

GENERAL NOTES

- VERIFY ALL CONDITIONS GOVERNING OR AFFECTING THE STRUCTURAL WORK. OBTAIN AND VERIFY ALL DIMENSIONS TO ENSURE THE FACTOR STRENGTH, FIT AND LOCATION OF THE STRUCTURAL WORK. REPORT TO THE ENGINEER ANY AND ALL CONDITIONS WHICH MAY INTERFERE WITH OR OTHERWISE AFFECT OR PREVENT THE PROPER EXECUTION AND COMPLETION OF THE WORK.
- THIS CONTRACTOR SHALL MAKE ALL NECESSARY FIELD MEASUREMENTS AS REQUIRED FOR CONNECTIONS TO ADJOINING WORK. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS AND ELEVATIONS ON THE DRAWINGS BEFORE COMMENCING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE OWNER'S RESIDENT ENGINEER.
- ALL CONSTRUCTION SHALL COMPLY FULLY WITH THE APPLICABLE PROVISIONS OF NATIONAL OCCUPATIONAL SAFETY AND HEALTH REQUIREMENTS, THE LOCAL BOCA BUILDING CODE, LATEST EDITION, AND ALL REQUIREMENTS SPECIFIED IN THE CODE SHALL BE ADHERED TO AS IF THEY WERE CALLED FOR OR SHOWN ON THE DRAWINGS. THIS SHALL NOT BE CONSTRUED TO MEAN THAT ANY REQUIREMENTS SET FORTH ON THE DRAWINGS MAY BE MODIFIED BECAUSE THEY ARE MORE STRINGENT THAN THE CODE REQUIREMENTS OR BECAUSE THEY ARE NOT SPECIFICALLY REQUIRED BY CODE.
- ANY EXISTING CONSTRUCTION TO BE MODIFIED AS A PART OF THIS CONTRACT SHALL BE REBUILT AS REQUIRED, TO THE SATISFACTION OF THE ENGINEER.
- EXISTING CONSTRUCTION NOT UNDERGOING ALTERATION IS TO REMAIN UNDISTURBED. WHERE SUCH CONSTRUCTION IS DISTURBED AS A RESULT OF THE OPERATIONS OF THIS CONTRACT, IT SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AS REQUIRED AND TO THE SATISFACTION OF THE ENGINEER.
- ALL WORK SHOWN ON THESE DRAWINGS MAY BE CHECKED BY AN INDEPENDENT TESTING AGENCY RETAINED BY OWNER OR PRIME CONTRACTOR TO ENSURE COMPLIANCE WITH THE REQUIREMENTS SHOWN ON THE DRAWINGS. THE CONTRACTOR SHALL PROVIDE ACCESS AS REQUIRED FOR TESTING PURPOSES.
- ALL WORK SHALL CONFORM TO THE MOST RESTRICTIVE STANDARDS OF THE FOLLOWING CODES:
 - THE BOCA NATIONAL BUILDING CODE - 1998, MICHIGAN BUILDING CODE 2000
 - "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN", 4TH EDITION, AISC.
 - ANSI D11, 1948 "STRUCTURAL WELDING CODE - STEEL", BY AWS.
 - ANSI D11, 1944 "SHEET METAL WELDING CODE - STEEL", BY AWS.

STRUCTURAL STEEL - UNLESS OTHERWISE NOTED

- ALL STRUCTURAL STEEL SHALL BE DETAILED, SHOP PRIME PAINTED, PIECE MARKED, FINISHED, FABRICATED AND ERIGED ACCORDING TO THE AISC "SPECIFICATION FOR STRUCTURAL STEEL BUILDINGS - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN" DATED JAN 1, 1989, AND TO THE AISC "CODE OF STANDARD PRACTICE".
- STRUCTURAL SHAPES SHALL CONFORM TO ASTM A992 GRADE 50 (FY=50 KSI), PLATES AND ANGLES SHALL CONFORM TO ASTM A572 (FY=50 KSI). STRUCTURAL TUBES SHALL CONFORM TO ASTM A500 GRADE B (FY=48 KSI). COLD FORMED SHAPES SHALL CONFORM TO ASTM A653 (FY=50 KSI).
- ALL CONNECTIONS SHALL BE HIGH STRENGTH BOLTED, AS NOTED ON THE DESIGN DRAWINGS.
- ALL STEEL SHALL BE SHOP PRIME PAINTED, FIELD TOUCH UP ALL EXPOSED STEEL OR DAMAGED PRIME PAINTED SURFACES.
- STRUCTURAL STEEL SHALL NOT BE ALTERED IN THE FIELD FROM THAT SHOWN ON THE DESIGN DRAWINGS. MISMATCHED HOLES SHALL BE REAMED TO A LARGER DIAMETER, CUTTING, BURNING, OR WELDING NOT SHOWN ON DESIGN DRAWINGS SHALL NOT BE PERFORMED WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ENGINEER.

WELDS

- WELDS SHALL BE IN ACCORDANCE WITH "STRUCTURAL WELDING CODE-STEEL" D11-48 AMERICAN WELDING SOCIETY DATED NOV. 9, 1947. ELECTRODES FOR WELDS SHALL BE IN ACCORDANCE WITH AWS E1.1 OR E5.1, E70XX.
- ALL WELDED JOINTS SHALL BE MADE USING THOSE PROCEDURES OR QUALIFIED PER CHAPTER 5 OF THE STRUCTURAL WELDING CODE OF THE AMERICAN WELDING SOCIETY (AWS). ALL QUALIFIED JOINTS ARE LIMITED TO THOSE MADE BY THE FOLLOWING WELDING PROCEDURES:
 - MANUAL SHIELDED METAL ARC, SUBMERGED ARC, GAS METAL ARC (EXCEPT SHORT CIRCUITING TRANSFER), AND PLUX-CORED ARC.
- WELDS SHALL BE MADE ONLY BY WELDERS AND WELDING OPERATORS WHO HAVE BEEN PREVIOUSLY QUALIFIED BY TESTS AS PRESCRIBED BY THE STRUCTURAL WELDING CODE OF THE AMERICAN WELDING SOCIETY AND HAVE CURRENT PAPERS FOR THE TYPE OF JOINT TO BE WELDED.
- CONTRACTOR TO SUBMIT CURRENT WELDER QUALIFICATION CERTIFICATION TO ENGINEER PRIOR TO COMMENCING INSTALLATION.
- THE MINIMUM SIZE FILLET WELD SHALL BE 3/16" HIGH UNL. THE SIZE AND LENGTH OF ALL FILLETS SHALL BE PROPORTIONED NOT TO LOCALLY OVERSTRESS THE CONNECTED MEMBERS.
- BEFORE WELDING MEMBERS TO EXISTING BEAMS OR COLUMNS, THOROUGHLY CLEAN ALL SURFACES TO REMOVE RUST, PAINT, DIRT OR OTHER FOREIGN MATTER IN THE AREA OF WELD.
- WHERE WELDING IS USED, THE OWNER OR PRIME CONTRACTOR MAY DECIDE TO MAKE NON-DESTRUCTIVE TESTS OF THE WELDS USING RADIOGRAPHY, ULTRASONIC TESTING, MAGNETIC PARTICLE TESTING AND DIE PENETRANT TESTING IN COMBINATION OR SEPARATELY. THE NON-DESTRUCTIVE INVESTIGATION WILL BE PERFORMED BY AN INDEPENDENT TESTING LABORATORY QUALIFIED IN THIS TYPE OF WORK. THE COST OF THIS INVESTIGATION WILL BE ASSUMED BY THE OWNER OR PRIME CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE ACCESS AS REQUIRED FOR TESTING LAB PERSONNEL.
- WELD ACCEPTABILITY SHALL BE BASED ON AWS D11-48 "STRUCTURAL WELDING CODE-STEEL". IN THE EVENT THE WELDING IS NOT ACCEPTABLE, THE CONTRACTOR SHALL REMOVE ALL REJECTED WELDING AND REWELD ALL SUCH AREAS. THE CONTRACTOR WILL THEN ASSUME ALL COSTS IN CONNECTION WITH THE REWELDING AND RE-EXAMINATION OF THE RE WELDED CONNECTIONS, UNTIL WELDING IS ACCEPTED.

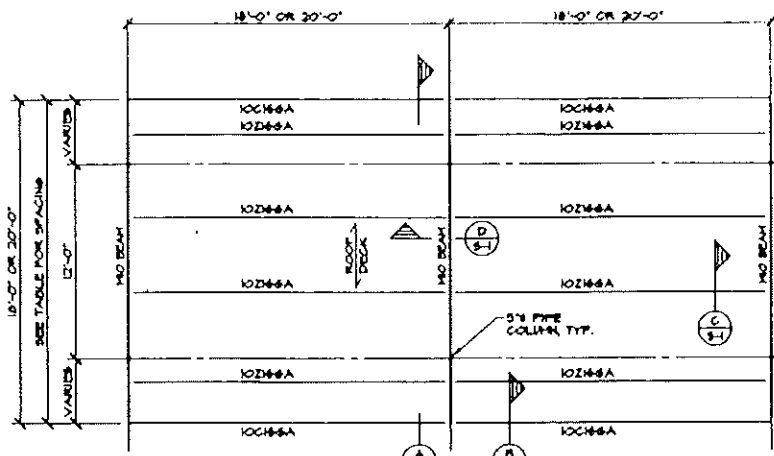
CONCRETE NOTES

CAST - IN - PLACE CONCRETE

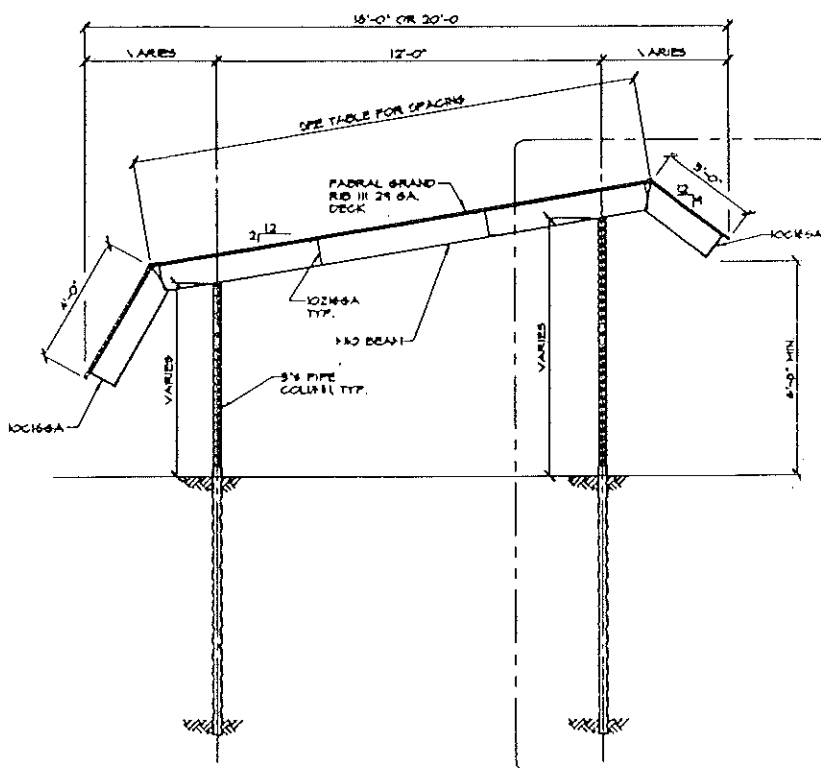
- ALL CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318 LATEST EDITION.
- ALL CONCRETE SHALL HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI.
- MANUSARD SLURF SHALL BE 4" ENTRAINMENT SHALL BE 48 - 18 SUB-CONTRACTOR SHALL SUBMIT PROPOSED MIX DESIGN FOR APPROVAL, AS WELL AS PROVIDE TEST CYLINDERS TO THE BUILDER AT THE OF CONSTRUCTION. CEMENT SHALL BE PORTLAND CEMENT COMPLYING WITH ASTM DESIGNATION C-150 "STANDARD SPECIFICATIONS FOR PORTLAND CEMENT", TYPE I NORMAL PORTLAND CEMENT, FOR GENERAL CONCRETE CONSTRUCTION.

FOOTINGS

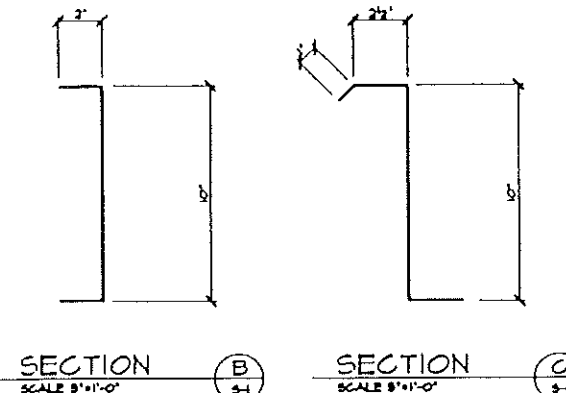
- CONTRACTOR SHALL VERIFY ALL CONDITIONS, INCLUDING UNDERGROUND UTILITIES AND FIELD MEASUREMENTS AT JOB SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER BEFORE PROCEEDING WITH THE WORK.
- COMPLY FULLY WITH RELATED ENDS OF USHA AND OTHER REGULATORY AGENCIES FOR SAFETY PROVISIONS.
- MINIMUM DEPTHS OF FOOTINGS ARE AS SHOWN ON THE DRAWINGS. IN ALL CASES FOOTINGS ARE TO BEAR ON UNDISTURBED NATURAL SOILS HAVING A MINIMUM NET ALLOWABLE BEARING CAPACITY OF 3000 PSF. ALL FOOTING DEPTHS ARE SUBJECT TO THE REVIEW OF THE ENGINEER'S REPRESENTATIVE.



TYPICAL 20'-0" X 20'-0" BAY FRAMING PLAN
SCALE 3/8"=1'-0"

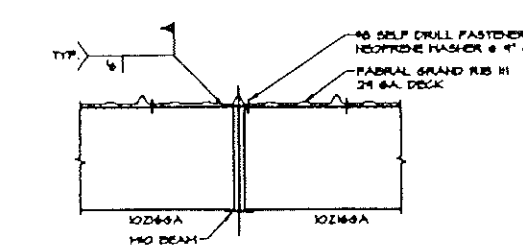


SECTION A-1
SCALE 3/8"=1'-0"



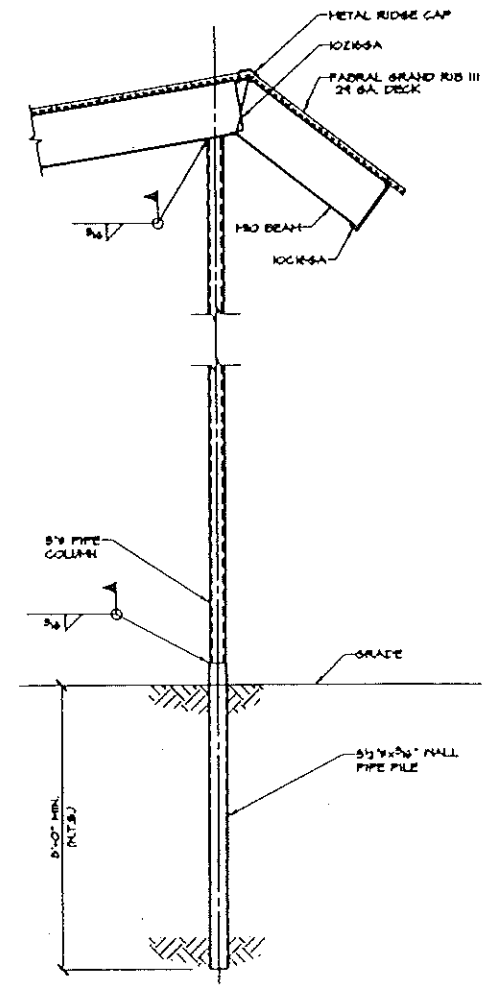
SECTION B-1
SCALE 3/8"=1'-0"

SECTION C-1
SCALE 3/8"=1'-0"



SECTION D-1
SCALE 1/2"=1'-0"

FABRAL GRAND RIB III 29 GA DECK
SCALE 1/2"=1'-0"



SECTION I-1
SCALE 3/4"=1'-0"

| MANSARD 18'-0" X 20'-0" D (USE FOR 9'-0" X 18'-0" AND 9'-0" X 20'-0" LAYOUTS) | | | | | | | | | | | |
|--|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|
| GROUND SHOR LOAD P _g | 20 PSF | 25 PSF | 30 PSF | 35 PSF | 40 PSF | 45 PSF | 50 PSF | 55 PSF | 60 PSF | 65 PSF | 70 PSF |
| DESIGN SHOR LOAD P _t | 14 PSF | 18 PSF | 21 PSF | 25 PSF | 28 PSF | 32 PSF | 35 PSF | 39 PSF | 42 PSF | 46 PSF | 49 PSF |
| BEAM SIZE | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 |
| MAXIMUM PURLEN SPACING | 60" | 60" | 60" | 54" | 48" | 42" | 36" | 30" | 24" | 18" | 12" |
| COLUMN SIZE (FRONT) | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' |
| COLUMN SIZE (REAR) | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' |
| COLUMN AXIAL | 2.4 | 3.3 | 4.1 | 4.8 | 5.4 | 6.0 | 6.7 | 7.3 | 7.9 | 8.5 | 9.2 |
| MIN. PILE EMBEDMENT | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' |

| MANSARD 20'-0" X 20'-0" D (USE FOR 10'-0" X 18'-0" AND 10'-0" X 20'-0" LAYOUTS) | | | | | | | | | | | |
|--|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|------------------|
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| BEAM SIZE | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 | M10x8 |
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| COLUMN SIZE (FRONT) | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' | 3' O.D. x 3 1/2' |
| COLUMN SIZE (REAR) | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' | 3' O.D. x 4' |
| COLUMN AXIAL | 3.2 | 3.4 | 3.6 | 3.8 | 4.0 | 4.2 | 4.4 | 4.6 | 4.8 | 5.0 | 5.2 |
| MIN. PILE EMBEDMENT | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' | XX' |

Carport Structures Corp.
 1805 Metamora Road
 Oxford, Michigan 48171
 Tel: (248) 628-6571 Fax: (248) 628-6200

CS² QUALITY THROUGH INTEGRITY
 100% PROFESSIONAL SERVICE
 100% CUSTOMER SATISFACTION
 100% ON TIME DELIVERY

XXXXXX XXXXXX
 XXXXXX XXXXXX

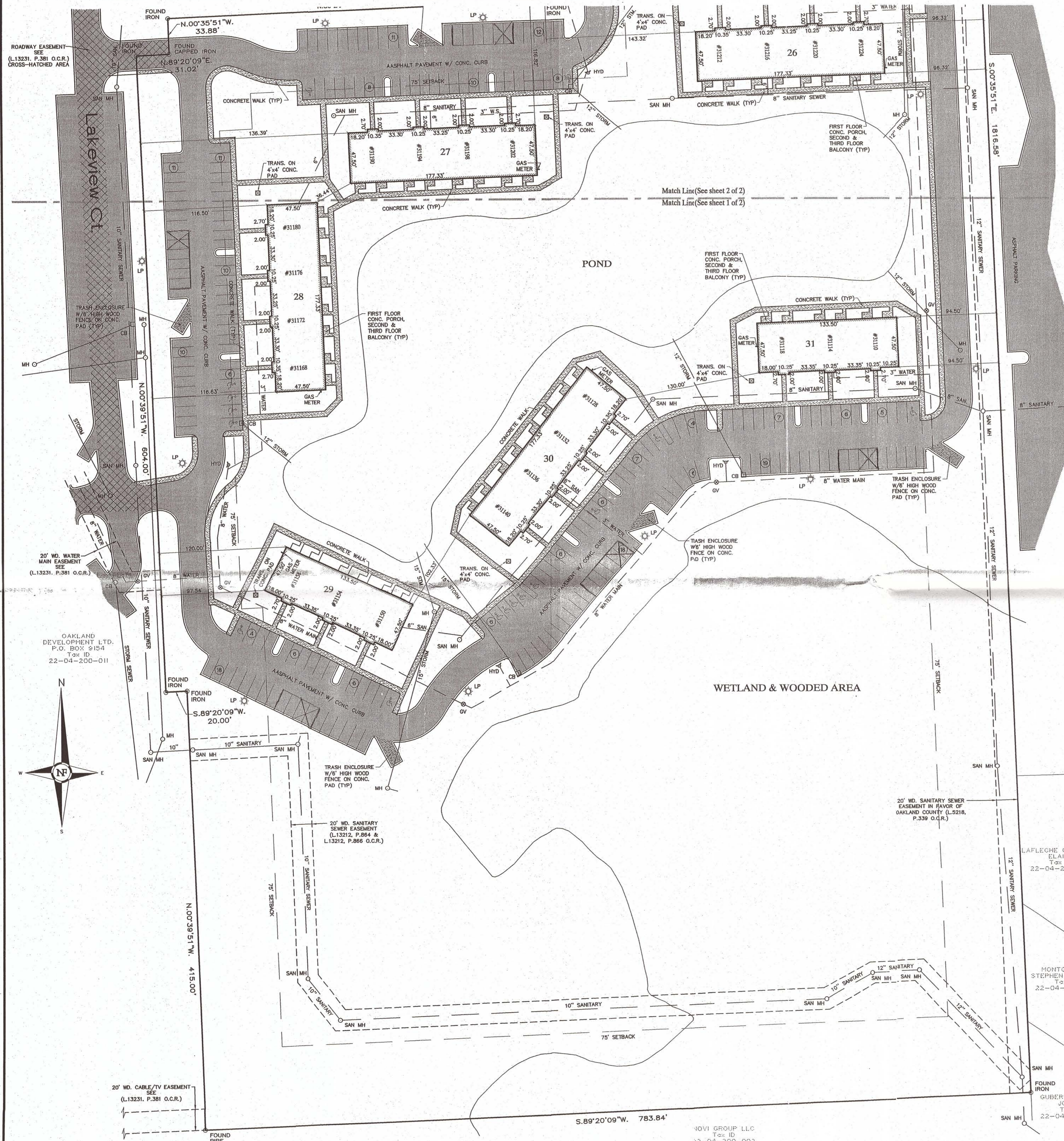
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FRAMING PLAN,
 SECTIONS & DETAILS
 9'-0" X 18'-0", 9'-0" X 20'-0"
 10'-0" X 18'-0", 10'-0" X 20'-0"
 MANSARD CARPORT

CSS-008

S-1

ZBA11-003

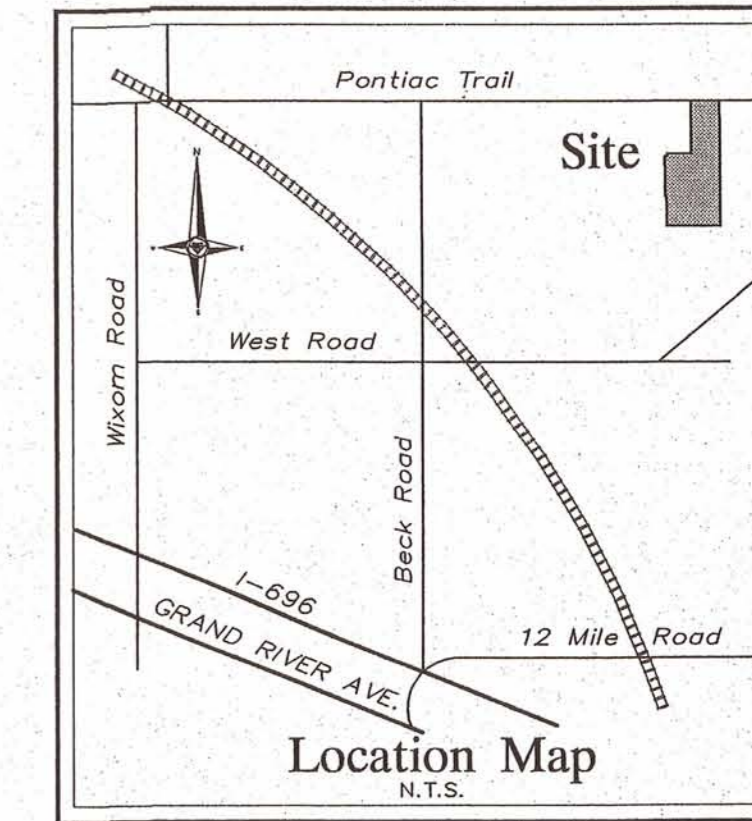


LEGEND

- ASPH = Asphalt
- CONC = Concrete
- CB = Catch Basin
- CO = Clean Out
- GV = Gate Valve
- MH = Man Hole
- HYD = Hydrant
- LP = Light Pole
- UP = Utility Pole
- L/S = Landscape
- OH LINES = Overhead Lines
- PH = Physically Handicapped
- P/L = Property Line
- ROW = Right of Way
- SAN = Sanitary Sewer
- STM = Storm Sewer
- WM = Water Main
- CL = Center Line
- F.I. = Found Iron
- S.I. = Set Iron
- (R) = Record Measurement
- (N) = Surveyed Measurement
- CLF = Chain Link Fence
- (TYP) = Typical
- (O.C.R.) = Oakland County Records
- DE METER = Detroit Edison Meter
- MBT = Michigan Bell Telephone
- U.G. = Underground

All Utilities are underground unless otherwise noted.

50 0 25 50 100
GRAPHIC SCALE 1"=50'

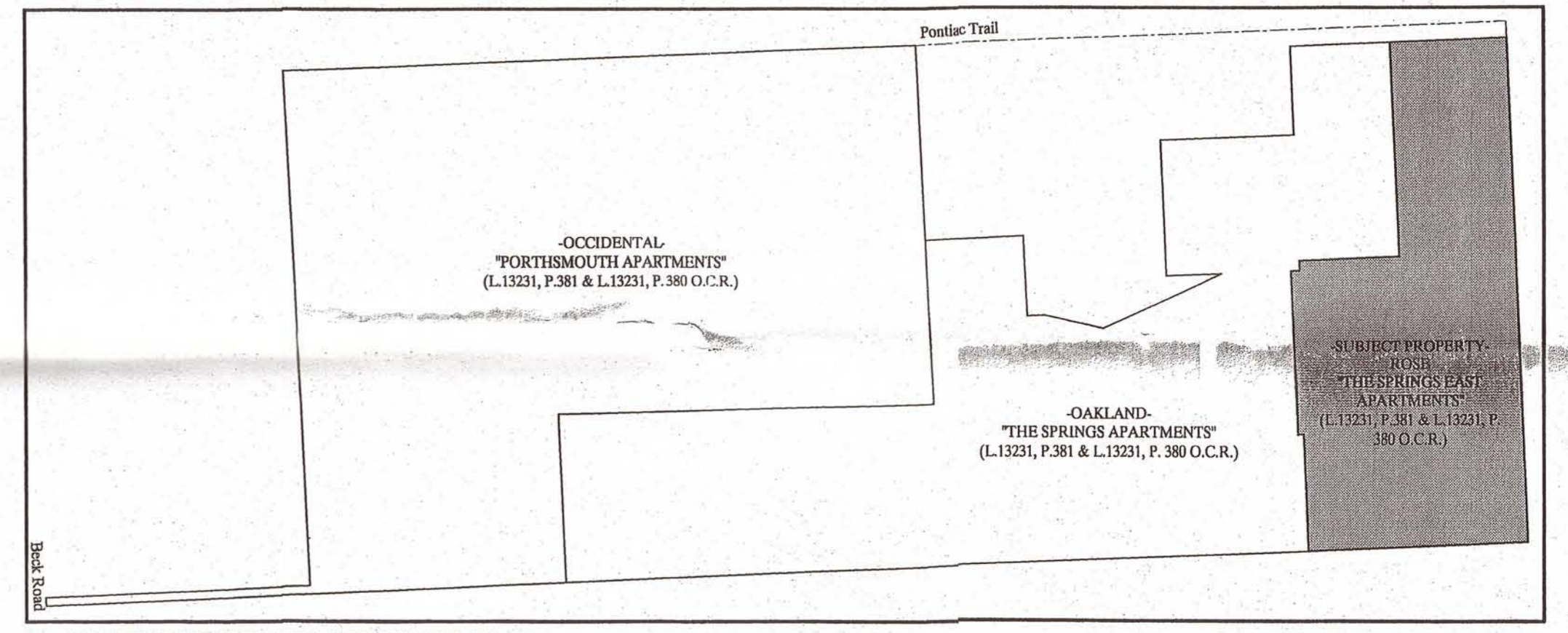


NF

NOWAK & FRAUS

Consulting Engineers
Land Surveyors
Land Planners

1310 N. Stephenson Highway
Royal Oak, MI 48067-1508
Tel. (248) 399-0886
Fax. (248) 399-0805



EASEMENT DECLARATION DETAIL
Scale: 1"=500'

PROJECT LOCATION
"The Springs East Apartments"
Part of the N.E. 1/4
of Section 4
T. 1 North, R. 8 East
City of Novi,
Oakland Co., Michigan

SHEET
ALTA / ACSM
Land Title Survey

DATE/ REVISION
6-29-04 REVISED

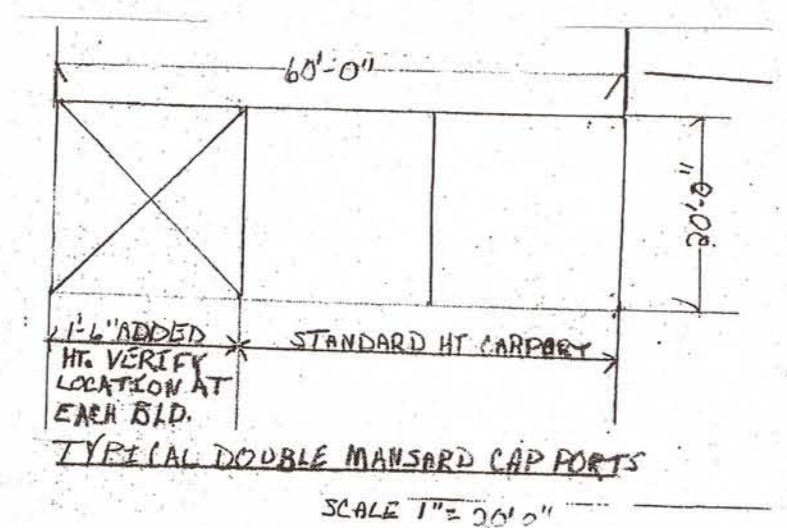
DRAWN BY:
A.G.

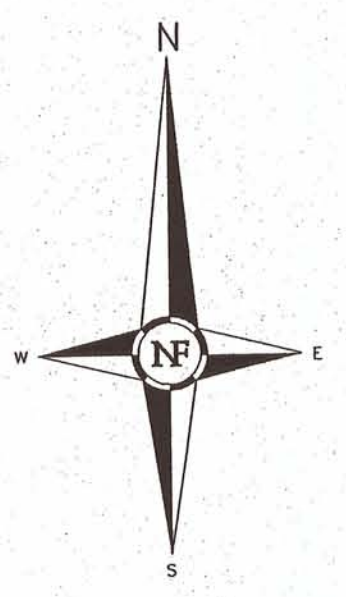
DESIGNED BY:

APPROVED BY:
A.N.

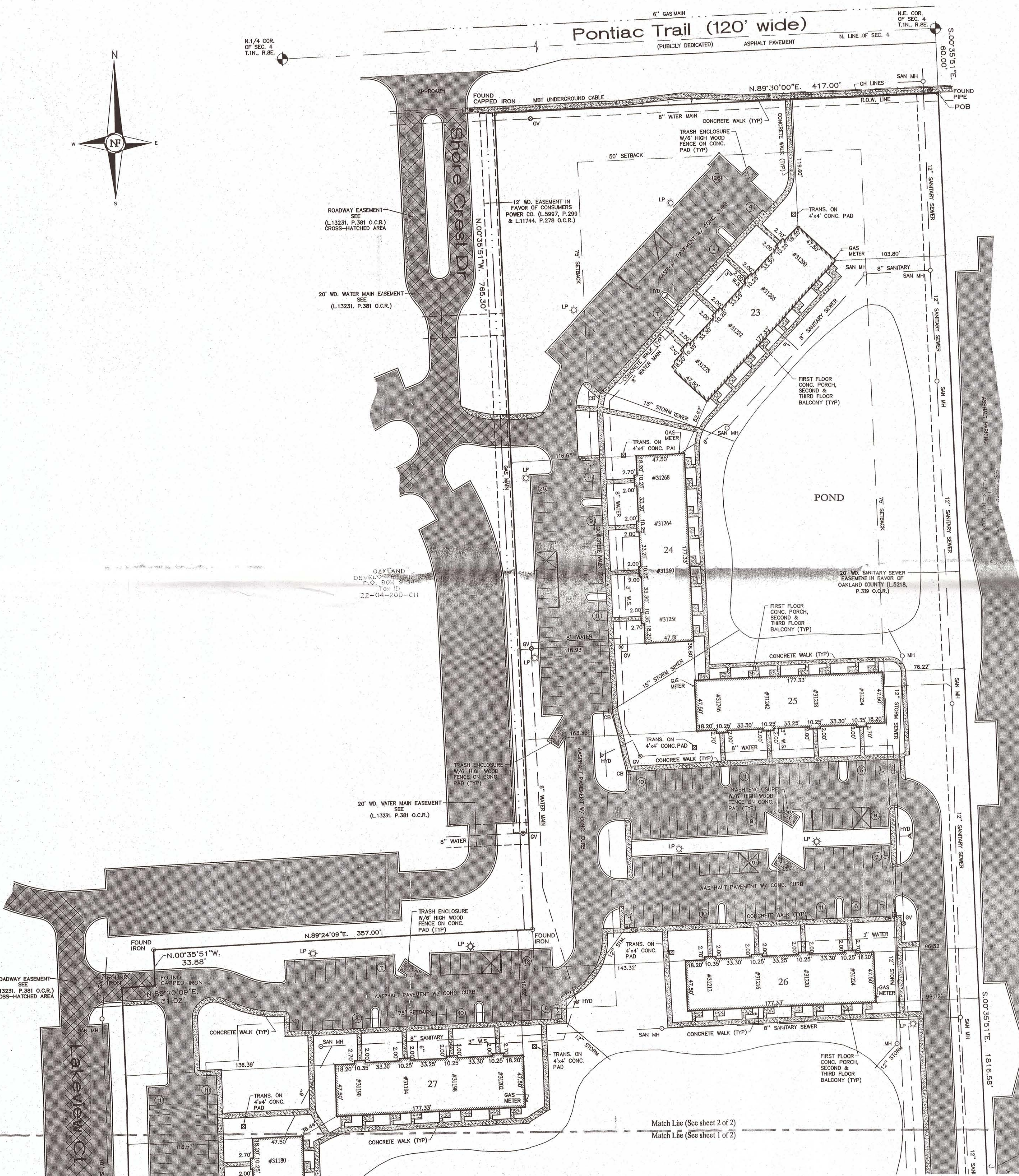
DATE:
02-16-2004

SCALE:
1"=50'



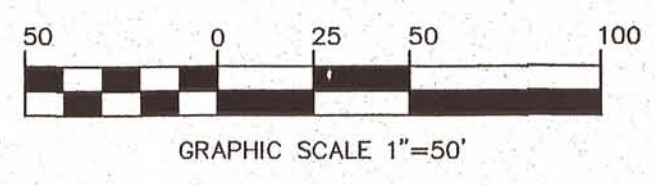


Pontiac Trail (120' wide)



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 - U.G. = Underground
- All Utilities are underground unless otherwise noted.



FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency; the property lies within Zone X of the Flood Insurance Rate Map identified as Community Panel No. 260175 0005 C bearing an effective date of May 3, 1993.

BUILDING DATA

There are 9 two story brick/vinyl with full basement level and composite shingle roof apartment buildings.

| | | | |
|-----|---------------|-----|---------------|
| 23. | 8,604 sq. ft. | 24. | 8,604 sq. ft. |
| 25. | 8,604 sq. ft. | 26. | 8,604 sq. ft. |
| 27. | 8,604 sq. ft. | 28. | 8,604 sq. ft. |
| 29. | 6,474 sq. ft. | 30. | 8,604 sq. ft. |
| 31. | 6,474 sq. ft. | | |

The above square footage is calculated at ground level.

TITLE EXCEPTION NOTES (SCHEDULE B)

- Subject to easement in favor of the County of Oakland for sanitary sewer, as recorded in Liber 5218, Page 339. - Said easement is plotted hereon.
- Subject to easement in favor of Consumers Power Company for gas mains recorded in Liber 5997, Page 299. Said document was partially released in Liber 11744, Page 278 - Not within subject property. Said easement is plotted hereon.
- Subject to terms and conditions of an easement for sanitary sewer recorded in Liber 13212, Page 864, Oakland County Records. - Said easement is plotted hereon.
- Subject to terms and conditions of a Bill of Sale for Sanitary Sewer recorded in Liber 13212, Page 866, Oakland County Records. - Said easement is plotted hereon.

LEGAL DESCRIPTION

The land referred to in this Commitment, situated in the City of Novi, County of Oakland, State of Michigan, is described as follows:

Part of the Northeast 1/4 of Section 4, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, being more particularly described as: Commencing at the Northeast corner of said Section 4; thence South 00 degrees 35 minutes 51 seconds East, 60.00 feet to the point of beginning; thence South 00 degrees 35 minutes 51 seconds East, 1816.58 feet; thence South 89 degrees 20 minutes 09 seconds West, 783.84 feet; thence North 00 degrees 39 minutes 51 seconds West, 415.00 feet; thence South 89 degrees 20 minutes 09 seconds West, 20.00 feet; thence North 00 degrees 39 minutes 51 seconds East, 604.00 feet; thence North 89 degrees 20 minutes 09 seconds East, 31.02 feet; thence North 00 degrees 35 minutes 51 seconds West, 33.88 feet; thence North 89 degrees 24 minutes 09 seconds East, 357.00 feet; thence North 00 degrees 35 minutes 51 seconds West, 765.30 feet; thence North 89 degrees 30 minutes 00 seconds East, 417.00 feet to the point of beginning. Site containing 1,156,278 square feet or 26.54 acres.

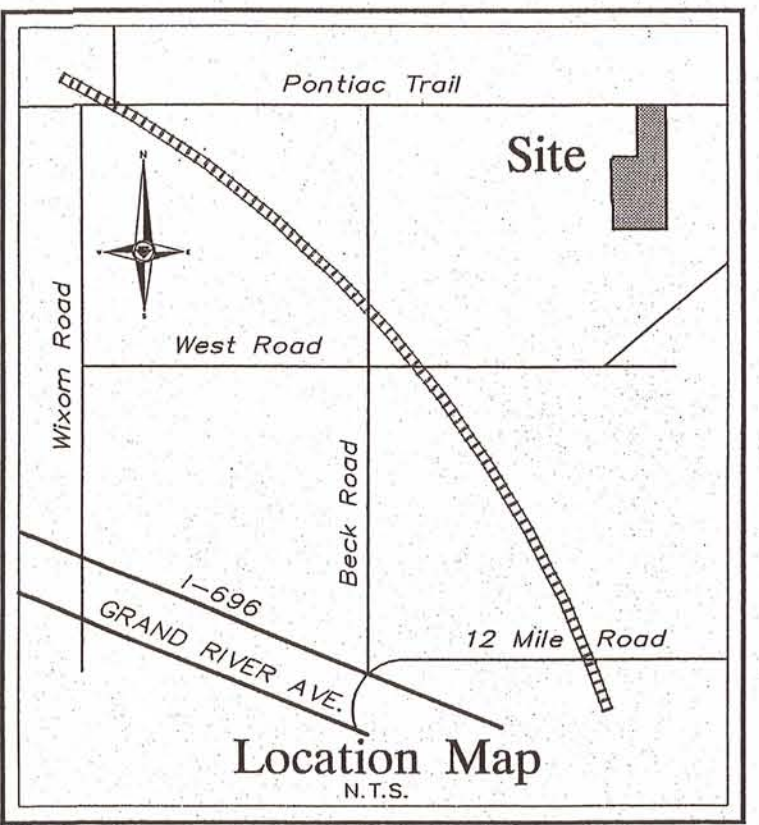
Together with and subject and subordinate to the non-exclusive rights and obligations described in the easement declaration of December 15, 1992, recorded January 6, 1993 in Liber 13231, Pages 381 through 389, inclusive, Register No. 93-004253, Oakland County Records.

Also together with and subject and subordinate to the non-exclusive rights and obligations described in the easement declaration of December 15, 1992, recorded January 31, 1993 in Liber 13251, Pages 377 through 380, inclusive, Register No. 93-004252, Oakland County Records.

SURVEYOR'S CERTIFICATION

The undersigned hereby certifies to Connecticut General Life Insurance Company and its successors and assigns, Edward Rose Realty, Inc., a Michigan corporation and First American Title Company, as of the date hereof, that this survey correctly shows, on the basis of a field transit survey and in accordance with the current Minimum Standard Detail requirements of Land Title Survey jointly established and adopted by ALTA and ACSM: (i) a fixed and determinable position and location of the land described therein (including the position of the point of beginning); (ii) the location of all buildings, structures and other improvements situated on the land; and (iii) all driveways or other cuts in the curbs along any street upon which the land abuts. Except as shown on said print of survey there are no visible easements or rights of way affecting the land or other easements or rights of way of which the undersigned has been advised or which are of record nor, except as shown, are there any building restriction or set back lines, party walls, encroachments or overhangs of any improvements upon any easements, rights of way or adjacent land, or encroachments by improvements located on adjacent land upon the described land. The print of survey reflects boundary lines of the described land which "close" by engineering calculation.

Alex Nicolaescu, P.S.
No. 22705



SITE DATA

Site Containing: 1,156,278 S.F. or 26.54 Ac.
Zoned: RM-1 Low-Density Multiple Family
Building Setbacks:
Front= 50'
Sides= 75'
Rear= 75'

Max. Building Height permitted:
35 feet - 2 story
Max. Building Height existing:
35 feet - 2 story w/basement level

The ground floor area of the subject property, calculated in conformance with the zoning ordinance of the City of Novi, is 73,176 square feet.

The land area of the subject Property is 1,156,278 square feet.

Maximum total floor area in percentage permitted - 25%
Maximum total floor area on site in percentage - 16%

Total parking provided: 408 spaces, including 22 barrier free spaces.

The above setback & parking requirements were obtained from the City of Novi Zoning Ordinance.

UTILITY NOTE

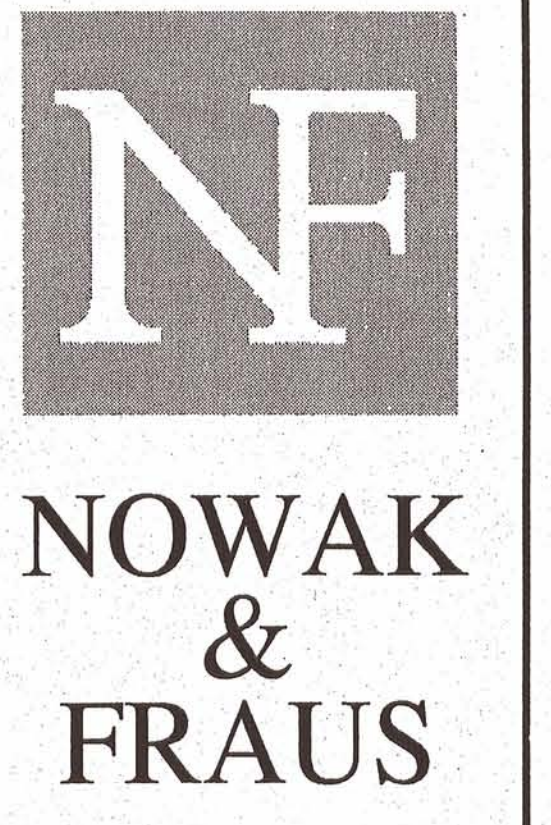
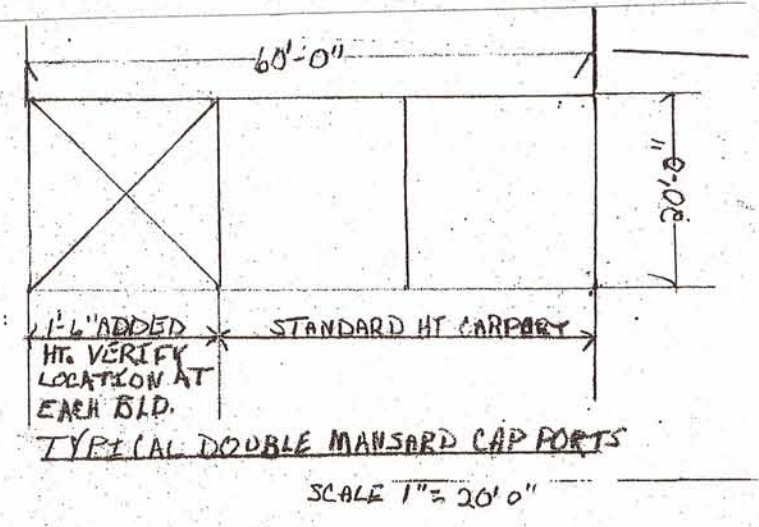
The utilities shown on this survey were determined by field observation along with site plan prepared by "Novak & Fraus".

BASIS OF BEARING NOTE

All bearings are in relationship to the previously established North line of Section 4 Township 1 North Range 8 East.

SURVEY NOTE

The survey was not balanced or adjusted.



NOWAK & FRAUS
Consulting Engineers
Land Surveyors
Land Planners

1310 N. Stephenson Highway
Royal Oak, MI 48067-1508
Tel. (248) 399-0886
Fax. (248) 399-0805

PROJECT LOCATION
"The Springs East Apartments"
Part of the N.E. 1/4 of Section 4 T. 1 North, R. 8 East City of Novi, Oakland Co., Michigan

SHEET
ALTA / ACSM
Land Title Survey

DATE/REVISION
6-29-04 REVISED

DRAWN BY:
A.G.
DESIGNED BY:
APPROVED BY:
A.N.
DATE:
02-16-2004
SCALE:
1"=50'