



Grand Promenade JSP14-15

Grand Promenade, JSP14-15

Public hearing at the request of Novi Promenade Holdings LLC for Special Land Use Permit, Preliminary Site Plan, Wetland Permit, Woodland Permit, and Stormwater Management Plan approval. The subject property is located in Section 17, on the south side of Grand River Avenue at Twelve Mile Road in the B-3, General Business District. The subject property is approximately 2.56 acres and the applicant is proposing an 11,970 square foot retail space and 3,817 square foot drive-through restaurant.

Required Action

Approval/denial of the Special Land Use Permit, Preliminary Site Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	08/20/14	<ul style="list-style-type: none"> • Amendment to Novi Equities Limited Partnership v. City of Novi Consent Judgment required • Items to address on the Final Site Plan submittal
Engineering	Approval recommended	08/18/14	Items to address on the Final Site Plan submittal
Traffic	Approval recommended	08/19/14	Items to address on the Final Site Plan submittal
Landscaping	Approval recommended	08/08/14	Items to address on the Final Site Plan submittal
Wetlands	Approval recommended	08/20/14	<ul style="list-style-type: none"> • City of Novi Non-Minor Use Permit and Authorization to Encroach into the Natural Features Setback required • Items to address on the Final Site Plan submittal
Woodland	Approval recommended	08/20/14	<ul style="list-style-type: none"> • City of Novi Woodland Permit required • Items to address on the Final Site Plan submittal
Façade	Approval recommended	06/07/14	<ul style="list-style-type: none"> • Section 9 façade waiver recommended for the overage of EIFS on the north façade of the west building • Items to address on the Final Site Plan submittal
Fire	Approval recommended	05/29/14	No additional items to address

Motion Sheet

Approval – Special Land Use Permit

In the matter of Grand Promenade, JSP14-15, motion to **approve** the Special Land Use permit based on the following findings and subject to the following conditions:

- a. Relative to other feasible uses of the site:
 - The proposed use will not cause any detrimental impact on existing thoroughfares (*as demonstrated by the submitted Traffic Impact Study*);
 - The proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*as noted in the engineering review letter*);
 - The proposed use is compatible with the natural features and characteristics of the land (*as described in the wetland and woodland review letters*);
 - The proposed use is compatible with adjacent uses of land (*because the proposed restaurant and retail use is located near similar types of uses*);
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
 - The proposed use will promote the use of land in a socially and economically desirable manner;
 - The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. City Council approval of the proposed amendment to the Novi Equities Limited Partnership v. City of Novi Consent Judgment to allow wetland mitigation and changes to the existing stormwater detention basin on the adjacent Novi Promenade site;
- c. The findings of compliance with Ordinance standards in the staff review letter and the conditions and the items listed in that letter being addressed;
- d. (*additional comments here if any*)

(This motion is made because the plan is otherwise in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Preliminary Site Plan

In the matter of Grand Promenade, JSP14-15, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. City Council approval of the proposed amendment to the Novi Equities Limited Partnership v. City of Novi Consent Judgment to allow wetland mitigation and changes to the existing stormwater detention basin on the adjacent Novi Promenade site;
- b. Planning Commission approval of the Preliminary Site Plan, Wetland Permit and Stormwater Management Plan for the Novi Promenade Retention Pond Relocation JSP14-30;
- c. Section 9 waiver for the overage of EIFS on the north façade of the western-most building, which is hereby granted;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- e. (*additional conditions here if any*)

(This motion is made because the plan is otherwise in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-AND-

Approval –Wetland Permit

In the matter of Grand Promenade, JSP14-15, motion to **approve** the Wetland Permit based on and subject to the following:

- a) City Council approval of the proposed amendment to the Novi Equities Limited Partnership v. City of Novi Consent Judgment to allow wetland mitigation and changes to the existing stormwater detention basin on the adjacent Novi Promenade site;
- b) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- c) *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.

-AND-

Approval – Woodland Permit

In the matter of Grand Promenade, JSP14-15, motion to **approve** the Woodland Permit based on and subject to the following:

- a) City Council approval of the proposed amendment to the Novi Equities Limited Partnership v. City of Novi Consent Judgment to allow wetland mitigation and changes to the existing stormwater detention basin on the adjacent Novi Promenade site;
- b) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- c) *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

Approval – Stormwater Management Plan

In the matter of Grand Promenade, JSP14-15, motion to **approve** the Stormwater Management Plan, subject to:

- a) City Council approval of the proposed amendment to the Novi Equities Limited Partnership v. City of Novi Consent Judgment to allow wetland mitigation and changes to the existing stormwater detention basin on the adjacent Novi Promenade site;
- b) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- c) *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR-

Denial – Special Land Use Permit

In the matter of Grand Promenade, JSP14-15, motion to **deny** the Special Land Use permit and Preliminary Site Plan for the following reasons...(because it is not in compliance with the Ordinance.)

-AND-

Denial – Preliminary Site Plan

In the matter of Grand Promenade, JSP14-15, motion to **deny** the Preliminary Site Plan, for the following reasons...(because the plan is not in compliance with Article 15, Article 24 and Article 25 of the Zoning Ordinance.)

-AND-

Denial –Wetlands Permit

In the matter of Grand Promenade, JSP14-15, motion to **deny** the Wetland Permit, for the following reasons...(because the plan is not in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

Denial- Woodland Permit

In the matter of Grand Promenade, JSP14-15, motion to **deny** the Woodland Permit...(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-AND-

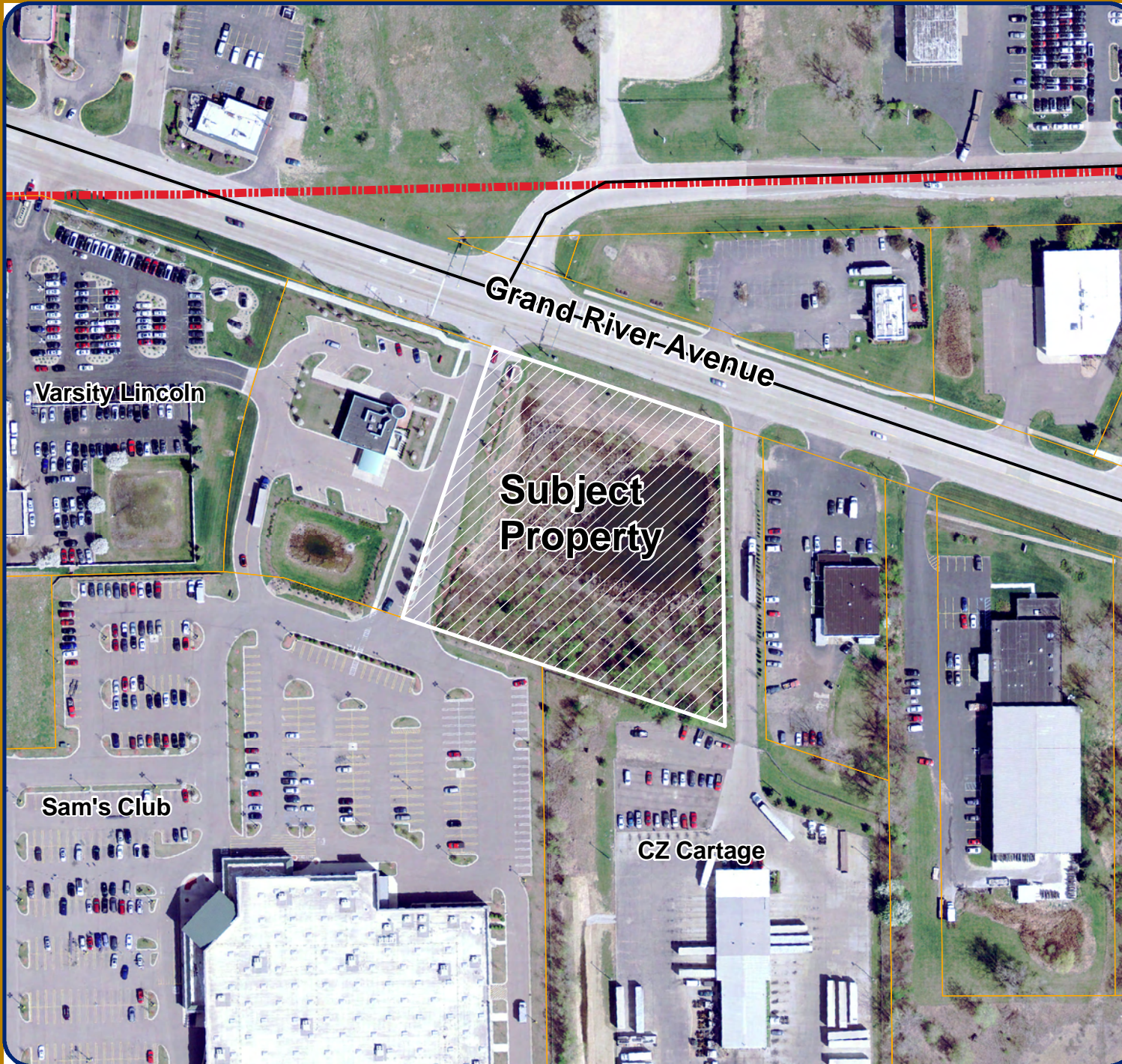
Denial Stormwater Management Plan

In the matter of Grand Promenade, JSP14-15, motion to **deny** the Stormwater Management Plan, for the following reasons...(because the plan is not in compliance with Chapter 11 of the Ordinance.)



MAPS
Location
Zoning
Future Land Use
Natural Features

Grand Promenade JSP14-15

Location



Map Legend

-  Subject Property
-  City of Novi



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

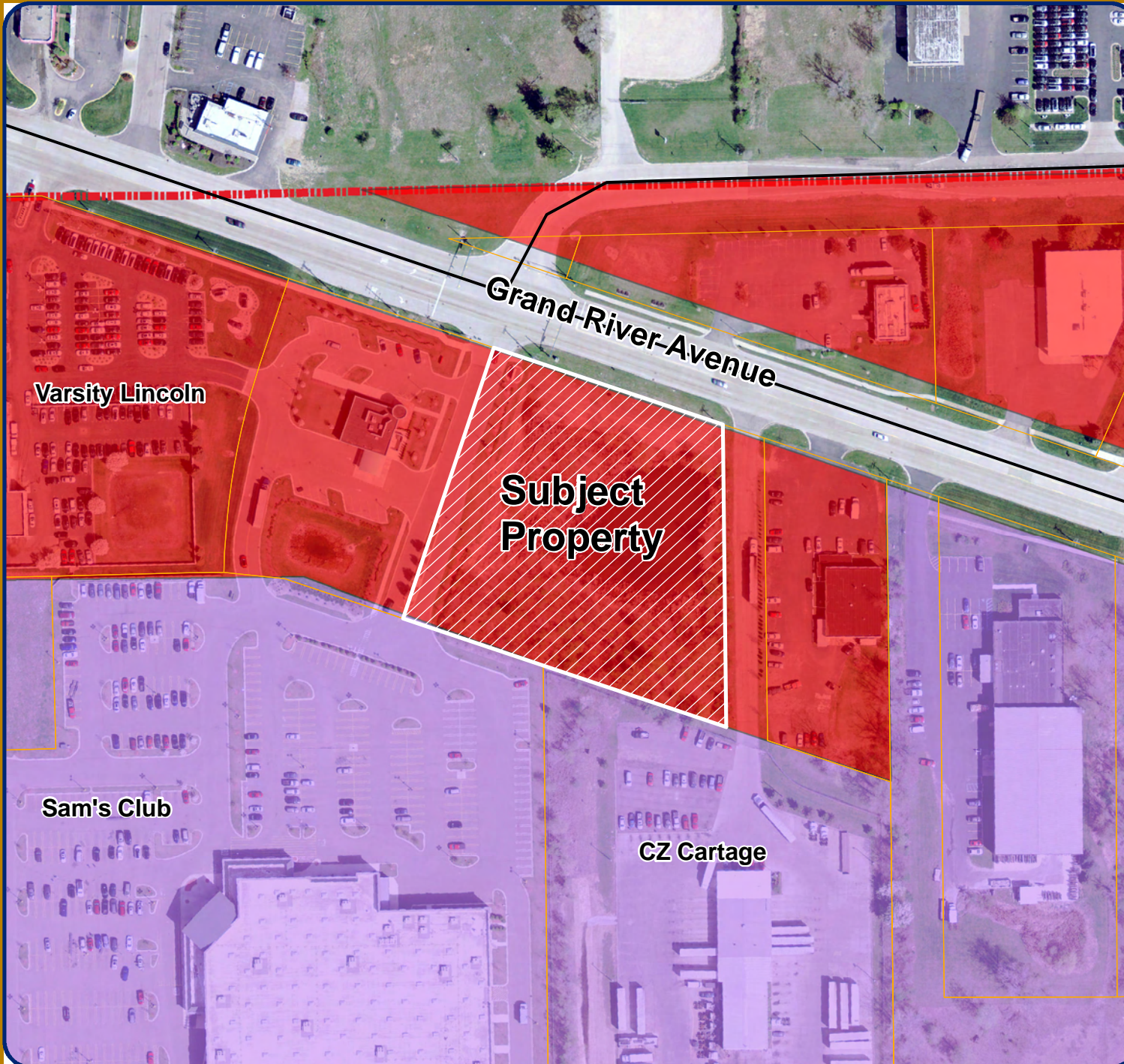
Map Author: Kristen Kapelanski
Date: 10-15-14
Project: Grand Promenade JSP14-15
Version #: 1.0

MAP INTERPRETATION NOTICE





Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Grand Promenade JSP14-15

Zoning



Map Legend

-  Subject Property
-  B-3: General Business District
-  I-1: Light Industrial District
-  City of Novi



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

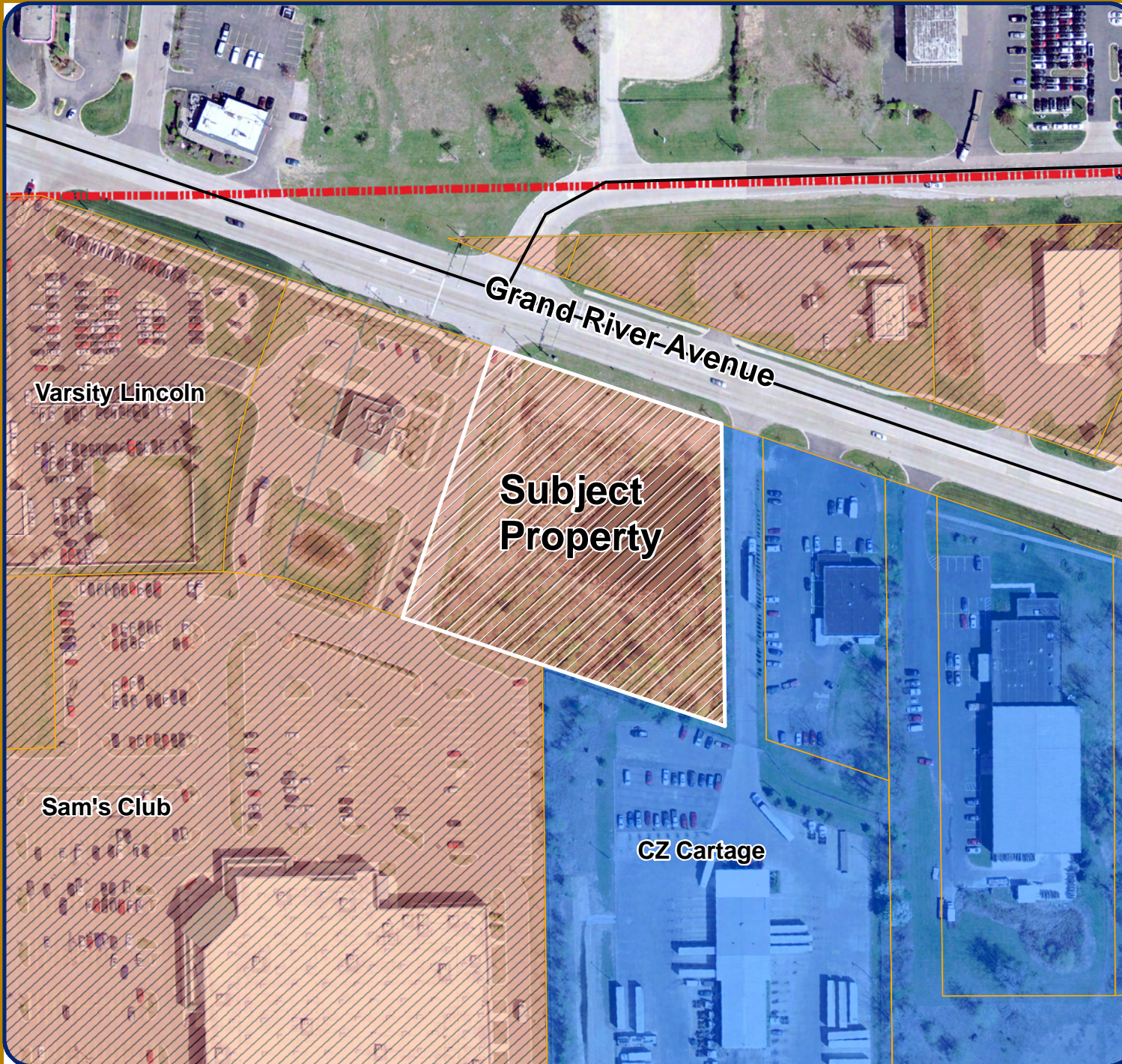
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Grand Promenade JSP14-15

Future Land Use



Map Legend

-  Subject Property
-  Office RD Tech
-  Community Commercial
-  City of Novi



City of Novi
Planning Division
Community Development Dept.
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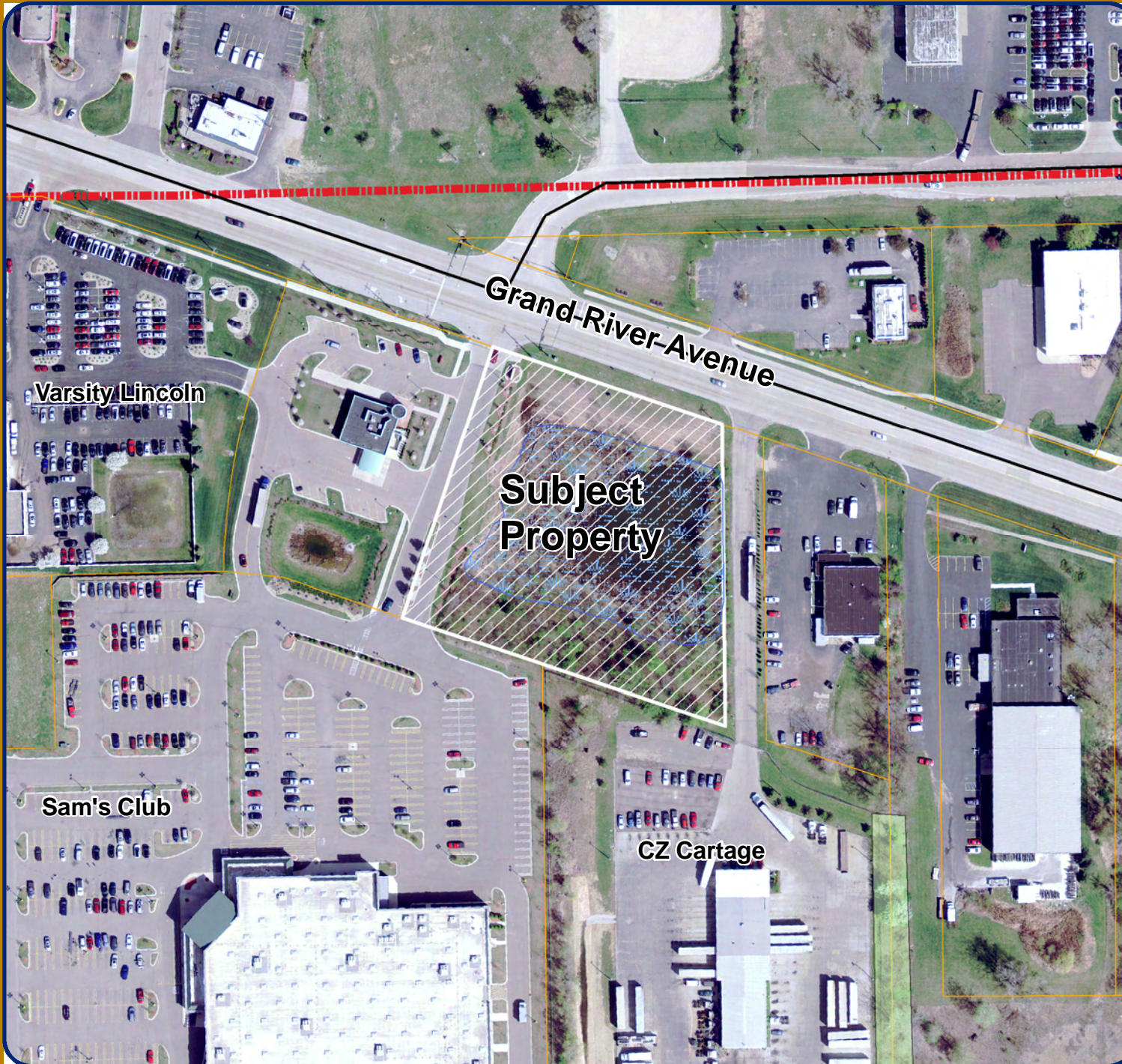
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Grand Promenade JSP14-15

Natural Features



Map Legend

-  Subject Property
-  Wetlands
-  Woodlands
-  City of Novi



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

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Site Plan

(Full plan set available for viewing at the Community Development Department)



NORTH
GRAPHIC SCALE



DESIGN CRITERIA	
GROSS LOT AREA	= 2.56 ACRES
PROPOSED R.O.W.	= 0.07 ACRES
EASEMENT AREA	= 0.36 ACRES
NET LOT AREA	= 2.13 ACRES
GROSS FLOOR AREA	= 15,787-S.F.
CURRENT ZONING	= B-3

PARKING REQUIRED SHOPPING CENTER	
1 SPACE FOR EACH 250-S.F. OF GROSS LEASABLE FLOOR AREA (11,970-S.F./250-S.F. = 48 SPACES)	= 48 SPACES

PARKING REQUIRED RESTAURANT	
1 SPACE FOR EACH EMPLOYEE PLUS ONE FOR EACH 2 PERSONS ALLOWED IN SEATING AND WAITING AREA (13-EMPLOYEES + 115 SEATING + WAITING / 2 = 70 SPACES)	= 70 SPACES

PARKING PROVIDED	
HANDICAP PARKING	= 5 SPACES
STANDARD PARKING	= 114 SPACES
TOTAL PARKING PROVIDED	= 119 SPACES

BUILDING SETBACKS REQUIRED	
FRONT SETBACK	= 30'
REAR SETBACK	= 20'
EAST SIDE YARD SETBACK	= 15'
WEST SIDE YARD SETBACK	= 15'
MAXIMUM BLDG. HEIGHT	= 30'

PARKING SETBACKS REQUIRED	
FRONT SETBACK	= 25'
REAR SETBACK	= 10'
EAST SIDE YARD SETBACK	= 10'
WEST SIDE YARD SETBACK	= 10'

Exterior Lighting

- All outdoor lighting in all Use Districts used to light the general area of a specific site shall be shielded to reduce glare and shall be so arranged as to reflect lights away from all adjacent residential districts or adjacent residences.
- All light fixtures must be mounted to a height of 43 ft. or less. The entire site to be limited to light poles with a maximum height of 45 ft.
- All outdoor lighting in all Use Districts shall be directed toward and confined to the ground areas of lawns or parking lots.
- All lighting in nonresidential districts used for the external illumination of buildings, so as to feature said buildings, shall be placed and shielded so as not to interfere with the vision of persons on adjacent highways or adjacent property.
- Illumination of signs shall be directed or shaded downward so as not to interfere with the vision of persons on the adjacent highways or adjacent property.
- Artificial light shall be maintained in a manner so as not to constitute a hazard or nuisance.

GENERAL NOTES:

ALL LIGHTS SHALL BE SQUARE, ARM MOUNTED, CUT-OFF TYPE LUMINAIRE W/45° L.E.D. LAMPS WITH VERTICAL REFLECTOR. ALL LIGHTING SHALL BE DIRECTED AWAY FROM ADJOINING PARCELS (TYP.).

REFER TO UTILITY PLANS AND PROFILES FOR STORM SEWER, SANITARY SEWER, WATERMANS, AND BUILDING CONNECTION LOCATIONS, SIZES, AND INVERTS.

CONTRACTOR TO COMPLY WITH CITY OF NOVI AND OAKLAND COUNTY ROAD COMMISSION REQUIREMENTS FOR ALL WORK PREFORMED WITHIN WIXOM ROAD RIGHT OF WAY. CONTRACTOR TO OBTAIN PERMIT FROM THE CITY OF NOVI PUBLIC SERVICE DEPT AND THE OAKLAND COUNTY ROAD COMMISSION PRIOR TO THE START OF CONSTRUCTION.

REFER LANDSCAPE ARCHITECTS PLAN FOR ALL PLANTINGS, BERMING, LANDSCAPE DETAILS, AND MATERIALS (TYP.)

ALL PARKING AREAS AND LANDSCAPE ISLANDS TO HAVE CURB AND GUTTER (TYP.) UNLESS OTHERWISE NOTED.

GENERAL CONTRACTOR TO COORDINATE AND INSTALL UNDERGROUND ELECTRICAL CONDUIT TO PARKING LOT UTILITIES, AND DIRECTIONAL SIGNS. GENERAL CONTRACTOR TO PROVIDE A UNIT PRICE FOR INSTALLATION OF IRRIGATION SLEEVES. EXACT QUANTITY AND LOCATION TO BE DETERMINED PRIOR TO THE START OF CONSTRUCTION. WITNESS THE LOCATION OF EACH SLEEVE.

DEVELOPER TO INSTALL FIRE LANE SIGN AS NECESSARY PER THE CITY OF NOVI FIRE DEPARTMENT'S REQUIREMENTS. CONTRACTOR SHALL COORDINATE INSTALLATION OF SIGNS WITH THE CITY'S FIRE MARSHAL (TYP.).

ALL TRAFFIC CONTROL SIGNS AND PAVEMENT MARKINGS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

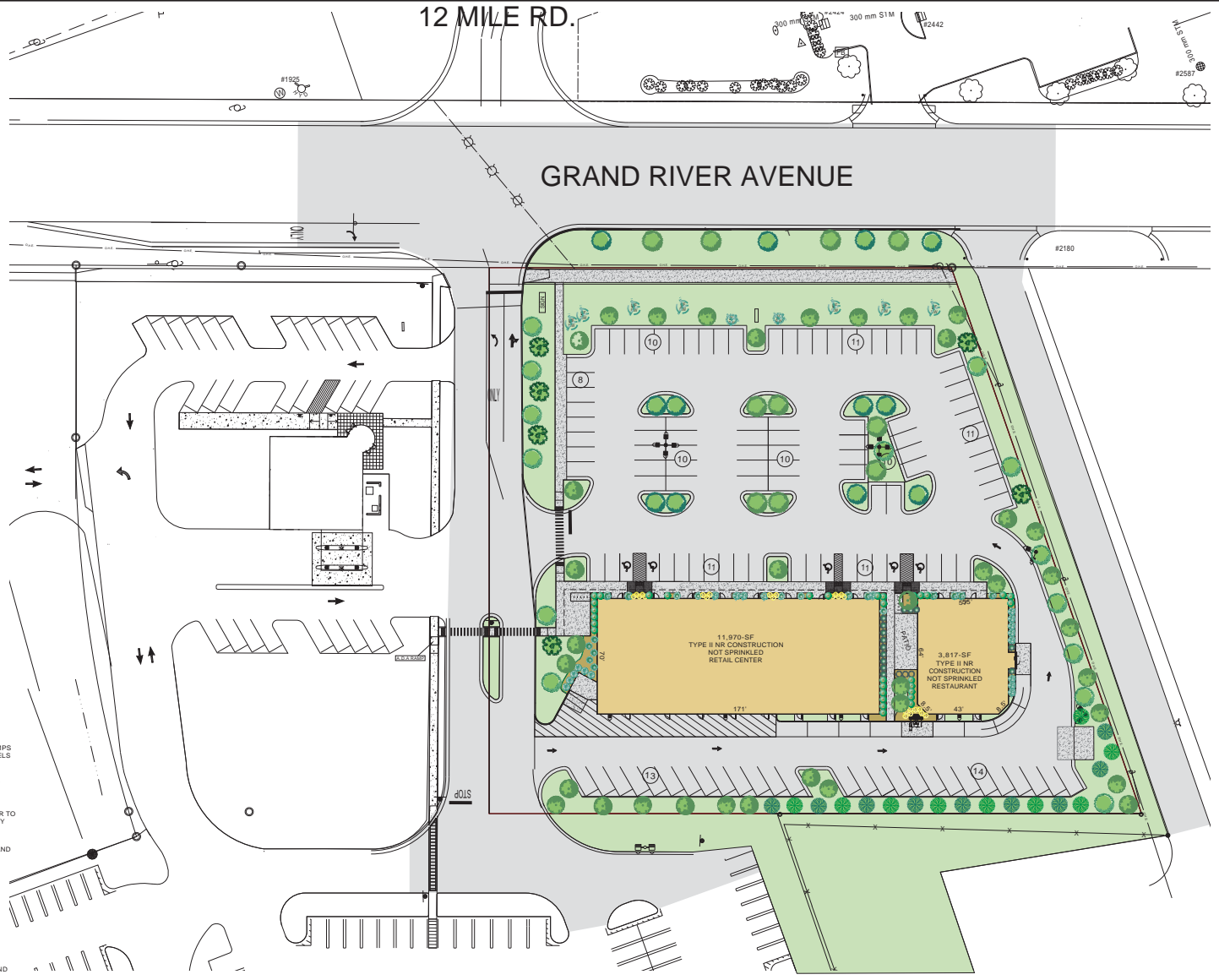
PAVEMENT STRIPING SHALL BE MDOT FAST DRY PAVEMENT MARKING. ALL ARROWS, STOP BARS, AND LANE LINES (4" WIDE SINGLE LINES BETWEEN TURN LANES AND LANES IN THE SAME DIRECTION OF TRAVEL SHALL BE WHITE, LINES SEPARATING OPPOSITE DIRECTIONS OF TRAFFIC SHALL BE 4" WIDE DOUBLE YELLOW, NON-BARRIER-FREE SPACE MARKING SHALL BE WHITE, BARRIER-FREE SPACE MARKINGS AND HATCHING SHALL BE BLUE, INTERNATIONAL SYMBOLS OF ACCESSIBILITY (WHEELCHAIR SYMBOLS) ON THE PAVEMENT SHALL BE PAINTED WHITE. ALL PEDESTRIAN CROSS WALKS SHALL BE STRIPED WITH 12" WIDE WHITE DIAGONAL LINES AT 45° ANGLES SPACED 24" APART (TYP.). LOADING AREAS SHALL BE STRIPED WITH 12" WIDE YELLOW DIAGONAL LINES AT 45° ANGLES SPACED 6' APART (TYP.).

NOTE: ACCORDING TO THE NATIONAL FLOOD INSURANCE RATE MAP COMMUNITY PANEL NUMBER 26125C0262P DATED SEPTEMBER 29, 2006 THE SUBJECT PARCEL IS LOCATED IN ZONE "X" WHICH IS NOT A DESIGNATED AREA'S OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

NOTE:
ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS & SPECIFICATIONS.

12 MILE RD.

GRAND RIVER AVENUE



SIGN TABLE		
SIGN #	SIGN TYPE	REQUIRED
R1-1	STOP (24")	1
R7-8	RESERVED PARKING	5
R7-8P	1 VAN ACCESSIBLE	4
R8-1	DO NOT ENTER	2
R8-2L	ONE WAY	1
R8-2R	ONE WAY	1
R7-6	NO PARKING LOADING ZONE	3

NOTE: ALL SIGNS WILL COMPLY WITH CURRENT 2011 MUTCD STANDARDS.



53115 GRAND RIVER
NEW HUDSON, MI 48168
(P) 248-437-7803
(F) 866-690-4307

REVISIONS
Revised per City's 5-12-14
review comments

CLIENT:
George Paschall LLC
29144 Eastman Trail
Sterling Heights, MI 48312

These documents are instruments of service and shall be void if not signed by the contractor. The contractor shall be responsible for obtaining all necessary permits and approvals from all applicable agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from all applicable agencies. The contractor shall be responsible for obtaining all necessary permits and approvals from all applicable agencies.

CITY OF NOVI
OAKLAND COUNTY, MI

Date: 6-30-14
Drawn By: MD
P.E. - MATT DEFFIN
SCALE: 1 inch = 30 ft.
JOB No.: 130396
Sheet No.:
3 OF 7

Planning Review



PLAN REVIEW CENTER REPORT

August 20, 2014

Planning Review

Grand Promenade

JSP14-15

Petitioner

Novi Promenade Holdings LLC

Review Type

Revised Preliminary Site Plan and Special Land Use

Property Characteristics

- Site Location: South side of Grand River at 12 Mile (Section 17)
- Site Zoning: B-3, General Business
- Adjacent Zoning: North, East & West: B-3, General Business; South: I-1, Light Industrial;
- Current Site Use(s): Vacant
- Adjoining Uses: North: Restaurant; East: Automobile Service/Retail;
South: Warehouse Retail and Industrial; West: Bank
- School District: Novi Community Schools
- Proposed Site Size: 2.56
- Plan Date: 06-30-14

Project Summary

The applicant is proposing to construct an 11,970 square foot retail space and 3,817 square foot drive-through restaurant on the vacant 2.56 acres on the south side of Grand River at 12 Mile Road. The site contains a 1.33 acre wetland that the applicant is proposing to fill and to mitigate on the adjacent Novi Promenade site, which will require an amendment to the Novi Equities Limited Partnership v. City of Novi Consent Judgment which is being reviewed under a separate site plan (JSP-14-30). Drive-through restaurants require special land use approval.

Recommendation

Provided the amendment to the Novi Promenade consent judgment is approved to allow off-site wetland mitigation, **staff recommends approval of the revised Preliminary Site Plan**. The applicant has generally met the requirements of the Zoning Ordinance. [Amended on 10-16-14.]

Review Standards

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 15 (B-3 General Business District), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Please see the items listed below for information pertaining to Ordinance requirements. Items in bold below must be addressed by the applicant.

1. Noise Impact Statement: Drive-through restaurants in the B-3 District require the submission of a noise impact statement. While the applicant has provided a brief statement on the plans indicating the noise standards will not be exceeded, **additional information as detailed in Section 2519.10 of the Zoning Ordinance is required**. See the Planning Review Chart.
2. Woodlands: Twenty-five trees are proposed to be removed, requiring twenty-seven replacement credits. Additional detail can be found in the woodland review letter.
3. Wetlands: Two acres of off-site wetland mitigation is proposed on the adjacent Novi Promenade site. As wetland mitigation is proposed off-site, **approval of this plan is contingent**

upon approval of the amendment to the Novi Promenade consent judgment. Refer to the wetland review letter for additional information.

4. **Lighting Plan:** In accordance with Sec.2511, **an exterior lighting plan, lighting details, and photometric plan should be submitted with the Final Site Plan.**
5. **Dumpster:** Staff has concerns about circulation conflicts associated with servicing the proposed dumpsters. **The applicant should add a note to the plans indicating dumpster service between the hours of 10PM and 7AM only.** Refer to the traffic review letter for additional information.
6. **Bicycle Parking:** The plan depicts the required amount of bicycle parking spaces in appropriate locations. **The applicant should provide an additional detail so that maneuvering lane and parking space dimensions can be verified.**
7. **Exterior Signage:** Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland at 248.347.0438 or jniland@cityofnovi.org for information regarding sign permits.

Special Land Use Considerations

Drive-through restaurants in the B-3 District falls under the Special Land Use requirements of Section 1502. The main planning related requirement with respect to Special Land Use is the submittal of a noise impact statement and lighting plan to ensure compliance with the factors below. Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of any Special Land Use:

1. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
2. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
3. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
4. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
5. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
6. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
7. Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP – Planner

Attachments: Planning Review Chart

Planning Review Chart

Grand Promenade JSP 14-15
 Revised Preliminary Site Plan Review
 Plan Date: 06/30/14

Bolded items must be addressed by the applicant

Item	Proposed	Meets Requirements?	Comments
Master Plan Community Commercial	No change		
Zoning B-3, General Business	No change		
Proposed Use Uses permitted listed in Section 1501 & 1502	11,970 sq. ft. retail & 3,817 sq. ft. drive-through restaurant	Yes	Drive-throughs are special land uses Tenants should check with Community Development Department prior to leasing space to ensure use is permitted
Restaurant in the Character of a Fast Food Carryout, Drive-In, Fast Food Drive-Through, or Fast Food Sit Down (Sec. 1502.9)			
a. Access points shall be located at least 60 ft. from the intersection of any 2 streets	60 ft.+ of spacing to closest intersection	Yes	
b. Such uses shall not be permitted on a parcel less than 60 ft. from any residential zoning district	60 ft.+ of spacing to closest residential zoning district	Yes	
c. All drive-through lanes shall be located at least 150 ft. from any residential zoning district	150 ft.+ of spacing to closest residential zoning district	Yes	
d. All lighting shall be shielded from residential uses	Residential uses not located in the vicinity	Not applicable	
e. All drive-through restaurants shall meet the stacking space requirements listed in Section 2506.12.	Stacking spaces in accordance with requirements	Yes	
f. A 6 ft. high obscuring wall shall be provided when abutting or adjacent districts are zoned for OS-1, OS-2, OSC, NCC, B-1, B-2 or B-3 Districts & where such abutting or adjacent districts are not separated from the proposed restaurant by a road, highway or freeway, the height of the wall shall be measured from the surface of the ground & shall further meet the requirements of Article 24	Property adjacent to the drive-through is I-1	Not applicable	
g. A noise impact statement is required subject to the standards of Sec. 2519.10.c	Statement provided on cover sheet	Yes?	The applicant should provide additional information including the manufacturer's specifications for any noise generating

Item	Proposed	Meets Requirements?	Comments
			equipment that will be placed outside of the building and the hours of operation
Max. Building Height (Sec. 2400) 30 ft.	26 ft. 4 in.	Yes	
Min. Building Setbacks (Sec. 2400)			
a. Front (north/Grand River): 30 ft.	200+ feet	Yes	
b. Side (east): 15 ft.	35+ feet	Yes	
c. Side (west): 15 ft.	65 feet	Yes	
d. Rear (south)20 ft.	60+ feet	Yes	
Min. Parking Setbacks (Sec. 2400)			
a. Front (north/Grand River): 20 ft.	25 feet	Yes	
b. Side (east): 10 ft.	10 feet	Yes	
c. Side (west): 10 ft.	45 feet	Yes	
d. Rear (south): 10 ft.	10 feet	Yes	
Number of Parking Spaces (Sec. 2505(14)) <u>Drive-through</u> : 1 for every 2 employees + 1 for each 2 persons allowed in the seating & waiting area = 12 employees + 115 seating/waiting=64 spaces <u>Retail</u> : 1 space per 250 sq. ft. of GLA = 11,970 sq. ft./250 = 48 spaces Total Spaces Required: 112	119 spaces	Yes	
Parking Space & Maneuvering Lane Dimensions (Sec. 2506) <u>90° spaces</u> : 9 ft. x 19 ft. parking spaces with 24 ft. drives <u>60° spaces</u> : 9 ft. x 18 ft. parking spaces with 18 ft. drives <u>All spaces</u> : 9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping	Minimum size requirements met	Yes	
Barrier Free Spaces (ADA standard) 5 spaces, including 1 van accessible space	5 barrier free (4 van accessible) provided	Yes	
Barrier Free Space Dimensions (Barrier Free Code) 8 ft. wide with an 8 ft. wide access aisle for van accessible	8 ft. wide with an 8 ft. wide access aisle for van accessible	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual) 1 barrier free sign per space	1 barrier free sign per space	Yes	See traffic review letter
Stacking Spaces for Drive-through (Sec. 2506) Distance between the order board & the pick-up window shall store 4 vehicles, & 4	Stacking for 10 cars	Yes	

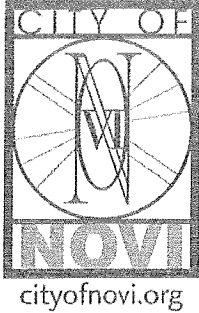
Item	Proposed	Meets Requirements?	Comments
vehicles shall be stored in advance of the menu board (not including the vehicles at the pick-up window & menu board)			
<p>Drive-through Lane Delineated (Sec. 2506) Drive-through lanes shall be striped, marked, or otherwise delineated</p>	4in. wide white lane line pavement marking to delineate drive-through area	Yes	
<p>Bypass Lane for Drive-through (Sec. 2506) Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal</p>	1 bypass lane with a min. width of 18'	Yes	
<p>Width & Centerline Radius of Drive-through Lanes (Sec. 2506) Drive-through lanes shall have a minimum 9 ft. width & centerline radius of 25 ft.</p>	Minimum size requirements met	Yes	
<p>Drive-through Lanes Separation (Sec. 2506) Drive-through lanes shall be separate from the circulation routes & lanes necessary for ingress to & egress from the property</p>	Drive-through lanes located on the rear & side yard of the building	Yes	
<p>Loading Spaces (Sec. 2507.2) Must be provided in the rear yard or interior side yard if a double fronted lot Ratio of 10 sq. ft. of loading space for each front foot of building =226 ft. x 10 sq. ft. =2,260 sq. ft. required</p>	2,300 sq. ft. loading space in the rear yard	Yes	
<p>Sidewalks (City Code Sec. 11-256 & 11-276 & Non-Motorized Plan) 8 ft. path required along Grand River Building exits must be connected to sidewalk system or parking lot</p>	8 ft. path along Grand River & 5 ft. walk along entrance drive	Yes	
<p>Dumpster Requirements (City Code Sec. 21-145) Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown Screening should be 1 foot taller than dumpster</p>	Appropriate screening indicated	Yes	
<p>Accessory Structure Setback- Dumpster (Sec. 2503) Located in the rear or interior side yard</p>	Two dumpsters located in the rear yards meeting setback	Yes	The applicant should add a note to the plans indicating dumpster service only between

Item	Proposed	Meets Requirements?	Comments
Min. 10 ft. from any building unless structurally attached & setback the same as parking from all property lines	requirements		10 PM and 7 AM as noted in the traffic review letter.
<p>Bicycle Parking Facilities (Sec. 2526) 5% of required auto parking spaces=6 bicycle parking spaces</p> <p>Located along the building approach line & easily accessible from the building entrance</p> <p>Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance</p> <p>Be accessible via a paved 6 ft. route & separated from auto facilities</p> <p>4 ft. maneuvering lane with a 6 ft. parking space width & a depth of 2 ft. for single spaces & 2.5 ft. for double spaces</p>	10 spaces provided at the NW corner of retail building and NW corner of proposed restaurant building	Yes?	Detail should be provided to confirm maneuvering lane and parking space dimensions
<p>Woodlands (City Code Chpt. 37) Replacement of removed trees</p>	25 trees being removed, 27 replacement credits are proposed		Woodland Permit required, see woodland review letter
<p>Wetlands (City Code Chpt. 12, Art. V) Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands</p>	2.0 acres of off-site wetland mitigation on Novi Promenade site		<p>Wetland Non-Minor Use Permit & Authorization to Encroach the 25 ft. Natural Features Setback required, see wetland review letter</p> <p>As wetland mitigation is proposed off-site, approval of this plan is contingent upon approval of the amendment to the Novi Promenade consent judgment</p>
<p>Exterior Lighting (Sec. 2511) Photometric plan and exterior lighting details needed at final site plan</p>	Not provided	Information to be provided	
<p>Economic Impact Total cost of the proposed building & site improvements</p> <p>Number of anticipated jobs created (during construction & after building is occupied, if known)</p>	Not provided	Information to be provided	
<p>Development/Business Sign Signs are not regulated by the Planning Division or Planning Commission</p>	A monument sign in addition to the existing Novi	Contact Jeannie Niland at 248.347.0438 or jniland@cityofnovi.org for information	

Item	Proposed	Meets Requirements?	Comments
	Promenade monument sign		

Prepared by Kristen Kapelanski, AICP 248.347.0586 or kkapelanski@cityofnovi.org

Engineering Review



PLAN REVIEW CENTER REPORT

August 18, 2014

Engineering Review

Grand Promenade
JSP14-0015

Petitioner

Novi Promenade Land Holdings, LLC., applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River Avenue and E. of Wixom Road
- Site Size: 2.53 acres
- Plan Date: June 30, 2014

Project Summary

- Construction of two commercial buildings totaling in approximately 15,787 square feet and associated parking. Site access would be provided two points of connection from the existing service drive for Novi Promenade.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main on the south side of Grand River Avenue. Each building is served by a 4-inch water service lead, along with two additional hydrants on-site.
- Sanitary sewer service would be provided by separate 6-inch sanitary leads for the two proposed structures from the existing sanitary sewer parallel to Grand River Avenue.
- Storm water would be collected by a single storm sewer collection system and routed to an on-site underground detention system sized for the 100-year storm event. The detention system dewateres to the existing storm sewer on Grand River Avenue.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Revise the plan set to provide separate plan sheets for utilities and grading/SESC.
2. Submit a completed Non-Domestic User Survey to Community Development.
3. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on cityofnovi.org.
4. Provide a label for the proposed sixty (60) foot half-width ROW on Grand River Avenue.
5. Revise the plan set to show the extents of the proposed removals and/or demolitions.
6. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Water Main

7. Provide a profile for the proposed water main with the pipe invert and stationing of all valves, fittings, flanges, hydrants, blow-offs, high and low points, and any other appurtenances.
8. Revise the water main alignment to utilize two 45° elbows with a length of pipe in between versus 90° elbows as provided. This occurs at the proposed hydrant lead adjacent to the existing access drive to Novi Promenade.
9. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

10. Provide the diameter of the existing sanitary sewer on Grand River Avenue.
11. Revise the plan set to provide invert and rim elevations for each proposed sanitary sewer lead on the utility plan sheet.

Storm Sewer

12. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps. Indicate all structure types, diameter and the 10-year and 100-year hydraulic grade lines at each structure.

Storm Water Management Plan

13. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
14. Revise the Storm Water Management Plan to include the tributary area of the entire site; drainage for the site must be self-contained.

15. Provide critical elevations (bankfull and 100-year storm hydraulic grade lines) on the underground detention system cross-section demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.
16. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge areas, rates and volumes. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown.
 - a. Revise the plan set to show the pre-development tributary area
 - b. Provide the basis for using $c = 0.20$ for the existing drainage condition
 - c. Verify that the existing storm sewer on Grand River Avenue is capable of accepting the proposed flow from the underground detention basin
 - d. Provide the dewatering calculations used to size the outlet control structure. The storm water detention calculations must note that bank full volumes shall be retained in the detention facility for a minimum of 24 hours and no more than 40 hours.

Paving & Grading

17. Revise the grading plan to clearly denote four (4) inch curb wherever seventeen (17) foot deep parking stalls are proposed. There are spot elevations on the eastern parking island on the grading plan which show a six (6) inch curb adjacent to seventeen (17) foot deep parking stalls.
18. Provide a detail for each proposed ramp with elevations to demonstrate a level landing adjacent to each ramp and general ADA compliance.
19. Provide a ROW side walk cross-section indicating 4" thick of 4000 psi concrete (8" thick through commercial/industrial drives) over 6" thick of 21AA crushed limestone meeting MDOT gradation specifications. The stone base shall extend a minimum of 6" beyond the forms. Sand is not an allowed sub base within the right-of-way.

Off-Site Easements

20. Verify that the proposed development has legal authorization to utilize the existing service drive for Novi Promenade as the sole means of site ingress/egress.

The following must be submitted at the time of Final Site Plan submittal:

21. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

22. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

23. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
24. A draft copy of the private ingress/egress easement for shared use of the Novi Promenade drive entry must be submitted to the Community Development Department if an existing easement is not in place.
25. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
26. A draft copy of the 20-foot wide access easements for the sanitary sewer monitoring manholes to be constructed on the site must be submitted to the Community Development Department.
27. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

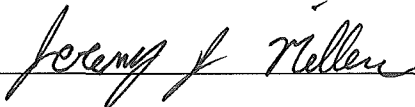
The following must be addressed prior to construction:

28. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
29. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
30. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
31. A permit for work within the right-of-way of Grand River Avenue must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan

submittal. Please contact the Engineering Department at 248-347-0454 for further information.

32. A permit for work within the right-of-way of Grand River Avenue must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
33. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
34. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
35. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
36. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
37. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Michael Andrews, Water & Sewer Dept.

Traffic Review

August 19, 2014

Barbara McBeth, AICP
 Deputy Director of Community Development
 City of Novi
 45175 W. Ten Mile Rd.
 Novi, MI 48375

SUBJECT: Grand Promenade, JSP14-0015, Traffic Review of Revised Preliminary Site Plan and Revised Traffic Impact Study, PSP14-0134

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the above, subject to the items shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing?

1. The applicant is proposing to construct a 11,970-s.f. retail building and 3,817-s.f. fast-food restaurant with drive through adjacent to the Novi Promenade Shopping Center, immediately east of that center’s Grand River access drive (see our attached aerial photo).

Trip Generation and Traffic Impact Study

How much new traffic would be generated? Was a traffic study submitted and was it satisfactory?

2. We estimate that the use sizes proposed by the preliminary site plan would generate:

CZ Trip Generation Forecast

Land Use	ITE Use #	Size or Trip Type	Daily Trips	AM Peak-Hour Trips			PM Peak-Hour Trips		
				In	Out	Total	In	Out	Total
Specialty Retail	826	11,970 s.f.	531	9	2	11	22	28	50
		I.C.+P.B./Div ¹	Unk.	1	0	1	7	8	15
		New Trips	Unk.	8	2	10	15	20	35
Fast-Food with Drive-Through	934	3,817 s.f.	1,894	88	85	173	65	60	125
		I.C.+P.B./Div ¹	Unk.	39	37	76	29	27	56
		New Trips	Unk.	49	48	97	36	33	69
Total Site Driveway Trips			2,425	97	87	184	87	88	175
Total New Trips at G.R. & 12 Mile			Unk.	57	50	107	51	53	104

¹ I.C. = Internal capture relative to Novi Promenade, assumed to be 10%. P.B./Div = Pass-by/diverted from/to Grand River, percentages assumed equal to the averages reported by ITE in its *Trip Generation Handbook – 2nd Edition* (2012).

3. We have reviewed the revised traffic impact study prepared by William C. Taylor, Ph.D., P.E., dated June 2014, and found that it generally conforms to established City policy for such studies and should therefore be accepted. Selected issues of interest are summarized below:
- a. Although existing and build-out levels of service (LOS) are not provided for the intersection as a whole, a table summarizing movement-specific results shows that the only expected project-related impacts in the AM peak hour are to the WB left-turn toward the site (changing from LOS A to B) and to the SB through-right movement from 12 Mile (changing from B to C). In the PM peak hour, both the EB left turn onto 12 Mile and the WB left turn into Novi Promenade would be impacted (both changing from an A to a B).
 - b. The above findings were for the signal assumed to be operating in back-up pre-timed mode. Since the actual signal operation most of the time is fully-actuated (SCATS), it appears reasonable to assume that the levels of service would be better than forecasted in this study (and the project-related impacts even less).
 - c. The queuing analysis done for this study found that the 80th-percentile queue for the drive-through lane would contain nine vehicles. The probability of overflowing the ten-vehicle stacking space provided (per the standard City requirement) is not reported and may (or may not) be less than the normally preferred 5%. However, it should be noted that the proposed unloading area along the rear of the building will presumably be available much of the time drive-through activity is occurring, and thus provide an area for possible spill-back from the ten-vehicle space formally assigned to that function.
 - d. Finally, it should be noted that comment 3h in our review letter of 5-29-14 stated that “the two traffic issues of greatest concern [to us are]: (i) whether or not exiting queues on the shopping center drive may occasionally interfere with site ingress and egress, and (ii) whether or not it may be appropriate to change the timing parameters used by the SCATS signal (e.g., lengthening the maximum green allowed for the protected westbound left-turn phase). Based on Synchro printouts found in the report’s appendix, it appears that issue i should not be a problem, as the 95th-percentile NB queues are forecasted to be 67 ft in the AM peak hour and 70 ft in the PM peak hour. The proposed site plan shows that there would be 133 ft available between the NB stop bar and the north side of the site’s north access drive.

Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

4. Not applicable.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

5. In response to our pre-application request, the south island in the shopping center driveway will be shortened to better facilitate left turns by vehicles entering the rear service drive/drive-through lane from the north.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

6. The back-to-back ONE WAY (R6-2) signs requested in our letter of 5-29-14 have been proposed on the wrong side of the south driveway. Per standard practice as specified in the MMUTCD (as well as our May letter), **the ONE WAY signs must be on near-right and far-left side of the "intersection," which in this case is on the island on the south side of the south driveway.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

7. There is a 5-ft-wide sidewalk running north-south between the two buildings. Since this walk may serve an occasional customer parking in the rear lot, **the south end of that walk should be equipped with an ADA ramp.**

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

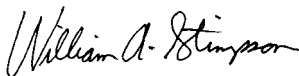
8. End parking spaces scale 9 ft wide to the lip of gutter rather than to the face of curb. **The applicant should be asked to justify the extra 1.5 ft of impervious surface being proposed as a result of the proposed design. We recommend that these spaces be narrowed to 9 ft to face of curb (per customary practice) and so-noted. Also, to better facilitate future reviews, all curb and gutter should be illustrated in the conventional three-line manner (i.e., with a line added to represent the face of curb).**
9. The symmetric end islands in the interior of the parking lot scale 30 ft long (back-of-curb to back-of-curb), rather than the 32 ft we asked for in our last letter. The applicant is correct in stating that the Zoning Ordinance "Sec. 2506.13 details online show 30 ft..."; however, the text of that section states that such islands "shall generally be constructed three (3) feet shorter than the adjacent parking stall..." Novi-standard interior parking stalls are now 19 ft long rather than the 18 ft prevailing when this detail was originally drawn (and the detail was not updated until the recent drafting of the Clearzoning ordinance). Hence, **the text specifications result in the standard island now being 32 ft long rather than 30 ft long. It should be noted that Sec 200 of the ordinance states: "In the case of any difference of meaning or implication between the text of this Ordinance and any caption or illustration, the text shall control."**
10. The large landscape island now proposed near the east end of the north lot would have 17-ft-long parking stalls on its east and west faces and 19-ft-long parking stalls on its south face. The shorter stalls are encouraged, but (per Sec 2509.3c(2)(c)) they must abut a 4-inch-high curb. Elevations on the proposed Utility/Grading Plan (sheet 4) indicate that the curb on this island would be 6 inches high rather than 4 inches. **This island should be redesigned to feature 17-ft-long parking stalls on all three sides, and both sheet 3 and sheet 4 should indicate that the island's curb will be 4 inches high.**
11. The dumpster enclosure proposed at the southwest building corner would require a truck servicing it to back into the nearby shopping center access drive after servicing the dumpster.

- To avoid hazardous interactions with shopping center traffic, this dumpster should be serviced only between 10 p.m. and 7 a.m. or alternatively, moved to another part of the site.
12. To facilitate direct left turns into the rear unloading zone/spillback area for drive-through lane, the south tip of the landscape island just west of the preceding dumpster enclosure should be recessed another 6 ft (so as to be directly west of the south building façade).
 13. The 18-ft length dimension provided for a typical rear parking stall should extend behind the curb to indicate the assumed vehicle overhang of 2 ft (a correct 16-ft dimension to face of curb appears nearby).
 14. In the lower left-hand corner of sheet 3, the long note specifying the colors of pavement markings should (a) reduce the width of the loading zone crosshatching to 4" (from 12") and (b) add a final sentence reading "See parking space detail on sheet 7." Then, in the cited detail on sheet 7, the blue and white lines separating a handicapped stall from a non-handicapped stall should be shown directly abutting each other; this will require the use of different shadings for the two colors. (Pavement marking illustrations must be drawn as literally as reasonably possible, since they are illustrating what is to be installed.)
 15. All references to proposed NO PARKING FIRE LANE signs have been removed from the plan. Subject to the advice of the City's Fire Marshal, **we recommend that three such signs be proposed along the east egress from the rear parking lot: one on each side of this one-way drive near the northeast corner of the restaurant, and a third on the east side of the drive 75 ft to the south. Assuming such signs are added, they must also appear in the Sign Table (but not with the incorrect sign code as was done earlier).**
 16. The Sign Table should indicate two NO PARKING LOADING ZONE signs – as shown along the rear façade of the building – rather than three as now listed.
 17. The pair of DO NOT ENTER signs proposed at the north end of the east circulation drive should be parenthetically identified as R5-1 signs.

Sincerely,
CLEARZONING, INC.

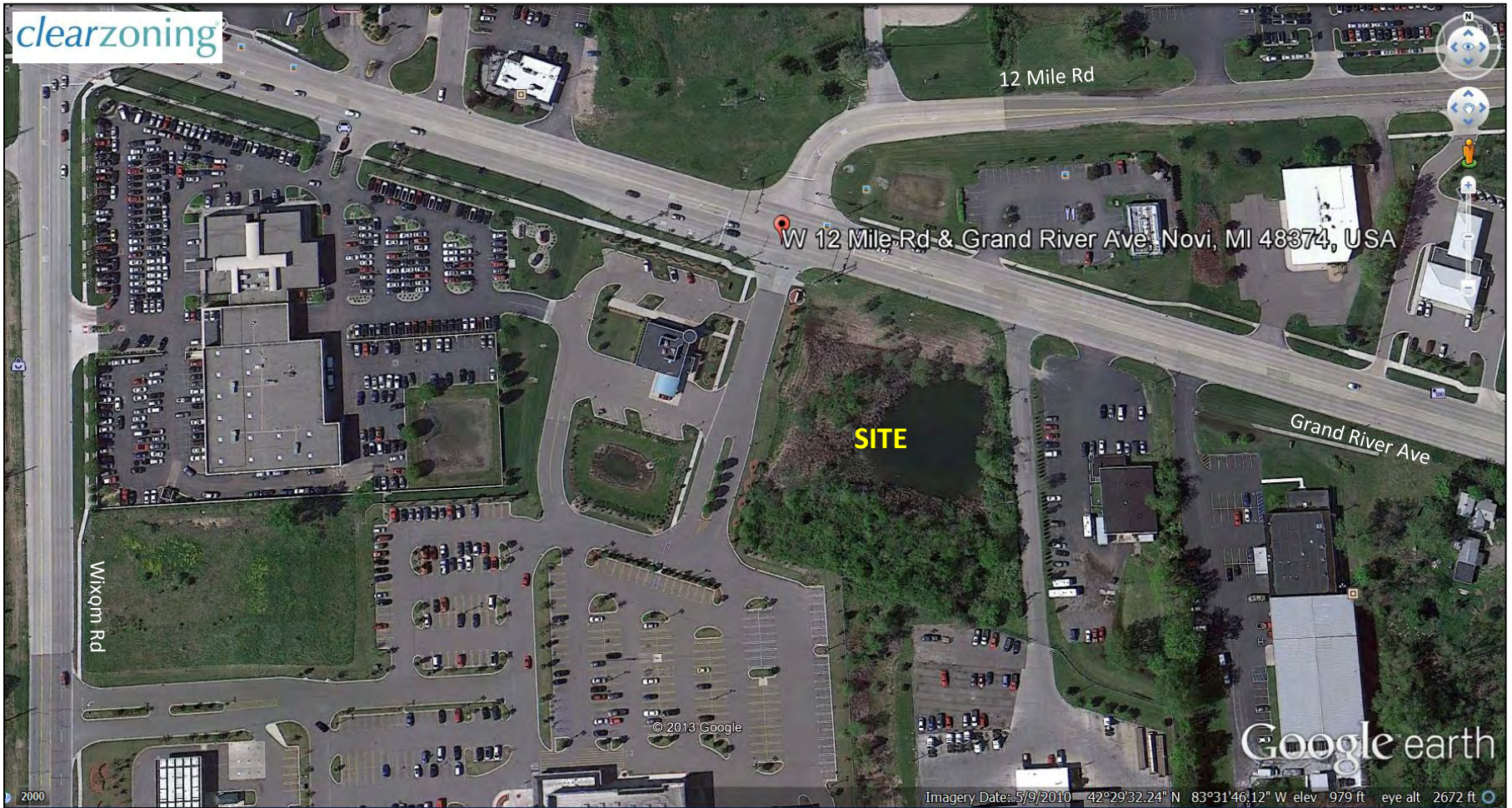


Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

Attachment:
Vicinity aerial photo



Vicinity Aerial Photo – Proposed Grand Promenade

Landscape Review



PLAN REVIEW CENTER REPORT

August 6, 2014

Revised Landscape Site Plan

Grand Promenade 14-15

Review Type

Revised Preliminary Landscape Review

Property Characteristics

Site Location: South side of Grand River at 12 Mile (Section 17)
Site Zoning: B-3, General Business
Adjacent Zoning: North: B-3, General Business; East: B-3, General Business; South: I-1, Light Industrial; West: B-3, General Business
Current Site Use(s): Vacant
Adjoining Uses: North: Restaurant; East: Automobile Service/Retail; South: Warehouse Retail and Industrial; West: Bank
School District: Novi
Proposed Site Size: 2.56 acres
Plan Date: 6/30/2014

Recommendation

Preliminary Site Plan Approval for Grand Promenade 14-15 is recommended.

Ordinance Considerations

Adjacent to Residential Buffer (Sec. 2509.3.a.)

1. The site is not adjacent to residential properties.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 20' wide greenbelt is required along the Grand River frontage. This requirement has been met.
2. A 3' high berm with a 3' wide crest is required along the Grand River frontage. *This requirement has been met, but should be depicted on the Final Landscape Plan.*
3. One canopy tree or large evergreen is required for every 35' of frontage. This requirement has been met.
4. One sub-canopy tree is required for every 20' of frontage. This requirement has been met.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 35 linear feet of road frontage. This requirement has been met.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 3,709 s.f. of interior parking landscape area is required. This requirement has been met.
2. A total of 29 Parking Lot Canopy Trees are required. This requirement has been met.
3. Snow storage areas have been shown as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide bed is required around the building foundations with the exception of access areas. Please provide details for the plantings in these areas. Please provide additional information on the proposed foundation plantings.
2. A total of 8' times the foundation perimeter is required as foundation landscape area. If this cannot be provided directly at the foundation, it may be provided in the vicinity of the buildings. Patio/pedestrian use areas may count toward the requirement. This requirement has been met.

Plant List (LDM)

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Notations and Details (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and the Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon Stamping Set submittal.

General

1. The loading zone has been appropriately placed at the rear of the building.
2. The trash collection area has been appropriately placed at the rear of the building.
3. Clear vision areas have been shown.
4. Please see the Planning Review for information regarding any bicycle parking facilities.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

Wetland Review



Environmental Consulting & Technology, Inc.

August 20, 2014

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Grand Promenade (JSP14-0015)
Wetland Review of the Revised Preliminary Site Plan (PSP14-0134)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Revised Preliminary Site Plan (Plan) for the proposed *Grand Promenade* project prepared by Diffin-Umlor & Associated dated June 30, 2014. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

The site is located south of Grand River Avenue and east of Wixom Road in Section 17. The proposed development includes a 11,970 square foot retail building as well as associated parking and an underground (sub-surface) stormwater detention system. ECT has previously visited the site on various occasions. The most recent site visit was conducted on June 3, 2014 for the purpose of a wetland boundary verification. ECT staff also met on-site with the Applicant's wetland consultant (King & MacGregor Environmental, Inc.) on June 24, 2012.

On-site Wetland Evaluation

The focus of the June 2012 inspection was to review site conditions in order to determine whether the onsite wetland meets the City of Novi's Wetland Essentiality Criteria. Wetland boundary flagging was not in place at the time of this site inspection therefore a wetland boundary verification was not completed at that time.

The subject property contains a shallow open water wetland (Wetland A) surrounded by a perimeter of emergent wetland. This wetland occupies a significant portion of the site area (1.33 acres of the 2.5 acre site). See Figure 1. The wetland is not contiguous with any inland lakes, streams or ponds and is less than five acres in size. The wetland therefore does not appear to be regulated by the Michigan Department of Environmental Quality (MDEQ). It should be noted that the applicant's wetland consultant has requested a pre-application meeting with MDEQ staff. It is our understanding that this meeting took place on Wednesday, August 6, 2014; however our office has not received any feedback as to the regulatory authority of the MDEQ with respect to this wetland.

Common reed (*Phragmites australis*) is the dominant vegetation found in the perimeter areas (see Photo 1). This is an invasive species of vegetation. Broad-leaved cattail (*Typha latifolia*) and small duckweed (*Lemna minor*) were common in, and surrounding, the open water areas (see Photo 2). Songbirds, waterfowl and amphibians were observed within the wetland during the site inspection.

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During our most recent site visit, Wetland A (Flags A1 through A38) was clearly marked with survey tape flags. As noted above, the wetland is a shallow open water wetland surrounded by a perimeter of emergent wetland. Overall, the wetland is of moderate quality. The wetland boundaries appear to be accurately depicted on the Plan.

Proposed Wetland Impacts

The following table summarizes the existing wetland and the proposed wetland impacts as listed on the Plan:

Table 1. Proposed Wetland Impacts

Wetland Area	Wetland Area (acres)	City Regulated?	MDEQ Regulated?	Impact Area (acre)	Estimated Fill Volume (cubic yards)
A	1.33	Yes City Regulated /Essential	No	1.33	+/- 2,358
TOTAL	1.33	--	--	1.33	+/- 2,358

In addition to wetland impacts, the Plan also specifies impacts to the entire 25-foot natural features setback of Wetland A. The following table summarizes the existing wetland setback and the proposed wetland setback impacts as listed on the Plan:

Table 2. Proposed Wetland Buffer Impacts

Wetland Setback/Buffer Area	Wetland Buffer Area (acres)	Impact Area (acre)
A	0.62	0.62
TOTAL	0.62	0.62

City of Novi Ordinance Requirements

The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 2.) describes the regulatory criteria for wetlands and review standards for wetland permit applications.

Regulatory Status

Wetlands deemed essential by the City of Novi require the approval of a use permit for any proposed impacts to the wetland. The wetland essentiality criteria as described in the Wetland and Watercourse Protection Ordinance are included below.

All noncontiguous wetland areas of less than two (2) acres which appear on the wetlands inventory map, or which are otherwise identified during a field inspection by the city, shall be analyzed for the purpose of determining whether such areas are essential to the preservation of the natural resources of the city....In making the determination, the city shall find that one (1) or more of the following exist at the particular site:

- (1) The site supports state or federal endangered or threatened plants, fish or wildlife appearing on a list specified in Section 36505 of the Natural Resources Environmental Protection Act (Act 451 of 1994) [previously section 6 of the endangered species act of 1974, Act No. 203 of the Public Acts of 1974, being section 229.226 of the Michigan Compiled Laws].*
- (2) The site represents what is identified as a locally rare or unique ecosystem.*
- (3) The site supports plants or animals of an identified local importance.*
- (4) The site provides groundwater recharge documented by a public agency.*
- (5) The site provides flood and storm control by the hydrologic absorption and storage capacity of the wetland.*
- (6) The site provides wildlife habitat by providing breeding, nesting or feeding grounds or cover for forms of wildlife, waterfowl, including migratory waterfowl, and rare, threatened or endangered wildlife species.*
- (7) The site provides protection of subsurface water resources and provision of valuable watersheds and recharging groundwater supplies.*
- (8) The site provides pollution treatment by serving as a biological and chemical oxidation basin.*
- (9) The site provides erosion control by serving as a sedimentation area and filtering basin, absorbing silt and organic matter.*
- (10) The site provides sources of nutrients in water food cycles and nursery grounds and sanctuaries for fish.*
- (11) After determining that a wetland less than two (2) acres in size is essential to the preservation of the natural resources of the city, the wetland use permit application shall be reviewed according to the standards in subsection 12-174(a), above.*

ECT believes that Wetland A is regulated by the City's Wetland and Watercourse Protection Ordinance as it appears to meet the following essentiality criteria:

- (5) The site provides flood and storm control by the hydrologic absorption and storage capacity of the wetland;
- (6) The site provides wildlife habitat by providing nesting or breeding grounds or cover for forms of wildlife, waterfowl, including migratory waterfowl;
- (9) The site provides erosion control by serving as a sedimentation area and filtering basin, absorbing silt and organic matter.

Permit Application

The project as proposed will require a City of Novi *Wetland Non-Minor Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback*. This permit and authorization are

required for the proposed impacts to wetlands and regulated wetland setbacks. The City of Novi Wetland and Watercourse Protection Ordinance (City of Novi Code of Ordinances, Part II, Chapter 12, Article V., Sec. 12-174) describes wetland permit review standards, in part, as listed below:

- (a) *The following standards shall govern the granting or denial of a use permit:*
- (1) *A permit shall be approved when it is determined that the issuance of a permit is in the public interest, that the permit is necessary to realize the benefits derived from the activity, and that the activity is otherwise lawful.*
 - (2) *In determining whether the activity is in the public interest, the benefit which reasonably may be expected to accrue from the proposal shall be balanced against the reasonably foreseeable detriments of the activity. The decision shall reflect the national, state and local concern for the protection of natural resources from pollution, impairment and destruction. The following general criteria shall be considered:*
 - a. *The availability of feasible and prudent alternative locations and methods to accomplish the expected benefits from the activity.*
 - b. *The relative extent of the public and private need for the proposed activity.*
 - c. *The extent and permanence of the beneficial or detrimental effects that the proposed activity may have on the public and private uses to which the area is suited, including the benefits the wetland provides.*
 - d. *The probable impact of each proposal in relation to the cumulative effect created by other existing and anticipated activities in the watershed.*
 - e. *The probable impact on recognized historic, cultural, scenic, ecological or recreational values and on the public health or fish or wildlife.*
 - f. *The size of the wetland being considered.*
 - g. *The amount of remaining wetland in the general area.*
 - h. *Proximity to any waterway.*
 - i. *Economic value, both public and private, of the proposed land change to the general area.*
 - (3) *A permit shall be issued if an applicant shows that unacceptable disruption to the aquatic resources will not result. In determining whether a disruption to the aquatic resources is unacceptable, the criteria set forth in subsection (2) shall be considered. A permit shall not be issued unless the applicant also shows either of the following:*
 - a. *The proposed activity is primarily dependent upon being located in the wetland.*
 - b. *A feasible and prudent alternative does not exist.*

The subject wetland is located adjacent to Grand River Avenue and is surrounded by retail access roads and parking. The wetland proposed for impact is of moderate quality, and is not proximal to other waterways. The impact to Wetland A is deemed unavoidable if this parcel is to be developed;

therefore no feasible or prudent alternative to impacting wetlands exists if this parcel is to be developed. There appears to be an adequate public interest in the development of this parcel, including an economic value. Discussions during a previous site (pre-application) meeting focused on relocating/mitigating the wetland impacts by creation of a new wetland area in a larger habitat setting. With the development of an appropriate wetland mitigation location and plan, ECT believes that the ecological values of the wetland can be replaced while providing a more suitable location for wetland dependent wildlife. Based on wetland permit review standards, ECT believes that if appropriately mitigated, the permit application is in the public interest.

Wetland Mitigation

The current Plan proposes 1.33 acres of wetland impact. The City's threshold for compensatory wetland mitigation is 0.25-acre. The Applicant is required under the City of Novi Wetland and Watercourse Ordinance to provide wetland mitigation at a ratio of 1.5 acres for every 1 acre of wetland impact (1.5-to-1 mitigation ratio) for emergent wetlands and a 2-to-1 mitigation ratio for impacts to forested wetlands.

The applicant has submitted a separate site plan (JSP14-0030) that provides details of the proposed wetland mitigation site. This *Storm Water Management/Wetland Mitigation Plan* highlights the proposed construction of 2.0 acres of wetland mitigation. The proposed mitigation area is to be constructed in the area of the current Novi Promenade retention basin located just east of the existing Target store (south of the proposed Grand Promenade site within the Novi Promenade development). This additional plan set also includes the relocation of the existing stormwater retention basin.

The area identified as the potential mitigation site is located adjacent to approximately sixty acres of woodlands and wetlands, some of which are already protected under a conservation easement. ECT believes that the proposed wetland mitigation site would be appropriate, and could offer benefits to local wildlife not currently provided in the existing wetland.

The applicant's wetland consultant has added a significant amount of details to the wetland mitigation plan since the previous submittal of the preliminary site plan. While the current plan contains adequate grading, planting and construction information associated with the wetland mitigation area, the plan does not appear to contain a summary description of the proposed monitoring plan associated with this mitigation area. As stated in the wetland ordinance:

The Applicant shall also provide as a part of the mitigation plan, a program to monitor the status of the replacement wetland for up to five (5) years after the wetland mitigation has been planted in the mitigation area. The monitoring program shall include annual progress reports submitted no later than December 1 of each year to the body approving the permit, which provide the following information:

- a) *A measure of the percentage of coverage of wetland species versus upland species;*
- b) *A measure of vegetation diversity;*
- c) *A description of vegetation and animal community structure;*

- d) *A record and description of hydrological development;*
- e) *A written summary of wetland development describing the progression of wetland development;*
- f) *A photographic record of the wetland for each year.*

Wetland Comments

The following are repeat comments from our Wetland Review of the Preliminary Site Plan letter dated June 16, 2014. The current status of each comment is listed below in ***bold italics***:

1. The Applicant shall provide an estimate of the proposed wetland fill volume on subsequent plan submittals.

This comment has been addressed. The wetland fill volume has been added to the legend on Sheet 2 (Topographic Survey).

2. Based on the proposed wetland impact on the Grand Promenade site (1.33 acres of wetland), the Applicant appears to be prepared to meet the City's wetland mitigation requirement for 1.5 to 1 mitigation. ECT recommends that the Applicant provide additional information on the Grand Promenade Plan outlining the mitigation requirements as well information describing the proposed wetland mitigation plan, including a plan to mitigate the impacts to the wetland buffer.

This comment has been addressed. A note has been added below the legend on Sheet 2 (Topographic Survey) stating that the wetland mitigation is to be provided off-site on the Novi Promenade parcel.

3. The proposed wetland mitigation information/design associated with site plan JSP14-0030 (Novi Promenade Retention Pond Relocation) will need to be approved prior to the Grand Promenade Plan. Specifically, final approval for the Grand Promenade Plan will require a complete and approved wetland mitigation design.

This condition has been addressed. King and MacGregor Environmental has prepared the wetland mitigation plans as part of the Novi Promenade submittal (PSP14-0135). Separate submittals for each site (the impact site and the mitigation site) have been provided by the applicant pursuant to the City Planner's request.

In addition,

4. The applicant's wetland consultant has added a significant amount of details to the wetland mitigation plan since the previous submittal of the preliminary site plan. While the current plan contains adequate grading, planting and construction information associated with the wetland mitigation area, the plan does not appear to contain a summary description of the proposed monitoring plan associated with this mitigation area. The applicant shall provide this information in subsequent site plan submittals.

Grand Promenade (JSP14-0015)
Wetland Review of the Revised Preliminary Site Plan (PSP14-0134)
August 20, 2014
Page 7 of 9

Recommendation

ECT recommends conditional approval of the Revised Preliminary Site Plan for wetlands contingent on the Applicant addressing the items noted above under "Comments". In addition, the applicant shall provide a copy of the MDEQ Wetland Use Permit to the City upon issuance. A City of Novi Wetland Permit cannot be issued prior to receiving this information.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Matthew Carmer, PWS
Senior Scientist
Professional Wetland Scientist #1746



Pete Hill, P.E.
Senior Associate Engineer

cc: David Beschke, City of Novi, Licensed Landscape Architect
Kristen Kapelanski, AICP, City of Novi Planner
Valentina Nukulaj, City of Novi Customer Service Representative

Attachments: Figure 1 & Site Photos



Figure 1. City of Novi Regulated Wetland and Woodland Map (accessed June 5, 2014). Regulated wetland boundaries are shown in blue. The approximate project boundary is shown in red.

Site Photos



Photo 1. Looking north at west edge of Wetland A (toward Grand River Ave). Phragmites located around wetland edge.



Photo 2. Looking northeast at Wetland A (toward Grand River Ave).

Woodland Review



Environmental Consulting & Technology, Inc.

August 20, 2014

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: Grand Promenade (JSP14-0015)
Woodland Review of the Revised Preliminary Site Plan (PSP14-0134)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Revised Preliminary Site Plan (Plan) for the proposed *Grand Promenade* project prepared by Diffin-Umlor & Associates dated June 30, 2014. The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37. The purpose of the Woodlands Protection Ordinance is to:

- 1) *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- 2) *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- 3) *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

The site is located south of Grand River Avenue and east of Wixom Road in Section 17. The proposed development includes a 11,970 square foot retail building as well as associated parking and an underground (sub-surface) stormwater detention system. ECT has previously visited the site on various occasions. The most recent site visit was conducted on June 3, 2014 for the purpose of a woodland evaluation.

Onsite Woodland Evaluation

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite woodland evaluation on Tuesday, June 3, 2014.

The entire site is approximately 2.6 acres. A large portion of the site contains open water wetland with emergent fringe (Wetland A; approximately 1.33 acres). The majority of the remainder of the

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site consists of previously-disturbed, relatively immature forest. Some of the largest trees on the site are black willow (*Salix nigra*) trees located on the northeast side of wetland A.

Common species found in the woodland include American elm (*Ulmus americana*), black willow (*Salix nigra*) and eastern cottonwood (*Populus deltoides*).

The surveyed trees have been marked with metal tags with nails allowing ECT to compare the tree diameters reported on the *Tree Survey* (Sheet 2 of 7, *Topographic Survey*) to the existing tree diameters in the field. ECT took numerous diameter-at-breast-height (d.b.h.) measurements and found that the data provided on the Plan was consistent with the field measurements (see *Site Photos*). It should be noted that the legibility of the *Tree Survey* provided on the Plan is poor. ECT recommends that the Applicant provide a more-clear table on subsequent site plan submittals.

Based on the *Tree Survey* information as well as our site assessment, the maximum size trees on the site are 14 to 16-inch d.b.h. and the average d.b.h. is approximately 10-inch d.b.h. In terms of habitat quality and diversity of tree species, the project site is of moderate-to-low quality. The majority of the woodland areas consist of relatively immature growth trees of good-to-fair health.

The understory is dominated by common buckthorn (*Rhamnus cathartica*). Buckthorn is considered an invasive species that:

- Out-competes native plants for nutrients, light, and moisture
- Degrades wildlife habitat
- Threatens the future of forests, wetlands, prairies, and other natural habitats
- Contributes to erosion by shading out other plants that grow on the forest floor
- Forms an impenetrable layer of vegetation
- Lacks "natural controls" like insects or disease that would curb its growth

Although the on-site woodlands provide some degree of environmental benefit, in terms of a scenic asset, windblock, noise buffer or other environmental asset, the woodland areas proposed for impact are not considered to be of a unique or high-quality nature.

After our woodland evaluation and review of the *Tree Survey*, there are no trees on-site that meet the minimum caliper size for designation as a specimen tree.

Proposed Woodland Impacts and Replacements

Per the *Tree Survey* on Sheet 2 of 7, the Plan proposes the removal of **25** trees. It should be noted that the City of Novi replacement requirements pertain to regulated trees with d.b.h. greater than or equal to 8 inches. In our review of the previous plan, several of the existing trees proposed for removal measured less than 8 inches d.b.h. (8 of the trees surveyed are < 8 inches d.b.h.), but were included in the required woodland replacement totals. This has been corrected on the current Plan and the 27 woodland replacement credits are required.

City of Novi Woodland Review Standards and Permit Requirements

The following standards shall govern the grant or denial of an application for a use permit required by this article:

- (1) *No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.*
- (2) *The integrity of woodland areas shall be maintained irrespective of whether such woodlands cross property lines.*
- (3) *The reviewing authority shall evaluate the quality of the involved woodland area, including in its evaluation consideration of:*
 - a. *Soil quality;*
 - b. *Habitat quality;*
 - c. *Tree species (including diversity of tree species);*
 - d. *Tree size and density;*
 - e. *Health and vigor of tree stand;*
 - f. *Wildlife within the woodland area;*
 - g. *Understory species and quality; and*
 - h. *Other factors such as the value of the woodland area as a scenic asset, windblock, noise buffer, environment, asset (i.e.—Cooling effect, etc.), and the value of historic or specimen trees within the woodland area.*
- (4) *The removal or relocation of trees shall be limited to those instances:*
 - a. *When necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship; or*
 - b. *The tree is dead, diseased, injured and in danger of falling too close to proposed or existing structures, or interferes with existing utility service, interferes with safe vision clearances, or conflicts with other ordinances or regulations.*
- (5) *Where the removal or cutting of any trees with eight-inch d.b.h. or greater is permitted, replacement trees shall be provided in accordance with section 37-8.*
- (6) *The proposed activity shall include necessary provisions for tree protection in accordance with section 37-9.*
- (7) *Where the proposed activity consists of land clearing it shall be limited to designated street rights-of-way, drainage and other utility areas, and areas necessary to the construction of proposed buildings and structures, as depicted on the plat or site plan. Where the proposed activity consists of grubbing, all trees with a d.b.h. of three (3) inches or greater will be left undisturbed. The understory of such trees shall likewise be left undisturbed*

- within the drip line or within an area three (3) feet from the tree, whichever is greater.*
- (8) *Where the proposed activity includes residential development, residential units shall blend into the natural setting of the landscape for the enhancement of the sound, orderly economic growth and development and for the protection of property values in this city. Naturally occurring runoff may pass from one wooded area to a second area without an easement, provided developed runoff is not directed to such second area. Naturally occurring low areas may remain where no developed runoff is directed to such areas. Buildings within regulated woodland shall have gutters and downspouts which direct developed runoff away from regulated woodland either through the building's storm water discharge system or by weeping tile directing water away from the protected woodland.*
- (9) *The proposed activity shall be in compliance with all other applicable statutes and ordinances.*
- (10) *The reviewing authority shall consider the total acreage of woodland existing within the city.*
- (11) *The burden of demonstrating that no feasible and prudent alternative location for structures or improvements without undue hardship shall be upon the applicant.*

It should be noted that after our woodland evaluation and review of the *Tree Survey*, there are no on-site trees that meet the minimum caliper size for designation as a specimen tree (Section 37-6.5). This section states that:

"A person may nominate a tree within the city for designation as a historic or specimen tree based upon documented historical or cultural associations. Such a nomination shall be made upon that form provided by the community development department. A person may nominate a tree within the city as a specimen tree based upon its size and good health. Any species may be nominated as a specimen tree for consideration by the planning commission".

Comments

Based on the criteria set forth in the City's Woodland Review Standards, it is ECT's opinion that the site does not contain irreplaceable natural resources. The following are repeat comments from our Woodland Review of the Preliminary Site Plan dated June 16, 2014. The current status of each comment follows in ***bold italics***:

1. The legibility of the *Tree Survey* table provided on the Plan is poor. ECT recommends that the Applicant provide a more-clear table on subsequent site plan submittals.

This comment has been addressed. A legible tree table has now been provided.

2. It appears that several of the existing trees proposed for removal measure less than 8 inches d.b.h., but are included in the required woodland replacement totals. ECT suggests that the Applicant review and revise the Woodland Replacement requirements as necessary.

This comment has been addressed. The tree survey table has been revised accordingly.

3. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch d.b.h. or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be two and one-half (2 ½) inches caliper or greater.

This comment still applies.

4. A Woodland Replacement financial guarantee for the planting of replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.

Based on a successful inspection of the installed on-site Woodland Replacement trees, seventy-five percent (75%) of the original Woodland Financial Guarantee shall be returned to the Applicant. Twenty-five percent (25%) of the original Woodland Replacement financial guarantee will be kept for a period of 2-years after the successful inspection of the tree replacement installation as a *Woodland Maintenance and Guarantee Bond*.

This comment still applies.

5. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site.

This comment still applies.

6. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the City of Novi *Landscape Design Manual*.

This comment still applies. The applicant has stated that woodland replacement trees will be provided on the Novi Promenade property along the embankment of the proposed mitigation area and detention pond.

Grand Promenade (JSP14-0015)
Woodland Review of the Revised Preliminary Site Plan (PSP14-0134)
August 20, 2014
Page 6 of 8

Recommendation

ECT currently recommends approval of the Grand Promenade Revised Preliminary Site Plan for woodlands.

Although the on-site woodlands provide some degree of environmental benefit, in terms of a scenic asset, windblock, noise buffer or other environmental asset, the woodland areas proposed for impact are not considered to be of a unique or high-quality nature and the number of regulated trees to be removed for the proposed construction is relatively limited.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: David Beschke, City of Novi, Licensed Landscape Architect
Kristen Kapelanski, AICP, City of Novi Planner
Valentina Nukulaj, City of Novi Customer Service Representative

Attachments: Site Photos

Site Photos



Photo 1. Tree #280, 9" d.b.h. American elm.
On-site trees tagged with steel tags.



Photo 2. Tree #287, 7" d.b.h. white cedar.



Photo 3. Tree #283, twin stem American elm.



Photo 4. Tree #283, twin-stem American elm.

Façade Review



June 7, 2014

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review – Preliminary Site Plan**
Grand Promenade, PSP14-0085
 Façade Region: 1, Zoning District: B-3, Building Size: 3,900 & 12,000 S.F.

Dear Ms. McBeth;

The following is the Facade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Serra Marco & Associates Architects, dated 5/12/14. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

East Building - 3,900 SF	North (Front)	East	South	West	Ordinance Maximum (Minimum)
Brick	52%	78%	88%	88%	100% (30% Min)
Stone	39%	17%	0%	0%	50%
EIFS	0%	0%	0%	0%	25%
Flat Metal	5%	0%	1%	1%	50%
Limestone	1%	0%	1%	1%	50%
Burnished Block	3%	5%	10%	10%	10% (Note 2)

West Building - 12,000 SF	North (Front)	East	South	West	Ordinance Maximum (Minimum)
Brick	32%	78%	88%	88%	100% (30% Min)
Stone	31%	17%	0%	0%	50%
EIFS	31%	0%	0%	0%	25%
Flat Metal	3%	0%	1%	1%	50%
Limestone	1%	0%	1%	1%	50%
Burnished Block	2%	5%	10%	10%	10% (Note 2)

As shown above the percentage of EIFS exceeds the maximum amount allowed by the Façade Ordinance on the north façade of the west building. A Section 9 Waiver would be required for this deviation. Note 2 of the Façade Chart states that Burnished Block is permitted only if laid in stacked bond pattern. The façade material sample board required by Section 2520.4.b of the Ordinance was not provided at the time of this review.

Recommendation – The comparatively small overage of EIFS on the north façade does not detract from the buildings overall appearance and is generally consistent with the intent and purpose of the Façade Ordinance. However, in this case we believe that the careful selection and coordination of façade material and colors will be critical to the building’s overall appearance. The Façade Ordinance encourages earth-toned colors that are harmonious with the other façade materials used on the same building as well as on adjacent buildings. Therefore, we request the sample board be provided prior to making our final recommendation with respect to the Section 9 Waiver. Additionally, the Burnished Block should be laid in stacked bond pattern as required by Note 2 of the Façade Chart, and notations to that effect should be added to the drawings.

Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view using materials consistent with the building design.
2. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC



Douglas R. Necci, AIA

Fire Review



March 19, 2014

May 29, 2014

TO: Barbara McBeth- Deputy Director of Community Development
Sara White - Plan Review Center
Sara Roediger- Plan Review Center

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Jerrod S. Hart

RE: Grand Promenade

PSP#14-0036

PSP#14-0085

Project Description: Two commercial structures located on the south side of Grand River East of Twelve Mile.

Comments:

- 1) Verify available water supply for firefighting on site. The ability to serve at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential. (D.C.S. Sec.11-68(a)) **5/29/14- Corrected**
- 2) No part of a commercial, industrial or multiple residential areas shall be more than 300 feet from a hydrant. (D.C.S. Sec. 11-68 (f)(1)c.1) **5/29/14 Corrected**
- 3) Hydrants shall be spaced approximately three hundred (300) feet apart on line in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. (D.C.S. Sec. 11-68 (f)(1)c) **5/29/14 Corrected**
- 4) If a new building is more than 175 feet from a public fire hydrant, a hydrant shall be provided ten (10) to fifteen (15) feet off the right side of the drive entrance as recommended by the Fire Chief or his designee. (D.C.S. Sec. 101-68 (f)(1)h.) **5/29/14 Corrected**

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

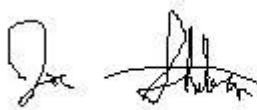
cityofnovi.org

Recommendation:

- 1) Additional Hydrants are required due to water flow and commercial building layout. Use of one-way lanes on the East side of development limits deployment of hose lines from proposed hydrant location. **5/29/14 Additional Hydrant Added**

5/29/14- Recommended for approval

Sincerely,

A handwritten signature in black ink, appearing to read "Joseph Shelton". The signature is written in a cursive style with a large initial "J" and a long horizontal stroke at the end.

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Applicant Response Letter

October 6, 2014

Kristen Kapelanski, AICP
Planner, Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

Re: Grand Promenade
Retail \ Restaurant Development
JSP14-0015

Dear Mrs. Kapelanski:

Comments listed below directly correspond to the August 18, 2014 Preliminary Site Plan review comments provided by the City's consultants for the above mentioned project.

Planning Review Response

1. Additional information requested for the Noise impact statement will be provided with our next submittal.
2. Woodlands – We will comply with the woodland review requirements as outlined in the woodland consultants review letter.
3. Wetlands – The developer understands that the approval of this site is contingent upon approval of the amendment to the Novi Promenade Consent Judgment.
4. Lighting plan will be provided during Final Site plan submittal.
5. We will add a note as to the next plan submittal indicating dumpster service will be between the hours of 10PM and 7AM only.
6. Bicycle Parking – We will provide the additional detail requested on our next submittal.
7. Exterior Signage – The developer will apply for the required sign permit through the Planning Division.

Engineering Comments:

1. Our Final Site Plan submittal package will have the Utility Plans and Grading plans separated.
2. A Non-Domestic User Survey will be resubmitted with our Final Site Plan submittal.
3. A reference to a City established benchmark shall be added to our next submittal.
4. The 60 foot half-width ROW on Grand River shall be added to our next submittal.
5. Extents of removals and/or demolitions shall be clarified on our next submittal.
6. City Detail sheets will be added to the sets for our Stamping Set submittal.
7. Water main profiles shall be provided with our Final Site Plan submittal.
8. 90 degrees bends shall be replaced with (2) 45 degrees bends on our Final Site Plan submittal.
9. MDEQ Water System permit application, Streamlined Checklist, and additional sets for permitting shall be provided with our Final Site Plan submittal.
10. The diameter of the existing sanitary sewer along Grand River shall be added to the plans prior to our next submittal.
11. Detail rims, inverts, and utility crossing data shall be added to the utility plans prior to our next submittal.
12. Storm sewer profiles and additional details requested shall be provided with our Final Site Plan submittal.
13. The Storm Water Management Plan will be designed in accordance with Chapter 5 of the Engineering Design Manual.
14. Tributary areas shall be added to the Storm Water Management Plan as requested prior to our next submittal.
15. Existing ground water, proposed bankfull, and 100-year storm hydraulic grade lines shall be added to the detention system cross section prior to our next submittal.
16. Additional storm water information requested shall be added to the Storm Water Management Plan prior to our next submittal.
17. The grading plan shall be revised to indicate 4" curb wherever 17' deep parking stalls are proposed.
18. A detail for each A.D.A. ramp shall be provided with our next submittal.
19. The City right-of-way sidewalk detail shall be revised to added the notes requested.
20. A copy of the existing Novi Promenade ingress/egress easement shall be provided with our next submittal. There are no known restrictions on this easement as it pertains to this property.
21. A letter shall be provided as requested.
22. An itemized cost estimate shall be provided with our Final Site Plan submittal.
23. A draft copy of the maintenance agreement for the storm water facility shall be provided with our Final Site Plan submittal.
24. A copy of the existing Novi Promenade ingress/egress easement shall be provided with our next submittal.
25. A draft copy of the proposed water main easement shall be provided with our Final Site Plan submittal.
26. A draft copy of the proposed access easement for the proposed sanitary sewer monitoring manholes shall be provided with our Final Site Plan submittal.
27. No offsite utility easements are required at this time.
28. A pre-construction meeting shall be required prior to construction.

29. A grading permit will be required prior to construction.
30. A soil erosion permit shall be required prior to construction.
31. A City right-of-way permit shall be required prior to construction.
32. A County right-of-way permit shall be required prior to construction.
33. A MDEQ water system permit shall be required prior to construction.
34. Construction Inspection fees shall be paid prior to construction.
35. Storm water performance guarantee shall be posted prior to Temporary Certificate of Occupancy is granted.
36. An incomplete site work performance guarantee shall be posted prior to The Temporary Certificate of Occupancy is granted.
37. A street sign guarantee shall be posted prior to the start of construction.

Traffic Comments:

6. The proposed One Way sign shall be adjusted as requested.
7. An A.D.A. ramp shall be added as requested.
8. The end spaces shall be adjusted as requested and three lines for curb shall be denoted on our next submittal.
9. The end islands shall be adjusted as requested on our next submittal.
10. The 4" curb notes requested shall be added prior to our next submittal.
11. The 10PM to 7AM note shall be added to the plans prior to our next submittal.
12. The adjustments to the landscape island shall be added to the plans prior to our next submittal.
13. The 18' rear parking dimension shall be added to the plans prior to our next submittal.
14. The pavement color note shall be revised prior to our next submittal.
15. The No Parking Fire Lane signs shall be added to the plans prior to our next submittal.
16. The sign table shall be updated prior to our next submittal.
17. The R5-1 sign notation shall be added prior to our next submittal.

Landscape Review Comments:

1. Parking Landscaping – Trees shall be adjusted outside of paved areas prior to our next submittal.
2. Building Foundation Landscape – Additional details shall be added prior to our next submittal.
3. Irrigation – Irrigation Plans shall be provided with our Final Site Plan submittal.

Wetland Review Comments:

1. MDEQ provided their determination letter in September 8, 2014 stating that the Grand Promenade project area and the modifications proposed on the Novi Promenade property would not require a permit. A letter is attached.
2. The monitoring plan associated with the mitigation area shall be added to the plans prior to our next submittal.

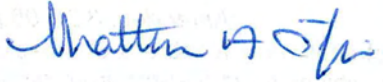
Woodland Review Comments:

1. A Woodland permit from the City of Novi shall be obtained prior to start of construction.

2. A Woodland Replacement financial guarantee shall be posted with the City prior to start of construction.
3. The Applicant will be required to pay the City Tree Fund for any woodland replacement trees that cannot be planted onsite.
4. The replacement material locations notes shall be added to the plans prior to our next submittal.

We hope the information provided is helpful with expediting the review process, and we look forward to continuing working with staff on this project. If there are any questions, or if any additional information is needed please let us know.

Respectfully submitted,
Diffin-Umlor and Associates

A handwritten signature in blue ink that reads "Matthew A. Diffin". The signature is written in a cursive style with a large initial "M" and a stylized "A".

Matthew A. Diffin, P.E.
Principal