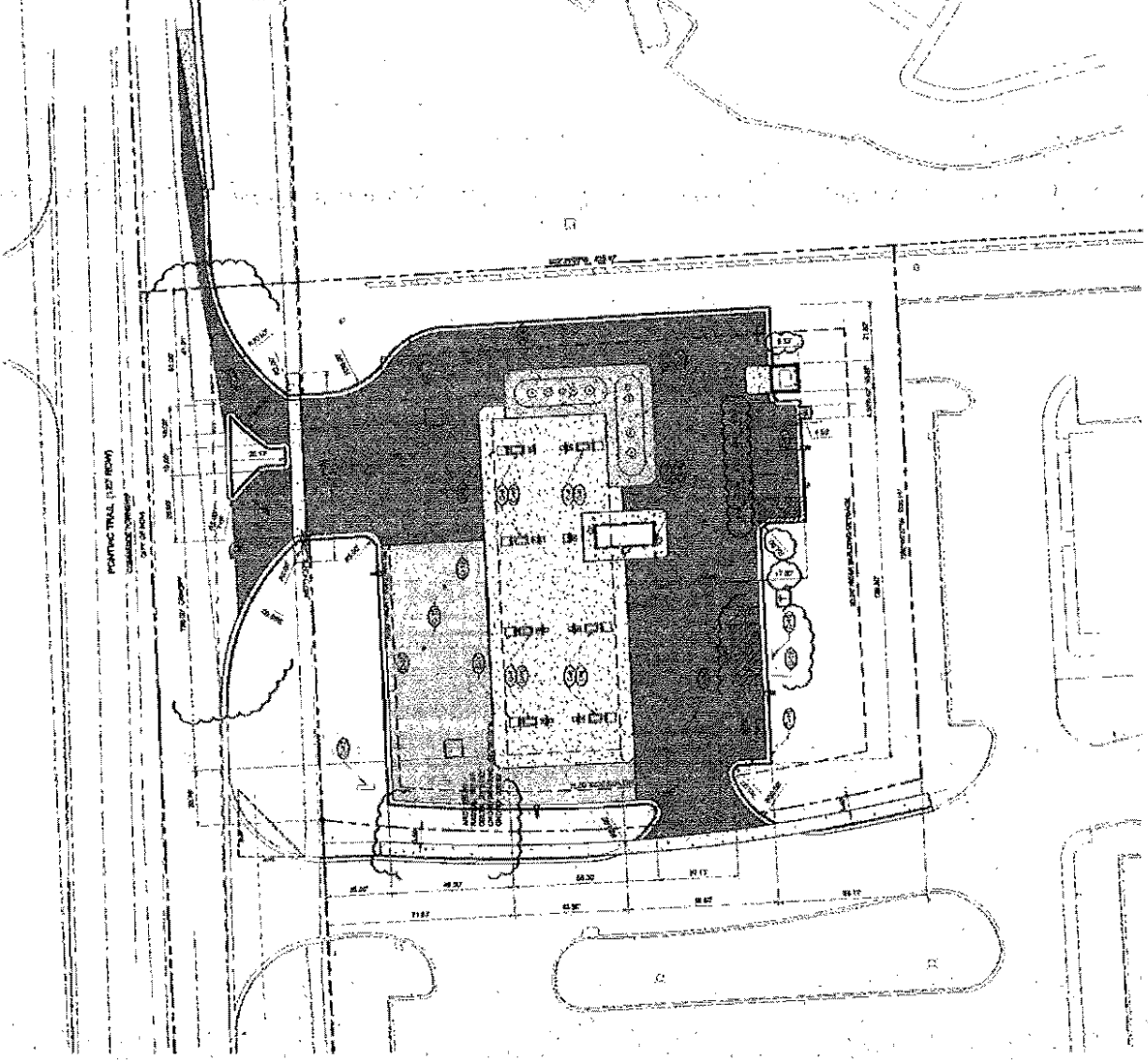
**PRELIMINARY SITE PLAN REVIEW
 NOT FOR CONSTRUCTION**

NOTES TO GENERAL CONTRACTOR:

1. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVI AND THE STATE OF MICHIGAN.
2. VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL UTILITIES AND STRUCTURES IN THE FIELD PRIOR TO CONSTRUCTION.
3. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF NOVI AND THE STATE OF MICHIGAN.
4. SEE SHEET 100 FOR OTHER DIMENSIONAL NOTES.

SCOPE OF WORK:

- 1. DEMOLITION OF EXISTING STRUCTURE.
- 2. CONSTRUCTION OF NEW STRUCTURE.
- 3. CONSTRUCTION OF NEW PAVEMENT.
- 4. CONSTRUCTION OF NEW SIDEWALKS.
- 5. CONSTRUCTION OF NEW DRIVEWAYS.
- 6. CONSTRUCTION OF NEW UTILITIES.
- 7. CONSTRUCTION OF NEW SIGNAGE.
- 8. CONSTRUCTION OF NEW LIGHTING.
- 9. CONSTRUCTION OF NEW FENCING.
- 10. CONSTRUCTION OF NEW LANDSCAPING.
- 11. CONSTRUCTION OF NEW EXTERIOR FINISHES.
- 12. CONSTRUCTION OF NEW INTERIOR FINISHES.
- 13. CONSTRUCTION OF NEW MECHANICAL SYSTEMS.
- 14. CONSTRUCTION OF NEW ELECTRICAL SYSTEMS.
- 15. CONSTRUCTION OF NEW PLUMBING SYSTEMS.
- 16. CONSTRUCTION OF NEW HVAC SYSTEMS.
- 17. CONSTRUCTION OF NEW INSULATION.
- 18. CONSTRUCTION OF NEW ROOFING.
- 19. CONSTRUCTION OF NEW WINDOWS.
- 20. CONSTRUCTION OF NEW DOORS.
- 21. CONSTRUCTION OF NEW STAIRS.
- 22. CONSTRUCTION OF NEW ELEVATORS.
- 23. CONSTRUCTION OF NEW RAMP.
- 24. CONSTRUCTION OF NEW ACCESSIBLE PATHWAYS.
- 25. CONSTRUCTION OF NEW SIGNAGE.
- 26. CONSTRUCTION OF NEW LIGHTING.
- 27. CONSTRUCTION OF NEW FENCING.
- 28. CONSTRUCTION OF NEW LANDSCAPING.
- 29. CONSTRUCTION OF NEW EXTERIOR FINISHES.
- 30. CONSTRUCTION OF NEW INTERIOR FINISHES.
- 31. CONSTRUCTION OF NEW MECHANICAL SYSTEMS.
- 32. CONSTRUCTION OF NEW ELECTRICAL SYSTEMS.
- 33. CONSTRUCTION OF NEW PLUMBING SYSTEMS.
- 34. CONSTRUCTION OF NEW HVAC SYSTEMS.
- 35. CONSTRUCTION OF NEW INSULATION.
- 36. CONSTRUCTION OF NEW ROOFING.
- 37. CONSTRUCTION OF NEW WINDOWS.
- 38. CONSTRUCTION OF NEW DOORS.
- 39. CONSTRUCTION OF NEW STAIRS.
- 40. CONSTRUCTION OF NEW ELEVATORS.
- 41. CONSTRUCTION OF NEW RAMP.
- 42. CONSTRUCTION OF NEW ACCESSIBLE PATHWAYS.



DIMENSION CONTROL SITE PLAN
 SCALE: 1" = 40'

MAPS
Location
Zoning
Future Land Use
Natural Features

Kroger Fuel Station JSP12-44

Location

W Pontiac Trl

Beck Rd



Subject Property

Wellington Dr

Ardmore Ct

Map Author: Kristen Kapelanski
Date: 11/07/12
Project: Kroger Fuel Station JSP 12-44
Version #: 1.0

Map Legend

-  Subject Property
-  City Incorporated Boundary



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org



1 inch = 140 feet

MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was prepared to assist National Map Accuracy Standards and use the most recent available sources available to the people of the City of Novi.
Boundary lines are shown with some variations and approximations and should not be construed as survey measurements performed by licensed Michigan Surveyors as defined in Michigan Public Act 212 of 1920 as amended. Please contact the City GIS Manager for additional source and accuracy information related to this map.

Kroger Fuel Station JSP12-44

Zoning

W. Pontiac Trl

Beck Rd

Subject Property

Wellington Dr

Ardmore Ct

Map Author: Kristen Kapelanski
 Date: 11-07-12
 Project: Kroger Fuel Station JSP 12-44
 Version #: 1.0

Map Legend

-  Subject Property
-  City Incorporated Boundary
-  RM-1: Low-Density Multiple Family
-  B-3: General Business District



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

0 30 60 120 180 240
 Feet

1 inch = 149 feet

MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or substitute for any official or primary source. This map was created from the most National Map Accuracy Standards and use the most recent available sources available to the staff of the City of Novi.
 Boundaries, measurements, and area calculations are approximate and should not be used for any purposes not intended by the original Michigan Survey as defined in Michigan Public Act 432 of 1930 as amended. Please contact the City GIS Manager for additional source and accuracy information regarding this map.

Kroger Fuel Station JSP12-44

Future Land Use

W Pontiac Trl

Beck Rd





Subject Property

Wellington Dr

Ardmore Ct

Map Author: Kristen Kapelanski
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Map Legend

-  Subject Property
-  City Incorporated Boundary
-  Multiple Family
-  Community Commercial



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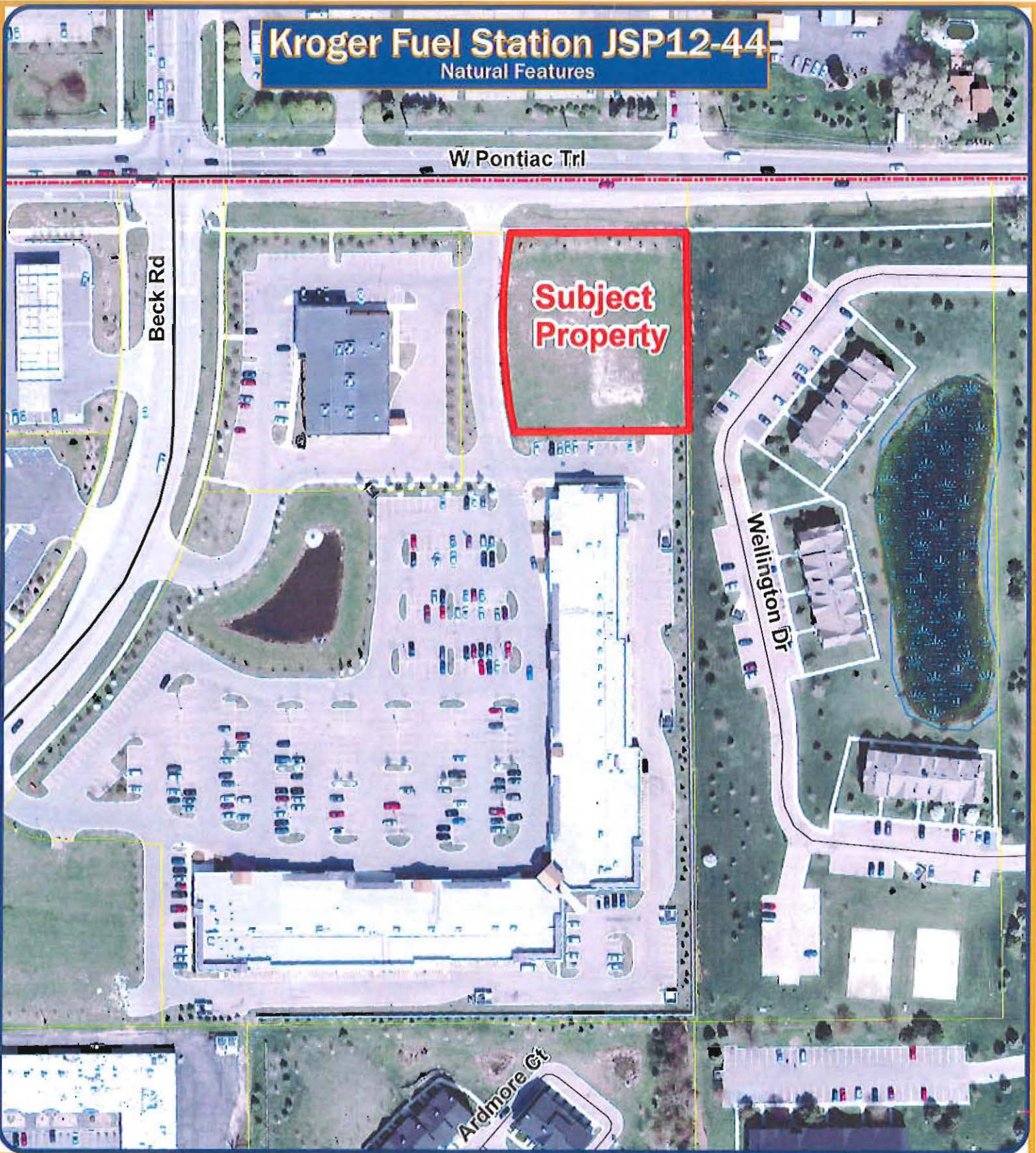


1 inch = 149 feet

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Kroger Fuel Station JSP12-44

Natural Features



Map Author: Kristen Kapelanski
 Date: 11/07/12
 Project: Kroger Fuel Station JSP 12-44
 Version #: 1.0

Map Legend

-  Subject Property
-  City Incorporated Boundary
-  Wetlands
-  Woodlands

MAP INTERPRETATION NOTICE
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