

cityofnovi.org

ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department
(248) 347-0415

Case No. 11- 045 23955 Novi Road (Novi Energy)

Location: West of Novi Road and south of Ten Mile Road

Zoning: OS-1, Office Service District

The applicant is requesting a variance from Section 28-8 of the Novi Sign Ordinance to allow a twenty four (24) square foot, 5 foot high off-premises business sign identifying a tenant in a business center. The property is located west of Novi Road and south of Ten Mile Road. The property is zoned OS-1 (Office Service District).

CITY OF NOVI, CODE OF ORDINANCES, Section 28-8 allows off-premises advertising signs to be located only in I-2 Zoning Districts.

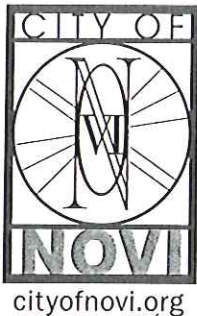
- **The applicant is requesting a variance to allow an off-premises business sign in an OS-1 Zoning District.**

City of Novi Staff Comments:

The Hampton Woods development was intended to be constructed as a number of separate buildings within a condominium. Previously two buildings were constructed, Unit #1 located directly adjacent to Novi Road (previously occupied) and Unit #2 located to the west and completed previously through the shell stage. Novi Energy and affiliates have purchased the development and have built out and occupied Unit #2. This building qualifies for a thirty (30) square foot business sign located on or adjacent to the building, but not a sign out on Novi Road, which would be considered off-premises by virtue of being located on a separate parcel. Staff recognizes the unique nature of the site with respect to visibility and road frontage. Areas of concern are the expectation of other future tenant /owners for the same consideration as well as whether the proposed sign would be in addition to the allowable building sign for Novi Energy.

Standards for Granting a Sign Variance:

- The request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the City or that are self-created.
- The failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.
- The grant of relief will not result in a use of structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit of the ordinance.



November 30, 2011

Huron Sign Company
663 S. Mansfield
Ypsilanti, Michigan 48197

RE: NOVI ENERGY – 23955 NOVI ROAD

The sign permit for the above location has been reviewed and denied.

Sign Code Section 28-1 (3) defines a business sign as a sign that directs attention to a business upon the premises where such sign is located. This sign is located on a parcel separate from the Novi Energy parcel.

Section 28-8 allows off-premises advertising signs to be located only in I-2 zoning districts. This property is zoned OS-1.

Your application for the Zoning Board of Appeals has been received.

If you have any questions please feel free to contact me at 248-347-0438 or by email at jniland@cityofnovi.org

Sincerely,

CITY OF NOVI

A handwritten signature in cursive script, appearing to read 'Jeannie Niland', is written over a blue ink scribble.

Jeannie Niland
Ordinance Enforcement Officer



City of Novi
Zoning Board of Appeals
45175 W. 10 Mile Rd.
Novi, MI 48375

SignText Incorporated
23684 Research Dr.
Farmington Hills, MI 48335
Ph 248.442.9080
Fx 248.442.8536
www.signtext.com

November 30, 2011

Dear Members of the Board,

On behalf of Anand Gangadharan of Novi Energy I would like to request your review and consideration for a variance regarding Section 28-1 (3) of the Sign Ordinance. The property which is located at 23955 Novi Road is situated behind the building at 23965 Novi Road. Due to the fact that the Novi Energy building is not visible from the road, we are requesting a variance to place a Business sign in the easement area of the property to assist customers and visitors in locating the facility easily from Novi Road. We understand that the ordinance allows an Entryway sign at this location but not a Business sign. We have designed and are proposing a ground sign that is within the allowances of an Entryway sign, (24 sq ft with a height no greater than 5ft). This is slightly smaller than the allowance for the Business sign (30 sq ft with a height no greater than 6'). We feel that the sign will be functional at the proposed size and location without causing any issues in regards to traffic flow or sign obstruction.

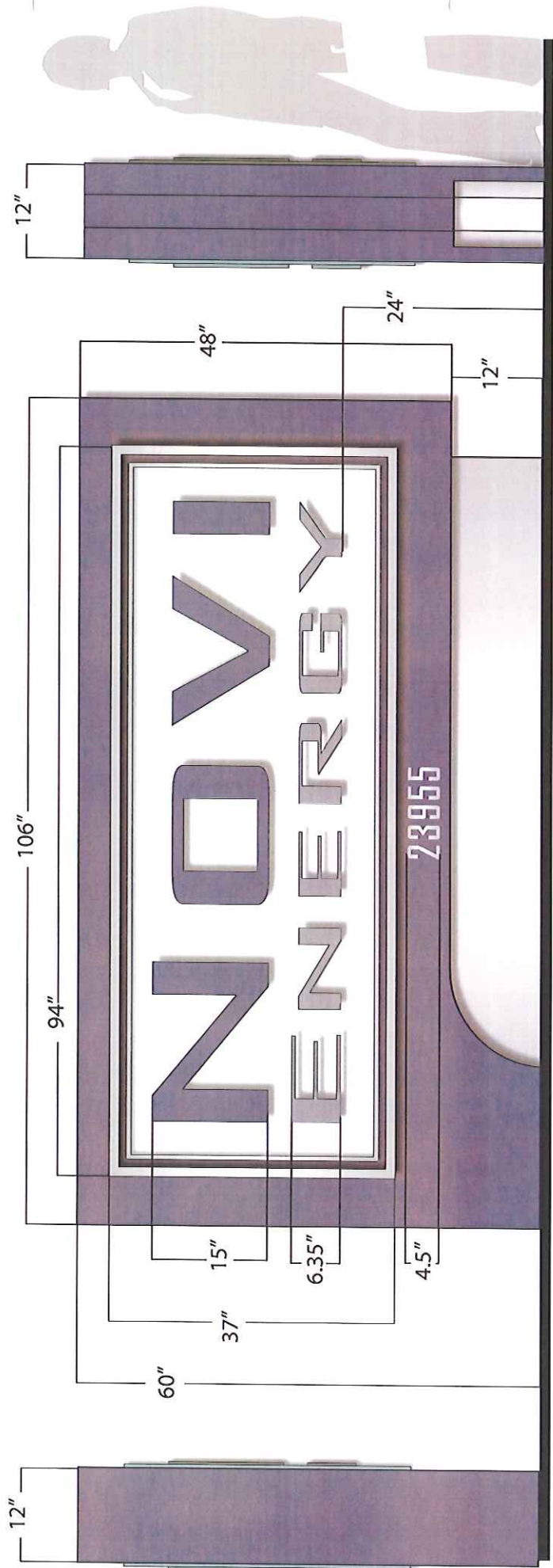
Thank you for your consideration.

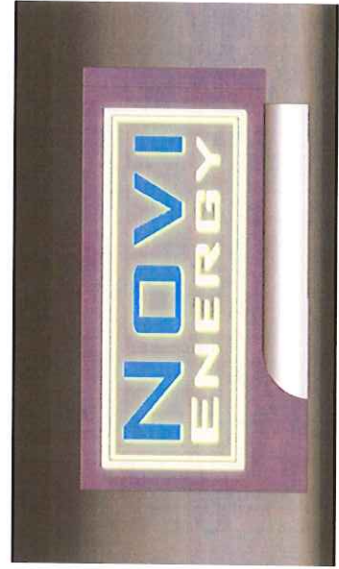
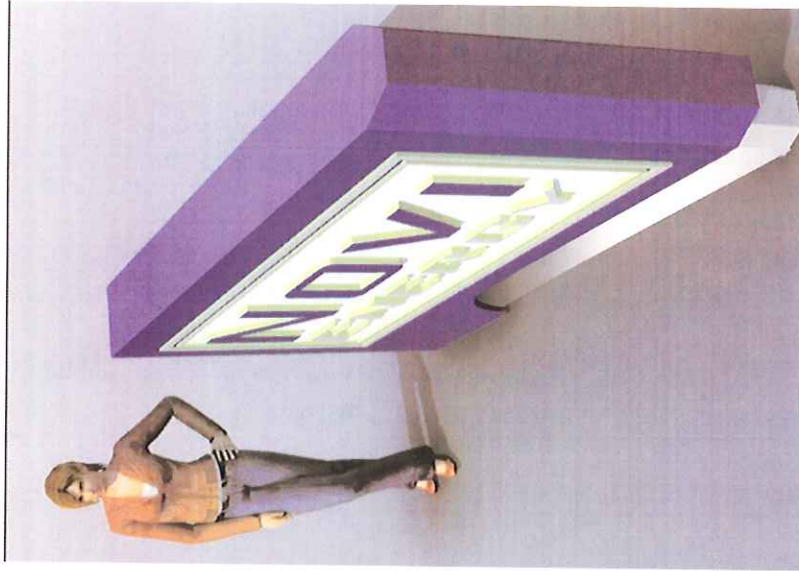
Terri Simpson

You may not know our name... but you've seen our work.

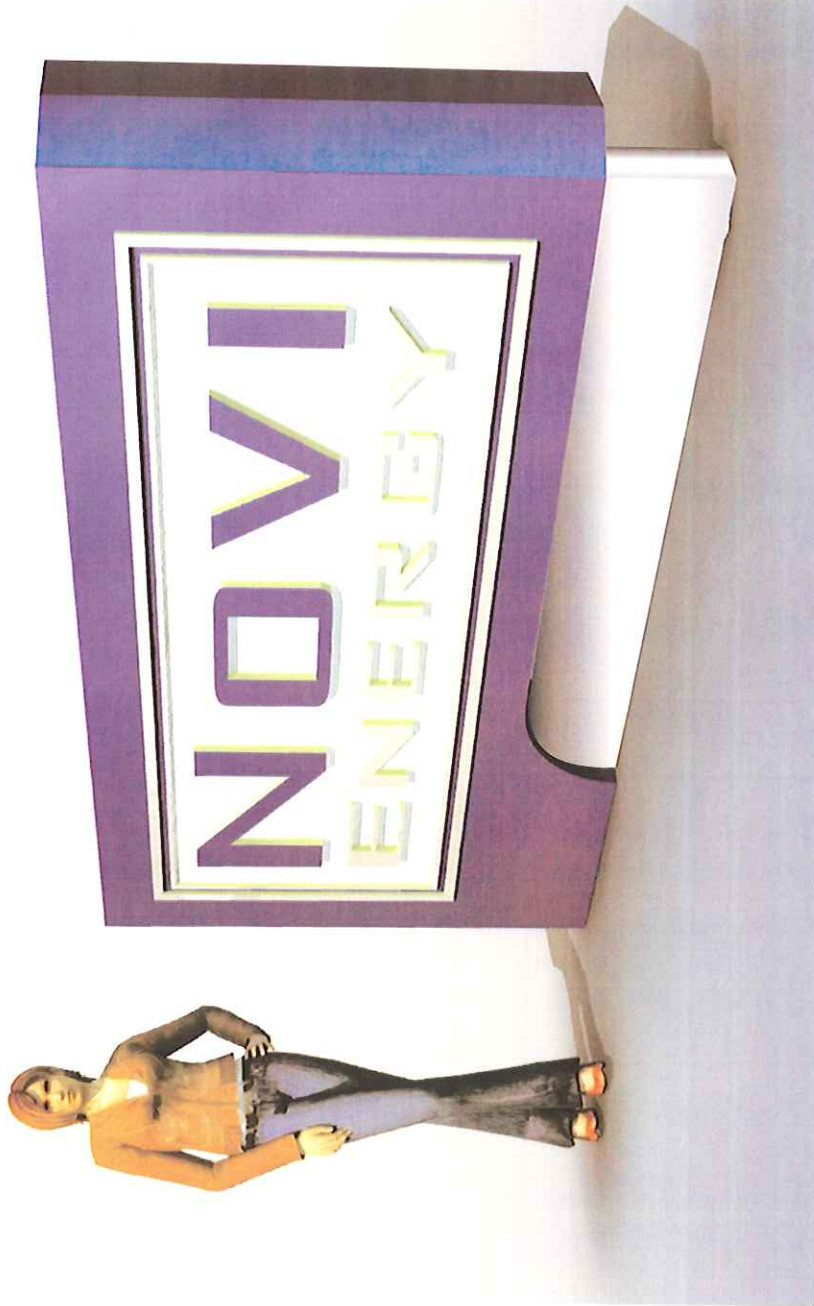
3M Scotchprint® Graphics
Authorized Manufacturer

PROPOSED ILLUMINATED GROUND SIGN
 DOUBLE SIDED ALUMINUM CABINET, CUSTOM BASE STRUCTURE
 3/4" PUSH THRU GREEN EDGE ACRYLIC LETTERS WITH SECOND SURFACE TRANSLUCENT VINYL
 1/2" PUSH THRU DOUBLE PINLINE BORDER WITH SECOND SURFACE TRANSLUCENT SILVER METALLIC VINYL
 SIGN FACE AREA 37"X94"=24 SQ FT



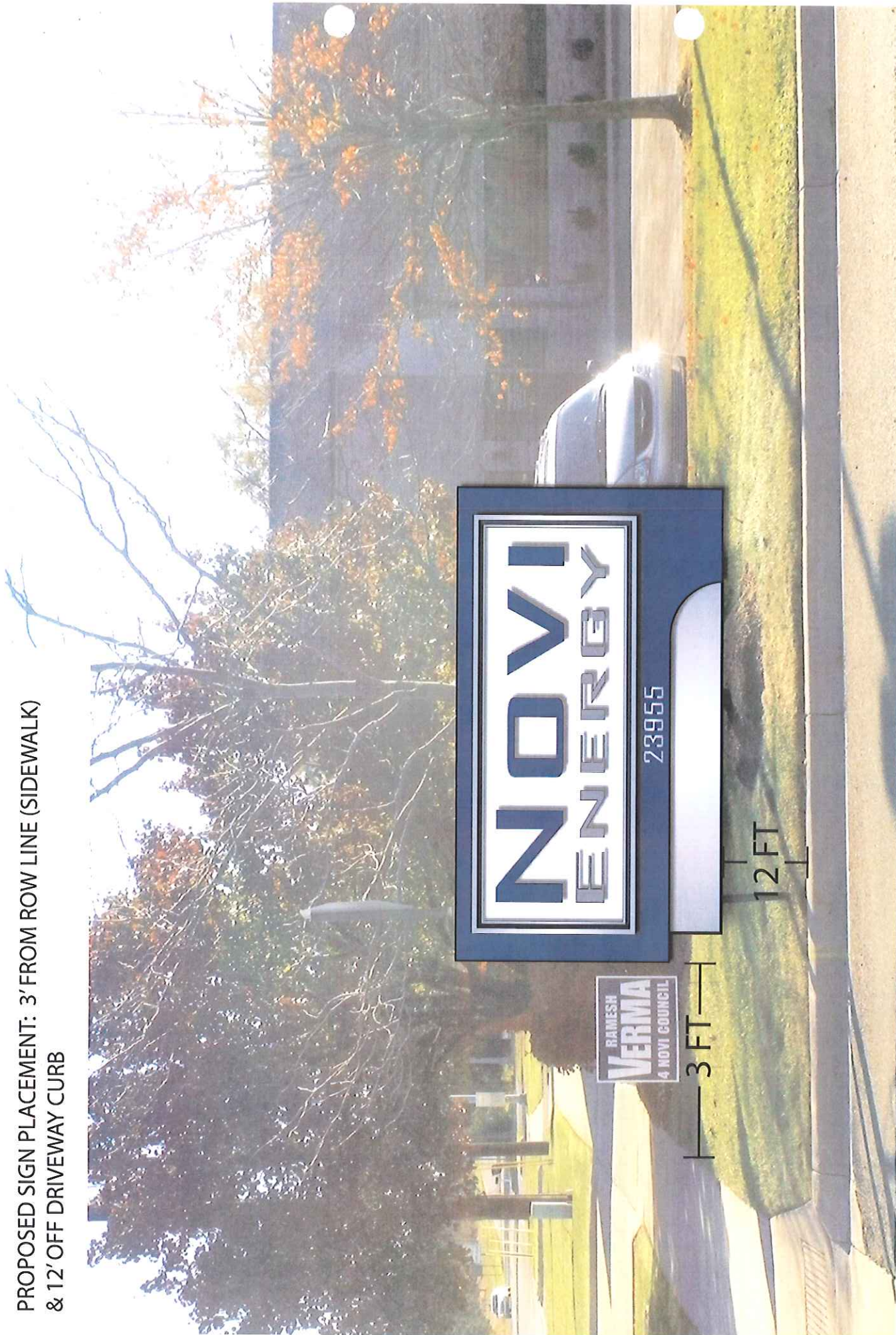


NIGHT SIMULATION



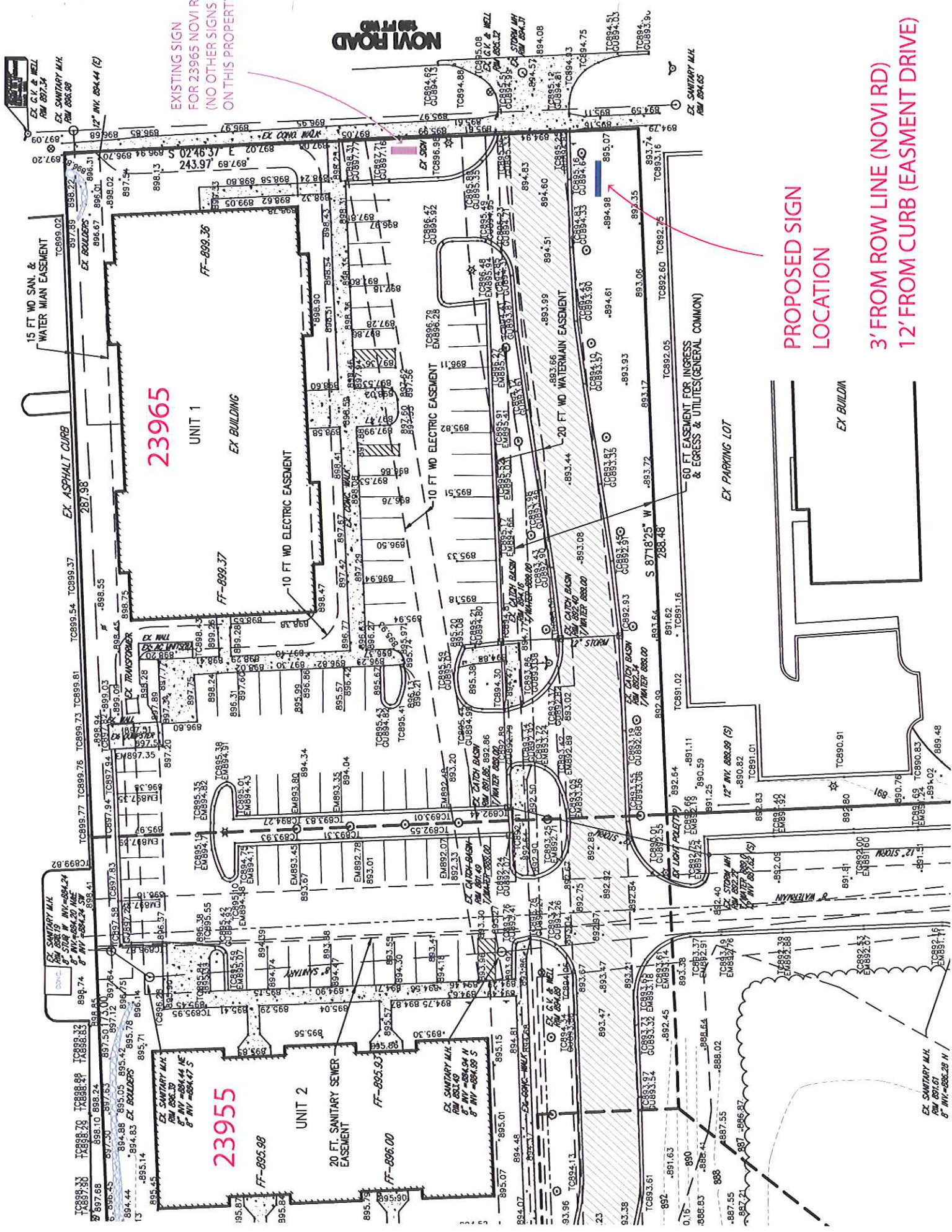
Your trusted production partners
Signitext
INCORPORATED
ph: 248-442-9080 fax: 248-442-8536

PROPOSED SIGN PLACEMENT: 3' FROM ROW LINE (SIDEWALK)
& 12' OFF DRIVEWAY CURB



PROPOSED SIGN PLACEMENT: 3' FROM ROW LINE (SIDEWALK)
& 12' OFF DRIVEWAY CURB





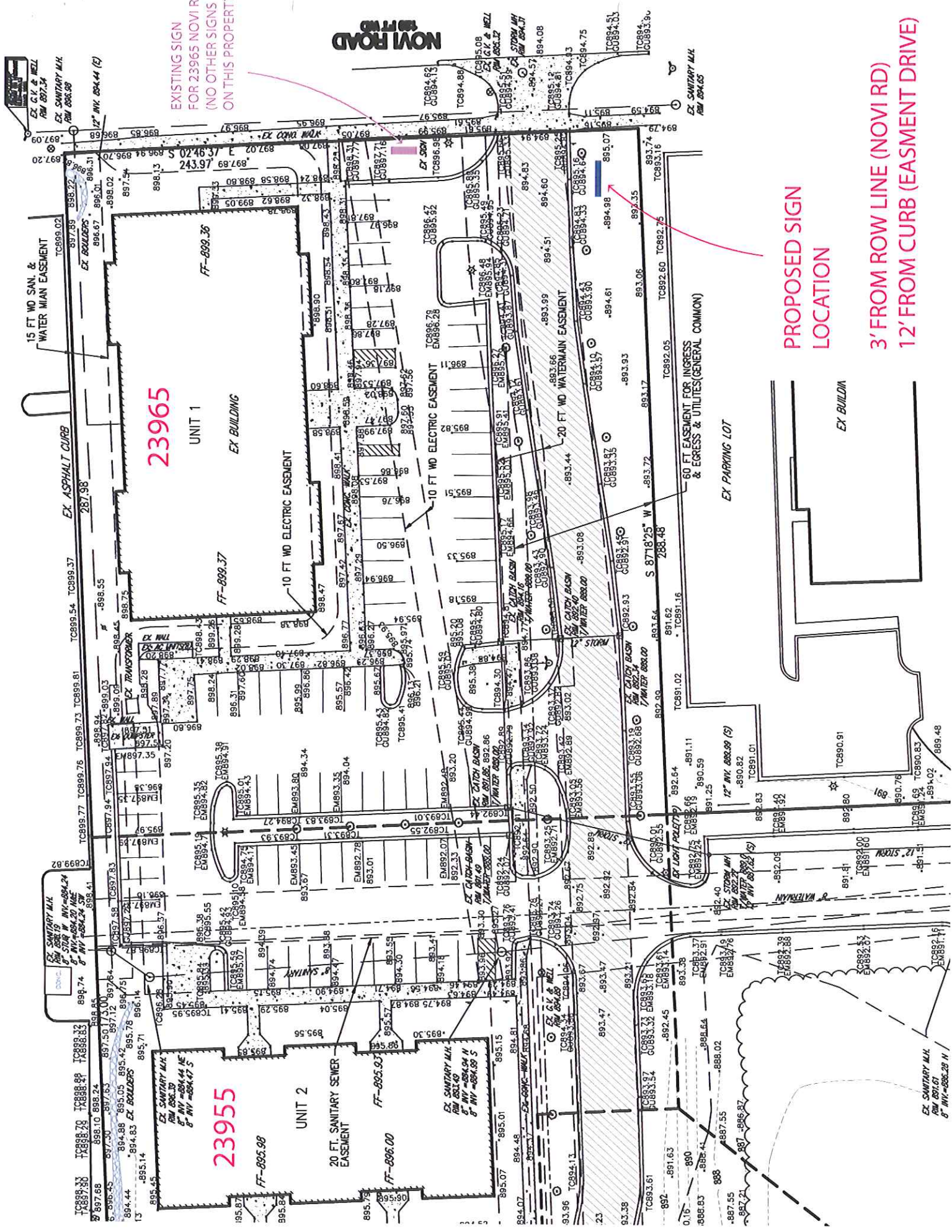
23965

23955

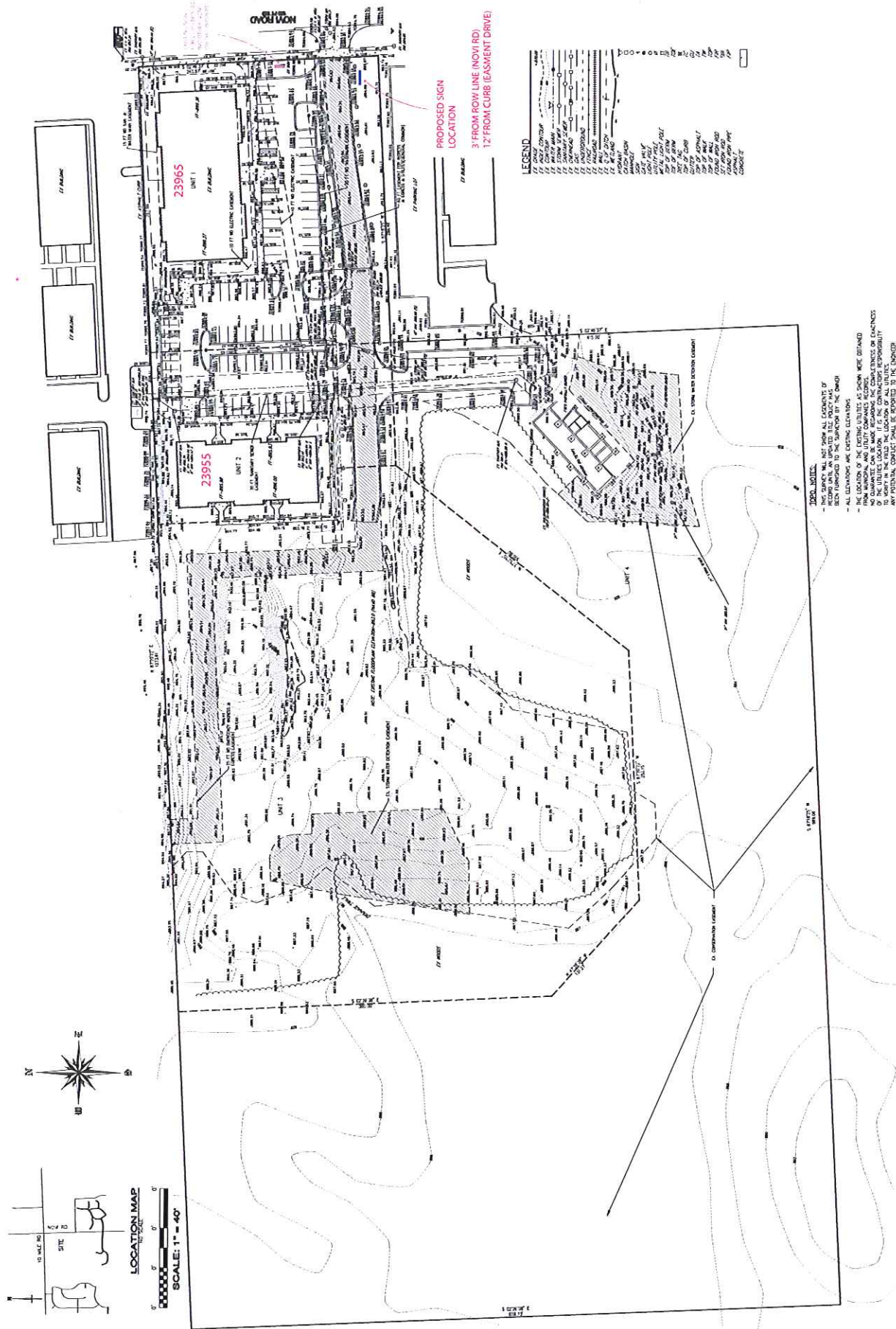
EXISTING SIGN
FOR 23965 NOVI RD
(NO OTHER SIGNS
ON THIS PROPERTY)

PROPOSED SIGN
LOCATION

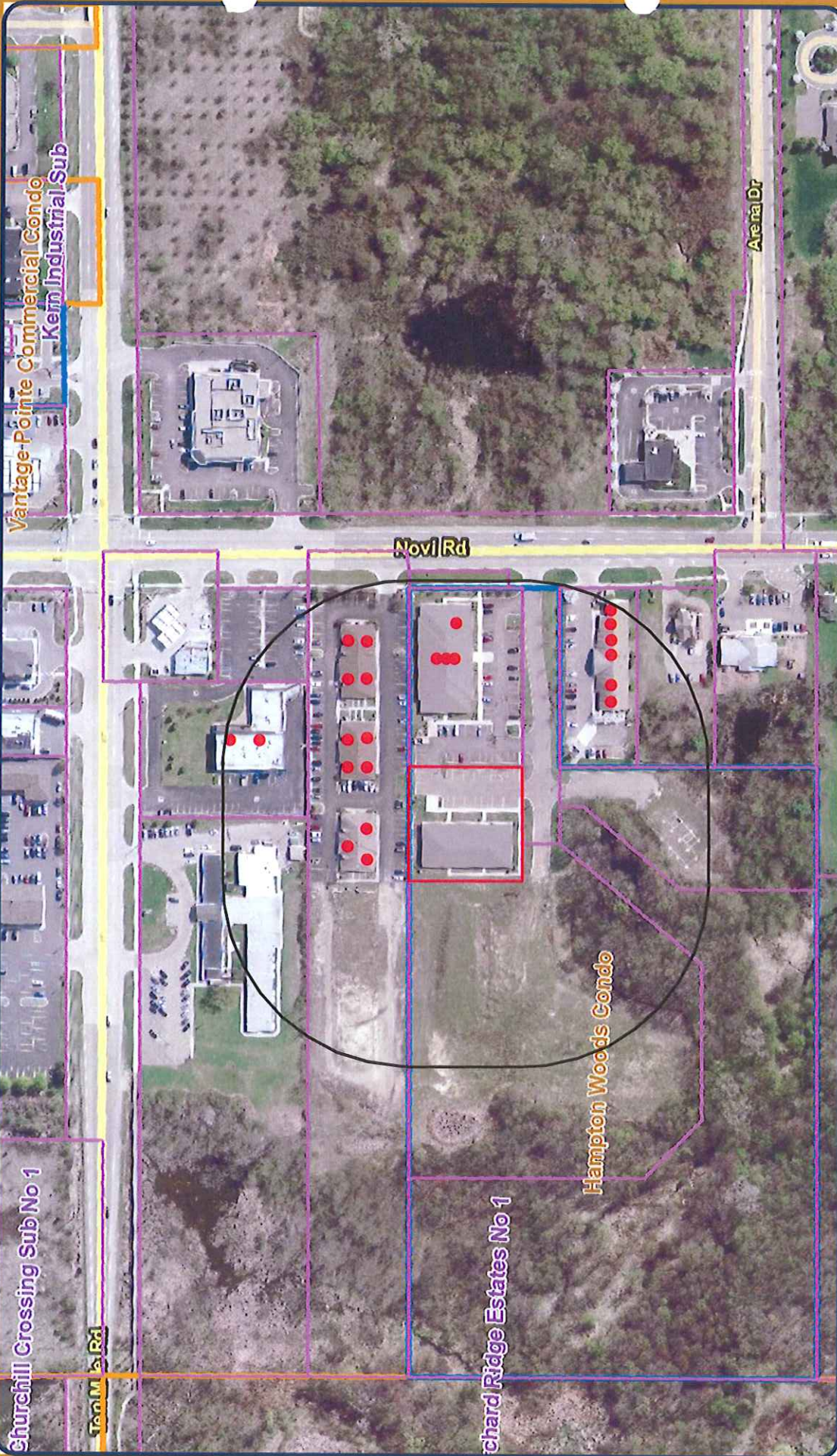
3' FROM ROW LINE (NOVI RD)
12' FROM CURB (EASMENT DRIVE)



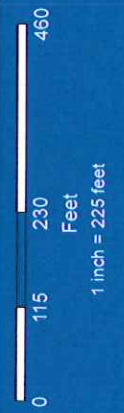
SITE PLAN: 23955/ 23965 NOVI RD



City of Novi
Novi Energy



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Date: 12/15/2011

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 City of Novi, Michigan
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