



**ZONING BOARD OF APPEALS**  
**CITY OF NOVI**  
**Community Development Department**  
**(248) 347-0415**

**Case No. PZ14-0051**

**Location: 45605 Nine Mile Road**

**Zoning District: R-1, One-Family Residential District**

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Section 2503.1 (I) to allow construction of a new (1) story with a building height of 18 feet (14 ft maximum) detached garage on an existing single family parcel. The property is located west of Taft on the south side of 9 Mile Road.

**Ordinance Sections:**

CITY OF NOVI, CODE OF ORDINANCES, Section 2503.1 (I) limits detached accessory buildings to fourteen (14) feet in height in the R-1 Zoning District.

**City of Novi Staff Comments:**

The petitioner is proposing to construct a new detached garage of 875 square feet and a height of 18 feet within the minimum rear and side setbacks of an existing lot. Additionally the Ordinance restricts the size of accessory buildings to be less than the size 2,500 square feet and limits detached accessory buildings to fourteen (14) feet in height in the R-1 Zoning District. Since the requested variance does not arise from unique circumstances, and strict compliance with ordinance would not unreasonably prevent the property owner from using the property for its permitted purpose, staff cannot support this variance.

**Standards for Granting a Dimensional Variance:**

A variance may be granted if a practical difficulty exists due to all of the following:

- There are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape, water, topography or similar physical conditions and the need for the variance is not due to the applicant's personal or economic difficulty because\_\_\_\_\_.
- The need is not self-created because\_\_\_\_\_.
- Strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome because\_\_\_\_\_.
- The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district because\_\_\_\_\_.
- The requested variance will not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district because\_\_\_\_\_.

# The 2014 Sprinter Crew Van



The new  
**SPRINTER**

## Room for crew, cargo—and superior safety features.

The Sprinter Crew Van has room for nearly everything—and everyone. Transport your cargo and up to five people (4+1) with a removable three-seat rear crew bench that provides the flexibility to bring along your work force to any job. Tinted fixed front side windows in the cargo area offer better sightlines and safety, seats are comfortable and durable, while legendary Mercedes-Benz safety innovations can help protect both cargo and crew.

Delivering up to 18%<sup>1</sup> greater fuel efficiency, the Sprinter's new standard 2-stage turbo diesel engine<sup>2</sup> also offers spirited performance. Combine that with a quick-shifting new 7-speed 7G-TRONIC transmission and enjoy acceleration that's both smooth and refined. Add it all up—impressive capabilities, greater reliability and reduced ownership costs—and you'll see how the Sprinter means business.



**Mercedes-Benz**  
Vans. Born to run.

The new  
**CREW VAN**

STANDARD 2-STAGE TURBO DIESEL ENGINE  
WITH 7-SPEED TRANSMISSION<sup>2</sup>

OPTIONAL V6 DIESEL ENGINE  
WITH 5-SPEED TRANSMISSION<sup>2</sup>

LONGER SERVICE INTERVALS<sup>3</sup>

TINTED FIXED FRONT SIDE WINDOWS

PADDED ARMRESTS

REMOVABLE SECOND-ROW BENCH

LOCKING HINGED REAR DOORS  
OPEN 270 DEGREES

LOW STEP-IN HEIGHT

REDESIGNED GRILLE

CONTOURED FRONT BUMPER

REDESIGNED HEADLAMPS

DURABLE SEATING FABRIC

OPTIONAL MULTIFUNCTION STEERING WHEEL

OPTIONAL LASHING RAILS<sup>4</sup>

OPTIONAL CARGO TIE-DOWNS<sup>4</sup>

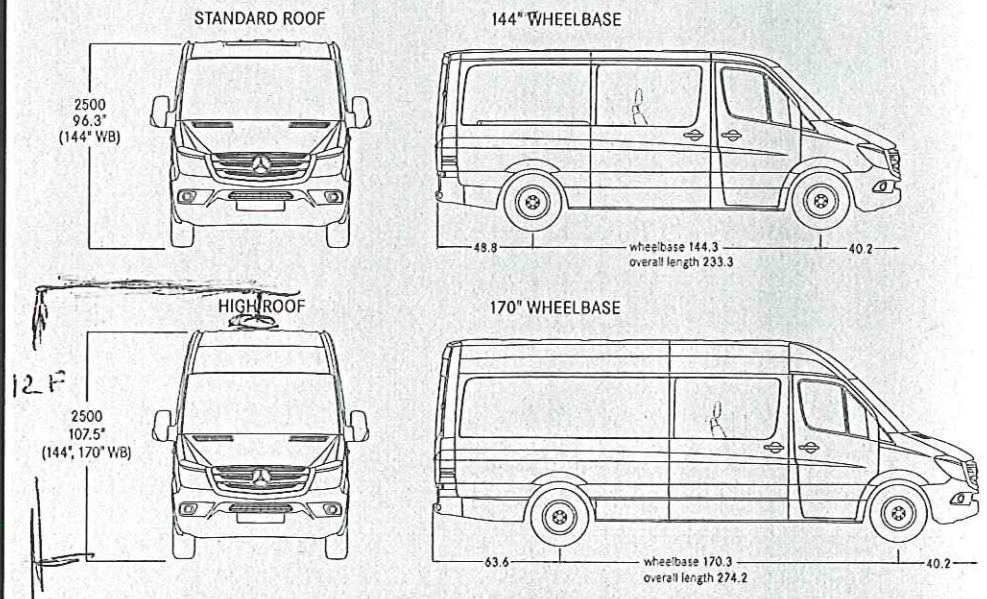
CUSTOMIZED UPFITTING POSSIBILITIES<sup>11</sup>



Transport your cargo and up to five people with a removable rear bench seat that offers your work force a roomy, safe and comfortable space.

**MODEL CONFIGURATIONS**

However you measure it, the Sprinter has an ideal configuration for you and your crew. Select from two wheelbases, two body lengths and two cargo-area heights.

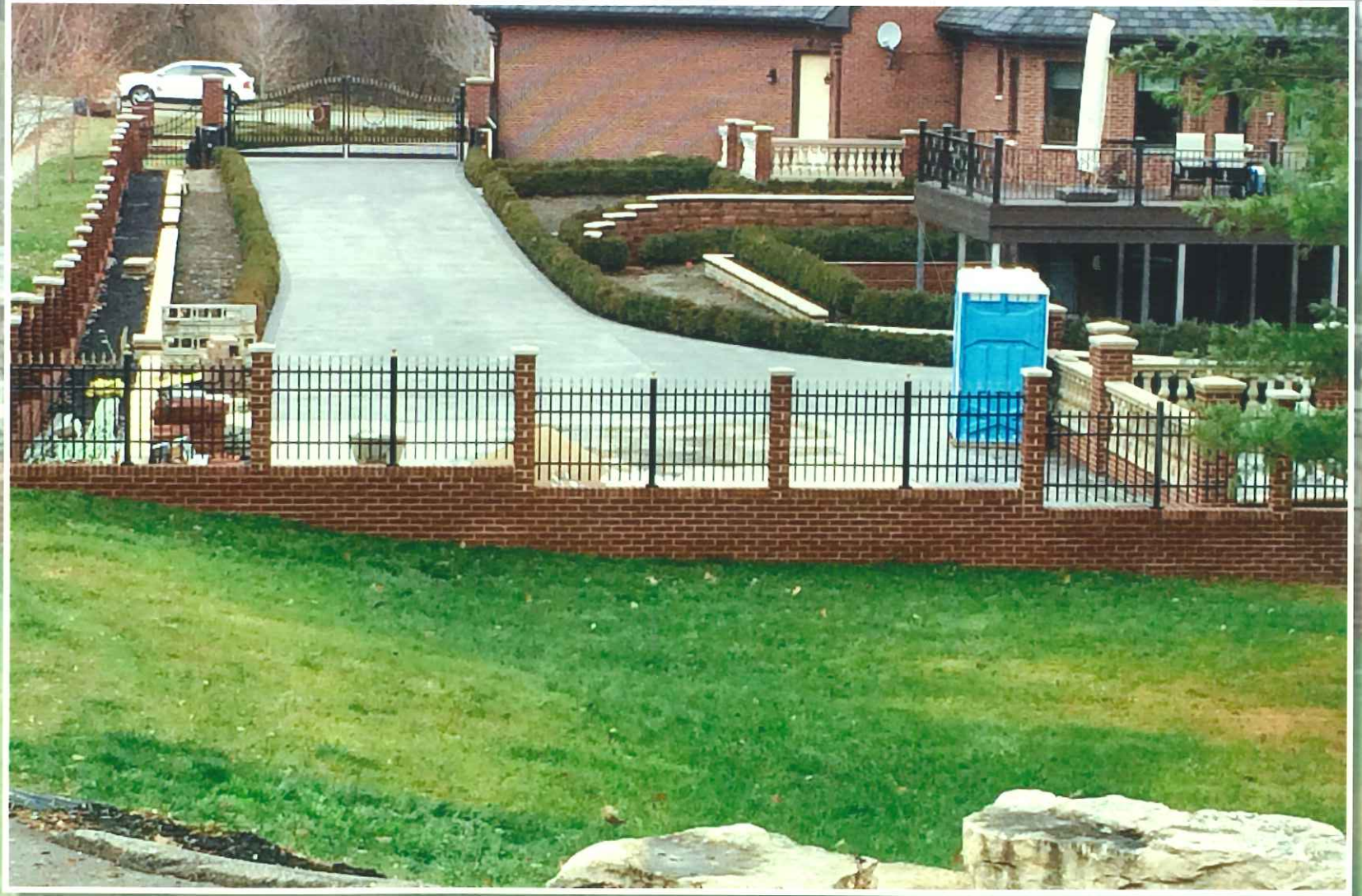


Measurements in inches unless otherwise noted.

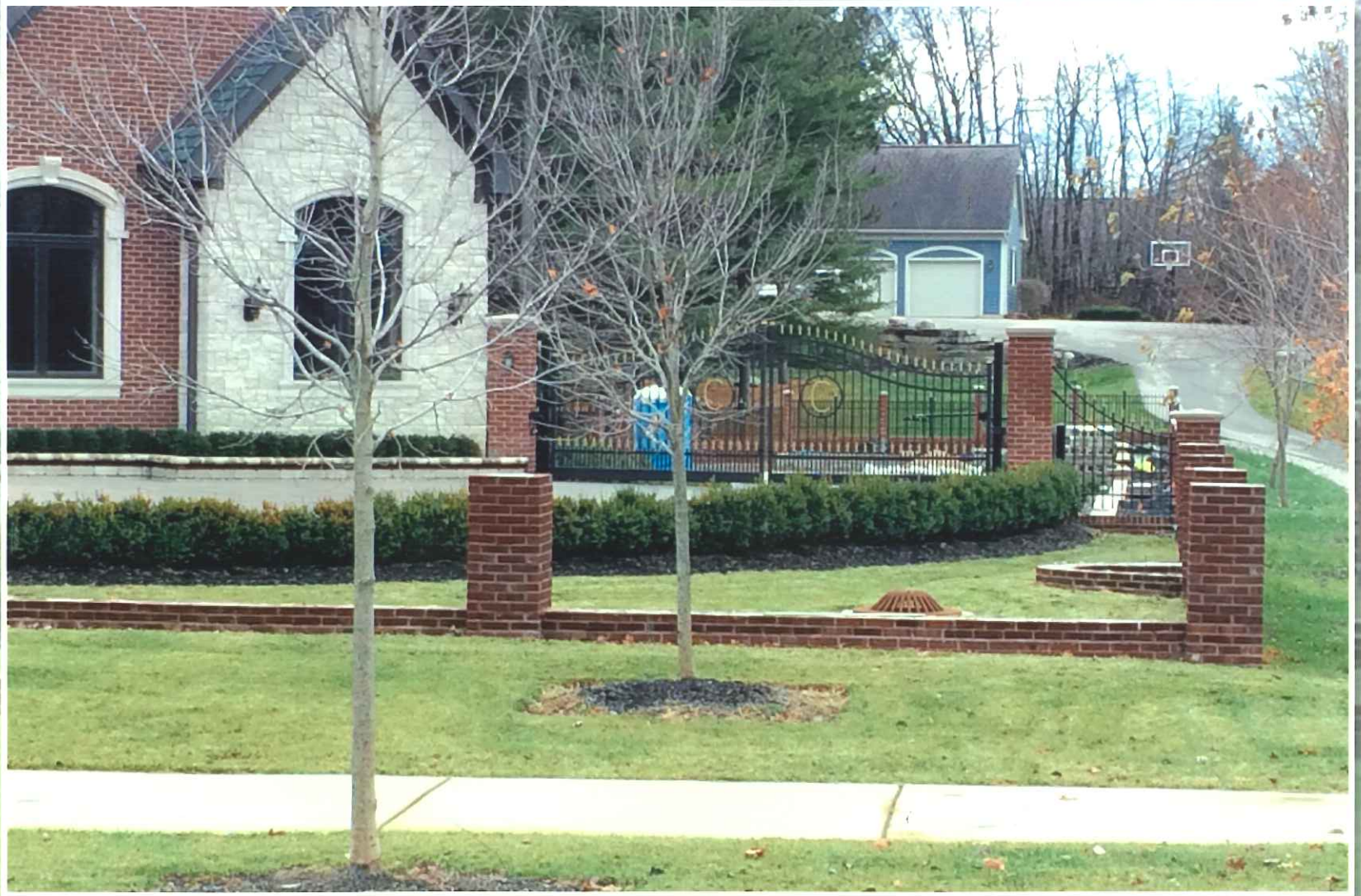


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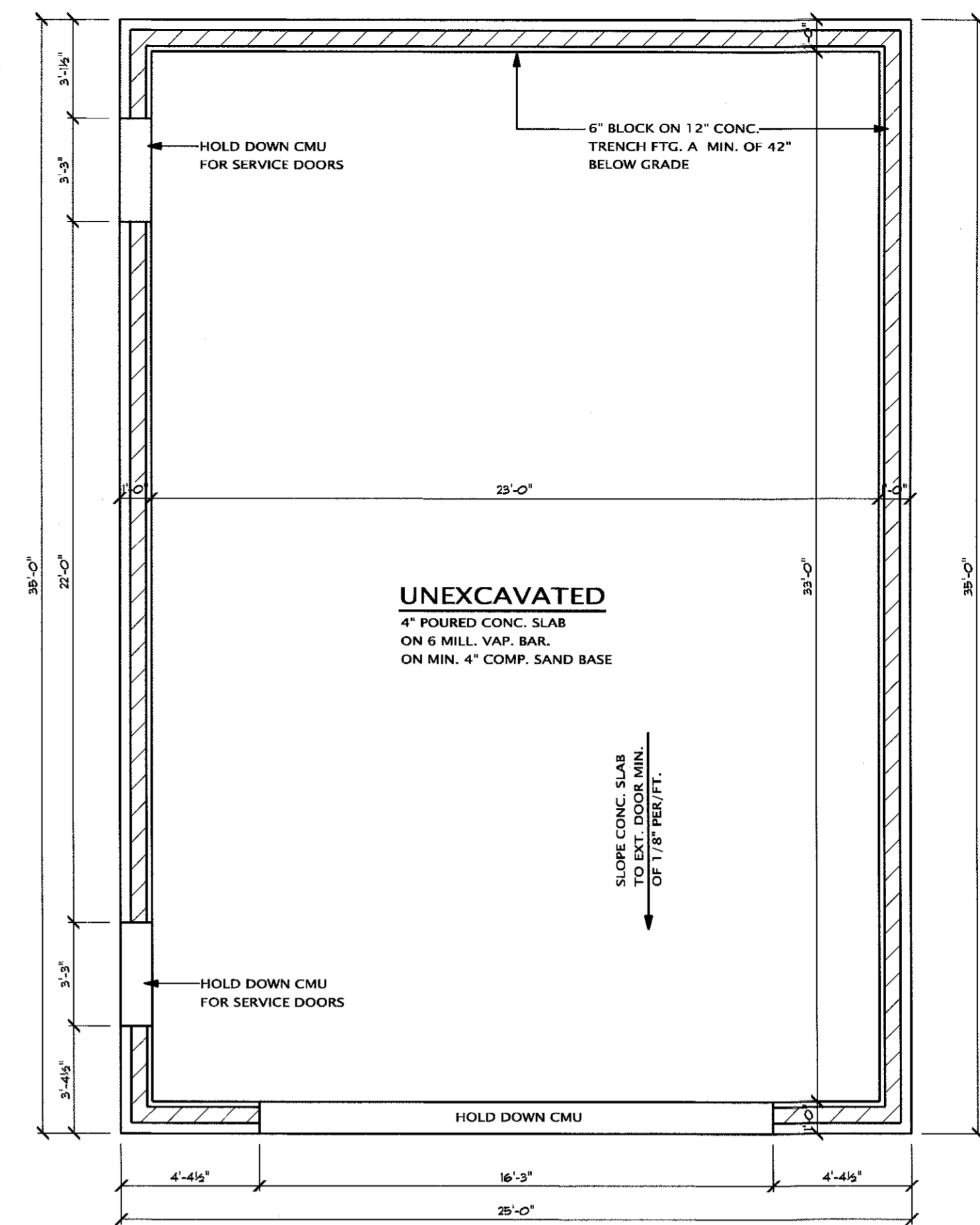


PROVIDE ALL ATTIC ACCESS  
W/ WEATHER STRIPPING

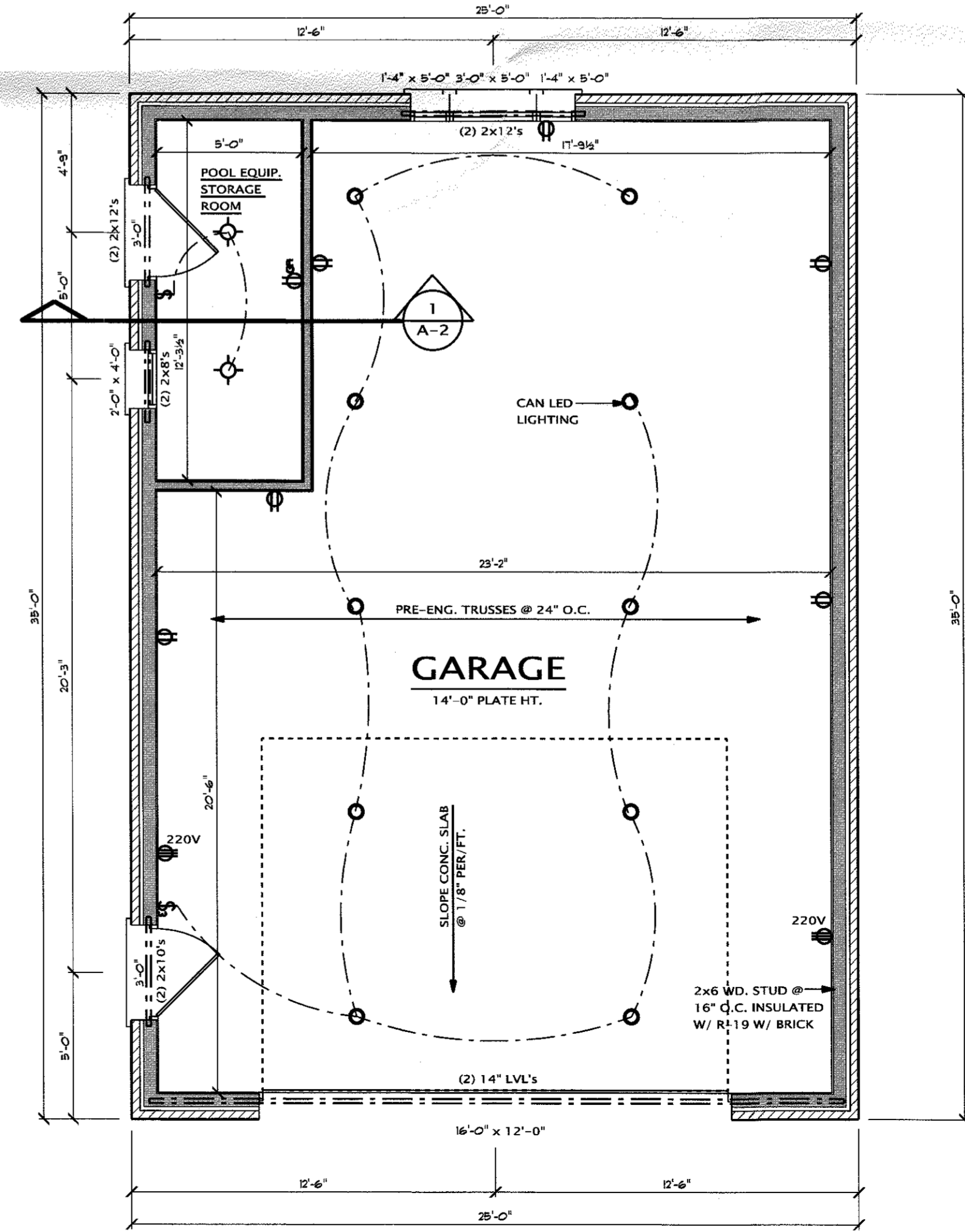
**SOIL BEARING CAPACITY:**  
 ASSUMED AT 1,500 PSF. WHEREBY, THE TRENCH FOOTING SHALL BE 12" WIDE FOR 1 STORY AND 21" FOR TWO STORY AT WALK-OUTS. (PER TABLE R403.1 MBC)  
 IN THE ABSENCE OF SOILS CONFIRMATION, A WORST CASE SCENARIO OF 1,500 PSF SHALL BE ASSUMED REQUIRING FOOTING WIDTHS AS FOLLOWS:  
 a) 1-STORY BRICK VENEER ON LIGHT FRAME CONST. = 12"  
 b) 2-STORY BRICK VENEER ON LIGHT FRAME CONST. = 21"  
 c) 3-STORY BRICK VENEER ON LIGHT FRAME CONST. = 32"

**FOUNDATION REINF.**  
 PROVIDE VERTICAL AND HORIZONTAL REINFORCING  
 #5 BARS @ 36" O.C. IN 10" WALL OR PROVIDE 4"x24" PILASTER @ MID SPAN FOR ALL WALLS OVER 40'-0"

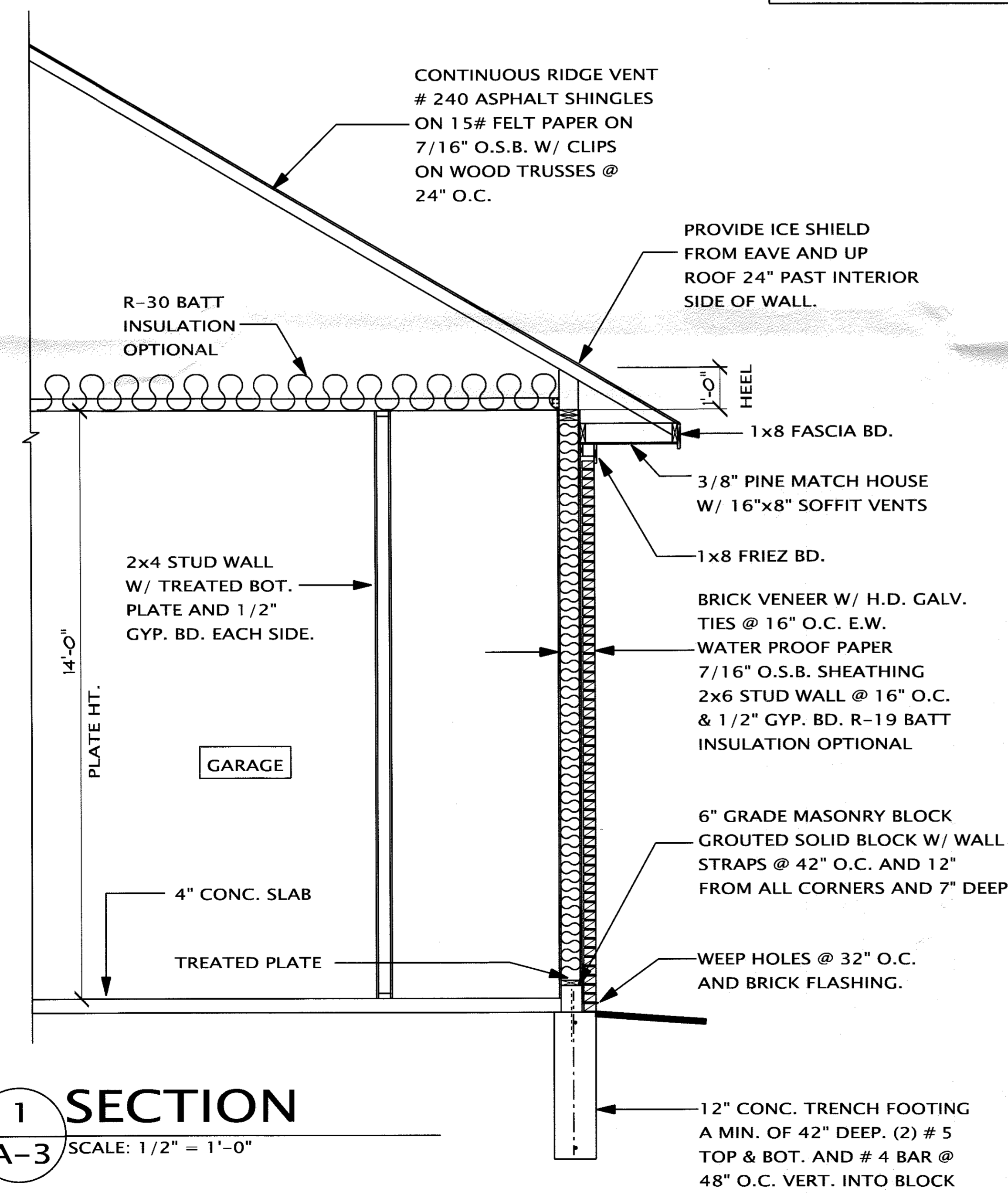
**ELECTRICAL BONDING NOTE:**  
 PROVIDE ELECTRICAL BONDING OR REINFORCEMENT STEEL TO FOUNDATIONS AND FOOTING PER NEC 2008. USE A # 4 BAR (1/2"). THE MINIMUM LENGTH OF REINFORCEMENT IS TWENTY FEET AND HAS A MINIMUM OF 2" OF CONCRETE COVER AT THE BOTTOM OF FOOTING. PROVIDE STUB NEAR ELECTRICAL SERVICE FOR GROUND CONNECTION



**FOUNDATION PLAN**  
 SCALE: 1/4" = 1'-0"



**FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**SECTION 1**  
 SCALE: 1/2" = 1'-0"

THE IDEAS AND DESIGN CONCEPTS EXPRESSED HEREIN AND THE GRAPHICALLY DISPLAYED ARRANGEMENT OF THEIR COMPONENTS REPRESENTED BY THIS DRAWING HAVE BEEN DEVELOPED FOR THE EXCLUSIVE USE OF THE SPECIFIED PROJECT AND ARE THE SOLE PROPERTY OF JMP Design + Build, Inc. INCORPORATED. A CONVEYANCE OR DISCLOSURE OF THE IDEAS DESIGN CONCEPTS OR USE OF ANY GRAPHICALLY DISPLAYED ARRANGEMENTS OF THE COMPONENTS SHALL BE AT THE DISCRETION AND ONLY THROUGH THE EXPRESSED WRITTEN CONSENT OF JMP Design + Build, Inc. ALL MATERIALS HEREIN ARE PROPRIETARY AND COPYRIGHTED

DETACHED GARAGE

BUILDER  
**DEFRIM CIZMJA**  
 45605 9 MILE RD.  
 NOVI, MI 48374

| SHEET TITLE:                  |           |
|-------------------------------|-----------|
| FLOOR PLAN<br>FOUNDATION PLAN |           |
| DATE:                         | DRAWN BY: |
| 04-20-13<br>05-29-14          | J.V.      |
| CHECKED BY:                   |           |
| J.P.                          |           |
| JOB NUMBER:                   |           |
| 13 - 145                      |           |
| SHEET NUMBER:                 |           |

**GENERAL NOTES**

1. ALL WORK TO COMPLY WITH ALL NATIONAL, STATE AND LOCAL CODES, ORDINANCES, LAWS AND REGULATIONS THAT ARE APPLICABLE.
2. THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) AT LEAST 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
3. THE CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS AND CALL FOR REQUIRED INSPECTIONS.
4. THE CONTRACTOR SHALL FIELD VERIFY THE SIZES, LOCATIONS, ELEVATIONS AND DETAILS OF THE EXISTING CONDITIONS THAT AFFECT THE WORK AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES IN DIMENSIONS, SIZES, LOCATIONS AND CONDITIONS BEFORE PROCEEDING WITH THE WORK.
5. THE CONTRACTOR SHALL PROVIDE ALL SHORING, BRACING, AND UNDERPINNING AND ALL MEANS REQUIRED TO PROTECT AND MAINTAIN THE SAFETY, INTEGRITY AND STABILITY OF ALL NEW CONSTRUCTION.
6. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE EXISTING CONDITIONS OF THE BUILDING INCLUDING UTILITIES, SERVICES, ETC. AND SHALL BE FULLY RESPONSIBLE FOR ANY UNAUTHORIZED DISRUPTION TO THE OWNER'S NORMAL USE OF UTILITIES, SERVICES, AND THE SURROUNDING FACILITIES.
7. THE CONTRACTOR/OWNER SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE CONSTRUCTION DOCUMENTS, SIZES AND LOCATIONS OF ANY DISCREPANCIES IN DIMENSIONS, SIZES AND LOCATIONS BEFORE PROCEEDING WITH THE WORK.
8. THE CONTRACTOR/OWNER SHALL INDEMNIFY THE ARCHITECT FROM ERRORS AND OMISSIONS WHICH CAN OR MAY OCCUR DURING THE PREPARATION OF THESE DOCUMENTS.

**CONSTRUCTION NOTES**

OPENINGS BETWEEN THE GARAGE AND RESIDENCE SHALL BE EQUIPPED WITH EITHER SOLID WOOD DOORS NOT LESS THAN 1-3/8 INCHES IN THICKNESS OR 20 MINUTE RATED DOORS, OR EQUIVALENT.

SAFETY GLAZING SHALL BE PROVIDED AT THE FOLLOWING LOCATIONS:  
 -GLAZING IN ALL UNFRAMED SWINGING DOORS  
 -GLAZING IN AN INDIVIDUAL, FIXED, OR OPERABLE PANEL, ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24 INCH RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE.

PROVIDE 5/8 INCH TYPE 'X' GYPSUM WALL BOARD ON THE GARAGE SIDE ADJACENT TO THE RESIDENCE AND ITS ATTIC AREA OR EQUIVALENT.

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPERATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE A SILL HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQUARE FEET (5 SQUARE FEET ON GRADE FLOORS). THE MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES. THE MINIMUM NET CLEAR OPENING WIDTH DIMENSION SHALL BE 20 INCHES.

A MINIMUM 3 FEET BY 3 FEET LANDING SHALL BE REQUIRED ON EACH SIDE OF AN EGRESS DOOR OR DOORWALL. THE FLOOR OR LANDING SHALL NOT BE MORE THAN 1-1/2 INCHES LOWER THAN THE TOP OF THE THRESHOLD.

WINDERS ARE PERMITTED PROVIDED THE WIDTH OF THE TREAD AT A POINT NOT MORE THAN 12 INCHES FROM THE SIDE WHERE THE TREADS ARE NARROWER IS NOT LESS THAN 10 INCHES DEEP. THE MINIMUM WIDTH OF ANY TREAD SHALL NOT BE LESS THAN 6 INCHES, AND THE AVERAGE WIDTH OF ANY TREAD IS NOT LESS THAN 9 INCHES.

FIRESTOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN THE TOP STORY AND THE ROOF SPACE. FIRESTOPPING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:  
 -IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVEL.  
 -AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES, WHICH OCCUR AT SOFFITS, DROP CEILINGS, ETC.  
 -IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM RUN.  
 -AT OPENINGS AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS, WITH NON-COMBUSTIBLE MATERIALS.

EXCEPT AS PROVIDED IN THE ITEM ABOVE, FIRESTOPPING SHALL CONSIST OF 2 INCH NOMINAL LUMBER, OR (2) THICKNESSES OF 1 INCH NOMINAL LUMBER WITH BROKEN LAP JOINTS, OR (1) THICKNESS OF 23/32 INCH PLYWOOD WITH JOINTS BACKED BY 23/32 INCH PLYWOOD, OR (1) THICKNESS OF 3/4 INCH TYPE 2-M PARTICLEBOARD WITH JOINTS BACKED BY 3/4 INCH TYPE 2-M PARTICLEBOARD, OR OTHER APPROVED MATERIALS. THE INTEGRITY OF ALL FIRESTOPS SHALL BE MAINTAINED.

IN SHOWER AND BATH AREAS, FLOORS AND WALLS SHALL BE FINISHED WITH A SMOOTH, HARD AND NON-ABSORBANT SURFACE TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE FINISHED FLOOR. IN AREAS SUBJECT TO REPEATED DAMPNESS AND MOISTURE ACCUMULATION, WATER RESISTANT GYPSUM BOARD IS TO BE INSTALLED IN ACCORDANCE WITH GA-216 AS LISTED IN SECTION 5-26.502.

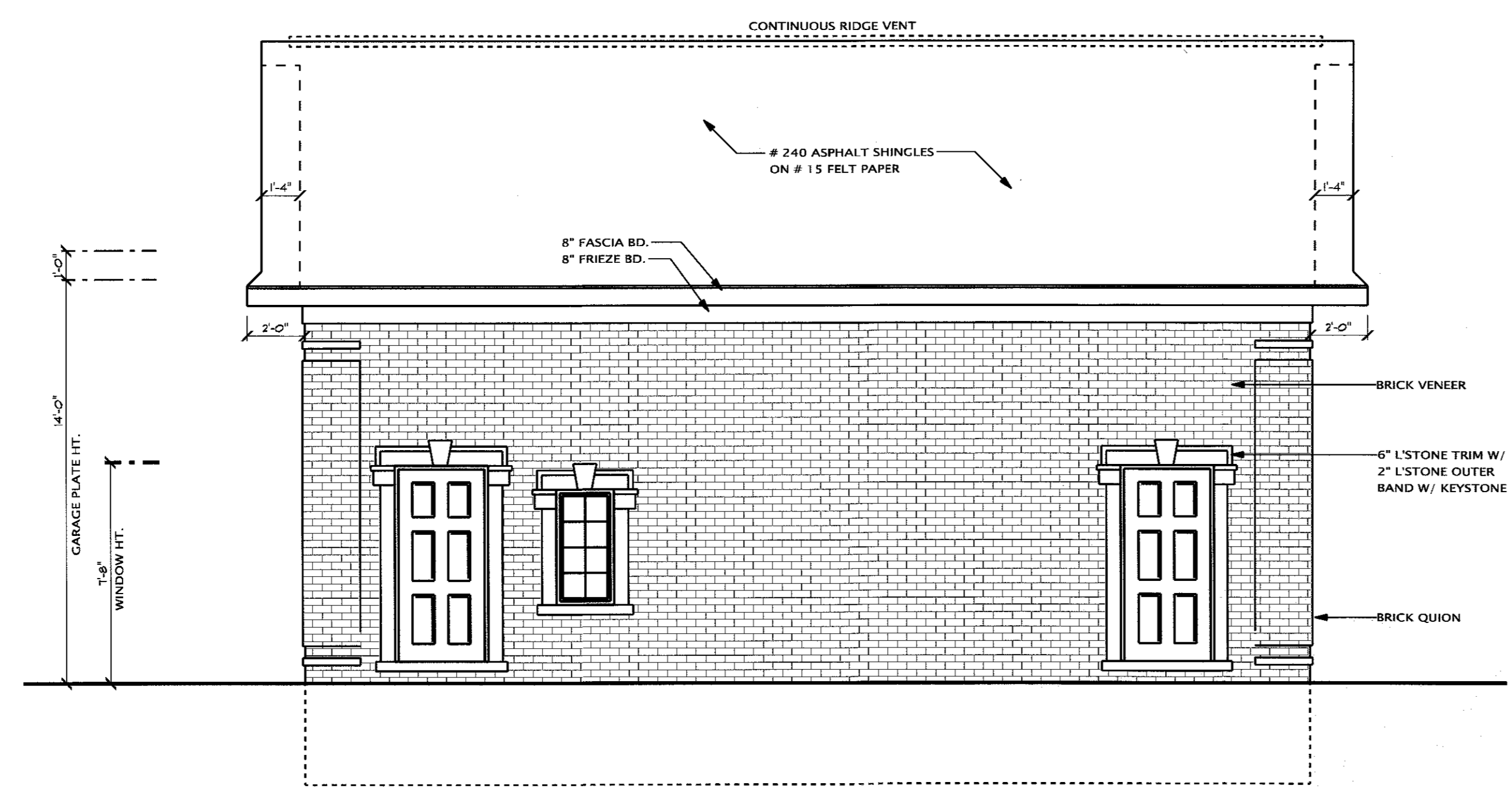
RAFTERS AND CEILING JOISTS SHALL BE PROVIDED WITH LATERAL SUPPORT AT POINTS OF BEARING TO PREVENT ROTATION.

RAFTER OR TRUSS TIES SHALL BE PROVIDED, WHEN ROOF TRUSSES AND ASSEMBLIES MAY BE SUBJECT TO WIND UPLIFT PRESSURES OF 20 PER SQUARE FOOT OR GREATER AND SHALL BE DESIGNED IN ACCORDANCE WITH ASCE 7, AS LISTED IN 5-26.702

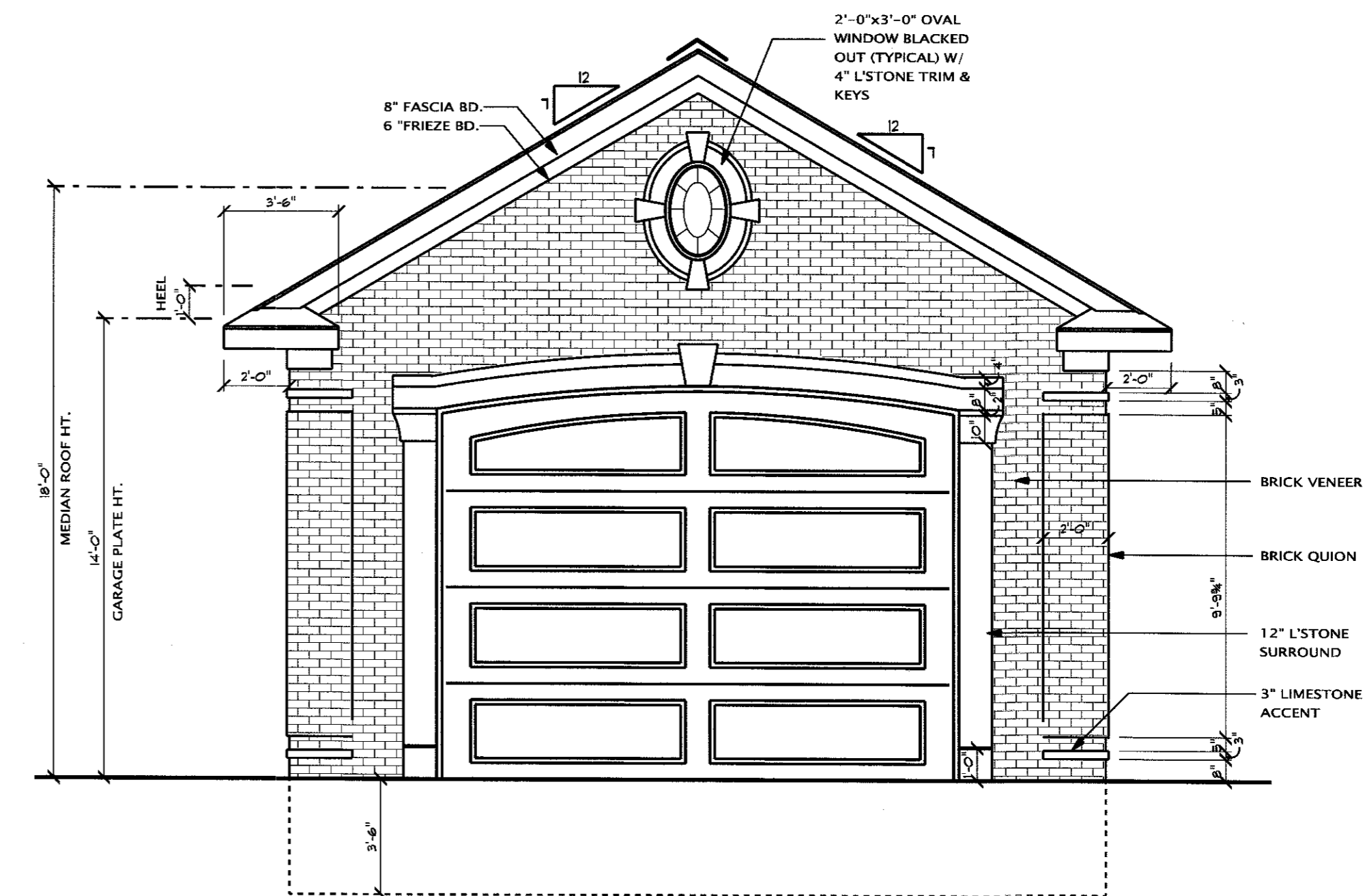
A READILY ACCESSIBLE ATTIC ACCESS FRAMED OPENING NOT LESS THAN 22 INCHES BY 30 INCHES SHALL BE PROVIDED TO ANY ATTIC HAVING A CLEAR HEIGHT OVER 30 INCHES.

ASPHALT SHINGLE ROOFS SHALL HAVE ICE AND WATER SHIELDS, OR (2) LAYERS OF 15 POUND FELT CEMENTED TOGETHER FOR A DISTANCE OF 2 FEET INSIDE THE OUTSIDE WALLS AND AN UNDERLAYMENT OF NOT LESS THAN ONE PLY OF NUMBER 15 FELT, APPLIED AS REQUIRED IN SECTION R-802 AND TABLE NUMBER R-803.4

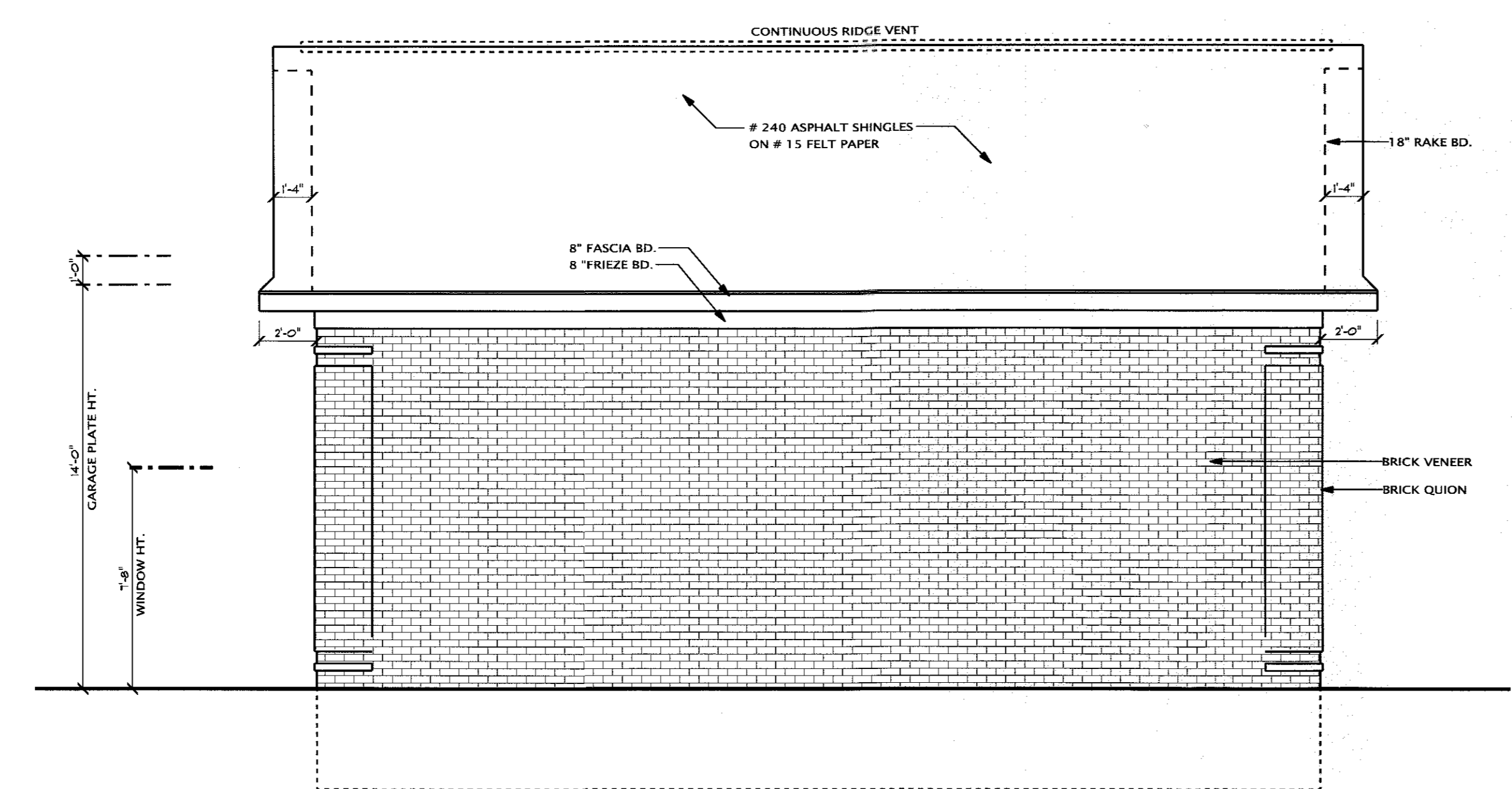
CHIMNEYS SHALL EXTEND AT LEAST 2 FEET HIGHER THAN ANY PORTION OF THE BUILDING WITHIN 10 FEET BUT SHALL NOT BE LESS THAN 3 FEET ABOVE THE POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF.



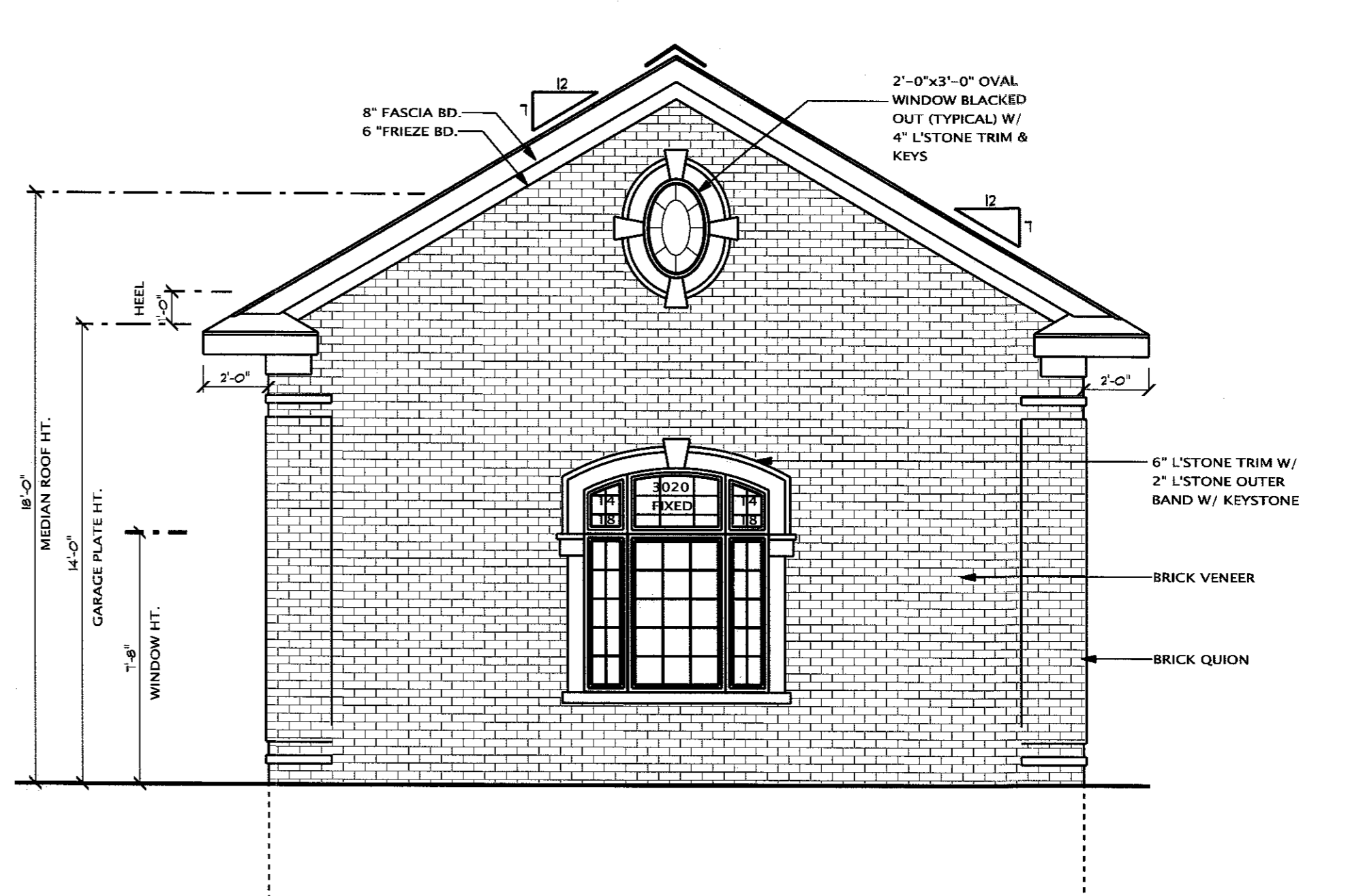
**LEFT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**RIGHT ELEVATION**  
 SCALE: 1/4" = 1'-0"



**FRONT ELEVATION**  
 SCALE: 1/4" = 1'-0"

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**DETACHED GARAGE**

**BUILDER**  
**DEFRIM CIZMJA**  
 45605 9 MILE RD.  
 NOVI, MI 48374

**SHEET TITLE:**  
**ELEVATIONS**

**DATE:** 04-20-13  
 05-29-14

**DRAWN BY:**  
 J.V.

**CHECKED BY:**  
 J.P.

**JOB NUMBER:**  
 13 - 145

**SHEET NUMBER:**  
**A-2**