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CROSSFIT GYM JSP12-70

CROSSFIT GYM JSP12-70

Consideration of the request of Phil DiPrima for Preliminary Site Plan approval, Special Land Use permit approval and Stormwater Management Plan approval. The subject property is located in Section 16, at 46039 Grand River Avenue, east of Beck Road in the I-1, Light Industrial District. The subject property is approximately 7.7 acres and the applicant is proposing to occupy a 5,500 square foot space for an indoor fitness facility and create eight parking spaces on the site.

Required Action

Approve/deny the Preliminary Site Plan, Special Land Use permit and Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	11-13-12	<ul style="list-style-type: none">• Waiver of the Noise Impact Statement requested and recommended• Agreement to be updated and signed stating no tenants may occupy any portion of the northwestern building or the remaining space in the northeastern building until additional parking is provided• Items to be addressed on Final Site Plan.
Engineering	Approval recommended	11-20-12	Items to be addressed on the Final Site Plan.
Fire	Approval recommended	11-07-12	Parking spaces '7' and '8' must be relocated

Motion sheet

Approval – Special Land Use Permit

In the matter of Crossfit Gym, JSP12-70, motion to **approve** the Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - The proposed use will not cause any detrimental impact on existing thoroughfares *(given the size of the new use)*;
 - The proposed use will not cause any detrimental impact on the capabilities of public services and facilities *(given the size of the new use)*;
 - The proposed use is compatible with the natural features and characteristics of the land *(because the plan does not impact any natural features)*;
 - The proposed use is compatible with adjacent uses of land *(because the proposed use is located far from the existing adjacent residential)*;
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
 - The proposed use will promote the use of land in a socially and economically desirable manner;
 - The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. *(additional comments here if any)*

(because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Preliminary Site Plan

In the matter of Crossfit Gym, JSP12-70, motion to **approve** the Preliminary Site Plan, subject to the following:

- a. Staff updating and the applicant signing the revised agreement indicating no tenants may occupy any portion of the northwestern building on the site or the remaining space in the northeastern building on the site until additional parking is provided;
- b. The applicant relocating spaces '7' and '8', as indicated in the fire review letter;
- c. Waiver of the required Noise Impact Statement *(because the applicant will not be adding any noise generating equipment to the site)*;
- d. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan submittal; and
- e. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan

In the matter of Crossfit Gym, JSP12-70, motion to **approve** the Stormwater Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the next plan submittal; and
- b. *(additional conditions here if any)*

(because the plan is otherwise in compliance with Chapters 11 and 12 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Denial – Special Land Use Permit

In the matter of Crossfit Gym, JSP12-70, motion to **deny** the Special Land Use permit for the following reasons...(because it is not in compliance with the Ordinance.)

Denial - Preliminary Site Plan

In the matter of Crossfit Gym, JSP12-70, motion to **deny** the Preliminary Site Plan for the following reasons...(because it is not in compliance with the Ordinance.)

Denial - Stormwater Management Plan

In the matter of Crossfit Gym, JSP12-70, motion to **deny** the Stormwater Management Plan, for the following reasons...(because it is not in compliance with Chapters 11 and 12 of the Ordinance.)

PLANNING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

November 13, 2012

Planning Review

CrossFit Gym

JSP# 12-70

Petitioner

Phil DiPrima

Review Type

Special Land Use Request and Site Plan Approval

Property Characteristics

- Site Location: 46039 Grand River, east of Beck Road
- Site School District: Novi Community School District
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North: Grand River Ave., OST, EXO ; East and West: I-1; South: RA, OST
- Site Use(s): Total Sports Roller Hockey and vacant Industrial buildings
- Adjoining Uses: North: Grand River Ave., Suburban Collection Showplace, Wilkins Parts and Equipment; East: Existing house; West: Vacant; South: Existing single-family homes
- Site Size: 7.7 acres
- Size of Tenant Space: 5,500 sq. ft.
- Plan Date: 10/29/12

Project Summary

The applicant is proposing to occupy an approximately 5,500 square foot space inside an existing industrial building at 46039 Grand River Avenue and restripe the parking lot to accommodate this change in use. The new tenant would be CrossFit, an indoor fitness facility concentrating on fitness classes. An indoor fitness facility is a Special Land Use in the I-1 district when adjacent to residential. The subject property is adjacent to residential on the southern side. Minor exterior changes to the site are proposed including parking lot restriping.

Recommendation

Provided the applicant receives a waiver of or provides the required Noise Impact Statement, approval of the *Special Land Use Permit is recommended*. In its recommendation the Planning Commission will need to consider the standards for Special Land Use consideration, as described below.

Provided the Planning Commission approves the Special Land Use Permit, the applicant should relocate spaces "7 and 8" as required by the Fire Department's review letter and submit a plan for revised Site Plan Review. In addition, no tenants may occupy any portion of the northwestern building or the remaining space in the northeastern building (7,052 sq. ft. remaining) until additional parking is provided. The City will update and the applicant will be required to sign the previously executed acknowledgement that these spaces cannot be occupied until additional parking is provided.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Since the proposed exterior changes to the site are relatively minor, they will be approved administratively. The Planning Commission only needs to take action on the Special Land Use Permit and not on the site plan itself.

1. Noise Impact Statement: A fitness facility in the I-1 District requires the submission of a Noise Impact Statement when adjacent to residential zoning. In this case, the Community Development Department recommends that the applicant seek and the Planning Commission grant a waiver of the Noise Impact Statement requirement. The proposed use will not add any noise-generating rooftop equipment to the existing building and no other measurable noise is expected as a result of this Special Land Use Permit. The proposed use is a substantial distance from the existing residences. The applicant should submit a letter requesting a waiver of the Noise Impact Statement prior to the Planning Commission meeting. The Planning Commission may waive any of these requirements if the applicant demonstrates a hardship or if the Special Land Use will clearly fall within the noise standards.
2. Parking Spaces: The applicant should modify the striping plan to accommodate the concerns of the Fire Marshal and submit plans for revised Site Plan review. All parking shown on the approved site plan will need to be constructed by the time CrossFit occupies their tenant space and occupancy of the remaining unoccupied space on the site will not be permitted until additional parking can be created.

Special Land Use Considerations

In the I-1 District, a fitness facility falls under the Special Land Use requirements when adjacent to residential zoning. Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning

districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this review letter is requested **prior to the matter being reviewed by the Planning Commission.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 20, 2012

Engineering Review

CrossFit Novi
JSP12-0070

Petitioner

Phil DiPrima, applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River and W. of Taft Rd.
- Site Size: 6.36 acres
- Plan Date: October 29, 2012

Project Summary

- 8 stall expansion of an existing parking lot
- Storm water would be collected by the existing storm sewer collection system and discharged into the Grand River District regional detention basin.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Storm Water Management Plan

3. Provide calculations for the increase in impervious area.

Paving & Grading

4. Dimensions of parking stalls abutting a curb or sidewalk are to the face of curb or walk. All other dimensions are to back of curb unless otherwise indicated.
5. All stalls must be 19 feet by 9 feet. In instances where vehicles overhang a sidewalk or landscape area, the parking stall may be reduced in length to 17 feet, the curbing shall be reduced to four (4") inches in height, and the sidewalk shall have a minimum width of seven (7) feet.
6. Provide existing topography and 2-foot contours extending at least 100 feet past the site boundary. Any off-site drainage entering this site shall be identified.

The following must be submitted at the time of Final Site Plan submittal:

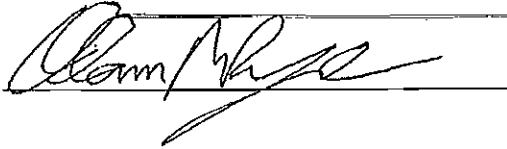
7. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
8. An Itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be addressed prior to construction:

9. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
10. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
11. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
12. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.

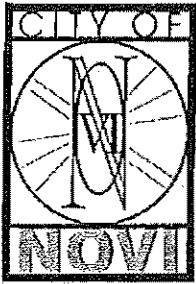
13. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
14. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
15. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department

FIRE REVIEW



November 7, 2012

TO: Barbara McBeth, Deputy Director of Community Development
Joseph Shelton, Fire Marshal

RE: Preliminary Site Plan – CrossFit Gym, 46001 Grandriver

JSP#: 12-70

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

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City Manager
Clay J. Pearson

Director of Public Safety
Chief of Police
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrold S. Hart

Project Description:

Addition or renovation of partial vacant building for new tenant. Crossfit Gym, 5500 Sq Ft, of 12,552 total building.

Comments:

Plan calls for a requirement of 11 new parking spaces on site, sharing with Total Roller Hockey tenant (46039 Grandriver). Total site parking of 112 cars/spaces.

2 New parking spaces listed on east side – listed as items #7 & #8, locations are unacceptable due to parking width/length requirements and location to FDC connection (at the 46039 Grandriver building). These spaces and the existing spaces at other tenant (Total Roller Hockey), would create an obstruction and access problems for fire apparatus. These 2 additional parking spaces need to be relocated.

Recommendation:

Site plan is acceptable with respect to Fire Apparatus turning radius and hydrant locations, however item above, needs to be addressed before construction or painting of spaces.

Sincerely,

Andrew Copeland – Inspector III/CFPE
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0690 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

Petitioners: Phil DiPrima & Jason Ritchie

Proposed Business: Crossfit Novi

Proposed Location: 46001 Grand River Ave

JSP- #12-70

12/3/2013

Review Response Letter

Kristen,

We'd like to start by thanking you and everyone else involved for your part in helping to get our business open and running in Novi. Opening Crossfit Novi has been a dream of ours for quite some time and we are very excited to bring our knowledge and passion to the city on a large scale.

Business Model

Please allow me to further elaborate on our business model. We are proposing to open Crossfit Novi. Crossfit is a proven strength and conditioning program for everyone. We coach everyone from younger children to seniors in becoming better and ready at everything physical in life. We condition athletes in becoming better at their game. Coach moms and dads to become stronger, lose weight and build confidence as well as help seniors regain their independence. One of our goals is to become involved with the local community and begin educating and motivating the people of Novi in becoming Stronger, healthy and fit. After seeing themselves change, both mentally and physically, people rarely quit after starting Crossfit with us.

Building Space

As pertaining to the Review letter, we are proposing to occupy part of the building at 46001 Grand River Ave. We have negotiated a lease agreement with the owner to occupy approximately 6600 square feet of the entire building. The area includes 5500sqft of the North warehouse as well as 1100sqft (Half) of the front office space.

Business Hours and Parking

Our projected hours of operation on the weekdays will be mornings from 5:30AM-11:30AM and evenings from 3:30PM-8:30PM. Our weekend schedule will be mornings from 5:30AM-12:00PM. Considering our one hour sessions, we will have no conflict in parking spaces with the Total Sports facility located behind us. Also, our highest attended sessions are held during hours when Total Sports is not open for business.

Improvements

We have proposed some improvements to the owner. We are proposing to paint the entire exterior of the building in the spring as weather permits. We have already completed a general site clean-up at the location to improve curb appeal and plan for minor landscape enhancements in the spring. As part of our agreement, the owner has taken the responsibility in adding the required parking spaces as outlined by the city. He is providing drawings and plans on our behalf.

Response to Special Land Use considerations

- Due to our business model as a gym, all of our members will be arriving to our location via car or truck and will be parking in designated spaces only. After our initial setup, we will not be receiving daily, weekly or monthly deliveries of any sort. Due to our one hour sessions throughout the day, the low volume of vehicles leaving our facility per session, will not impact traffic on Grand River.
- With our members parking in designated parking spaces, no outside equipment and no deliveries from larger semi trailers or trucks, we will not cause any impact on the capabilities of any public service.
- As a gym and our operations being held inside the building, our use is compatible with all surrounding land, woodlands, wetlands, watercourses and wildlife.
- With our operations being held indoors, no machine use or loud equipment, we will be compatible with all adjacent property and surrounding neighborhoods.
- I believe we can be a great compliment to the Cities Master Plan for this area. The building we are proposing to occupy is an industrial building that has sat empty for quite some time. We are a unique type of fitness operation that requires more of an industrial type building with higher ceilings. Our proposed plan in occupying this location is helping by filling this space with something more consistent with the current surroundings.
- Crossfit Novi will offer our programs to virtually everyone, therefore bringing the community together, as well as bringing new visitors to the area. Because of Crossfit's effectiveness and ability in changing people, both inside and out, members develop close friendships and bonds within the gym and the Crossfit community. We believe our gym will be a positive addition to the community, both socially and economically.
- Our proposed use as a fitness facility does fall under the provisions of uses requiring special land use review. The gym use is in harmony with purposes and conforms to the applicable site design and layout of the I-1 Zoning.

Thank you,

Jason Ritchie

Crossfit Novi

Petitioners: Phil DiPrima & Jason Ritchie

Proposed Business: Crossfit Novi

Proposed Location: 46001 Grand River Ave

JSP- #12-70

12/3/2013

Waiver of Noise Impact Statement

To whom it may concern,

It has been brought to our attention that due to our proposed fitness facility being located within the I-1 district, we will need to submit a Noise Statement. Due to the nature of our gym operations, we will be holding classes within the confinements of the building. With the residential areas in question being a far distance away, we will not pose an issue with regard to excess noise. We do not use machines of any kind in our training and any music would be kept low enough for our members to hear the coaches on site at all times. Without the risk of any excess noise, we are asking the Planning Commission to grant a waiver of the required Noise Impact Statement.

Thank You,

Phil DiPrima

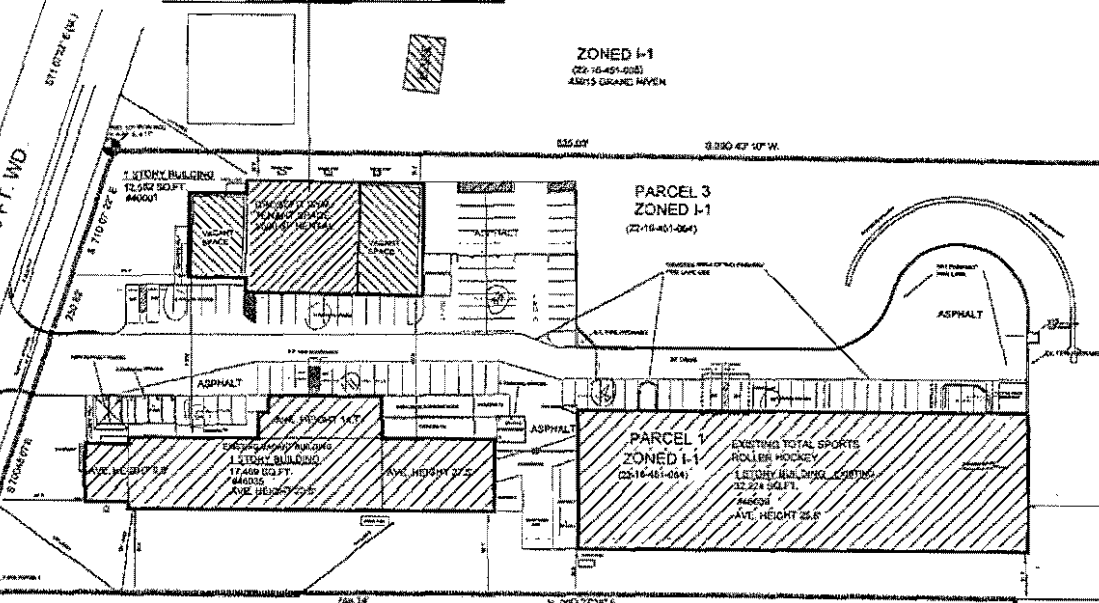
Crossfit Novi

SITE PLAN

TAFT ROAD
 3 00 09'30" W (M.) 1326.31' (M.)
 EAST LINE OF SECTION 16
EAST 1/4 CORNER SECTION 16
 T.1N., R.8E.,
 CITY OF NOVI
 FOUND 12" IRON ROD W/ REMON CAP
 FOUND P/K W/ REMON TAG N.W. SIDE
 3" MAPLE - N. 34.1, 35.54'
 FOUND P/K W/ REMON TAG SOUTH SIDE
 1" CEDAR - S. 80.6, 41.79'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S. 84.2, 28.84'
 FOUND P/K W/ REMON TAG NORTH SIDE
 POWER POLE - S. 81.6, 27.25'
 (PENDING REMON PEER GROUP APPROVAL)

TAFT ROAD
 3 00 29'40" E (M.) 3548.10' (M.)
 NORTH & SOUTH 1/4 LINE SECTION 16
CENTER CORNER SECTION 16
 T.1N., R.8E.,
 CITY OF NOVI
 FOUND 12" IRON ROD
 HENCE POST - S. 09W 28.79'
 CENTERLINE DOLYON HYDRANT
 - S. 50E 89.52'
 FOUND P/K EASTERN FACE
 POWER POLE - N. 66E 77.50'
 SOUTH EDGE OF ASPHALT
 PAVEMENT - NORTH 13.0'

PROPOSED CROSSFIT GYM SPACE



TOTAL AREA PARCELS 1, 2 & 3
 344,253 S.F. OR 7.673 ACRES

SOUTH 1/4 CORNER SECTION 16
 T.1N., R.8E.,
 CITY OF NOVI
 FOUND 12" IRON ROD IN MEASUREMENT BOX
 FOUND P/K W/ REMON TAG EAST SIDE
 2" OAK - N. 81W 28.54'
 FOUND P/K W/ REMON TAG SOUTH SIDE
 2" APPLE - N. 77E 79.69'
 FOUND P/K W/ REMON TAG SOUTH-WEST
 SIDE 1" WALNUT - S. 80E 109.82'
 FOUND P/K W/ REMON TAG EAST SIDE
 TELEPHONE POLE - S. 81W 25.27'
 (LIRC 2516, L. 1202) P. 781 (CCL)
 (PENDING REMON PEER GROUP APPROVAL)

PARKING REQUIREMENT

PARKING REQUIRED FOR TOTAL SPORT'S 100 CARS
 PARKING REQUIRED FOR CROSSFIT GYM 11 CARS
 1 PARKING SPACE PER 5.5 MEMBERS
 (60 MEMBERS / 5.5 = 11 ADDITIONAL SPACES)
 104 CARS ON ORIGINAL SITE DESIGN
 8 ADDITIONAL PARKING SPACES REQUIRED & PROVIDED

112 CARS NOW SHOWN ON PLAN

CROSSFIT ADDITIONAL PARKING

SCALE 1" = 40'

TAFT ROAD
 5 00 50'00" E (M.) 1326.31' (M.) 5 00 58'30" W (M.) 1328.51' (M.)
 EAST LINE OF SECTION 16

S.E. CORNER SECTION 16
 T.1N., R.8E.,
 CITY OF NOVI
 FOUND IRON W/ BRASS REMON CAP
 IN MEASUREMENT BOX
 FOUND P/K W/ REMON TAG N.W.
 SIDE POWER POLE - N. 87E 83.11'
 FOUND P/K W/ REMON TAG S.W.
 SIDE POWER POLE - S. 43E 75.79'
 FOUND P/K W/ REMON TAG S.E.
 SIDE TELEPHONE POLE - S. 74W 98.58'
 FOUND P/K W/ REMON TAG N.E.
 SIDE 6" PINE - N. 67W - 70.50'
 (LIRC 1300, L. 7847 P. 888 & 889 (CCL))
 (PENDING REMON PEER GROUP APPROVAL)

CENTER 16TH CORNER OF SOUTHEAST 1/4
 T.1N., R.8E.,
 CITY OF NOVI
 FOUND IRON W/ CAP 82245
 N. 022. W. 6.17'
 PUNCH MARK, N. 88W SANITARY
 MANHOLE - N. 30W 21.49'
 FOUND 604 S/PK W/ DIRT 82245
 N.E. FACE 12" HICKORY - S. 00E 23.64'
 FOUND 604 S/PK W/ DIRT 82245
 WEST FACE 32" OLM - S. 45W 28.60'
 FOUND 805 S/PK W/ DIRT 82245 & E.
 FACE 30" BOX ELOCH - S. 05W 42.71'
 (LIRC 2116, L. 11225 P. 595 (CCL))

PARCEL 2 ZONED I-1
 (22-10-401-064)

ZONED I-1
 (22-10-401-043)
 40589 GRAND RIVER

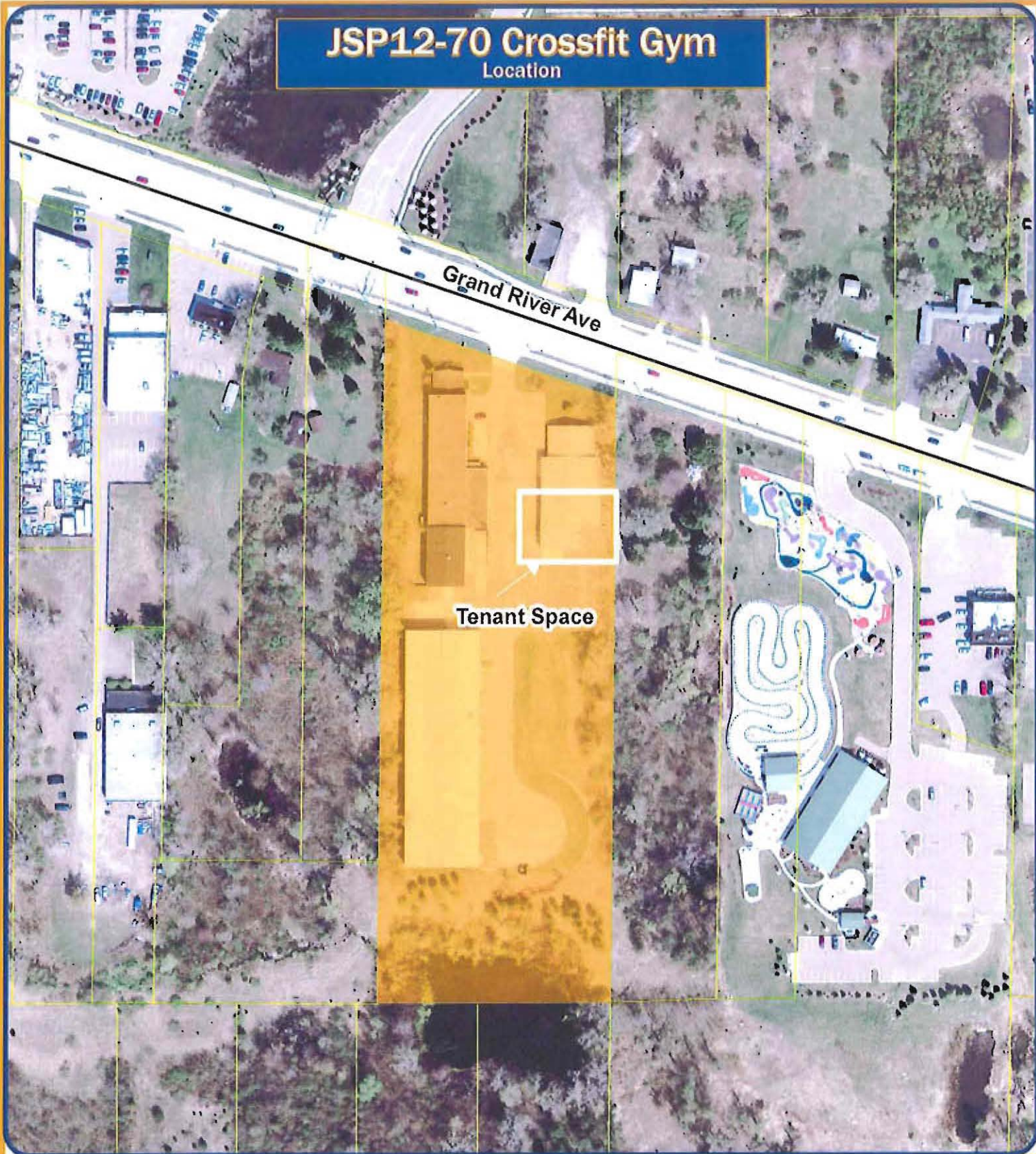
SURVEYOR: MICHELLE & LINDSEY ASSOCIATES, INC.
 3741 FREMONT
 LYONS, MICHIGAN 48132
 PHONE: 734-432-9777

DATE: 11/20/20
 CROSSFIT GYM
 JEFF HEYN - DEVELOPER
 46039 GRAND RIVER AVE. NOVI, MICHIGAN 48220
 JOHN STEWART ARCHITECTS
 10000 WOODCROFT WILCOX MICHIGAN 48061 248-551-0959
 SHEET: A-1

MAPS
Location
Zoning
Future Land Use
Natural Features


JSP12-70 Crossfit Gym

Location



Map Author: Kristen Kapelanski
Date: 12-03-12
Project: JSP12-70 Crossfit
Version #: 1.0

Map Legend

 Subject Property



City of Novi

Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

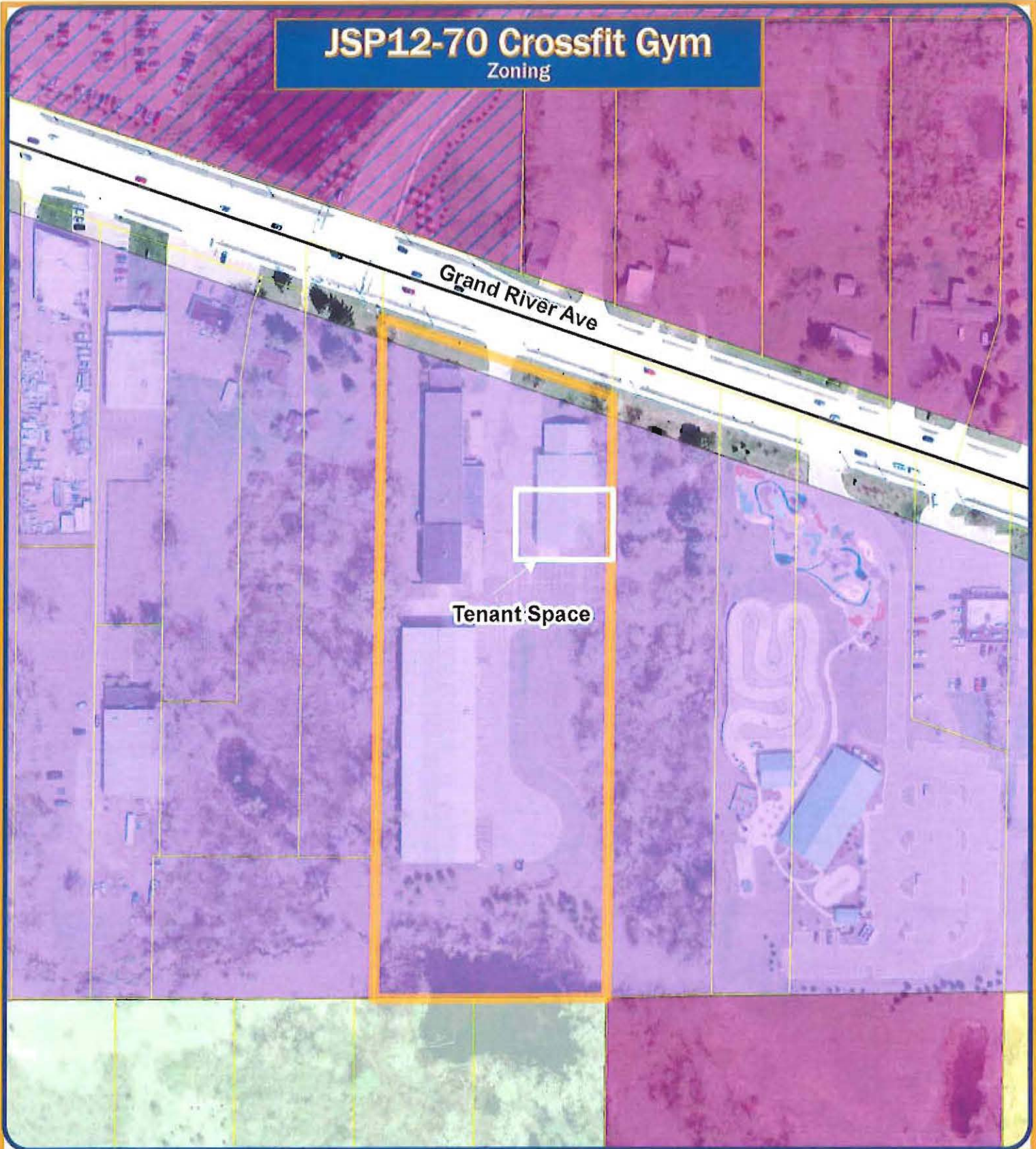
MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official regulatory scheme. This map is intended to assist technical staff, business, citizens, and the general public in understanding various activities in the people of the City of Novi. Boundaries and measurements used on this map have been approximated and should not be considered as having any legal or official status. A licensed Michigan Surveyor is defined in Michigan Public Act 452 of 1976 as licensed. Please contact the City GIS Manager for further details and accurate information relative to this map.

Feet
0 35 70 140 210 280

1 inch = 179 feet

JSP12-70 Crossfit Gym

Zoning



Map Author: Kirsten Kapelanska
 Date: 12-03-12
 Project: JSP12-70 Crossfit
 Version #: 1.0

MAP INTERPRETATION NOTICE
 Map information depicted is not intended to replace or reflect the
 any official or private survey. This map was prepared to assist
 National Map Accuracy Standards and use. We warrant correct
 accuracy is available to the people of the City of Novi.
 Boundary measurements and calculations, not approved
 and should not be considered as survey measurements authorized by
 a licensed Michigan Surveyor as defined in Michigan Public Act 132
 of 1979 as amended. Please contact the City GIS Manager to
 confirm source and accuracy information related to this map.

Map Legend	
	Subject Property
	R-A: Residential Acreage
	R-2: One-Family Residential District
	EXO: OST District with EXO Overlay
	I-1: Light Industrial District
	OST: Office Service Technology



City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



JSP12-70 Crossfit Gym

Future Land Use

Grand River Ave

Tenant Space

Map Author: Kristen Kapelanski
Date: 12-03-12
Project: JSP12-70 Crossfit
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information is derived from aerial photography and is intended to provide a visual reference for use only. It is not intended to be used for any official or planning purposes. This map was prepared by the City of Novi Planning Division. The City of Novi is not responsible for any errors or omissions. The City of Novi is not responsible for any errors or omissions. The City of Novi is not responsible for any errors or omissions. The City of Novi is not responsible for any errors or omissions.

Map Legend

-  Subject Property
-  Single Family
-  Office RD Tech
-  Industrial RD Tech



City of Novi

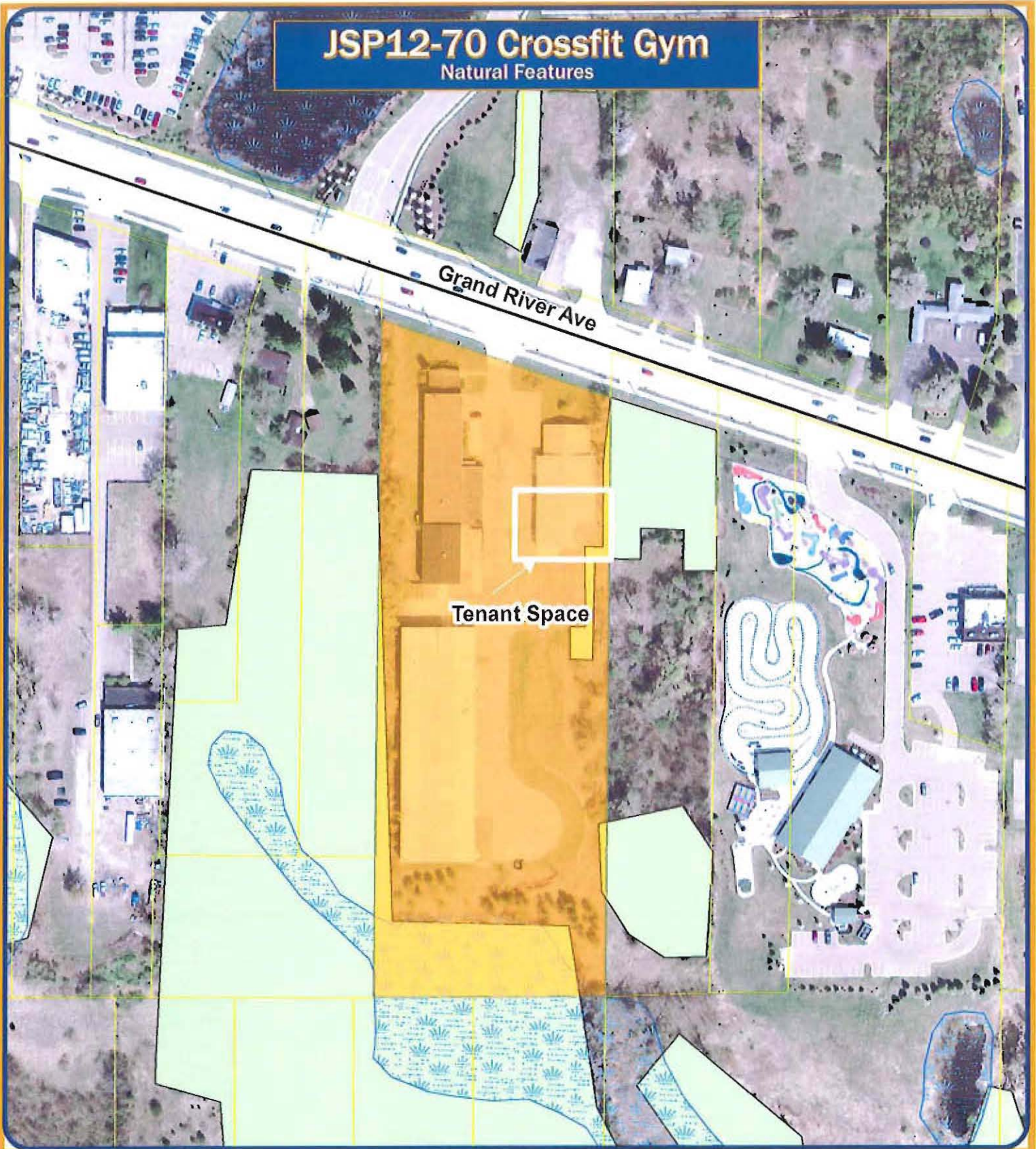
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

0 35 70 140 210 280
Feet

1 inch = 175 feet

JSP12-70 Crossfit Gym

Natural Features



Map Author: Kristen Kapelanski
 Date: 12-03-12
 Project: JSP12-70 Crossfit
 Version #: 1.0

Map Legend	
	Subject Property
	Wetlands
	Woodlands



City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

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1 inch = 179 feet