

ZONING BOARD OF APPEALS
CITY OF NOVI
 Community Development Department
 (248) 347-0415

Case No. 12-007 WALMART 26090 INGERSOL DR

Location: 26090 INGERSOL DR

Zoning District: TC, Town Center District

The applicant is requesting a variance from Section 28-5(2)b.1.(a)(i)a of the City of Novi Sign Code to allow a 298 square foot oversize wall sign and 28-5 (3) to allow 4 additional wall signs beyond the sign wall sign permitted for new retail use. The property is located east of Novi Road and south of Crescent Blvd.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCES, Sign Code Section 28-5(2)b.1.(a)(i)a allows 1.25 square feet of signage per linear foot of continuous public or private street frontage up to a maximum of 65 square feet.
 CITY OF NOVI, CODE OF ORDINANCES, Sign Code Section 28-5(3) permits only one sign for this business.

Allowable sign area:	65 square feet
Proposed sign area:	298 square feet
Variance required:	233 square feet
Maximum allowable number of signs:	1
Proposed number of signs:	5
Variance required:	allowance of 4 additional signs (129 square feet)

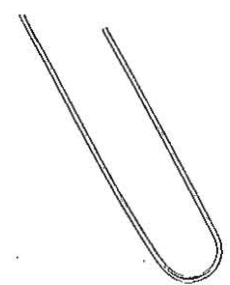
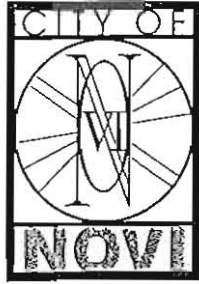
City of Novi Staff Comments:

The petitioner is requesting the oversize and additional signage for a new 149,000 square foot retail facility. The footprint of the space is certainly recognized as larger than most of the individual retail stores in the area, but must be balanced with the intent of the scale and place intended to be created by the Town Center District. *Staff does not support the request as the failure to grant relief will not unreasonably prevent or limit the use of the property and will not result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.*

Standards for Granting a Sign Variance

- The request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the City or that are self-created.

- The failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.
- The grant of relief will not result in a use of structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit of the ordinance.



January 23, 2012

Jacki Cook –Haxby
SAIC Energy, Environmental & Infrastructure LLC
60 East Plato Boulevard
Suite 300
St. Paul, Minnesota 55107

RE: WAL-MART STORE #5893-00 – 26090 INGERSOL DR

The sign permits for the above location have been reviewed and DENIED.

Sign Code Section 28-5(2)b.1.(a)(i)a. permits 1-1/4 square foot of signage for each lineal foot of frontage of the business up to a maximum of 65 square feet. The proposed "Wal-Mart" sign is 298 square feet.

Sign Code Section 28-5 (3) permits only one sign for this business, therefore the "Home & Pharmacy", "Outdoor Living", "Market" and "Recycle" signs are not permitted.

Your application for the Zoning Board of Appeals has been received. Should you have any questions regarding the Zoning Board of Appeals hearing please contact the board secretary, Angie Pawlowski, at 248-347-0459.

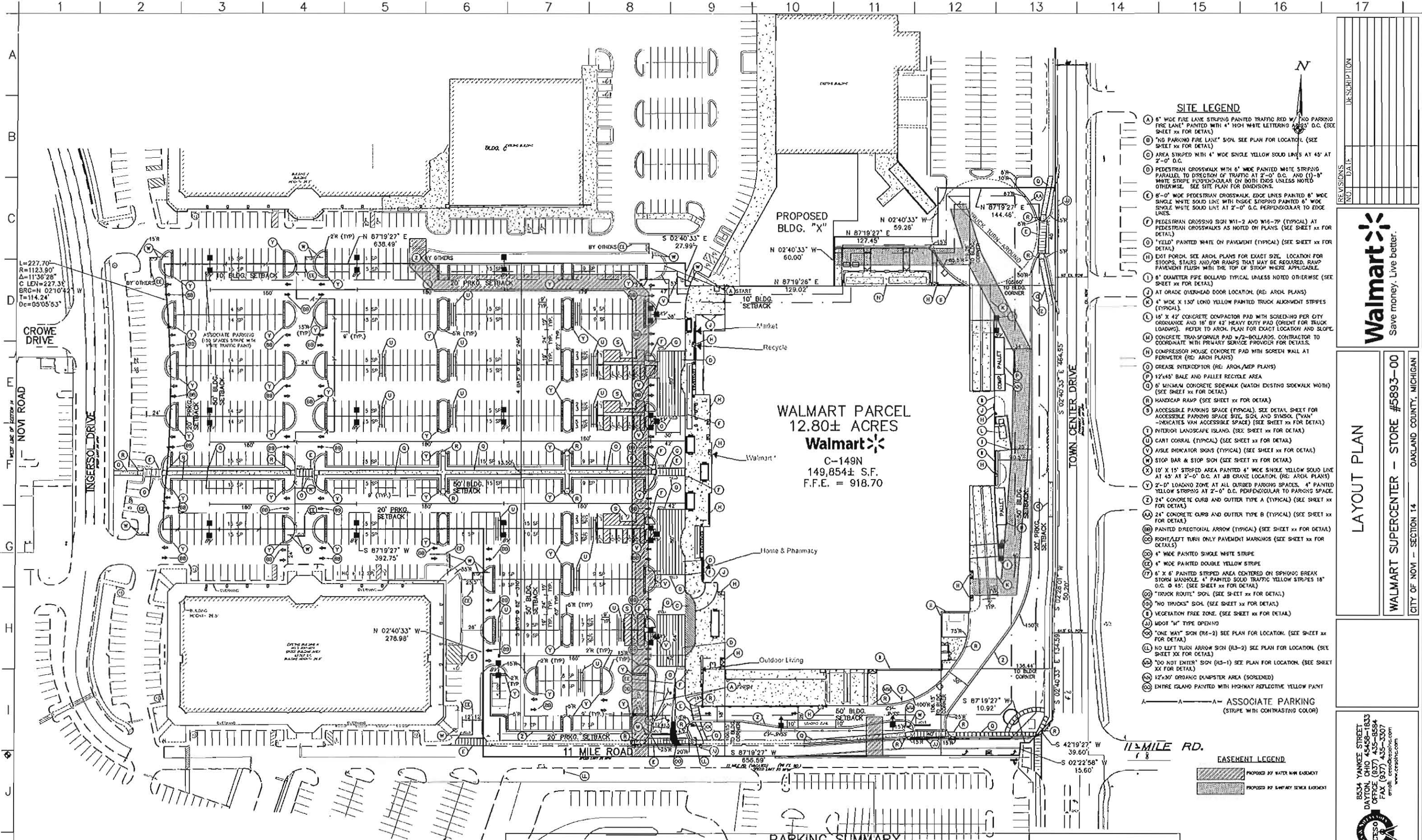
If you have any questions please contact me at 248-347-0438.

Sincerely,

CITY OF NOVI

A handwritten signature in cursive script that reads 'Jeannie Niland'.

Jeannie Niland
Ordinance Enforcement Officer



SITE LEGEND

- (A) 6" WIDE FIRE LANE STRIPING PAINTED TRAFFIC RED W/ TWO PARKING FIRE LANE PAINTED WITH 4" HIGH WHITE LETTERING AT 20' O.C. (SEE SHEET XX FOR DETAIL)
 - (B) "NO PARKING FIRE LANE" SIGN SEE PLAN FOR LOCATION (SEE SHEET XX FOR DETAIL)
 - (C) AREA STRIPED WITH 4" WIDE SINGLE YELLOW SOLID LINES AT 45° AT 2'-0" O.C.
 - (D) PEDESTRIAN CROSSWALK WITH 6" WIDE PAINTED WHITE STRIPING PARALLEL TO DIRECTION OF TRAFFIC AT 2'-0" O.C. AND (1)-8" WHITE STRIPE PERPENDICULAR ON BOTH ENDS UNLESS NOTED OTHERWISE. SEE SITE PLAN FOR DIMENSIONS.
 - (E) 6'-0" WIDE PEDESTRIAN CROSSWALK. EDGE LINES PAINTED 6" WIDE SINGLE WHITE SOLID LINE WITH INSIDE STRIPING PAINTED 6" WIDE SINGLE WHITE SOLID LINE AT 2'-0" O.C. PERPENDICULAR TO EDGE LINES.
 - (F) PEDESTRIAN CROSSING SIGN W11-2 AND W16-7P (TYPICAL) AT PEDESTRIAN CROSSWALKS AS NOTED ON PLANS (SEE SHEET XX FOR DETAIL)
 - (G) "YIELD" PAINTED WHITE ON PAVEMENT (TYPICAL) (SEE SHEET XX FOR DETAIL)
 - (H) EXIST PORCH. SEE ARCH. PLANS FOR EXACT SIZE, LOCATION FOR STAIRS, STAIRS AND/OR RAMPS THAT MAY BE REQUIRED. RAMP PAVEMENT FLUSH WITH THE TOP OF STAIR WHERE APPLICABLE.
 - (I) 8" DIAMETER PIPE BOLLARD TYPICAL UNLESS NOTED OTHERWISE (SEE SHEET XX FOR DETAIL)
 - (J) AT GRADE OVERHEAD DOOR LOCATION. (RE: ARCH. PLANS)
 - (K) 4" WIDE X 130' LONG YELLOW PAINTED TRUCK ALIGNMENT STRIPES (TYPICAL)
 - (L) 16' X 42' CONCRETE COMPACTOR PAD WITH SCREENING PER CITY ORDINANCE AND 18" BY 42" HEAVY DUTY PAD (ORIENT FOR TRUCK LOADINGS). REFER TO ARCH. PLAN FOR EXACT LOCATION AND SLOPE.
 - (M) CONCRETE TRANSFORMER PAD W/ 2-BOLLARDS. CONTRACTOR TO COORDINATE WITH PRIMARY SERVICE PROVIDER FOR DETAILS.
 - (N) COMPRESSOR HOUSE CONCRETE PAD WITH SCREEN WALL AT PERIMETER (RE: ARCH. PLANS)
 - (O) GREASE INTERCEPTOR (RE: ARCH/MEP PLANS)
 - (P) 12'x45' BALE AND PALLET RECYCLE AREA (SEE SHEET XX FOR DETAIL)
 - (Q) 6" MINIMUM CONCRETE SIDEWALK (MATCH EXISTING SIDEWALK WIDTH) (SEE SHEET XX FOR DETAIL)
 - (R) HANDICAP RAMP (SEE SHEET XX FOR DETAIL)
 - (S) ACCESSIBLE PARKING SPACE (TYPICAL). SEE DETAIL SHEET FOR ACCESSIBLE PARKING SPACE. SEE SIGN AND SYMBOL (MAN - INDICATES VAN ACCESSIBLE SPACE) (SEE SHEET XX FOR DETAIL)
 - (T) INTERIOR LANDSCAPE ISLAND. (SEE SHEET XX FOR DETAIL)
 - (U) CART CORRAL (TYPICAL) (SEE SHEET XX FOR DETAIL)
 - (V) AISLE INDICATOR SIGNS (TYPICAL) (SEE SHEET XX FOR DETAIL)
 - (W) STOP BAR & STOP SIGN (SEE SHEET XX FOR DETAIL)
 - (X) 10' X 15' STRIPED AREA PAINTED 4" WIDE SINGLE YELLOW SOLID LINE AT 45° AT 2'-0" O.C. AT JOB CRANE LOCATION. (RE: ARCH. PLANS)
 - (Y) 2'-0" LOADING ZONE AT ALL CURBED PARKING SPACES. 4" PAINTED YELLOW STRIPING AT 2'-0" O.C. PERPENDICULAR TO PARKING SPACE.
 - (Z) 24" CONCRETE CURB AND OUTER TYPE A (TYPICAL) (SEE SHEET XX FOR DETAIL)
 - (AA) 24" CONCRETE CURB AND OUTER TYPE B (TYPICAL) (SEE SHEET XX FOR DETAIL)
 - (BB) PAINTED DIRECTIONAL ARROW (TYPICAL) (SEE SHEET XX FOR DETAIL)
 - (CC) RIGHT/LEFT TURN ONLY PAVEMENT MARKINGS (SEE SHEET XX FOR DETAILS)
 - (DD) 4" WIDE PAINTED SINGLE WHITE STRIPE
 - (EE) 4" WIDE PAINTED DOUBLE YELLOW STRIPE
 - (FF) 6' X 6' PAINTED STRIPED AREA CENTERED ON SPONGO BREAK STORM MANHOLE. 4" PAINTED SOLID TRAFFIC YELLOW STRIPES 18" O.C. @ 45°. (SEE SHEET XX FOR DETAIL)
 - (GG) "TRUCK ROUTE" SIGN (SEE SHEET XX FOR DETAIL)
 - (HH) "NO TRUCKS" SIGN (SEE SHEET XX FOR DETAIL)
 - (II) VEGETATION FREE ZONE. (SEE SHEET XX FOR DETAIL)
 - (JJ) 14" TYPE OPENING
 - (KK) "ONE WAY" SIGN (R3-2) SEE PLAN FOR LOCATION. (SEE SHEET XX FOR DETAIL)
 - (LL) NO LEFT TURN ARROW SIGN (R3-2) SEE PLAN FOR LOCATION. (SEE SHEET XX FOR DETAIL)
 - (MM) "DO NOT ENTER" SIGN (R5-1) SEE PLAN FOR LOCATION. (SEE SHEET XX FOR DETAIL)
 - (NN) 12x30 ORGANIC DUMPSTER AREA (SCREENED)
 - (OO) ENTIRE ISLAND PAINTED WITH HIGHWAY REFLECTIVE YELLOW PAINT
- A—A—A— ASSOCIATE PARKING (STRIPED WITH CONTRASTING COLOR)



LAYOUT PLAN
WALMART SUPERCENTER - STORE #5893-00
 CITY OF NOV - SECTION 14
 OAKLAND COUNTY, MICHIGAN

8534 YANKEE STREET
 DAYTON, OHIO 45458-1833
 OFFICE (937) 435-8584
 FAX (937) 435-3307
 email: cec@cedcoinc.com
 www.cedcoinc.com

SCALE:
 1" = 50'
 DATE:
 DECEMBER 21, 2010
 JOB NO.: 3688
 DESIGN: RLK
 DRAWN: REM
 CHECKED: REM
 SHEET NO.
 3 OF 11

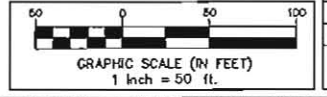
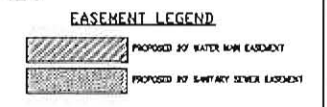
NOTE: ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.

NOTE: AS AN AID TO THE CONTRACTOR VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLANS AND PROFILES IS TAKEN FROM FIELD TOP AND/OR AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DOES NOT GUARANTEE THEIR LOCATION/ELEVATION, OR THAT ADDITIONAL UNDERGROUND STRUCTURES OR UTILITIES MAY NOT BE ENCOUNTERED.

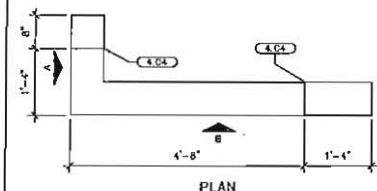
IF THE CONTRACTOR DOES ENCOUNTER A PREVIOUSLY UNIDENTIFIED UTILITY AND/OR STRUCTURE, OR DETERMINES THAT ONE OF THE UTILITIES/STRUCTURES SHOWN ON THESE PLANS IS INCORRECTLY LOCATED, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR DIRECTION ON HOW TO PROCEED. THE CONTRACTOR WILL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES. NOTIFY "MISS DIG" AT 1-800-482-7171, 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.

**BEFORE YOU DIG
 CALL MISS DIG**
 1-800-482-7171

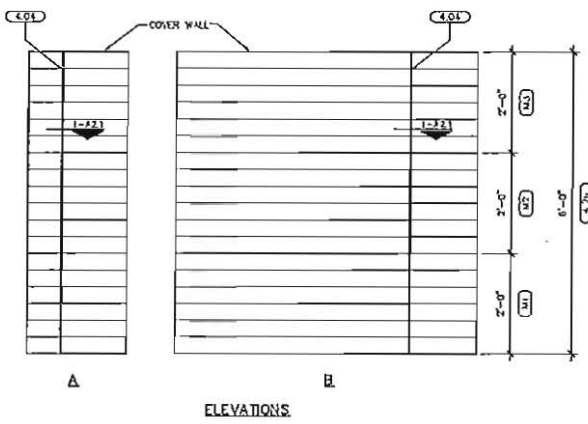
MAJOR ANCHOR SITE (WALMART)		TOTAL SHOPPING CENTER	
BUILDING AREA:	GLA (S.F.)	BUILDING AREA:	GLA (S.F.)
149,854 S.F.	149,854 S.F.	459,993 S.F.	467,334 S.F.
PARKING PROVIDED:	± 648 SPACES	PARKING PROVIDED:	± 2,711 SPACES
PARKING RATIO PROVIDED:	648/149,854 = 4.324 SPACES/1,000 S.F. GLA	PARKING RATIO PROVIDED:	2,703/459,993 = 5.876 SPACES/1,000 S.F. GLA
PARKING RATIO REQUIRED PER ORDINANCE:	5.0 SPACES/1,000 S.F. GLA	BARRIER FREE PARKING SPACES:	38 REQUIRED 46 PROVIDED
REMAINDER OF SHOPPING CENTER		CROSS ACCESS AND PARKING AGREEMENTS SHALL BE PROVIDED BETWEEN WALMART AND THE REMAINDER OF THE NOV TOWN CENTER PARCEL.	
BUILDING AREA:	GLA (S.F.)	GLA (S.F.)	GBA (S.F.)
310,139 S.F.	310,139 S.F.	317,480 S.F.	317,480 S.F.
PARKING PROVIDED:	± 2,055 SPACES		
PARKING RATIO PROVIDED:	2,055/310,139 = 6.626 SPACES/1,000 S.F. GLA		
PARKING RATIO REQUIRED PER ORDINANCE:	4.0 SPACES/1,000 S.F. GLA		



- NOTE:
1. LOCATE WHERE DISPECT BY WALMART CONSTRUCTION MANAGER.
 2. CLEAN 1/2 OF WALL IN ACCORDANCE WITH CLEARING REQUIREMENTS LEAVE REMAINDER UNCLEANED FOR DISPARISON.
 3. CONSTRUCTION MANAGER SHALL APPROVE MOOK UP BEFORE PROCEEDING WITH MASONRY INSTALLATION.
 4. LEAVE FIELD SAMPLE IN PLACE UNTIL PROJECT COMPLETION. MOOK-UP WILL NOT REMAIN AS PART OF WORK.



9 **MOCK-UP WALL**
3/4"=1'-0" 031003 C:\A010-009



62023-053

COLOR	LEGEND
P3	"SAFETY YELLOW" OSHA STANDARD
P17	"ROCK HOUSE TAN" SW #1659
P33	"WOODHOOD CLAY" SW #1823
C03	"CANTON CLAY" SW #2054
W1	"GRAY"
W2	"MOUNTAIN RED"
W3	"MOUNTAIN RED"
U3	"DESERT SAND"

REF SPECIFICATIONS

KEYNOTES	KEYNOTES	KEYNOTES
1.01 SONWAE	4.35 40" X 38" OPENING AT TRASH COMPACTOR. BOTTOM OF OPENING IS 42" AFF REF 11-SP2	7.35 ROOFING MEMBRANE
2.04 ORNAMENTAL METAL FENCING	5.09 JIB CRANE HOIST ASBY AND RAILING ASSEMBLY	7.36 SECONDARY OVERFLOW DRAIN
2.12 BLACK VINYL COATED CHAIN LINK FENCING (HEIGHT NOTED BESIDE KEYNOTE)	5.27 METAL CANOPY DECK AND STRUCTURE WITH EXPOSED SURFACES PAINTED	8.01 SECONDAL OVER-HEAD DOOR TYP
3.03 CONCRETE CURB	7.01 SHEET METAL DOOR HOOD PAINTED	8.02 HOLLOW METAL DOOR AND FRAME TYP PAINTED
3.06 CONCRETE TRANSFORMER PAD. REF CIVIL'S FOR LOCATION. COORDINATE SIZE, REINFORCING, AND THICKNESS WITH PRIVATE SERVICE PROVIDER	7.03 METAL GUTTER PAINTED UNO (SIZE NOTED BESIDE KEYNOTE)	8.09 AUTOMATIC SLIDING ENTRANCE DOORS
3.20 4" PRECAST CONCRETE CAP, UNPAINTED, UNO	7.04 METAL PARAPET CORING	8.15 RETRACTABLE SIDEWALL SYSTEM
4.04 CONTROL JOINT TYP REF STRUCTURAL	7.06 WATER DRAINAGE EXTERIOR INSULATION AND FLASH SYSTEM	10.01 FLAGPOLE
4.24 BRCK	7.07 ROOF LINE BEYOND	10.02 LOCKABLE FLAGPOLE GLEAT
4.27 THIN BRCK	7.09 METAL DOWNSPOUT PAINTED UNO (SIZE NOTED BESIDE KEYNOTE)	10.04 EXTERIOR LIGHT FIXTURE
4.21 24" X 24" MASONRY OPENING AT CONDENSATOR CABLE RACKWAY. BOTTOM OF RACKWAY AT 8" AFF REF DEC.	7.19 OVERFLOW SOUTPER (SIZE NOTED BESIDE KEYNOTE)	

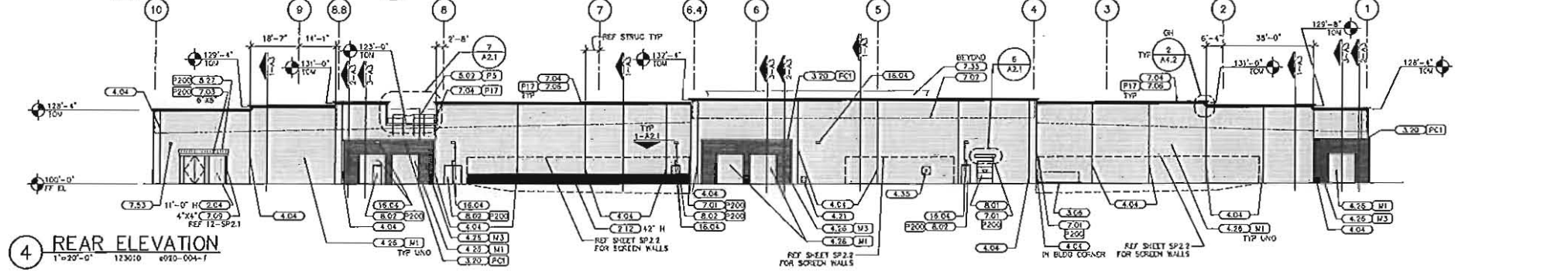
- 62023-053
- SHEET NOTES**
1. DOWNSPOUTS ARE INDICATED FOR SIZE, QUANTITY, AND APPROXIMATE LOCATION ONLY.
 2. GUTTERS, DOWNSPOUTS, OVERFLOW DRAIN LEADERS, DOOR HOISTS, HOLLOW METAL STEEL DOORS, FRAMES, EXPOSED METAL FLASHING, AND EXPOSED MISCELLANEOUS STEEL SHALL MATCH ADJACENT BUILDING COLOR UNO. IF THERE ARE TWO ADJACENT BUILDINGS AT DOORS USE THE TOP COLOR FOR THE ENTIRE DOOR.
 3. PARAPET STEPS OCCUR AT CONTROL JOINTS REF STRUCTURAL FOR CONTROL JOINT LOCATIONS. REF 13-A1.2 AND 2-A1.2 FOR FLASHING CONDITION.
 4. OVERFLOW DRAIN OPENINGS SHALL NOT BE FLEDED IN JAVA AREA ADJACENT TO EDGE OF SCOFFER OPENINGS REF STRUCTURAL FOR WIDTH OF JAMB.
 5. REFER TO STRUCTURAL FOR EXACT LOCATION OF BRICK CONTROL JOINTS.

8 NOT USED

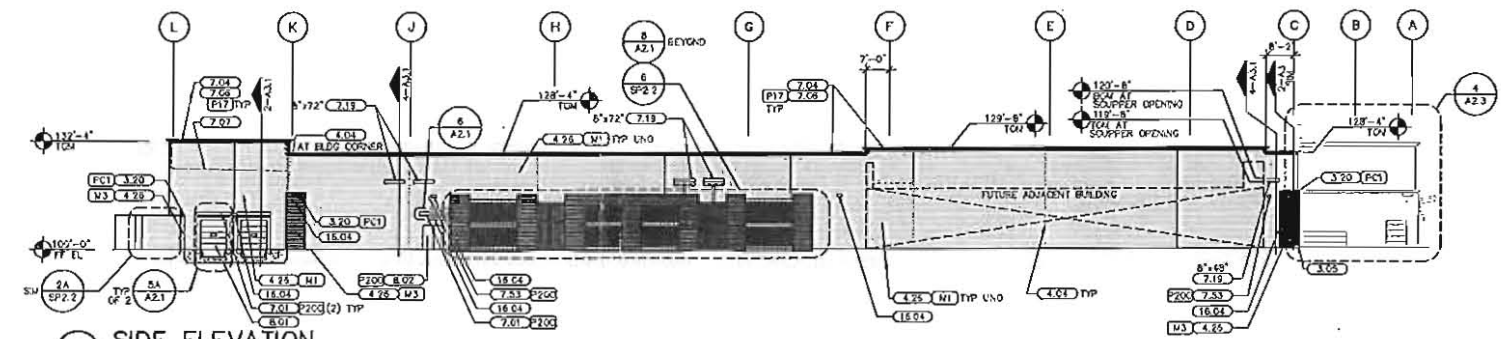
7 NOT USED

6 NOT USED

5 **SIDE ELEVATION**
1"=20'-0" 111510 0202-003-1

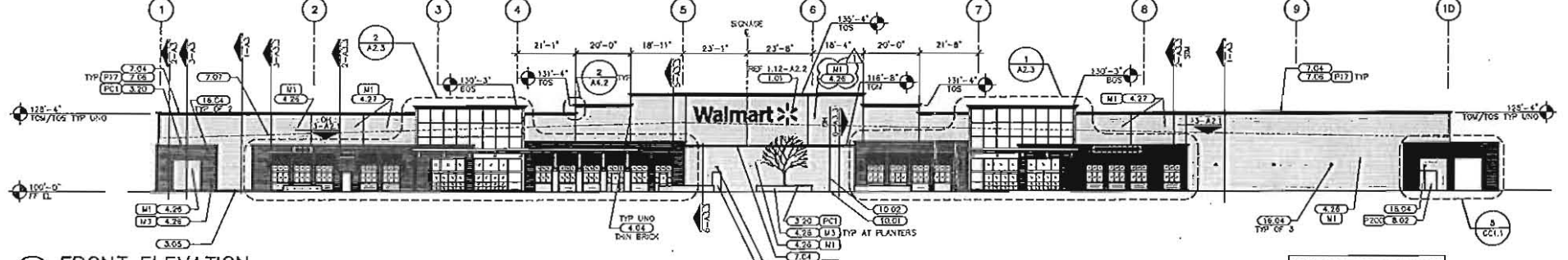


4 **REAR ELEVATION**
1"=20'-0" 123010 0202-004-1



3 NOT USED

2 **SIDE ELEVATION**
1"=20'-0" 123010 0202-002-1



1 **FRONT ELEVATION**
1"=20'-0" 073010 0202-001-1

Sep 28, 2011 1:07pm 10278 41644666
 C:\22500\Walmart\31110 New_Jan_20_2011\0202-001-0000 - 42 EXTERIOR ELEVATIONS - 2832.dwg



DESIGNED BY: TW
 DRAWN BY: JKH
 FILE NAME: 150-A020
 PLOT CYCLE: 123010
 PLOT DATE: 04/01/11

EXTERIOR ELEVATIONS
 SHEET: A2

SITE SIGNAGE SCHEDULE					BUILDING SIGNAGE SCHEDULE			
SIGNAGE	QTY	COLOR	INDIVIDUAL AREA	TOTAL AREA	FRONT SIGNAGE	QTY	COLOR	TOTAL AREA
Walmart Pylon (INTERNALLY ILLUMINATED)	1	WHITE LETTERING YELLOW SPARK	63.00 SF	63.00 SF	Walmart P. (Sign)	1	WHITE	218.00 SF
					Market	1	WHITE	10.13 SF
					Home & Pharmacy	1	WHITE	33.13 SF
					Outdoor Living	1	WHITE	77.17 SF
					Recycle	1	WHITE	6.13 SF
					TOTAL FRONT SIGNAGE			422.54 SF
					TOTAL BUILDING SIGNAGE			422.54 SF



DISCIPLINE FOR REVIEW

BY: [Signature]

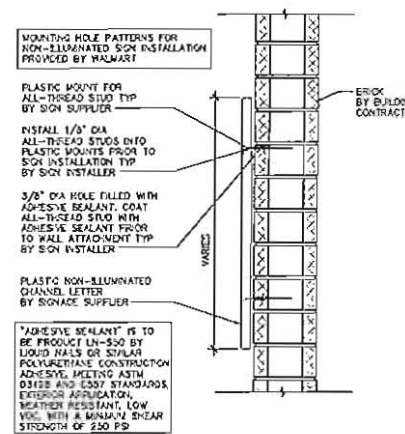
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CONSULTANTS

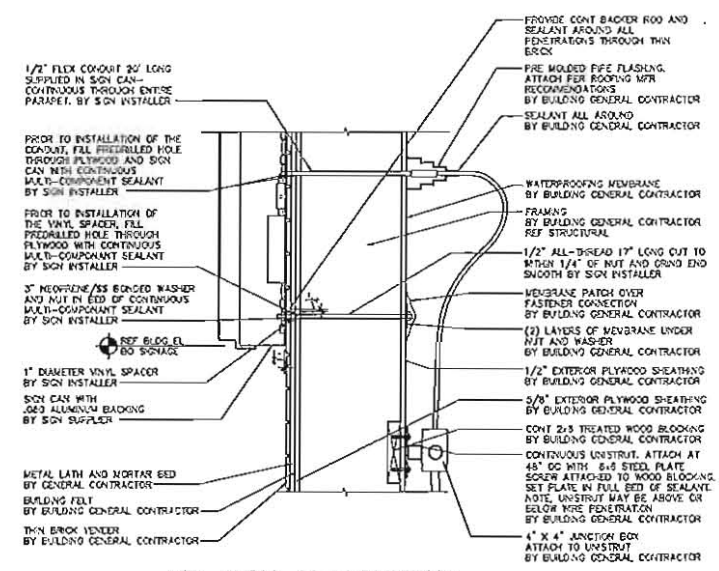
Walmart
NOVI, MICHIGAN
STORE NO: 5883
JOB NUMBER: 03201013 - PHOTO: 1-60

SHEET BLOCK	

DRAWN BY: TN
CHECKED BY: BFN
FILE NAME: 150-A022
PROJECT CODE: 123010
DOCUMENT DATE: 04/11/11



14 SIGN ATTACHMENT
1/4" = 1'-0" 043010 CV022-014a



11 SIGN ATTACHMENT
1/4" = 1'-0" 043010 CV022-011b



12 SIGN LOCATION
3/4" = 1'-0" 123010 CV022-012a
5'-6" SIGN ON TRILLY BRICK

13 NOT USED

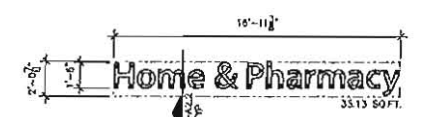
10 NOT USED

9 NOT USED

8 NOT USED

7 NOT USED

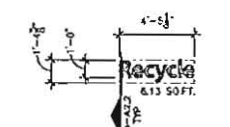
6 NOT USED



4 18" HOME & PHARMACY SIGNAGE
1/4" = 1'-0"



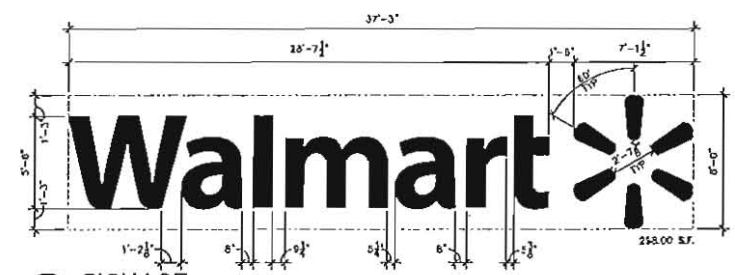
3 18" MARKET SIGNAGE
1/4" = 1'-0"



2 12" RECYCLE SIGNAGE
1/4" = 1'-0"



5 SIGNAGE
1/4" = 1'-0" CV022-005



1 SIGNAGE
1/4" = 1'-0" CV022-102

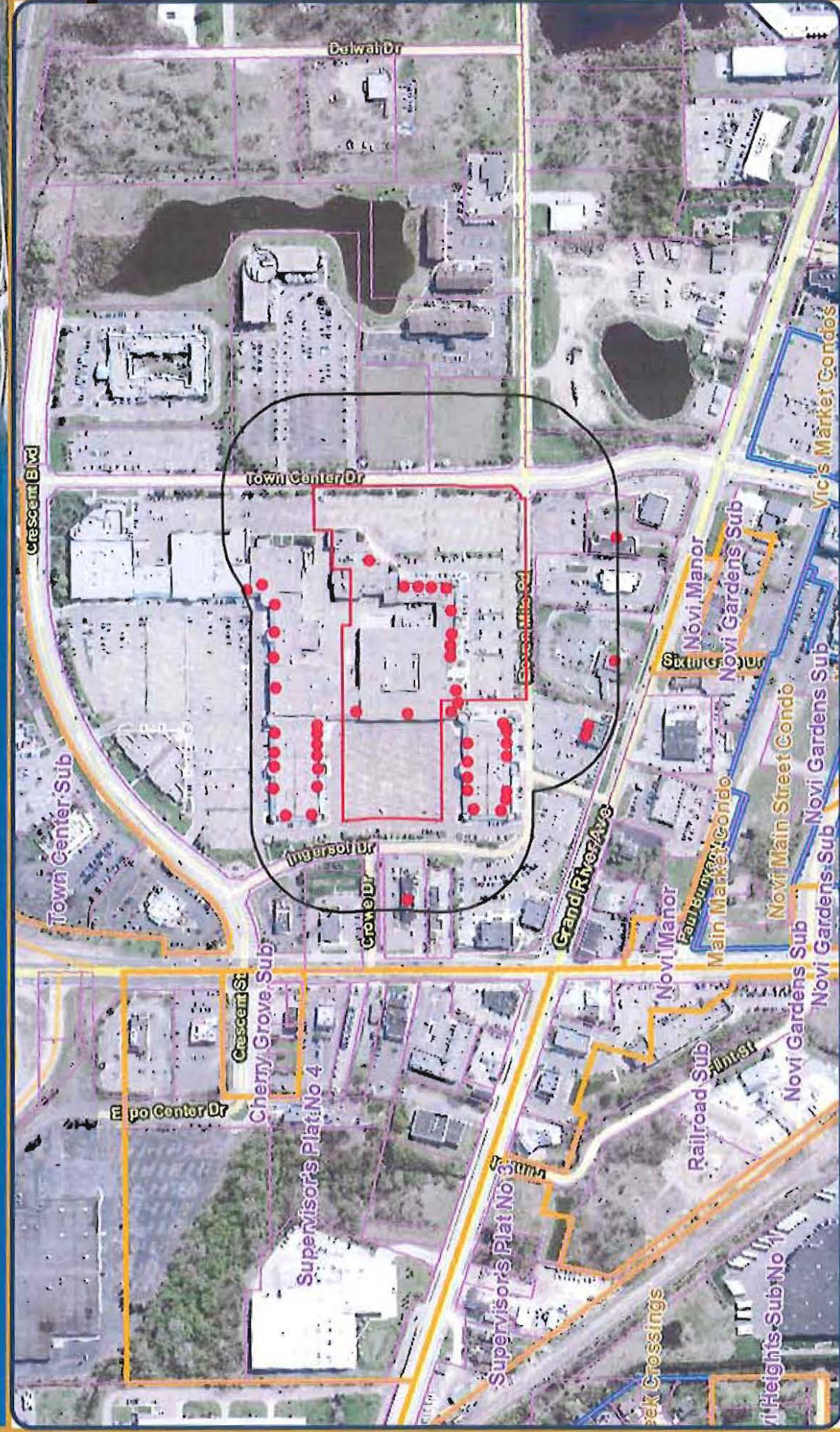
SIGNAGE

SHEET: A2.2

Apr 07, 2011 - 12:46pm - USER: michelasm
 G:\Users\michelasm\OneDrive\Projects\123010_Novi\NOVI_SIGNAGE\A2.2_SIGNAGE - 100.dwg

City of Novi

WalMart



Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal

Date: 02/13/2012

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map. This map was produced under the terms of the City's Internet Site Use Policy available at <http://cityofnovi.org/Resources/SiteUsePolicy.asp>