



OAKLAND COUNTY SECURITY STUDY JSP17-47

OAKLAND COUNTY SECURITY STUDY JSP 17-47

Consideration at the request of Giffels Webster on behalf of 52-1 District Court for Preliminary Site Plan and Stormwater Management Plan approval. The subject parcel is located in Section 17, west of Beck Road and south of Twelve Mile Road. It is approximately 4.73 acres and zoned OSC (Office Service Commercial). The applicant is proposing a fence with limited access gates surrounding the building and employee parking, retaining wall cut into the berm along Grand River Avenue, and additional employee parking spaces to the north of the building.

Required Action

Approve/Deny the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	7-28-17	<ul style="list-style-type: none"> • ZBA waiver for fence in the front yard • Items to be addressed on the revised Final Site Plan
Engineering	Approval recommended	8-1-17	<ul style="list-style-type: none"> • Items to be addressed on the revised Final Site Plan
Landscape	Approval recommended	7-21-17	<ul style="list-style-type: none"> • Landscape waiver for wall adjacent to public right-of-way (supported by staff) • Items to be addressed on the revised Final Site Plan
Traffic	Approval recommended	8-2-17	<ul style="list-style-type: none"> • ZBA waiver for north parking setback • Items to be addressed on the revised Final Site Plan
Fire	Approval recommended	4-19-17	<ul style="list-style-type: none"> • Items to be addressed on the revised Final Site Plan

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Oakland County Security Study JSP17-47, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Landscape waiver from Section 5.5.3.B.ii and 5.5.3.B.iii for wall in lieu of a full berm along a public right-of-way, which is hereby granted;
- b. Zoning Board of Appeals variance from Section 3.1.23.D to allow a reduced rear parking setback for the proposed additional parking spaces on the north property line;
- c. Zoning Board of Appeals variance from Section 5.11 to allow a fence in the front yard;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- e. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Oakland County Security Study JSP17-47, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Preliminary Site Plan

In the matter of Oakland County Security Study JSP17-47, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

Denial – Stormwater Management Plan

In the matter of Oakland County Security Study JSP17-47, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Maps
Location
Zoning
Future Land Use
Natural Features

JSP17-47: Oakland County Security Study

Location Map



LEGEND

 Sections



City of Novi

Community Development Department
Civic Center
45175 W Ten Mile Road
Novi, MI 48375
www.cityofnovi.org

Map Author: Kirsten Mellem
Date: 08/03/17
Project: JSP17-47 Oakland County Security
Version #: 1

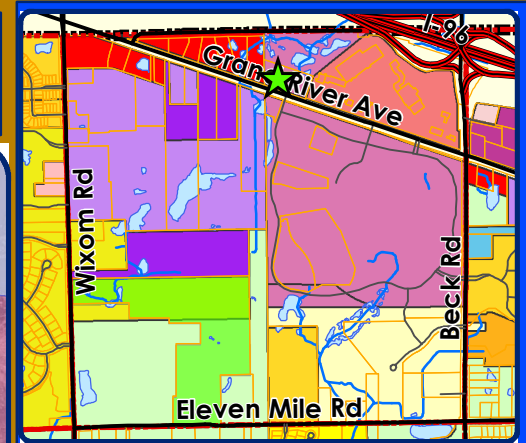
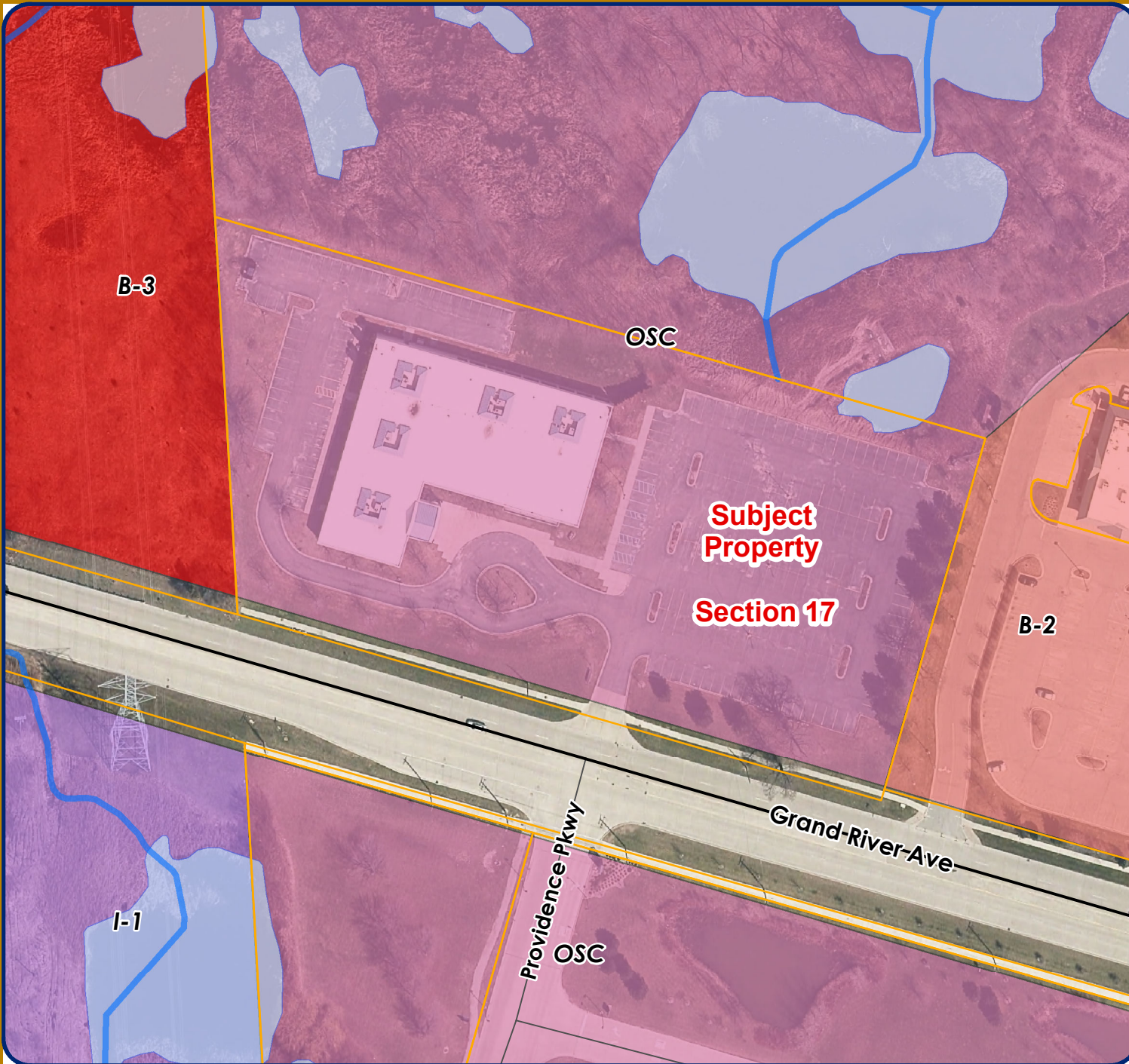


MAP INTERPRETATION NOTICE

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JSP17-47: Oakland County Security Study

Zoning Map



LEGEND

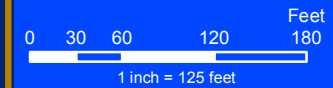
- Sections
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-2: Community Business District
- B-3: General Business District
- FS: Freeway Service District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- Ost: Office Service Technology



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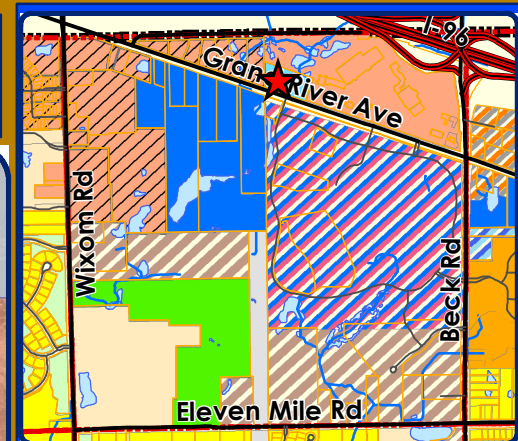
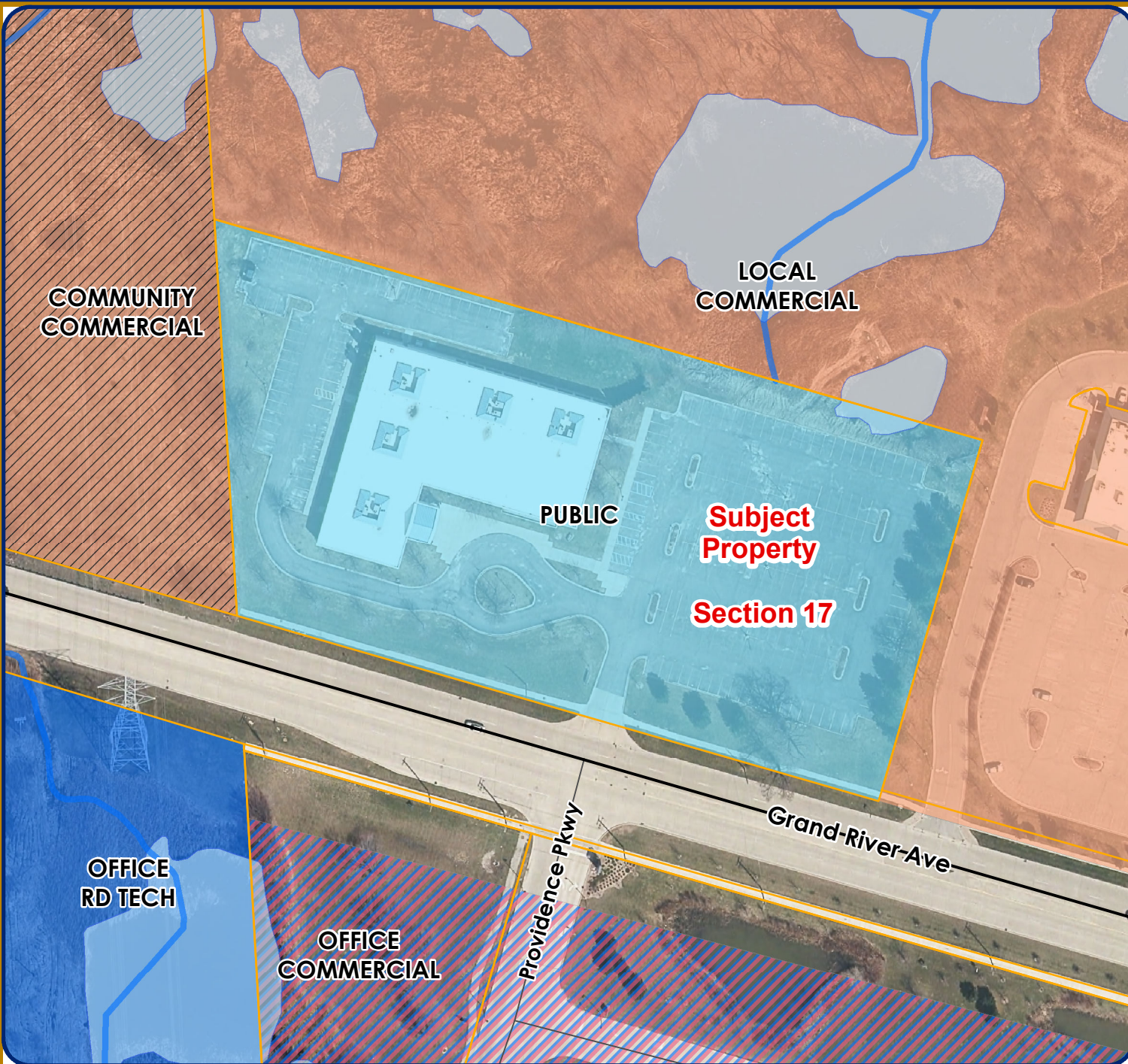


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JSP17-47: Oakland County Security Study

Future Land Use Map



LEGEND

Sections

FUTURE LAND USE

- Single Family
- Multiple Family
- Suburban Low-Rise
- Community Office
- Office RD Tech
- Office Commercial
- Office Research W/Retail Overlay
- Local Commercial
- Community Commercial
- Educational Facility
- Public
- Public Park
- Private Park
- Utility

CITY OF NOVI
 Community Development Department
 Civic Center
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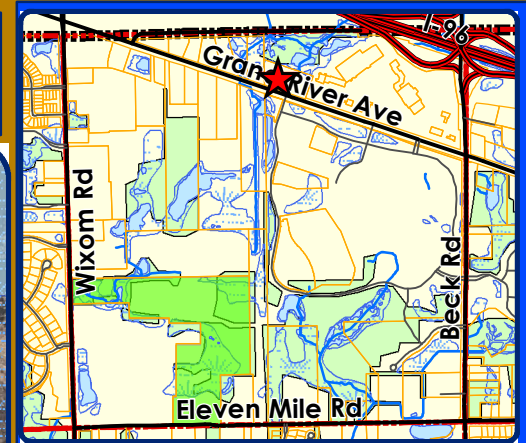
0 30 60 120 180 Feet
 1 inch = 125 feet

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JSP17-47: Oakland County Security Study

Natural Features Map



LEGEND

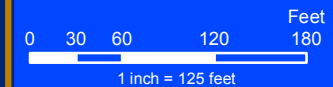
-  Sections
-  WETLANDS
-  WOODLANDS



City of Novi

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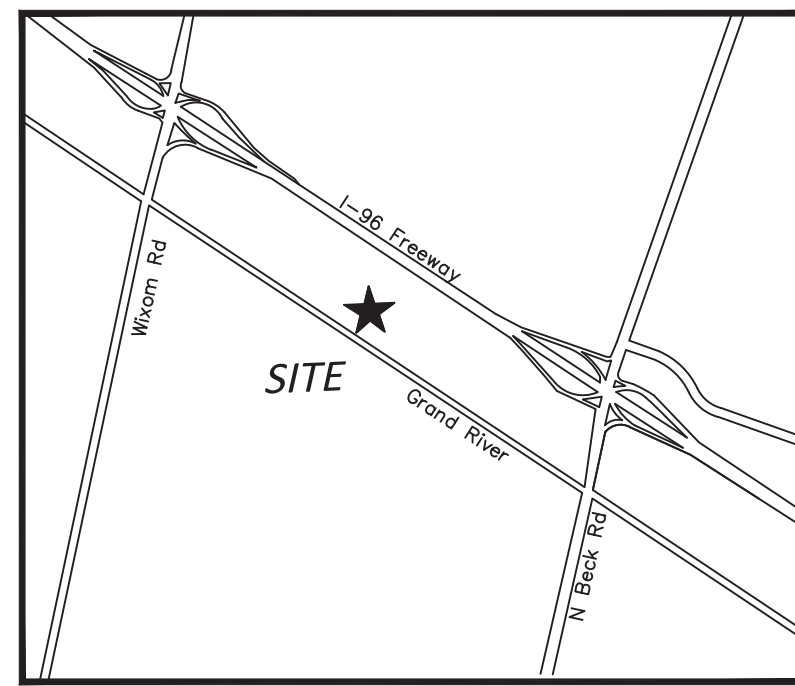


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SITE PLAN

(Full plan set available for viewing at the Community Development Department)



LOCATION MAP
(NOT TO SCALE)



52-1 DISTRICT COURT

48150 GRAND RIVER AVEUNE
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PRELIMINARY SITE PLAN

PROPERTY OWNER

NOVI INVESTMENT PARTNERS, LLC
232 SUMMIT AVENUE, SUITE 103
BROOKLINE, MA 02446

CLIENT

OAKLAND COUNTY FACILITIES MANAGEMENT
PLANNING & ENGINEERING
ONE PUBLIC WORKS DRIVE - 95 WEST
WATERFORD, MI 48328-0409
(248) 585-0144

ENGINEER/LANDSCAPE ARCHITECT

GIFFELS WEBSTER
28 W. ADAMS ST., SUITE 1200
DETROIT, MI 48226
(313) 962-4442

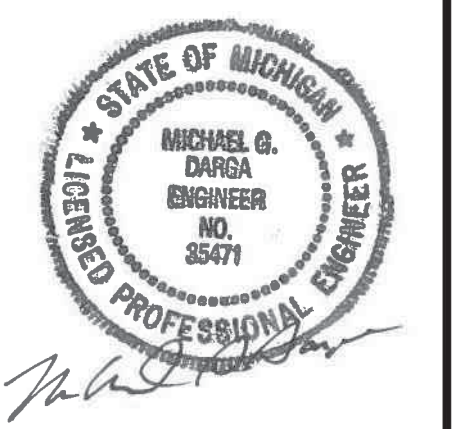


Engineers
Surveyors
Planners
Landscape Architects

28 West Adams Road
Suite 1200
Detroit, MI 48226
p (313) 962-4442
f (313) 962-5068
www.giffelswebster.com

Executive:	STC
Manager:	MGD
Designer:	AFP
Quality Control:	STC
Section:	17
T-01-N R-08-E	

Professional Seal:



PRELIMINARY



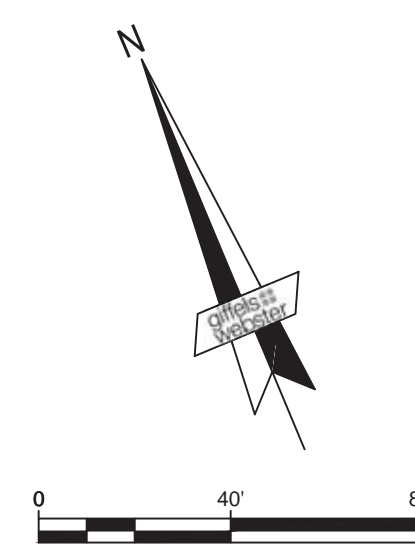
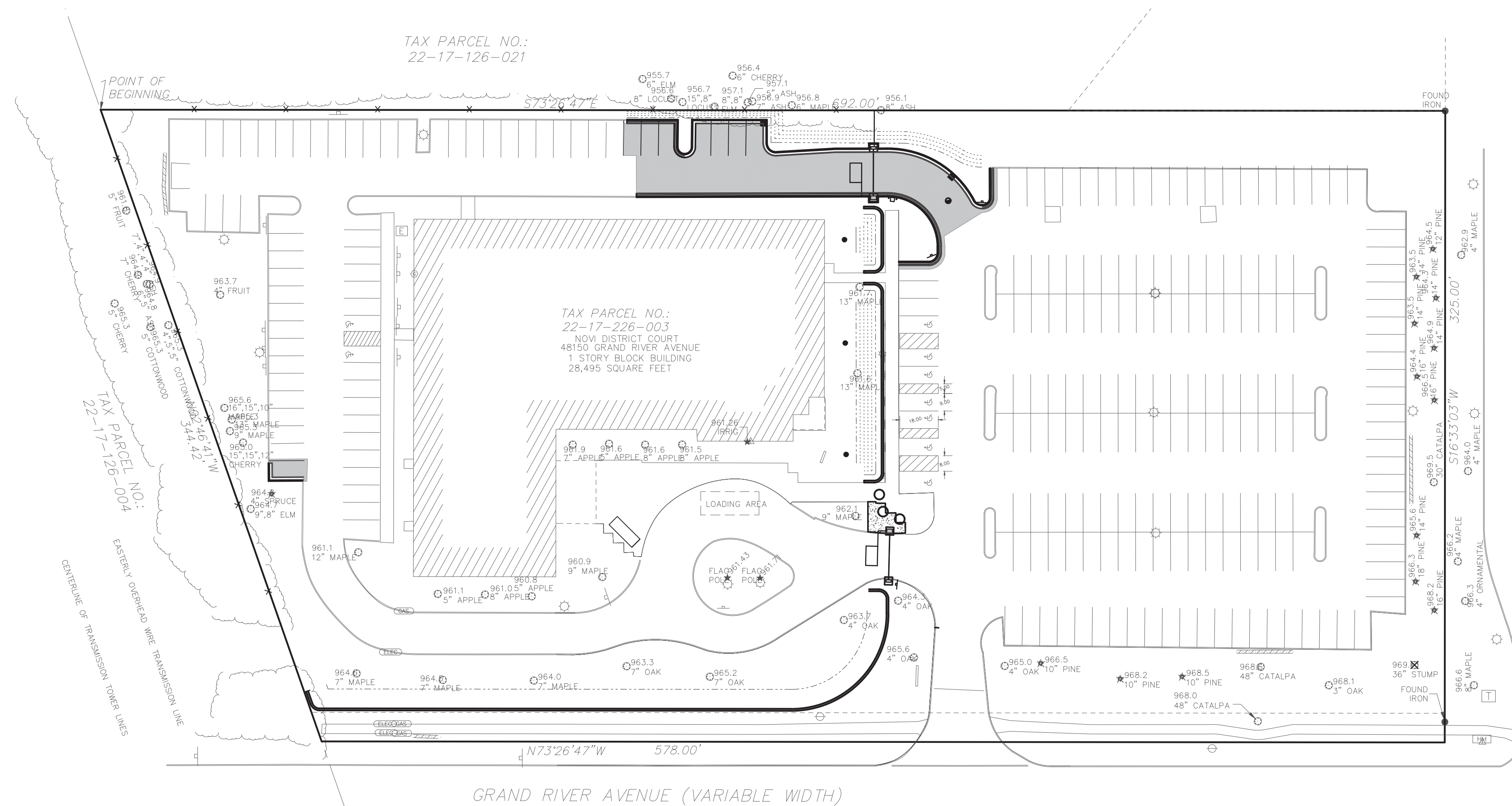
Know what's below.
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SHEET INDEX

- C000.0 COVER SHEET
- C100.1 NOTES & LEGEND
- C250.1 EXISTING CONDITIONS
- C350.1 DEMOLITION PLAN
- C550.1 SITE PLAN
- C551.1 GRADING PLAN
- C650.1 UTILITY PLAN
- C651.1 STORM WATER MANAGEMENT PLAN
- C800.7 DETAILS
- C800.8 DETAILS
- C800.9 DETAILS
- C800.10 DETAILS
- SD-5 CITY OF NOVI STORM DETAILS

- L550.1 LANDSCAPE PLAN

*FOR LEGEND, PLEASE SEE SHEET C100.1



DATE	ISSUE
05.12.2017	Owner Review
05.18.2017	Permits
07.07.2017	Site Plan Review

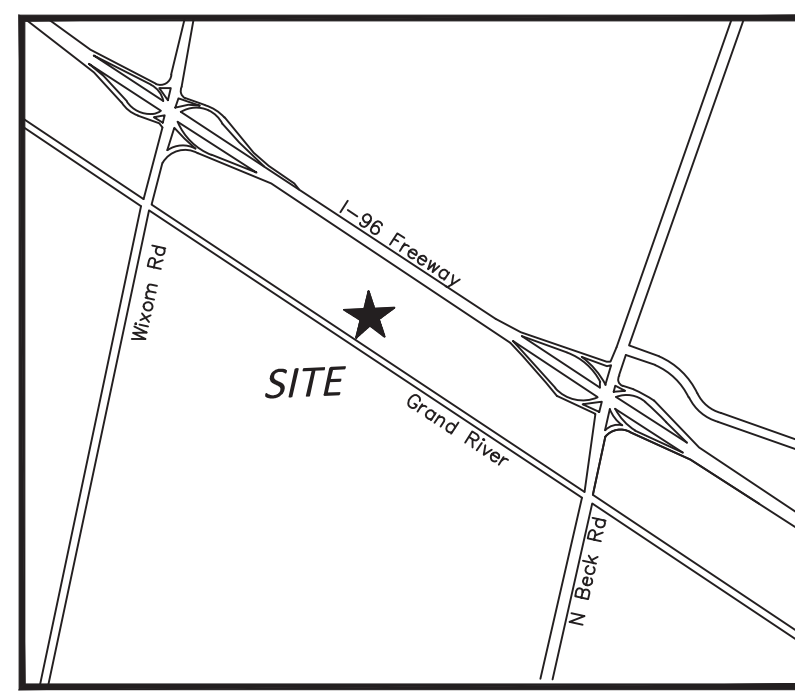
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Phase IV
Novi District Court
Cover
Oakland County Security Study

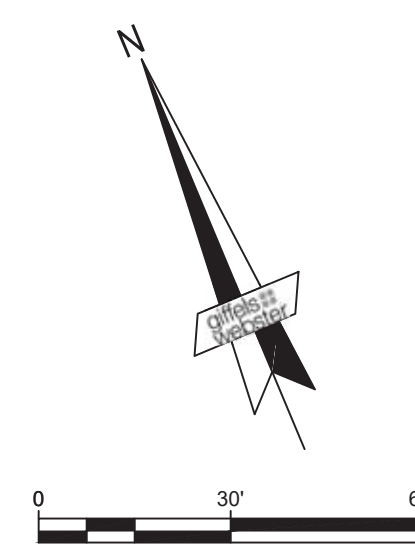
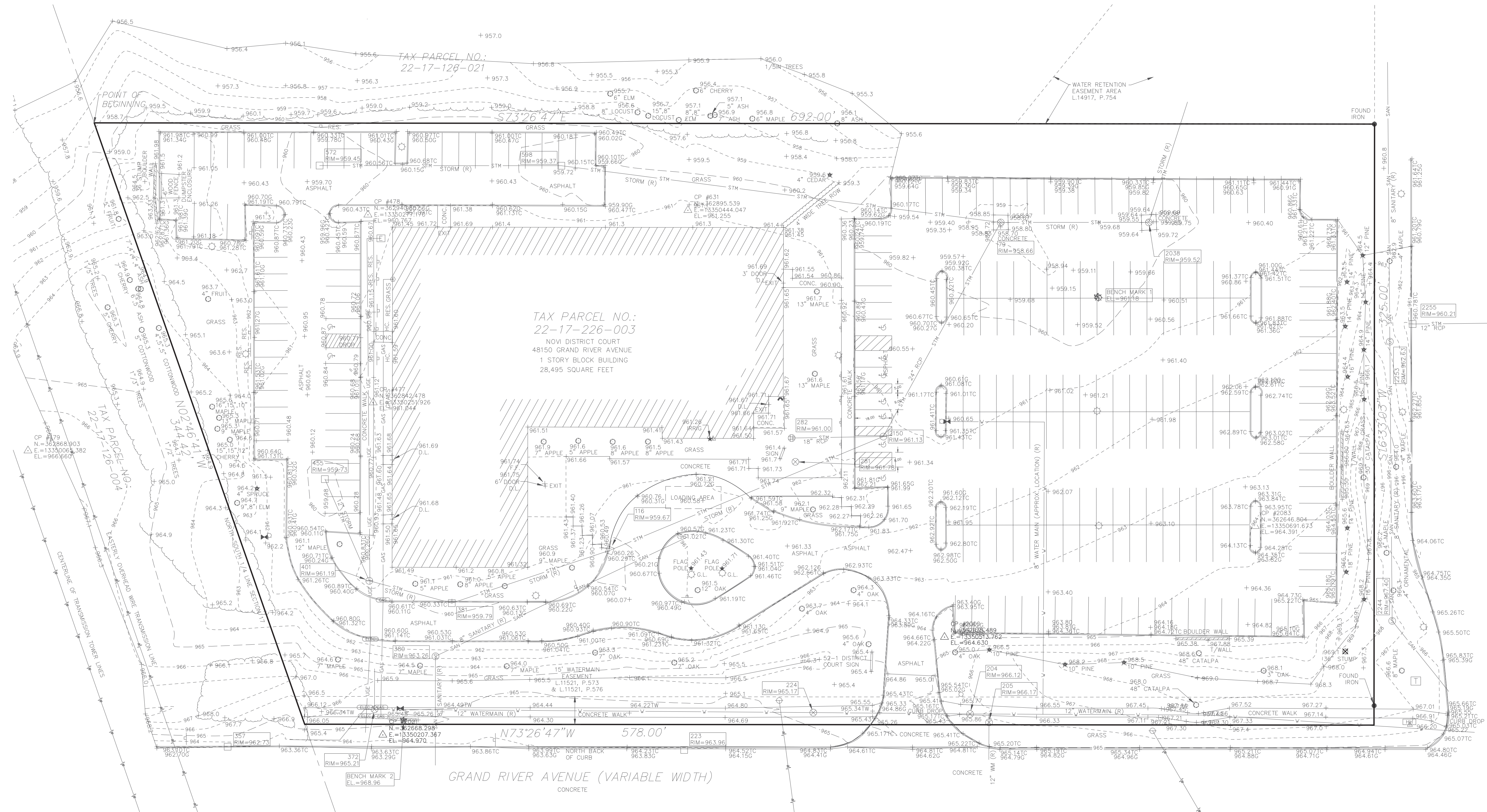
City of Novi
Oakland County
Michigan

Date:	05.08.2017
Scale:	1"=40'
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Project:	18833.60

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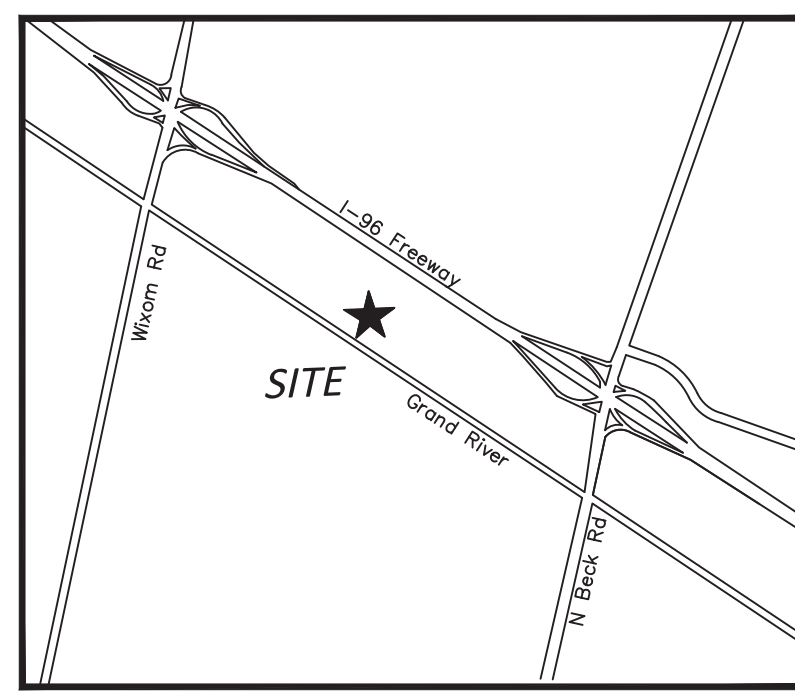
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Existing Conditions
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City of Novi
Oakland County
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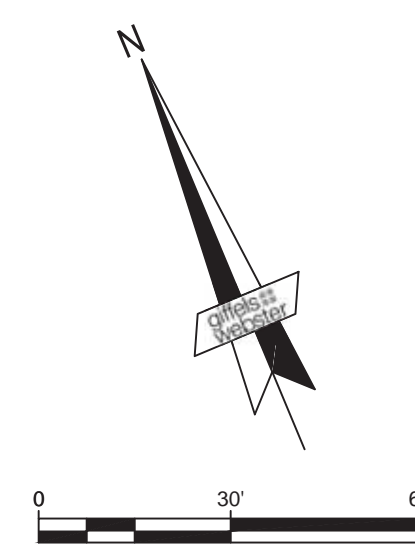
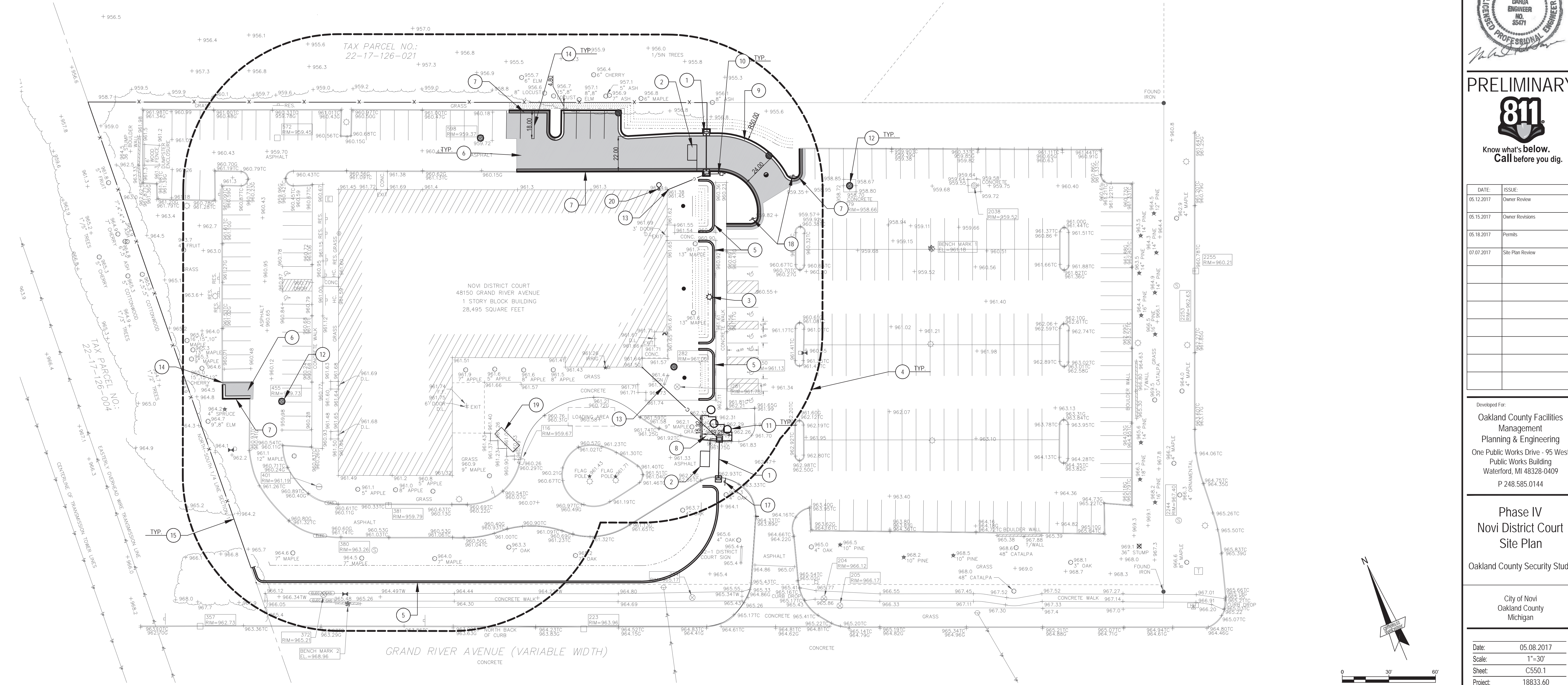
LOCATION MAP
(NOT TO SCALE)

PARKING ANALYSIS (PUBLIC)		PARKING ANALYSIS (EMPLOYEE)	
EXISTING	182	EXISTING	57
REMOVED	6	REMOVED	0
ADDED	0	ADDED	7
FINAL	176	FINAL	64

PARKING ANALYSIS (PUBLIC)		PARKING ANALYSIS (EMPLOYEE)	
EXISTING ADA	7	EXISTING ADA	2
REMOVED ADA	0	REMOVED ADA	0
ADDED ADA	0	ADDED ADA	0
FINAL ADA	7	FINAL ADA	2

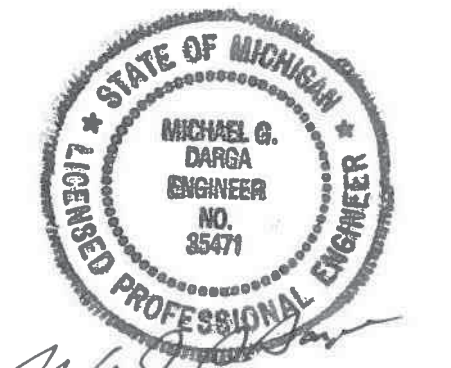
SITE PLAN KEY NOTES

- 1 PROVIDE AND INSTALL STRONGARM M30 ANTI-RAM GATE AND FOUNDATIONS. SEE DETAIL ON SHEET C800.7.
- 2 PROVIDE AND INSTALL EXIT LOOP PER GATE MANUFACTURES STANDARDS.
- 3 SALVAGED LIGHT POLE TO BE REINSTALLED. PROVIDE AND INSTALL FOUNDATION, CONDUIT AND WIRING FOR LIGHT. LIGHT POLE TO BE SAME HEIGHT AS REMAINING FIXTURES.
- 4 100 FOOT STANDOFF LINE.
- 5 PROVIDE AND INSTALL 3' HIGH RETAINING WALL. PRODUCT TO BE FIELDSTONE BY OAKS. COLOR SAMPLE REQUIRED FOR OWNER SELECTION. SEE DETAILS ON SHEET C800.8.
- 6 PROVIDE AND INSTALL STANDARD DUTY ASPHALT PAVEMENT. SEE DETAIL ON SHEET C800.7.
- 7 PROVIDE AND INSTALL REVERSE CONCRETE CURB AND GUTTER. SEE DETAIL ON SHEET C800.7.
- 8 PROVIDE AND INSTALL 4" CONCRETE WALK. SEE DETAIL ON SHEET C800.7.
- 9 PROVIDE AND INSTALL CONCRETE CURB AND GUTTER. SEE DETAIL ON SHEET C800.7.
- 10 PROVIDE AND INSTALL STANDARD 6" BOLLARD. SEE DETAIL ON SHEET C800.7.
- 11 PROVIDE AND INSTALL COUNTY STANDARD PLANTER. PLANTER TO BE INSTALLED BY COUNTY FACILITIES. NOT IN CONTRACT.
- 12 INSTALL AND MAINTAIN TEMPORARY SEDIMENT INLET FILTER. SEE DETAIL ON SHEET C800.7.
- 13 CONTRACTOR TO COORDINATE ELECTRICAL AND INTERCOM CONNECTION TO CONTROL ROOM.
- 14 PROVIDE AND INSTALL 9' BY 18' PARKING STALLS WITH 4" YELLOW WATERBORNE STRIPING
- 15 PROVIDE AND INSTALL ECHELON II MAJESTIC 3 RAIL FENCE. SEE DETAIL ON SHEET C800.8
- 16 PROVIDE AND INSTALL ANTI-RAM CABLE POST AND RAIL FENCE. SEE DETAILS ON SHEET C800.10.
- 17 PROVIDE AND INSTALL "DO NOT ENTER" SIGN R5-1 ON MDOT 3LB POST.
- 18 PROVIDE AND INSTALL "AUTHORIZED VEHICLES ONLY" SIGN R5-11 ON MDOT 3LB POST.
- 19 PROVIDE AND INSTALL 6 BIKE RACKS PER DETAIL ON SHEET C800.7
- 20 PROVIDE AND INSTALL WALL LIGHT FIXTURE TO MATCH EXISTING LIGHT FIXTURES ON BUILDING PERIMETER.



Executive:	STC
Manager:	MGD
Designer:	AFP
Quality Control:	STC
Section:	17
T-01-N R-08-E	

Professional Seal:



PRELIMINARY



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05.12.2017	Owner Review
05.15.2017	Owner Revisions
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07.07.2017	Site Plan Review

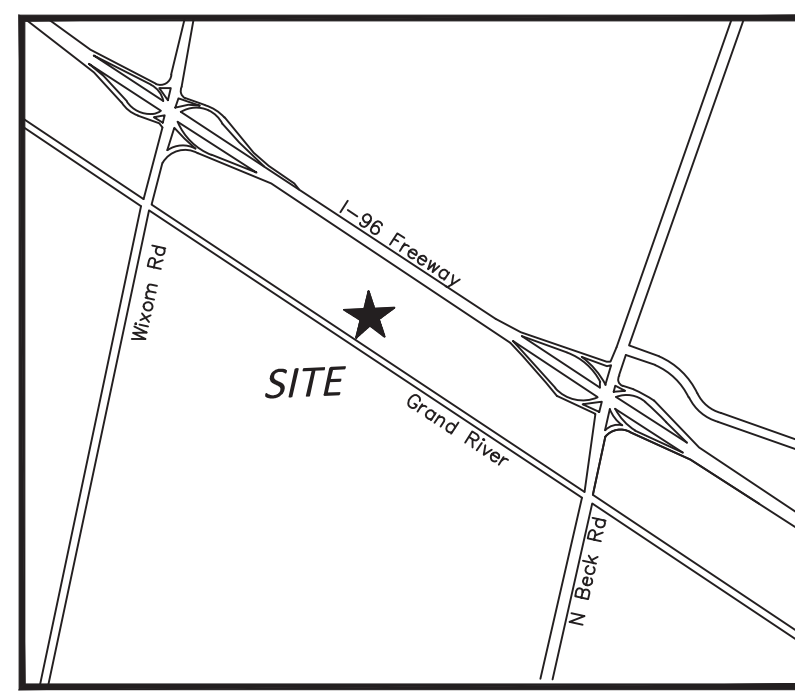
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Phase IV
Novi District Court
Site Plan
Oakland County Security Study

City of Novi
Oakland County
Michigan

Date:	05.08.2017
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Project:	18833.60

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LOCATION MAP
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COMPOSITE RUNOFF COEFFICIENT CALCULATIONS

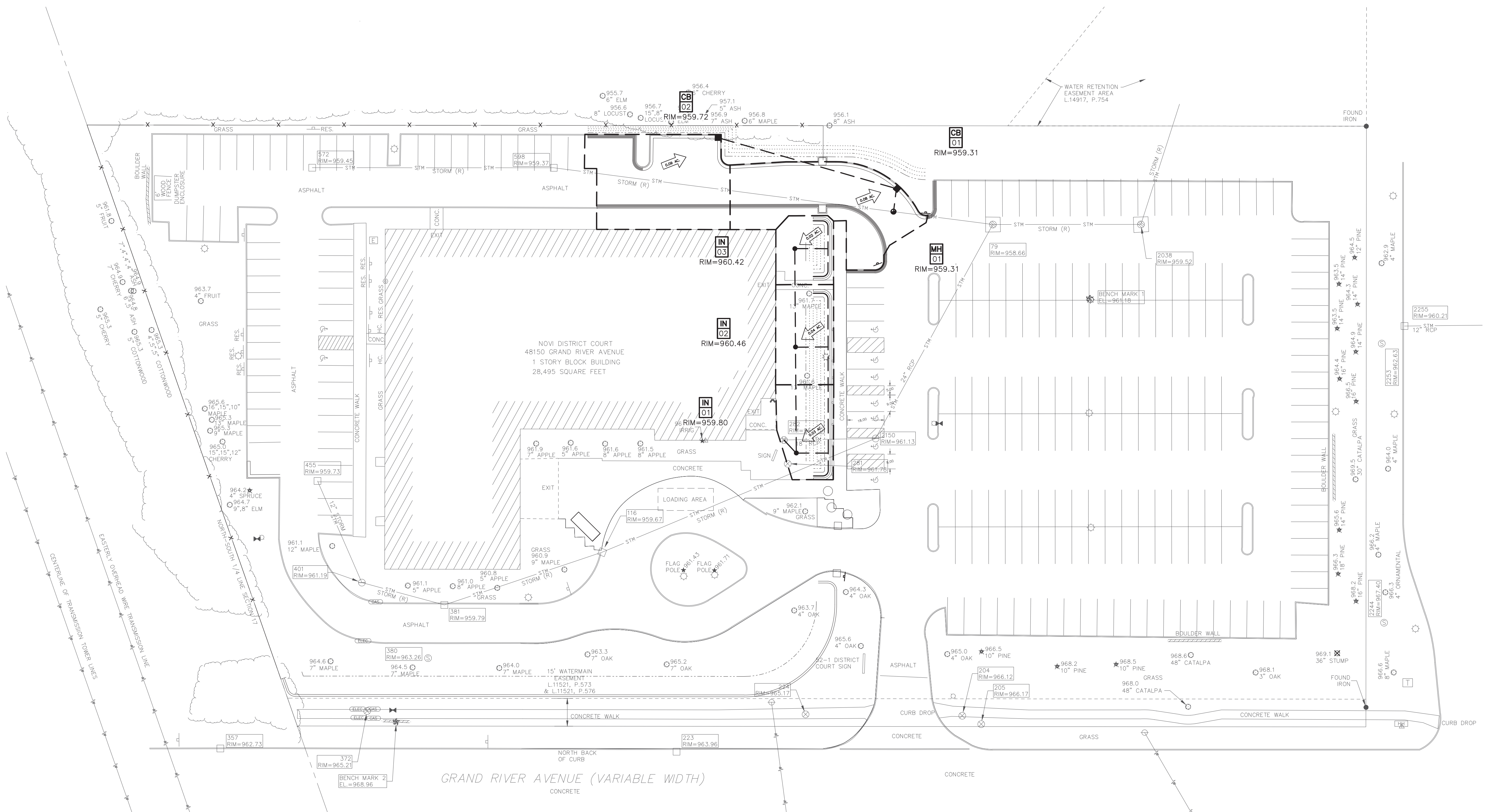
Catchment Identification	Total Area (Acres)	Landscape		C
		Area (Acres) C = 0.35	Paved/Roof Area (Acres) C = 0.95	
CB-01	0.08	0.02	0.06	0.80
CB-02	0.09	0.02	0.07	0.82
IN-01	0.03	0.03	0.00	0.35
IN-02	0.04	0.04	0.00	0.38
IN-03	0.02	0.02	0.00	0.40



Storm Sewer Design
Novi District Court
18833-60

Prepared By: AFP
Working Date: 7/15/2017
Design Storm Event: 10-year storm City of Novi

From	To	Catchment Area (acres)	Runoff C Factor	Total Area (acres)	Total Time of Concentration Tc (min)	Total Rainfall Intensity (in/hr)	Total Flow (cfs)	Pipe Capacity (cfs)	Pipe Diameter (inches)	Pipe Length (feet)	Pipe Slope	Pipe Velocity (fps)	Time of Flow (min)
CB 02	CB 01	0.09	0.82	0.09	20.00	3.89	0.29	3.56	12.00	101.00	1.00	4.55	0.37
CB 01	MH 01	0.08	0.80	0.17	20.37	3.86	0.52	3.56	12.00	12.00	1.00	4.55	0.04
IN 03	IN 02	0.02	0.40	0.02	20.00	3.89	0.03	0.85	8.00	53.00	0.50	2.45	0.36
IN 02	IN 01	0.04	0.38	0.06	20.36	3.86	0.09	0.85	8.00	58.00	0.50	2.45	0.39
IN 01	EXMH	0.03	0.35	0.09	20.75	3.82	0.12	0.85	8.00	10.00	0.50	2.45	0.07
Proposed Flow	Existing Outlet ²⁴	0.26		0.26	20.00	3.89	0.65	16.00	24.00	10.00	0.50	5.11	0.03

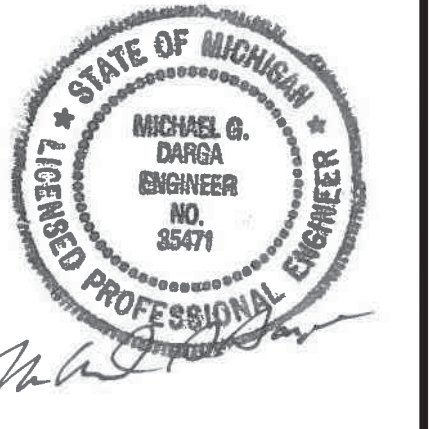


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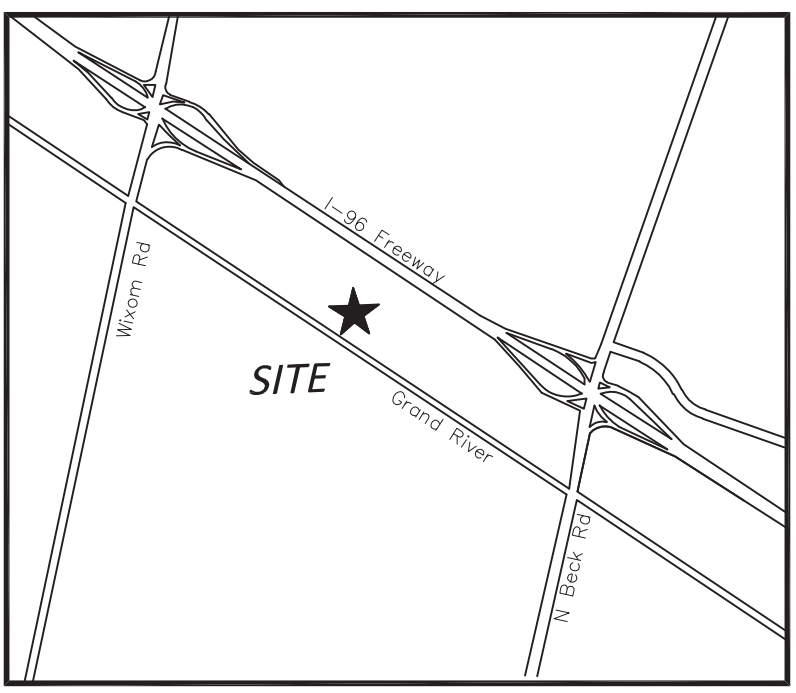
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LANDSCAPE CONTRACTOR'S "TWO-YEAR IRRIGATION REQUIREMENT PERIOD"

It shall be the responsibility of the landscape contractor to program and periodically adjust the irrigation system (provided by others) as required to ensure delivery of proper and adequate water supply to all plant material, and seeded lawn areas serviced by the same irrigation system, to ensure the establishment of healthy plant material and lawn for their first year of growth.

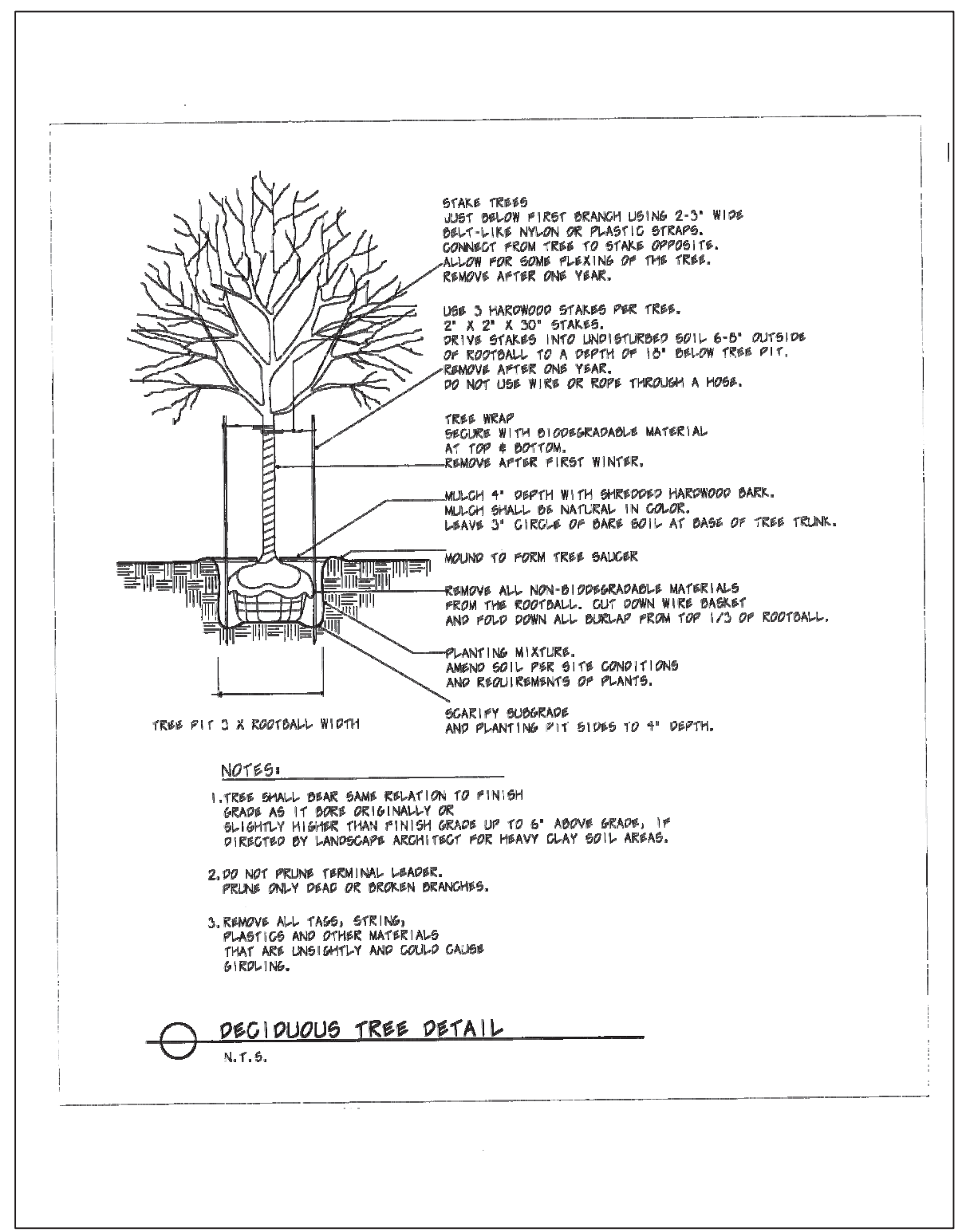
Landscape Contractor will sufficiently water all plant material located in the Detention Basin that is not irrigated through an automatic system to establish healthy root systems of the shrubs, plugs, and seedlings under this two-year Irrigation Requirement Period.

PROJECTED LANDSCAPE COST

WORK ACTIVITY	QUANTITY	UNIT	UNIT PRICE	TOTAL
LANDSCAPING				
Seed, MDOT Class 'A'	510	SY	\$3.00	\$1,530.00
Seed, Steep Slopes	213	SY	\$8.00	\$1,704.00
Deciduous Trees, 3" cal	6	EA	\$400.00	\$2,400.00
Mulch	2	CY	\$35.00	\$70.00
TOTAL				\$5,704.00

LANDSCAPE CALCULATIONS

- 1) Perimeter Parking Landscape Requirements
- One Canopy Tree per 35 ft
- Parking Lot perimeter = 195 ft
- 195 ft / 35 = 6 trees (6 trees provided)



PLANT NOTES:

- Plant materials shall be sound, healthy vigorous, free from plant diseases and insects or their eggs, and shall have normal, healthy root systems. Caliper measurements shall be taken 6" above the ground level. All other measurements shall be in accordance with the latest edition of "American Standard for Nursery Stock" (ANSI Z-60.1 + A3002004.)
- Planting bed soil for annuals shall be screened topsoil. To deter weed growth during the establishment of annual, and perennial bed, apply a pre-emergent ('Premer' or equal) after planting 2-3 times per growing season, at a rate per recommendation of product manufacturer.
- Planting pockets shall be no deeper than the height of the root ball, saucer shall be made on the edges of the plant pocket.
- All tree wrap shall be removed upon planting.
- Mulch shall be shredded hardwood bark natural in color, free from deleterious materials and suitable as a top dressing of planting beds and individual tree plantings.
- Trees shall be mulched with minimum of 4" deep hardwood bark mulch.
- Grass seed shall be certified turf grass seed complying with A.S.P.A. specifications, and free of weed seeds and undesirable native grasses. Seeded areas shall not be permitted to dry out. All lawn areas shall be fertilized and watered as required during the first growing season to maintain a dense and vigorous growing lawn.
- Plants shall be guaranteed for two complete growing seasons (24 months). Dead material shall be replaced as needed prior to the expiration of the guarantee period, in accordance with the local ordinance requirements.
- Contractor shall provide in writing a list of recommended maintenance procedures for the first two (2) growing seasons.
- Remove top 1/3 of burlap on root ball or all if wrapped in plastic covering and/or nylon cord.
- Plant materials shall be used in compliance with the provisions of the local ordinance and shall be nursery grown, free of pests and diseases, hardy in this county, in conformance with the standards of the American Association of Nurserymen, and shall have passed inspections required under state regulations. In addition, plant materials shall be northern grown, No. 1 grade.
- Plant materials shall be planted within the annual planting window of March 15-Nov 15.
- Any plant substitutions must be approved in writing by the City prior to installation.

STEEP SLOPES MIX:

- 30% *Lolium multiflorum* (Annual Ryegrass)
- 25% *Lotus corniculatus*, 'Empire' (Bird's Foot Trefoil, 'Empire')
- 25% *Trifolium hybridum* (Alsike Clover)
- 10% *Chamaecrista fasciculata* (Partridge Pea)
- 10% *Desmodium paniculatum* (Panicledale Ticktrefoil)
- SEEDING RATE: 60 lb per acre

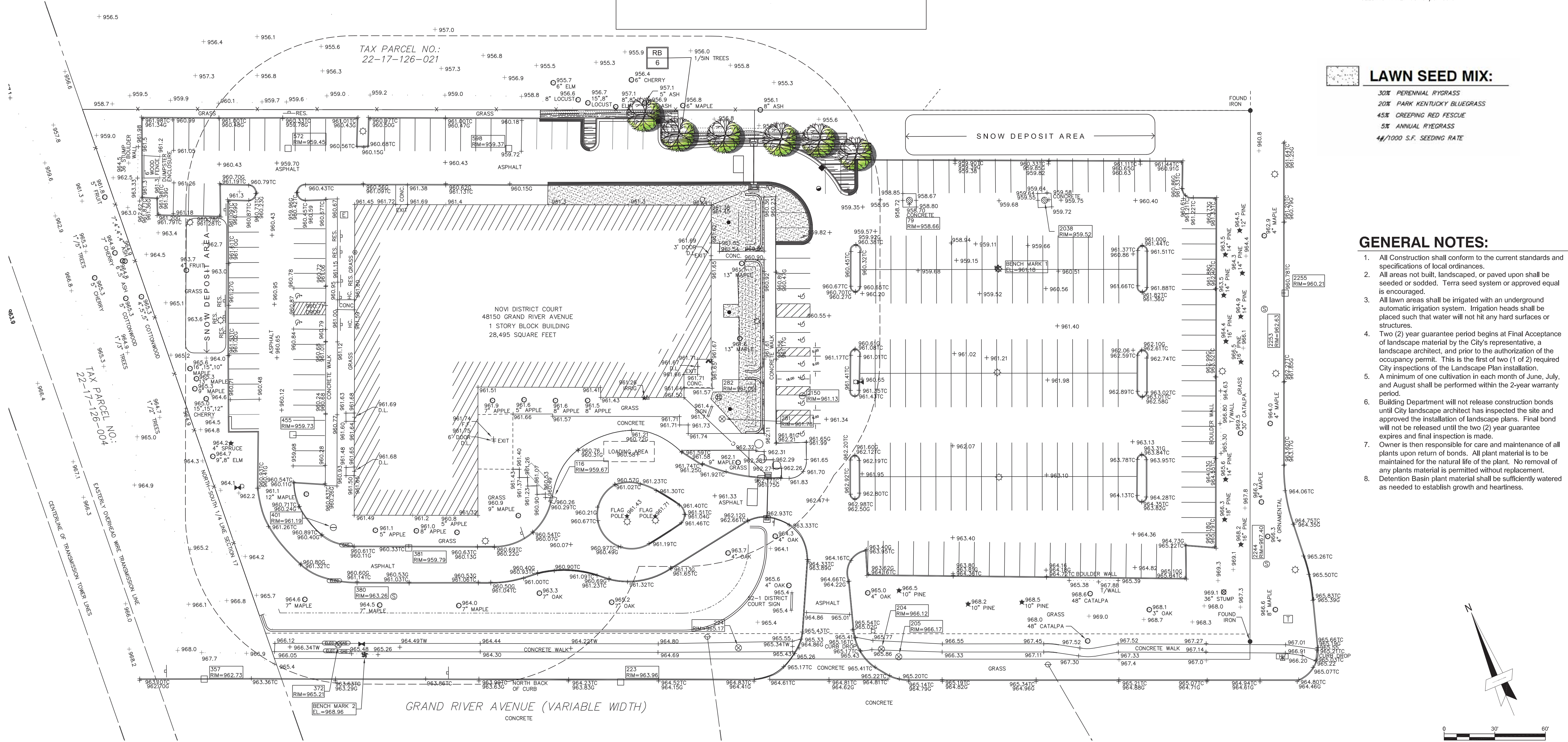
LAWN SEED MIX:

- 30% PERENNIAL RYGRASS
- 20% PARK KENTUCKY BLUEGRASS
- 45% CREEPING RED FESCUE
- 5% ANNUAL RYEGRASS
- 4#/1000 S.F. SEEDING RATE

PERIMETER & INTERIOR LANDSCAPE PLANT LIST:

NO.	SYMBOL	COMMON NAME	BOTANICAL NAME	SIZE
6	RB	Heritage River Birch	BETULA NIGRA 'HERITAGE'	1 1/2" CAL., 3-5 Multi-stem, 6-8'

- No berm is provided along the R.O.W. sidewalk because the site is generally at least 2 feet below the sidewalk. A hedge is provided as screening of the parking lot. A waiver of this requirement is requested of the Planning Commission.
- No existing trees on site will be saved.
- There are no regulated woodlands on site.



Engineers
Surveyors
Planners
Landscape Architects

28 West Adams Road
Suite 1200
Detroit, MI 48226
p (313) 962-4442
f (313) 962-5068
www.giffelswebster.com

Executive: STC
Manager: MGD
Designer: AFP
Quality Control: STC
Section: 17
T-01-N R-08-E



PRELIMINARY



DATE:	ISSUE:
07.07.2017	Site Plan Review

GENERAL NOTES:

- All Construction shall conform to the current standards and specifications of local ordinances.
- All areas not built, landscaped, or paved upon shall be seeded or sodded. Terra seed system or approved equal is encouraged.
- All lawn areas shall be irrigated with an underground automatic irrigation system. Irrigation heads shall be placed such that water will not hit any hard surfaces or structures.
- Two (2) year guarantee period begins at Final Acceptance of landscape material by the City's representative, a landscape architect, and prior to the authorization of the occupancy permit. This is the first two (1 of 2) required City inspections of the Landscape Plan installation.
- A minimum of one cultivation in each month of June, July, and August shall be performed within the 2-year warranty period.
- Building Department will not release construction bonds until City landscape architect has inspected the site and approved the installation of landscape plans. Final bond will not be released until the two (2) year guarantee expires and final inspection is made.
- Owner is then responsible for care and maintenance of all plants upon return of bonds. All plant material is to be maintained for the natural life of the plant. No removal of any plants material is permitted without replacement.
- Detention Basin plant material shall be sufficiently watered as needed to establish growth and heartiness.

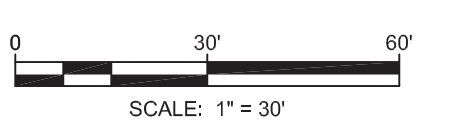
Developed For:
Oakland County Facilities Management
Planning & Engineering
One Public Works Drive - 95 West
Public Works Building
Waterford, MI 48328-0409
P 248.585.0144

Phase IV Novi District Court Landscape Plan

Oakland County Security Study

City of Novi
Oakland County
Michigan

Date: 05.08.2017
Scale: 1"=30'
Sheet: L550.1
Project: 18833.60



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 28, 2017

Planning Review

Oakland County Security Study

JSP17-47

Petitioner

Giffels Webster on behalf of 52-1 District Court

Review Type

Preliminary/Final Site Plan Review

Property Characteristics

- Site Location: 48150 Grand River Ave
- Site Zoning: OSC, Office Service Commercial
- Adjoining Zoning: East B-2, Community Business; West B-3, General Business; South and North OSC
- Site Use(s): 52-1 District Courthouse
- Proposed Use(s): Oakland County District Courthouse
- Adjoining Uses: East is Westmarket Square Shopping Center; West is undeveloped wetlands, new daycare, and bank; South is Providence Hospital; North is undeveloped wetlands
- Site Size: 4.73 acres
- Plan Date: 5-8-2017

Project Summary

The existing building houses the Oakland County 52-1 District Court services. Based on a security study of municipal buildings the applicant is proposing several security upgrades to the site. These upgrades include: fence with limited access gates surrounding the building and employee parking on the west side of the building, retaining wall cut into the berm along Grand River Avenue in front of the building, and additional employee parking spaces to the north of the building to provide secure parking for all employees.

Recommendation

Approval of the **Preliminary Site Plan is recommended**, but **Final Site Plan is not recommended** at this time. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission approval of the Preliminary Site Plan and Storm Water Management Plan is required. Zoning Board of Appeals approval of the fence location in the front yard and reduced parking setbacks is also required.**

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3.0 (Zoning Districts), Article 4.0 (Use Standards), Article 5.0 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **Bold** need to be addressed on the next submittal.

1. Planning Commission Review (Sec. 6.1.C): While the site plan would qualify for administrative review since it only proposes improvement to an existing off-street parking area, the proposed landscape improvements do require a Planning Commission waiver.
2. Parking Setback (Sec. 3.1.23.D & Sec. 3.6.2.Q): The rear parking setback does not meet the required standards. The applicant may seek a waiver from Planning Commission if they can demonstrate that the reduced setback square footage is provided elsewhere on the site as greenbelt space. Show a table on the site plan that quantifies this. You may not count required parking setback greenspace. Please also take into account the previously approved north bay

parking setback waiver in the table. **Provide the required setback, show that additional green space is provided in addition to the required setbacks, or seek a ZBA variance.**

3. Parking Space Dimensions (Sec. 5.3.2): **Provide measurements on plans of the new parking spaces.**
4. End Islands (Sec. 5.3.12): **Provide measurements on the site plan that show the end island and landscape island dimensions.**
5. Bicycle Parking General Requirements and Lot Layout (Sec. 5.16): **Provide dimensions of proposed bike rack location and spacing.**
6. Fences (Sec. 5.11): The applicant is proposing a fence surrounding the building and connected to the proposed berm/retaining wall. While, not on the plans the applicant has stated that the height of the new fence will be 5 ft., which is under the 8 ft. maximum. **Please show on the site plan the height of the fence and height on the detail sheet.** The location of the fence is within the front yard, which is not allowed in non-residential districts. **The applicant should see a ZBA variance for the location.**
7. Site Plan Checklist/Design and Construction Manual: **Show the parcel lot line on all sheets in the site plan submittal. Provide sidwell number and legal description on cover sheet.**
8. Economic Impact: Provide the economic impact of the proposed improvements: total cost of building and site improvements and number of jobs created during and after construction.

Other Reviews

- a. Engineering Review: **Engineering recommends approval of the Preliminary Site Plan, however does not recommend approval of the Final Site Plan.**
- b. Landscape Review: **Landscape recommends approval of the Preliminary Site Plan, however does not recommend approval of the Final Site Plan.**
- a. Traffic Review: **Traffic recommends approval of the Preliminary Site Plan, however does not recommend approval of the Final Site Plan.**
- b. Fire Review: **Fire recommends approval with conditions.**

Next Steps: Planning Commission

This Site Plan is scheduled to go before Planning Commission for consideration on **August 9, 2017**. Please provide the following **no later than 9:00am, August 4, 2017** if you wish to keep the schedule.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters including **request for waivers as you see fit.**
3. A color rendering of the Site Plan, if any.

Revised Final Site Plan Submittal

After Planning Commission approval and ZBA variance approval, then submit 5 sets of plan with [revised site plan application](#) for Final Site Plan review that address all the outstanding comments in the review letters.

Stamping Set Approval

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval. Plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally

held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org).

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or kmellem@cityofnovi.org.



Kirsten Mellem, Planner

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

August 1, 2017

Engineering Review

Oakland County Security Study
JSP17-0047

Applicant

Novi Investment Partners

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: Novi District Court on north side of Grand River Avenue,
West of Beck Road
- Site Size: 4.73 acres
- Plan Date: 07/07/2017
- Design Engineer: Giffels Webster

Project Summary

- Proposed additional pavement to add parking spaces to existing parking lot; addition of some retaining wall and landscaped berms, and installation of a security gate in the existing parking lot.
- The proposed new parking lot area would include new catch basins and would tie into the existing on site storm sewer system, with additional detention storage provided.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan can be recommended. Approval of the Final Site Plan and Final Storm Water Management plan is NOT recommended.

Comments:

The Final Site Plan does not meet the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual. The following items must be addressed at the time of revised Final Site Plan submittal:

Additional Comments (to be addressed with revised Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. Provide a sign quantity table listing the type and quantity of each traffic control and/or parking sign proposed on site.
3. The City standard detail sheets are not required with the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Storm Sewer

4. Provide a storm water mechanical treatment structure.
5. Include notes and details of the required maintenance for the storm water mechanical unit.
6. A Storm Drainage Facility Maintenance Agreement is required for the mechanical unit. The current template of the City's Storm Drainage Facility Maintenance Agreement can be found on the City's website and a complete draft shall be provided at the time of Stamping Set submittal.
7. Provide profiles of all storm sewer 12 inch and larger. Illustrate all pipes intersecting storm structures on the storm profiles.
8. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
9. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

Storm Water Management Plan

10. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
11. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. Any increase in impervious cover must have a storage volume to restrict the runoff to a rate of 0.15 cfs per acre during a 100 year, 24 hour design storm event.

Paving & Grading

12. Parking space length is proposed at 18 feet, to match the existing parking lot layout. Current City standards require parking spaces to be 19 feet in length with a standard 6 inch curb, alternatively, parking spaces can be 17 feet in length with a 4 inch curb if a 2 foot clear space for vehicle overhang can be provided. A variance can be requested for non-standard parking space dimensions to match existing.
13. Current City Standards require white pavement markings. A request for variance to allow yellow pavement markings to match existing conditions can be approved administratively with the Final Site Plan approval.
14. Provide spot grades at the base and top of proposed retaining wall and landscape berms.
15. Maximum allowable slope is generally twenty five (25) percent, or 1 vertical to 4 horizontal throughout the site. The maximum side slope of landscape berms shall be thirty-three (33) percent (1 vertical to 3 horizontal). A five-foot wide flat area on top shall be provided at the top of landscape berms. Portions of the site do not meet these criteria according to the notes and details. Revise the grading plan accordingly, or submit a request for variance from the Design & Construction Standards including an explanation of the justification and extent of the deviation from these requirements. A small boulder retaining wall may be considered to achieve the required grading along the proposed additional parking lot pavement; or, a temporary grading permit may be required to modify grading onto adjacent property.

Soil Erosion and Sediment Control

16. Provide a note of the size of the disturbed area on the SESC plan.
17. A SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. Submit a SESC permit application under a separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements and Agreements

18. Any off-site easements anticipated must be executed **prior to final approval of the plans**. Provide documentation of coordination with adjacent property owners for placement of fence on or near the property line, and any construction activities that may impact neighboring parcels. Drafts of any temporary off site grading or construction access permits must be submitted for review and approval with the revised Final Site Plan, and executed copies of any necessary agreements will be required prior to final stamping of the plans.

The following must be provided at the time of revised Final Site Plan submittal:

19. A letter from either the applicant or the applicant's engineer must be submitted with the revised Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of revised Final Site Plan submittal:

20. A revised itemized construction cost estimate must be submitted to the Community Development Department at the time of revised Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving in square yards of pavement, grading, and storm water treatment and management.
21. Draft copies of any off-site easements or agreements.

The following must be submitted at the time of Stamping Set submittal:

22. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
23. Executed copies of any required off-site easements or agreements must be submitted to the Community Development Department.

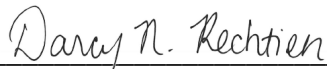
The following must be addressed prior to construction:

24. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to begin coordination for the meeting (248-347-0430).
25. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. There is no fee for this permit.
26. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
27. Construction Inspection Fees, to be determined once the revised construction cost estimate is submitted, must be paid prior to the pre-construction meeting.
28. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at Community Development.

29. A street sign financial guarantee in an amount to be determined (\$400 per traffic control/parking sign proposed) must be posted at Community Development.
30. If applicable, permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.



Darcy N. Rechtien, P.E.

cc: Theresa Bridges, Engineering
George Melistas, Engineering
Kirsten Mellem, Community Development

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

July 21, 2017

Preliminary/Final Site Plan - Landscaping

Oakland County Security Study

Review Type

Preliminary/Final Site Plan Landscape Review

Project Number

JSP17-0047

Property Characteristics

- Site Location: 48150 Grand River Avenue
- Site Zoning: OSC
- Adjacent Zoning: OSC, B-2, B-3
- Plan Date: July 21, 2017

Recommendation:

This project is **recommended for Preliminary Site Plan approval**. (I support the single waiver required, for the wall in the greenbelt). **It is not recommended for Final Site Plan approval**. There are a number of items that need to be added or adjusted before it can be accepted for that.

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below and on the accompanying landscape chart must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

EXISTING ELEMENTS

Existing Soils (Preliminary Site Plan checklist #10, #17)

Soil information needs to be added to the plan set.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

Please show all utility structures and lines clearly on the landscape plan.

Existing Trees and Tree Protection (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. All existing trees, tree removals and trees to be saved are shown on plans.
2. **Tree protection fencing and fencing details must be provided.**
3. **The regulated trees north of the property line, with grading within their drip lines, must be replaced at this time. Please show the replacement calculations and add the replacement trees to the landscape plan.**
4. **It is likely that the large trees on the east side of the building will die as a result of the grading in their root zones. Some of the 7" trees north of the wall along the Grand River frontage may also die for the same reason. If any of those trees die, they must be replaced at that time.**

LANDSCAPING REQUIREMENTS

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The wall along Grand River will require a landscape waiver from the Planning

- Commission. The waiver is supported by staff due to the nature of its purpose.
2. **Please add a statement to the landscape plan or the cover sheet of the waiver request.**

Parking Lot Landscape (Zoning Sec. 5.5.3.C.)

1. The island required to break up the 19 space parking bay has been provided.
2. **Please expand the island's width to at least 10 feet and its area to at least 200 sf, and plant one of the perimeter trees within it.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the perimeter noted, 6 perimeter trees are required and are provided. As noted above, one should be placed within the new island to help break up the visual expanse of parking.
2. **Please plant 2 of the other perimeter trees in the new islands formed at the start of the new entry to help shade the existing parking lot.**

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. **Please indicate with clouds any foundation landscaping in the area of the project.**
2. **Please replace any foundation landscaping damaged or removed during the project.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

No changes to the pond are proposed so no new landscaping is required.

Transformer/Utility Box (LDM 1.3 from 1-5)

Not applicable as there are no new utility boxes proposed.

OTHER REQUIREMENTS

Plant List, Notations and Details (LDM 2.h. and t.)

1. All but the tree protection fencing detail have been provided. **Please add that to the demolition plan.**
2. **Please do not include Birds Foot trefoil in the steep slope mix as it is quite invasive.**

Cost estimates for Proposed Landscaping (LDM 2.t.)

Cost estimates are provided.

Irrigation (LDM 1.a.(1)(e) and 2.s)

Please indicate how the trees will receive water for their establishment.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Corner Clearance (Zoning Sec 5.9)

Required corner clearances are provided.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY / FINAL SITE PLAN

Review Date: July 21, 2017
Project Name: Oakland County Security Study
Plan Date: July 7, 2017
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Yes	Yes	Scale of 1"=30'
Project Information (LDM 2.d.)	Name and Address	Yes	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Required for Final Site Plan</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	No	No	Please provide this information on all site plan-related sheets.
Zoning (LDM 2.f.)	Include all adjacent zoning	No	No	Please provide zoning of site and adjacent properties on the landscape plan.
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	No	No	<ol style="list-style-type: none"> 1. Please show property lines clearly. 2. Description needs to be in set, not necessarily on Landscape Plan.

Item	Required	Proposed	Meets Code	Comments
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	Show location type and size. Label to be saved or removed.	Tree locations, sizes and types shown on Sheet 250.1, L550.1.	Yes/No	1. Please add clouds indicating existing shrubbery or other building foundation landscaping. 2. Tree fencing needs to be provided on Demolition plan. 3. Tree fence detail showing fence at 1' outside of dripline needs to be provided on Demolition Plan.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	No	No	Soil information needs to be in set, not necessarily on Landscape Plan.
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	Sheet C550.1
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	Sheet C550.1
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Yes	Yes	Sheet C551.1
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	No	No	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 300 SF to qualify ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	No	No	1. Please show width at back of curb and area of new peninsula island. 2. Need dimensions and area callouts in SF.

Item	Required	Proposed	Meets Code	Comments
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft	18 foot long spaces		
Contiguous space limit (i)	Maximum of 15 contiguous spaces	Island has been added to break up the expanse of spaces.	No	1. The island needs to be at least 200sf in area and 10 feet wide. Please increase the island size. 2. The island needs to have a deciduous canopy tree planted in it.
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No	TBD	Please show fire hydrants clearly on landscape plan.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	No	No	Please indicate landscaping and/or ground covers for newly landscape areas.
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	NA		
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	$A = x 7.5\% = sf$	NA		Since parking is only along one side of drive, only perimeter parking trees are required.
B= Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %	$C = x 1\% = sf$	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 5.0%	$A = 7.5\% \times XX sf = xx sf$	NA		
B= Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$C = 0.5\% \times 0 sf = 0 SF$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$A + B = xxx SF$	NA		Since parking is only along one side of drive, only perimeter parking

Item	Required	Proposed	Meets Code	Comments
				trees are required.
D = C/75 Number of canopy trees required	C/200 = xx Trees	NA		Since parking is only along one side of drive, only perimeter parking trees are required.
Perimeter Green space	<ul style="list-style-type: none"> ▪ 1 Canopy tree per 35 lf ▪ 195/35 = 6 trees 	6 trees	No	<ol style="list-style-type: none"> 1. Normally the perimeter trees would need to be planted on both sides of the drive, but since there is no room due to the building, gate and utilities, it is acceptable to just plant along the north side. 2. Please plant 2 of the perimeter trees in the islands formed by the new entrance to help shade the parking lot.
Parking land banked	NA	No		
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of top soil. 		No new berms proposed		
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Refer to Residential Adjacent to Non-residential berm requirements chart	No		Not adjacent to residential
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	Refer to ROW landscape screening requirements chart for corresponding requirements.	NA		Proposed work is not adjacent to right-of-way
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% 	NA		Proposed work is not adjacent to right-of-

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ Constructed of loam ▪ 6" top layer of topsoil 			way
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		Proposed work is not adjacent to right-of-way
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Proposed walls are 3 feet typ. Oaks Fieldstone		If walls reach height taller than 3.5', they must be designed by engineer.
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None	TBD	See above
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)		NA		Proposed work is not adjacent to right-of-way
Min. berm crest width		NA		Proposed work is not adjacent to right-of-way
Minimum berm height (9)		NA		Proposed work is not adjacent to right-of-way
3' wall	(4)(7)	Proposed walls are 3 feet typ. Oaks Fieldstone		If walls reach height taller than 3.5', they must be designed by engineer.
Canopy deciduous or large evergreen trees Notes (1) (10)		NA		Proposed work is not adjacent to right-of-way
Sub-canopy deciduous trees Notes (2)(10)		NA		Proposed work is not adjacent to right-of-way
Canopy deciduous trees in area between sidewalk and curb (<i>Novi Street Tree List</i>)		NA		Proposed work is not adjacent to right-of-way
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision (LDM 1.d.(2))	<ul style="list-style-type: none"> ▪ 1 canopy deciduous or 1 large evergreen per 35 lf along ROW ▪ No evergreen trees closer than 20 ft. 	NA		

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> ▪ 3 sub canopy trees per 40 lf of total linear frontage ▪ Plant massing for 25% of ROW 			
Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		NA		
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	No utility boxes shown		<ol style="list-style-type: none"> 1. Provide proper screening for any new transformers. 2. Include city standard detail with other landscape details.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ xx lf x 8ft = xx SF 	No changes to building are proposed.		<ol style="list-style-type: none"> 1. Any existing landscaping damaged or removed during project. 2. Any missing landscaping from previously approved stamping sets should be replaced.
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	<ul style="list-style-type: none"> ▪ If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space 	No changes to building are proposed.		
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements <i>(Sec. 5.5.3.E.iv)</i>	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	None		As no changes to the pond are proposed, no additional landscaping is required.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.I. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> • Provide intended dates • Should be between 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	March 15 and November 15.			
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> • Include statement of intent to install and guarantee all materials for 2 years. • Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system is recommended.	No	No	Need to indicate how new trees will be watered.
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		Yes	No	Please do not include Birds foot trefoil in the mix. It is very invasive.
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	Please add a callout to the detail stating that root ball dirt should be removed to expose root flare.
Evergreen Tree		NA		
Shrub		NA		
Perennial/ Ground Cover		NA		
Tree stakes and guys. (Wood stakes, fabric guys)		NA		
Tree protection fencing	Located at Critical Root Zone (1' outside of	No	No	1. Please include detail showing fence one

Item	Required	Proposed	Meets Code	Comments
	dripline)			foot outside of dripline. 2. Show tree protection fence lines for all trees to be saved on demolition plan.
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	No	No	Please add note on plan view near property line.
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	1. Please note that it is very likely that the large trees east of the building will be killed by the grading in their root zones. If they do die, they will need to be replaced. 2. The 7" trees along the Grand River frontage may also die from the grading in their root zones. They would also need to be replaced. 3. The trees with dbh of 8" or larger north of the property line will need to be replaced now, because the grading will be within their root zone and they are regulated trees. Please show the replacement calculations and show the replacement trees on the landscape plan.
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No	No	
Plant Sizes for ROW, Woodland replacement and others	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section	No	No	Include on Plant list

Item	Required	Proposed	Meets Code	Comments
(LDM 3.c)	for more details			
Plant size credit (LDM3.c.(2))	NA	No	No	
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	Yes	No	See note above about Birds Foot Trefoil.
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	No	No	1. Please show all existing or proposed utility lines on the landscape plan. 2. Please dimension distance between new trees close to overhead lines.
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	No	No	Include this information in planting details.

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP17-0047 Oakland County Security Study –
Noiv District Court PSP-FSP Traffic Review
From:
AECOM

Date:
August 2, 2017

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Kirsten Mellem, George Melistas,
Theresa Bridges, Darcy Rechten

Memo

Subject: JSP17-0047 Oakland County Security Study – Novi District Court Preliminary-Final Traffic Review

The preliminary/final site plan was reviewed to the level of detail provided and AECOM **recommends denial** for the applicant to move beyond the final site plan as there are several outstanding comments that need to be addressed before proceeding; however the preliminary site plan is recommended.

GENERAL COMMENTS

1. The applicant, Giffels Webster, is proposing internal site modifications to the Novi District Court parking lot located on the north side of Grand River Avenue, west of Beck Road.
2. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County (RCOC).
3. The site is currently zoned OSC – Office Service Commercial with no zoning changes being proposed.
4. The applicant is proposing the removal of six parking spaces and the addition of seven parking spaces for a net gain of one parking space.

TRAFFIC IMPACTS

1. The proposed parking lot modifications are not expected to generate additional traffic volumes; therefore, additional traffic impact studies are not recommended at this time. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	The proposed parking lot modifications are not expected to generate additional traffic volumes.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The existing external site access and operations are not expected to be impacted by the proposed parking lot modifications, nor has the applicant proposed any modifications to the existing driveway.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
 - a. The applicant is proposing the installation of two (2) electronic gates.
 - i. Access behind the gates will be for employees only. This includes staff, judges, police, and waste collection.
 - b. The applicant should provide truck paths to and from the existing loading area to ensure that trucks can adequately access the loading area given the proposed modifications.
 - c. The 50 foot turning radii of the proposed connection is adequate to service trucks and emergency vehicles.
 - d. Include dimensions such as radii and width for any proposed new or modified landscape islands or peninsulas throughout the site. The applicant indicated that the landscape island has not been dimensioned at this time. Provide clarification as to why it has not been provided or indicate dimensions on future submittals.
 - e. The width of the connection is 24 feet prior to the gate and 22 feet after the gate, which is in compliance with City standards since parking is not present along the connection.
 - f. The proposed maneuvering lane adjacent to the proposed parking spaces is 22' and the parking spaces are 18' for a total of 40' to match existing site layouts. Typical parking spaces are 19' in depth and maneuvering lanes adjacent to parking spaces are 24' to accommodate two-way traffic for a total width of 43'. **The applicant plans to request a planning commission variance for this item.**
2. Parking Facilities
 - a. The applicant is removing six public parking spaces and adding seven employee parking spaces, resulting in a net increase of one parking space (249 spaces).
 - b. The number of parking spaces exceed the City's required number of parking spaces (128).
 - c. The proposed parking space width of 9' matches City standards.
 - d. The dimension length of the proposed parking spaces are 18 feet with a curb of six inches in height. The City requires 19 foot parking spaces adjacent to six inch curbs. The City also allows 17 foot parking spaces; however, the curb height must be reduced to four inches to allow for two feet of overhang for the front of the vehicle. While the existing spaces also appear to be 18 feet in length, **a variance may be required for the new spaces to be constructed at that length with a six inch curb.**
3. Sidewalk Requirements
 - a. The additional proposed sidewalk near the south gate is compliant with City standards.
 - b. The applicant should provide the width of the existing sidewalk located in front of the proposed retaining wall to confirm that the sidewalk still meets the five feet in width which is required by City standards.
4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing.
 - a. The applicant should include a signing quantity table for additional signing information and summarization.
 - b. Signing to accompany the installation of the two (2) gates should be considered to notify drivers of the presence of the gates and who is permitted access. Signing for the northern gate should be placed at the proposed connection to the existing main parking lot so that motorists may know that there is a limited access prior to entering the connection driveway.
 - c. The word "Authorized" has a typo in Note 18 on Sheet 550.1
 - d. While sign post sizing is in compliance with City standards, the City also requires that the sign post be U-channel in shape. Please indicate on the plans that all sign posts are U-channel posts.
 - e. Sign post information provided in the notes section of Sheet C550.1 is in compliance with City standards; however, the callout for the post sizing on the parking signage detail on Sheet 800.1 differs from the notes and should be corrected to be in compliance with City standards.

Memo

- f. The parking sign detail on Sheet 800.1 indicates that there may be barrier free parking signing being proposed. However, there is no other information related to barrier free parking signing. The applicant should provide clarification on if barrier free parking signing is being proposed.
- g. The applicant should raise the bottom of each sign to a height of seven feet from the ground.
- h. **The applicant plans to request an administrative variance for yellow parking striping instead of white.**

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Sterling J. Frazier, EIT



Reviewer, Traffic/ITS Engineer

Maureen N. Peters, PE
Senior Traffic/ITS Engineer

FIRE REVIEW



July 21st, 2017

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Kirsten Mellem- Plan Review Center

RE: **52 District Courthouse 48150 Grand River Avenue, Novi, MI 48375**

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Brian Burke

City Manager
Pete Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Jerrod S. Hart

PSP# 17-0105

Project Description:

52 District Courthouse parking lot expansion on the north side-to be used for employees and will have security gates.

Comments:

- Will ensure street is 20' or wider, supports 35 tons, 50' outside turning radius and 30' inside turning radius.
- Fire lanes must be minimum 20' wide and 14' high.
- Gates must be Knox box keyed to allow FD access (all gates). (Sec. 11-198 Right of way performance-Figure VIII-K)
- Per FM and conversation that was had with the project contact—the barricade that will be erected in front of the FDC will have an area that will be open to allow fire fighters to have access to the FDC in the event of a fire (meeting the maximum 100 feet from hydrant to FDC IFC 2012 fire code).

Recommendation:

APPROVAL

Sincerely,

Peter Breuhan-Acting Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

To:	Kristen Mellem	Date:	08/04/17
From:	Anthony Pontone	Project:	Oakland County Security Study
RE:	City Comment Response – Preliminary Site Plan	Project Number:	18833-60

Please see below for the responses to comments received from the City of Novi from Preliminary Site Plan review

Planning Review Chart:

Parking Setbacks – A parking waiver setback will be requested from ZBA

Parking Space Dimensions – The new parking spaces will be dimensioned to show 9’x18’ spaces to match the existing spaces on site.

End Islands – End islands will be dimensioned on Site Plan

Bicycle Parking – The space allocated for the bike rack will be dimensioned and the callout will specify spacing for racks.

Fences – The callout for the fence will specify the fence is to be 5’ in height and will be noted on the detail sheet that a 5’ foot will be used. A ZBA variance will be requested for the location of the fence.

Site Plan Checklist – The parcel lines will be darkened on all sheets in submittal. The legal description and sidewell information will be placed on the coversheet for final submittal

Engineering Review:

- 2) A sign table will be provided listing the type and quantity of each sign on the Site Plan.
- 4) A storm water mechanical treatment structure to be provided in-place of a standard manhole.
- 5) Notes and details for mechanical treatment structure to be included.
- 6) The Storm Drainage Facility Maintenance Agreement will be completed and returned with final submittal.
- 7) A profile for the 12” Sewer will be included.
- 8) The 10-year HGL will be labeled in profile

- 9) A schedule of the castings will be provided in the final submittal for the 2 catch basins and one manhole.
- 10) Storm water management plan will be designed per Chapter 5 of the Engineering Design Manual
- 11) The storm water system will be designed to the 100-year flood, restrict a runoff rate to .15cfs per acre and provide storage for this volume.
- 12) The curb height will be reduced to 4" to match existing. However, to match existing spaces, the spaces will be 18' in length.
- 13) A variance will be requested to allow yellow pavement markings to match existing.
- 14) An updated grading sheet will provide grades at the top/bottom of the retaining walls/berms and on the north edge of property along the new parking spaces.
- 15) A variance will be requested for the sloped area along the north property line. The boulder retaining wall will be considered within our office for review in place of the steep sloped embankment.
- 16/17) A soil erosion and sediment control sheet will be provided in the final submittal. A SESC application will be filled out and submitted. All details will be per City of Novi standards for SESC.
- 18) The off-site discharge easement will be updated to accommodate the increased flow from site to the adjacent property. Documentation of the update will be provided at final submittal.
- 19) The engineer will provide a letter indicating the changes made and to which sheet the change was made on at time of final submittal.
- 20) An updated estimate for new site construction only will be provided per comment request. A full cost estimate will be provided with final submittal also.
- 21) Draft copies for the discharge easement will be provided.
- 22) A draft of the maintenance agreement will be ready for the stamping submittal.
- 23) Final copies of the discharge easement will be provided at time of stamping submittal.
- 24) Contractor will contact the City of Novi prior to construction to conduct the pre-construction meeting
- 25) Contractor will obtain the Grading Permit prior to grading at the site.
- 26) A SESC Permit will be obtained before work begins.
- 27) Any inspection fees are to be paid by Contractor once estimate is submitted.
- 28) The storm water guarantee will be posted at the Community Development.
- 29) A street sign financial guarantee will be posted at the Community Development center.
- 30) Permits will be determined for the retaining wall if needed.

Landscape Review:

Miss Dig Note: is in the plan in the Title Block.

Zoning will be shown for the prosperity and all adjacent properties.

Property Line will be shown in bold for all Plans.

Property description will be shown on the Landscape Plan.

Proper dripline of all trees and existing shrubs will be shown on the landscape plan.

Tree protection fence will be located on the Demolition Plan

City's Tree Protection detail will be shown on the Landscape Plan.

Soil information will be shown on the Landscape Plan.

All proposed parking lot islands dimensions will be shown on the site plan.

Parking lot island areas in square feet will be shown on all proposed parking lot islands.

All parking lot islands will be a minimum of 200 sf and 10 wide.

Proposed parking lot island will have a proposed tree planted in it.

Two parameter trees will be planted in the two islands formed by the new entrance to the proposed parking to help shade the parking lot.

Proposed walls will not be taller than 3'.

No new transformer boxes are proposed.

No interior landscaping was ever designed for this building.

All proposed plant materials will be irrigated with the existing irrigation system. Contractor may add or move existing irrigation heads to better cover proposed plant materials.

Birds foot trefoil will be removed from the proposed seed mix.

City tree detail will be modified to note "root ball dirt should be removed to expose root flare.

Again, City's Tree Protection detail will be shown on the Landscape Plan and it will show the proposed protection fence 1' from the drip line.

Trees on the east side of the building were planted 2' high (see pictures). Adding 1' to 2' of top soil behind the wall slopping back from the wall will not kill these 2 red maple trees. A note will be added to the plan that all grading within the tree drip lines will be done by hand and soil will be loosely installed and not

compacted to provide air to the tree roots. In addition trees affected by grade will be pruned back to reduce the canopy.

Existing trees along Grand River were planted 1' high (see pictures). Adding 1' of top soil behind the wall slopping back from the wall will not kill these 4 red maple trees and 1 smaller 4" caliper Red Oak tree. A note will be added to the plan that all grading within the tree drip lines will be done by hand and soil will be loosely installed and not compacted to provide air to the tree roots. In addition trees affected by grade will be pruned back to reduce the canopy.

All of the trees on the north prosperity line are White Ash Fraxinus Alba so they are not regulated and probably will die someday soon.

Plan is proposing light grading and less than 3' block wall no modifications will be made to the ROW landscape.

Again, Birds Foot Trefoil will be removed from the proposed seed mix.

All utility lines will be shown on the landscape plan.

Overhead lines as indicated by the utility company are SITE BY SEEN. We will attempt to show dimensions that apply.

Mulch notes are already on the City provided and shown Deciduous Tree Detail.

Fire Marshal Review:

- 1) The entrance radius is now 50' and is 24' face to face.
- 2) Fire lines are 24' and there is no vertical height restrictions.
- 3) A knox box will be provided at both gates.
- 4) A cut in the retaining wall was provided to access the FDC connection.

Traffic Review:

- 1) b. The current loading of the building for supplies is either at the front or rear of the building. As we are not removing any access points to or from the building, loading should not be affected by the addition of the two electronic gates.
d. Dimensions of the landscape islands will be included on site plan.
f. A variance will be requested for the total width being 40' rather than the standard 43'.
- 2) d. The curb height will be reduced to 4" at the parking spaces to avoid the variance.
- 3) b. The existing sidewalk will be dimensioned in front of the building.
- 4) a. A sign quantity table will be provided.
b. The signage at the north gate is noted for "Authorized Personal"
c. The typo will be corrected.
d. Sign posts will be noted to be U-Channel posts.
e. The note on C800.1 will be corrected to meet City Standards.

- f. The barrier free detail will be removed from this sheet. Detail sheet was being used in conjunction with another building in the Phase of work.
- g. The sign detail will be changed to denote the bottom the sign to be seven (7) feet from the ground.
- h. An administrative variance will be requested for the yellow paint to match the existing paint that is out there.