



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

MEETING DATE: October 8, 2024

REGARDING: Parcel # 50-22-15-476-061 (PZ24-0050)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Community Financial Credit Union

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned Town Center (TC)

Location: north of Grand River Avenue, west of Novi Road

Parcel #: 50-22-15-476-061

Request

The applicant is requesting a variance from the City of Novi Zoning Ordinance Section 5.2.12.D to reduce the number of parking stalls for this business to 17 (20 required, variance of 3).

II. STAFF COMMENTS:

The applicant, Community Financial Credit Union, is seeking a variance for a reduction of required parking spaces. There are wetlands on the site and the traffic consultant did not present any issues regarding this reduction.

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ24-0050**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

(a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.

(b) The property is unique because _____.

(c) Petitioner did not create the condition because _____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____.

(e) The relief is consistent with the spirit and intent of the ordinance because _____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ24-0050**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi

RECEIVED

AUG 29 2024

**CITY OF NOVI
COMMUNITY DEVELOPMENT**



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**ZONING BOARD OF APPEALS
APPLICATION**

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: \$330.00	
PROJECT NAME / SUBDIVISION Community Financial Credit Union				Meeting Date: 10-8-24	
ADDRESS n/a		LOT/SIUTE/SPACE #		ZBA Case #: PZ 24-0050	
SIDWELL # 50-22-15 476 061		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY Grand River Avenue and Crescent Boulevard					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS dlapp@level5.com		CELL PHONE NO. 313-949-9542	
NAME David Lapp		TELEPHONE NO.			
ORGANIZATION/COMPANY Level5 LLC		FAX NO.			
ADDRESS 2018 Powers Ferry Road SE Ste 750		CITY Atlanta		STATE GA	ZIP CODE 30339
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS tansley@cfcu.org		CELL PHONE NO. 203-859-2666	
NAME Tansely Stearns		TELEPHONE NO. 877-937-2328			
ORGANIZATION/COMPANY Community Financial Credit Union		FAX NO.			
ADDRESS 500 S Harvey Street		CITY Plymouth		STATE MI	ZIP CODE 48170
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input checked="" type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section	5.2.12.D	_____	Variance requested	17 Proposed parking stalls (20 required, variance of 3)	
2. Section	_____	_____	Variance requested	_____	
3. Section	_____	_____	Variance requested	_____	
4. Section	_____	_____	Variance requested	_____	
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 		<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 			



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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

The total property width is 221.53' with approximately 100' of the property width being occupied by the Walled Lake Branch of the Middle Rouge River and the natural features setback. Additionally the greenbelt is required to be 20' along Crescent Boulevard. This leaves approximately 100 feet to fit a building and drive aisles facilitating circulation for emergency services. The proposed number of parking stalls is the max that can fit on the site and provide the above requirements.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

Location of the Walled Lake Branch of the Middle Rouge River through the property. Please see the above response for additional information.

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

N/a

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The size property coupled with the location of the river through the property is an existing condition and is not self-created.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The zoning ordinance is based on historical data that applies a trend to assure sufficient parking is provided for a development. In this case the credit union will employ upwards of 5 full time employees, leaving 12 parking stalls for customers. The majority of services are provided through the ITMs with relatively few customers actually parking and going inside the building. The developer does not have any concerns about the number of parking stalls provided for this particular project based on actual expected number of customers inside at a single time.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The maximum number of parking stalls for this project is proposed, making the requested variance the minimum necessary.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

The reduced number of parking stalls is not expected to cause any traffic backups that would negatively impact the surrounding properties. Though its not expected to happen, should all the parking stalls be full we would expect customers would circle the site, use the ITM or return at another time. There isn't parking close enough at other nearby businesses that there would be a concern for overflow parking to consider parking at another business and walk over.

City of Novi, Oakland County, Michigan PRELIMINARY SITE PLAN PACKAGE Prepared For Level 5

Owner

LEVEL 5
2018 POWERS FERRY ROAD SE, SUITE 750
ATLANTA, GA 30339
CONTACT:
MR. DAVID LAPP
PHONE: (313) 949-9542
EMAIL: DLAPP@LEVEL5.COM

Architect

NOVUS ARCHITECTS, INC.
656 KING STREET
CHARLESTON, SOUTH CAROLINA 29403
CONTACT:
MR. TRIPP MASSENGILL
PHONE: (843) 849-7407
EMAIL: TRIPP.MASSENGILL@NOVUSARCHITECTS.COM

Civil Engineer

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVENUE
PONTIAC, MICHIGAN 48342
CONTACT:
MR. TIMOTHY D. WOOD, P.E.
PHONE: (248) 332-7931
EMAIL: TWOOD@NFE-ENGR.COM

Landscape Architect

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVENUE
PONTIAC, MICHIGAN 48342
CONTACT:
MR. GEORGE OSTROWSKI
PHONE: (248) 332-7931
EMAIL: GOSTROWSI@NFE-ENGR.COM

SHEET INDEX

C0	Cover Sheet
C1	Boundary, Topographic, and Tree Survey
C2	Preliminary Dimensional Site Plan
C3	Preliminary Grading Plan
C4	Preliminary Sanitary and Water Main
C5	Preliminary Storm Water Management Plan
C6	Soil Erosion and Sedimentation Control Plan
C7	Fire Protection Plan
C8	Truck Maneuvering and Open Space Plan
C9	Geotechnical Report
C10	Notes and Details
C11	Notes and Details

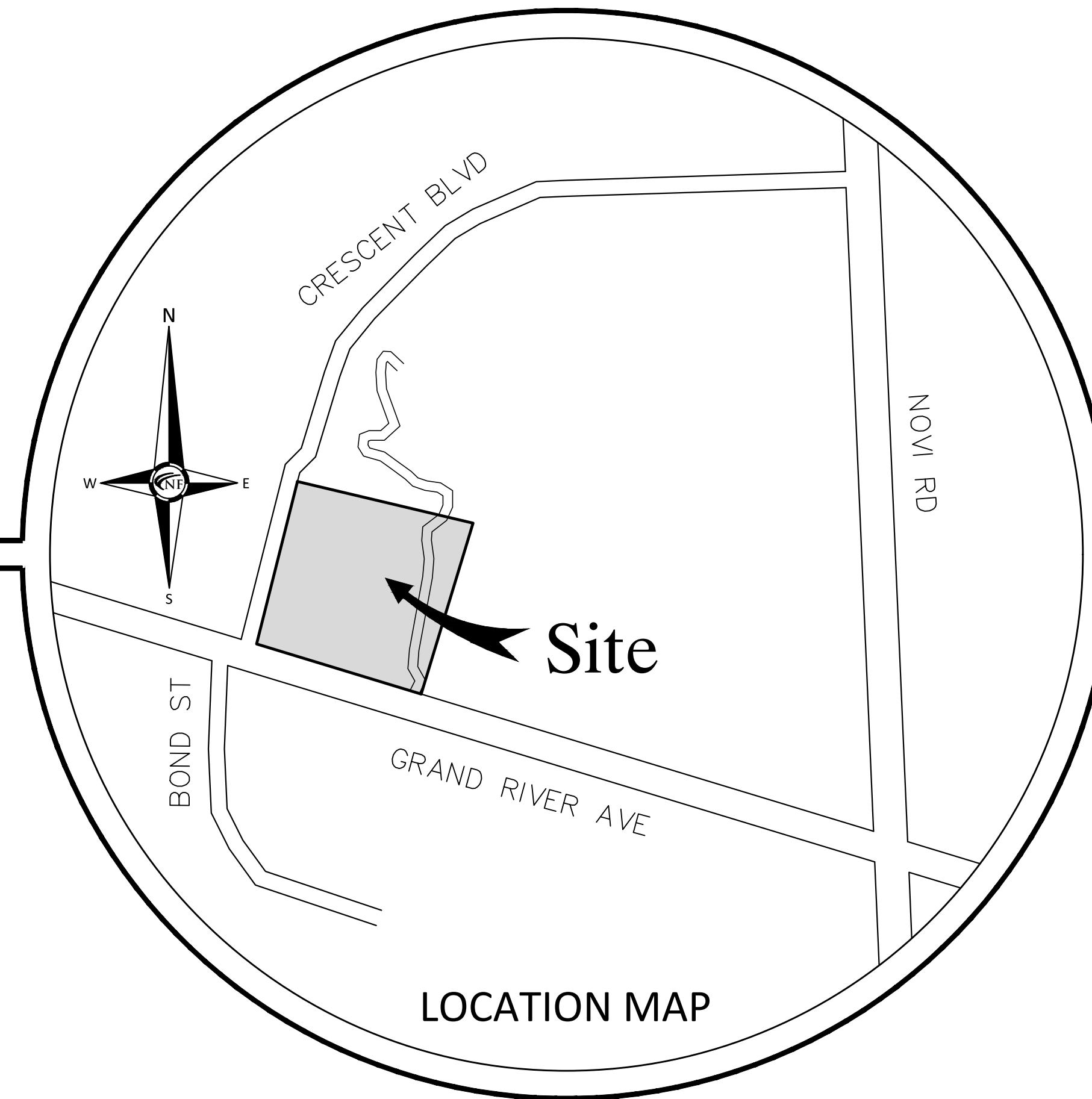
L1	Tree Preservation Plan
L2	Landscape Plan
L3	Landscape Notes and Details
IR1	Irrigation Plan

E101	Photometric Plan
E102	Light Fixture Specification Sheet

Facade Materials Board

Standard Details

1 of 2	City of Novi Paving Standard Details
2 of 2	City of Novi Paving Standard Details
1 of 3	City of Novi Sanitary Sewer Standard Details
2 of 3	City of Novi Sanitary Sewer Standard Details
3 of 3	City of Novi Sanitary Sewer Standard Details
1 of 2	City of Novi Storm Sewer Standard Details
2 of 2	City of Novi Storm Sewer Standard Details
1 of 5	City of Novi Water Main Standard Details
2 of 5	City of Novi Water Main Standard Details
3 of 5	City of Novi Water Main Standard Details
4 of 5	City of Novi Water Main Standard Details
5 of 5	City of Novi Water Main Standard Details
1 of 1	OCWRC Soil Erosion and Sedimentation Control Details



LEGAL DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI.

PART OF LOT 6, SUPERVISOR'S PLAT NO. 4, AS RECORDED IN LIBER 54A, PAGE 83 OF PLATS, OAKLAND COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 6; THENCE SOUTH 71 DEG. 19' 00" EAST 221.53 FEET; THENCE NORTH 18 DEG. 27' 00" EAST 294.49 FEET; THENCE NORTH 76 DEG. 40' 30" WEST ALONG THE NORTH LOT LINE TO THE NORTHWEST LOT CORNER; THENCE SOUTH 05 DEG. 57' 00" WEST 274.90 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT, SOUTHEAST QUARTER OF SECTION 15, T1N, R8E, BEGINNING AT A POINT ON THE WEST LINE OF LOT 6, LOCATED DISTANT N05°57'00"E 123.62 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 6; THENCE CONTINUING N05°57'00"E 151.28 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE S76°40'30"E, ALONG THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 33.09 FEET; THENCE S18°31'54"W 150.65 FEET TO THE POINT OF BEGINNING, AS RECORDED IN LIBER 18891, PAGE 665.

FOR INFORMATIONAL PURPOSES ONLY:

TAX PARCEL IDENTIFICATION NUMBER: 50-22-15-476-031 (PART OF)

REVISIONS:

2024-04-15 - ISSUED FOR PSP REVIEW
2024-07-02 - REVISED PER PSP REVIEW

Project Name

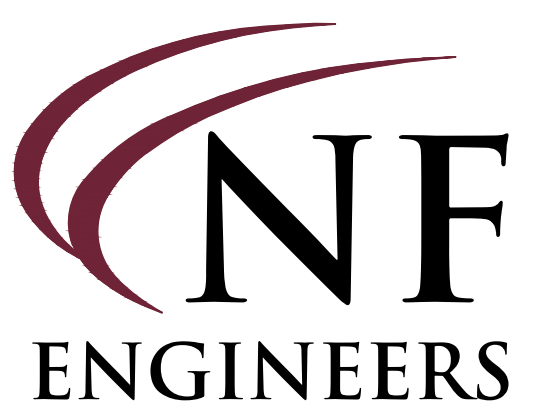
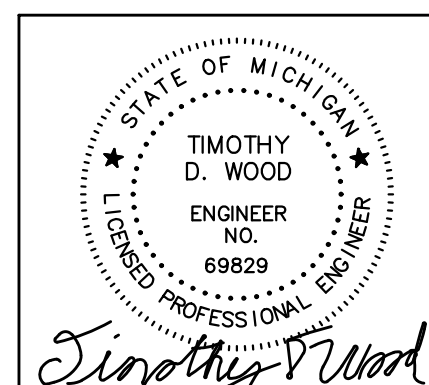
Community Financial Credit Union



CITY OF NOVI NUMBER: JSP24-0008

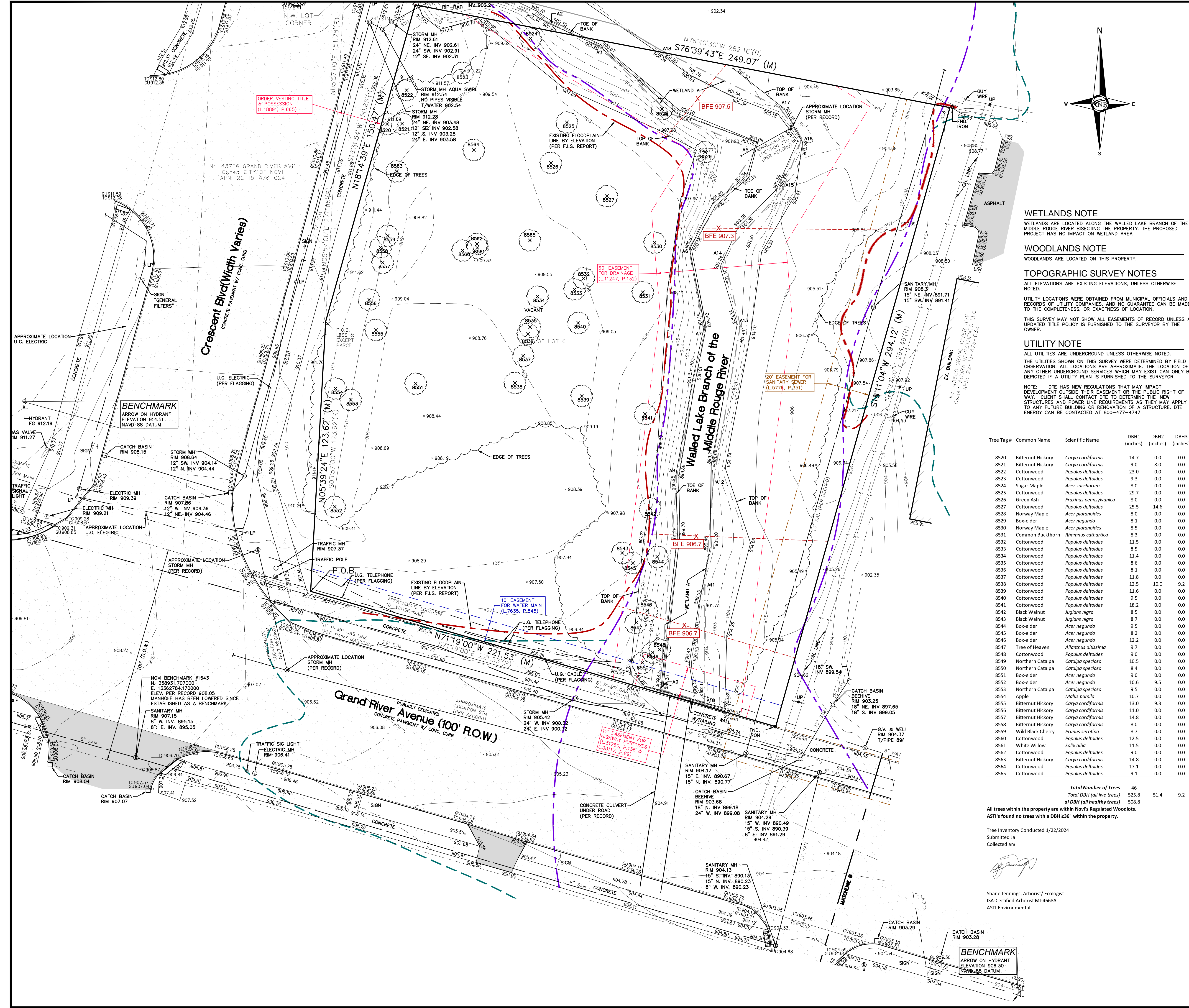
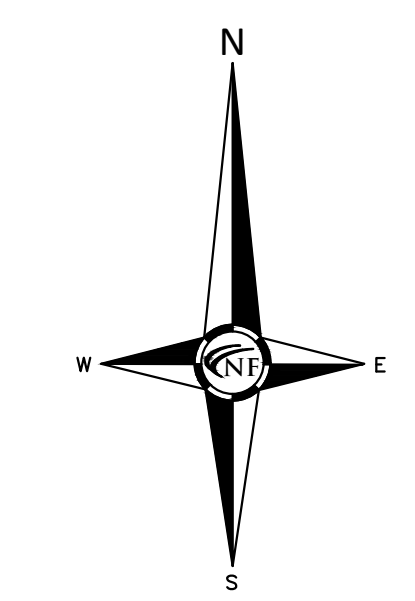
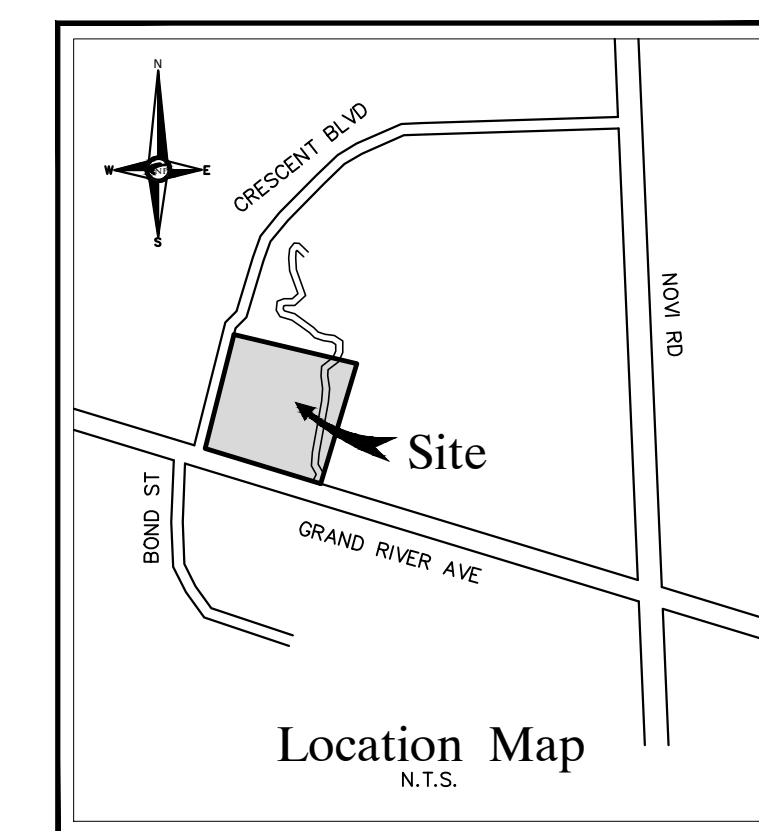


N & F JOB #N877



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL: (248) 332-7931
FAX: (248) 332-8257
WWW.NFE-ENGR.COM



WETLANDS NOTE
WETLANDS ARE LOCATED ALONG THE WALLED LAKE BRANCH OF THE MIDDLE ROUGE RIVER BISECTING THE PROPERTY. THE PROPOSED PROJECT HAS NO IMPACT ON WETLAND AREA.

WOODLANDS NOTE
WOODLANDS ARE LOCATED ON THIS PROPERTY.

TOPOGRAPHIC SURVEY NOTES
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

UTILITY NOTE
ALL UTILITIES ARE UNDERGROUND UNLESS OTHERWISE NOTED.
THE UTILITIES SHOWN ON THIS SURVEY WERE DETERMINED BY FIELD OBSERVATION. ALL LOCATIONS ARE APPROXIMATE. THE LOCATION OF ANY OTHER UNDERGROUND SERVICES WHICH MAY EXIST CAN ONLY BE DETERMINED BY A UTILITY FINDER IS FURNISHED TO THE SURVEYOR.
NOTE: DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE NEW STRUCTURES AND POWER LINE REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747.

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ACCESS NOTE
THE SUBJECT LAND MAY HAVE VEHICLE AND PEDESTRIAN ACCESS TO GRAND RIVER AVENUE A PUBLICLY DEDICATED RIGHT OF WAY, SUBJECT TO MUNICIPAL APPROVAL. THE SUBJECT LAND MAY HAVE VEHICLE AND PEDESTRIAN ACCESS TO CRESCENT BOULEVARD WHICH IS WITHIN CITY OF NOVI PROPERTY, SUBJECT TO MUNICIPAL APPROVAL.

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SITE DATA
GROSS LAND AREA: 68,531 SQUARE FEET OR 1.573 ACRES.
ZONED: TC (TOWN CENTER)
BUILDING SETBACKS:
FRONT = 15'
SIDES = 10'
REAR = 10'
MAX. BUILDING HEIGHT PERMITTED: 5 STORIES/65'
TOTAL STRIPED PARKING: 0 STRIPED SPACES INCLUDING 0 BARRIER FREE (HANDICAP) SPACES.

FLOOD HAZARD NOTE
THE PROPERTY DESCRIBED ON THIS SURVEY DOES NOT LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN ZONE X OF THE CURRENT AVAILABLE FLOOD INSURANCE RATE MAP IDENTIFIED AS MAP NO. X BEARING AN EFFECTIVE DATE OF X.

CEMETERY NOTE
THERE WAS NO OBSERVABLE EVIDENCE OF CEMETERIES OR BURIAL GROUNDS WITHIN THE SUBJECT PROPERTY.

Tree Tag #	Common Name	Scientific Name	DBH1 (inches)	DBH2 (inches)	DBH3 (inches)
8520	Bitternut Hickory	<i>Carya cordiformis</i>	14.7	0.0	0.0
8521	Bitternut Hickory	<i>Carya cordiformis</i>	9.0	8.0	0.0
8522	Cottonwood	<i>Populus deltoides</i>	23.0	0.0	0.0
8523	Cottonwood	<i>Populus deltoides</i>	9.3	0.0	0.0
8524	Sugar Maple	<i>Acer saccharum</i>	8.0	0.0	0.0
8525	Cottonwood	<i>Populus deltoides</i>	29.7	0.0	0.0
8526	Green Ash	<i>Fraxinus pennsylvanica</i>	8.0	0.0	0.0
8527	Cottonwood	<i>Populus deltoides</i>	25.5	14.6	0.0
8528	Norway Maple	<i>Acer platanoides</i>	8.0	0.0	0.0
8529	Box-elder	<i>Acer negundo</i>	8.1	0.0	0.0
8530	Norway Maple	<i>Acer platanoides</i>	8.5	0.0	0.0
8531	Common Buckthorn	<i>Rhamnus cathartica</i>	8.3	0.0	0.0
8532	Cottonwood	<i>Populus deltoides</i>	11.5	0.0	0.0
8533	Cottonwood	<i>Populus deltoides</i>	8.5	0.0	0.0
8534	Cottonwood	<i>Populus deltoides</i>	11.4	0.0	0.0
8535	Cottonwood	<i>Populus deltoides</i>	8.6	0.0	0.0
8536	Cottonwood	<i>Populus deltoides</i>	8.1	0.0	0.0
8537	Cottonwood	<i>Populus deltoides</i>	11.8	0.0	0.0
8538	Cottonwood	<i>Populus deltoides</i>	12.5	10.0	9.2
8539	Cottonwood	<i>Populus deltoides</i>	11.6	0.0	0.0
8540	Cottonwood	<i>Populus deltoides</i>	9.5	0.0	0.0
8541	Cottonwood	<i>Populus deltoides</i>	18.2	0.0	0.0
8542	Black Walnut	<i>Juglans nigra</i>	8.5	0.0	0.0
8543	Black Walnut	<i>Juglans nigra</i>	8.7	0.0	0.0
8544	Box-elder	<i>Acer negundo</i>	9.5	0.0	0.0
8545	Box-elder	<i>Acer negundo</i>	8.2	0.0	0.0
8546	Box-elder	<i>Acer negundo</i>	12.2	0.0	0.0
8547	Tree of Heaven	<i>Ailanthus altissima</i>	9.7	0.0	0.0
8548	Cottonwood	<i>Populus deltoides</i>	9.0	0.0	0.0
8549	Northern Catalpa	<i>Catalpa speciosa</i>	10.5	0.0	0.0
8550	Northern Catalpa	<i>Catalpa speciosa</i>	8.4	0.0	0.0
8551	Box-elder	<i>Acer negundo</i>	9.0	0.0	0.0
8552	Box-elder	<i>Acer negundo</i>	10.6	9.5	0.0
8553	Northern Catalpa	<i>Catalpa speciosa</i>	9.5	0.0	0.0
8554	Apple	<i>Malus pumila</i>	10.7	0.0	0.0
8555	Bitternut Hickory	<i>Carya cordiformis</i>	13.0	9.3	0.0
8556	Bitternut Hickory	<i>Carya cordiformis</i>	11.0	0.0	0.0
8557	Bitternut Hickory	<i>Carya cordiformis</i>	14.8	0.0	0.0
8558	Bitternut Hickory	<i>Carya cordiformis</i>	8.0	0.0	0.0
8559	Wild Black Cherry	<i>Prunus serotina</i>	8.7	0.0	0.0
8560	Cottonwood	<i>Populus deltoides</i>	12.5	0.0	0.0
8561	White Willow	<i>Salix alba</i>	11.5	0.0	0.0
8562	Cottonwood	<i>Populus deltoides</i>	9.0	0.0	0.0
8563	Bitternut Hickory	<i>Carya cordiformis</i>	14.8	0.0	0.0
8564	Cottonwood	<i>Populus deltoides</i>	17.1	0.0	0.0
8565	Cottonwood	<i>Populus deltoides</i>	9.1	0.0	0.0

Total Number of Trees: 46
Total DBH (all live trees): 525.8
DBH (all healthy trees): 508.8

All trees within the property are within Novi's Regulated Woodlands.
ASTI's found no trees with a DBH >36" within the property.

Tree Inventory Conducted 1/22/2024
Submitted Jan
Collected Jan

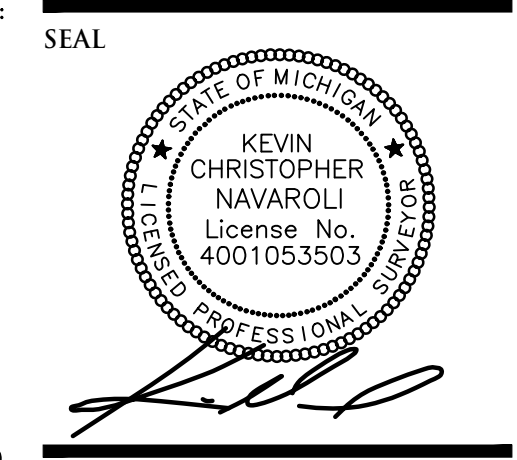
Shane Jennings, Arborist/ Ecologist
ISA-Certified Arborist MI-4668A
ASTI Environmental

FLOOD PLAIN LEGEND

- DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAP NO. 26125C068F EFFECTIVE: SEPTEMBER 29, 2006 REVISED TO REFLECT LOAR 22-05-0343P EFFECTIVE: MARCH 10, 2023
- DENOTES EXISTING FLOODPLAIN LINE PER FIRM MAP NO. 26125C068F EFFECTIVE: SEPTEMBER 29, 2006 REVISED TO REFLECT LOAR 22-05-0343P EFFECTIVE: MARCH 10, 2023
- DENOTES EXISTING FLOODPLAIN LINE BY ELEVATION (VARIES PER FIS) PER FIRM MAP NO. 26125C068F EFFECTIVE: SEPTEMBER 29, 2006 REVISED TO REFLECT LOAR 22-05-0343P EFFECTIVE: MARCH 10, 2023
- DENOTES SFHA - FLOODPLAIN BFE VARIES PER FIS PER FIRM MAP NO. 26125C068F EFFECTIVE: SEPTEMBER 29, 2006 REVISED TO REFLECT LOAR 22-05-0343P EFFECTIVE: MARCH 10, 2023
- DENOTES SFHA - FLOODWAY BFE VARIES PER FIS PER FIRM MAP NO. 26125C068F EFFECTIVE: SEPTEMBER 29, 2006 REVISED TO REFLECT LOAR 22-05-0343P EFFECTIVE: MARCH 10, 2023
- DENOTES EXISTING FLOODPLAIN BY ELEVATION (VARIES PER FIS) PER FIRM MAP NO. 26125C068F EFFECTIVE: SEPTEMBER 29, 2006 REVISED TO REFLECT LOAR 22-05-0343P EFFECTIVE: MARCH 10, 2023

LEGEND

- MANHOLE
- HYDRANT
- MANHOLE
- UTILITY POLE
- GUY WIRE
- EXISTING SANITARY SEWER
- EXISTING SAN. CLEAN OUT
- EXISTING WATER MAIN
- EXISTING STORM SEWER
- EX. R.Y. CATCH BASIN
- EXISTING BURRED CABLES
- OVERHEAD LINES
- LIGHT POLE
- SIGN
- EXISTING GAS MAIN



PROJECT
Community Financial
Credit Union

CLIENT
Level 5
2018 Powers Ferry Rd. SE.
Suite 750
Atlanta, GA 30339
Contact:
David Lapp
Phone: (313) 949-9542
Email: dlapp@level5.com

PROJECT LOCATION
Part of the NE. 1/4 of
Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

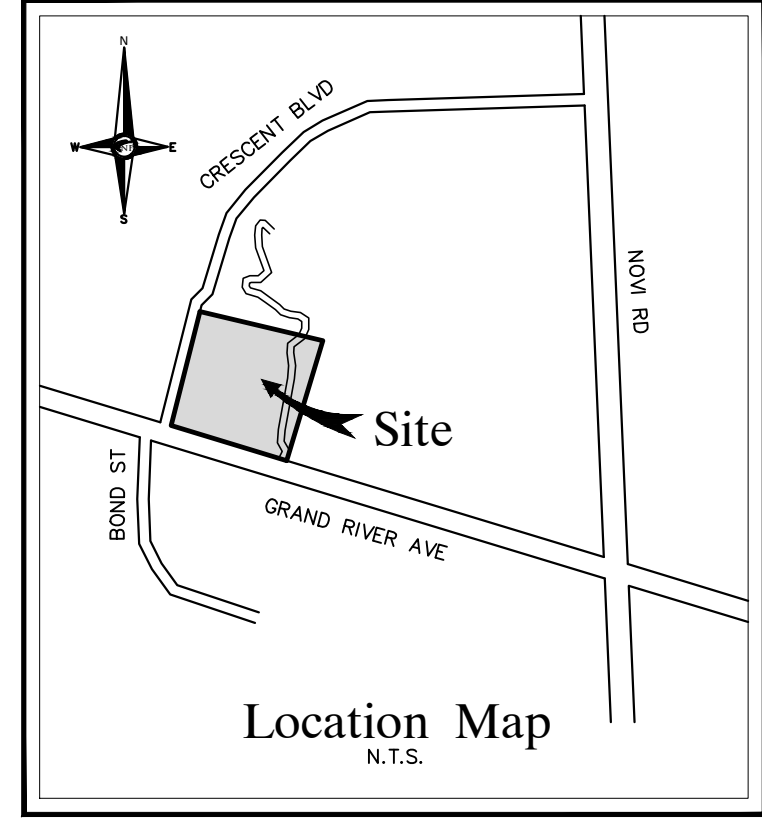
SHEET
Boundary, Topographic,
and Tree Survey



DATE ISSUED/REVISED

2024-04-15	ISSUED FOR PSP REVIEW
2024-07-02	REVISED PER PSP REVIEW

DRAWN BY:
D. McConkey
DESIGNED BY:
K. Navaroli
APPROVED BY:
K. Navaroli
DATE:
March 26, 2024
SCALE: 1" = 20'
20 10 0 10 20 30
NFE JOB NO. SHEET NO.
N877 C1



LIGHTING NOTE
 ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
 FLASHING LIGHT SHALL NOT BE PERMITTED.
 ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

GARBAGE COLLECTION NOTE
 PROPERTY OWNER SHALL ENSURE THAT GARBAGE COLLECTION DOES NOT INTERFERE WITH DRIVE-THROUGH HOURS.

MAXIMUM SHIFT SIZE
 THE MAXIMUM NUMBER OF EMPLOYEES ON ONE SHIFT IS 5.

TRANSFORMER NOTE
 PROPOSED TRANSFORMER LOCATION(S) ARE TO BE DETERMINED. ALL SETBACKS AND SCREENING STANDARDS.

SITE INFORMATION
 EXISTING ZONING: TC TOWN CENTER
 SITE AREA: 68,531 SF OR 1.57 ACRES
 PROPERTY AREA: 68,531 SF OR 1.57 ACRES
 SITE ADDRESS: N/A

MIN. YARD SETBACKS:	REQUIRED	PROPOSED
FRONT (WEST)	50'	60.0 FT.
FRONT (SOUTH)	50'	67.4 FT.
SIDE (EAST)	10'	125.0 FT.
SIDE (NORTH)	10'	127.9 FT.

MIN. PARKING SETBACKS:	REQUIRED	PROPOSED
FRONT (WEST)	20'	20.0 FT.
FRONT (SOUTH)	20'	20.0 FT.
SIDE (EAST)	20'	99.9 FT.
SIDE (NORTH)	20'	46.1 FT.

VEHICLE PARKING:
 REQUIRED: BANKS ONE FOR EACH ONE HUNDRED FIFTY (150) SQUARE FEET OF GROSS FLOOR AREA
 3,000 / 150 GSF = 20

REQUIRED: 20 SPACES (INCLUDING 1 VAN ACCESSIBLE SPACES)
 PROVIDED: 17 TOTAL (INCLUDING 1 VAN ACCESSIBLE SPACES) REQUESTING WAIVER FOR 3 PARKING STALLS

BICYCLE PARKING:
 REQUIRED: BANKS 5% OF PARKING SPACES OR 2 MIN
 PROVIDED: 2 SPACES

PROJECT SITE COVERAGE:
 TOTAL SITE AREA: 68,531 SF
 FLOOD PLAIN AND NATURAL FEATURE AREAS: 33,181 SF
 SITE AREA EXCLUDING FLOOD PLAIN AND NATURAL FEATURE AREAS: 35,350 SF

SURFACE:	AREA (SF)	% LOT COVERAGE
BUILDING:	3,000 SF	8.49%
PAVEMENT:	19,330 SF	54.68%
LANDSCAPING/OPEN SPACE:	13,020 SF	38.83%
TOTAL:	35,350 SF	100.00%

ADJACENT LAND ZONING AND USE

ADJACENT LAND ZONING	APN	USE
NORTH/WEST	22-15-476-054	GENERAL FILTERS
EAST	22-15-476-032	ONE SALON
SOUTH	22-15-477-011	

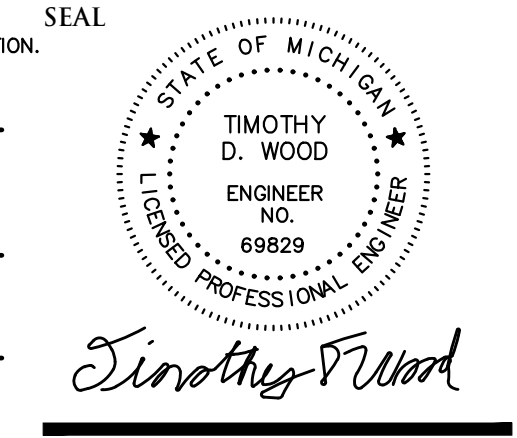
PROPERTY FRONTAGE NOTE
 WEST GRAND RIVER ROAD PROPERTY FRONTAGE IS 221.53 FEET.
 CRESCENT BOULEVARD PROPERTY FRONTAGE IS 274.09 FEET.

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE



PROJECT
 Community Financial Credit Union

CLIENT
 Level 5
 2018 Powers Ferry Rd. SE.
 Suite 750
 Atlanta, GA 30339
 Contact:
 David Lapp
 Phone: (313) 949-9542
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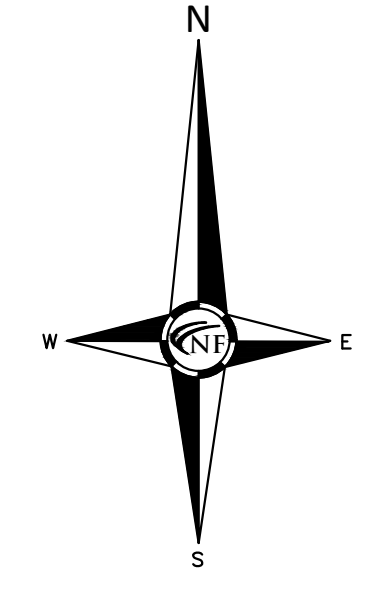
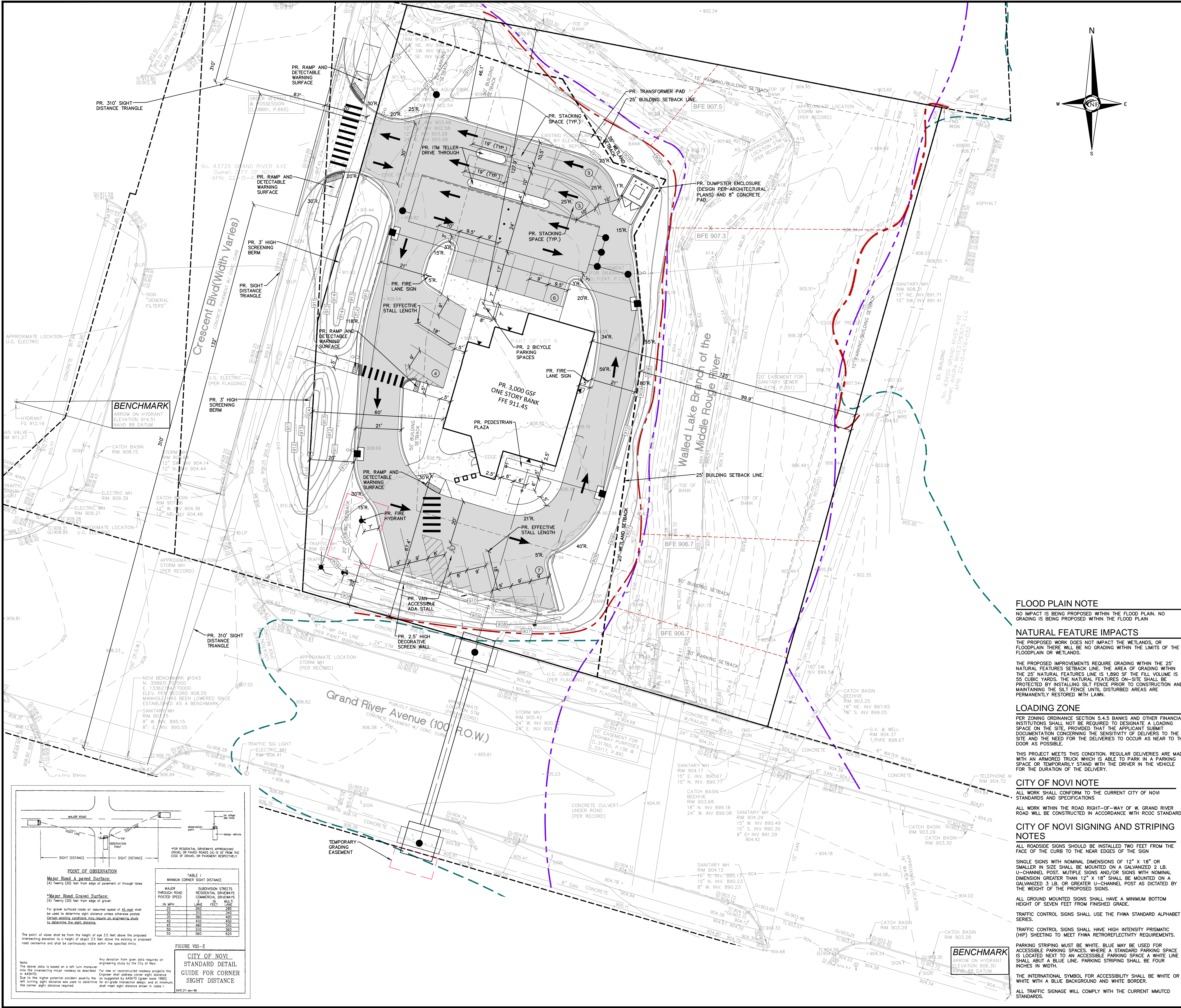
PROJECT LOCATION
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 T. 1N., R. 8E.
 City of Novi, Oakland County, MI

SHEET
 Preliminary Dimensional Site Plan



DATE ISSUED/REVISED
 2024-04-15 - ISSUED FOR PSP REVIEW
 2024-07-02 - REVISED PER PSP REVIEW

DRAWN BY:
 B. Girbach
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 J. Longhurst
 DATE:
 March 26, 2024
 SCALE: 1" = 20'
 NFE JOB NO. SHEET NO.
 N877 C2



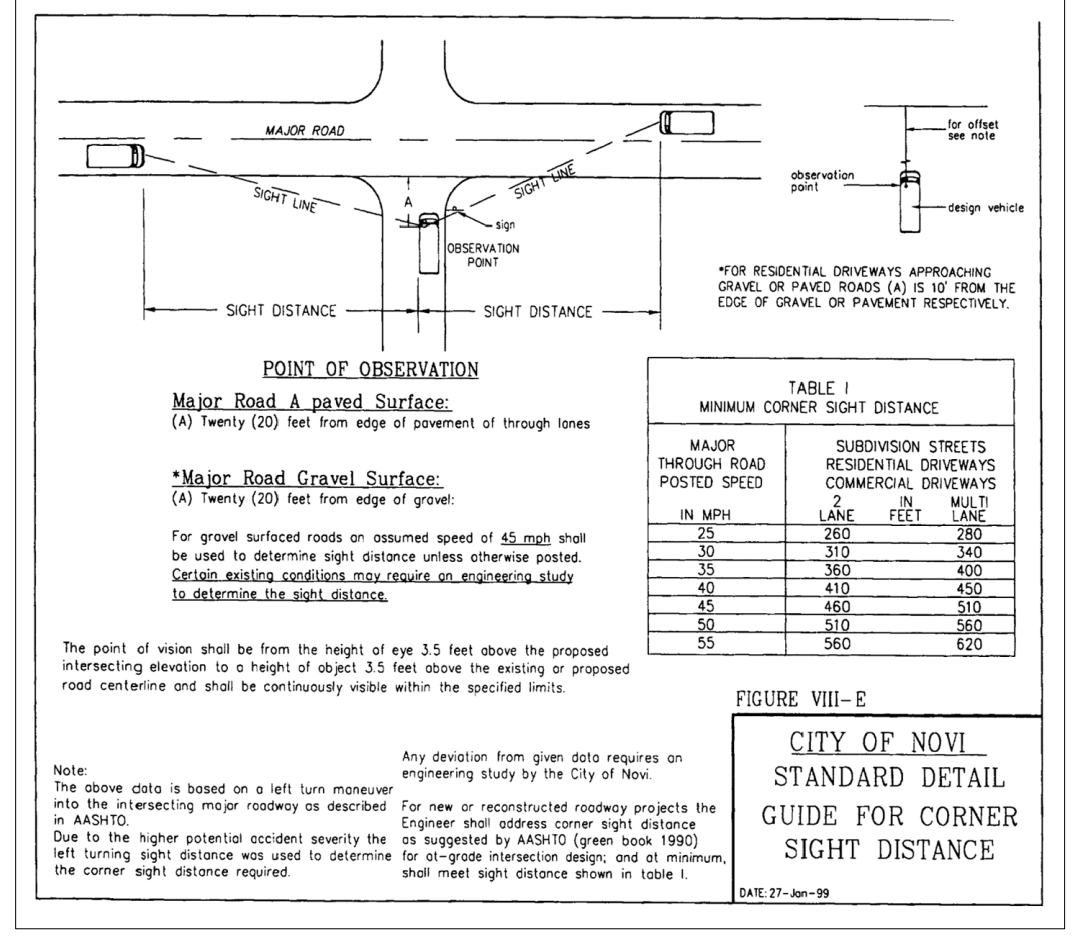
FLOOD PLAIN NOTE
 NO IMPACT IS BEING PROPOSED WITHIN THE FLOOD PLAIN. NO GRADING IS BEING PROPOSED WITHIN THE FLOOD PLAIN.

NATURAL FEATURE IMPACTS
 THE PROPOSED WORK DOES NOT IMPACT THE WETLANDS, OR FLOODPLAIN THERE WILL BE NO GRADING WITHIN THE LIMITS OF THE FLOODPLAIN OR WETLANDS.

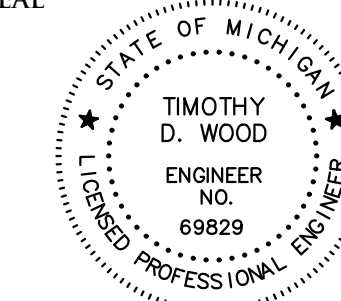
LOADING ZONE
 PER ZONING ORDINANCE SECTION 5.4.5 BANKS AND OTHER FINANCIAL INSTITUTIONS SHALL NOT BE REQUIRED TO DESIGNATE A LOADING SPACE ON THE SITE, PROVIDED THAT THE APPLICANT SUBMIT DOCUMENTATION CONCERNING THE SENSITIVITY OF DELIVERIES TO THE SITE AND THE NEED FOR THE DELIVERIES TO OCCUR AS NEAR TO THE DOOR AS POSSIBLE.

CITY OF NOVI NOTE
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 ALL WORK WITHIN THE ROAD RIGHT-OF-WAY OF W. GRAND RIVER ROAD WILL BE CONSTRUCTED IN ACCORDANCE WITH ROC STANDARDS.

CITY OF NOVI SIGNING AND STRIPING NOTES
 ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN.
 SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHEMEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12" X 18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHEMEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
 ALL GROUND MOUNTED SIGNS SHALL HAVE A MINIMUM BOTTOM HEIGHT OF SEVEN FEET FROM FINISHED GRADE.
 TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
 TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.
 PARKING STRIPING MUST BE WHITE. BLUE MAY BE USED FOR ACCESSIBLE PARKING SPACES, WHERE A STANDARD PARKING SPACE IS LOCATED NEXT TO AN ACCESSIBLE PARKING SPACE A WHITE LINE SHALL ABUT A BLUE LINE. PARKING STRIPING SHALL BE FOUR INCHES IN WIDTH.
 THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH A BLUE BACKGROUND AND WHITE BORDER.
 ALL TRAFFIC SIGNAGE WILL COMPLY WITH THE CURRENT MUTCD STANDARDS.



SEAL



Timothy Wood

PROJECT
Community Financial
Credit Union

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Email: dlapp@level5.com

PROJECT LOCATION
Part of the NE. 1/4 of
Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

SHEET
Preliminary Grading Plan



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DRAWN BY:
B. Girbach

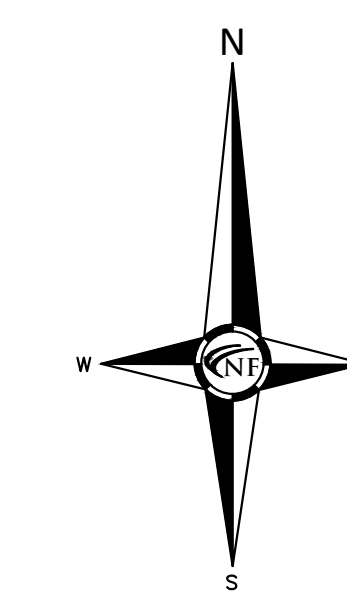
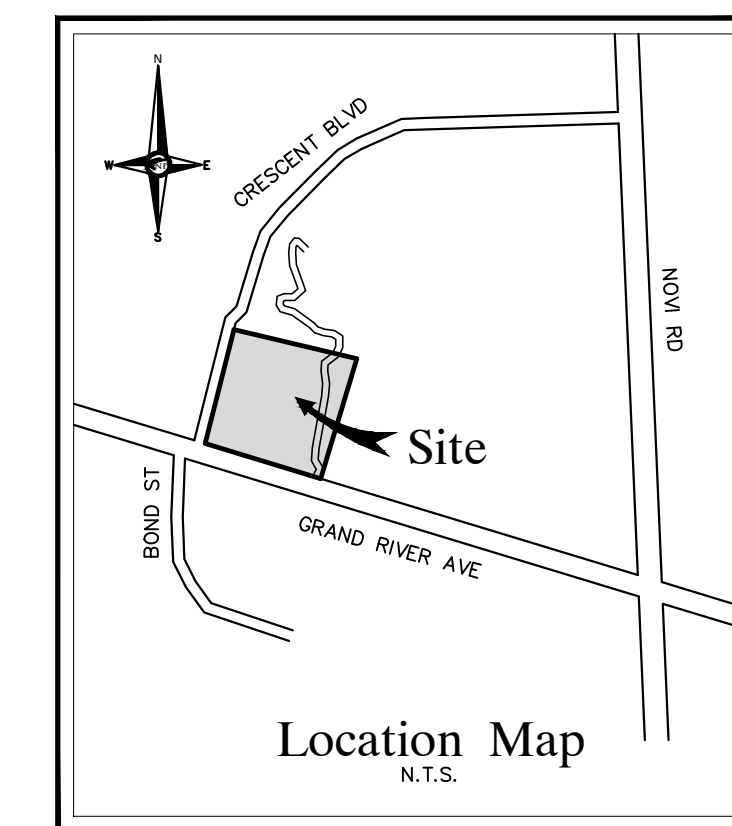
DESIGNED BY:
T. Wood

APPROVED BY:
J. Longhurst

DATE:
March 26, 2024

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
N877 C3



AGGREGATE NOTE

USE 21AA CRUSHED LIMESTONE BASE FOR ANY PAVEMENT WITHIN 100 FEET OF A WATER COURSE.

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE I/A (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - HMA 4EML SURFACE COURSE - HMA 5SEM BOND COAT - MDT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT Poured RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-S164.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LICENSES ARRANGE FOR ALL INSPECTION.

EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 8 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

ESTIMATED QUANTITIES

SIGNS

DESCRIPTION	QUANTITY	UNITS
NO PARKING FIRE LANE SIGN (R8-31) 12"x18"	2	EA.
VAN ACCESSIBLE PARKING SIGN (R7-8) 12"x18"	1	EA.
VAN ACCESSIBLE PARKING SIGN (R7-8P) 12"x18"	1	EA.

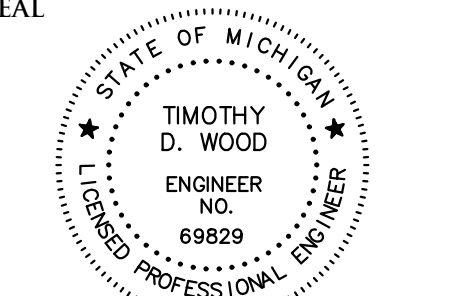
PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATERMAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	LIGHT POLE		EXISTING BURIED CABLES
	SIGN		OVERHEAD LINES
	EXISTING GAS MAIN		PROPOSED LIGHT POLE
	MANHOLE		PR. SANITARY SEWER
	HYDRANT		PR. WATER MAIN
	INLET		PR. STORM SEWER
	MANHOLE		PR. R. Y. CATCH BASIN
	SIGN		PROPOSED LIGHT POLE
	TC 600.00		GU 600.00
	TW 600.00		TP 600.00
	FG 600.00		

SEAL



Timothy D. Wood

PROJECT
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Credit Union

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PROJECT LOCATION
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Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

SHEET
Preliminary Sanitary
and Water Main



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SANITARY SEWER NOTE

PROPOSED 6-INCH SANITARY LEADS SHALL BE A MINIMUM SDR 23.5.
PROPOSED SANITARY MAINS SHALL BE SDR 26.

LEGEND

	MANHOLE	EXISTING SANITARY SEWER
	HYDRANT	SAN. CLEAN OUT
	MANHOLE	EXISTING WATER MAIN
	MANHOLE	EXISTING STORM SEWER
	MANHOLE	EX. R. Y. CATCH BASIN
	UTILITY POLE	EXISTING BURIED CABLES
	GUY WIRE	OVERHEAD LINES
	LIGHT POLE	SIGN
	EXISTING GAS MAIN	
	MANHOLE	PR. SANITARY SEWER
	HYDRANT	PR. WATER MAIN
	INLET	PR. STORM SEWER
	C.B.	PR. R. Y. CATCH BASIN
	SAND BACKFILL	(95% DENSITY)
	PROPOSED LIGHT POLE	

DRAWN BY:
T. Wood

DESIGNED BY:
T. Wood

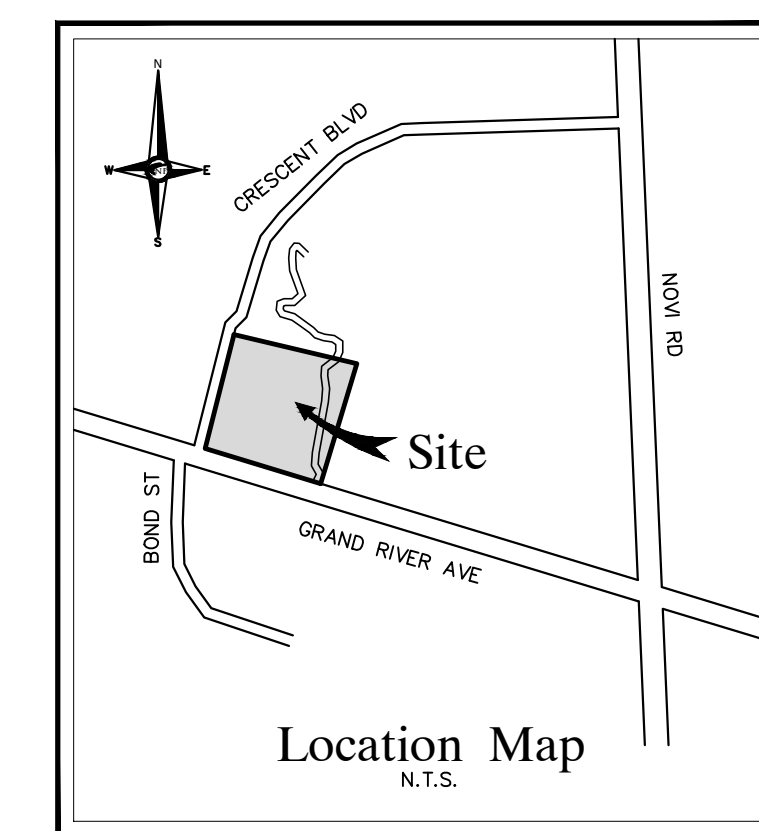
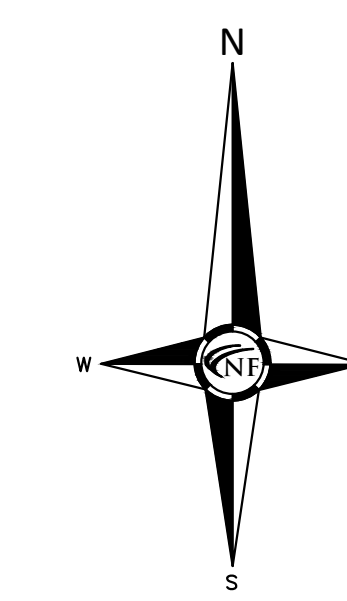
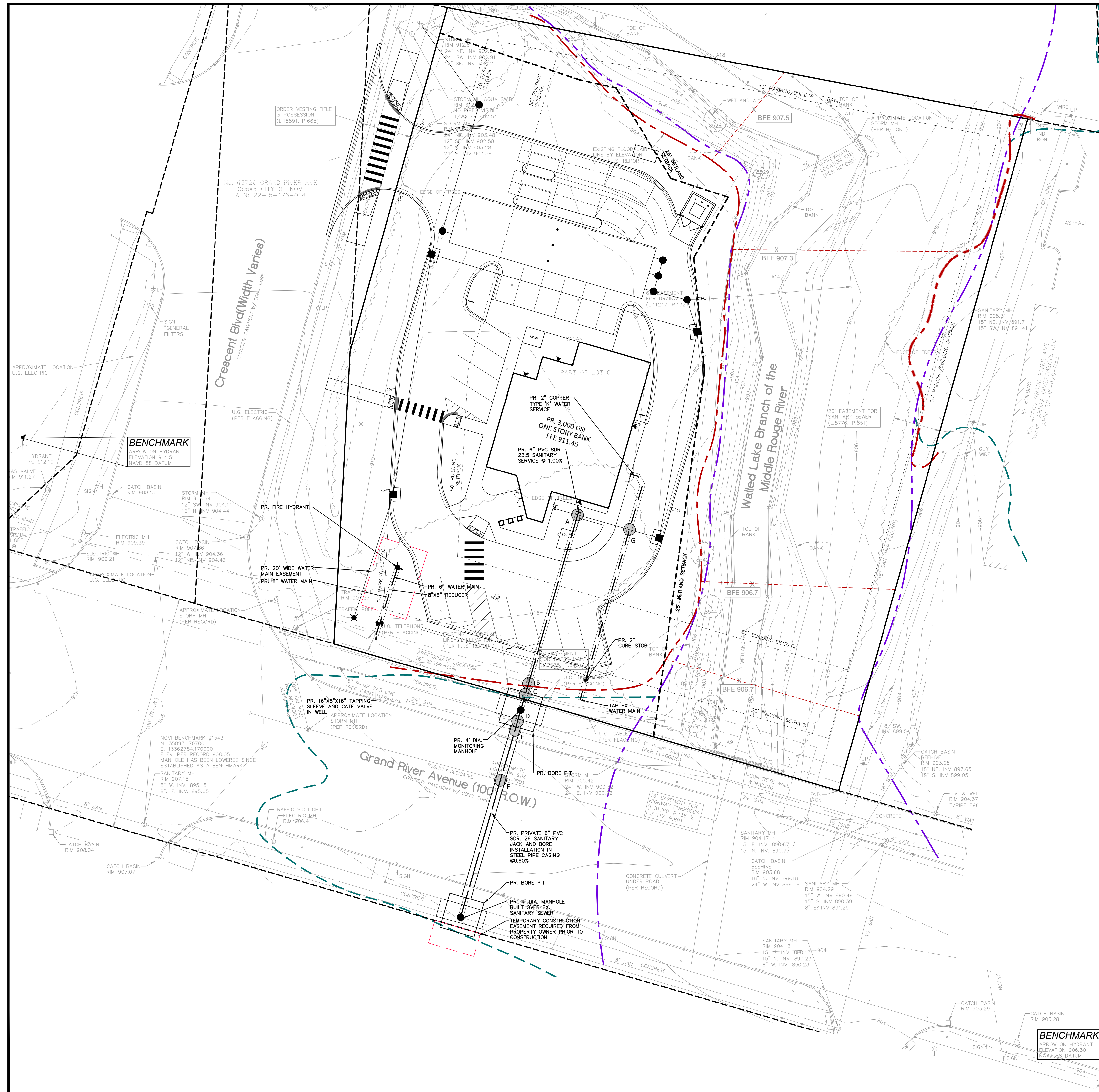
APPROVED BY:
J. Longhurst

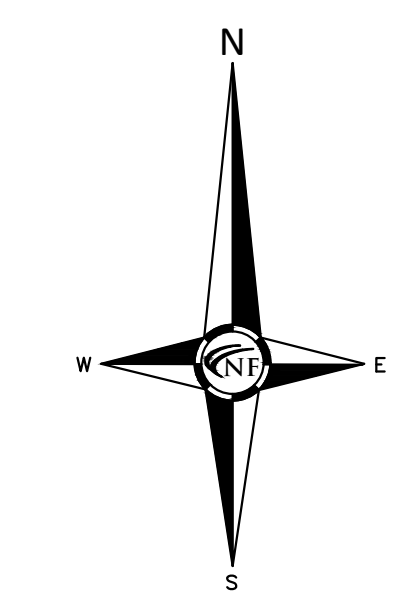
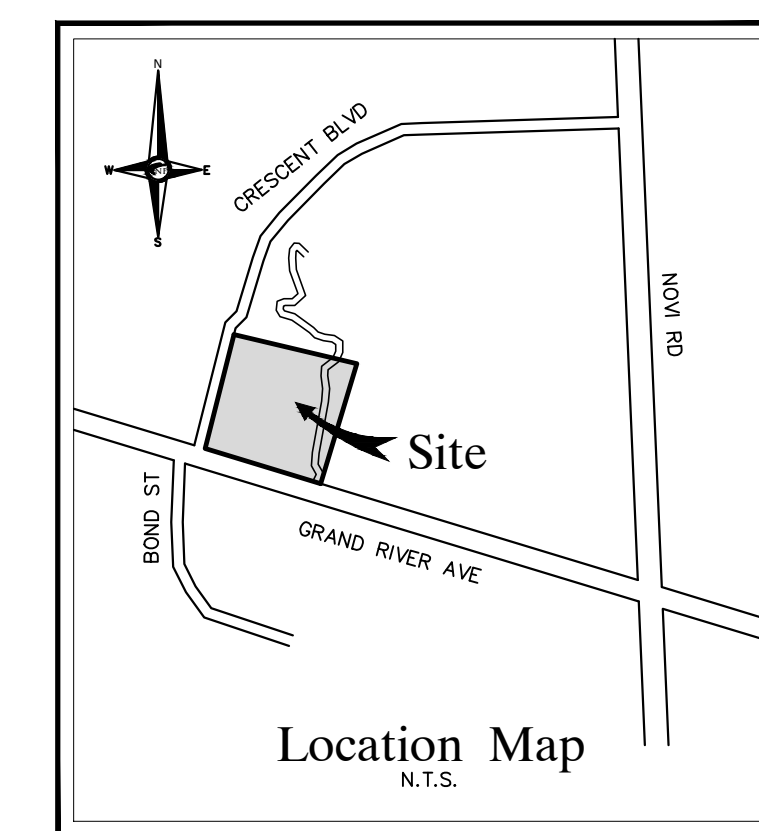
DATE:
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SCALE: 1" = 20'

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NFE JOB NO. SHEET NO.
N877 C4





REQUIRED DETENTION VOLUME CALCULATIONS		
100 Year Post-Development Detention Volume		
Name of Project:	Level 5	
Location of Project:	Novi	
NFE Project No.:	N877	
Contributing Acreage "A":	0.81 ac	
Weighted Runoff Coefficient "C":	0.77	
Time of Concentration "Tc":	10.00 min	
1. Calculate Required Water Quality Volume (Vwq) (1" Rainfall Event)		
Vwq = 3630(C)(A)	2,264 cft	
2. Calculate Required Water Quality Rate (Qwq)		
Qwq = (C)(A)(30.20)/(Tc+9.17)^0.81	1.72 cfs	
3. Calculate Required Channel Protection Volume (Vcp-r) (1.3" Rainfall Event)		
Vcp-r = 4719(C)(A)	2,943 cft	
4. Calculate Required Extended Detention Volume (Ved) (1.9" Rainfall Event)		
Ved = 6897(C)(A)	4,302 cft	
5. Calculate Extended Detention Outlet Rate (Qed) (48 hour discharge)		
Qed = Ved / [(48 hr)(60 min)(60 sec)] = Ved/172800	0.02 cfs	
6. Calculate 100-year Rainfall Intensity (I100)		
I100 = 83.3/(Tc+9.17)^0.81	7.62 in/hr	
7. Calculate 100-year Storm Inlet Rate (Q100-in)		
Q100-in = (C)(I100)(A)	4.75 cfs	
8. Determine the Variable Release Rate (Qvrr)		
Qvrr =	1.00 cfs/ac	
Restricted Outlet rate per local municipality	N/A cfs/ac	
9. Calculate Allowable 100-year Storm Outlet Rate (Q100P)		
Q100P = (Qvrr)(A)	0.81 cfs	
10. Calculate Storage Curve Factor (R)		
R = 0.206 - (0.15)(LN(Q100P/Q100-in))	0.471	
11. Calculate Required 100-year Storm Volume In (V100R)		
V100R = 18,985(C)(A)	11,841 cft	
12. Calculate 100-year Storm Detention Storage Volume (V100D)		
V100D = (V100R)(R)	5,581 cft	
Vcp(credit)	0 cft	
TOTAL DETENTION VOLUME REQUIRED:	5,581 cft	

Site Runoff Coefficient Calculations		
Surface	Runoff Coefficient	Area
Pavement and Building	0.95	0.51 Acre
Pond	1.00	0.00 Acre
Greenspace (HSG B - slopes 4-8%)	0.30	0.05 Acre
Greenspace (HSG D - slopes 4-8%)	0.50	0.25 Acre
Total Area		0.81 Acre
Runoff Coefficient	0.77	
Soil Types used in calculations: Sloan silt loam - HSG B, and Urban Land - HSG D		

CITY OF NOVI NOTES

COMPACTED MDOT CLASS II SAND BACKFILL SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
 SANITARY LEADS WILL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT.
 ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.
 PER THE TEN STATE STANDARDS ARTICLE 8.8.3, ONE FULL 20-FOOT PIPE LENGTH OF WATER MAIN SHALL BE USED WHENEVER STORM SEWER OR SANITARY SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO ENSURE 10-FOOT SEPARATION BETWEEN WATER MAIN AND SEWERS.
 A MINIMUM COVER DEPTH OF 3 FEET SHALL BE MAINTAINED OVER ALL PROPOSED STORM SEWER.

SAND BACKFILL NOTE

COMPACTED SAND BACKFILL (MDOT SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.

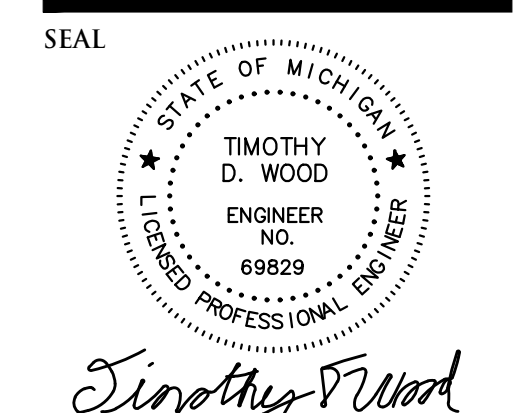
STORM WATER MANAGEMENT NOTE

THE PROPOSED STORMWATER MANAGEMENT SYSTEM PROVIDES DETENTION FOR A 100-YEAR STORM EVENT PER OAKLAND COUNTY STANDARDS. STORMWATER WILL BE ROUTED THROUGH TWO MECHANICAL PRE-TREATMENT STRUCTURES AND AN ISOLATOR ROW IN THE DETENTION SYSTEM. STORAGE WILL BE PROVIDED BY AN UNDERGROUND DETENTION SYSTEM OF STORM TECH CHAMBERS WITH STONE STORAGE. OUTLET WILL BE CONTROLLED BY AN OUTLET CONTROL STRUCTURE WITH A WEIR PLATE CONNECTED TO THE EXISTING OUTLET PIPE.

UNDERGROUND DETENTION NOTE

AGGREGATE POROSITY WILL BE TESTED, AND RESULTS PROVIDED TO THE CITY'S INSPECTING ENGINEERS.

LEGEND	
	EXISTING SANITARY SEWER
	SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EXISTING BURIED CABLES
	OVERHEAD LINES
	SIGN
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	SAND BACKFILL (95% DENSITY)
	PROPOSED LIGHT POLE



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SHEET
 Preliminary Storm Water
 Management Plan



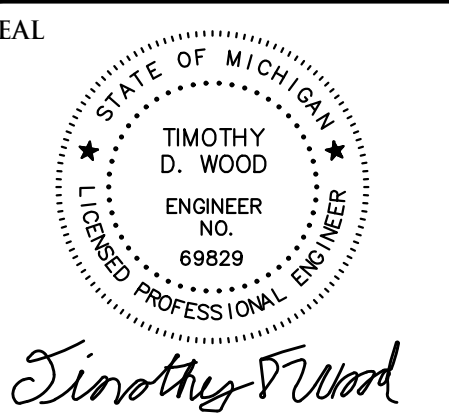
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 T. Wood
 APPROVED BY:
 J. Longhurst

DATE:
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 NFE JOB NO. SHEET NO.
 N877 C5

SEAL



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Community Financial
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T. 1N., R. 8E.
City of Novi,
Oakland County, MI

SHEET
Soil Erosion and
Sedimentation Control
Plan



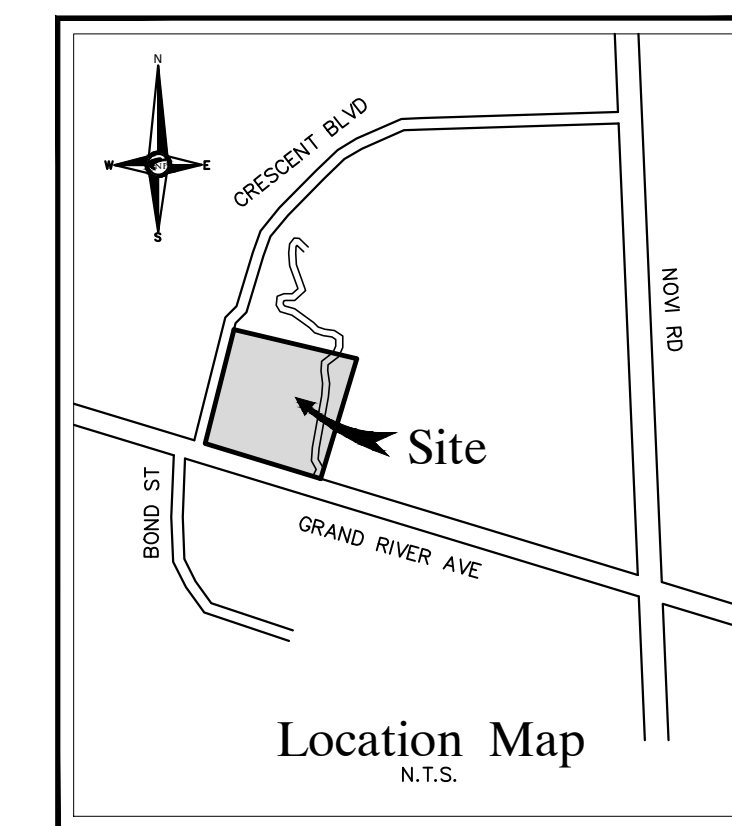
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DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst

DATE:
March 26, 2024

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NFE JOB NO. SHEET NO.
N877 C6



CITY OF NOVI SESC NOTES

INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING.

SILT FENCE: 6" ANCHOR TRENCH, STAKES 6' ON CENTER. VEGETATION SHALL BE ESTABLISHED WITHIN 5 DAYS OF FINAL GRADE, OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER. 3-4" OF TOPSOIL SHALL BE USED WHERE VEGETATION IS REQUIRED.

DIVERSION BERMS OR TERRACING SHALL BE IMPLEMENTED WHERE NECESSARY.

ALL DRAINAGE DITCHES SHALL BE STABILIZED WITH EROSION CONTROL BLANKET AND SHALL UTILIZE CHECK DAMS AS NECESSARY. DRAINAGE DITCHES STEEPER THAN 3% SHALL BE SODDED.

ALL CULVERT END SECTIONS MUST CONTAIN GROUTED RIPRAP IN ACCORDANCE WITH ORDINANCE SPECIFICATIONS.

INSPECT PRETREATMENT STRUCTURE WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED AND CLEAN AS REQUIRED.

IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.

IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES.

CONTRACTOR SHALL PROVIDE STREET SWEEPING AND DUST CONTROL AS REQUIRED TO KEEP ROADS FREE OF DEBRIS OR AS DIRECTED BY CITY INSPECTOR.

SLOPES STEEPER THAN 1V:6H (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKET. INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.

ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE. SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES, WETLANDS; OR ROADWAYS ON OR NEAR THE SITE.

SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LINES OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.

WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.

PERMANENT EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.

VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.

EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.

ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL," PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
SILT FABRIC FENCING	500	L.F.
TEMPORARY CONSTRUCTION ACCESS	170	S.Y.
SILT SACK OR EQUAL	5	EA.

LEGEND	
	INDICATES LIMITS OF SILT FABRIC FENCE
	INDICATES LIMITS OF SOIL DISRUPTION
	INDICATES SILT SACK OR EQUAL ON EXISTING DRAINAGE STRUCTURE

LEGAL DESCRIPTION

LAND SITUATED IN THE STATE OF MICHIGAN, COUNTY OF OAKLAND, CITY OF NOVI.

PART OF LOT 6, SUPERVISOR'S PLAT NO. 4, AS RECORDED IN LIBER 54A, PAGE 83 OF PLATS, OAKLAND COUNTY RECORDS, DESCRIBED AS: BEGINNING AT THE SOUTHWEST CORNER OF LOT 6, THENCE SOUTH 71 DEG. 19' 00" EAST 221.53 FEET; THENCE NORTH 18 DEG. 27' 00" EAST 294.49 FEET; THENCE NORTH 76 DEG. 40' 30" WEST ALONG THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 33.09 FEET; THENCE SOUTH 05 DEG. 57' 00" WEST 274.90 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT, SOUTHEAST QUARTER OF SECTION 15, T1N, R8E, BEGINNING AT A POINT ON THE WEST LINE OF LOT 6, LOCATED DISTANT N05°57'00"E 123.82 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 6; THENCE CONTINUING N05°57'00"E 151.28 FEET TO THE NORTHWEST CORNER OF SAID LOT 6; THENCE S76°40'30"E, ALONG THE NORTH LINE OF SAID LOT 6, A DISTANCE OF 33.09 FEET; THENCE S18°31'54"W 150.65 FEET TO THE POINT OF BEGINNING, AS RECORDED IN LIBER 18891, PAGE 665.

FOR INFORMATIONAL PURPOSES ONLY:

TAX PARCEL IDENTIFICATION NUMBER: 50-22-15-476-031 (PART OF)

CITY OF NOVI SESC NOTES

INSPECT BMPs PRIOR TO FORECAST RAIN, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, WEEKLY DURING THE RAINY SEASON, AND AT TWO-WEEK INTERVALS DURING THE NON-RAINY SEASON.

SEDIMENT SHOULD BE REMOVED WHEN THE SEDIMENT ACCUMULATION REACHES 1/3 - 1/2 OF THE SILT FENCE HEIGHT. SEDIMENT REMOVED DURING MAINTENANCE MAY BE INCORPORATED INTO EARTHWORK ON THE SITE OR DISPOSED AT AN APPROPRIATE LOCATION.

SILT FENCE SHOULD BE INSPECTED AT LEAST WEEKLY, IMMEDIATELY BEFORE A FORECASTED RUNOFF EVENT, AND AFTER EACH RUNOFF EVENT FROM RAIN OR SNOWMELT.

ROUTINELY INSPECT THE ACCESS ROAD AND ADJACENT ROADWAYS FOR TRACKOUT SOIL BUILD-UP, FILLED AGGREGATE VOIDS, AND SIGNS OF ROAD BED FAILURE SUCH AS MIGRATION OF STONE INTO THE SUB-BASE, RUTTING, ETC.

IMMEDIATELY REMOVE ALL SEDIMENT DROPPED OR ERODED ONTO PUBLIC RIGHT-OF-WAYS BY SWEEPING OR SHOVELING. DO NOT WASH SEDIMENT INTO WATERWAYS OR STORM SEWERS.

NOTES

A DISTANCE OF 0 FEET TO THE NEAREST BODY OF WATER / WETLAND WALLED LAKE BRANCH OF MIDDLE ROUGE RIVER.

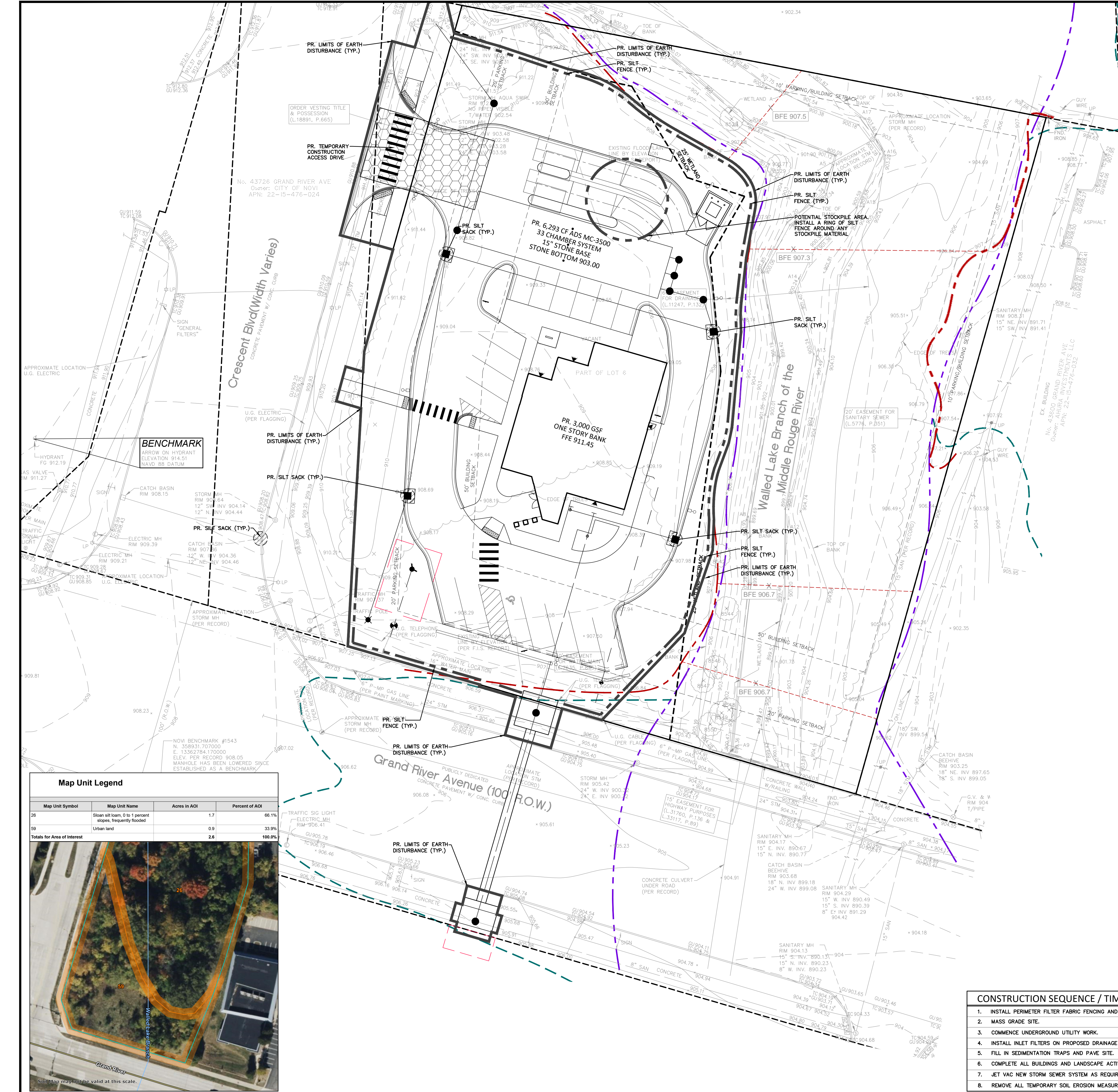
THE TOTAL AREA OF EARTH DISRUPTION IS 0.91 ACRES.

THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

A SOIL EROSION PERMIT IS REQUIRED FROM THE CITY OF NOVI.

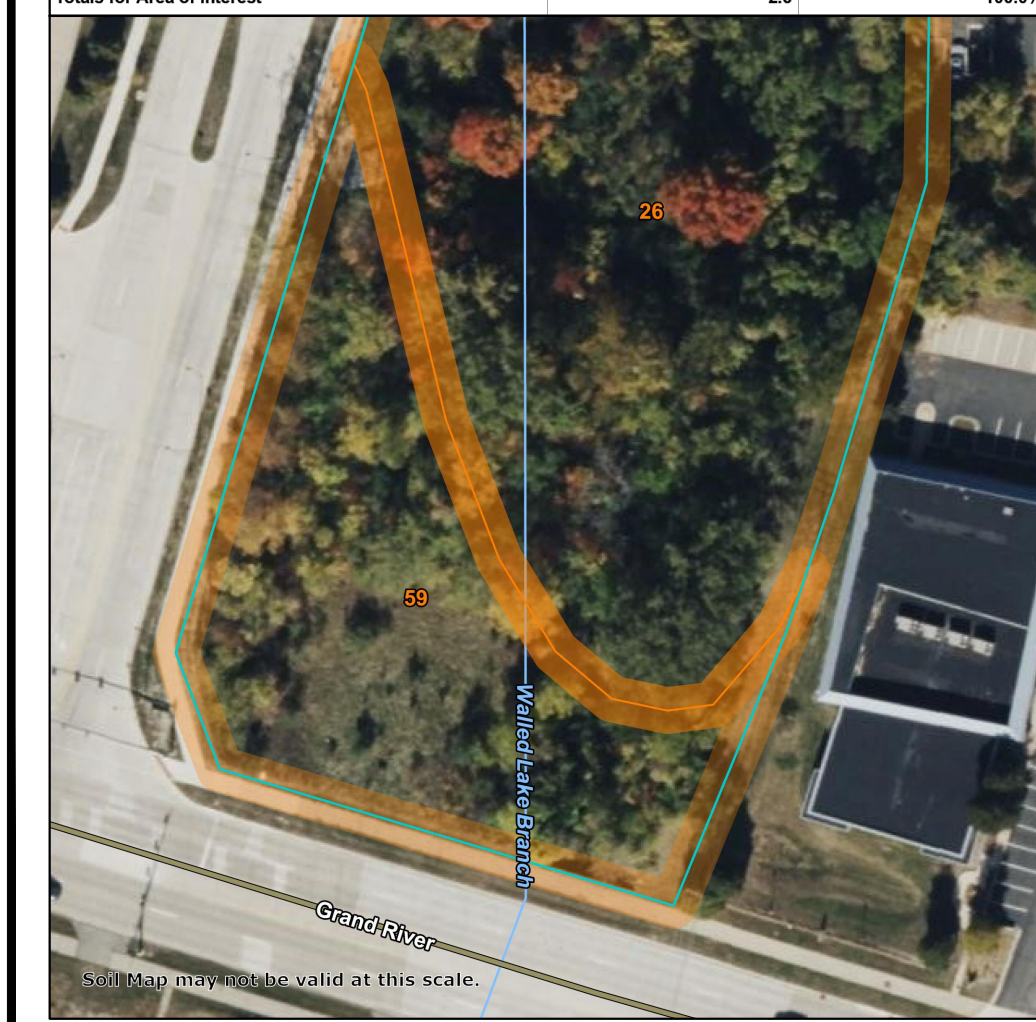
INSPECT STRUCTURES WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED, CLEANING AS REQUIRED.

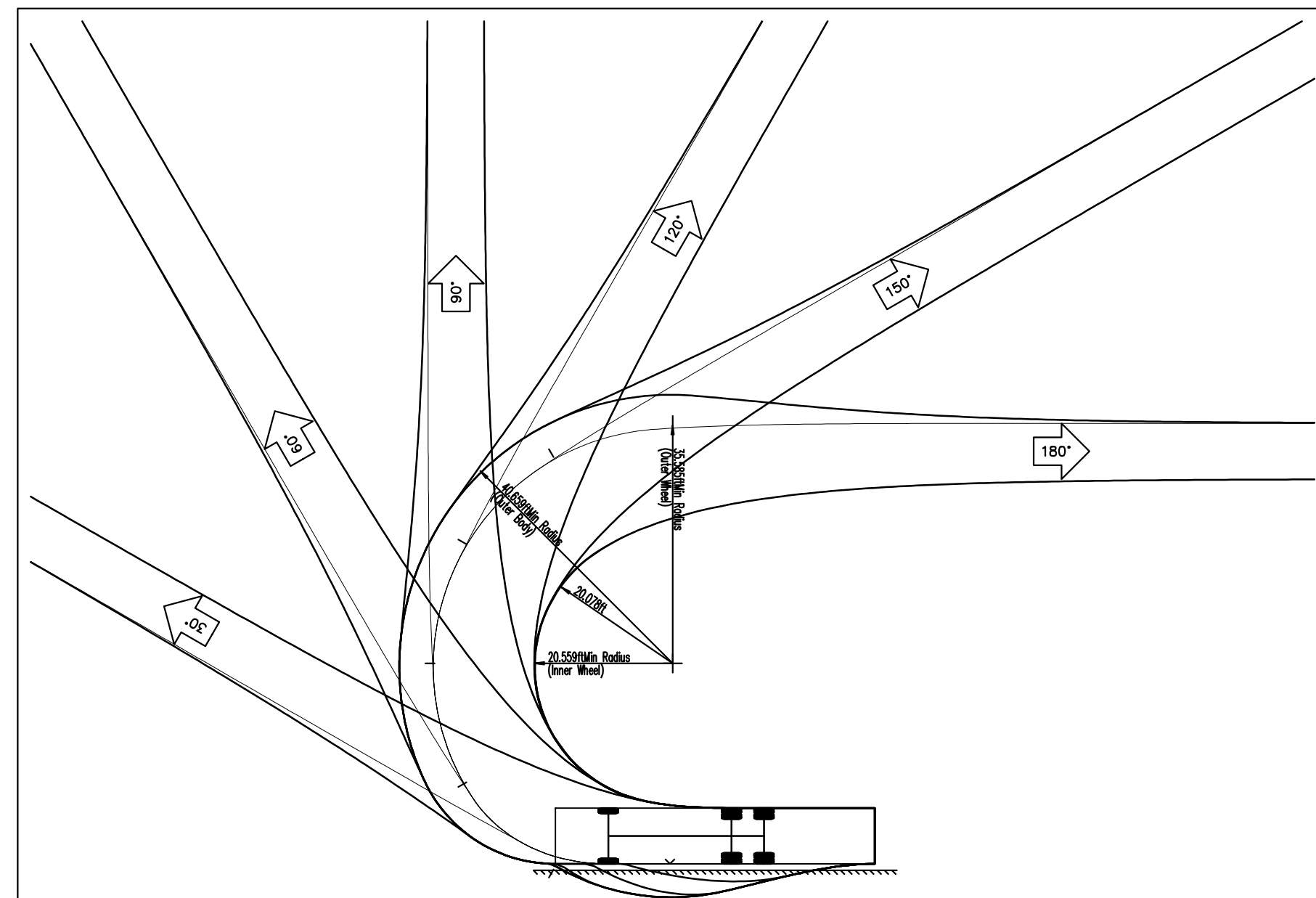
CONSTRUCTION SEQUENCE / TIMING SCHEDULE		
1. INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	MARCH 2025	
2. MASS GRADE SITE.	MARCH 2025	
3. COMMENCE UNDERGROUND UTILITY WORK.	MAY 2025	
4. INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	MAY 2025	
5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	JULY 2025	
6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	OCTOBER 2025	
7. JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	NOVEMBER 2025	
8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	NOVEMBER 2025	



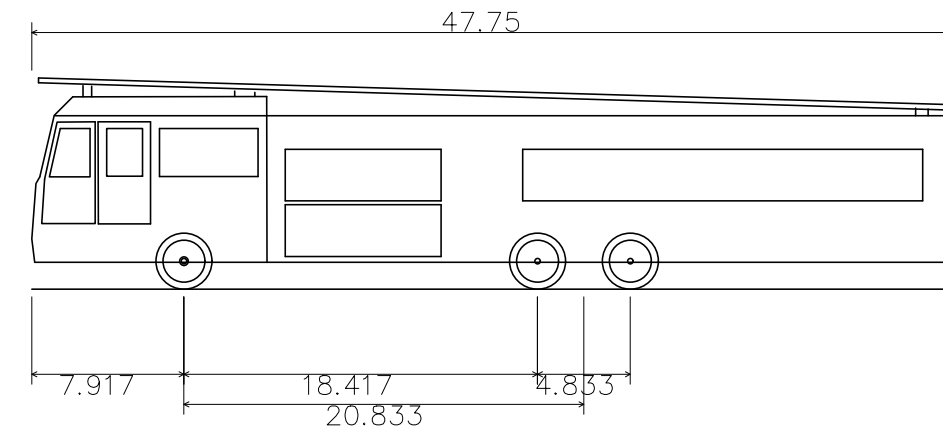
Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
26	Sloam silt loam, 0 to 1 percent slopes, frequently flooded	1.7	66.1%
50	Urban land	0.9	33.9%
Totals for Area of Interest		2.6	100.0%

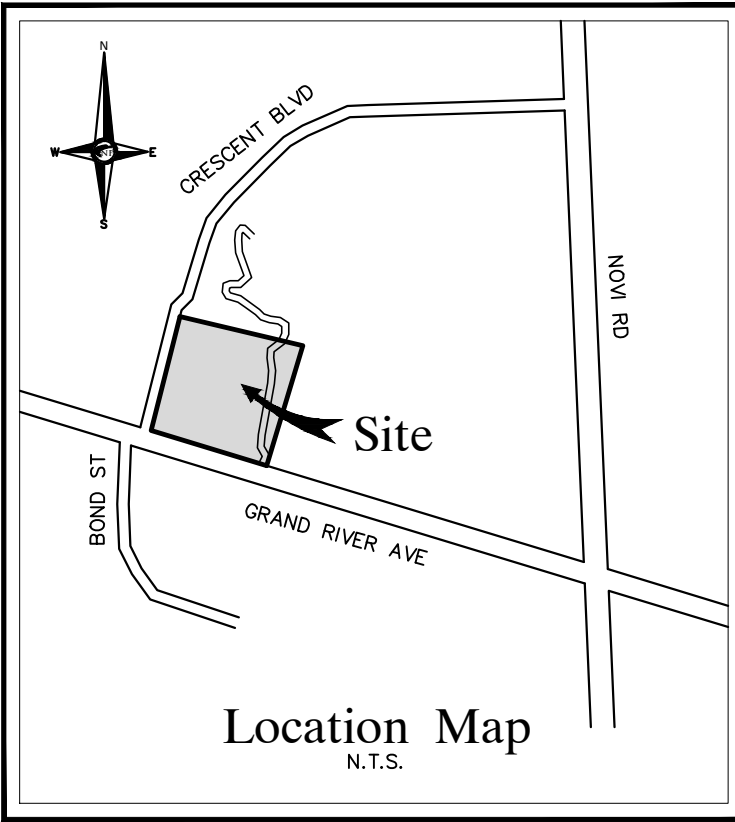
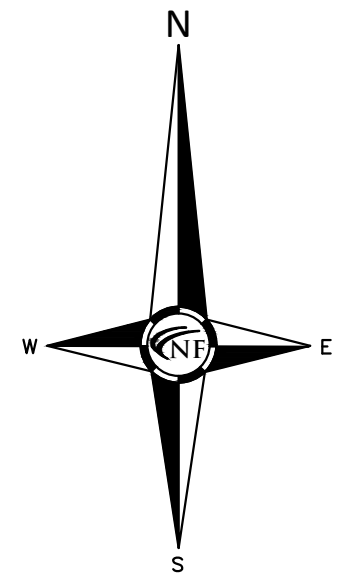




Vehicle Tracking V21.01.23(202007) (c) Autodesk, Inc. www.autodesk.com
 Note: Turn(s) based upon a design speed of 5.00mph.
 E-ONE HP95 Mid Mount



E-ONE HP95 Mid Mount
 Overall Length 47.750ft
 Overall Width 8.333ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.393ft
 Track Width 8.333ft
 Lock-to-lock time 6.00s
 Max Wheel Angle 45.00°

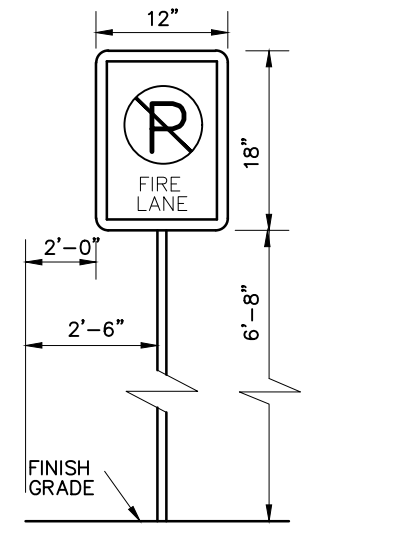


NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM

FIRE DEPARTMENT NOTES

ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL BEING BROUGHT ON SITE.
 ALL BUILDINGS MUST COMPLY WITH THE INTERNATIONAL FIRE CODE SECTION 510 FOR EMERGENCY RADIO COVERAGE. TO BE IMPLEMENTED BY THE TIME OF THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION.
 FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM 50 FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF 35 TONS.



FIRE LANE SIGNAGE DETAIL
 N.T.S.

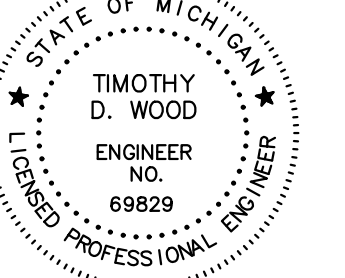


TRUCK MANEUVERING AND FIRE LANE PLAN
 SCALE: 1"=30'



HYDRANT COVERAGE PLAN
 SCALE: 1"=30'

SEAL



Timothy Wood

PROJECT
 Community Financial
 Credit Union

CLIENT
 Level 5
 2018 Powers Ferry Rd. SE.
 Suite 750
 Atlanta, GA 30339
 Contact:
 David Lapp
 Phone: (313) 949-9542
 Email: dlapp@level5.com

PROJECT LOCATION
 Part of the NE. 1/4 of
 Section 15
 T. 1N., R. 8E.
 City of Novi,
 Oakland County, MI

SHEET
 Fire Protection Plan



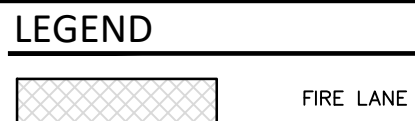
Know what's below
 Call before you dig.

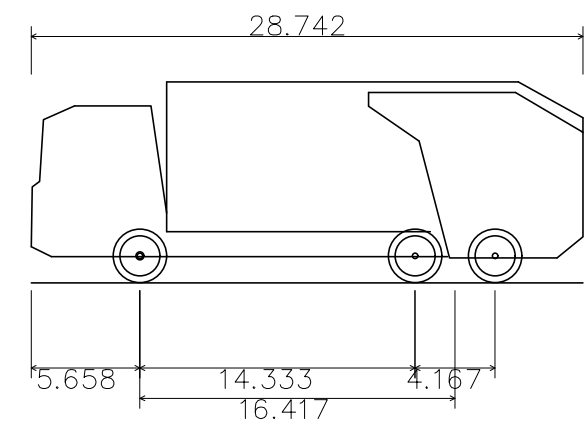
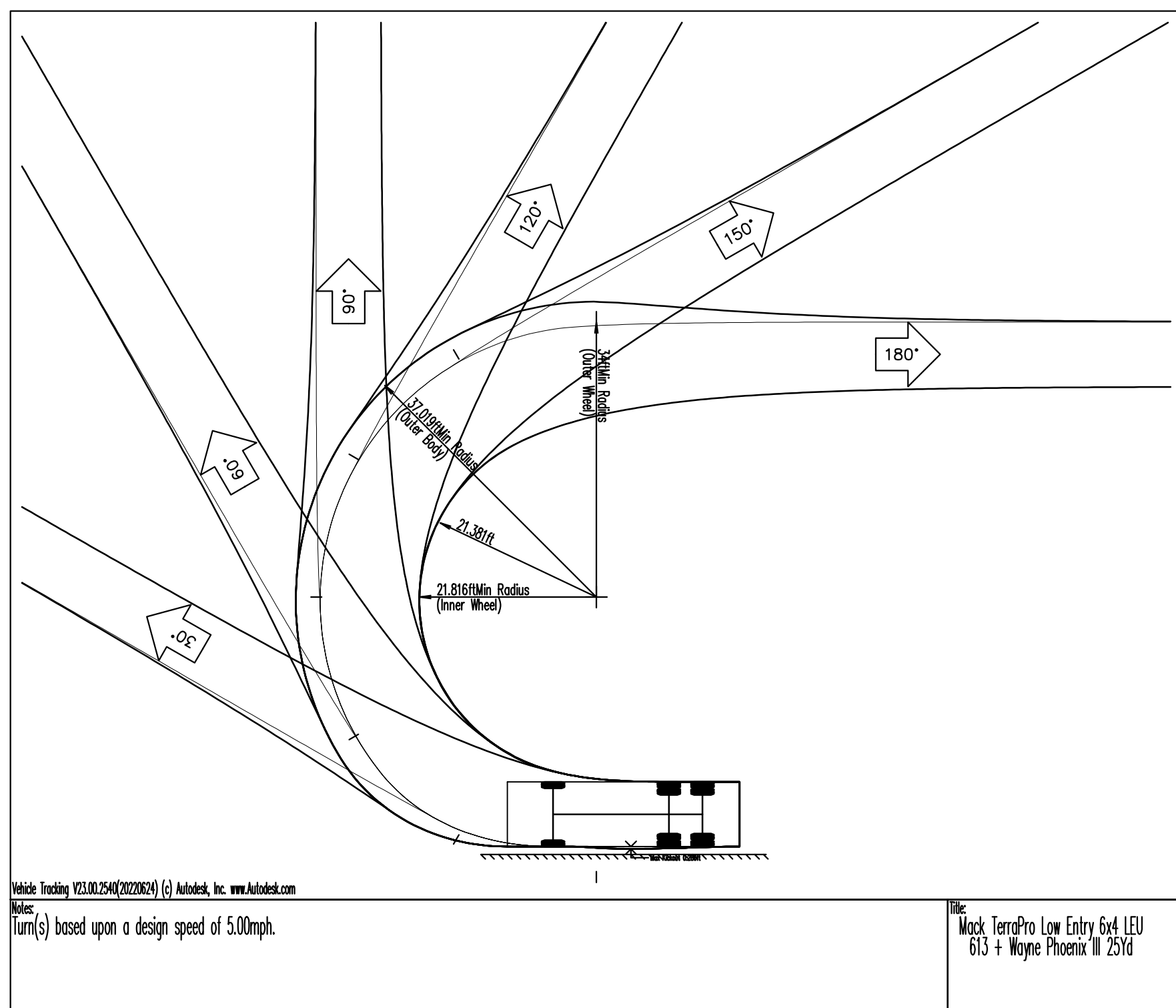
DATE ISSUED/REVISED
 2024-04-15 - ISSUED FOR PSP REVIEW
 2024-07-02 - REVISED PER PSP REVIEW

DRAWN BY:
 T. Wood
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 J. Longhurst
 DATE:
 March 26, 2024

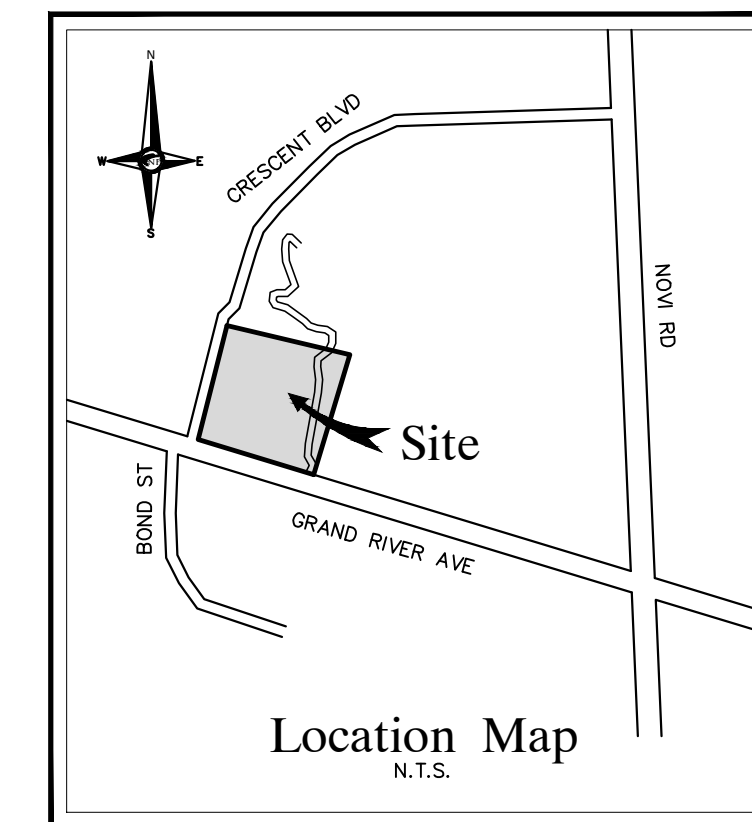
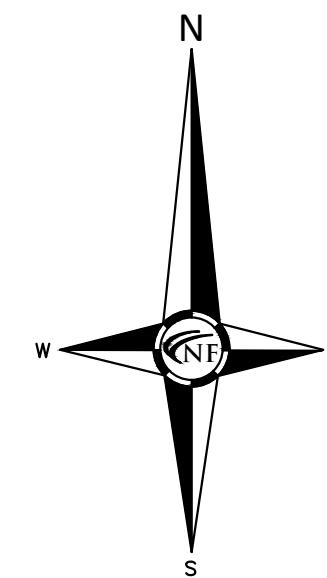
SCALE: 1" = 30'

NFE JOB NO. SHEET NO.
 N877 C7





Mack TerraPro Low Entry 6x4 LEU 613 + Wayne Phoenix III 25Yd
 Overall Length 28.742ft
 Overall Width 8.000ft
 Overall Body Height 10.481ft
 Min Body Ground Clearance 1.311ft
 Track Width 8.000ft
 Lock-to-lock time 6.00s
 Curb to Curb Turning Radius 34.000ft



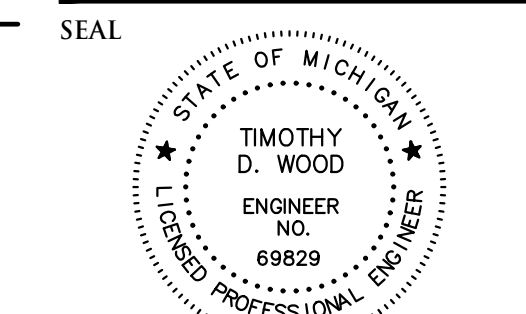
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TRASH PICKUP
 TRASH PICKUP SHALL BE SCHEDULED WHEN ITM'S ARE TYPICALLY NOT BUSY TO PREVENT CONFLICT WITH DRIVE THROUGH STACKING SPACES.

SITE INFORMATION

PROJECT SITE COVERAGE:	AREA (SF)	% LOT COVERAGE
SURFACE:	3,000 SF	4.38%
BUILDING:	19,218 SF	28.04%
IMPERVIOUS:		
OPEN SPACE (EX. LANDSCAPING):	31,014 SF	45.26%
NATURAL FEATURES:	15,289 SF	22.32%
TOTAL:	68,531 SF	100.00%



Timothy D. Wood

PROJECT
 Community Financial
 Credit Union

CLIENT
 Level 5
 2018 Powers Ferry Rd. SE.
 Suite 750
 Atlanta, GA 30339
 Contact:
 David Lapp
 Phone: (313) 949-9542
 Email: dlapp@level5.com

PROJECT LOCATION
 Part of the NE. 1/4 of
 Section 15
 T. 1N., R. 8E.
 City of Novi,
 Oakland County, MI

SHEET
 Truck Maneuvering and
 Open Space Plan



Know what's below
 Call before you dig.

DATE ISSUED/REVISED
 2024-04-15 ISSUED FOR PSP REVIEW
 2024-07-02 REVISED PER PSP REVIEW

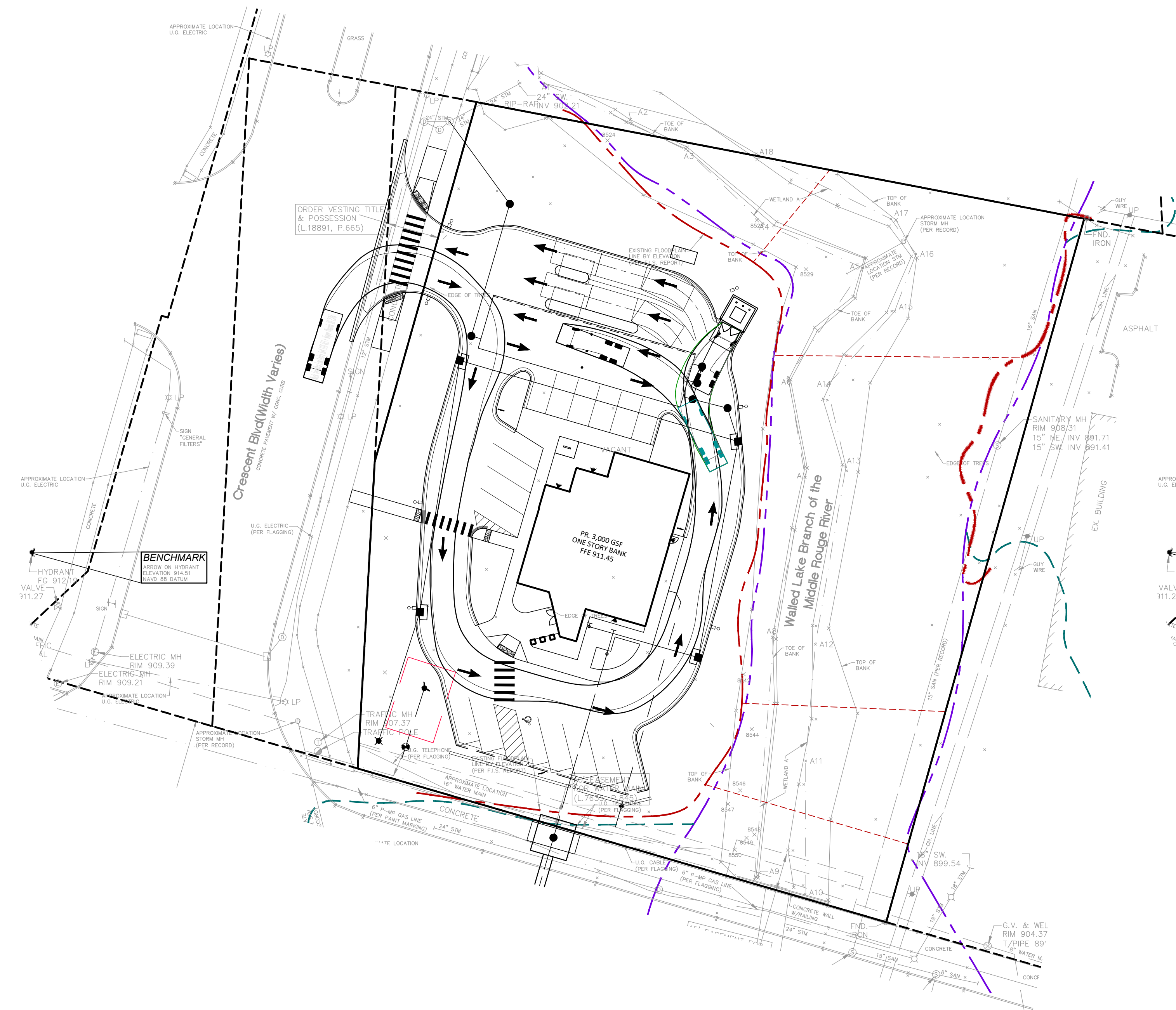
DRAWN BY:
 T. Wood
 DESIGNED BY:
 T. Wood
 APPROVED BY:
 J. Longhurst

DATE:
 March 26, 2024

SCALE: 1" = 30'

30 15 0 15 30 45

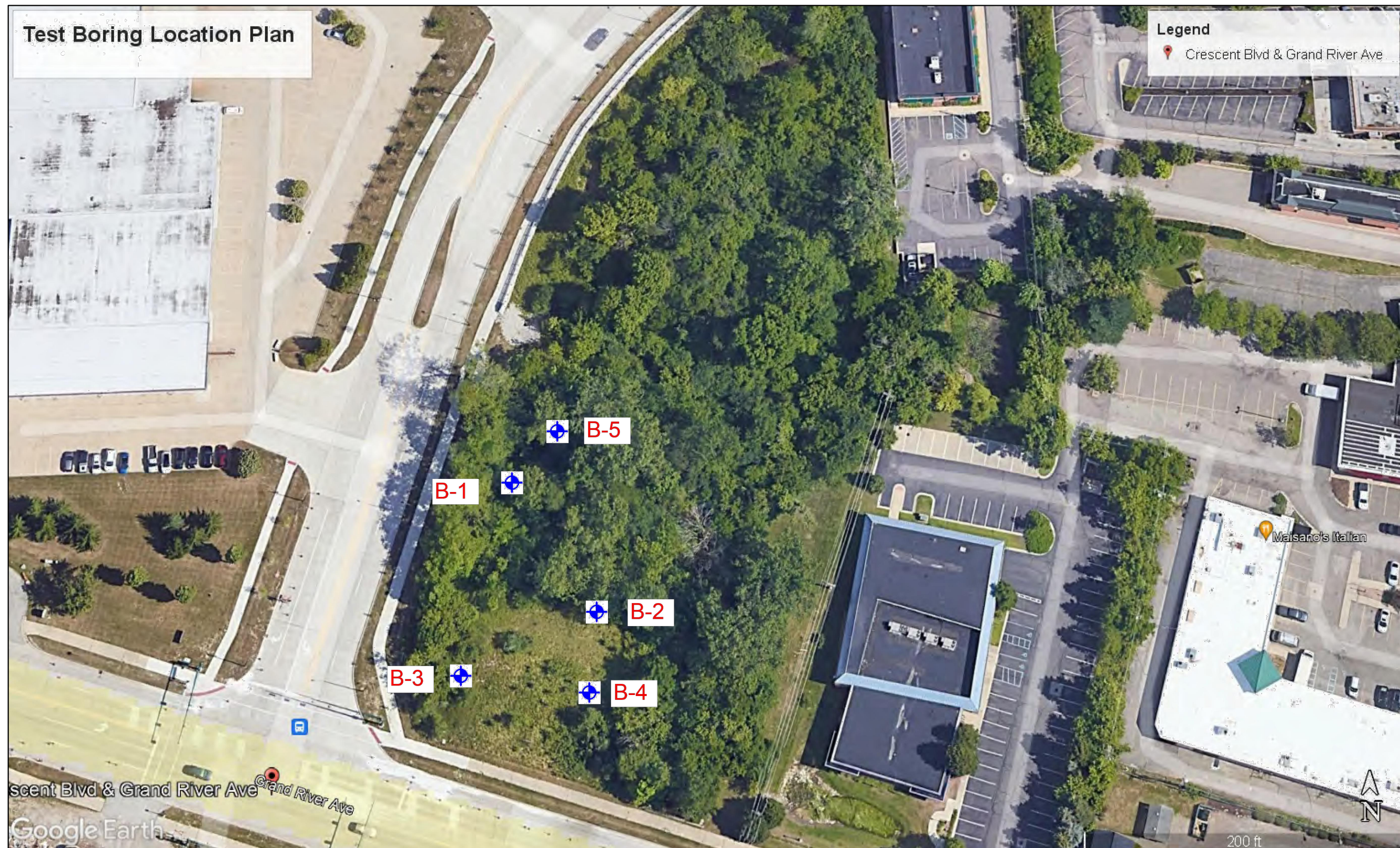
NFE JOB NO. SHEET NO.
N877 C8



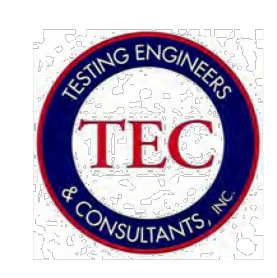
TRUCK MANEUVERING PLAN
 SCALE: 1"=30'



OPEN SPACE PLAN
 SCALE: 1"=30'



Crescent Blvd & Grand River Ave
Grand River Ave



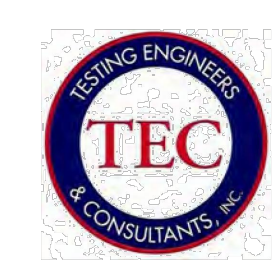
Testing Engineers & Consultants, Inc.
1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249
(248) 588-6200 or (313) T-E-S-T-I-N-G
Fax (248) 588-6232

Boring No.: 1 Job No.: 63853 Project: Proposed CFCU Branch, Grand River Avenue & Crescent Boulevard
Client: Nowak & Fraus Engineers Location: Novi, Michigan
Type of Rig: All-Terrain Vehicle Drilled By: I. Mickle
Drilling Method: Hollow Stem Augers Started: 11/13/2023
Ground Surface Elevation: Completed: 11/13/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	qu
			.25	Moist Dark Brown Clayey TOPSOIL (3")			
2.5	LS	8		Extremely Stiff Moist Brown CLAY With Some Silt & Trace Of Gravel	9.8	142	
		16					
		26					
5.0	LS	8		Plastic Moist Brown Clay With Some Silt-FILL	8.8	143	
		13					
		17					
7.5	LS	4		Firm Moist Dark Gray CLAY With Some Silt With Trace Of Organics	10.5	138	3300
		4					
10.0	LS	3		Dense Wet Gray SAND & Gravel	21.8	117	1570
		6					
12.5		33		Compact Wet Gray Clayey SILT With Sand Seams			
15.0	LS	11		Bottom of Boring at 15'	15.8	130	3460
		17					
		21					

Water Encountered: 9'5"
At Completion: 13'0"
Boring Pit No. 1

TM - Standard Penetration Resistance
SS - 2" I.D. Split Spoon Sample
LS - Sectional Line Sample
ST - Shelby Tube Sample
AS - Auger Sample w - H2O, % of dry weight
d - Bulk Density, pcf
qu - Uncorrected Compression, psf
DP - Direct Push
RC - Rock Core



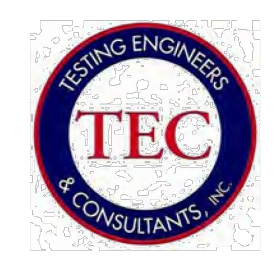
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Boring No.: 2 Job No.: 63853 Project: Proposed CFCU Branch, Grand River Avenue & Crescent Boulevard
Client: Nowak & Fraus Engineers Location: Novi, Michigan
Type of Rig: All-Terrain Vehicle Drilled By: I. Mickle
Drilling Method: Hollow Stem Augers Started: 11/14/2023
Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	qu
			.17	Moist Dark Brown Clayey TOPSOIL (2")			
2.5	LS	4		Stiff Moist Brown Clay With Some Silt & Trace Of Gravel-FILL	11.5	129	4120
		9					
		13					
5.0	LS	4		Plastic Moist Brown Clay With Some Silt-FILL	12.1	132	7090
		11					
		19					
7.5	LS	10		Stiff Moist Brown Clay With Some Silt & Trace Of Organic Material-FILL Organic Content = 4.7%	11.5	136	6510
		5					
10.0	LS	2		Very Loose Moist Gray Clayey Dark Gray Sand With Silt Layers, Wet Seam & Trace Of Organics Organic Content = 3.8%	18.6	125	1480
		2					
12.5		2		Extremely Stiff Moist Gray CLAY With Some Silt			
15.0	LS	5		Bottom of Boring at 15'	15.3	134	8320
		8					
		13					

Water Encountered: 9'6"
At Completion: 12'10"
Boring Pit No. 2

TM - Standard Penetration Resistance
SS - 2" I.D. Split Spoon Sample
LS - Sectional Line Sample
ST - Shelby Tube Sample
AS - Auger Sample w - H2O, % of dry weight
d - Bulk Density, pcf
qu - Uncorrected Compression, psf
DP - Direct Push
RC - Rock Core



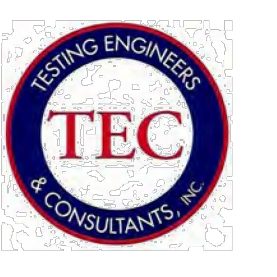
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Fax (248) 588-6232

Boring No.: 3 Job No.: 63853 Project: Proposed CFCU Branch, Grand River Avenue & Crescent Boulevard
Client: Nowak & Fraus Engineers Location: Novi, Michigan
Type of Rig: All-Terrain Vehicle Drilled By: I. Mickle
Drilling Method: Hollow Stem Augers Started: 11/14/2023
Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	qu
			.17	Moist Dark Brown Clayey TOPSOIL (2")			
2.5	LS	5		Firm Moist Brown Clay With Some Silt, Trace Of Gravel & Asphalt-FILL	10.3	141	
		8					
		15					
5.0	LS	4		Firm Moist Gray CLAY With Some Silt, Trace Of Gravel & Sand Seams LL = 23 PI = 15 PI = 8	13.4	128	3540
		8					
		10					
7.5	LS	4		Stiff Moist Gray CLAY With Some Silt, Trace Of Gravel & Sand Seams	19.6	130	3710
		6					
10.0	LS	4		Medium Compact Moist Gray Clayey SILT With Sand Seams	16.9	134	4370
		5					
12.5		11					
15.0	LS	9		Wet At 14'6"	17.5	128	1980
		13					
		15					
17.5				Bottom of Boring at 15'			

Water Encountered: 14'6"
At Completion: Caved In 12'7"
Boring Pit No. 3

TM - Standard Penetration Resistance
SS - 2" I.D. Split Spoon Sample
LS - Sectional Line Sample
ST - Shelby Tube Sample
AS - Auger Sample w - H2O, % of dry weight
d - Bulk Density, pcf
qu - Uncorrected Compression, psf
DP - Direct Push
RC - Rock Core



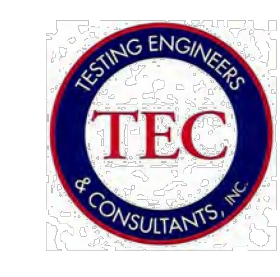
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(248) 588-6200 or (313) T-E-S-T-I-N-G
Fax (248) 588-6232

Boring No.: 4 Job No.: 63853 Project: Proposed CFCU Branch, Grand River Avenue & Crescent Boulevard
Client: Nowak & Fraus Engineers Location: Novi, Michigan
Type of Rig: All-Terrain Vehicle Drilled By: I. Mickle
Drilling Method: Hollow Stem Augers Started: 11/14/2023
Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	qu
			.17	Moist Dark Brown Clayey TOPSOIL (2")			
2.5	LS	4		Stiff Moist Brown Clay With Some Silt, Trace Of Gravel & Asphalt-FILL	13.8	133	5930
		12					
		15					
5.0	LS	7		Bottom of Boring at 5'	13.6	137	7420
		9					
		12					

Water Encountered: None
At Completion: None
Boring Pit No. 4

TM - Standard Penetration Resistance
SS - 2" I.D. Split Spoon Sample
LS - Sectional Line Sample
ST - Shelby Tube Sample
AS - Auger Sample w - H2O, % of dry weight
d - Bulk Density, pcf
qu - Uncorrected Compression, psf
DP - Direct Push
RC - Rock Core



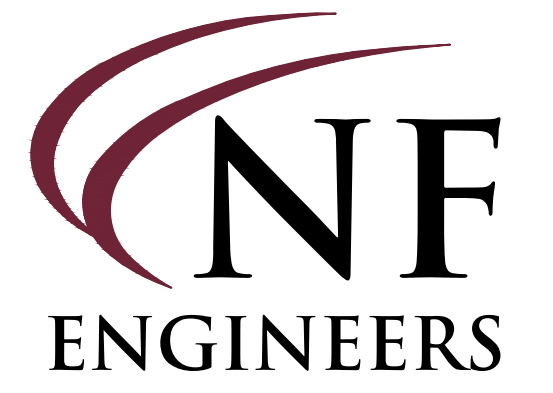
Testing Engineers & Consultants, Inc.
1343 Rochester Road - PO Box 249 - Troy, Michigan - 48099-0249
(248) 588-6200 or (313) T-E-S-T-I-N-G
Fax (248) 588-6232

Boring No.: 5 Job No.: 63853 Project: Proposed CFCU Branch, Grand River Avenue & Crescent Boulevard
Client: Nowak & Fraus Engineers Location: Novi, Michigan
Type of Rig: All-Terrain Vehicle Drilled By: I. Mickle
Drilling Method: Hollow Stem Augers Started: 11/14/2023
Ground Surface Elevation: Completed: 11/14/2023

Depth (ft)	Sample Type	N	Strata Change	Soil Classification	w	d	qu
			.25	Moist Dark Brown Clayey TOPSOIL (3")			
2.5	LS	8		Extremely Stiff Moist Brown Clay With Some Silt & Trace Of Gravel-FILL	12.4	138	
		14					
		20					
5.0	LS	6		Stiff Moist Brown Clay With Some Silt & Trace Of Gravel-FILL	10.2	141	
		10					
		11		Bottom of Boring at 5'			

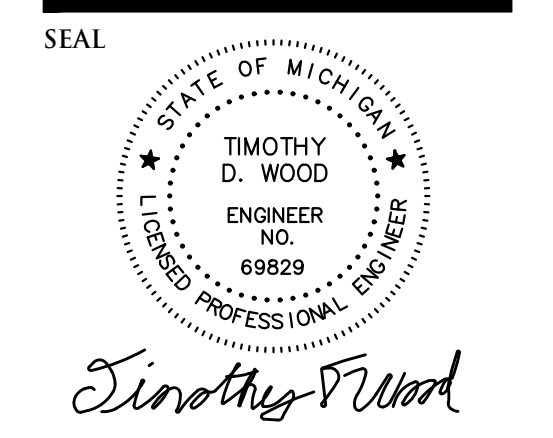
Water Encountered: None
At Completion: None
Boring Pit No. 5

TM - Standard Penetration Resistance
SS - 2" I.D. Split Spoon Sample
LS - Sectional Line Sample
ST - Shelby Tube Sample
AS - Auger Sample w - H2O, % of dry weight
d - Bulk Density, pcf
qu - Uncorrected Compression, psf
DP - Direct Push
RC - Rock Core



**CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS**

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM



PROJECT
Community Financial
Credit Union

CLIENT
Level 5
2018 Powers Ferry Rd. SE.
Suite 750
Atlanta, GA 30339
Contact:
David Lapp
Phone: (313) 949-9542
Email: dlapp@level5.com

PROJECT LOCATION
Part of the NE. 1/4 of
Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

SHEET
Geotechnical Report



DATE ISSUED/REVISED
2024-04-15 - ISSUED FOR PSP REVIEW
2024-07-02 - REVISED PER PSP REVIEW

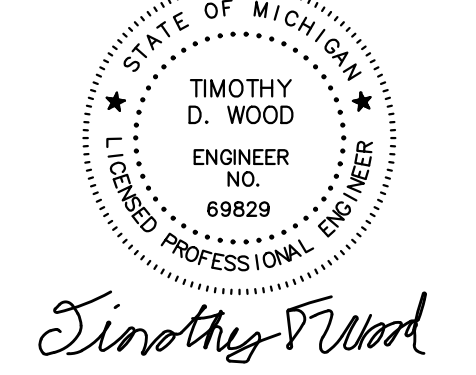
DRAWN BY:
B. Girbach
DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst

DATE:
March 26, 2024

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
N877 C9

SEAL



PROJECT
Community Financial
Credit Union

CLIENT
Level 5
2018 Powers Ferry Rd. SE.
Suite 750
Atlanta, GA 30339
Contact:
David Lapp
Phone: (313) 949-9542
Email: dlapp@level5.com

PROJECT LOCATION
Part of the NE. 1/4 of
Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

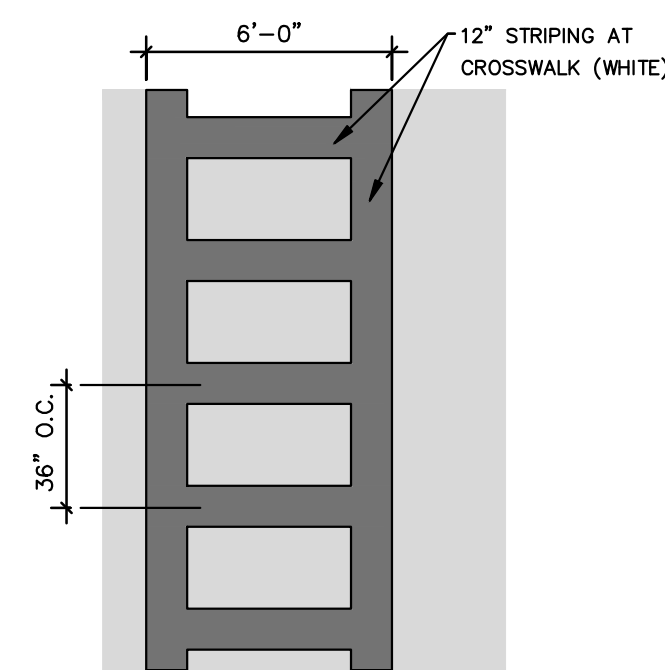
SHEET
Notes and Details



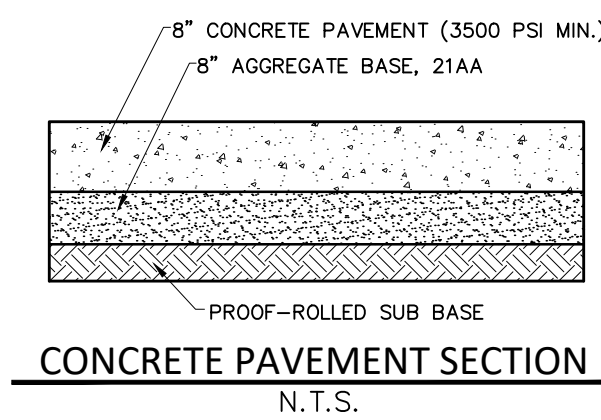
DATE ISSUED/REVISED
2024-04-15 - ISSUED FOR PSP REVIEW
2024-07-02 - REVISED PER PSP REVIEW

DRAWN BY:
T. Wood
DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst
DATE:
March 26, 2024
SCALE: N.T.S.

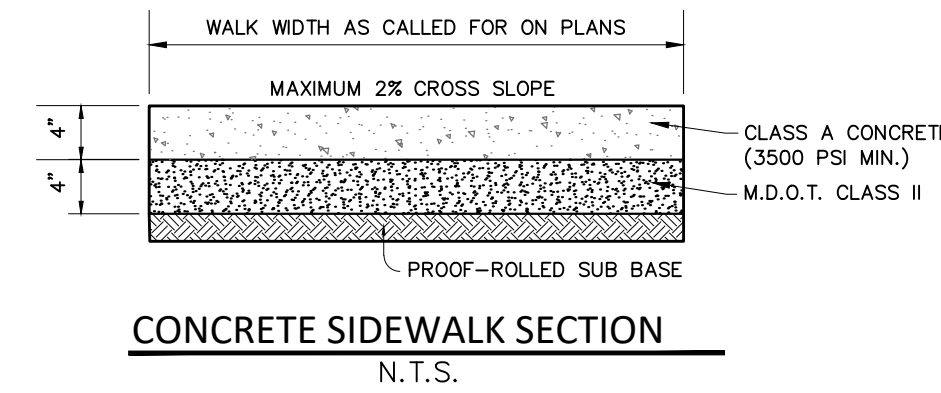
NFE JOB NO. SHEET NO.
N877 C10



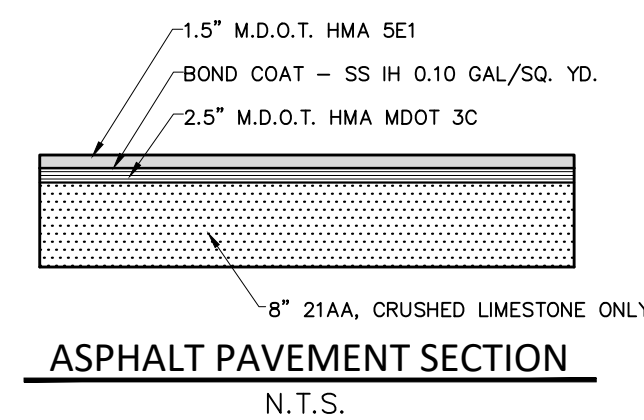
WHITE 12" STRIPING OUTLINE AND HATCH FILL
AT 36" O.C. PAVEMENT GRAPHICS
CROSSWALK DETAIL
SCALE N.T.S.



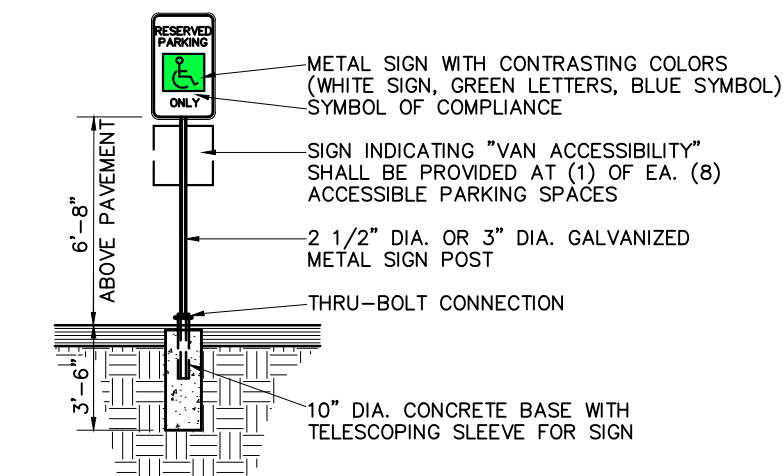
CONCRETE PAVEMENT SECTION
N.T.S.



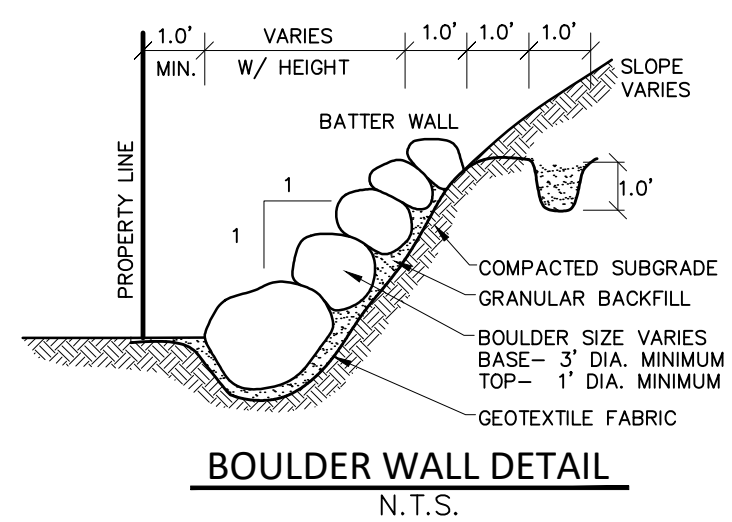
CONCRETE SIDEWALK SECTION
N.T.S.



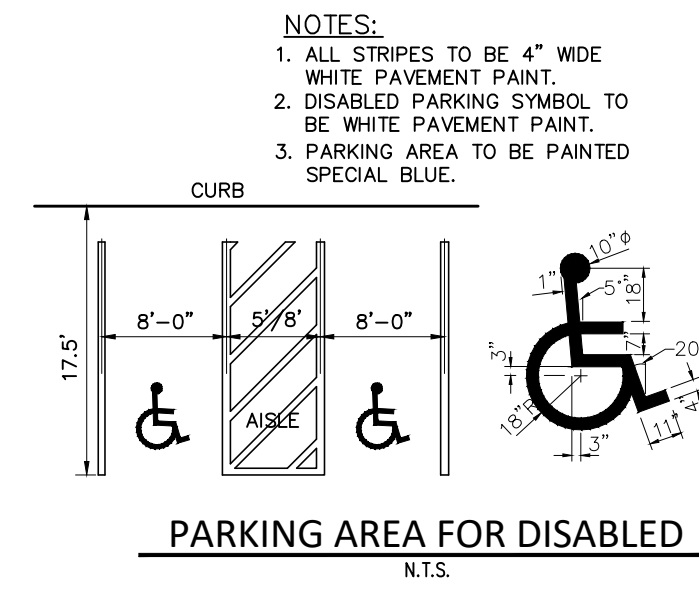
ASPHALT PAVEMENT SECTION
N.T.S.



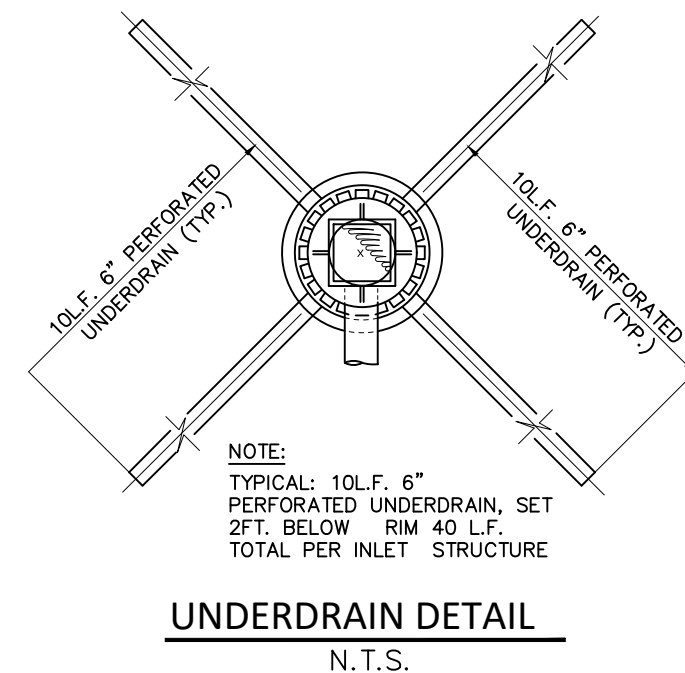
BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space



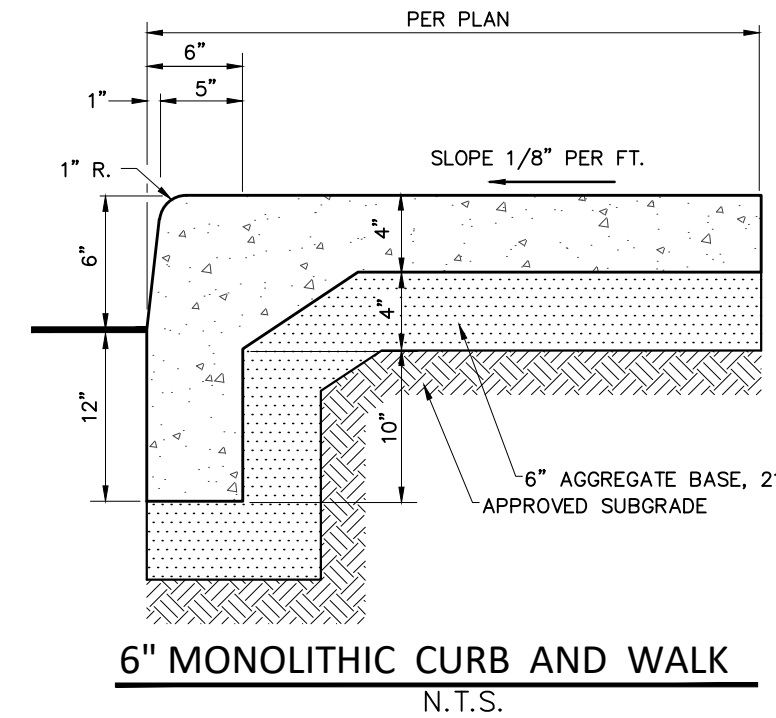
BOULDER WALL DETAIL
N.T.S.



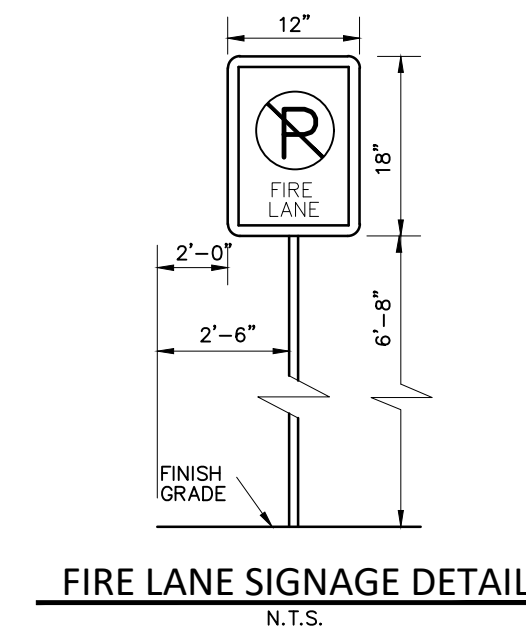
PARKING AREA FOR DISABLED
N.T.S.



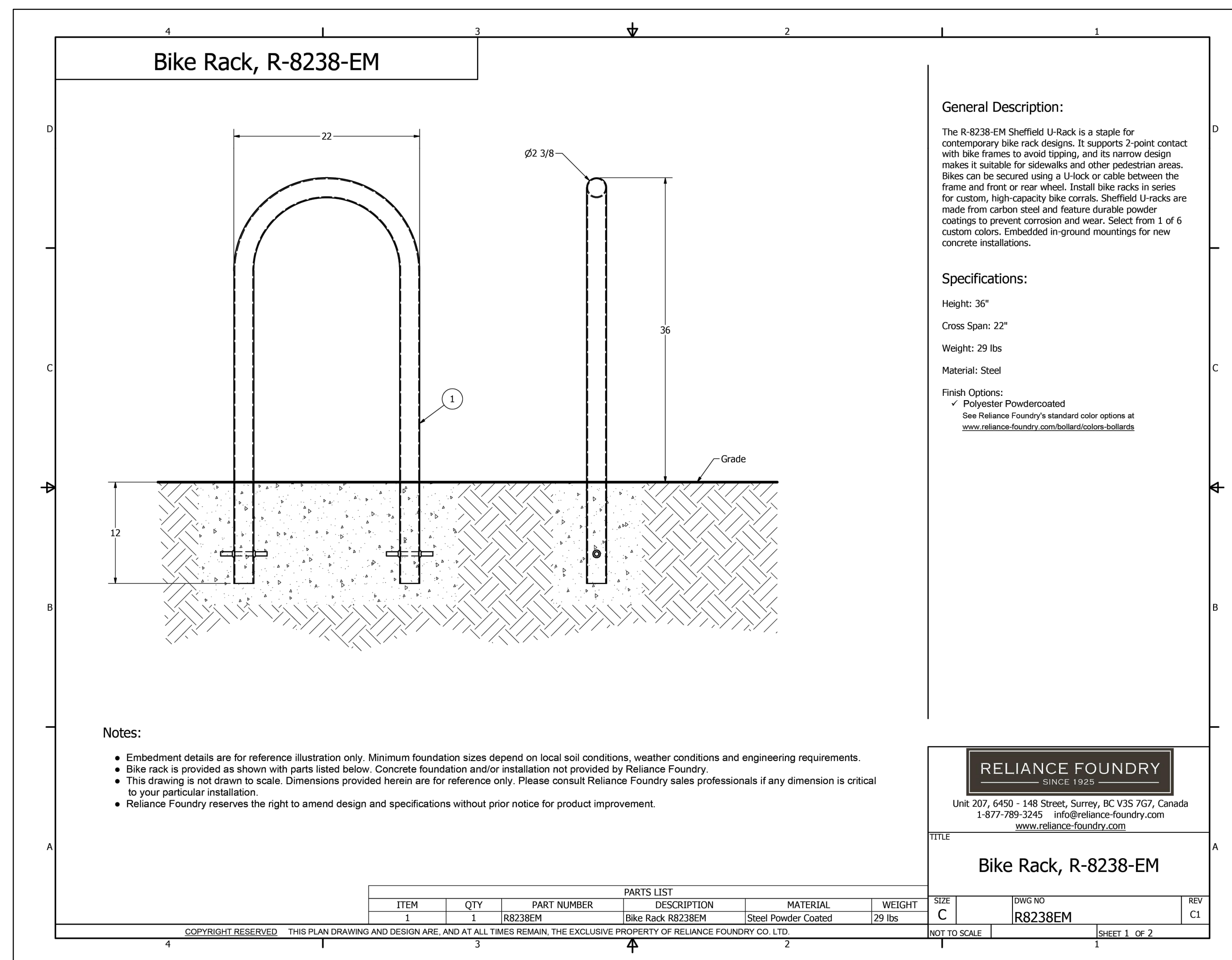
UNDERDRAIN DETAIL
N.T.S.

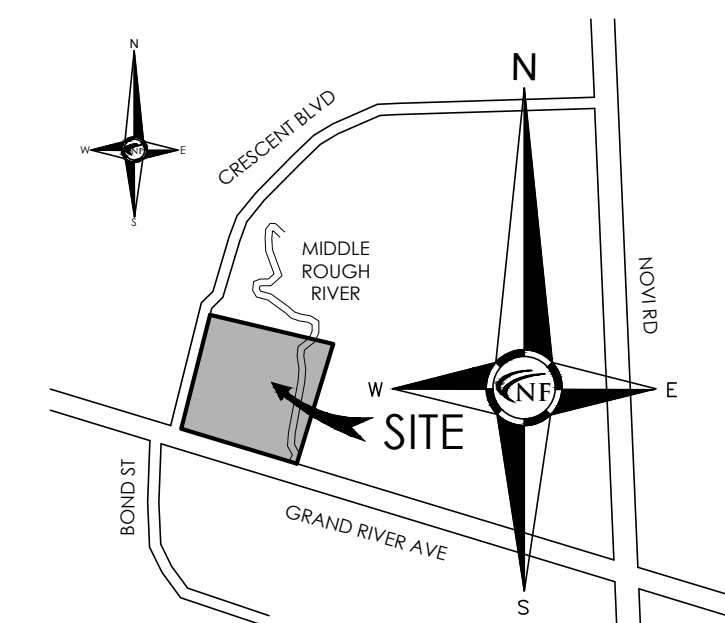


6" MONOLITHIC CURB AND WALK
N.T.S.

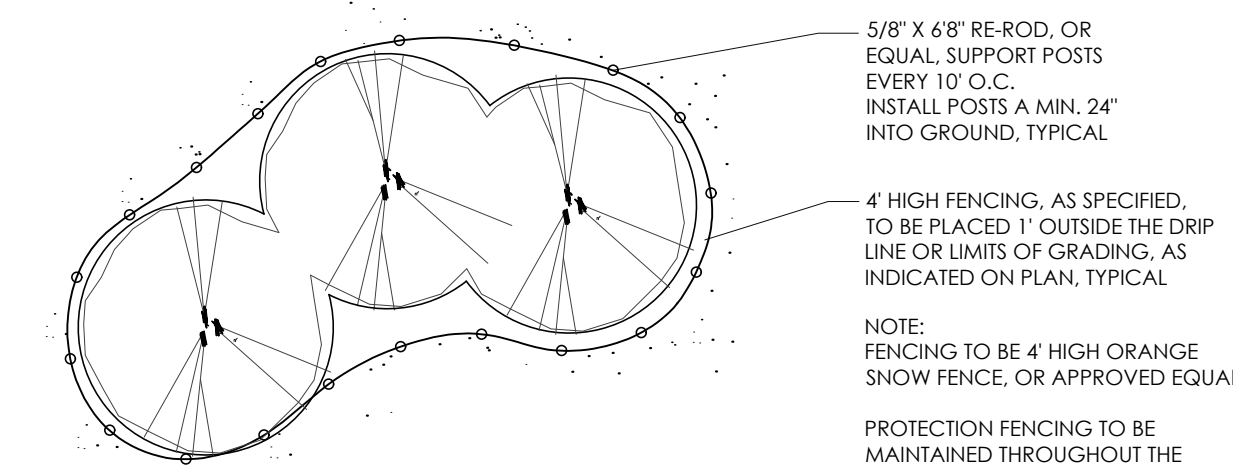


FIRE LANE SIGNAGE DETAIL
N.T.S.

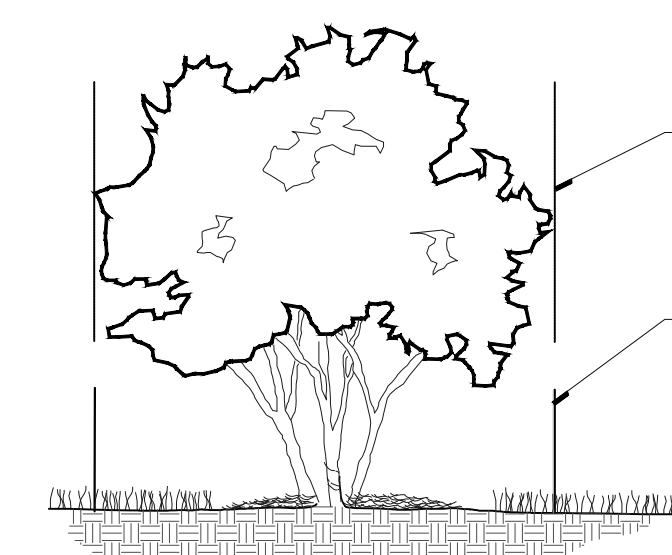




LOCATION MAP
N.T.S.



TREE PROTECTION DETAIL-PLAN
N.T.S.



TREE PROTECTION DETAIL-SECTION
N.T.S.

GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MANUALLY WITH A HYDRO-AXE.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNER'S REPRESENTATIVE.

REMOVAL SUMMARY

TOTAL TREES SURVEYED:	46 TREES
TOTAL TREES TO BE REMOVED:	36 TREES
LESS UNREGULATED TREES NOT IN WOODLAND:	0 TREES
LESS ROOM-AND-TREE:	2 TREES
NET TREES TO BE REPLACED:	34 TREES

REPLACEMENT SUMMARY

TOTAL REGULATED TREES TO BE REMOVED:	34 TREES
8-11" TREES TO BE REMOVED: 16 X 1 TREE =	16 TREES
11-20" TREES TO BE REMOVED: 11 X 2 TREES =	22 TREES
20" OR GREATER TREES TO BE REMOVED: 2 X 3 TREES =	6 TREES
SINGLE STEM REPLACEMENT TREES REQUIRED:	44 TREES

MULTI-STEM TREE REPLACEMENT	
TREE #8521 = 17' / 8" =	2 TREES
TREE #8527 = 40.1' / 8" =	5 TREES
TREE #8538 = 31.7' / 8" =	4 TREES
TREE #8552 = 20.1' / 8" =	3 TREES
TREE #8555 = 22.2' / 8" =	3 TREES
TOTAL MULTI-STEM REPLACEMENTS REQUIRED:	17 TREES
TOTAL REPLACEMENT TREES REQUIRED:	61 TREES (44+17)
TOTAL REPLACEMENT TREES PROVIDED:	61 TREES
DECIDUOUS TREES:	8 TREES
EVERGREEN TREES:	0 TREES
TOTAL TREES PROVIDED:	8 TREES

* MONIES WILL BE PAID INTO THE TREE FUND FOR 53 TREES THAT CANNOT BE ACCOMMODATED ON-SITE (\$3 x \$400 = \$21,200).

LEGEND:

- TREES TO BE REMOVED
- TREES TO REMAIN
- TREE PROTECTION FENCING

SOIL NOTE:

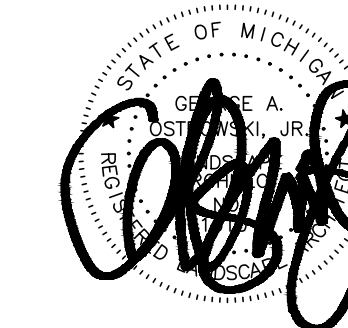
EXISTING SOILS ON-SITE ARE COMPRISED OF BOTH SLOAN SILT LOAM LOAM (26), W/ 0-1% SLOPES, AND URBAN LAND (59).



NOTE:
THE ENTIRE SITE IS LOCATED WITHIN
A REGULATED CITY WOODLAND.

NOTE:
NO PHRAGMITES OR JAPANESE KNOTWEED WAS
OBSERVED ON-SITE AT THE TIME OF THE SURVEY.
SHOULD ANY BE ENCOUNTERED DURING CONSTRUCTION,
IT SHALL BE ERADICATED IN COMPLIANCE WITH ALL
STATE AND LOCAL GUIDELINES.

SEAL



PROJECT
Level 5 - Grand River

CLIENT
Level 5
2018 Powers Ferry Rd. SE,
Suite 750
Atlanta, GA 30339
Contact:
David Lapp
Phone: (313) 949-9542
Email: dlapp@level5.com

PROJECT LOCATION
Part of the NE, 1/4 of
Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

SHEET
Tree Preservation Plan

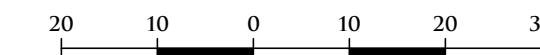


REVISIONS
04/15/2024 ISSUED FOR PRELIMINARY SITE PLAN
07/22/2024 REVISED PER CITY REVIEW

DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski

DATE:
03-28-2024

SCALE: 1" = 20'



NFE JOB NO. SHEET NO.
N877 L1

SEAL



PROJECT
Level 5 - Grand River

CLIENT
Level 5
2018 Powers Ferry Rd. SE.
Suite 750
Atlanta, GA 30339
Contact:
David Lapp
Phone: (313) 949-9542
Email: dlapp@level5.com

PROJECT LOCATION
Part of the NE. 1/4 of
Section 15
T. 1N., R. 8E.
City of Novi,
Oakland County, MI

SHEET
Landscape Notes
and Details



REVISIONS
04/15/2024 ISSUED FOR PRELIMINARY SITE PLAN
07/22/2024 REVISED PER CITY REVIEW

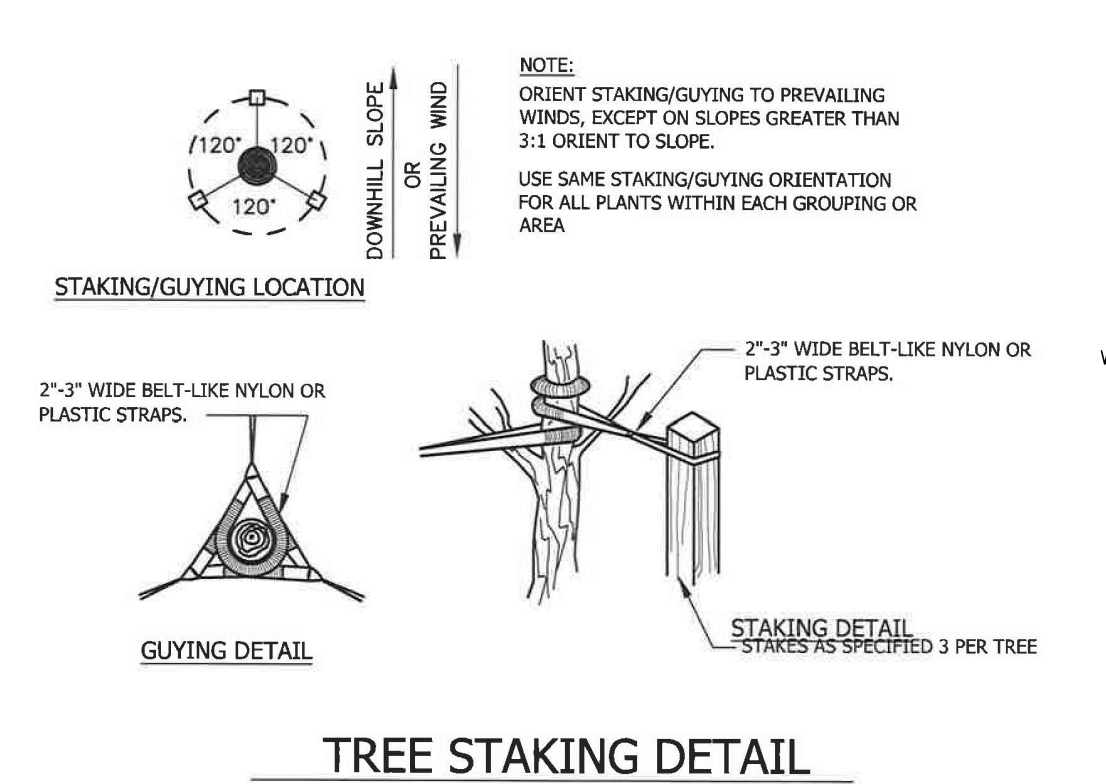
DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski

DATE:
03-28-2024

SCALE: VARIES

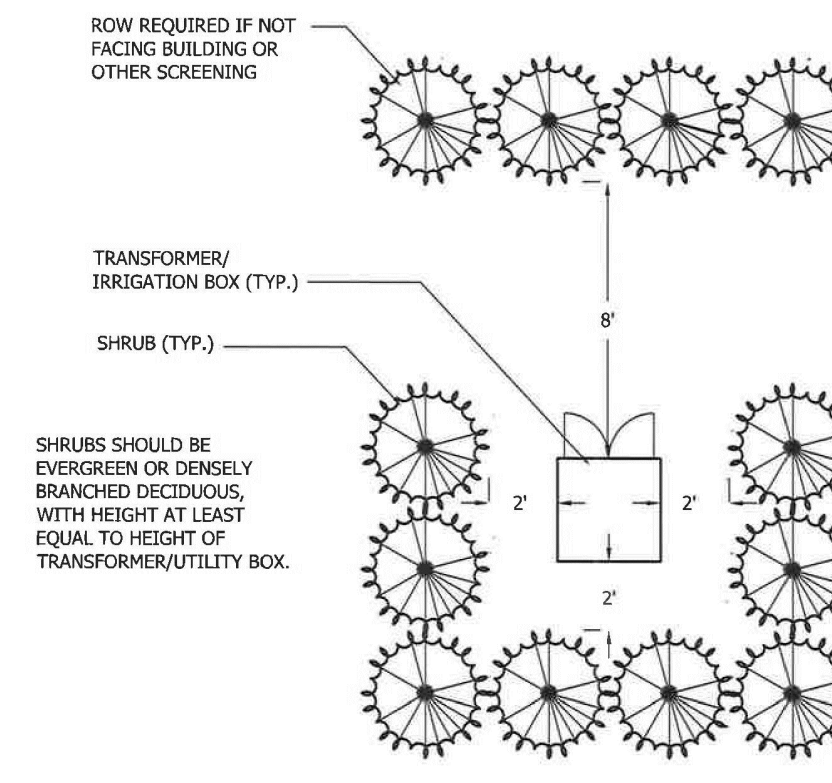
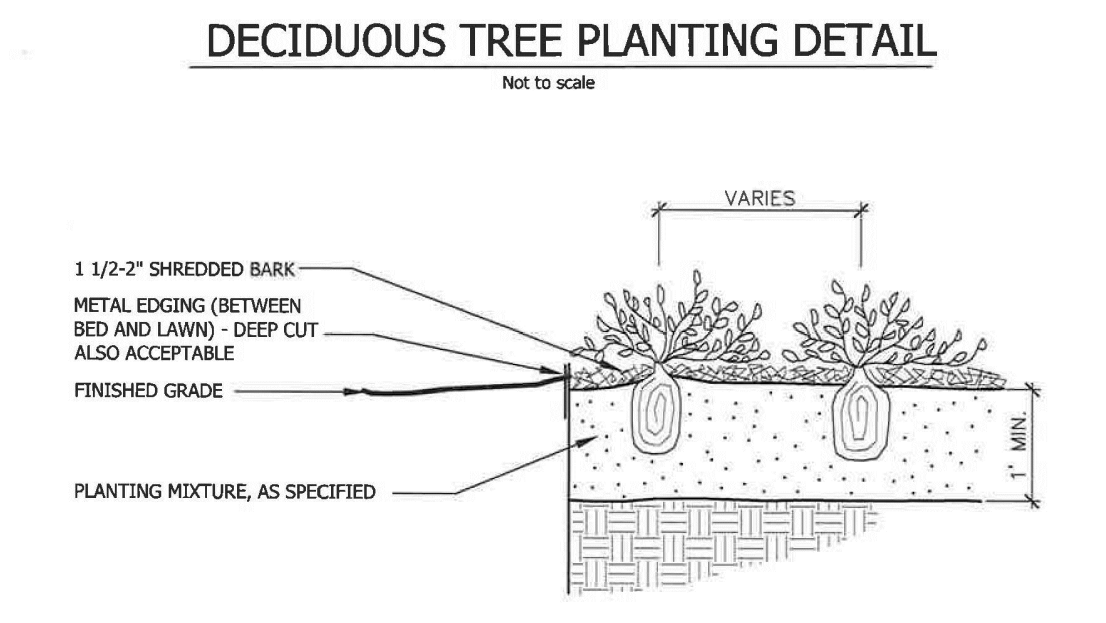
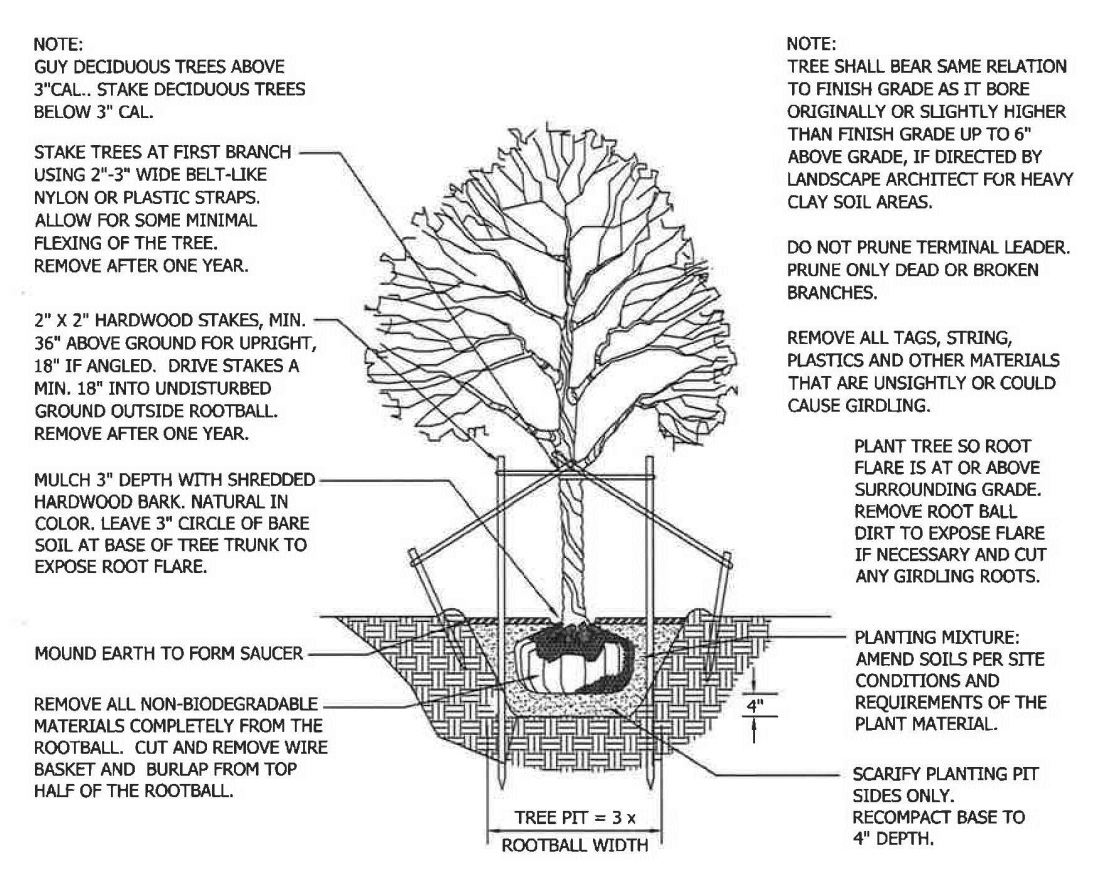
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NFE JOB NO. SHEET NO.
N877 L3

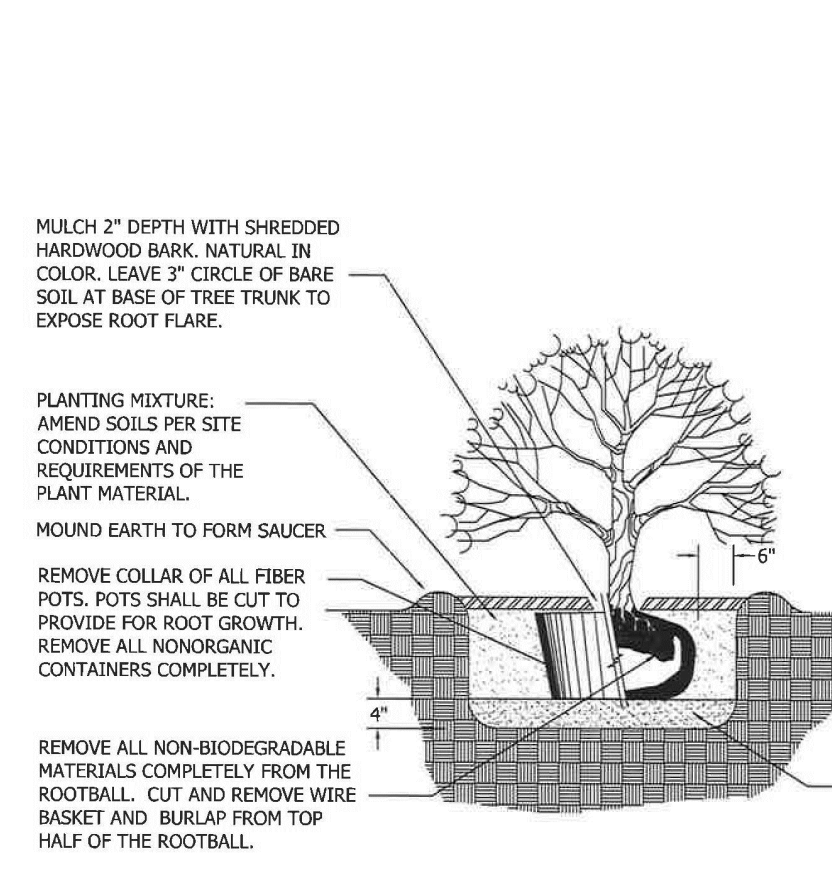


GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND FIELD, THE PLAN SHALL GOVERN QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ANY DAMAGE OR INTERUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNACCEPTABLE SITE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULLY WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE. ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO SURVIVE A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR WILL SUPPLY FINISHED GRADE AND EXCAVATE AS NECESSARY TO SUPPLY PLANT AND DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 4" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE. SLOW-RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT BEDS BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATE.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 "DAIRY DOO" COMPOST, MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDDED HARDWOOD BARK, SPREAD TO A DEPTH OF 2" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUND-COVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PICES ON INCONSISTENT SIZE.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VERTICAL CONDITION THROUGHOUT THE GUARANTEED PERIOD.
- THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO RECTIFY ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL TREE AND MULCH (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM PONDING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.



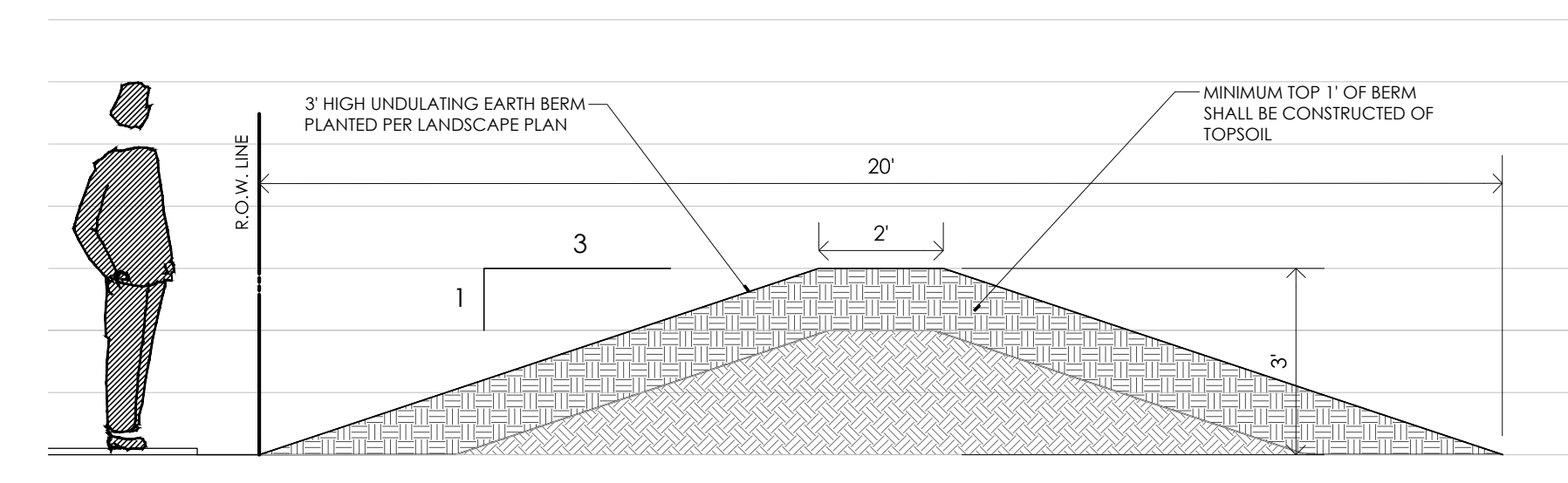
TRANSFORMER SCREENING DETAIL



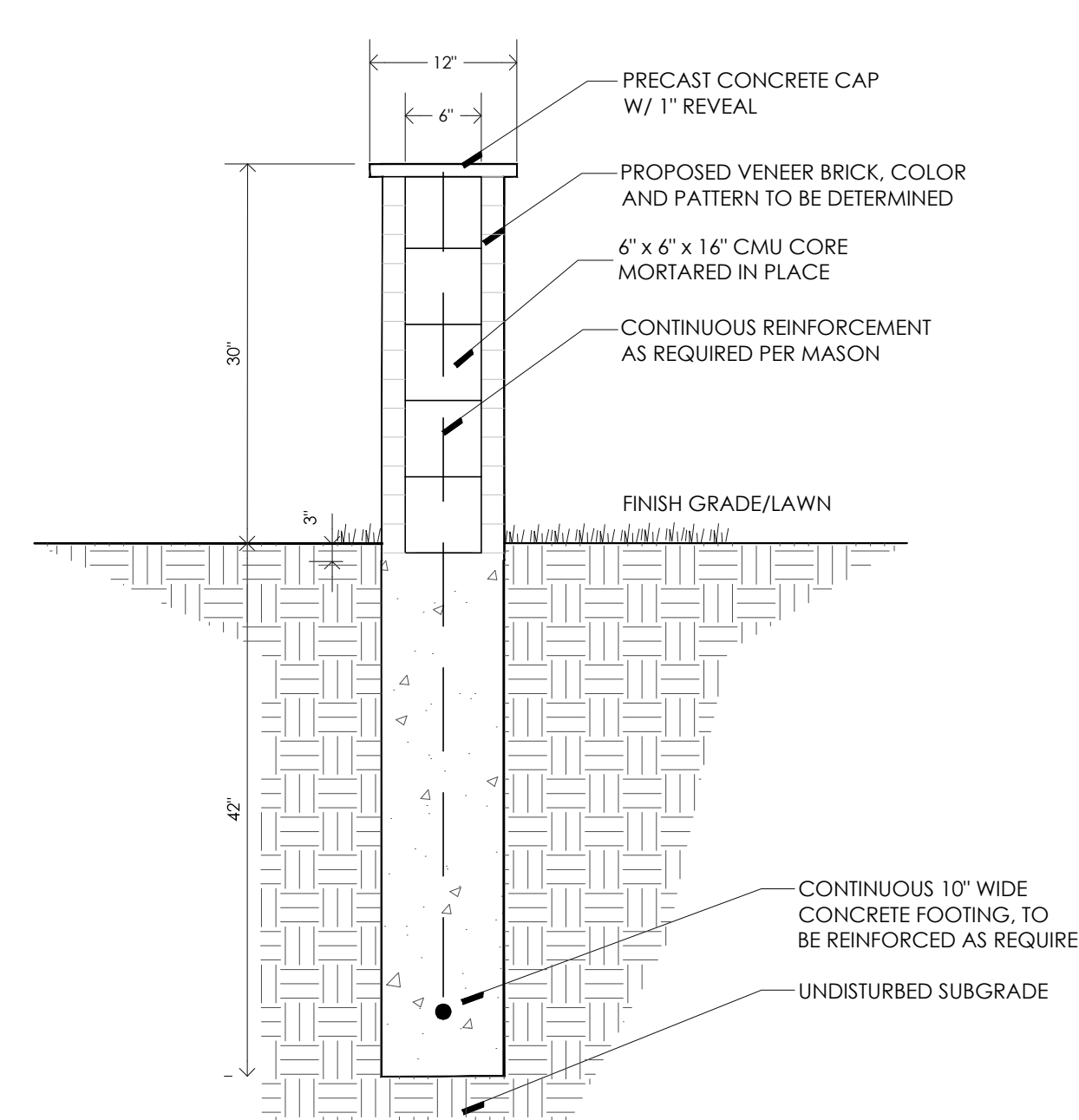
SHRUB PLANTING DETAIL



BASIS OF CALCULATION



TYPICAL 3' HT BERM CROSS-SECTION



30' HT. BRICK WALL DETAIL

W:\CS00\0001\Novi\0000\8420\8420_LANDSCAPE\N877_L3.dwg, 7/1/2024 1:40:12 PM

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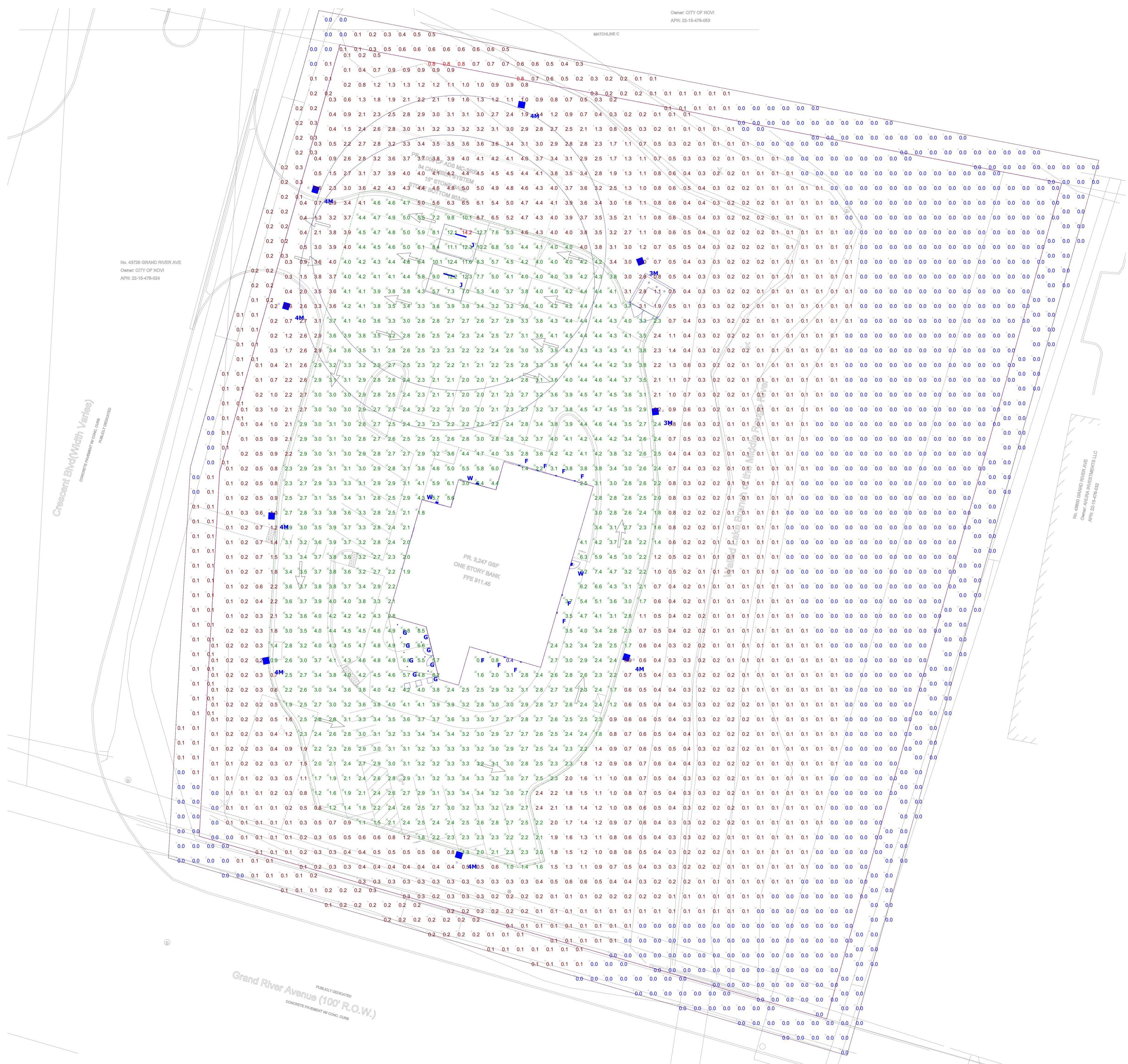
H
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D
C
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1 2 3 4 5 6 7 8 9 10

- GENERAL NOTE:
- ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
 - FLASHING LIGHT SHALL NOT BE PERMITTED.
 - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATION SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.
 - HOURS OF OPERATIONS
 - Mon-Thurs: 9a.m. - 5p.m.
 - Fri: 9a.m. - 6p.m.
 - Sat: 9a.m. - 1p.m.
 - ALL LIGHT FIXTURES SHALL BE 70 CRI OR 80 CRI.
 - ALL LIGHT FIXTURES SHALL BE CUT OFF TYPE.
 - INDOOR LIGHTING SHALL NOT BE THE SOURCE OF EXTERIOR GLARE OR SPILLOVER.

Description	Symbol	Avg	Min	Max	Max/Min	Avg/Min	Max/Avg
Parking	X	3.5 fc	0.4 fc	14.2 fc	35.5:1	8.8:1	4.06
Site Calc Zone	+	1.5 fc	0.0 fc	14.2 fc	N/A	N/A	9.47
10' Beyond Property Line	+	0.1 fc	0.0 fc	0.8 fc	N/A	N/A	8.00

Symbol	Label	Mounting Height	Quantity	Manufacturer	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
	3M	25'-0" AFG	2	Lithonia Lighting	D-Series Size 1 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 3 Extreme Backlight Control	1	11190	0.9	123.94
	4M	25'-0" AFG	7	Lithonia Lighting	D-Series Size 1 Area Luminaire P4 Performance Package 3000K CCT 70 CRI Type 4 Extreme Backlight Control	1	11557	0.9	123.94
	G	20'-0" AFG	8	v2 Lighting Group	TUBE 200 with 1000lm LED and 2 foot tube	1	1300	0.9	9.5
	J	10'-0" AFG	2	LumenWex	Via Wet	1	3878	0.9	47.06
	W	12'-0" AFG	3	Lithonia Lighting	WDGE1 LED WITH P2 - PERFORMANCE PACKAGE, 3000K, 80CRI, VISUAL COMFORT WIDE OPTIC	1	1876	0.9	15.0178
	F		9	Oxygen Lighting, 201 Railroad Road, Fort Worth, TX 76106, USA	Catalog Number: 3-737-16 Elf Wall mounted, cast aluminum housing, formed white enamel aluminum LED plate, translucent white plastic enclosure, 60 white LEDs, two Harvard Engineering LEDENG-152-930-NL LED boards Two LTF DALI2W350C1834D010-0014 dimming LED drivers, 120.0Vac, 60.00Hz, 0.2200A, 25.73W, 0.974PF, 8.9%THD(I)	1	695	0.9	25.7



1 SITE - PHOTOMETRICS PLAN
E101 1/4" = 1'-0"



LEVELS, LLC
2018 POWERS FERRY RD SE
SUITE 750
ATLANTA, GA 30339
PHONE (404) 761-0008
www.levels.com



CFDU
500 S HARVEY ST
PLYMOUTH, MI 48170
817-937-2328
www.cfdou.org



PES PROJECT NUMBER: 02XXXXX
PES MI COA NUMBER: XXXXXXXX
EXPIRATION DATE: XXXXXXXX



200 Galleria Pkwy
Suite 1150
Atlanta, Ga 30339
404.242.4240 fax
404.601.9859 fax
charles.c@ceslinger.com
CE#24073

COMMUNITY FINANCIAL CU

W GRAND RIVER AVE & COOLEY ST
DETROIT, MI 48219

JOB NUMBER
2016-5100.51

REVISIONS
DESCRIPTION DATE

SHEET NAME
SITE - PHOTOMETRICS PLAN

SHEET NUMBER
E101

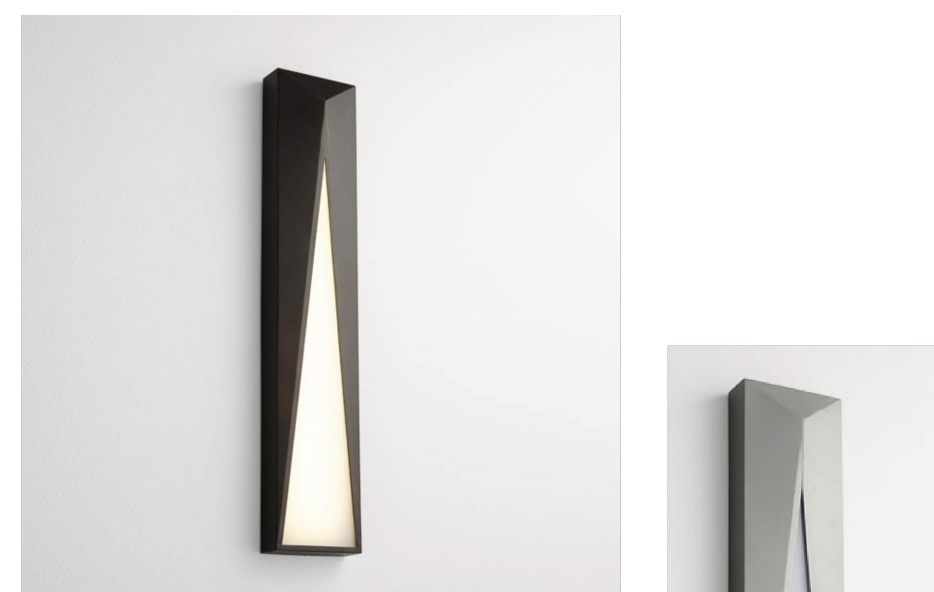
MAY 8, 2024 - BASIS OF DESIGN

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ELIF Outdoor
3-737-xx

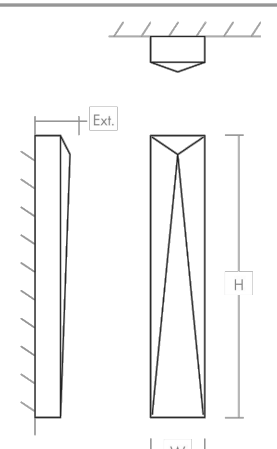


FIXTURE TYPE _____ LOCATION _____
PROJECT _____ DATE _____



-22 Oiled Bronze -16 Gray

LIGHT SOURCE 2 x 10.1W LED, 3000K, CRI 90
LUMINAIRE POWER 24.1W at 120V
RATED LIFE 60000 hr RL
OPTIONAL COLOR TEMPERATURES 2700K, 3500K, 4000K
LUMEN OUTPUT Delivered: 695 lm (LM-79)
INPUT VOLTAGE 120V to 277V AC, 50/60Hz
DRIVER OUTPUT 700mA, 29.4W max power
DIMMING TRIAC and ELV dimming at 120V AC; 0-10V dimming, 100% to 1% current output
CONSTRUCTION Cast Aluminum and Polycarbonate
DIFFUSER -White Polycarbonate
FINISHES Gray (-16), Oiled Bronze (-22)
MOUNTING 4" Octagonal J-Box*, 4" Square J-Box** with a single device mud ring** * Deep J-Box (Required to house driver) ** Mud ring must be mounted horizontally (Installer must provide a bead of caulk between fixture housing and mounting surface)
STANDARDS UL Wet listed, ADA Compliant, Conforms to UL STD 1598, Certified CAN/CSA STD C22.2 No 250.0



DIMENSIONS
W: 4.25"
H: 22.00"
Ext: 2.75"
M.C.: 11.00" From top of fixture

Order example for standard fixture:
3-737-22 [x- Voltage - xxx-Sequence # - xx-Finish]
3: 120V to 277V
 Order example for optional color temperatures: **3-737-2722**
27: 2700K, 35: 3500K, 40: 4000K



201 Railhead Road, Fort Worth, TX 76106 - Tel. (877) 607-0202 - www.oxygenlighting.com

D-Series Size 1
LED Area Luminaire



Specifications
EPA: 0.69 ft² (0.64 m²)
Length: 32.71" (831.0 mm)
Width: 14.26" (362.0 mm)
Height H1: 7.88" (200.0 mm)
Height H2: 2.73" (69.0 mm)
Weight: 34 lbs (15.4 kg)

Introduction
 The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.
 The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

Ordering Information **EXAMPLE: DSX1 LED P7 40K 70CRI T3M MVOLT SPA NLTAIR2 PIRHN DBDXD**

Series	LEDs	Color Temperature	Color Rendering Index	Distribution	Voltage	Mounting
DSX1 LED	Forward optics	(this section 70CRI only)	70CRI	ATR Automotive front row	MVOLT (120V-277V) ¹⁴	SPA Square pole mounting (Ø8 drilling)
P1	P6	30K 3000K	70CRI	T1S Type I short	MVOLT (247V-480V) ¹⁴	RPA Round pole mounting (Ø8 drilling)
P2	P7	40K 4000K	70CRI	T2M Type II medium	XVOLT (277V-480V) ¹⁴	RPA Round pole mounting (Ø5 drilling)
P3	P8	50K 5000K	70CRI	T3M Type III medium		RPA Round pole mounting (Ø5 drilling)
P4	P9	(this section 80CRI only, extended lead times apply)	80CRI	T3LG Type III low glare ¹⁵	208 V ¹⁶	RPA Round pole mounting (Ø5 drilling)
P5			80CRI	T3M Type III medium	240 V ¹⁶	RPA Round pole mounting (Ø5 drilling)
P10	P12	27K 2700K	80CRI	T4LG Type IV low glare ¹⁵	347 V ¹⁶	RPA Round pole mounting (Ø5 drilling)
P11	P13	35K 3500K	80CRI	T4M Type IV medium	480 V ¹⁶	RPA Round pole mounting (Ø5 drilling)
		40K 4000K	80CRI	TTM Forward throw medium		WBA Wall bracket ¹⁸
		50K 5000K	80CRI			MA Max arm adapter (mounts on 2.31" ØD horizontal track)

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WDGE1 LED
Architectural Wall Sconce



Specifications
Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: (without options) 9 lbs

Introduction
 The WDGE1 family is designed to meet specifier's every wall-mounted lighting need in a widely accepted shape that blends with any architecture. The clean, rectangular design comes in four sizes with lumen packages ranging from 1,200 to 25,000 lumens, providing true site-wide solution.
 WDGE1 delivers up to 2,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of WDGE1, with its integrated emergency battery backup option, makes it an ideal over-the-door wall-mounted lighting solution.

WDGE1 LED Family Overview

Luminaire	Optics	Standard EM, 0°C	Cold EM, -20°C	Sensor	P0	P1	P2	P3	P4	P5	P6
WDGE1 LED	Visual Comfort	4W		—	750	1,200	2,000	—	—	—	—
WDGE2 LED	Visual Comfort	10W	18W	Standalone / r/light	—	1,200	2,000	3,000	4,500	6,000	—
WDGE3 LED	Precision Reflective	10W	18W	Standalone / r/light	700	1,200	2,000	3,000	4,500	—	—
WDGE4 LED	Precision Reflective	15W	18W	Standalone / r/light	6,000	7,500	8,500	10,000	12,000	—	—
				Standalone / r/light	—	12,000	16,000	18,000	20,000	22,000	25,000

Ordering Information **EXAMPLE: WDGE1 LED P2 40K 80CRI VF MVOLT SRM PE DBDXD**

Series	Package	Color Temperature	CRI	Distribution	Voltage	Mounting
WDGE1 LED	P0	27K 2700K	80CRI	VF Visual comfort forward throw	MVOLT 347 ¹⁷	SRM Surface mounting bracket
	P1	35K 3500K	90CRI	VW Visual comfort wide		KW Indirect Canopy/Ceiling Washer bracket (dry/damp locations only) ¹⁸
	P2	40K 4000K				Shipped separately
		50K 5000K				AW5 3/8" Architectural wall spacer ¹⁹
						PBW Surface-mounted back box (log, left, right, conduit entry) (see where there is no junction box available)

Options	Finish
EWB Emergency battery backup, Certified in CA Title 20 MAESBS (40V, 0°C min) ²⁰	DBRZD Dark bronze
DS DSU Dual switching (comes with 2 drivers and 2 light engines; see page 1 for details)	DBLD Black
DMG 0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)	DNAD Natural aluminum
BCE Bottom conduit entry for back box (PBBX), total of 4 entry points.	DNWD White
BAA Bay America's Act Compliant	DSZD Sandstone
DSSE Dual Switching (1 Driver, 2 Light Engines)	
CT Castal Construct ²¹	

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VIA WET
SURFACE DIRECT STATIC WHITE



DESCRIPTION
 Via Wet offers architectural lighting for wet locations in both exterior and interior applications. With a simple 3 1/4" high by 4 1/2" wide profile of extruded aluminum, Via Wet can be installed in recessed, ceiling, wall, or pendant mounting.
 Fully sealed, Via Wet is suitable for extreme weather condition, -20°C/-4°F to 40°C/104°F. A choice of output options provides up to 1000 lumens per foot section.

Order Guide **Up to 89 lm/W performance**

LUMINAIRE ID	DISTRIBUTION	PROTECTIVE OPTIC	OPTIC	LIGHT SOURCE	LUMEN PACKAGE
VIAWETS	D			SW	
VIAWETS - Via Wet Surface	D - Direct	TMG - Tempered Clear Glass PVC - Clear Polycarbonate	HLO - High-Efficiency Lambertian Optic DMO - Precision Micro-Prism Optic	SW - Static white 80CRI - 80 CRI 90CRI - 90 CRI	500LMF - Low output 500 lm/ft 750LMF - Medium output 750 lm/ft 1000LMF - High output 1000 lm/ft

COLOR TEMP.	LUMINAIRE LENGTH	VOLTAGE	DRIVER ¹	ELECTRICAL
27K - 2700K 30K - 3000K 35K - 3500K 40K - 4000K 50K - 5000K	#FT - Specify nominal length (ft) in 1 foot increments Standard nominal lengths: Single units: 2 and 4' Continuous runs: lengths over 4'	120V - 120V 277V - 277V UNV - 120V/277V 347V - 347V	D1 - 1% 0-10V DA - DALI LTD1 - Low-temperature 10% 0-10V *PHE (Power over Ethernet) compatible. Consult factory for details. *Specify total number of circuits (N) including any circuits required for electrical section options. Provide drawing or layout specifications. *Minimum 4' fixture. *Not available with 347V. *Not available for environments where the ambient temperature falls below 0°C (32°F).	1C - 1 circuit #MC - Multi circuit EC - Emergency-powered fixture NL - Night light fixture CTD - Generator transfer device fixture

ELECTRICAL SECTIONS (optional) ^{2,10}	POWER FEED	MOUNTING	FINISH	OPTION
HEC# - Emergency-powered section NLC# - Night light section HDL# - Daylight section HCTD# - H.C.T.D. - generator transfer device section NA - None	TF - Top feed BF - End feed	GSM - Gasketed surface mount	W - Matte white aluminum CF - Custom finish, specify finish	NATA - Natriatum finish NA - None

3727 Côte Verte St-Laurent, Québec, Canada H4E 2C3
 1-800-228-4264 • F: (514) 931-4662
 www.lumenwerx.com

TUBE 200 LX
PENDANT



DESCRIPTION
 Tube 200 LX is a modern, minimalist pendant light fixture. It features a sleek, cylindrical design with a clear lens and a stainless steel finish. The fixture is suitable for both indoor and outdoor use and provides a warm, ambient glow.

SPECIFICATIONS
Source: Xicato XTM LED module - up to 2000 lumens
CCT: 2700K, 3000K, 3500K or 4000K
Color Consistency: 1x2 SDCM (MacAdam) along BBL, CCT +/- 40K to 70K, Duv +/- .001
CRI (Ra): 83 or 98
Driver / Location: Included / Remote mount or deep canopy options
Dimming: 0-10V or phase dimming to 10% standard; DALI, DMX and 1% dimming available
Input Voltage: 100 to 277VAC, phase dimmable versions are 120VAC only
Power: Up to 24 watts max, depending on LED module / driver
Diffuser: Satinized Acrylic
Material: CNC machined aluminum, stainless steel hardware
Finish: Powder coat - TGIC polyester for exterior and interior use
Weight: 2 lb. (0.9 kg)
Location: Listed for Wet & Damp locations
Approvals: ETL Listed to UL 1598, 210B, 8750 and CSA C22.2 #9 & #250.0
LED Life: > 50,000 hours at 80% lumen maintenance based on IESNA LM-80-08
Warranty: Lifetime Limited Warranty - see warranty for details
IES Files: LM-79-08 IES files available
Modifications: Any modification or customization is possible - consult factory

Driver	Mounting	Output	CRI	C.C.T.	Tube Length	Shell Color	Suspension	Options
R-Remote D-Deep Canopy 2-Other POW/NALED	N=None W=Wall V=Vestibule P=Pendant Z=Custom	Ø7-100 in 10-600 in 13-1500 in 20-2000 in	83-83 98-98 35-3500K 40-40	27-2700K 30-3000K 35-3500K 40-40	22-22" 48-48" 70-70" 94-94" 22-Custom	XX (see chart on page 4) ZZ-Custom	BK-Black Cord WH-White Cord CB-Clear Cord CC-Colored Cord	RS# - Rigid Stem SS# - Swivel Stem # - length in inches

Example Part Number: **TZLP-RND-13827-4653BK**
 TUBE 200 LX Pendant - Remote Driver, No Dimming, Damp Location • 1300 in, 83 CRI, 2700K • 46" Tube, 83 Red Shell, Black Cord

TYPE	DESCRIPTION	MOUNT	VOLTAGE	LAMP QTY	LAMP WATTAGE/TYPE	MANUFACTURER	CATALOG NUMBER	NOTES
3M	SITE POLE LIGHTING; SINGLE HEAD, TYPE 3 BACKLIGHT CONTROL DISTRIBUTION, 11,190 LUMENS. FINISH BLACK.	POLE 22"-0" AFG	208		123.9W LED 3000K	LITHONIA LIGHTING	DSX1-LED-P4-30K-70CRI-BLC3-208-DBLXD	
4M	SITE POLE LIGHTING; SINGLE HEAD, TYPE 4 BACKLIGHT CONTROL DISTRIBUTION, 11,557 LUMENS. FINISH BLACK.	POLE 22"-0" AFG	208		123.9W LED 3000K	LITHONIA LIGHTING	DSX1-LED-P4-30K-70CRI-BLC4-208-DBLXD	
G	EXTERIOR DECORATIVE PENDANT; ENTRY. 1300 LUMENS. SATIN BLACK FINISH WITH BLACK CORD	PENDANT	120		11.7W LED 3000K	ALW	TZLP-D-V-W-13-83-30-22-SB-BK	
J	LED 4' LINEAR LIGHT FIXTURE; EXTERIOR ITM. 1000 LUMENS PER FOOT	SURFACE	120		11.7W/FT LED 3000K	LUMENWERX	VIAWETS-D-TMG-HLO-SW-80CRI-1000LMF-3000K-4FT-120-D1-GSM-W	
W	EXTERIOR WALLPACK WITH INTEGRAL BATTERY BACK UP, BLACK FINISH, 2000 LUMENS	WALL 10'-0" AFF UON	120		19W LED 3000K	LITHONIA LIGHTING	WDGE2-LED-P2-30K-80CRI-VF-MVOLT-PE-DBLXD	
F	EXTERIOR DECORATIVE WALL SCONCE.	WALL	120	2	10.1W LED 3000K	OXYGEN LIGHTING	3-737-3022	

NOTES:



LEVELS, LLC
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 www.cfdug.org



W GRAND RIVER AVE & COOLEY ST
 DETROIT, MI 48219

JOB NUMBER
2016-5100.51
REVISIONS
 # DESCRIPTION DATE

SHEET NAME
LIGHT FIXTURE SPECIFICATION SHEETS

SHEET NUMBER
E102

MAY 8, 2024 - BASIS OF DESIGN



NORTHWEST ELEVATION

- 60% BRICK
- 36% METAL FINISH (INCLUDING RTU SCREEN¹)
- 4% CONCRETE



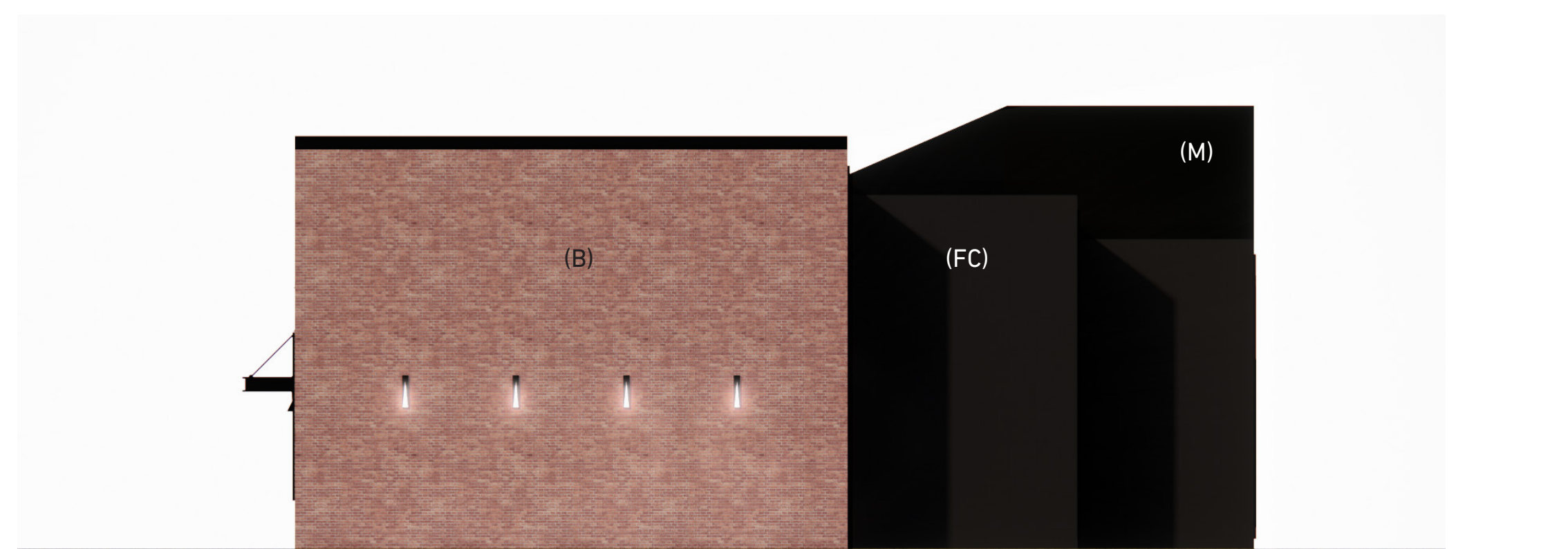
SOUTHWEST ELEVATION

- 66% BRICK
- 31% METAL FINISH (INCLUDING VISIBLE ROOFING & RTU SCREEN¹)
- 3% CONCRETE



SOUTHEAST ELEVATION

- 75% BRICK
- 23% METAL FINISH (INCLUDING RTU SCREEN¹)
- 2% CONCRETE

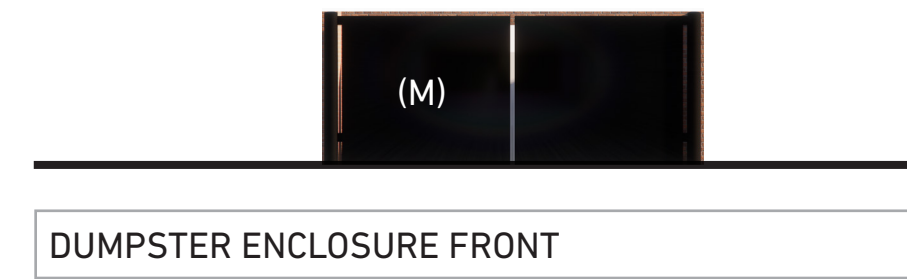


NORTHEAST ELEVATION

- 57% BRICK
- 35% FIBER CEMENT
- 8% METAL FINISH (INCLUDING VISIBLE ROOFING)

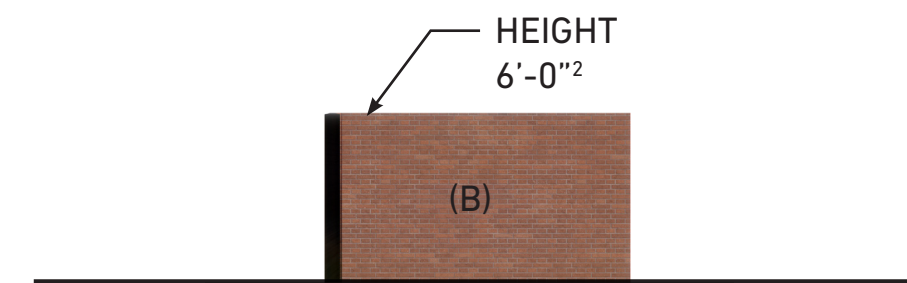
¹ ROOF TOP UNITS WILL BE SCREENED FROM VIEW FROM ALL VANTAGE POINTS BOTH ON-SITE AND OFF-SITE USING MATERIALS IN COMPLIANCE WITH THE FAÇADE ORDINANCE

² THE DUMPSTER ENCLOSURE WILL HAVE BRICK TO MATCH THE BUILDING ON 3 SIDES OF SUFFICIENT HEIGHT TO CONCEAL THE DUMPSTER WITHIN



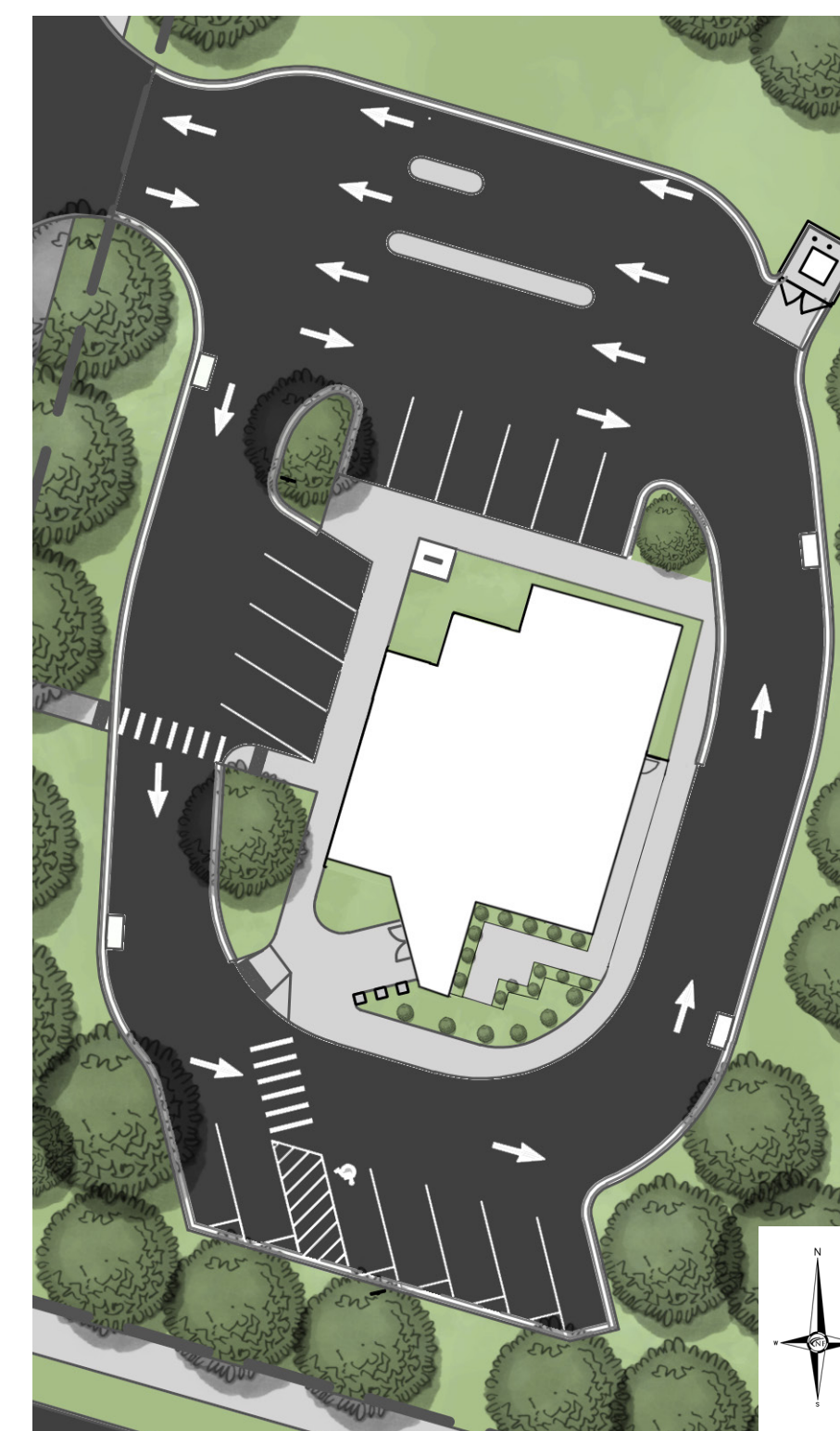
DUMPSTER ENCLOSURE FRONT

- 98% METAL FINISH
- 2% BRICK



DUMPSTER ENCLOSURE SIDES / BACK

- 98% BRICK
- 2% METAL FINISH



ARCHITECTURAL SITE PLAN



(B) BRICK



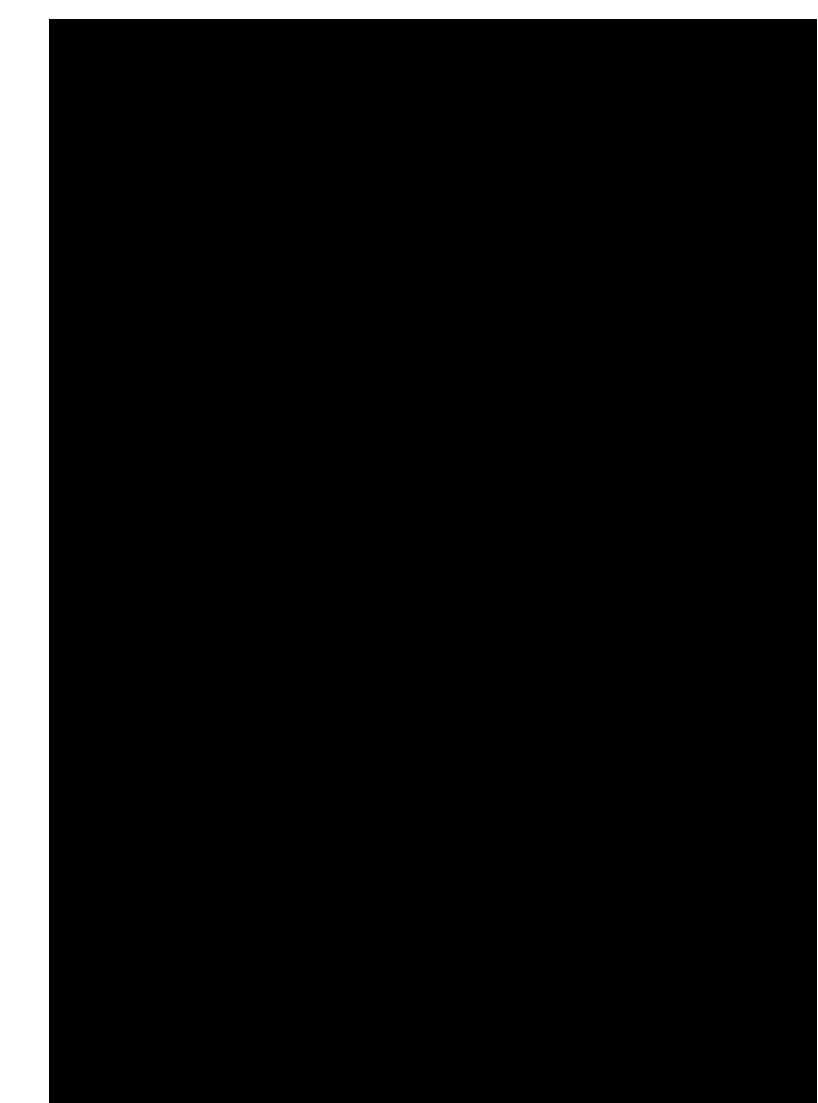
(EP-1) MAIN EXTERIOR PAINT



(EP-2) EXTERIOR CEILING PAINT



(C) CONCRETE



(M) ACCENT METAL



(FC) FIBER CEMENT