



NOVI CRESCENT PHASE II JSP14-33

Novi Crescent Phase II JSP14-33

Consideration of the request of Versa Development for approval of Preliminary Site Plan and Stormwater Management Plan. The subject property is 1.99 acres in Section 15 of the City of Novi and located on the west side of Novi Road, south of the freeway interchange in the TC, Town Center district. The applicant is proposing to demolish the existing Melting Pot restaurant and construct an approximately 12,800 square foot building consisting of retail and restaurant space.

Required Action

Approval/Denial of the Preliminary Site Plan, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	7-25-14	<ul style="list-style-type: none"> • Planning Commission waiver for reduced building setbacks (<i>Staff supported</i>) • ZBA variance required for deficient parking setback (<i>Staff supported</i>) • ZBA variance required for loading zone setback and size (<i>Staff supported</i>) • ZBA variance required for dumpster location in Exterior rear yard (<i>Staff supported</i>)
Engineering	Approval recommended	7-25-14	Items to be addressed on the Final Site Plan submittal
Traffic	Approval recommended	07-11-14	<ul style="list-style-type: none"> • Planning Commission waiver of traffic study required (<i>Staff supported</i>) • Planning Commission waiver of same side driveway spacing in required (<i>Staff supported</i>)
Landscaping	Approval recommended	07-16-14	<ul style="list-style-type: none"> • Planning Commission waiver for lack of screen wall along Expo Dr. due to Sanitary easement (<i>Staff supported</i>) • Planning commission waiver for deficient building foundation landscape area required (<i>Not supported by staff</i>)
Façade	Approval recommended	7-25-14	Section 9 Waiver required for overage of Fabric Awnings (<i>Staff supported</i>)
Fire	Approval recommended	07-23-14	Items to be addressed on the Final Site Plan submittal

Motion Sheet

Approval –Preliminary Site Plan

In the matter Novi Crescent Phase II, JSP14-33, motion to **approve** the Preliminary Site Plan to the City Council based on and subject to the following:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b) Waiver for building setback reduction from front parcel line from 50 feet to 20 feet. Setbacks may be reduced by Planning Commission provided: (a) That a reduction in setback, or waiver of a setback, will not impair the health, safety or general welfare of the City or the use of the premises or adjacent premises (b) That waiver of the setback along a common parcel line would result in a more desirable relationship between a proposed building and an existing building; and (c) The adherence to a minimum required setback would result in the establishment of nonusable land area that could create maintenance problems.
- c) Waiver of required Traffic Impact Study, which is hereby granted; and
- d) Waiver of same side driveway spacing, 105 feet is required, 45 feet is provided, which is hereby granted; and
- e) Waiver of screen wall requirement along Expo Dr. due to sanitary easement provided that the applicant work with the City's landscape architect at the time of final site plan to enhance landscape treatment at this location, which is hereby granted; and
- f) Waiver of deficient building foundation landscape area, which is hereby granted; and
- g) Section 9 waiver for overage of fabric awnings, which is hereby granted; and
- h) Zoning Board of Appeals variance for deficient parking setback of 15 feet from north property line and 3 feet from south property line, 20 feet is required; and
- i) Zoning Board of Appeals variance for loading zone location in exterior rear yard, deficient setback from the north property line of 14 feet, 20 feet required, and deficient size of 1,751 square feet, 1,770 square feet required; and
- j) Zoning Board of Appeals variance for dumpster location in exterior rear yard and deficient setback from right-of-way of 30 feet, 50 feet is required; and
- k) *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Article 16, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Approval –Stormwater Management Plan

In the matter of Novi Crescent Phase II, JSP14-33, to **approve** the Stormwater Management Plan to the City Council based on and subject to the following:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b) *(additional conditions here if any)*

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-OR-

Denial –Preliminary Site Plan

In the matter of Novi Crescent Phase II, JSP14-33, motion to **deny** the Preliminary Site Plan with Site Condominium to the City Council, *for the following reasons...(because the plan is not in compliance, Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

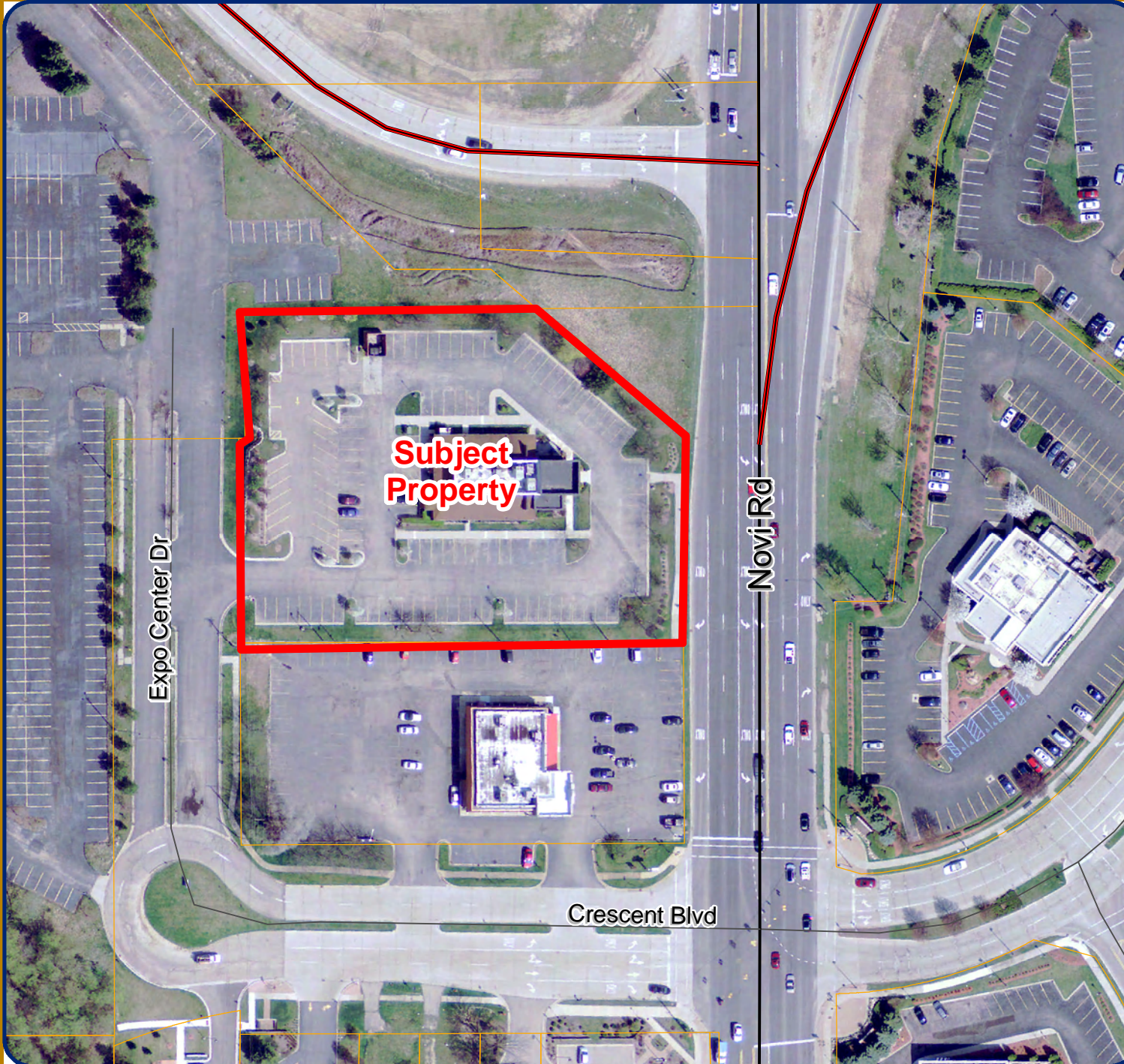
Denial –Stormwater Management Plan

In the matter of Novi Crescent Phase II, JSP14-33, motion to **deny** the Stormwater Management Plan to the City Council, *for the following reasons...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features

JSP14-33 Novi Crescent Phase II

Location



Map Legend

 Subject Property



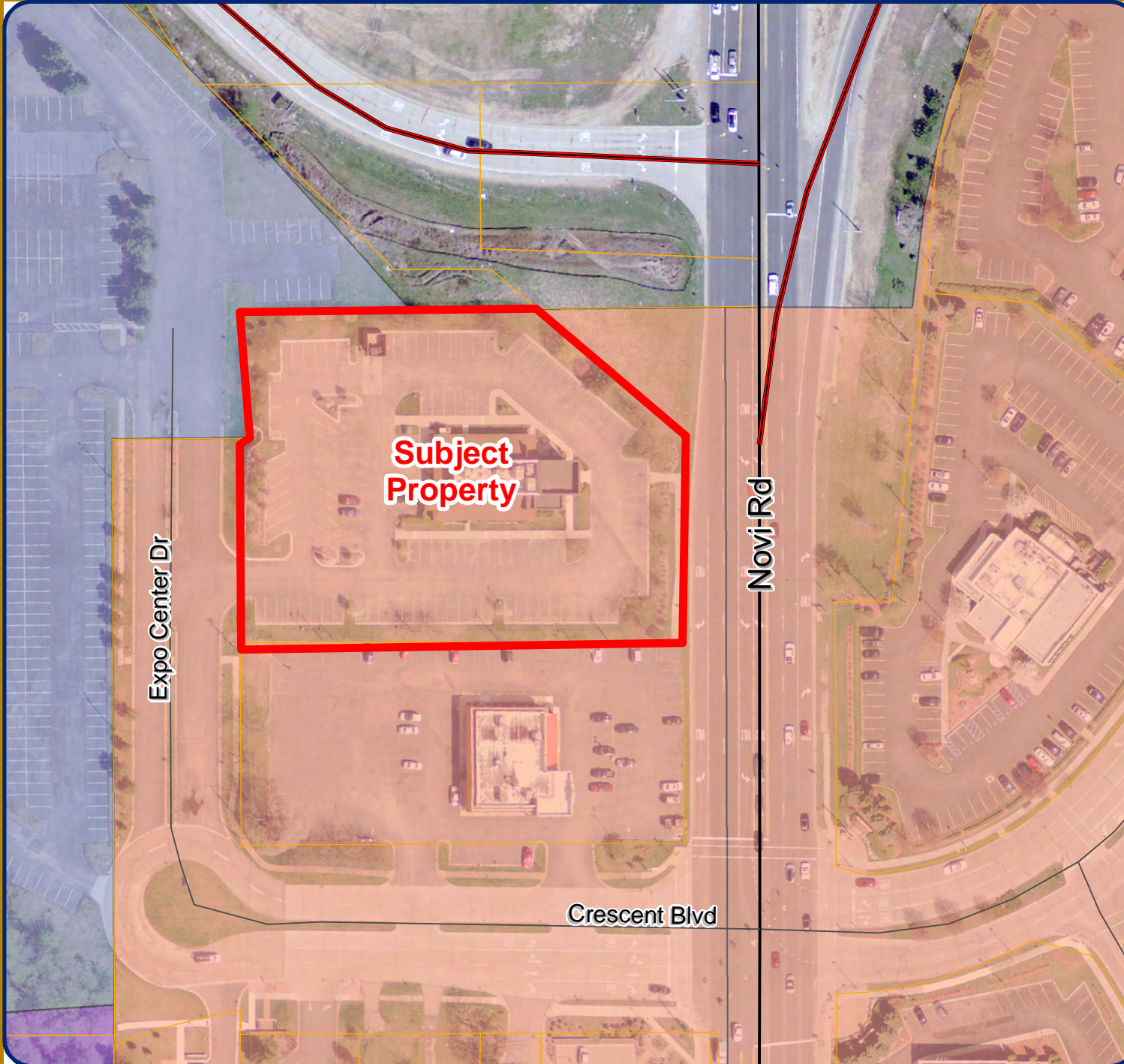
City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sara White
Date: 06-30-14





MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP14-33 Novi Crescent Phase II Zoning



Map Legend

-  Subject Property
-  EXPO: Exposition
-  I-1: Light Industrial
-  TC: Town Center



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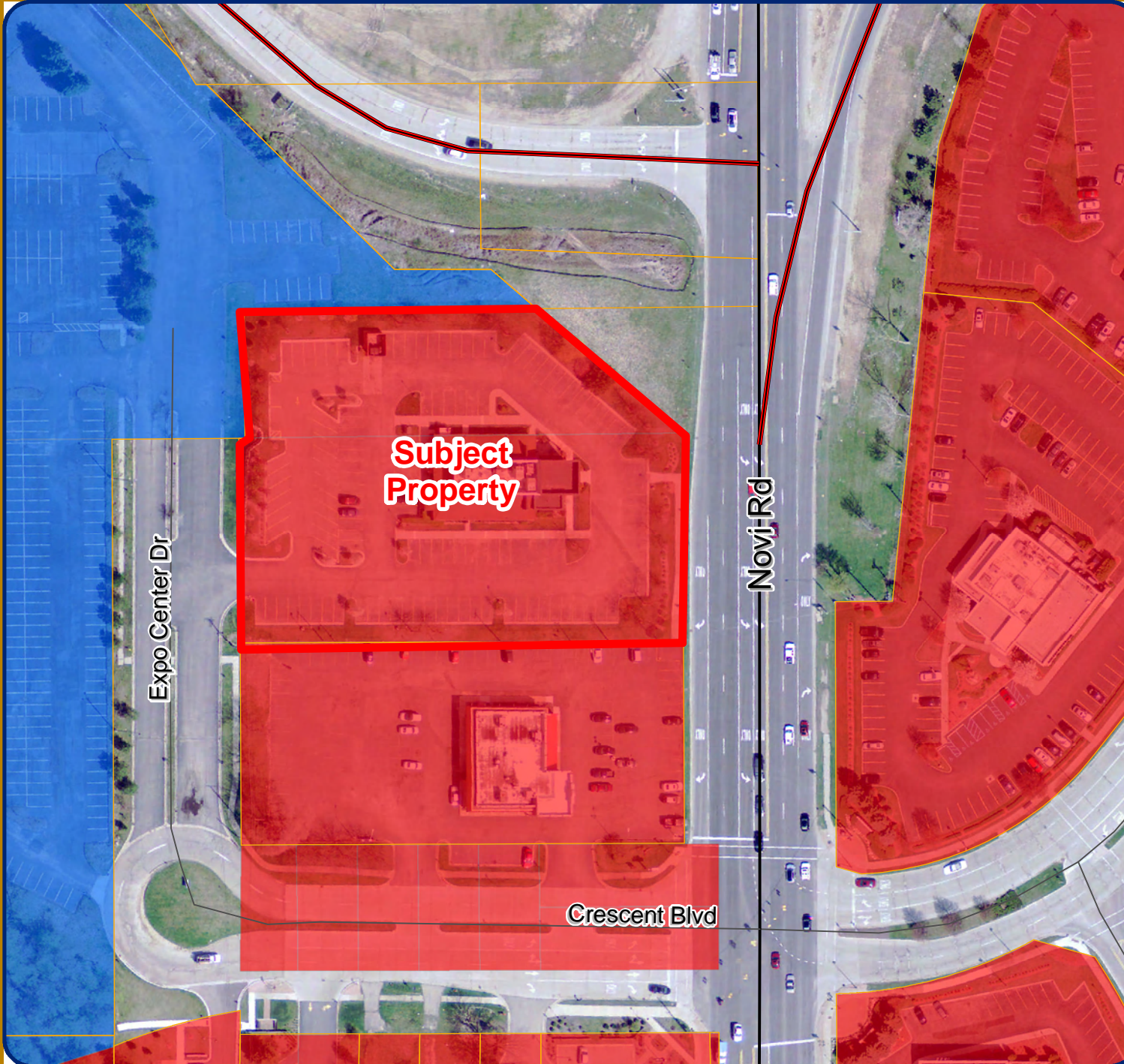
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JSP14-33 Novi Crescent Phase II

Future Land Use



Map Legend

-  Subject Property
-  Office R&D Technology
-  Town Center Commercial



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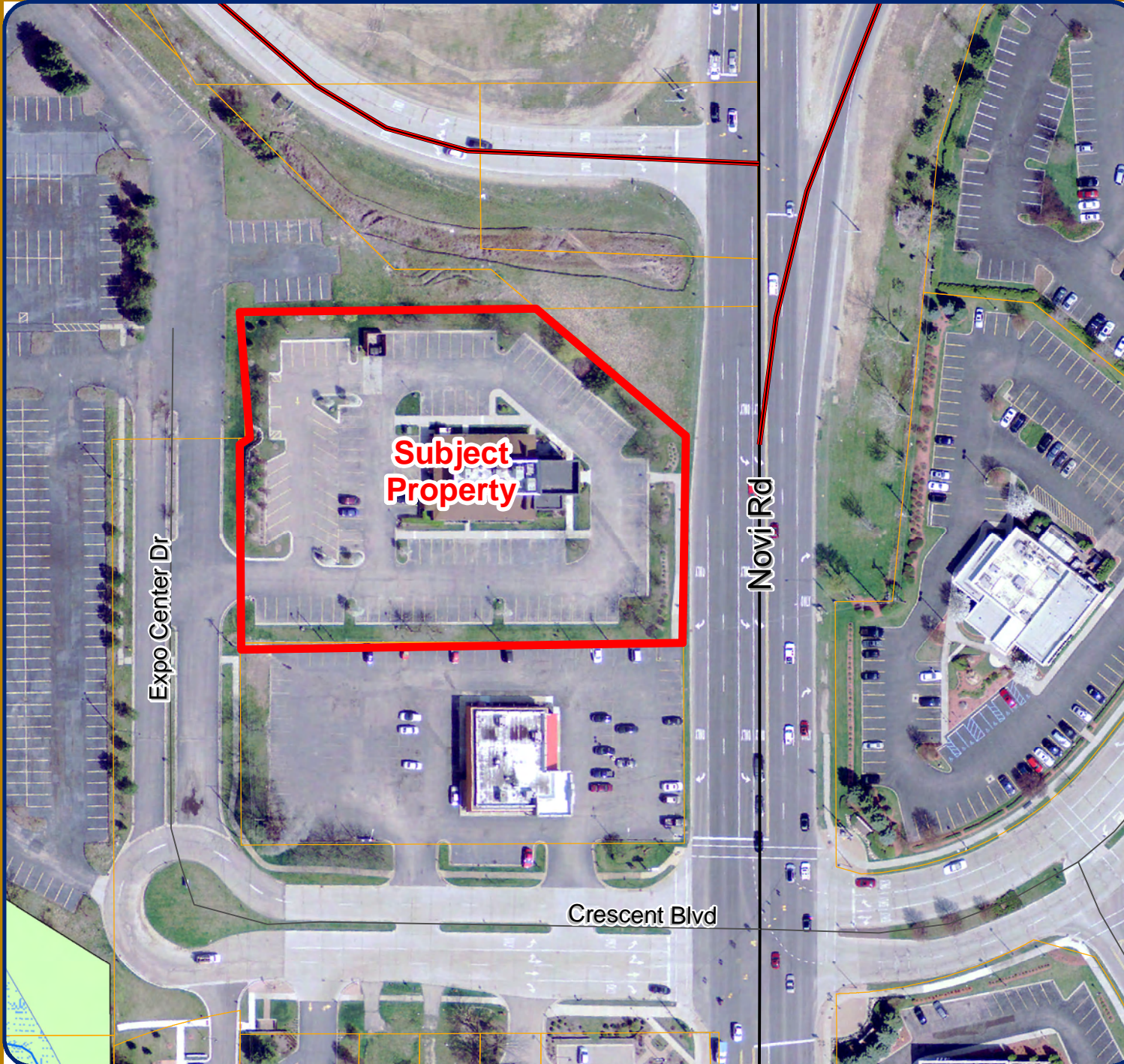
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JSP14-33 Novi Crescent Phase II

Natural Features



Map Legend

 Subject Property

 Waterways

 Wetlands

 Woodlands



1 inch = 114 feet



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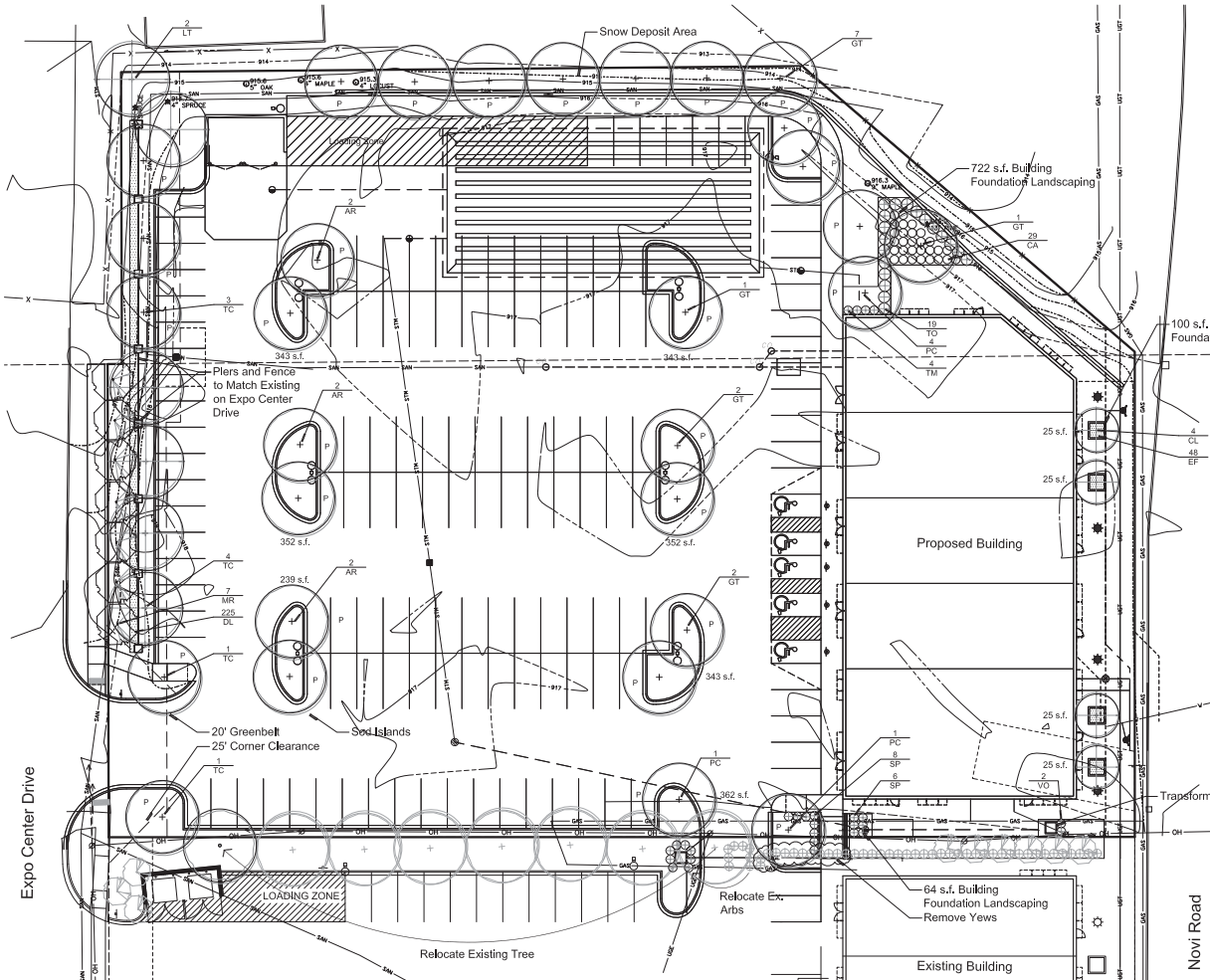
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



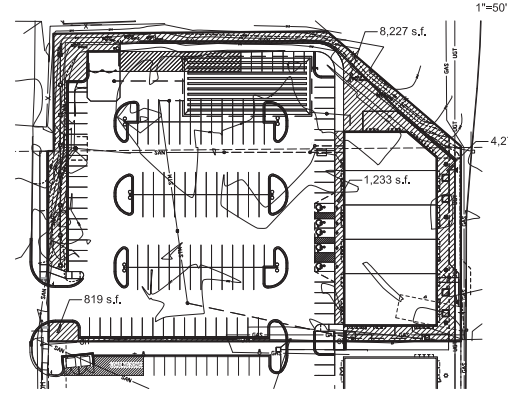
Landscape Summary

Existing Zoning	TC
Parking Lot Landscaping	
Parking Space Area	24,504 s.f.
Vegeticular Use Area	24,654 s.f.
Landscape Area Required	2,208 s.f.
24,504 s.f. x 7% = 1,715 s.f.	
24,654 s.f. x 2% = 493 s.f.	
Landscape Area Shown	2,304 s.f.
Canopy Trees Required	29 Trees (2,208 / 75)
Canopy Trees Shown	29 Trees
Parking Lot Perimeter	
Perimeter	647 Lf.
Trees Required	19 Trees (647 Lf. / 35')
Trees Shown	24 Trees (7 Existing)
Building Foundation Landscaping	
Perimeter of Building	478 Lf.
Landscape Area Required	3,824 s.f. (478 Lf. x 8')
Landscape Area Shown	886 s.f.
Greenbelt Plantings	
Expo Center Drive	
Street Frontage	262 Lf.
Trees Required	7 Trees (262 Lf. / 40')
Trees Shown	7 Trees (1 Existing)
Sub-Canopy Trees Required	7 Trees (262 Lf. / 35')
Sub-Canopy Trees Shown	7 Trees

Plant List

Spec. Qty.	Botanical Name	Common Name	Caliper	Spacing	Root Height	Price	Total
AR	3 - Acer rubrum	Red Maple	3.0"	as shown	B&B	\$ 400.00	\$ 1,200.00
CA	25 - Calluna vulgaris	Heather	as shown	No. 2 Cont.		\$ 10.00	\$ 250.00
CL	4 - Thuja occidentalis	Green Tree	as shown	B&B		\$ 400.00	\$ 1,600.00
DL	205 - Hemerocallis 'Stella D'Oro'	Stella D'Oro Day Lily	3.0"	Full, well rooted 1' gal.		\$ 10.00	\$ 2,050.00
DL	45 - Helianthus scaberrimus	Blue Oak Grass	as shown	No. 2 Cont.		\$ 10.00	\$ 450.00
EP	13 - Eriogonum fasciculatum	Honeylocust	3.0"	as shown	B&B	\$ 400.00	\$ 5,200.00
GT	2 - Linderothia tubifera	Tulip Tree	as shown	B&B		\$ 400.00	\$ 800.00
MR	1 - Malus 'Red Barron'	Red Barron Crab	2.5"	as shown	B&B	\$ 250.00	\$ 250.00
PC	6 - Pyrus calleryana 'Cleveland Select'	Cleveland Select Pear	as shown	B&B		\$ 400.00	\$ 2,400.00
SP	14 - Spirea 'Anthony Waterer'	Anthony Waterer Spirea	as shown	30" / 36"		\$ 50.00	\$ 700.00
TC	9 - Thuja occidentalis 'GreenSpire'	GreenSpire Linden	as shown	B&B		\$ 400.00	\$ 3,600.00
TM	4 - Thuja s. media 'Densiformis'	Dense Yew	as shown	30" / 36"		\$ 50.00	\$ 200.00
TO	19 - Thuja occidentalis 'Dark Green'	Dark Green Arborvitae	as shown	B&B		\$ 175.00	\$ 3,325.00
VO	2 - Viburnum s. Nanum	Cranberrybush	as shown	30" / 36"		\$ 50.00	\$ 100.00
750	Kentucky Blue Grass, (S.Y.)		as shown			\$ 4.00	\$ 3,000.00
Match	64 s.y./4" Deep Shredded Hardwood Bark Mulch					\$400/y.	\$ 2,560.00
							\$ 30,695.00

Open Space Plan



Open Space	
Site Area	86,441 s.f.
Open Space Required	12,966 s.f. (15%)
Open Space Provided	14,552 s.f. (16.8%)

Seal:



Title:

Landscape Plan

Project:

Proposed Building
Novi, Michigan

Prepared for:

Versa Development
25900 West 11 Mile, Suite 250
Southfield, Michigan 48034
248.996.1712

Revision:

Issued:

Submission May 22, 2014
Revised July 2, 2014

Job Number:

14-003

Drawn By:

Checked By:

jca

jca



Sheet No.



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 25, 2014

Planning Review

Novi Crescent Phase II

JSP14-33

Petitioner

Versa Development

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: 26425 Novi Road., West side Novi Rd, South of Freeway interchange (Section 15)
- Site School District: Novi Community School District
- Site Zoning: TC, Town Center
- Adjoining Zoning: Far North: Commercial East, West and South: TC, Town Center; Further West: EXPO, Exposition
- Site Use(s): Existing Melting Pot Restaurant
- Adjoining Uses: North: Highway Interchange; East: Novi Road; South: Existing Novi Crescent Phase I Retail; West: Expo Drive, Vacant Expo Center
- Site Size: 1.99 acres
- Proposed Building Size: 12,800 square feet
- Plan Date: 07-03-14

Project Summary

The applicant is proposing to demolish the existing Melting Pot restaurant and construct an approximately 12,800 sq. ft. building consisting of retail and restaurant space. The use breakdown is approximately 8,400 square feet of restaurant and 4,400 square feet of retail. However, tenants are not set and that breakdown could change. Associated parking and other site amenities will also be constructed.

Recommendation

Approval of the **Preliminary Site Plan is recommended**. The plan requires several variances from the Zoning Board of Appeals. There are other minor items that can be addressed at Final Site Plan.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 16 (TC and TC-1, Town Center Districts), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed by the applicant on the Stamping Set submittal.

1. Town Center Study: The recently completed Town Center Area Study evaluates and makes recommendations for the desired changes and growth of the Town Center area, as it is primed to become a focus area for potential redevelopment. The overall vision is that the "Development of the Town Center Study Area will create a dynamic, attractive city core that provides residents and visitors with unique opportunities to participate in active community life and meet their needs for goods, services, housing, and entertainment." This project is in sync

with the intent of the study for the area as it proposes attractive pedestrian and architectural amenities that enhance the desirability of the center.

2. **Building Setbacks:** The building is setback 20 feet from the front lot line to match Phase I of the development. This is less than the required 50 foot front setback, but setbacks may be reduced by Planning Commission provided: (a) That a reduction in setback, or waiver of a setback, will not impair the health, safety or general welfare of the City or the use of the premises or adjacent premises (b) That waiver of the setback along a common parcel line would result in a more desirable relationship between a proposed building and an existing building; and (c) The adherence to a minimum required setback would result in the establishment of nonusable land area that could create maintenance problems. Staff finds that these requirements are satisfied and believes a front setback reduction would be consistent with the intent of the Town Center Study.
3. **Parking Calculations:** Sit-down restaurants require 1 parking space per 70 sq. ft. of gross leasable area or 1 parking space for every two employees plus 1 space for every 2 customers allowed under maximum seating capacity, whichever is greater. The applicant has indicated that tenant spaces are flexible and should bear in mind that changes to the proposed occupancy sizes may result in higher parking requirements.
4. **Parking Setbacks:** Parking is set back 15 feet from the North property line, which is less than the required 20 foot minimum, requiring a variance. Parking is set back 3 feet from the South property line, which is phase one of the project. If the two parcels are combined, this is not an issue. If they are not, a variance will be required. **Applicant has indicated they will seek a variance from the Zoning Board of Appeals.**
5. **Loading Zone:** Loading zones in the TC District must comply with parking setback requirements. The proposed loading zone is setback 14 feet from the north property line, less than the required 20 feet. The Zoning Ordinance requires 10 sq. ft. of loading space for each front foot of building in the TC District meaning 1770 sq. ft. feet of loading space is required for the subject property. Approximately 1751 sq. ft. has been provided. **The applicant should seek a variance from the Zoning Board of Appeals for the loading zone setback and size.**
6. **Dumpster Location:** Dumpster located in exterior rear yard. In those instances where the rear lot line abuts a street right-of-way, the refuse bin screening enclosure shall be no closer to this line than the required front yard setback in the district in which the property is located, 50 feet in the TC district. Dumpster is set back 30 feet from lot line. **Applicant will need to seek a variance from the Zoning Board of Appeals.**
7. **Bicycle Parking:** Space for bicycle parking is indicated, but no details are shown. Include details of bike parking layout and rack type so that compliance can be confirmed.
8. **Outdoor Seating:** Approval for outdoor seating is a separate process and individual tenants will need to obtain outdoor eating plan approval from Community Development. **Note that seating areas for more than 20 people will require additional parking as contained in Section 2505.**
9. **Signage:** Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested to be submitted prior to Planning Commission meeting and with Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments listed above and in other review letters.

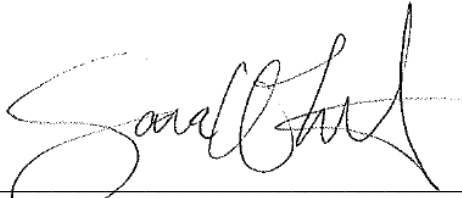
Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or swhite@cityofnovi.org.

A handwritten signature in black ink, appearing to read "Sara White", written over a horizontal line.

Sara White, Planner

Planning Review Chart

Novi Crescent II
 Preliminary Site Plan Review
 Plan Date: July 3, 2014

Item	Proposed	Meets Requirements?	Comments
Master Plan Town Center Commercial	No change		Tenants should check with Community Development Department prior to leasing space to ensure use is permitted.
Zoning TC, Town Center	No change		
Proposed Use Uses permitted listed in Section 1601	12,800 square foot retail building	Yes	
Building Height (Sec. 1602.2) 5 stories –or– 65 feet	22'9"	Yes	
Building Setbacks (Sec. 1602.4)			
Front (East) 50 feet	Approx. 20 feet	No	Setbacks may be reduced by Planning Commission provided: (a) That a reduction in setback, or waiver of a setback, will not impair the health, safety or general welfare of the City or the use of the premises or adjacent premise; (b) That waiver of the setback along a common parcel line would result in a more desirable relationship between a proposed building and an existing building; and (c) The adherence to a minimum required setback would result in the establishment of nonusable land area that could create maintenance problems.
Exterior Side (NorthEast) 50 feet	Approx. 20 feet	No	
Rear (West) 50 feet	200 feet +	Yes	
Interior Side (South) 10 feet	Approx. 12 feet	Yes	
Parking Setbacks (Sec. 2400)			
Exterior Side (NorthEast) Must be set back 20 feet from any street or roadway Must include a 2 ½ foot high landscaped berm or wall	Approx. 20 feet	Yes	Retaining wall provided

Item	Proposed	Meets Requirements?	Comments
Interior Side (North) 20 feet	Approx. 15 feet	No	Must obtain variance from Zoning Board of Appeals
Exterior Rear (West) Must be set back 20 feet from any street or roadway Must include a 2 ½ foot high landscaped berm or wall	Approx. 30 feet from ROW Decorative screen wall shown	Yes	Show future ROW line to confirm parking setbacks See Landscaping plan for additional notes
Interior Side (South) 20 feet	Approx. 3 feet	No	Must obtain variance from Zoning Board of Appeals if parcel is not combined with parcel to South
Architectural Amenities (Sec. 1602.7) Developments in the TC district shall include architectural amenities, including brick sidewalks & benches Additionally, the architectural design of the building shall be complementary to the surrounding area.	Decorative pedestrian scale lighting, decorative fencing, and planters provided	Yes	See the façade review for additional information (if any) regarding the surrounding area requirements.
Required Open Space on site (Sec. 1602.8) A minimum of 15% of the gross site area shall be permanently landscaped or a pedestrian plaza	16.8% Provided	Yes	

Item	Proposed	Meets Requirements?	Comments
<p>Number of Parking Spaces (Sec. 2505) Retail : 1 space per 200 sq. ft. of gross leasable area = 22 spaces</p> <p>Sit Down Restaurant: 1 space per 70 sq. ft. of gross leasable or 1 space for every 2 employees plus 1 for every 2 customers allowed under maximum seating capacity, whichever is greater = 120 spaces</p> <p>22+120= 142 spaces required</p>	142 spaces provided	Yes	Parking calculations based upon tenant approximation. Note that variations from expected occupations or tenants may result in changes in requirement
<p>Parking Space Dimensions (Sec. 2506) 90 degree parking- 9 feet by 19 feet or 17 feet (when 4" curb shown)</p>	All spaces sized appropriately	Yes	See Traffic letter for further notes
<p>Maneuvering Lanes (Sec. 2506) 24 feet required when abutting parking, 22 feet allowed when no parking is abutting lane</p>	Maneuvering lanes sized appropriately throughout site	Yes	
<p>Barrier Free Spaces (ADA standard) 5 barrier free spaces required, including 1 van accessible space</p>	5 provided, 2 van accessible	Yes	
<p>Barrier Free Space Dimensions (Barrier Free Code) 8 feet wide with a 5 foot wide access aisle for standard b.f. 8 feet wide with an 8 foot wide access aisle for van accessible</p>	Spaces sized appropriately	Yes	

Item	Proposed	Meets Requirements?	Comments
<p>Barrier Free Signs (<i>Barrier Free Design Graphics Manual</i>) One barrier free sign is required per space</p>	Signs shown	Yes	
<p>Loading Spaces (Sec. 2507.2)</p> <ul style="list-style-type: none"> - Off street loading in the TC district shall be in the rear yard - Must provide 10 sq. ft. for each front foot of building- 1,770 sq. ft. required - Loading area must be setback in an amount equal to a parking area- 20 feet from any side property line and 10 feet from the rear line 	<p>1751 sq. ft. of loading space provided in the exterior rear yard setback 15 feet from interior side and 50+ feet from rear.</p>	No	<p>Applicant need to seek a Zoning Board of Appeals variance for the loading zone location and size.</p>
<p>Sidewalks (<i>Town Center Study</i>)</p> <p>6-10 ft. wide sidewalks are required in the TC district</p>	Sidewalk provided along Expo Center Dr. and Novi Rd.		
<p>Bicycle Parking Facilities (Sec. 2526) 5% of required auto parking spaces $142 \times 0.05 = 7$ bicycle parking spaces</p> <p>Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance</p> <p>Be accessible via a paved 6 ft. route & separated from auto facilities</p> <p>4 ft. maneuvering lane with a 6 ft. parking space width & a depth of 2 ft. for single spaces & 2.5 ft. for double spaces</p>	Bicycle parking space indicated	Information Required	<p>Provide details including proposed rack type and layout so that compliance can be confirmed.</p>

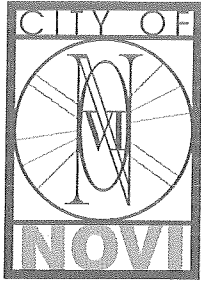
Item	Proposed	Meets Requirements?	Comments
<p>Development Amenities (Sec. 1607.14) Development amenities are required in any TC district</p>	<p>Pedestrian plaza proposed</p>	<p>Yes</p>	
<p>Dumpster Requirements (Chap. 21, Sec. 21-145)</p> <p>Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Screening should be 1 foot taller than dumpster.</p>	<p>Screening on four sides of at least 8 feet. Interior bumpers shown.</p>	<p>Yes</p>	
<p>Dumpster Setbacks (Sec. 2503.2.F)</p> <p>In those instances where the rear lot line abuts a street right-of-way, the refuse bin screening enclosure shall be no closer to this line than the required front yard setback in the district in which the property is located. (50 feet)</p>	<p>Dumpster located in exterior rear yard and set back 30 feet from rear property line</p>	<p>No</p>	<p>Applicant should seek a ZBA variance for the location of the dumpster.</p>
<p>Lighting (Sec. 2511)</p> <p>Exterior lighting plan needed at time of Final Site Plan review</p>	<p>Photometric plan provided</p>		<p>See lighting review chart.</p>
<p>Outdoor Seating (Sec. 2524)</p> <p>See requirements listed in Section 2524</p>	<p>Conceptual outdoor seating plan provided</p>		<p>Individual tenant will need to obtain outdoor seating plan approval from Community Development Department.</p> <p>Seating areas for more than 20 people will require additional parking as contained in Section 2505.</p> <p>Outdoor eating area enclosures should be made of metal railing, wood railing, brick wall or other quality & durable material.</p>

Lighting Review Summary Chart

Item	Meets Requirements?	Comments
<p>Intent (Section 2511.1)</p> <p>Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky</p>	Yes	
<p>Lighting Plan (Section 2511.2.a.1)</p> <p>Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures</p>	Yes	
<p>Lighting Plan (Section 2511.2.a.2)</p> <p>Specifications for all proposed and existing lighting fixtures including:</p> <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation <p>Photometric plan</p>	Yes	
<p>Required conditions (Section 2511.3.a)</p> <p>Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.</p>	Yes	
<p>Required Notes (Section 2511.3.b)</p> <ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation. 	Yes	
<p>Required conditions (Section 2511.3.e)</p> <p>Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.</p>	Yes	

Item	Meets Requirements?	Comments
<p>Required conditions (Section 2511.3.f)</p> <p>Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.</p>	Yes	
<p>Minimum Illumination (Section 2511.3.k)</p> <ul style="list-style-type: none"> - Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min 	Yes	
<p>Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)</p> <p>When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle</p>	Yes	Although light levels at the South property line exceed 1 fc, staff finds this acceptable due to the parcel line in question belongs to an earlier phase of project.
<p>Cut off Angles (Section 2511.3.1(2))</p> <p>All cut off angles of fixtures must be 90 degrees when adjacent to residential districts</p>	Yes	
<p>Fixture Requirements (Town Center Design Manual)</p> <p>Pedestrian and building fixtures should be similar to those in the Town Center area.</p>	Yes	

ENGINEERING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

07/25/2014

Engineering Review

Novi Crescent Phase II

JSP14-0033

Applicant

VERSA DEVELOPMENT

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: N. of Crescent Boulevard and W. of Novi Road
- Site Size: 1.98 acres
- Plan Date: July 3, 2014

Project Summary

- Remove existing parking lot, 1 story building. Construction of an approximately 12,800 square-foot building and associated parking. Site access would be provided from Expo Center Drive.
- Water service would be provided by an 8-inch extension from the existing 8-inch water main west under Novi Road. A 2-inch domestic lead and a 6-inch fire lead would be provided to serve the building, along with an additional hydrant and relocating an existing hydrant.
- Sanitary sewer service would be provided by a 6-inch lead from the existing 8-inch sanitary sewer along Expo Center Drive.
- Storm water would be collected by a single storm sewer collection system and detained in an underground detention system.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. A same-side spacing waiver will be required from Planning Commission for a driveway within the minimum same-side spacing distance of 105 feet for a 25 mph roadway.
2. A right-of-way permit will be required from the City of Novi and Oakland County.
3. Note: The applicant shall provide the appropriate easement exhibits for all public utilities that are proposed to be abandoned as part of this site plan.
4. Provide a note stating that it is the Contractor's responsibility to televise and verify that the existing utilities and building leads that will be reused are fully functional. Any defective or broken material must be replaced as part of this site plan.
5. An existing 20 foot easement for water supply system is shown in the proposed building footprint. Clarify if this easement is to be vacated.
6. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
7. Clearly identify all existing easements on the plan including any highway easements along Novi Road.

Water Main

8. The proposed water main easement must extend 10 feet beyond the proposed and relocated fire hydrants.
9. The plan shows two hydrant, however one is noted for relocation. Please clarify if the final site will include two hydrants or one.
10. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

11. Revise proposed sanitary easement around monitoring manhole to read proposed access easement.
12. The Oakland County Water Resource Commission IWC form for non-domestic sites must be submitted prior to Final Stamping Set approval.

13. A decorative wall is proposed within a sanitary sewer easement. No permanent structures are permitted in an easement.

Storm Sewer

14. Provide invert elevations for proposed catch basin 103.
15. Provide an oil / gas separator on the last structure prior to underground detention.

Storm Water Management Plan

16. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
 - a. Provide 100-year storm hydraulic grade lines elevation on the underground detention system cross-section and storm sewer profile demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.
 - b. Provide a soil boring in the vicinity of the proposed underground detention system to determine the bearing capacity and high water elevation of the groundwater table.
 - c. Provide the manufacturer's specifications for the proposed underground detention system on the plan set.
 - d. Provide the manufacturer's specifications for the proposed manufactured pretreatment structures on the plan set.
17. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
18. Note: Storm water Detention Fees may be required if the proposed impervious area is in addition to what the existing development was invoiced for.
19. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.
20. Provide an under drain along the downstream side of the underground detention system which is tied into a manhole as a means of secondary storm water conveyance to the outlet.
21. Provide a soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table.
22. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.
23. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.

24. Indicate the assumed porosity of the aggregate. The volume calculations shall consider only 85-percent of that volume as available for storage to account for sediment accumulation in the aggregate.
25. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
26. Provide an isolator row in the underground detention system in addition to the swirl concentrator chamber. Contact the Engineering Department for further information.
27. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access.
28. Provide inspection ports throughout the underground detention system at the midpoint of a couple storage rows, and one in the center of the header and footer. Two inspection ports should be located along the isolator row.
29. Provide critical elevations (low water, first flush, bank full, 100-year, and pavement elevation) of the detention system on the underground detention system cross-section. Insure there is at least 1 ft. of freeboard between the 100-year elevation and the subgrade elevation under the pavement.
30. The underground detention system shall be kept outside the influence of any planting areas.
- 31.

Paving & Grading

32. Provide pavement drainage slopes along with flow arrows.
33. Provide detailed grading on ADA parking spaces and ramps to demonstrate compliance.
34. The R.O.W. sidewalk detail on sheet 9 is labeled as 6" ROW Concrete Sidewalk, but shows 4" thick concrete. Clarify the concrete thickness for the R.O.W. sidewalk.
35. If the R.O.W. sidewalk is not located within an existing highway easement, a pathway easement is required.

Off-Site Easements

36. Any off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.
 - a. The proposed development will require an off-site cross-access easement in addition to a temporary grading permit for the impacts to parcel no. 50-22-15-476-042.
 - b. An off-site storm sewer easement is required for the proposed storm sewer connection on parcel no. 50-22-15-476-045.

The following must be submitted at the time of Final Site Plan submittal:

37. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the

determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

38. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
39. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
40. A draft copy of the 20-foot wide sanitary sewer access easement must be submitted to the Community Development Department.
41. A draft copy of the 20-foot wide easement for the water supply system to be abandoned on the site must be submitted to the Community Development Department.
42. An easement for the pathway along Novi Road, if required, must be submitted to the Community Development Department.
43. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

44. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
45. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
46. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
47. A permit for work within the right-of-way of Expo Center Drive must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.

48. A permit for work within the right-of-way of Novi Road must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
49. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
50. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
51. A storm water detention fee must be paid for any additional area that is tributary to a regional detention basin.
52. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
53. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
54. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
55. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Sara White, Community Development Department
Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW

July 11, 2014

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Novi Crescent Phase II, JSP14-0033,
Traffic Review of Preliminary Site Plan, PSP14-0119**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing a building containing 7,026 s.f. of specialty retail space and 5,796 s.f. of what is probably best characterized as high-turnover (sit-down) restaurant space. The site adjoins the similar, recently completed Novi Crescent building. To the north is the off-ramp from eastbound I-96 to Novi Road, and to the west – across Expo Center Drive – is the now-cleared site of the former Novi Expo Center. According to the applicant’s plan, City right-of-way for Expo Center Drive ends about 100 ft short of the site’s northern boundary.

Trip Generation

How much new traffic would be generated? Is a traffic study required?

2. Per ITE data and methodology, the proposed building can be expected to generate about 1,048 one-way vehicle trips per day, 70 in the AM peak hour (41 entering and 29 exiting) and 95 in the PM peak hour (51 entering and 44 exiting). Whereas the daily trip generation would exceed the City’s 750-trip threshold for a traffic impact statement (TIS), the peak-hour trip generation would not even meet the City’s threshold for a more limited traffic impact assessment (TIA). Given the latter finding, **we recommend that the applicant request the Planning Commission to waive the need for a traffic study.**

Vehicular Access Locations

Do the proposed “driveway” locations meet City spacing standards?

3. No. The access drive on Expo Center would be only about 45 ft north of the existing drive for Novi Crescent. Since the City’s Design and Construction Standards (Sec 11-216(d)d) call for a

minimum same-side driveway spacing on a 25-mph roadway of 105 ft, **a Planning Commission same-side driveway spacing waiver is required.**

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

4. No, and none are required.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

5. Yes.

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

6. Although a detectable warning surface appears to be shown on the south side of the main access drive, there is no clear indication of the associated ramp. **The ADA pedestrian ramp required on the south side of the driveway should be both shown and labeled on the plan.**

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

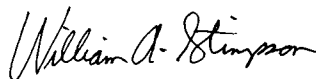
7. The proposed loading zone has been lengthened considerably – to about 103 ft – since the pre-application plan. **While some lengthening of the loading zone was appropriate, the design now proposed should be justified by the applicant indicating the maximum size of on-site delivery truck anticipated, along with an illustration of the required maneuvering path. The path now shown on sheet 5 is not labeled but needs to be; it appears to be that of a single-unit garbage truck. The path required by the City’s largest fire truck should also be shown; we consider an AASHTO full-size bus to be sufficiently similar (given its 25-ft wheelbase).**
8. **To improve internal circulation by large trucks, including that which may occur between the two Novi Crescent sites, the cross-access connection between the two sites should be enlarged as shown on our attached site plan mark-up.** This requested circulation improvement would not lose any parking spaces on either site.
9. The plan proposes to use the reinforced bases (or bollards) for the handicapped parking signs to stop parking vehicles from overhanging the flush sidewalk more than the 2 ft permitted by the Zoning Ordinance (Sec 2509.3c(2)(c)). This is acceptable; however, as indicated in our pre-application comments, **related plan details must ensure that the 6-inch-diameter sign bases are carefully positioned, “so as to ensure a full 2 ft between the pavement-sidewalk joint and the near (or west) face of the bases, and a full 5 ft between the building façade and the near (or east) face of the bases. Given that the overall walk width is proposed to be 7.5 ft, there is no allowance for deviations during construction.”** The final site plan should include a large-scale engineering detail showing the required clearances, especially since the current floor plan (drawing SP-01) is inconsistent with these sidewalk/sign placement requirements.

10. **Neither the Site and Paving Plan (sheet 5) nor the Preliminary Grading Plan (sheet 6) clearly and accurately indicates how the transition from the 4-inch-high walk to the flush walk near the barrier-free parking spaces would be accomplished. The dashed diagonal lines in the paved area appear to indicate that the pavement would be warped up to make it flush with an overall flat walk (per attached Alternative C); however, if this is the case, the two dimensions reading '4" High Curb' extend 9 ft (or one parking space) too close to the dedicated spaces. In our interpretation, these two dimensions should extend over the northernmost 11 parking spaces (not 12 spaces) and southernmost four spaces (not the 3rd, 4th, and 5th spaces from the south end). The pavement warping over the first adjoining undedicated space will provide the necessary parking stop in the outer wheel track of a parking vehicle. No other type of parking stop in those spaces is required or desirable.**
11. **On sheet 6, the pair of spot elevations two parking spaces from the south end incorrectly show an elevation differential of 0.5 ft rather than 0.33 ft.**
12. The loading zone is appropriately labeled as having 4-inch yellow hatching 4 ft on-center. However, the crosshatching has been drawn at a spacing of 2.5 ft; as with any pavement markings, **the hatching should be drawn to scale.**
13. The spacing of the two proposed NO PARKING LOADING ZONE (R7-6) signs is irregular. Given the length of the zone, **each sign should be proposed to be 25 ft from either end.**
14. **On sheet 9:**
 - a. **The detail for reverse curb and gutter should dimension the curb height as '4" or 6"', as indicated on plan', and the detail's title should delete its current reference to (only) a 6-inch curb height.**
 - b. **The detail for integral concrete curb and sidewalk should dimension the curb/walk height as 'Varies (4" Max)', not 6" (Max).**
 - c. **Given their location within the sidewalk, the accessible parking signs should be higher. The height of the VAN ACCESSIBLE (R7-8P) sign should be dimensioned 6'-3" (Min), not 5'-0", and the height of the RESERVED PARKING (R7-8) sign should be dimensioned 7' (Min). (Given that the lower sign's actual panel dimension is 6", it should be possible to achieve an even more desirable mounting height of 6'-6".) We also recommend that the reinforced base (or bollard) rise to a height of 4', not 3'.**

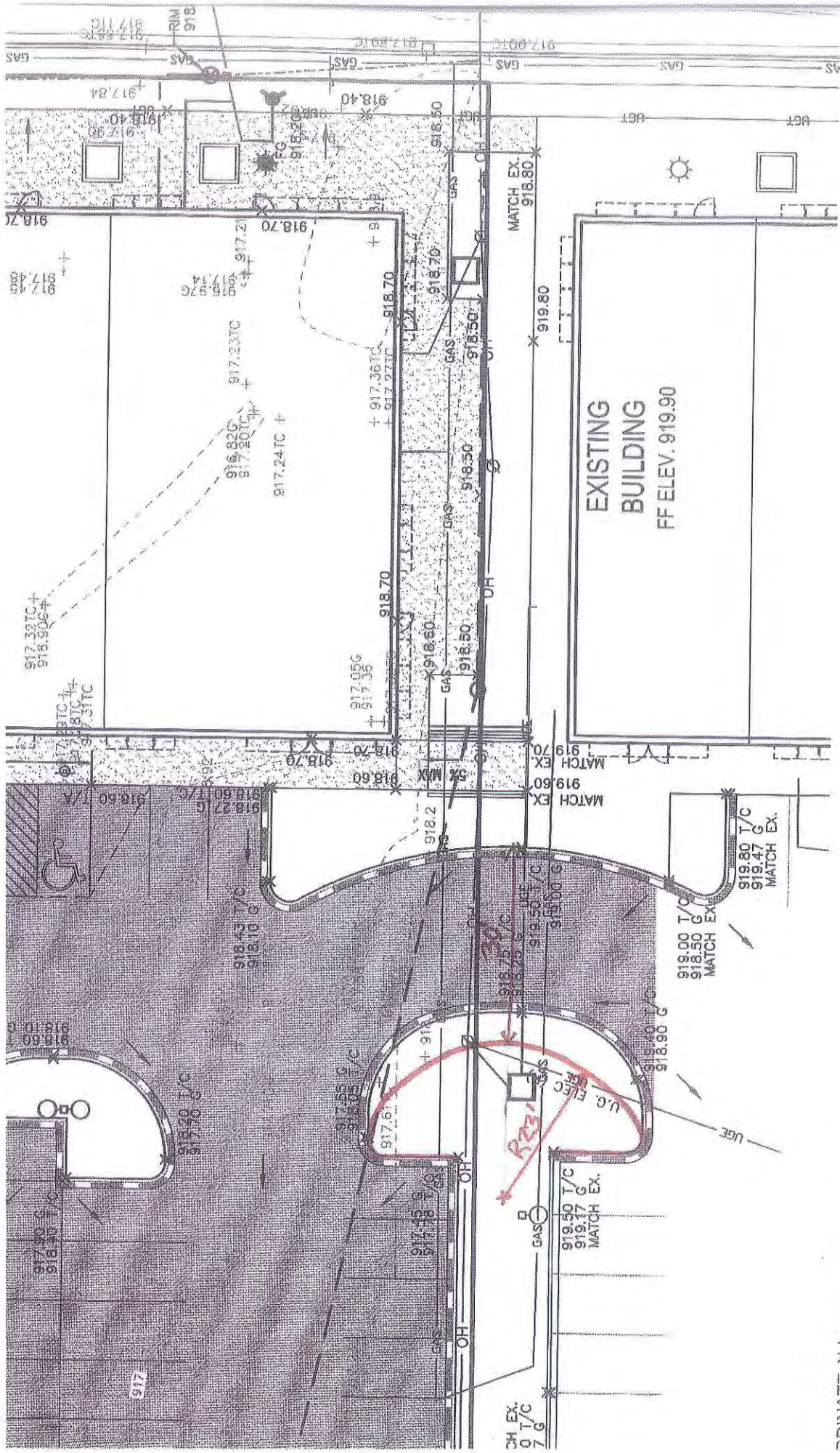
Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



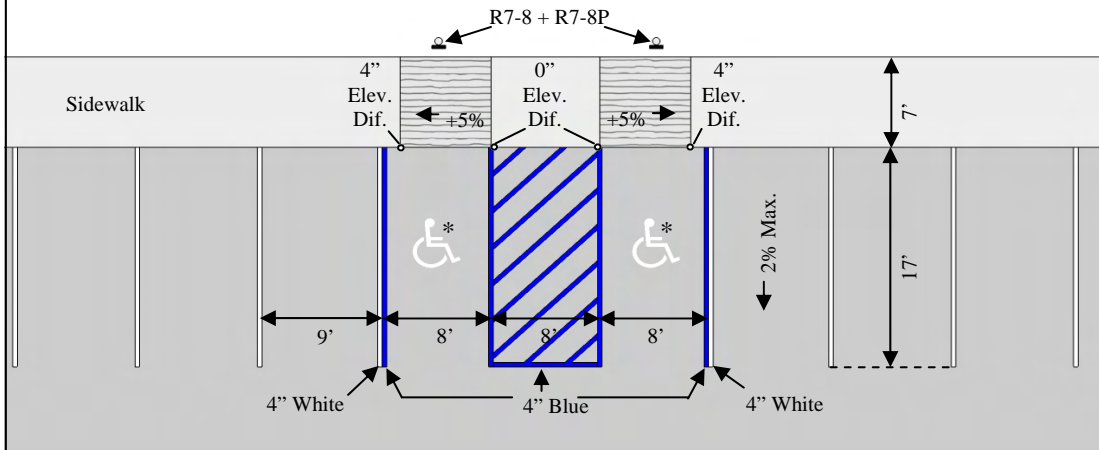
William A. Stimpson, P.E.
Director of Traffic Engineering



MARK-UP BY CLEARZONE, 6-3-14

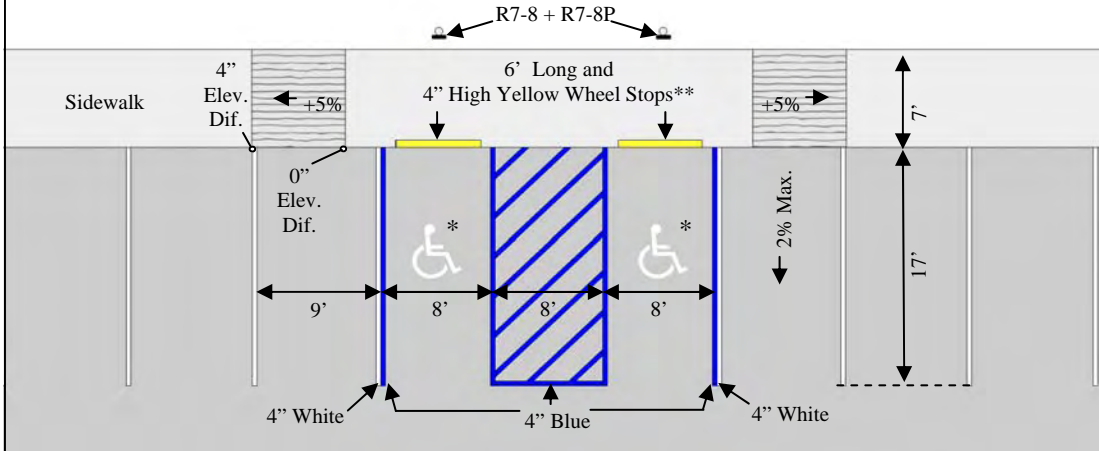
- RDINATE ALL:
- AND FDC PIPING, DESIGN AND COORDINATION.
- IN AND CONNECTIONS TO CLEAN OUTS AND ROOF
- VICES AND LIGHTING DETAILS AND COORDINATION.
- Y DETAILS, INCLUDING SUPPORTED SLABS
- AND ALL ITEMS CONNECTED TO IT
- PHALT OR LEVELING COURSE, THE CURBS SHALL BE
- SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF
- C.R.O.W. SHALL BE INSPECTED BY THE AGENCY WITH

Alternative A: Flat Parking Surface with Sidewalk Ramped - Wheel Stops Not Required



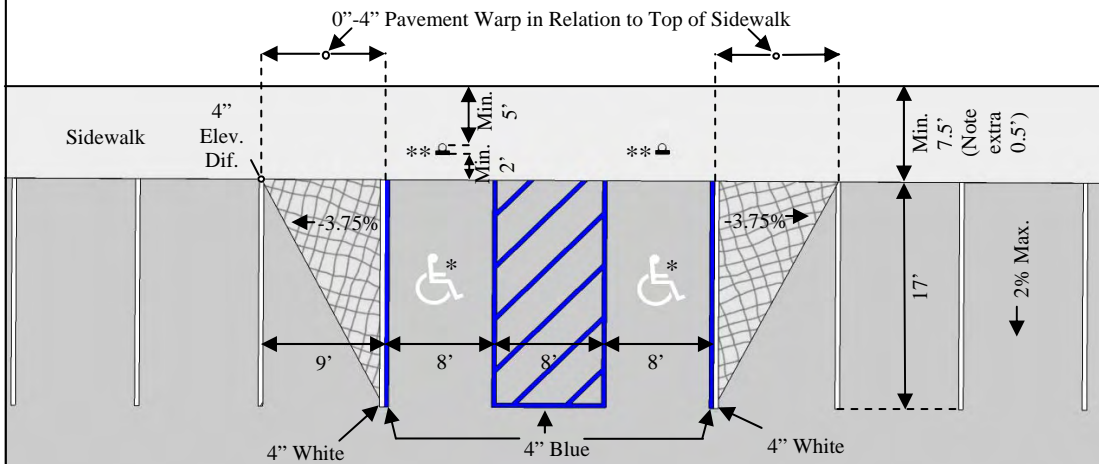
*White, per MMUTCD Fig. 3B-22

Alternative B: Flat Parking Surface with Sidewalk Ramps - Wheel Stops Required



*White, per MMUTCD Fig. 3B-22 ** Parking face 17' from parking aisle

Alternative C: Sloped Parking Surface with Flat Sidewalk



*White, per MMUTCD Fig. 3B-22 ** Standard signs with 6" diameter base pipes (If signs are located behind walk, wheel stops are needed.)

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

July 16, 2014

Landscape Review
Novi Crescent Phase II
JSP 14-33

Petitioner

Versa Development

Review Type

Preliminary Site Plan

Site Location: Novi Road / Fonda Street
Site Zoning: TC Town Center
Adjacent Zoning: North: Freeway ROW; south: TC; west: TC; east Expo.
Site Use(s): Office/ Restaurant / Retail
Site Size: Unreported
Plan Date: June 2, 2014

Recommendation

Approval of the Preliminary Site Plan for Novi Crescent II JSP 14-33 is recommended provided the Applicant receives the necessary Planning Commission waiver(s) or addresses the concerns noted below.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The property is not adjacent to residential property.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' high brick wall is required adjacent to parking along road frontages in the TC District. The Applicant has proposed decorative fencing with brick piers along the Expo Center Drive frontage as would typically be required in the Town Center District. **However, the Engineering review notes that there exists a sanitary sewer easement in the location of the fence. The Applicant would need to receive a waiver to eliminate the decorative fencing. Staff supports the waiver. The Applicant is encouraged to provide enhanced landscape in areas where there is no interference with the easement.**
2. Required 25' Clear Vision Zones are shown at the entry drive as required.
3. A 20' greenbelt is required along right-of-way adjacent to parking. The Applicant has provided the greenbelt.

4. A total of 7 Canopy Trees and 7 Sub-Canopy Trees are required within the site greenbelts. These have been provided.

Street Tree Requirements (Sec. 2509.3.b.)

1. Due to the nature of the zoning district, no Street Trees are required under the Ordinance. However, the Applicant has chosen to include four (4) street trees along Novi Road per staff recommendation.

Parking Landscape (Sec. 2509.3.c.)

1. Twenty nine (29) Interior Parking Lot Canopy Trees are required. This requirement has been met.
2. A total of 2,196 SF of Interior Parking Lot Landscape Area is required. This requirement has been met.
3. One Canopy Tree is required at a minimum 35 LF around the parking area. These have been provided.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A total of 3,824 SF of Building Foundation Landscape is required and 264 SF has been provided. **The Applicant may request a waiver on the decreased Building Foundation Landscape Area. Staff cannot support the waiver. The Applicant should include additional landscape square footage elsewhere on the site to meet the requirements for foundation landscape area. Please provide on the Final Site Plan.**
2. A minimum 4' wide landscape bed is required at all building foundation areas with the exception of access points. Staff recommends that the Applicant include plantings at the base of the retaining wall at the north side of the building to add to the foundation plantings.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and the Landscape Design Manual.

Planting Details and Notes (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and the Landscape Design Manual.

Loading Zone

1. The loading zone must be located to the rear of the building and properly screened from the roadway. Please depict the loading zone area on the Landscape Plan.

Irrigation (Sec. 2509 3.f.(6)(b))

1. Please provide an Irrigation Plan and cost estimate be with subsequent submittals.

General

1. Staff had previously suggested that the Applicant add a fourth decorative street light along the Novi Road frontage. This would mimic the cadence of lights located at Novi Crescent I and would provide a more attractive and cohesive appearance. Staff thanks the Applicant for adding the additional street light.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

Reviewed by: David R. Beschke, RLA

FACADE REVIEW



July 25, 2014

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: FACADE ORDINANCE - Facade Review – Preliminary S.P.
Novi Crescent, SP14-0119
 Façade Region: 1, Zoning District: TC, Building Size: 10,134 S.F.

Dear Ms. McBeth;

The following is the Facade Review for Preliminary and Final Site Plan Approval of the above referenced project based on the drawings prepared by Norr Architects, dated 7/2/14. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

	East (Front)	North	South	West	Ordinance Maximum (Minimum)
Brick	50%	67%	70%	69%	100% (30%)
Limestone	8%	14%	10%	4%	50%
Fabric Awning	13%	11%	12%	17%	10%
EIFS	7%	8%	8%	10%	25%
Spandrel Galss	22%	0%	0%	0%	50%

As shown above the proposed percentage of Fabric Awnings exceed the maximum percentage allowed by the Façade Ordinance. A Section 9 Waiver would be required for this deviation.

Dumpster & Decorative Screen Wall – Details are provided on Sheet SP-04 for the dumpster enclosure and decorative screen wall. The drawings indicate that “brick color to match building” with a cast stone coping will be used on all 4 sides of the screen wall and the exterior three sides of the dumpster enclosure. The screen walls include alternating sections of brick and powder coated aluminum fencing separated by brick piers.

A sample board was not provided for this project. In this case a sample board is not required provided that all colors exactly match those used on the adjacent building. The design of the proposed building appears to be virtually identical to the adjacent building constructed previously by the same applicant. Therefore, we believe it is important that all colors, including the black spandrel glass, exactly match in order to maintain visual consistency and harmonious appearance between the adjacent structures.

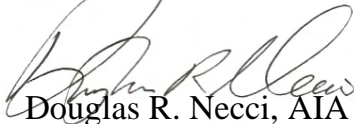
Recommendation – It is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the overage of Fabric Awnings. This recommendation is contingent upon the colors of all materials on the building, screen wall and dumpster enclosure exactly matching those used on the adjacent building.

Notes to the Applicant:

1. Inspections –The City of Novi requires Façade Inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. This should occur immediately after the materials are delivered. Materials must be approved before installation on the building. Please contact the Novi Building Department’s Automated Inspection Hotline at (248) 347-0480 to request the Façade inspection.
2. Roof Appurtenances – The drawings indicate that all roof appurtenances are fully screened using the building parapets. It is the applicant’s responsibility to coordinate parapet and roof equipment heights to maintain full screening.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



May 29, 2014

July 23, 2014

TO: Barbara McBeth- Deputy Director of Community Development
Sara White- Plan Review Center
Sara Roediger- Plan Review Center

CITY COUNCIL

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Mayor Pro Tem
Dave Staudt

Gwen Markham

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Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

RE: Novi Crescent Phase II

PSP# 14-0091
PSP# 14-0119

Project Description: A 12,800 sq. ft. commercial building on the West side of Novi Rd. North of Crescent Blvd.

Comments:

- 1) Additional hydrant is required. Locate hydrant on the center eyebrow in the west parking lot within 100' of the Fire Department Connection.**

Recommendation: Recommended for approval pending correction of above item.

The FDC location is not shown on the plan, the FDC shall be located on the West side of the building within 100' of a hydrant. Spacing shall be measured as "hose laying distance" from fire apparatus.

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



August 4, 2014

City of Novi
45125 W. 10 Mile Road
Novi, MI 48375

Attn: Sara White

GWE# 18192.20

Re: Novi Crescent Phase II
Preliminary Site Plan Review

Dear Ms. White,

The comments from the planning and consultant review dated July 25, 2014 will be addressed as noted:

Planning Review Chart – Responses to each item that doesn't meet requirements in the Planning Review Chart dated 7/3/14 are as follows:

1. Building Setbacks - Applicant will seek variance from the Planning Commission for the front (east) and exterior side (northeast) building setbacks, which are proposed at approximately 20' from the eastern & northeastern property line(s).
2. Parking Setbacks – Applicant will seek variance from the ZBA for the interior side (north) parking setback, which is proposed at approximately 15' from the northern property line and for interior side (south) parking setback, which is proposed at approximately 3' from the southern property line. Applicant will obtain future Expo Center Drive ROW line from the City and add to the plans to confirm exterior rear (west) parking setback measurement of approximately 30' from the ROW line.
3. Loading Zone – Applicant will seek variance from the ZBA for the location and size of the loading zone. Approximately 1,751 SF of loading space has been provided in the exterior rear yard, set 15' from the interior side property line and 50' from the rear yard property line.
4. Bicycle Parking Facilities – Bicycle parking layout and details will be added to Final Site Plan submittal drawings.
5. Dumpster Setback – Applicant will seek variance from the ZBA for the location of the dumpster, which is located in the exterior rear yard and set back 30' from the rear property line.

Engineering Review Letter - Responses to each item in the Engineering Review letter dated 7/25/14 are as follows:

1. Applicant will seek a same side spacing waiver from the Planning Commission for the driveway entrance location.
2. Applicant will apply for and obtain right-of-way permits from the City of Novi and Oakland County before any work occurs within the public right-of-way.
3. Applicant will provide appropriate easement exhibits for all public utilities that are proposed to be built or abandoned as part of this project.
4. Note is on utility plan. (Sheet 7)

5. This water main easement will need to be vacated as part of this project.
6. City of Novi Standard Detail sheets will be provided with Final Stamping Set submittal.
7. All easements will be clearly shown and labeled in the Final Site Plan submittal.
8. Water main easements will extend 10 feet beyond water main structures.
9. The final site shall include two fire hydrants - one hydrant will be relocated and one hydrant will be new.
10. Water main plans and MDEQ permit application will be submitted to the Engineering Department for review.
11. Sanitary sewer easement label will be revised.
12. OCWRC IWC form for non-domestic sites has been submitted to the City.
13. The decorative wall/fence near the entrance drive at the rear (west) of the site and the retaining wall on the north side of the site will be removed as they are within the sanitary sewer easement. Enhanced/additional landscaping will be added at the rear of the site where the decorative fence would have been located. The retaining wall on the NE corner of the site will remain as it's outside of the easement.
14. Catch basin invert elevations will be provided on the Final Site Plan submittal.
15. A 1500 gallon oil/grease separator is being proposed as part of this development, details will be provided with Final Site Plan submittal.
- 16a. Underground detention cross section and storm sewer profile will be provided in Final Site Plan submittal.
- 16b. Soil boring will be provided in the vicinity of the underground detention system.
- 16c. Underground detention manufacturer specifications will be provided in Final Site Plan submittal.
- 16d. Pretreatment structure manufacturer specifications will be provided in Final Site Plan submittal.
17. Pre- and Post-Development runoff rate calculations will be provided in Final Site Plan submittal.
18. Acknowledged. Applicant will pay Storm Water Detention Fees, if required.
19. Overland routing is shown on Stormwater Management Plan.
20. Underdrain location on detention system will be coordinated with City Engineering Department.
21. A soil boring will be provided in the vicinity of the storm water detention system location.
22. See underground detention manufacturer's specifications.
23. Note will be added to plans.
24. The underground detention is a closed system. There will not be any storage in the aggregate.
25. See response to #24 above.
26. Will coordinate with Engineering Department.
27. Manholes will be shown.
28. Will coordinate with Engineering Department.
29. A detention cross section will be provided.
30. The underground detention system will be kept outside all planting areas.
31. Blank (no comment to respond to).

32. Flow arrows will be added to plans. Will coordinate with Engineering Department.
33. Detail grades for ADA spaces and ramps will be provided in Final Site Plan submittal.
34. Sidewalk detail will be clarified and revised.
35. A pathway easement is shown on the plans for the sidewalk not within the public ROW.
36. Any required off-site easements will be executed by the Applicant.
37. Itemized construction cost estimate for all civil site work will be submitted at the time of Final Site Plan submittal.
38. A draft copy of the storm water maintenance agreement will be submitted at the time of the Final Site Plan submittal.
39. A draft copy of the water main easement will be submitted to the Community Development Department.
40. A draft copy of the sanitary sewer easement will be submitted to the Community Development Department.
41. A draft copy of the water main easement to be abandoned will be submitted to the Community Development Department.
42. A draft copy of the pathway easement will be submitted to the Community Development Department.
43. No offsite utility easements are needed for this project.
44. Applicant will contact the Community Development Department to set up a Pre-Construction meeting prior to beginning construction.
45. Acknowledged. Applicant will obtain a City Grading Permit prior to starting construction.
46. Acknowledged. Applicant will obtain a City Soil Erosion Permit prior to starting construction.
47. Acknowledged. Applicant will obtain a City ROW Permit prior to starting construction within the Expo Center Drive right-of-way.
48. Acknowledged. Applicant will obtain a RCOC ROW Permit prior to starting construction within the Novi Road right-of-way.
49. Acknowledged. Applicant will obtain a MDEQ Water Main Permit for water main construction.
50. Acknowledged. Construction Inspection Fees will be paid prior to the Pre-Construction meeting.
51. Acknowledged. Applicant will pay storm water detention fee, if required.
52. Acknowledged. A Storm Water Performance Guarantee will be provided.
53. Acknowledged. A Site Work Performance Guarantee will be provided.
54. Acknowledged. A Street Sign Financial Guarantee will be posted with the Treasurer's Office.
55. Acknowledged. A permit will be obtained from the Community Development Department for the construction of any retaining wall(s).

Traffic Review Letter - Responses to each item in the Traffic Review letter dated 7/11/14 are as follows:

1. No response required.
2. Applicant will request a Planning Commission waiver for a Traffic Study.
3. Applicant will request a same-side spacing waiver from the Planning Commission.

4. No response required.
5. No response required.
6. ADA pedestrian ramp on south side of driveway will be noted and shown on the plans.
7. The maximum size of on-site delivery truck will be shown on Final Site Plan submittal along with fire truck route.
8. The cross access driveway was revised with the Preliminary Site Plan submittal to be a straight access and therefore should improve internal circulation by large trucks.
9. A detail for bollards will be shown on the Final Site Plan submittal.
10. Labels have been revised to more accurately depict the curb transition.
11. Elevations have been revised on Sheet 6.
12. Hatching pavement markings will be shown to scale on Final Site Plan submittal.
13. Loading Zone sign locations have been revised.
- 14a. Reverse Curb Detail will be revised.
- 14b. Integral Curb and Sidewalk Detail will be revised.
- 14c. Sign Detail will be revised.

Landscape Review Letter – Responses to each bolded item in the Landscape Review letter dated 7/16/14 are as follows:

1. **Wall/Buffer Adjacent to Public Rights-of-Way** – Applicant will request a waiver to eliminate the decorative fencing along Expo Center Drive as no structure can be built on top of a sanitary sewer easement. Enhanced landscaping will be added in this area.
2. **Building Foundation Landscape** – The plan currently shows 884 SF of building foundation landscape. 3,824 SF of building landscaping is required. An additional 2,938 SF of landscaping will be added to the base of the retaining wall in the Final Site Plan submittal.
3. **Loading Zone** – the loading zone is depicted on the Landscape Plan.
4. **Irrigation Plan** – an irrigation plan & cost estimate will be provided with the Final Site Plan submittal.

Building Façade Review Letter – Responses to the Façade Review letter dated 7/25/14 are as follows:

1. Applicant will seek a Section 9 Waiver for the overage of area of fabric awning.
2. Applicant clarifies that all building materials and colors will match what was constructed in Phase I of the development.
3. Applicant's contractor will contact the Building Department for inspection of building materials prior to construction the building.
4. Applicant acknowledges that it is their responsibility to coordinate parapet and roof equipment heights to maintain full screening of roof appurtenances.

Fire Marshal Review Memo – Responses to the Fire Marshal Review letter dated 7/23/14 are as follows:

1. Additional hydrant will added and location will be coordinated with Fire Marshal.
2. FDC location will be depicted on Final Site Plan and location will be coordinated with Fire Marshal.

Please feel free to contact me if you have any questions. If these plans meet your approval, please advise of any additional required information for your records.

Respectfully,
GIFFELS-WEBSTER



Nancy Todd, PE
Senior Engineer

cc: Ryan Schultz, Versa (by email)
Nikki Jeffries, Versa (by email)
Brian Colburn, NORR (by email)
Jim Allen, Allen Design (by email)