



## TERRA PRO: SECOND AMENDMENT JSP 21-12

### **JSP 21-12 TERRA PRO SECOND AMENDMENT**

Public hearing at the request of Cambridge of Novi, LLC for Planning Commission's recommendation to the City Council for the Second Amendment to the previously-approved Terra Planned Rezoning Overlay (PRO) Plan, JSP17-52 and JSP 21-12, and associated with Zoning Map Amendment 18.718. The subject property is approximately 30.14-acres and is located east of Napier Road and on the north side of Nine Mile Road (Section 29, 30). The applicant proposed a 41-unit single-family ranch housing development. The current amendment is requested as the applicant is seeking to eliminate previously proposed sidewalk connections in two locations and to pay into the Tree Fund for 51 woodland tree credits rather than planting them on site to the north of units 27-36 as previously proposed.

### **Required Action**

Recommendation to the City Council on the proposed amendment to the approved Planned Rezoning Overlay Plan and Agreement.

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	<b>Not recommended for approval</b>	7-27-22	<ul style="list-style-type: none"> <li>• <b>Eliminate sidewalk connection to the ITC trail in the eastern portion of the site</b> (<i>Not supported as it seemed to be presented as a public benefit in the PRO Agreement</i>)</li> </ul>
Engineering	<b>Not recommended for approval</b>	7-26-22	<ul style="list-style-type: none"> <li>• <b>Deviation to eliminate a section of required sidewalk along Villa Court.</b> (<i>Not supported as there appears to be enough space to accommodate the sidewalk</i>)</li> </ul>
Landscaping	<b>Not recommended for approval</b>	7-12-22	<ul style="list-style-type: none"> <li>• <b>Pay into the Tree Fund for 51 woodland credits rather than plant them on-site as previously shown</b> (<i>Not supported as there are alternate locations on site where they could be planted</i>)</li> </ul>

## **Motion sheet**

### **Denial**

In the matter of the request of Cambridge of Novi, LLC, for Terra JSP 21-12, motion to **recommend denial** to the City Council for an amendment to previously approved Planned Rezoning Overlay (PRO) plan and agreement, based on the following:

1. As the Code of Ordinances requires non-motorized facilities on both sides of streets, and it appears to be feasible to accommodate the sidewalk despite the repositioning of the culvert.
2. The asphalt sidewalk connection to the ITC Trail helps to further the goals of non-motorized connectivity in the City and was presented as a public amenity at the time the PRO Agreement was approved.
3. The applicant should attempt to find alternate on-site locations for the 51 woodland credits. Any remaining tree credits that cannot feasibly be planted on site may be paid into the Tree Fund.

### **OR**

### **Approval**

In the matter of the request of Cambridge of Novi, LLC, for the Terra JSP 21-12 with Zoning Map Amendment 18.718, motion to **recommend approval** to the City Council for an amendment to previously approved Planned Rezoning Overlay (PRO) plan, based on following motion:

1. This approval is subject to all conditions listed in the original PRO agreement recorded April 9, 2019 and the First Amendment recorded November 21, 2019, unless otherwise amended.
2. The recommendation includes the following ordinance deviations with this revision for consideration by the City Council:
  - a. Deviation from Subdivision Ordinance Section 4.05 and Design and Construction Standards Section 11-256(b) for the absence of approximately 110 feet of sidewalk along the south side of Villa Court;
  - b. Removal of the previously proposed sidewalk connection east of Unit 37 to the ITC Trail off-site;
3. If the City Council approves the amendment to the PRO Concept Plan, the Planning Commission recommends the following conditions be made part of the PRO Agreement:
  - a. Deviation from Subdivision Ordinance Section 4.05 and Design and Construction Standards Section 11-256(b) for the absence of approximately 110 feet of sidewalk along the south side of Villa Court;
  - b. Removal of the previously proposed sidewalk connection east of Unit 37 to the ITC Trail off-site;

- c. Fifty-one woodland credits will either be planted on-site or paid into the Tree Fund if on-site placement is not feasible.
- a. The PRO agreement shall also be amended to include the following updates:
  - i. The ITC comfort station shall be completed no later than November 15, 2022;

**[Insert any additional conditions]**

This motion is made because **[Insert reasons for approval here]**

**Postponement**

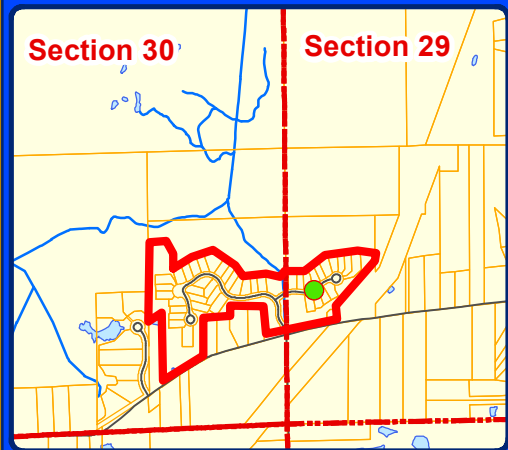
In the matter of the request of Cambridge of Novi, LLC, for the Terra JSP 21-12 with Zoning Map Amendment 18.718, motion to **postpone** making a recommendation, based on following conditions:

1. **[Insert any additional conditions]**

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

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# JSP21-12 TERRA LOCATION



**LEGEND**


 Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Lindsay Bell  
Date: 9/9/22  
Project: TERRA  
Version #: 1

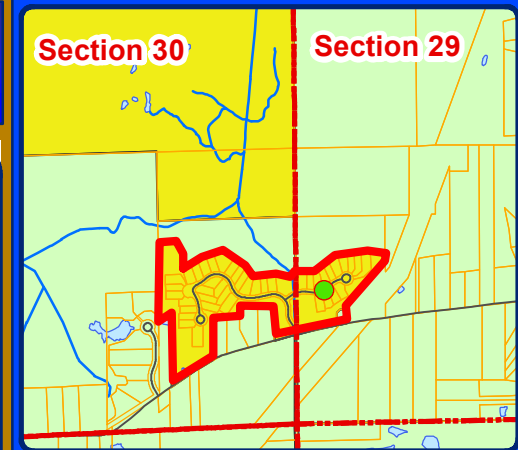
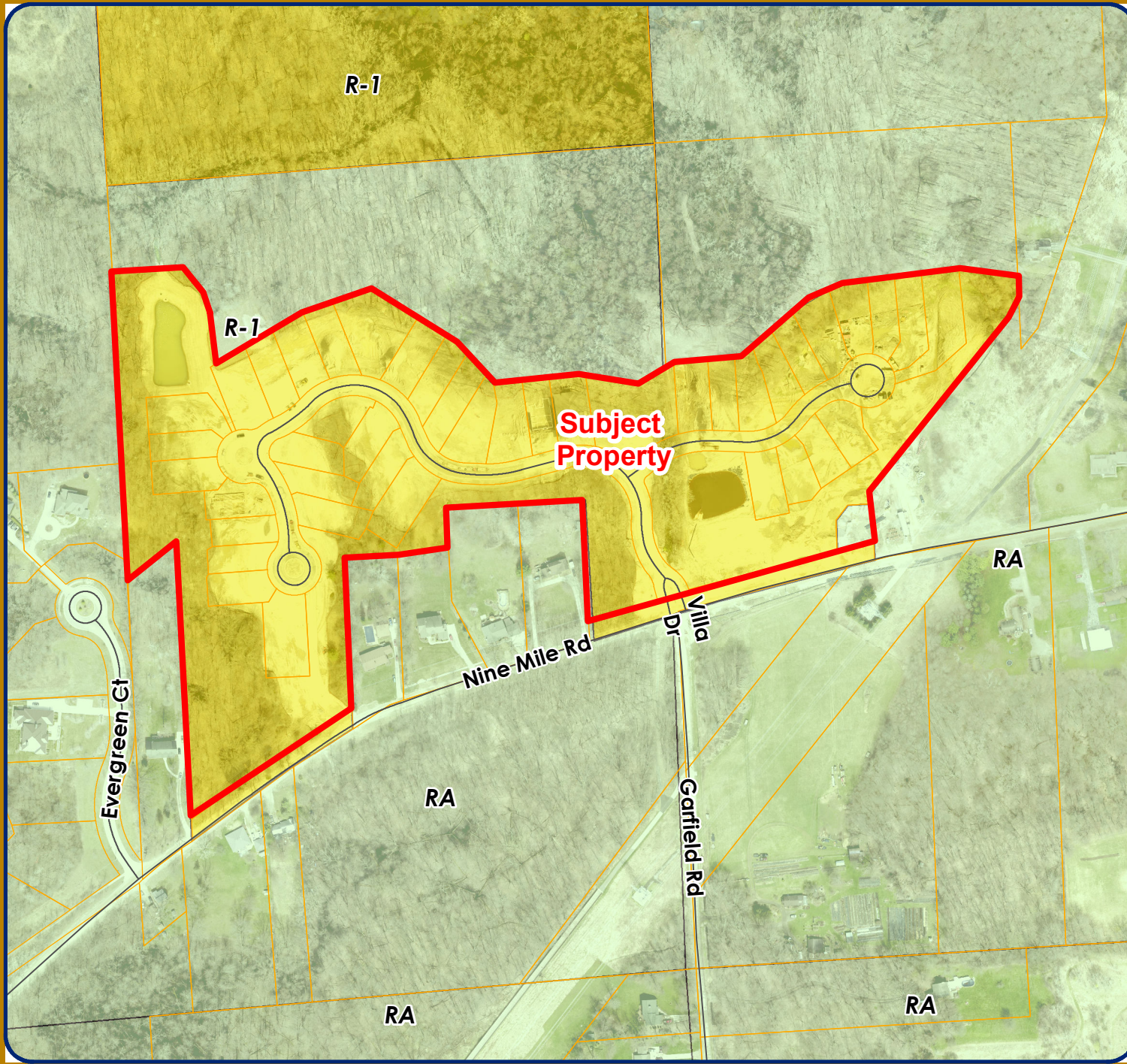
0 75 150 300 450 Feet  
1 inch = 346 feet



**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP21-12 TERRA ZONING



- LEGEND**
- R-A: Residential Acreage
  - R-1: One-Family Residential District
  - Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Lindsay Bell  
Date: 9/9/22  
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Version #: 1

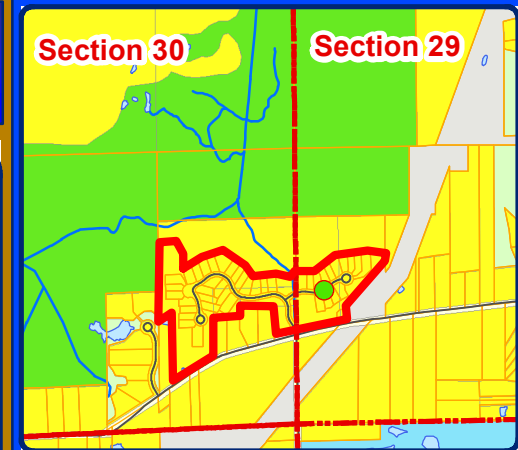
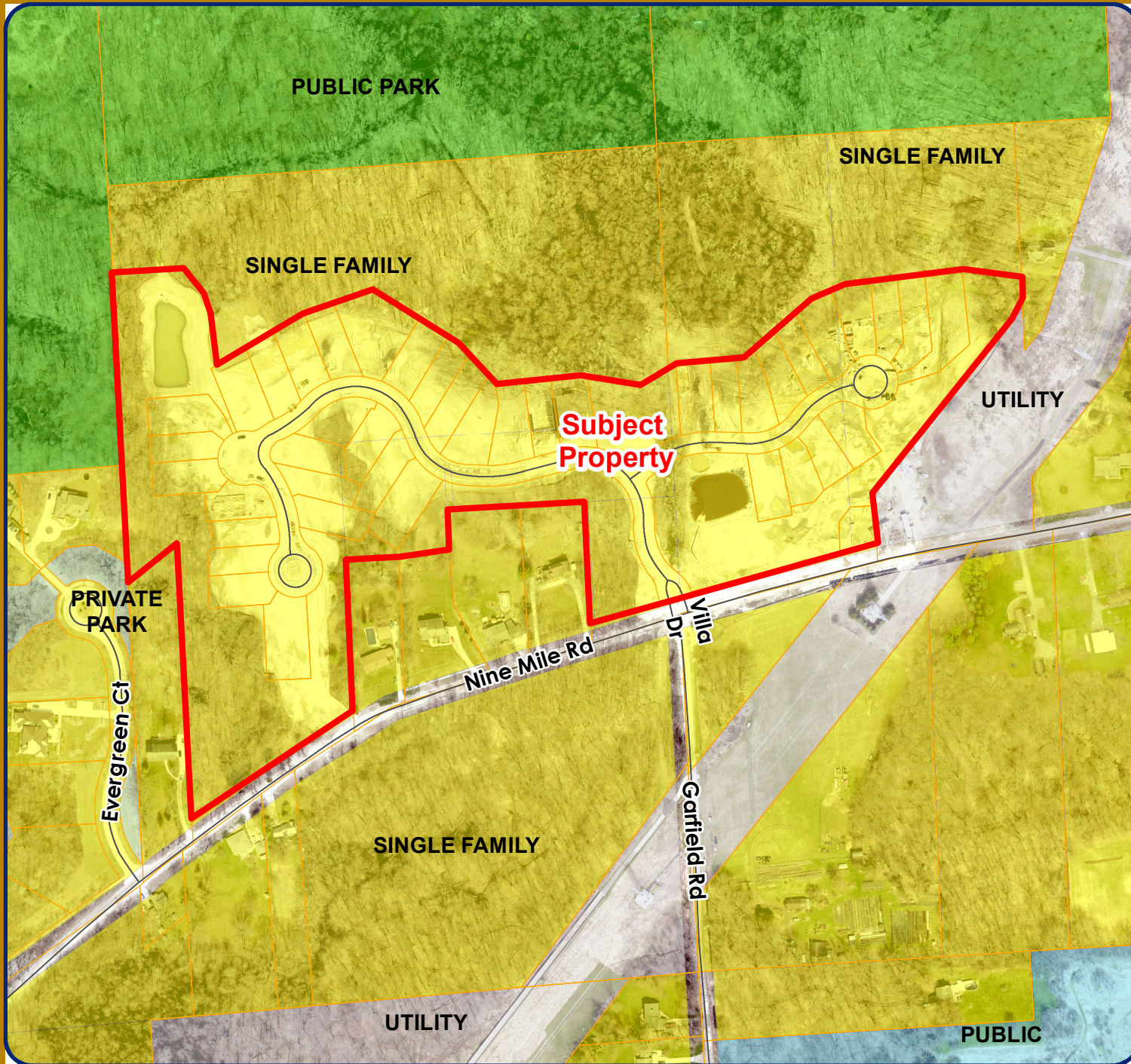


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# JSP21-12 TERRA

## FUTURE LAND USE



**LEGEND**

- Single Family
- Public
- Public Park
- Private Park
- Utility
- Subject Property

**City of Novi**

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 45175 W Ten Mile Rd  
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[cityofnovi.org](http://cityofnovi.org)

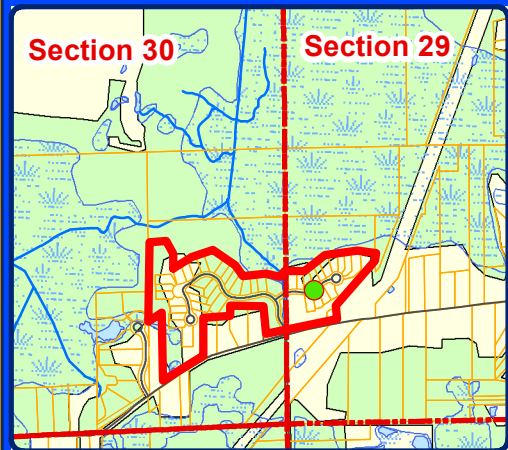
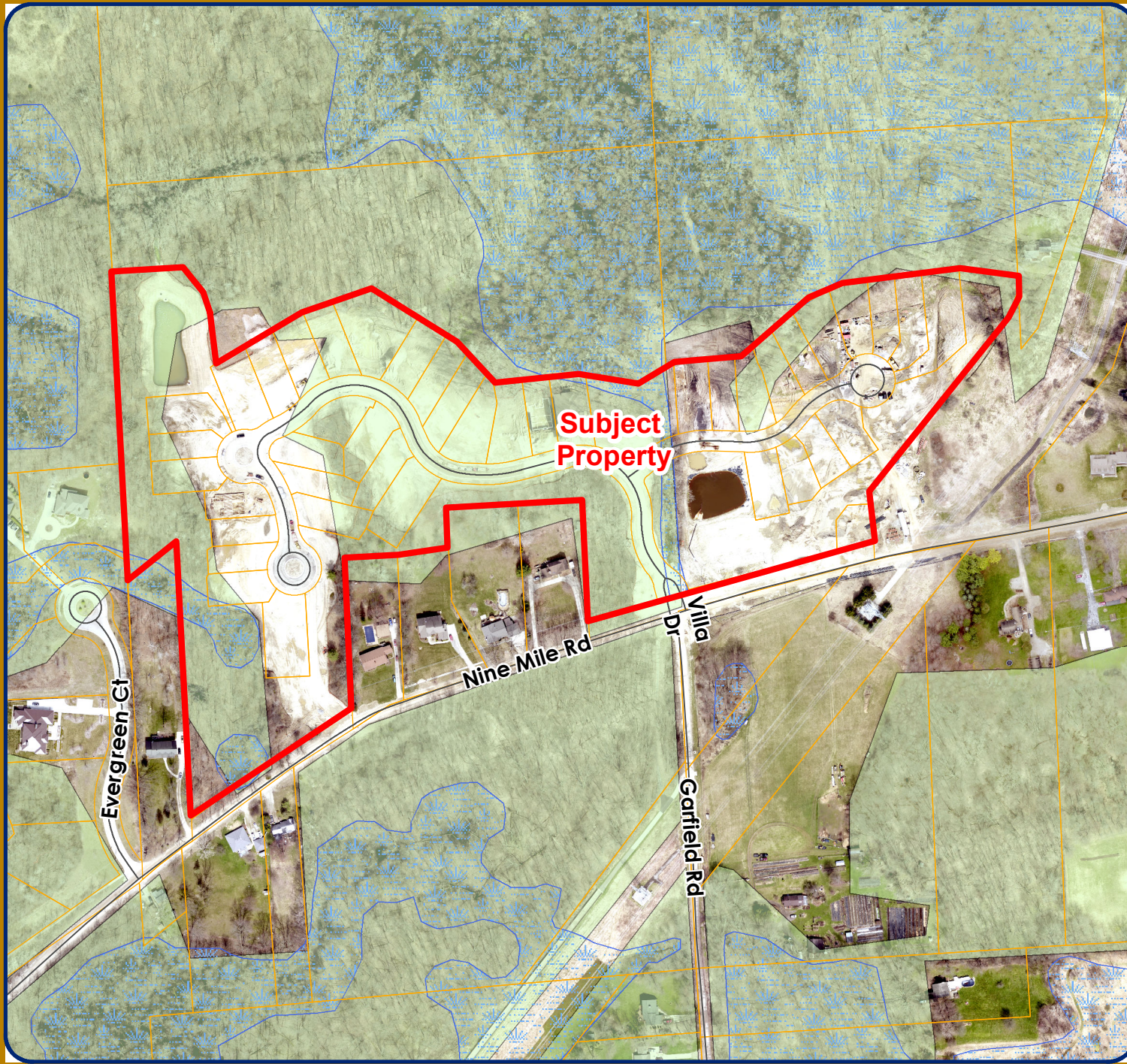
Map Author: Lindsay Bell  
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# JSP21-12 TERRA NATURAL FEATURES



**LEGEND**


- WETLANDS
- WOODLANDS
- Subject Property



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City Hall / Civic Center  
45175 W Ten Mile Rd  
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[cityofnovi.org](http://cityofnovi.org)

Map Author: Lindsay Bell  
Date: 9/9/22  
Project: TERRA  
Version #: 1

0 75 150 300 450 Feet  
1 inch = 346 feet



**MAP INTERPRETATION NOTICE**

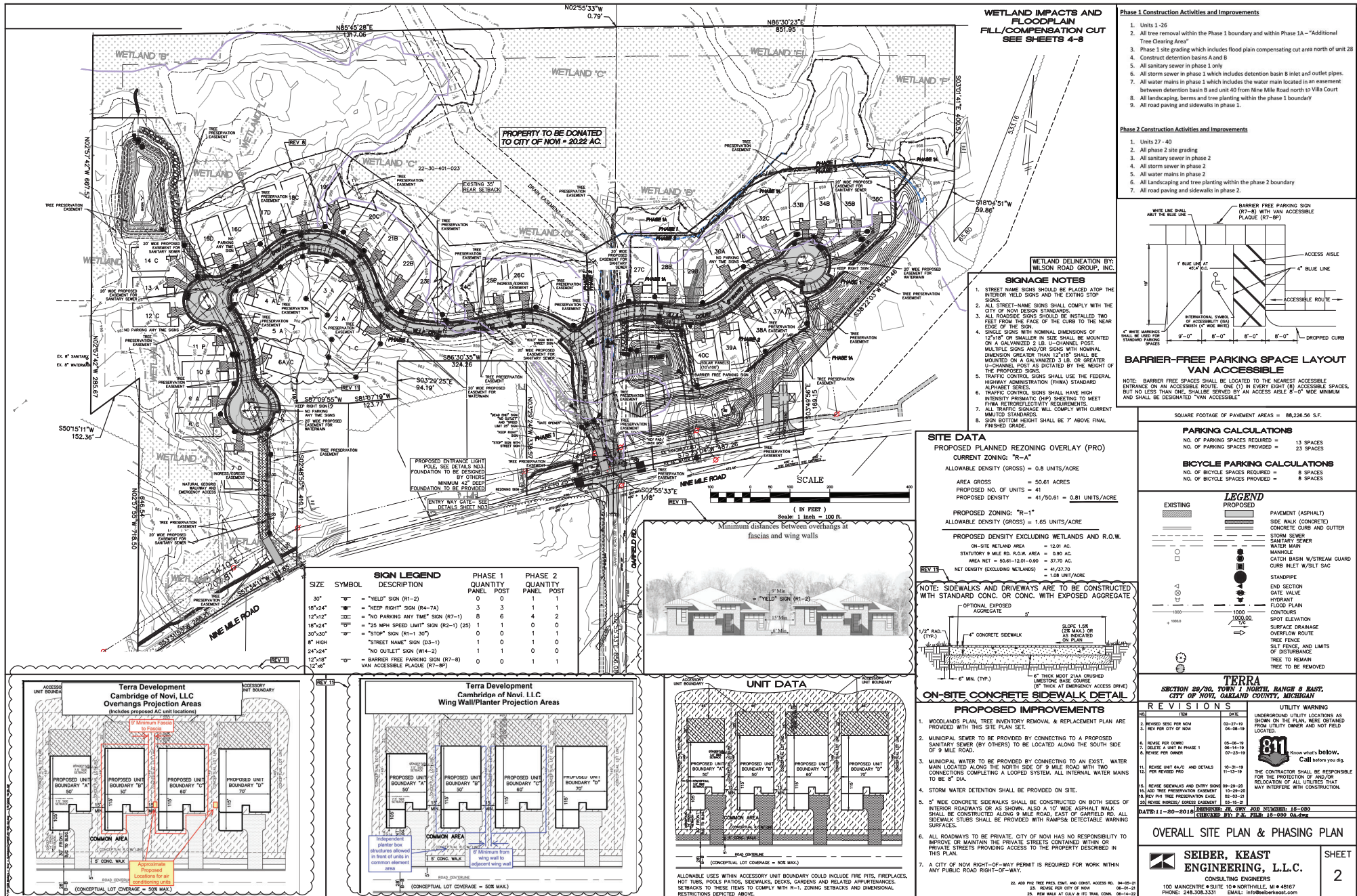
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**REVISED PRO CONCEPT PLAN**  
**June 14, 2022**

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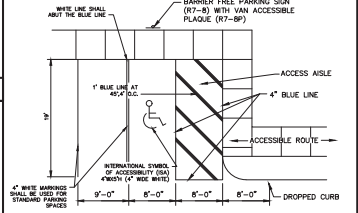
**WETLAND IMPACTS AND FLOODPLAIN FILL/COMPENSATION CUT SEE SHEETS 4-B**

- Phase 1 Construction Activities and Improvements**
- Units 1-26
  - All tree removal within the Phase 1 boundary and within Phase 1A - "Additional Tree Clearing Area"
  - Phase 1 site grading which includes flood plain compensating cut area north of unit 28
  - Construct detention basins A and B
  - All sanitary sewer in phase 1 only
  - All storm sewer in phase 1 which includes detention basin B inlet and outlet pipes.
  - All water mains in phase 1 which includes the water main located in an easement between detention basin B and unit 40 from Nine Mile Road north to Villa Court
  - All landscaping, berms and tree planting within the phase 1 boundary
  - All road paving and sidewalks in phase 1.

- Phase 2 Construction Activities and Improvements**
- Units 27-40
  - All phase 2 site grading
  - All sanitary sewer in phase 2
  - All storm sewer in phase 2
  - All water mains in phase 2
  - All landscaping and tree planting within the phase 2 boundary
  - All road paving and sidewalks in phase 2.

**SIGNAGE NOTES**

- STREET NAME SIGNS SHOULD BE PLACED ATOP THE INTERIOR YIELD SIGNS AND THE EXISTING STOP SIGNS.
- ALL STREET-NAME SIGNS SHALL COMPLY WITH THE CITY OF NOVI DESIGN STANDARDS.
- ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGE OF THE SIGN.
- SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12"x18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSION GREATER THAN 12"x18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER LB-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
- TRAFFIC CONTROL SIGNS SHALL USE THE FEDERAL HIGHWAY ADMINISTRATION (FHWA) STANDARD ALPHABET SERIES.
- TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.
- ALL TRAFFIC SIGNS WILL COMPLY WITH CURRENT MUTCD STANDARDS.
- SIGN BOTTOM HEIGHT SHALL BE 7' ABOVE FINAL FINISHED GRADE.



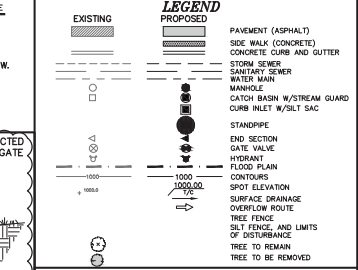
**BARRIER-FREE PARKING SPACE LAYOUT VAN ACCESSIBLE**

NOTE: BARRIER FREE SPACES SHALL BE LOCATED TO THE NEAREST ACCESSIBLE ENTRANCE ON AN ACCESSIBLE ROUTE. ONE (1) IN EVERY EIGHT (8) ACCESSIBLE SPACES, BUT NO LESS THAN ONE, SHALL BE SERVED BY AN ACCESS AISLE 8'-0" WIDE MINIMUM AND SHALL BE DESIGNATED "VAN ACCESSIBLE".

SQUARE FOOTAGE OF PAVEMENT AREAS = 88,226.56 SF.

**PARKING CALCULATIONS**  
NO. OF PARKING SPACES REQUIRED = 13 SPACES  
NO. OF PARKING SPACES PROVIDED = 23 SPACES

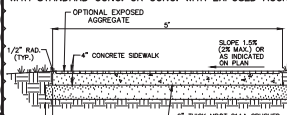
**BOYCLE PARKING CALCULATIONS**  
NO. OF BOYCLE SPACES REQUIRED = 8 SPACES  
NO. OF BOYCLE SPACES PROVIDED = 8 SPACES



**SITE DATA**

PROPOSED PLANNED REZONING OVERLAY (PRO)  
CURRENT ZONING: "R-A"  
ALLOWABLE DENSITY (GROSS) = 0.8 UNITS/ACRE  
AREA GROSS = 50.61 ACRES  
PROPOSED NO. OF UNITS = 41  
PROPOSED DENSITY = 41/50.61 = 0.81 UNITS/ACRE  
PROPOSED ZONING: "R-1"  
ALLOWABLE DENSITY (GROSS) = 1.65 UNITS/ACRE  
PROPOSED DENSITY EXCLUDING WETLANDS AND R.O.W.  
ON-SITE WETLAND AREA = 12.01 AC.  
STATIONARY 9 MILE R.O.W. AREA = 0.90 AC.  
AREA NET = 50.61 - 12.01 - 0.90 = 37.70 AC.  
NET DENSITY (EXCLUDING WETLANDS) = 41/37.70 = 1.08 UNITS/ACRE

NOTE: SIDEWALKS AND DRIVEWAYS ARE TO BE CONSTRUCTED WITH STANDARD CONC. OR CONC. WITH EXPOSED AGGREGATE



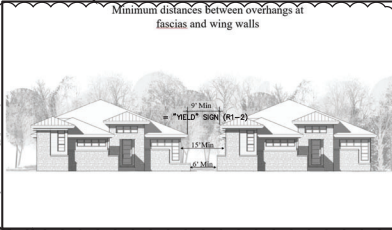
**ON-SITE CONCRETE SIDEWALK DETAIL**

**PROPOSED IMPROVEMENTS**

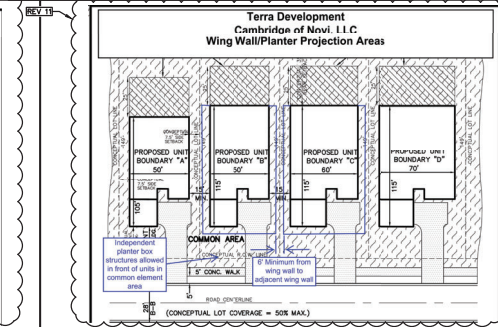
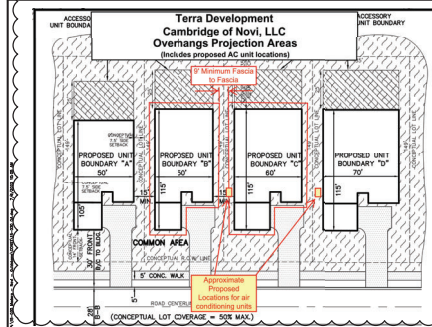
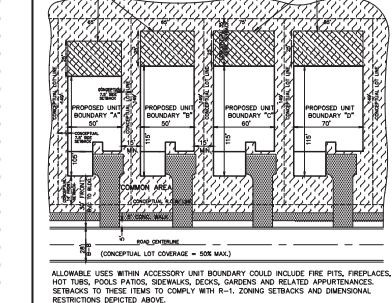
- WOODLANDS PLAN, TREE INVENTORY REMOVAL & REPLACEMENT PLAN ARE PROVIDED WITH THIS SITE PLAN SET.
- MUNICIPAL SEWER TO BE PROVIDED BY CONNECTING TO A PROPOSED SANITARY SEWER (BY OTHERS) TO BE LOCATED ALONG THE SOUTH SIDE OF 9 MILE ROAD.
- MUNICIPAL WATER TO BE PROVIDED BY CONNECTING TO AN EXIST. WATER MAIN LOCATED ALONG THE NORTH SIDE OF 9 MILE ROAD WITH TWO CONNECTIONS COMPLETING A LOOPED SYSTEM. ALL INTERNAL WATER MAINS TO BE 8" DIA.
- STORM WATER DETENTION SHALL BE PROVIDED ON SITE.
- 8" WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ON BOTH SIDES OF INTERIOR ROADWAYS OR AS SHOWN, ALSO A 10' WIDE ASPHALT WALK SHALL BE CONSTRUCTED ALONG 9 MILE ROAD, EAST OF CARPFIELD RD. ALL SIDEWALK STUBS SHALL BE PROVIDED WITH RAMPS OR DETECTABLE WARNING SURFACES.
- ALL ROADWAYS TO BE PRIVATE. CITY OF NOVI HAS NO RESPONSIBILITY TO IMPROVE OR MAINTAIN THE PRIVATE STREETS CONTAINED WITHIN OR PRIVATE STREETS PROVIDING ACCESS TO THE PROPERTY DESCRIBED IN THIS PLAN.
- A CITY OF NOVI RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY.

**SIGN LEGEND**

SIZE	SYMBOL	DESCRIPTION	PHASE 1 QUANTITY	PHASE 1 PANEL	PHASE 1 POST	PHASE 2 QUANTITY	PHASE 2 PANEL	PHASE 2 POST
30"	Yield Sign	"YIELD" SIGN (R1-2)	0	0	1	1		
18"x24"	Keep Right Sign	"KEEP RIGHT" SIGN (R4-7A)	3	3	1	1		
12"x12"	No Parking Any Time Sign	"NO PARKING ANY TIME" SIGN (R7-1)	8	6	4	2		
18"x24"	25 MPH Speed Limit Sign	"25 MPH SPEED LIMIT" SIGN (R2-1) (25)	1	1	0	0		
30"x30"	Stop Sign	"STOP" SIGN (R1-1 30")	0	0	1	1		
8" HIGH	Street Name Sign	"STREET NAME" SIGN (D3-1)	1	1	1	0		
24"x24"	No Outlet Sign	"NO OUTLET" SIGN (W4-2)	1	1	0	0		
12"x18"	Barrier Free Parking Sign	"BARRIER FREE PARKING SIGN (R7-B)	0	0	1	1		
12"x40"	Van Accessible Plaque	"VAN ACCESSIBLE PLAQUE (R7-BP)	0	0	1	1		



**UNIT DATA**



**TERRA**  
SECTION 20/30, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

NO.	DATE	DESCRIPTION	UTILITY WARNING
1	04-08-19	1. REVISED CONC PER NOV	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN ARE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
2	04-08-19	2. REVISED CONC PER NOV	
3	04-08-19	3. REVISED CONC PER NOV	
4	04-08-19	4. REVISED CONC PER NOV	
5	04-08-19	5. REVISED CONC PER NOV	
6	04-08-19	6. REVISED CONC PER NOV	
7	04-08-19	7. REVISED CONC PER NOV	
8	04-08-19	8. REVISED CONC PER NOV	
9	04-08-19	9. REVISED CONC PER NOV	
10	04-08-19	10. REVISED CONC PER NOV	
11	04-08-19	11. REVISED CONC PER NOV	
12	04-08-19	12. REVISED CONC PER NOV	
13	04-08-19	13. REVISED CONC PER NOV	
14	04-08-19	14. REVISED CONC PER NOV	
15	04-08-19	15. REVISED CONC PER NOV	
16	04-08-19	16. REVISED CONC PER NOV	
17	04-08-19	17. REVISED CONC PER NOV	
18	04-08-19	18. REVISED CONC PER NOV	
19	04-08-19	19. REVISED CONC PER NOV	
20	04-08-19	20. REVISED CONC PER NOV	
21	04-08-19	21. REVISED CONC PER NOV	
22	04-08-19	22. REVISED CONC PER NOV	
23	04-08-19	23. REVISED CONC PER NOV	
24	04-08-19	24. REVISED CONC PER NOV	
25	04-08-19	25. REVISED CONC PER NOV	
26	04-08-19	26. REVISED CONC PER NOV	
27	04-08-19	27. REVISED CONC PER NOV	
28	04-08-19	28. REVISED CONC PER NOV	
29	04-08-19	29. REVISED CONC PER NOV	
30	04-08-19	30. REVISED CONC PER NOV	
31	04-08-19	31. REVISED CONC PER NOV	
32	04-08-19	32. REVISED CONC PER NOV	
33	04-08-19	33. REVISED CONC PER NOV	
34	04-08-19	34. REVISED CONC PER NOV	
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36	04-08-19	36. REVISED CONC PER NOV	
37	04-08-19	37. REVISED CONC PER NOV	
38	04-08-19	38. REVISED CONC PER NOV	
39	04-08-19	39. REVISED CONC PER NOV	
40	04-08-19	40. REVISED CONC PER NOV	

**OVERALL SITE PLAN & PHASING PLAN**

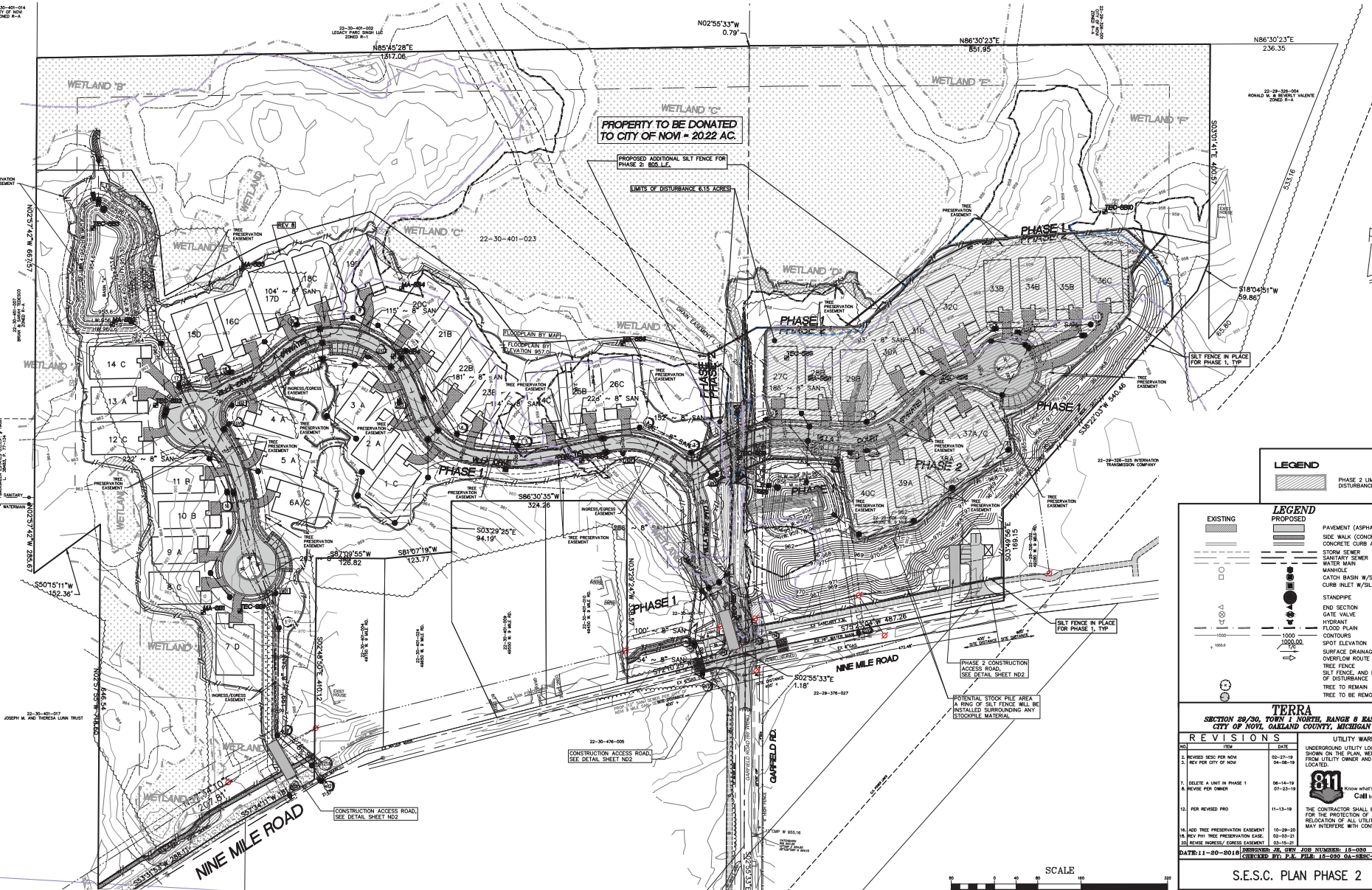
**SEIBER, KEAST ENGINEERING, L.L.C.**  
CONSULTING ENGINEERS  
100 MANICENTRE • SUITE 10 • NORTHVILLE, MI • 48167  
PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

**SHEET 2**

22-30-401-014  
CITY OF NOW  
ZONED R-4

22-30-401-002  
LESTER FARM SUBDIVISION  
ZONED R-4

22-30-338-004  
HOWLAND & FENNER VALENTI  
ZONED R-4



**LEGEND**

PHASE 2 LIMITS OF DISTURBANCE

**LEGEND**

EXISTING	PROPOSED

**TERRA**  
SECTION 20/30, TOWN 1 NORTH, RANGE 8 EAST,  
CITY OF NOW, OAKLAND COUNTY, MICHIGAN

NO.	REVISIONS	DATE	UTILITY WARNING
1.	REVISED	04-08-19	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THIS PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
2.	REVISED	04-08-19	
3.	REVISED	04-08-19	
4.	REVISED	04-08-19	
5.	REVISED	04-08-19	
6.	REVISED	04-08-19	
7.	REVISED	04-08-19	
8.	REVISED	04-08-19	
9.	REVISED	04-08-19	
10.	REVISED	04-08-19	
11.	REVISED	04-08-19	
12.	REVISED	04-08-19	
13.	REVISED	04-08-19	
14.	REVISED	04-08-19	
15.	REVISED	04-08-19	
16.	REVISED	04-08-19	
17.	REVISED	04-08-19	
18.	REVISED	04-08-19	
19.	REVISED	04-08-19	
20.	REVISED	04-08-19	
21.	REVISED	04-08-19	
22.	REVISED	04-08-19	
23.	REVISED	04-08-19	
24.	REVISED	04-08-19	
25.	REVISED	04-08-19	
26.	REVISED	04-08-19	
27.	REVISED	04-08-19	
28.	REVISED	04-08-19	
29.	REVISED	04-08-19	
30.	REVISED	04-08-19	

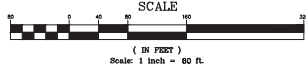
DATE: 11-30-2019 CHECKED BY: P.R. FILED: 12-03-2019

**S.E.S.C. PLAN PHASE 2**

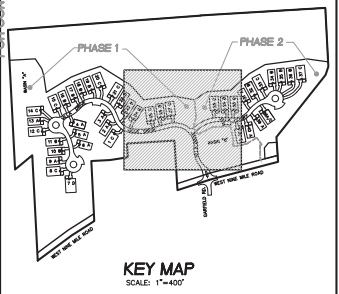
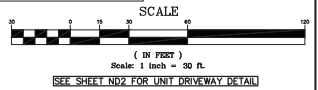
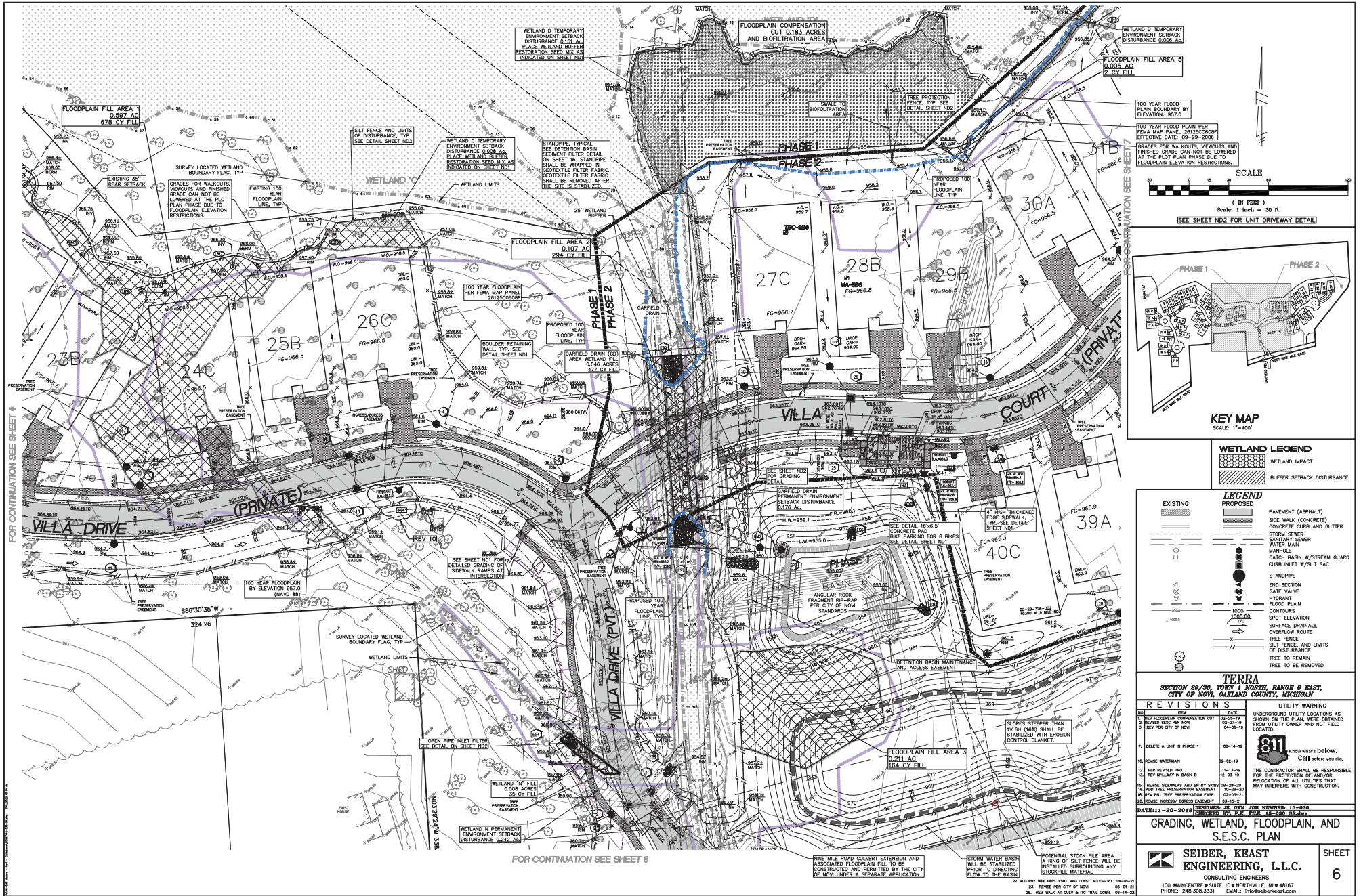
**SEIBER, KEAST ENGINEERING, L.L.C.**

CONSULTING ENGINEERS  
100 MAINCENTRE SUITE 108 NORTHVILLE, MI 48167  
PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

SHEET  
3B



21. ADD PH2 TREE PRES. EASEM. AND CONST. ACCESS RD. 04-08-21  
22. REVISE PER CITY OF NOW 04-08-21  
23. REVISE PER CITY OF NOW 04-08-21  
24. REVISE WALK AT CURB & TIE TO TRAIL CORN. 04-08-21



**WETLAND LEGEND**

- WETLAND IMPACT
- BUFFER SETBACK DISTURBANCE

**LEGEND**

EXISTING	PROPOSED
PAVEMENT (ASPHALT)	PAVEMENT (ASPHALT)
SIDE WALK (CONCRETE)	SIDE WALK (CONCRETE)
CONCRETE CURB AND GUTTER	CONCRETE CURB AND GUTTER
STORM SEWER	STORM SEWER
SANITARY SEWER	SANITARY SEWER
WATER MAIN	WATER MAIN
MANHOLE	MANHOLE
CATCH BASIN / STREAM GUARD	CATCH BASIN / STREAM GUARD
CURB INLET / SILT SAC	CURB INLET / SILT SAC
STANDPIPE	STANDPIPE
END SECTION	END SECTION
GATE VALVE	GATE VALVE
HYDRANT	HYDRANT
FLOOD PLAN	FLOOD PLAN
CONTOURS	CONTOURS
SPOT ELEVATION	SPOT ELEVATION
1000.00	1000.00
SURFACE DRAINAGE	SURFACE DRAINAGE
OVERFLOW ROUTE	OVERFLOW ROUTE
TREE FENCE	TREE FENCE
SILT FENCE AND LIMITS OF DISTURBANCE	SILT FENCE AND LIMITS OF DISTURBANCE
TREE TO REMAIN	TREE TO REMAIN
TREE TO BE REMOVED	TREE TO BE REMOVED

**TERRA**  
SECTION 20/30, TOWN 1 NORTH, RANGE 8 EAST,  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

NO.	REVISIONS	DATE	UTILITY WARNING
1.	REVISE FLOODPLAIN COMPENSATION CUT	02-25-19	UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
2.	REVISE PER CITY OF NOVI	04-08-19	
3.	DELETE A UNIT IN PHASE 1	06-14-19	
10.	REVISE WATER MAIN	08-02-19	
12.	REVISE PROPOSED	10-12-19	
13.	REVISE SPILLWAY IN BASIN 8	10-20-19	
14.	REVISE 80% PER CITY OF NOVI	12-20-19	
15.	REVISE SIGNALLING AND ENTRY BUSHES	08-29-20	
16.	ADD TREE PRESERVATION EASIE	12-29-20	
18.	REVISE PER CITY OF NOVI	02-03-21	
20.	REVISE NOTES / OPEN EASIMENT	03-10-21	

DATE: 11-09-2021 11:00 AM PREPARED BY: JEN FOR NUMBER: 19-030  
CHECKED BY: P.R. FILE# 19-030 GE-032

**SEIBER, KEAST ENGINEERING, L.L.C.**

CONSULTING ENGINEERS

100 MANICENTRE SUITE 108 NORTHVILLE, MI 48167  
PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

**SHEET 6**

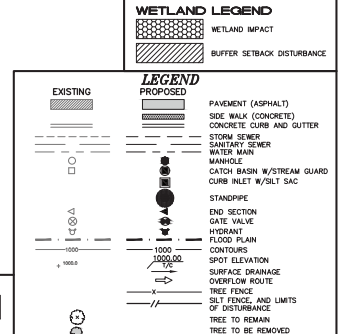
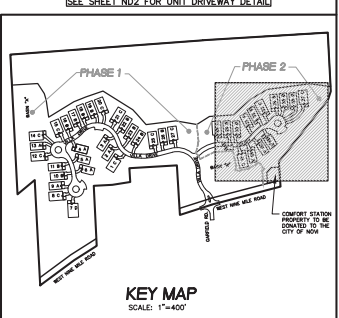
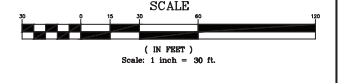
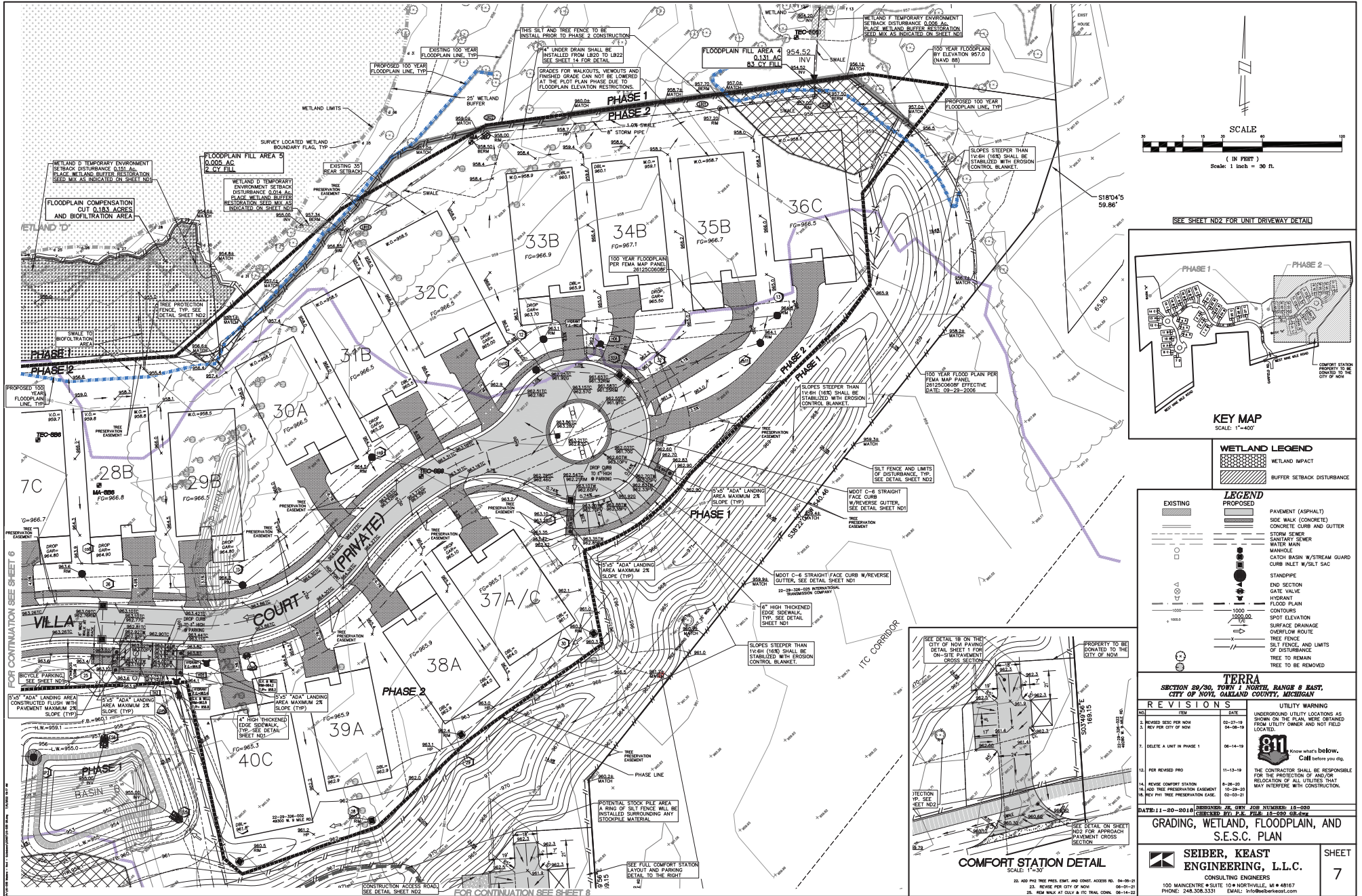
FOR CONTINUATION SEE SHEET 8

NINE MILE ROAD CULVERT EXTENSION AND ASSOCIATED FLOODPLAIN FILL TO BE CONSTRUCTED AND PERMITTED BY THE CITY OF NOVI UNDER A SEPARATE APPLICATION

STORM WATER BASIN WILL BE STABILIZED PRIOR TO DIRECTING FLOW TO THE BASIN

POTENTIAL STOCK PILE AREA A RING OF SILT FENCE WILL BE INSTALLED SURROUNDING ANY STOCKPILE MATERIAL

21. 400 PIG TEE PREL. EMB. AND CORNER ACCESS RD. 04-09-21  
22. REVISE PER CITY OF NOVI 06-01-21  
23. REVISE PER CITY OF NOVI 06-01-21  
24. REVISE PER CITY OF NOVI 06-01-21  
25. REVISE PER CITY OF NOVI 06-01-21  
26. REVISE WALK AT CURB & TRAIL CORN. 06-14-21



TERRA	
SECTION 20/30, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN	
NO.	REVISIONS
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UTILITY WARNING  
 UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

DATE: 11-20-2018  
 GRADING, WETLAND, FLOODPLAIN, AND S.E.S.C. PLAN

SEIBER, KEAST ENGINEERING, L.L.C.  
 CONSULTING ENGINEERS  
 100 MAINCENTRE SUITE 100 NORTHVILLE, MI 48867  
 PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

SHEET 7



Seal:



Title:  
**Landscape Plan**  
 Phase 2

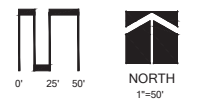
Project:  
**Terra  
 Novi, MI**

Prepared for:  
 Cambridge Homes  
 47765 Bellagio  
 Northville, Michigan 48167

Revision:	Issued:
Review	October 5, 2018
Revised	January 16, 2019
Revised	February 26, 2019
Revised	March 2, 2021
Revised	March 19, 2021
Revised	June 1, 2021
Revised	July 1, 2022

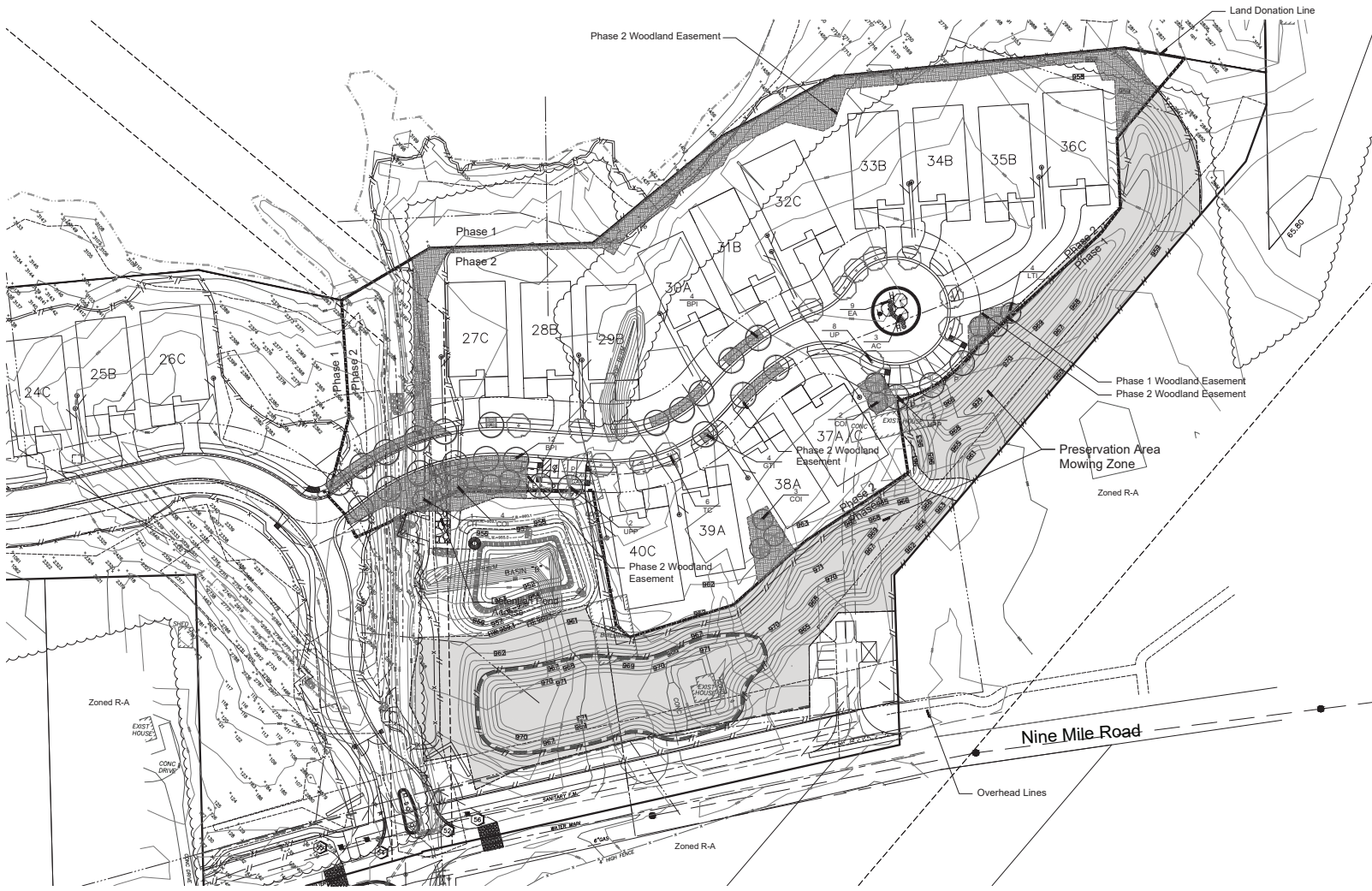
Job Number:  
 18-008

Drawn By: jca  
 Checked By: jca



Sheet No.

L-6



**Landscape Summary**

Street Trees	
Unit Trees	14 Units
Trees Required	14 Trees (1 per unit)
Trees Provided	14 Trees
Parking Lot Landscaping	
Parking Lot Perimeter	186 l.f.
Trees Required	5 Trees (186 / 35)
Trees Provided	5 Trees

Woodland Replacement for Phases 1A and Phase 1 and 1A Replacement Required	810 Trees
Total Trees Provided in Phase 1	715 Trees
Remaining Replacement Trees	95 Trees
Trees Provided in Phase 2	34 Trees
Trees to be Paid into Fund	31 Trees

- Notes:
- Trees Shall be Planted 10' from Utility Structures including Hydrants
  - Snow Shall be Deposited Adjacent to Drives and within the Curb Lawn
  - Transformers to be Screened per Detail on Sheet L-5
  - Plants Listed on the City's Prohibited Species List Shall not be Used in Unit Plantings

**Plant List**

qty	uf	labelled name	common name	caliper	spacing	cost	height	price	total	Species	Genus	Native	Total
<b>Woodland Replacement</b>													
BPH	16	Baldpate pinyon 'Snow'	Canada Birch, IAB: Stern	as shown	8x8	12'	\$ 400.00	\$	6,400.00				
GH	9	Golfers' Hackberry	Northern Hackberry	2.5"	as shown	8x8	\$ 400.00	\$	3,600.00				
GH	4	Golfers' Hackberry var. 'terrestris'	Thornless Hackberry	2.5"	as shown	8x8	\$ 400.00	\$	1,600.00				
LH	3	Linderoth's Shadbush	Yale Tree	2.5"	as shown	8x8	\$ 400.00	\$	2,000.00				
RS	24	Replacement Snow											
<b>Unit and Street Trees</b>													
TC	9	Thuja americana 'Ridgeway'	Redwood Linden	3.0"	as shown	8x8	\$ 400.00	\$	3,600.00	27%	27%	1	1
UP	4	Ulmus 'Thoroway'	Phoenix Elm	3.0"	as shown	8x8	\$ 400.00	\$	1,600.00	30%	50%	1	1
RS	14	Replacement											
<b>Planting Lanes</b>													
UP	9	Ulmus 'Thoroway'	Phoenix Elm	3.0"	as shown	8x8	\$ 400.00	\$	3,600.00	23%	50%		1
UP	3	Ulmus 'Thoroway'	Phoenix Elm	3.0"	as shown	8x8	\$ 400.00	\$	1,200.00				
<b>Curb-side</b>													
AC	3	Amelanchier canadensis	Sorbarberry	2.5"	as shown	8x8	\$ 250.00	\$	750.00	14%	14%	1	1
EA	3	Eurostar Elm Compact	Compact Burning Bush	as shown	3"	\$ 50.00	\$	450.00					
EA	3	Eurostar Elm Compact	Compact Burning Bush	as shown	3"	\$ 50.00	\$	450.00					
<b>Mark</b>													
		485 s.y of Deep Shredded Hardwood Bark Mix					675s.y.	\$ 15,975.00	Total			3	5
		500 Soil					95s.y.	\$ 2,350.00	Total			% Native	60%
		2,000 Seed					575s.y.	\$ 7,650.00	Total				
		Irrigation					L-5 Total	\$ 2,000.00	Total				
								\$ 14,400.00					

**Preservation Area Mowing Instructions**

The Below Statement Applies to the Hatched and Noted Preservation Area as Shown Above.  
 ...mowing and maintaining of sod throughout the Tree Preservation Easements is permitted as needed. Pulling of weeds and general maintenance throughout the Tree Preservation Easements is permitted as needed. Mowing of the easterly berm tall fescue grass and around the detention basins is permitted only after July 14th. Mowing Shall Occur no More than 2 (two) Times a Year.

**Irrigation System Requirements**

- A Reduced Pressure Zone Assembly (RPZ) with ASSE 1013 listing approval shall be provided on all irrigation systems.
- In Floodplain areas, backflow preventers must be a minimum 1 foot above the floodplain elevation measured from the bottom of the assembly. Location above the flood plain must be detailed on the drawings.
- The assembly must be installed a minimum of 12 inches above Finished Grade measured from the bottom of the relief valve.
- The assembly must be installed in accordance with the 2015 Michigan Plumbing Code (MPC) and by a licensed plumbing contractor.
- The assembly must be tested after installation by a licensed plumbing contractor who is also ASSE 9110 Certified to test.
- Test results must be recorded on the City of Novi test report form.
- A plumbing permit is required for the installation of the backflow preventer.
- Assembly must be installed in accordance with the water-treatment installation instructions of the manufacturer which includes drainage ports and blowout ports (see attached handout).
- The water meter must be installed in an upright horizontal position a minimum of 12 inches above finished grade.
- Assemblies installed beneath endusers must be approved for adequate drainage and meet ASSE 1060 and 608.14.1 of the Michigan Plumbing Code.





## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

July 27, 2022

## Planning Review

### TERRA Phase 2

JSP17-52 and JSP 21-12

#### PETITIONER

Cambridge Homes, Inc

#### REVIEW TYPE

2<sup>nd</sup> Amendment to the PRO Plan & Agreement (JSP17-52) and 2<sup>nd</sup> Revised Final Site Plan (JSP21-12)

#### PROPERTY CHARACTERISTICS

<b>Section</b>	29 and 30	
<b>Site Location</b>	West side of Beck Road, east of Napier Road and north of Nine Mile Road	
<b>School District</b>	Northville Community School District	
<b>Existing Zoning</b>	R-1, One-Family Residential with a PRO	
<b>Adjoining</b>	North	R-1 One-Family Residential with a RUD agreement
	East	RA, Residential Acreage
	West	RA, Residential Acreage
	South	RA, Residential Acreage
<b>Current Site Use</b>	Single family homes – under construction	
<b>Adjoining Uses</b>	North	Links of Novi/vacant;
	East	Single Family Residences
	West	Single Family Residences
	South	Single Family Residential/Vacant
<b>Site Size</b>	30.12 Acres	
<b>Plan Date</b>	June 14, 2022	

#### PROJECT SUMMARY

The subject property is 30.12-acre property on the east side of Napier Road and north side of Nine Mile Road (Section 29, 30). In 2018, the applicant received approval from City Council to construct a 41-unit single-family housing development (for sale) under the terms of a Planned Rezoning Overlay Agreement and Plan. It is a gated community for active adults. The residents have an option to install pools, outdoor hot tubs, fire pits, fireplaces, pizza ovens and grills in the rear yards, as regulated by the Master Deed. Both Phase 1 and 2 are currently under construction.

The current submittal is a request by the applicant to modify the PRO Agreement in three areas: 1) Eliminate the sidewalk connection from the eastern (Phase 2) portion of the site to the ITC Trail, 2) Remove a segment of sidewalk from the south side of Villa Court where it crosses the Garfield Drain, and 3) Pay into the tree fund instead of planting 51 tree credits to the north of Units 27-36.

#### RECOMMENDATION

Approval of the revised Final Site Plan and 2<sup>nd</sup> amendment of the PRO Agreement is **not recommended for the reasons detailed on pages 3-6**. This property is subject to the conditions of the PRO agreement approved by the City Council on September 24, 2018, and as amended on October 28, 2019.

## PRO OPTION

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The PRO option creates a “floating district” with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case RA Residential Acreage to R-1 One-Family Residential) and the applicant enters into a PRO agreement with the City, whereby the City and the applicant agree to tentative approval of a conceptual plan for development of the site. Following final approval of the PRO concept plan and PRO agreement, the applicant received Preliminary and Final Site Plan approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. Individual plot plans are reviewed for conformance with PRO Agreement when submitted.

## PROJECT REVIEW HISTORY

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On August 23, 2017, the plan was presented before Master Planning and Zoning Committee for input. The plan received favorable comments from the Committee. The Committee directed the applicant to work with staff on issues such as density.

On September 13, 2017, Planning Commission held a public hearing and postponed the recommendation to Council at a later time.

On November 8, 2017, Planning Commission held another public hearing and recommended denial to the City Council based on the fact that the proposed request is not consistent with the recommendations of 2016 Master Plan for Land Use.

Following the Planning Commission's recommendation for denial at their November 8, 2017 meeting, the applicant met with the Committee on January 10, 2018 and received favorable comments, except for woodland deviations requested.

On March 14, 2018, Planning Commission held the third public hearing and recommended the applicant to move forward to the City Council with three conditions in addition to the suggested motion by the staff.

On May 21, 2018, the City Council considered the proposed development for tentative approval of proposed zoning amendment and postponed their decision.

On July 23, 2018, City Council reconsidered the proposed zoning amendment and tentatively approved the concept plan and directed the staff and the applicant to work on the PRO agreement.

On September 24, 2018, City Council approved the PRO Concept plan and the PRO agreement.

On December 12, 2018, Planning Commission approved the Preliminary Site Plan, Phasing Plan, Wetlands Permit, Woodlands Permit, and Storm Water Management approval.

On October 28, 2019, City Council approved the 1<sup>st</sup> Amendment of the PRO Agreement, to allow greater flexibility for construction of individual homes, to allow alternate pavement material for sidewalks and driveways, and other minor changes.

The Final Stamping Set for Phase 1 was approved administratively on August 22, 2019, with various subsequent minor revisions since that time that have been reviewed and approved administratively.

The Woodland Permit for Phase 1A was approved by the Planning Commission on March 10, 2021 as the previous approval had expired.

The Final Stamping Set for Phase 2 (JSP21-12) was approved administratively on June 10, 2021.

## ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Final Site Plan submittal:

1. Sidewalk Connection to ITC Corridor: The PRO Agreement states on Page 4, Item 6: "The applicant will work with staff to identify a proper location to connect to ITC trail, beyond the subject property line." The 5-foot wide asphalt sidewalk is shown on the PRO Plan in Exhibit B of the Agreement, and in the Phase 2 site plan. The applicant states the residents of the development would like to eliminate the sidewalk connection in order to continue the berm to provide additional screening of the ITC transmission towers, as well as to limit pedestrian traffic into the community. They have provided letters from several current and future residents that echo support for eliminating the connection. They also point out that the sidewalk at the main entrance provides a connection to the ITC Trail.



Figure 1: PRO Agreement, Exhibit B, Sheet 4, Liber 52674 Page 562

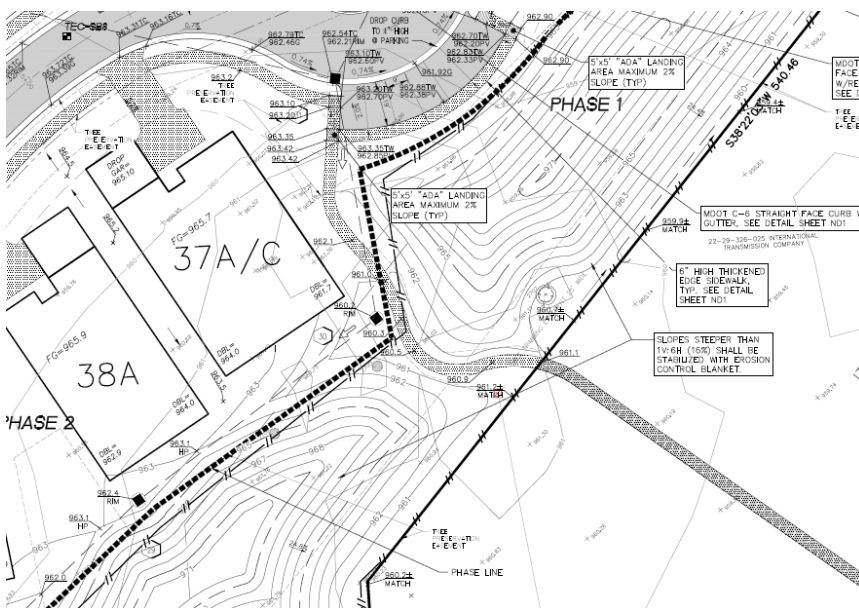


Figure 2: Phase 2 Final Site Plan, 2/3/2021

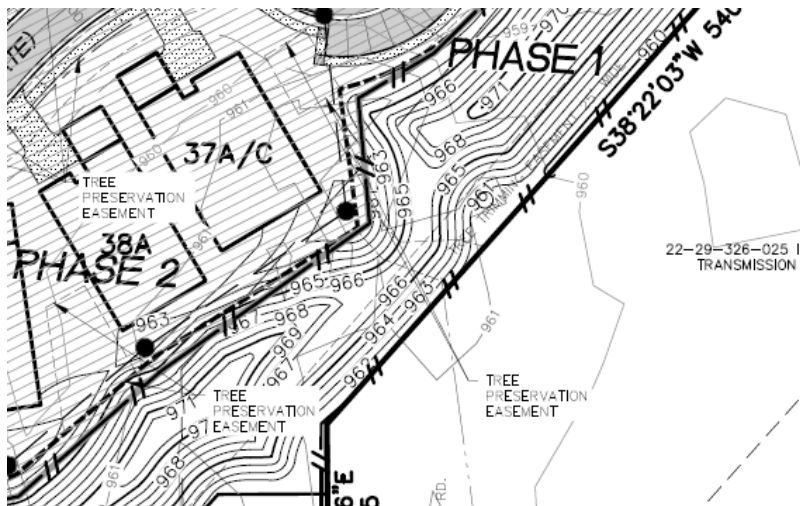


Figure 3: New grading proposed in berm area with removal of sidewalk, June 2022

While the connection to the ITC Trail is not a requirement of the Zoning Ordinance, its inclusion in the original PRO Plan and Agreement appeared to be presented as an amenity to the community. However, it was not specifically mentioned as a “public benefit” per say or stated as a requirement. Staff prefers the segment be provided in the interest of enhancing non-motorized connectivity throughout the community.

2. Sidewalk on Villa Court: The Subdivision Ordinance (Section 4.05) and the Design & Construction Standards (Section 11-256(b)) both state that sidewalks shall be provided on both sides of proposed drives. The applicant received a deviation in the original PRO Agreement to not provide a sidewalk on the east side of the main entrance drive (Villa Drive) due to the presence of wetlands, with a payment to the sidewalk fund required in lieu of building it. The applicant now requests a deviation to remove a portion of the sidewalk on the south side of Villa Court. During construction of the culvert for the Garfield Drain, the decision was made by on-site engineers to shift it to the north a few feet to avoid eroding soils over time. This change created a narrower space between the road and the slope to the culvert to place the sidewalk as shown on the original plan. Staff was made aware of the change and encouraged the applicant to work with their engineers to try to fit the sidewalk by moving it closer to the road or by building a retaining wall. The current plan shows the sidewalk ending on the south side of Villa Court about 110 feet east of the intersection with Villa Drive, with ramps provided to enable pedestrians to cross the street to connect to the north side sidewalk. No crosswalk markings are proposed. **Staff recommends the applicant adhere to the Code to provide the required sidewalk. Based on the plan it still appears feasible to fit it between the road and the culvert.**

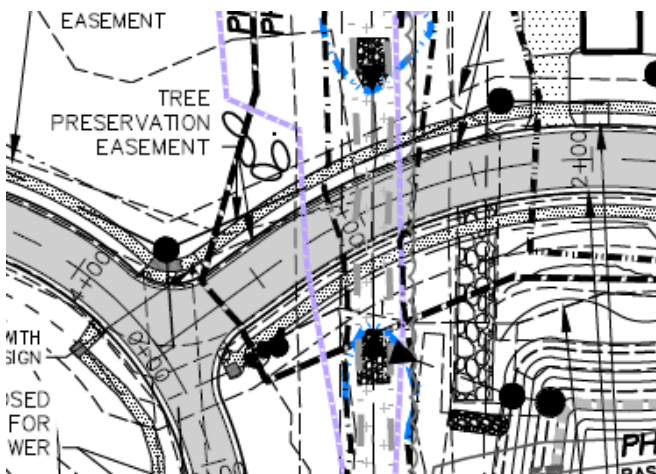


Figure 4: Original sidewalk plan, June 2021



Revised sidewalk plan, June 2022

3. **Woodland Trees:** When the Phase 2 site plan was approved the applicant had shown 51 woodland replacement trees to be planted beside and behind units 27-36. The applicant would instead like to pay into the Tree Fund rather than planting the replacements on the site. The applicant states the proposed trees were going to be too close to the homes. **While the Woodland Ordinance permits applicants the option to pay into the Tree Fund, the Woodland Permit from the Planning Commission was approved with the understanding that the credits would be planted on-site. It also appears there would be additional locations on the property where woodland trees could be planted, as noted in the Landscape Review.**

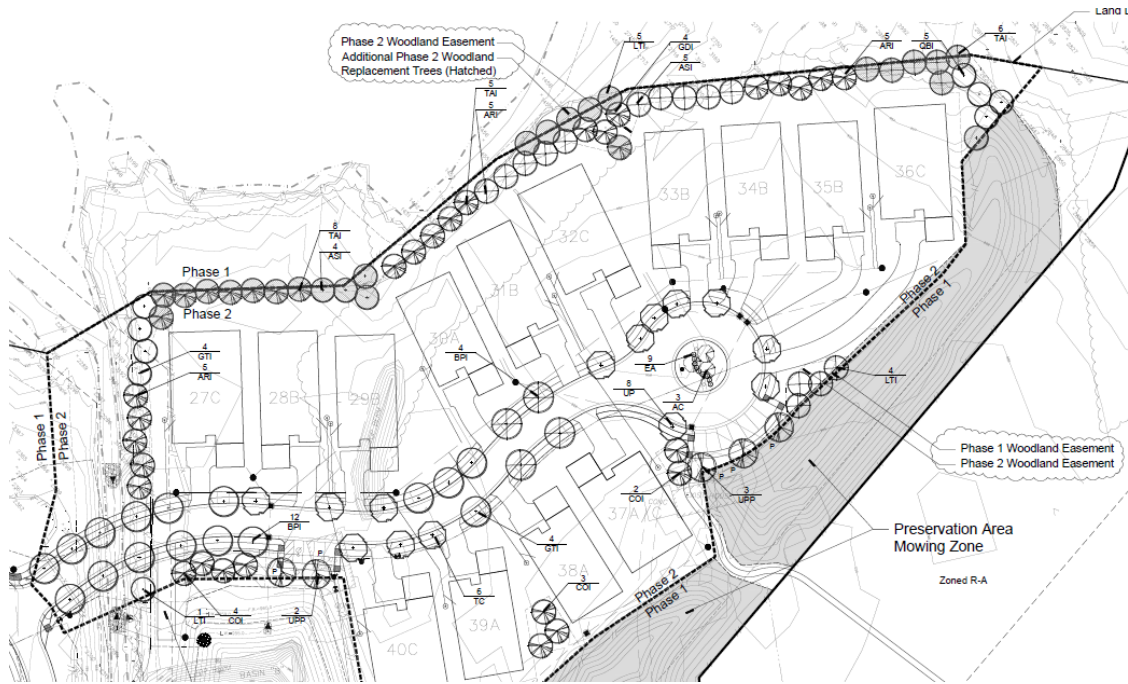


Figure 5: Phase 2 Landscape Plan, June 1, 2021

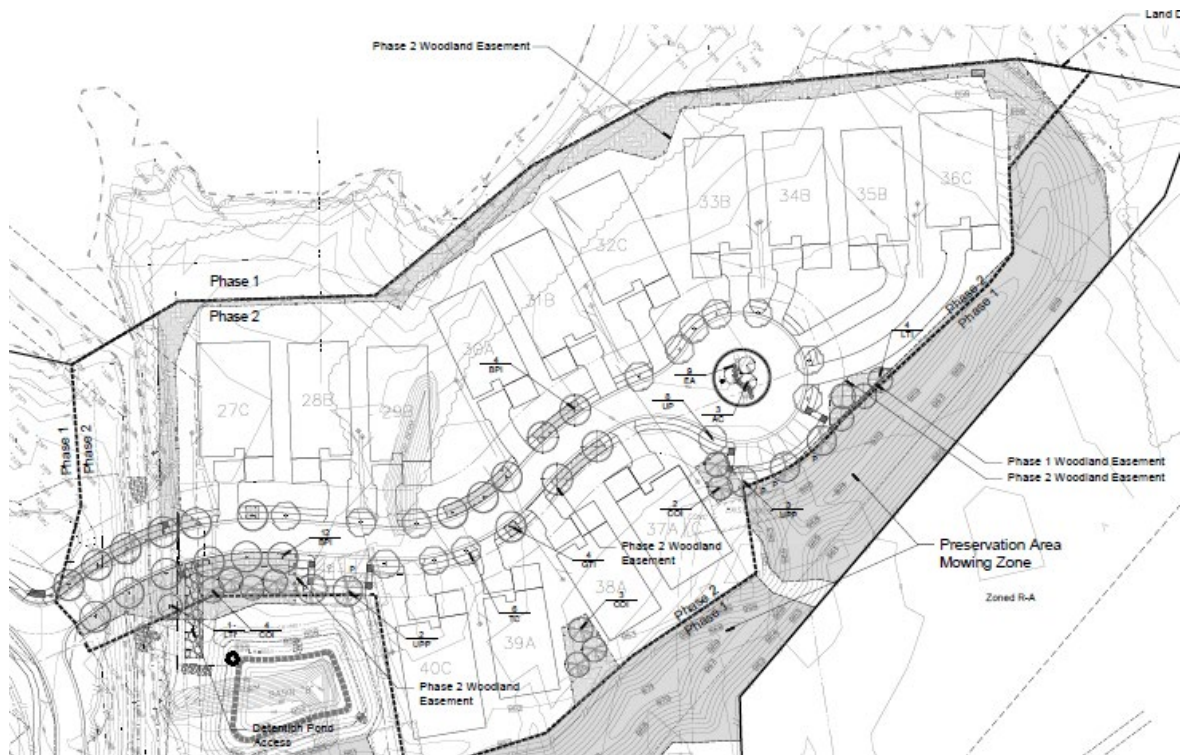


Figure 6: Phase 2 Landscape Plan, June 2022

4. Master Deed Amendment: If approved, the proposed changes may require amendments to the Master Deed. **The amendment to the Master Deed shall be submitted to the City for review and approval prior to recording the amendment.** A revised Stamping Set may not be approved prior to the recording of the Master Deed Amendment.

#### **OTHER REVIEWS**

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- a. Engineering Review: **Engineering does not recommend approval of the deviation required for the missing sidewalk segment on Villa Court.**
- b. Landscape Review: **Landscaping does not recommend approval to allow the applicant to pay into the tree fund as it appears there are other locations on-site to plant them on site.**

#### **NEXT STEP: PLANNING COMMISSION**

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**Reviewers are not recommending approval of the requested changes and deviations.** However, based on the applicant's request to amend the PRO Concept Plan, it is scheduled to go before Planning Commission for public hearing on August 24, 2022. Please provide the following by noon on **August 18, 2022**. **Staff reserves the right to make additional comments as this review continues.**

1. Concept Plan submittal in PDF format. Staff has received this item
2. A response letter if you would like to provide one based on the reviews. **Otherwise we will use the letter received when you submitted the request.**
3. A color rendering of the Site Plan, if any to be used for presentation purposes (Optional).

#### **CITY COUNCIL**

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After the Planning Commission makes a recommendation we will schedule the request to go before City Council for consideration. If they give tentative approval, the City Attorney will be asked to draft the 2<sup>nd</sup> Amendment to the PRO Agreement, which will be shared with the applicant for review and approval. Once the Agreement is satisfactory to both parties it will return to City Council for Final Approval. If the PRO Agreement is amended, the revised site plan and woodland permit will need to be approved by the Planning Commission.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).



---

Lindsay Bell, AICP – Senior Planner

## ORDINANCE DEVIATIONS

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The following deviations from the standards of the zoning ordinance are authorized by the PRO Agreement, pursuant to §7.13.D.i.c (2) of the City's Zoning Ordinance:

- a. Planning Deviation from Sec. 3.1.2 of Zoning Ordinance for reduction of the minimum lot size, setbacks, minimum lot frontage and minimum site acreage as shown on the proposed concept plan provided:
  - i. The proposed unit boundary shown on the concept plan (sheet 02) is to be considered the maximum allowable footprint. Any accessory uses such as hot tubs, patios, etc. will be provided within the footprint shown on the plan.
  - ii. A minimum of 15 feet shall be maintained between two buildings.
  - iii. A minimum of 30 feet is provided between the front façade and the back of the curb.
  - iv. Rear setbacks will be as shown on the Concept plan, based on the proposed boundary line of land to be donated to City.
- b. Façade deviation from Sec 3.7, similar dissimilar ordinance, to replace internal calculation of square footage to a 2200 square foot minimum requirement for this development;
- c. Landscape deviation from Sec. 5.5.3.B.ii and iii of Zoning Ordinance for lack of berms along the westerly Nine Mile Road frontage and portions of the easterly frontage, due to existing natural features;
- d. Engineering deviation from Sec. 4.04, Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances for absence of a stub street required at 1,300 feet intervals along the property boundary to provide connection to the adjacent property boundary, due to conflict with existing wetlands;
- e. Engineering deviation from Chapter 7(c)(1) of Engineering Design manual for reducing the distance between the sidewalk and back of the curb: 15 feet required, 10 feet proposed;
- f. Engineering deviation for absence of sidewalk along a portion of Villa Drive, with payment into the City's sidewalk fund for the cost of the sidewalk not constructed;
- g. Engineering deviation for absence of curb and gutter for parking lot and driveway for the proposed comfort station from Sec. 11-239(b)(1),(2)of Novi City Code;
- h. Traffic deviation for not conforming to minimum required standards as indicated in Figure IX.5 of the City's Code of Ordinances for residential driveway, provided the applicant works with staff to minimize the number of driveways that deviate from the standard at the time of Preliminary Site Plan;
- i. Traffic deviation from Figure VIII-A in the City Code of Ordinances, for not providing the minimum width for local residential road for Villa D' Este Boulevard, the stretch from the entrance gates to the first intersection (28 feet required, 24 feet provided).
- j. Traffic deviation from Section 7.4.2.c (1) of Engineering Design Manual for not meeting the maximum distance between sidewalk and Right of way line along Nine Mile. A maximum of 1 foot is required for a small portion where it conflicts with existing wetland area;
- k. Deviation to allow alternate locations for street tree plantings to avoid conflict with the utility layout along the internal roads, as detailed in this review letter;
- l. Deviation for the location of accessory structures in an alternate location within the common area, as approved by the Planning Commission in accordance with the Preliminary Site Plan in



order to allow the use of free standing solar panels as shown on the Revised Concept Plan to provide power to the access gate and outside lighting.

- m. A traffic deviation for not meeting the minimum required horizontal curve radii for the proposed streets; and
- n. A landscape deviation for absence of minimum required street trees and green belt trees in areas where there is a conflict with existing natural features;
- o. Engineering deviation from Section 7.4.2(d) of the Engineering Design Manual to allow exposed aggregate as an alternate material for sidewalk pavement in lieu of concrete for the entire development.
- p. Planning deviation from Section 3.32.8 to allow for additional encroachment for roof overhangs into the required side yards (a maximum of fifteen (15) inches is allowed per current side yard setbacks, a minimum of nine (9) feet between the roof overhangs at fascia is proposed). This approval shall be subject to the building (and the buildings within the development) being designed in the prairie architectural style with a maximum slope of 5:12 and subject to approval by the City's façade consultant at the time of building permit review.

## PRO CONDITIONS

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In its development of the Land under the PRO Plan, the following PRO Conditions shall apply to the Land and/or be undertaken by the Developer:

- 1. Owner/Developer shall provide the following Public Improvements in connection with the development of the Land:
  - a. Developer shall donate fee title, in the form of a Warranty Deed, to approximately 20.22 acres of land, as shown in the Concept Plan (the "Park Land"), to Novi for existing park system within 30-days of the execution of this Agreement. The donation is for the purpose of expanding City parkland in the area of the Development. The Park Land will connect two additional parcels of City parkland. The City shall be permitted to make minor improvements in the area to propose a trail or accessory uses for a trail, and shall be permitted to combine the Park Land with adjacent City park land into a single unified parcel.
  - b. Developer shall construct an approximate .18 acre comfort station area for the ITC Trailhead in accordance with the drawings, attached and incorporated as Exhibit D (the "Comfort Station Improvements"). The Comfort Station shall include, but shall not be limited to parking spaces, a bike repair station and a picnic shelter, as set forth in Exhibit D. The ITC Comfort Station shall be completed within 6 months from the substantial completion date of the ITC trail along the subject property's frontage.
  - b. Developer shall contribute to the construction of a portion of the ITC Trail along the north side of Nine Mile Road, in the amount of \$43,834.22 in order to provide for use by and in connection with the Development, as shown in the plans attached and incorporate as Exhibit E. The pathway shall comply with City design and construction standards, with minor modifications to be approved administratively, i.e. to modify the alignment for preservation of existing landscaping trees. Dedication of the Right of Way shall be completed on or before November 10, 2018.
  - c. In the event that the Michigan Department of Environmental Quality or any governmental agency requires Developer to provide a compensating cut for the purpose of creating additional floodplain for the Development, the City shall permit the Developer to create the compensating cut, at Developer's own expense, not to exceed 8,000 square feet in size, in a location mutually agreeable to the Developer and the City, including but not limited to locations within the Park Land described, generally, as N/W of the N/W detention basin and the

wetland, or, alternatively, an area behind units 12-14. In the event that the compensating cut requires additional tree removal, Developer shall be subject to the applicable woodland replacement standards as set forth in the City's Woodland Ordinance.

2. The development shall be limited to a density of 1.08 dwelling units per acre with a maximum of 41 units as indicated on the PRO concept plan.
3. The proposed unit boundary, as shown on the approved final Concept Plan (sheet 02), ("Unit Boundary"), shall be considered the maximum allowable footprint. Any accessory uses including but not limited to, fire pits, fire places, hot tubs, pools, patios, sidewalks, landscaping walls, landscaping fences, decks and gardens may be included within the Unit Boundary as shown on the approved final site plan or within the rear yard area ("Accessory Unit Boundary"), which is the area beginning at the rear Unit Boundary and is within the side lines of the Unit Boundary, and extending twenty-five (25) to the rear, as shown on the approved final Concept Plan. Sidewalks and small gardens with no permanent structures may be proposed within the side yards subject to limitations set forth in the Master Deed.

No more than two (2) regulated woodland trees may be removed from the Accessory Unit Boundary to accommodate the construction or installation of any pool, or other accessory use. Removal of trees shall be subject to mitigation measures listed in all applicable ordinances. Additionally, no accessory uses shall be constructed within the regulated Wetland or Wetland Buffers shown in the approved Concept Plan. All accessory uses shall be constructed in accordance with applicable ordinances, laws and regulations.

Limitations on the construction of accessory uses, as set forth herein, shall be included within the Master Deed for the Development and shall be delineated on the Exhibit B, Condominium Subdivision Plan.

4. A minimum of 15 feet shall be maintained between two buildings.
5. A minimum of 30 feet shall be provided between the front façade of each home as measured from the back of the curb.
6. The applicant will work with staff to identify a proper location to connect to ITC trail, beyond the subject property line.
7. Except to the extent that limited clearing is authorized in accordance with an approved Preliminary Site Plan, and all applicable ordinances and regulations, including, but not limited to Section 6.1.4.F of the Zoning Ordinance, within the City's reasonable discretion, and a Hold Harmless Agreement acceptable to the City's Attorney is provided, Construction of the Development shall not be permitted to begin prior to completion of the City's Nine Mile sanitary sewer extension project, or alternately, subject to and in accordance with a plan for completion of alternate sanitary sewage disposal facilities, by Developer, at its own expense, which plan shall be reviewed and approved by the City's Engineering Division in accordance with the standards and procedures set forth by City ordinance.
8. Grading requirements for development shall be superseded based on the character of Nine Mile Road.
9. Retention ponds shall be completely screened for safety on all four sides and above the typical standards, as determined at the time of Preliminary Site Plan.
10. The City shall confirm that the proposed trailhead agreement will not negate already existing agreements.

11. The portion of asphalt paving on Nine Mile Road shall be constructed in a manner to reduce or eliminate issues of the interface between gravel and asphalt, to be reviewed and approved by City Engineer at the time of Preliminary Site Plan review.
12. The applicant shall conform to Woodland Ordinance requirements at the time of Preliminary Site Plan and Woodland permit review.
13. Minor modifications to the approved Planned Rezoning Overlay Concept Plan (PRO) can be approved administratively, upon determination by the City Planner, that the modifications are minor, do not deviate from the general intent of the approved PRO Concept plan and result in reduced impacts on the surrounding development and existing infrastructure.
14. Developer shall comply with all conditions listed in the staff and consultant review letters.
15. For Unit 7 through 36, covered decks shall be allowed to extend up to fifteen (15) feet into the "Accessory Unit Boundary" from the rear façade. "Accessory Unit Boundary" refers to the area beginning at the rear unit boundary and is within the sidelines of the unit boundary, and extending twenty-five (25) feet to the rear, as shown on the approved Final Concept Plan made part of the original PRO Agreement.
16. No more than three (3) regulated woodland trees may be removed from the accessory unit boundary to accommodate the construction or installation of a pool or other accessory use. A minimum of fifteen (15) feet shall be maintained between two buildings, with the exception of rough overhangs and wind walls as noted below:
  - a. A minimum of nine (9) feet shall be maintained between the roof overhangs between two buildings at the fascia, as shown in the "overhang projection areas" exhibit on the Revised Concept Plan dated July 25, 2019, attached hereto as Exhibit B, subject to and provided that the house has been designed in the Prairie architectural style, and further subject to approval by the City's façade consultant at the time of building permit review;
  - b. A maximum of 4.5 feet of on-ground projection shall be allowed as shown on the "wind wall/planter projection area" exhibit on the Revised Concept Plan dated July 25, 2019, attached as Exhibit B, subject to approval by the City's façade consultant at the time of building permit review.
17. The elevations of the homes within the development shall comply with the ordinance requirements and conditions of the original PRO Agreement, subject to any and all limitations set forth in the Master Deed as determined at the time of individual building permit review. More specifically, given the Developer's representations to the City and the deviations granted herein and in the PRO Agreement, the homes within the development shall be designed and built in the Prairie architectural style with a maximum slope of 5:12, subject only to minor deviation as approved by the City's façade consultant at the time of building permit review.
18. The compensating cut periods in the approved PRO Agreement shall be updated to be consistent with MDEGLE permit approval dated April 9, 2019.

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

07/26/2022

## Engineering Review

Terra Phase 2

JSP21-0012

### Applicant

Cambridge of Novi, LLC

### Review Type

Revised Final Site Plan

### Property Characteristics

- Site Location: North side of Nine Mile Road at the intersection of Garfield Road
- Site Size: 8.61 acres
- Plan Date: 06/14/2022 (per cover sheet title block)
- Design Engineer: Seiber Keast Engineering

### Project Summary

- Phase 2 of the development consists of the construction of 14 detached senior ranch condo units and associated parking. Site access would be provide by one entrance at the intersection of Nine Mile Road and Garfield Road.
- Water service will be provided by an 8-inch extension from the existing 8-inch stub at the intersection of Villa Drive and Villa Court.
- Sanitary sewer service will be provided by an 8-inch extension from the existing 8-inch stub at the intersection of Villa Drive and Villa Court.
- Storm water will be collected by a single storm sewer collection system and detained on-site in one of two proposed detention basins.

### Recommendation

**Approval of the Revised Final Site Plan is NOT recommended until the following items are addressed.**

### Comments:

The Revised Final Site Plan does **NOT** meet the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and/or the Engineering Design Manual. The following must be addressed prior to resubmittal:

**Paving & Grading**

1. Per conversations between the developer and the City, remove the short boulder retaining wall just north of Villa Court and straddling the phase line.
2. Grading revisions appear acceptable where the sidewalk connection from the cul-de-sac to the ITC trail has been eliminated.
3. **Engineering does not support eliminating the sidewalk on the south side of Villa Court where it crosses the Garfield Drain. Per the City of Novi Code of Ordinances, Section 11-256 (b) and (c), non-motorized facilities shall be placed across both sides of all streets and roadways (public or private). Variances are only permitted if no other pathways exist within three hundred feet.**

**Flood Plain**

4. The 100-year floodplain traverses the property but does not appear to be affected by the revisions proposed in this set.

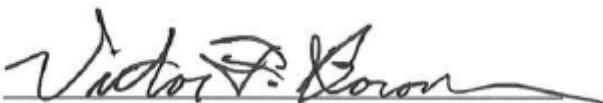
**The following must be submitted with the Revised Final Site Plan:**

5. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

**Prior to preparing stamping sets**, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Victor Boron at (248) 735-5695 with any questions.



Victor Boron  
Project Engineer

cc: Lindsay Bell, Community Development  
Ben Croy, PE, Engineering  
Humna Anjum, Engineering

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

July 12, 2022

## Second Revised Final Site Plan - Landscaping

Terra – Phase 2

### Review Type

Second Revised Final Site Plan -Phase 2 Landscape Review

### Job #

JSP21-0012

### Property Characteristics:

- Site Location: North side of 9 Mile Road, near Garfield
- Site Zoning: R-A – Proposed R-1 with PRO
- Adjacent Zoning: North: R-A and R-1, East: R-A and ITC Corridor, South: R-A, West, R-A
- Plan Date: July 1, 2022

### Recommendation:

This site plan is **not recommended for approval**. The plans themselves are complete, but the proposal is not consistent with the PRO agreement, or with the promise to plant the maximum number of trees possible on the site.

### Review Comments

1. It is ecologically desirable to restore as much of the removed woodlands species to the site as possible. As the current plans show, there is room for some of those trees elsewhere in Phase II. That allows more spacing between the trees within the conservation easement along the northwest property line and along the stream west of Unit #27C so the “crowding” of those trees on the buildings isn't so significant. **Please work to include more (ideally all) of the Phase II replacements originally shown on the plans in the existing easement or other areas on the site instead of making a deposit to the tree fund.**
2. **In addition, if the pathway is allowed to be removed, additional trees could be planted on the berm.**
3. **Please use fewer birches and more oaks as replacements, particularly white, bur or swamp white oak, as there weren't any birches on the site to begin with and many are already being used in Phase I.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).

---

Rick Meader – Landscape Architect



**APPLICANT NARRATIVE**

**AND**

**LETTERS OF SUPPORT**

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June 22, 2022

Ms. Barbara McBeth  
City of Novi Planning  
45175 Ten Mile Road  
Novi, Michigan 48375

**Regarding: PRO Site Plan Revision Terra JSP 21-12**

Dear Ms. McBeth,

We are requesting a PRO site plan revision to Terra Phase 2 for the three items listed below:

1. In Terra Phase 2 our residents would like us to eliminate the sidewalk that connects the cul-de-sac with the ITC Trail. The residents would like the berm elevation raised to better block the view of the transmission towers and the power lines. The residents would also prefer to minimize pedestrian traffic into their community. We still will be connected to the ITC Trail at the entrance to Terra.
2. We are requesting to shorten the side walk on the south side of Villa Court where it crosses the Garfield Drain. We are asking for this revision because there is not enough room to install the sidewalk per the plan. When the culvert for the road was being installed it was determined in the field to shift the culvert to the north a few feet because of the dewatering operation related to the 9 Mile sewer project. Because the culvert was moved, there is no room for the sidewalk. As you will see on the site plan there is no benefit for this portion of sidewalk. There is no sidewalk connecting to this walk on the east side of Villa Drive out to our entrance.
3. We are requesting to pay into the woodland replacement tree fund for 51 trees in Phase 2 instead of doing plantings behind lots 27 thru 36. It has been determined that these proposed trees are too close to these homes. In addition, these homes back up to a significant woodland.

Thank you for your consideration.

Sincerely,

CAMBRIDGE OF NOVI, L.L.C.

A handwritten signature in black ink, appearing to read "Mark F. Guidobono".

Mark F. Guidobono



Land Donation Line

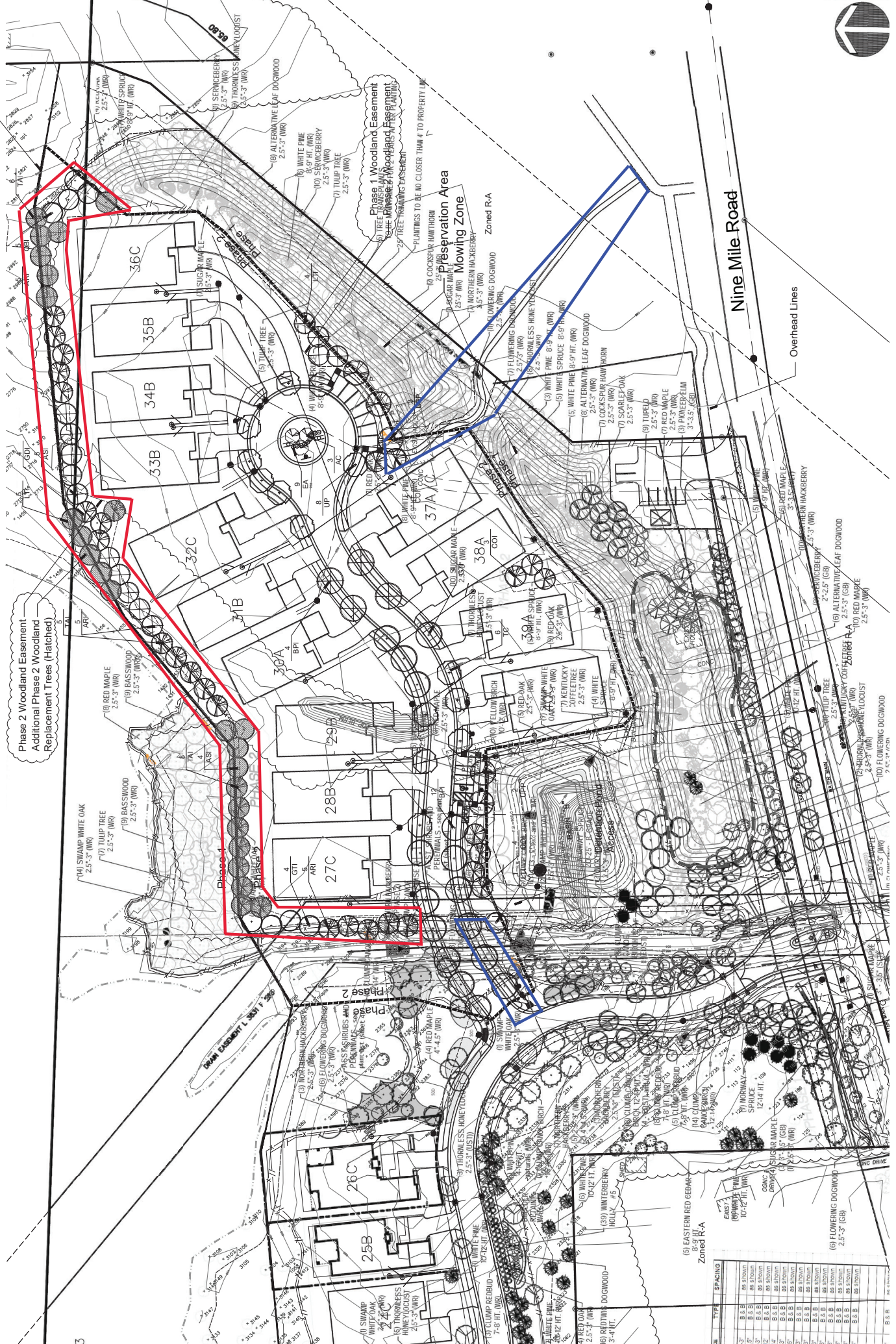
Nine Mile Road

Overhead Lines

Phase 2 Woodland Easement  
Additional Phase 2 Woodland  
Replacement Trees (Hatched)

Phase 1 Woodland Easement  
Additional Phase 1 Woodland  
Replacement Trees (Hatched)

Preservation Area  
Mowing Zone



LINE	TYPE	SPACING
1	SWAMP WHITE OAK	8'-0" (WR)
2	TUPEL TREE	8'-0" (WR)
3	BASSWOOD	8'-0" (WR)
4	RED MAPLE	8'-0" (WR)
5	SWAMP WHITE OAK	8'-0" (WR)
6	TUPEL TREE	8'-0" (WR)
7	BASSWOOD	8'-0" (WR)
8	RED MAPLE	8'-0" (WR)
9	SWAMP WHITE OAK	8'-0" (WR)
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11	BASSWOOD	8'-0" (WR)
12	RED MAPLE	8'-0" (WR)
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15	BASSWOOD	8'-0" (WR)
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24	RED MAPLE	8'-0" (WR)
25	SWAMP WHITE OAK	8'-0" (WR)
26	TUPEL TREE	8'-0" (WR)
27	BASSWOOD	8'-0" (WR)
28	RED MAPLE	8'-0" (WR)
29	SWAMP WHITE OAK	8'-0" (WR)
30	TUPEL TREE	8'-0" (WR)
31	BASSWOOD	8'-0" (WR)
32	RED MAPLE	8'-0" (WR)
33	SWAMP WHITE OAK	8'-0" (WR)
34	TUPEL TREE	8'-0" (WR)
35	BASSWOOD	8'-0" (WR)
36	RED MAPLE	8'-0" (WR)
37	SWAMP WHITE OAK	8'-0" (WR)
38	TUPEL TREE	8'-0" (WR)
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41	SWAMP WHITE OAK	8'-0" (WR)
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94	TUPEL TREE	8'-0" (WR)
95	BASSWOOD	8'-0" (WR)
96	RED MAPLE	8'-0" (WR)
97	SWAMP WHITE OAK	8'-0" (WR)
98	TUPEL TREE	8'-0" (WR)
99	BASSWOOD	8'-0" (WR)
100	RED MAPLE	8'-0" (WR)

June 25, 2022

To: Bob Gatt, Mayor  
Mark Pehrson, Planning Commission Chairperson  
From: Kevin and Denise Ball  
49622 Villa Court  
Novi, Mi

**Re: Request by Cambridge of Novi, LLC, to eliminate the pedestrian sidewalk connecting Phase II of Terra subdivision to the ITC Trail**

We are both recent retirees building our forever home in the Terra subdivision. We are very excited and eagerly await moving into our new home within the next few months.

Much of our time is spent with our two grandkids, Aria who is 4 years of age and Cairo who is 7. Having a place where our grandkids can play without excessive traffic or activity is very meaningful to us. That's one reason the gated community in Terra and the associated lack of heavy car/foot traffic was very appealing to us.

We feel that the pedestrian sidewalk would sharply increase the amount of foot and bike traffic through our subdivision thereby affecting the peace and tranquility we seek for ourselves and our grandkids.

Therefore, we support the request by Cambridge to eliminate the pedestrian sidewalk connection referenced above.

Yours respectfully,

Kevin and Denise

---



**DR. ANN AND DR. DAVID RICHARDS**  
49460 VILLA DRIVE  
NOVI, MI 48374-1908



TELEPHONE: (248) 766-4853

TELEPHONE: (734) 604-6418

E-MAIL: [email@AnnRichards.net](mailto:email@AnnRichards.net)

E-MAIL: [email@DaveRichards.net](mailto:email@DaveRichards.net)

June 23, 2022

City of Novi  
Mayor, Bob Gatt  
Planning Commission Chairperson, Mark Pehrson

As the homeowners of Lot 23 in Phase I of the Terra Subdivision, and having been made aware of the proposed elimination of the pedestrian connection sidewalk from Phase II of Terra to the ITC Trail, we concur with and support the request of Cambridge of Novi, LLC to do so.

Terra already has a sidewalk connecting our subdivision to the 'Trail' at our entrance. Thus, it is our opinion that a second connection, from the cul-de-sac (in Phase II) to the ITC Trail, is really not necessary. Furthermore, having an additional sidewalk connection there in the Phase II section would likely encourage walkers, joggers and cyclists to enter and tour our neighborhood on a much more constant basis.

Finally, having the landscape berm raised higher at the location of (and in lieu of) the proposed sidewalk connection there would likely help to shield the transmission towers and power lines from such prominent view within our neighborhood.

Thank you for your consideration,

Ann C. Richards

David L. Richards

# Terra ITC trail connection



John Bebes <John.Bebes@plantemoran.com>

Today, 10:37 AM

Sheldon Rott ✓

↩ Reply ▼

Inbox

Flag for follow up. Start by Saturday, June 25, 2022. Due by Saturday, June 25, 2022.



Action Items



Sheldon –

I would appreciate if you would please forward the following email to the Mayor and Chairperson of the Planning Commission for the City of Novi.

Thanks for the assistance.

To: Mr. Bob Gatt, Mayor and Mr. Mark Pehrson, Planning Commission Chairperson

Gentlemen –

My wife and I are excited with our upcoming move into our new residence in Terra and becoming a part of the City of Novi community.

We support the request of Cambridge of Novi, LLC to eliminate the pedestrian connection sidewalk from Phase II of Terra to the ITC Trail. Our reasons for the support are as follows:

1. Raising the berm at the proposed sidewalk would help reduce the impact of the transmission towers and power lines above.
2. The sidewalk may encourage additional non-resident walkers and bike riders to tour our community on a consistent basis and reduce the level of desired privacy of our neighborhood. Additionally, these individuals already have the ability to enter Terra via the main entrance.
3. Terra already has a sidewalk connecting us to the ITC Trail at our main entrance. A second connection does not seem necessary.

Thank you for your consideration –

John and Marina Bebes, 49465 Villa Drive, Novi, MI 48375

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This email, including any attachments, may contain confidential information and is intended solely for use by the

## ITC path connector to Terra subdivision



DIANE DENNY <ddenny1234@comcast.net>

Yesterday, 8:18 AM

Sheldon Rott; Andy Denny <dennyal@comcast.net> ▾

↩ Reply ▾

Inbox

Flag for follow up. Start by Friday, June 24, 2022. Due by Friday, June 24, 2022.

To Whom It May Concern

We feel the walkway in front of the subdivision serves as an adequate pathway to access the ITC pathway and a second connector is not required

The proposed second path going thru the berm is redundant and takes away from the beauty of the subdivision

The berm also serves as a barrier to hide the eyesore of the power lines

---

Andy and Diane Denny  
49484 Villa Drive  
Novi MI 48374

Mayor, Bob Gatt

Planning Commission Chairperson, Mark Pehrson

I (we) support the request of Cambridge of Novi, LLC to eliminate the pedestrian connection sidewalk from Phase II of Terra to the ITC Trail. Our reasons for the request are stated below:

1. Raising the berm at the proposed sidewalk would help reduce the impact of the transmission towers and power lines above.
2. The sidewalk would encourage walkers and bike riders to tour our community on a constant basis.
3. Terra already has a sidewalk connecting us to the Trail at our entrance. A second connection is not necessary.

Thank you for your consideration,

NAME (s): Carleen Lunsford

TERRA ADDRESS: 49472 Villa Drive



6/22/2022

Mayor Bob Gatt

Planning Commission Chairperson, Mark Pehrson

We are in favor of eliminating the access point from the ITC Trail to Phase 2 of the Terra Development. We believe that allowing for this access to remain will result in excessive bike and walker traffic that will negatively impact our neighborhood. Since we have lived in Terra for over one year, we have a good understanding of the traffic flow.

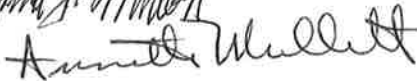
The existing access point through the main gate is sufficient to accommodate any Terra residents or other nonresidents who need to enter or exit the subdivision. We believe that this approach will allow for maximum enjoyment of the area for all parties involved.

We appreciate your flexibility and attention to this matter.

David Mullett



Annette Mullett



49438 Villa Drive

## HIB - Sidewalks



Jean Lewis <jean@hibassociates.com>

Today, 12:21 PM

Sheldon Rott ✓

↩ Reply ▼

Inbox



Action Items



Hi Sheldon,

This email is verification that we (Howard and Jean Bleiwas) support the request of Cambridge of Novi, LLC to eliminate the pedestrian connection sidewalk from Phase II of Terra to the ITC Trail. Since we have moved into the sub (April 2022) we have seen an increase in traffic from walkers and individuals on bicycles. One of the main reasons we chose a gated community was to avoid unnecessary traffic (auto and pedestrian traffic) within the subdivision.

We request that you please pass our email along to the Novi Planning Commission for their consideration.

Thank you for your assistance with this matter.  
Warmest Regards,

Howard and Jean Bleiwas  
49599 Villa Drive (Lot 6)  
Novi, MI 48374

**Howard I. Bleiwas and Associates, CPA, PLLC**



**39500 High Pointe Blvd., Suite 145  
Novi, MI 48375  
Ph: 248-380-1811 Fax: 248-380-1816  
[www.hibassociates.com](http://www.hibassociates.com)**



IRS Circular 230 Disclosure: Any U.S. federal tax advice contained in this communication (including any attachments) was neither written nor intended by the sender to be used, and cannot be used, for the purpose of (i) avoiding penalties under the Internal Revenue Code or (ii) promoting, marketing, or recommending to another person any tax related matter.

The name and "signature block" of Howard Bleiwas and Associates and/or its staff in this electronic communication shall not be construed as the signature of the office or of any individual, unless that intention is clearly stated in the text of the communication.

This email contains information from Howard Bleiwas and Associates, which is confidential and/or privileged. The information is intended to be for the use of the individual(s) or entity(ies) to which the email is addressed. If you are not the intended recipient, be aware that any disclosure, copying, distribution or use of the contents of this information is prohibited. If you have received this email in error, please notify us by telephone immediately at (248) 380-1811, return the email to the sender, and delete the email from your system (including from your trash).

To Mayor Bob Gatt and Planning Commission Chairperson Mark Pehrson,

I am writing you asking that the sidewalk directly connecting Phase 2 to the ITC trail in Terra be eliminated. As residents of Terra, we already have access to the ITC trail at the front entrance. This is a gated community and I feel that it is not appropriate to have open access for others not living there to access so openly.

Thank you for your consideration,

Amber DesJardin

A handwritten signature in black ink, appearing to read "Amber DesJardin". The signature is fluid and cursive, with the first name "Amber" written in a smaller, more compact script than the last name "DesJardin".

49362 Villa Court, Novi MI 48374

Mayor, Bob Gatt

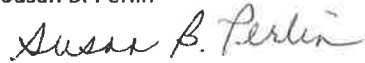
Planning Commission Chairperson, Mark Peñrson

We support the request of Cambridge of Novi, LLC to eliminate the pedestrian connection sidewalk from Phase II of Terra to the ITC Trail. Our reasons for the request are stated below:

1. Raising the berm at the proposed sidewalk would help reduce the impact of the transmission towers and power lines above.
2. The sidewalk would encourage walkers and bike riders to tour our community on a constant basis.
3. Terra already has a sidewalk connecting us to the Trail at our entrance. A second connection is not necessary.

Thank you for your consideration.

Susan B. Perlin



Lawrence E. Perlin



49575 Villa Drive

June 24, 2022

Mayor, Bob Gatt  
Planning Commission Chairperson, Mark Pehrson

We strongly support Cambridge of Novi, LLC's request to eliminate the pedestrian connection sidewalk from Terra Community's Phase II to the ITC trail.

We have made a significant investment in the City of Novi and in the new Terra community. Key points that drove our decision to purchase and build a custom home in Terra were the added security and safety of the small community size, the dead-end roads, and the gated entrance. These important features greatly reduce car, foot, and bicycle traffic.

The extra pedestrian connection sidewalk in Phase II is also misleading to ITC trail users, potentially leading them into the Terra community instead of continuing on the ITC trail.

At the gated entrance, there is a sidewalk connecting Terra to the ITC trail, so Terra Community homeowners can easily access the ITC Trail in both directions. The second connection in Phase II is redundant and not necessary.

We are also in agreement with raising the berm to help block the transmission towers and powerlines from view.

Thank you for your consideration in eliminating the pedestrian sidewalk from Phase II of Terra to the ITC trail.

Sincerely,



Thomas Busard



Diane Busard

Terra Community address:  
Lot 19  
49506 Villa Drive

**ORIGINAL PRO AGREEMENT**

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RECEIVED  
OAKLAND COUNTY  
REGISTER OF DEEDS

2019 MAR 22 AM 10:23

39787  
LIBER 52674 PAGE 562  
\$26.00 MISC RECORDING  
CITY OF NOV  
CITY CLERK  
03/28/2019 01:58:55 P.M. RECEIPT# 29975  
PAID RECORDED - OAKLAND COUNTY  
2019 APR 19 A 11:36  
LISA BROWN, CLERK/REGISTER OF DEEDS

**PLANNED REZONING OVERLAY (PRO) AGREEMENT**  
**TERRA**

**AGREEMENT**, by and among **CAMBRIDGE OF NOVI, LLC**, a Michigan limited liability company whose address is 47765 Bellagio Dr., Northville, MI 48167 (referred to as "**Developer**"); and the **CITY OF NOVI**, 45175 Ten Mile Road, Novi, MI 48375-3024 ("**City**").

**RECITATIONS:**

- I. Developer is the owner and developer of the vacant 50.61 acre property located on the east side of Napier Road and north side of Nine Mile Road, herein known as the "Land" described on **Exhibit A**, attached and incorporated herein.
- II. For purposes of improving and using the Land for a 41-unit residential subdivision at a maximum net density of 1.08 dwelling units per acre, to allow for development with smaller and narrower lots, and a slightly higher density than is permitted in the R-A Classification, Developer petitioned the City for an amendment of the Zoning Ordinance, as amended, so as to reclassify the Land from RA (Residential Acreage) to R-1 (One-Family Residential). The R-A classification shall be referred to as the "**Existing classification**" and R-1 shall be referred to as the "**Proposed Classification**."
- III. The Proposed Classification would provide the Developer with certain material development options not available under the Existing Classification, and would be a distinct and material benefit and advantage to the Developer.
- IV. The City has reviewed and approved the Developer's proposed petition to amend the zoning district classification of the Land from the Existing Classification to the Proposed Classification under the terms of the Planned Rezoning Overlay (PRO) provisions of the City's Zoning Ordinance; has reviewed the Developer's proposed PRO Plan (including building façade, elevations, and design) attached hereto and incorporated herein as **Exhibit B** (the "PRO Plan"), which is a conceptual or illustrative plan for the potential development of the Land under the Proposed Classification, and not an approval to construct the proposed improvements as shown; and has further reviewed the proposed PRO conditions offered or accepted by the Developer and has determined that, the proposed conditions constitute an overall public benefit that outweighs the deviations, and that if the deviations were not granted, the denial would prohibit an enhancement of the development that would be in the public interest, and that approving the deviations would be consistent with the City Master Plan and compatible with the surrounding area

328

OK-AB



V. In proposing the Proposed Classification to the City, Developer has expressed as a firm and unalterable intent that Developer will develop and use the Land in conformance with the following undertakings by Developer, as well as the following forbearances by the Developer (each and every one of such undertakings and forbearances shall together be referred to as the "Undertakings"):

- A. Developer shall develop and use the Land solely for a residential subdivision not to exceed 41 units, at a maximum density of 1.08 dwelling units per acre, to the extent permitted under the Proposed Classification (the "Development"). Units may be combined thereby reducing the overall units permitted to less than 41-units provided that the homes proposed within the combined units are still in scale with the remaining homes and meet with the requirements of applicable City ordinances and the PRO Plan. The Development shall be constructed in two (2) phases in accordance with the Phasing Lines as contained on Exhibit B. Developer shall forbear from developing and/or using the Land in any manner other than as authorized and/or limited by this Agreement.

Developer shall develop the Land in accordance with all applicable laws and regulations, and with all applicable ordinances, including all applicable setback requirements of the Zoning Ordinance as relates to the Proposed Classification, except as expressly authorized herein. The PRO Plan is acknowledged by both the City and Developer to be a conceptual plan for the purpose of depicting the general area contemplated for development. Some deviations from the provisions of the City's ordinances, rules, or regulations are depicted in the PRO Plan are approved by virtue of this Agreement; however, except as to such specific deviations enumerated herein, the Developer's right to develop the 41-unit residential subdivision under the requirements of the Proposed Classification shall be subject to and in accordance with all applications, reviews, approvals, permits, and authorizations required under applicable laws, ordinances, and regulations, including, but not limited to, site plan approval, storm water management plan approval, woodlands and wetlands permits, façade approval, landscape approval, and engineering plan approval, except as expressly provided in this Agreement. Architectural standards shall be as set forth by the Developer in the Master Deed and Bylaws for the Development, and shall be subject to and in accordance with all applicable laws and ordinances; provided, however, that the architectural elevation and facades of the buildings as shown on the plans shall be the minimum standard; any deviations shall result in an equivalent or better products, as determined by the City's façade consultant.

- B. In addition to any other ordinance requirements, Developer shall comply with all applicable ordinances for storm water and soil erosion requirements and measures throughout the site during the design and construction phases, and subsequent use, of the development contemplated in the Proposed Classification.

C. The following PRO Conditions shall apply to the Land and/or be undertaken by Developer:

1. Owner/Developer shall provide the following Public Improvements in connection with the development of the Land:

- a. Developer shall donate fee title, in the form of a Warranty Deed, to approximately 20.22 acres of land, as shown in the Concept Plan (the "Park Land"), to Novi for existing park system on or before March 20, 2019. The donation is for the purpose of expanding City parkland in the area of the Development. The Park Land will connect two additional parcels of City parkland. The City shall be permitted to make minor improvements in the area to propose a trail or accessory uses for a trail, and shall be permitted to combine the Park Land with adjacent City park land into a single unified parcel.
- b. Developer shall construct an approximate .18 acre comfort station area for the ITC Trailhead in accordance with the drawings, attached and incorporated as Exhibit C (the "Comfort Station Improvements"). The Comfort Station shall include, but shall not be limited to parking spaces, a bike repair station and a picnic shelter, as set forth in Exhibit C. The Comfort Station will be constructed with Phase 1 of the Development, and shall be completed no later than six-months from the substantial completion of the ITC Trail adjacent to the subject property. . The Comfort Station shall be conveyed to the City for public ownership, operation, use and maintenance upon completion of the Comfort Station Improvements within 60 days of the completion and inspection of the improvements for consistency with the approved site plan.
- c. Developer shall contribute to the construction of a portion of the ITC Trail along the north side of Nine Mile Road, in the amount of \$43,834.22, in order to provide for use by and in connection with the Development, as shown in the plans attached and incorporate as Exhibit D. The pathway shall comply with City design and construction standards, with minor modifications to be approved administratively, i.e. to modify the alignment for preservation of existing landscaping trees. Dedication of the Nine Mile Road Right of Way along the entire length of the subject property shall be completed on or before March 20, 2019.
- d. In the event that the Michigan Department of Environmental Quality or any governmental agency requires Developer to provide a compensating cut for the purpose of creating additional floodplain for the Development, the City shall permit the Developer to create the compensating cut, at Developer's own expense, not to exceed 8,000 square feet in size, in a location mutually agreeable to the Developer and the City, including but not limited to locations within the Park Land described, generally, as N/W of the N/W detention basin and the

wetland, or, alternatively, an area behind units 12-14. In the event that the compensating cut requires additional tree removal, Developer shall be subject to the applicable woodland replacement standards as set forth the City's Woodland Ordinance.

2. The development shall be limited to a density of 1.08 dwelling units per acre with a maximum of 41 units as indicated on the PRO concept plan.
3. The proposed unit boundary, as shown on the approved final Concept Plan (sheet 02), ("Unit Boundary"), shall be considered the maximum allowable footprint. Any accessory uses including but not limited to, fire pits, fire places, hot tubs, pools, patios, sidewalks, landscaping walls, landscaping fences, decks and gardens may be included within the Unit Boundary as shown on the approved final site plan or within the rear yard area ("Accessory Unit Boundary"), which is the area beginning at the rear Unit Boundary and is within the side lines of the Unit Boundary, and extending twenty-five (25) to the rear, as shown on the approved final Concept Plan. Sidewalks and small gardens with no permanent structures may be proposed within the side yards subject to limitations set forth in the Master Deed.

No more than two (2) regulated woodland trees may be removed from the Accessory Unit Boundary to accommodate the construction or installation of any pool, or other accessory use. Removal of trees shall be subject to mitigation measures listed in all applicable ordinances. Additionally, no accessory uses shall be constructed within the regulated Wetland or Wetland Buffers shown in the approved Concept Plan. All accessory uses shall be constructed in accordance will applicable ordinances, laws and regulations.

Limitations on the construction of accessory uses, as set forth herein, shall be included within the Master Deed for the Development and shall be delineated on the Exhibit B, Condominium Subdivision Plan.

4. A minimum of 15 feet shall be maintained between two buildings.
5. A minimum of 30 feet shall be provided between the front façade of each home as measured from the back of the curb.
6. The applicant will work with staff to identify a proper location to connect to ITC trail, beyond the subject property line.
7. Except to the extent that limited clearing is authorized in accordance with an approved Preliminary Site Plan, and all applicable ordinances and regulations, including, but not limited to Section 6.1.4.F of the Zoning Ordinance, within the City's reasonable discretion, and a Hold Harmless Agreement acceptable to the City's Attorney is provided, Construction of

the Development shall not be permitted to begin prior to completion of the City's Nine Mile sanitary sewer extension project, , or alternately, subject to and in accordance with a plan for completion of alternate sanitary sewage disposal facilities, by Developer, at its own expense, which plan shall be reviewed and approved by the City's Engineering Division in accordance with the standards and procedures set forth by City ordinance.

8. Grading requirements for development shall be superseded based on the character of Nine Mile Road.
9. Retention pond shall be completely screened for safety on all four sides and above the typical standards, as determined at the time of Preliminary Site Plan.
10. The City shall confirm that the proposed trailhead agreement will not negate already existing agreements.
11. The portion of asphalt paving on Nine Mile Road shall be constructed in a manner to reduce or eliminate issues of the interface between gravel and asphalt, to be reviewed and approved by City Engineer at the time of Preliminary Site Plan review.
12. The applicant shall conform to Woodland Ordinance requirements at the time of Preliminary Site Plan and Woodland permit review.
13. Minor modifications to the approved Planned Rezoning Overlay Concept Plan (PRO) can be approved administratively, upon determination by the City Planner, that the modifications are minor, do not deviate from the general intent of the approved PRO Concept plan and result in reduced impacts on the surrounding development and existing infrastructure.
14. Developer shall comply with all conditions listed in the staff and consultant review letters.

***NOW, THEREFORE, IT IS AGREED AS FOLLOWS:***

1. Upon the Proposed Classification becoming final following entry into this Agreement:
  - a. The Undertakings shall be carried out by Developer on and for the Land;
  - b. Developer shall act in conformance with the Undertakings;
  - c. The Developer shall forbear from acting in a manner inconsistent with the Undertakings; and
  - d. The Developer shall commence and complete all actions necessary to carry out all of the PRO Conditions.

2. The following deviations from the standards of the zoning ordinance are hereby authorized pursuant to §3402.D.1.c of the City's zoning ordinance.
  - a. Planning Deviation from Sec. 3.1.2 of Zoning Ordinance for reduction of the minimum lot size, setbacks, minimum lot frontage and minimum site acreage as shown on the proposed concept plan provided that:
    - i. The proposed unit boundary shown on the concept plan (sheet 02) shall be considered the maximum allowable footprint. Any accessory uses shall be completed in accordance with paragraph V, 1, A, 3.
    - ii. A minimum of 15 feet shall be maintained between two buildings.
    - iii. A minimum of 30 feet shall be provided between the front façade and the back of the curb.
    - iv. Rear setbacks shall be as shown on the Concept Plan, based on the proposed boundary line of land to be donated to the City.
  - b. Façade deviation from Sec 3.7, similar dissimilar ordinance, to replace internal calculation of square footage to a 2200 square foot minimum requirement for this development;
  - c. Landscape deviation from Sec. 5.5.3.B.ii and iii of Zoning Ordinance for lack of berms along the westerly Nine Mile Road frontage and portions of the easterly frontage, due to existing natural features;
  - d. Engineering deviation from Sec. 4.04, Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances for absence of a stub street required at 1,300 feet intervals along the property boundary to provide connection to the adjacent property boundary, due to conflict with existing wetlands;
  - e. Engineering deviation from Chapter 7.4.2.c(1) of Engineering Design manual for reducing the distance between the outside edge of the sidewalk and back of the curb: 15 feet required, 10 feet proposed;
  - f. Engineering deviation for absence of sidewalk along a portion of Villa Drive;
  - g. Engineering deviation for absence of curb and gutter for parking lot and driveway for the proposed comfort station from Sec. 11-239(b)(1),(2)of Novi City Code;
  - h. Traffic deviation for not conforming to minimum required standards as indicated in Figure IX.5 of the City's Code of Ordinances for residential driveway, provided the applicant works with staff to minimize the number of driveways that deviate from the standard at the time of Preliminary Site Plan;
  - i. Traffic deviation from Figure VIII-A in the City Code of Ordinances, for not providing the minimum width for local residential road for Villa Drive , the stretch from the entrance gates to the first intersection (28 feet required, 24 feet provided).

- j. Traffic deviation from Section 7.4.2.c (1) of Engineering Design Manual for not meeting the maximum distance between sidewalk and Right of Way line along Nine Mile. A maximum of 1 foot is required for a small portion where it conflicts with existing wetland area;
  - k. Deviation to allow alternate locations for street tree plantings to avoid conflict with the utility layout along the internal roads;
  - l. Deviation for the location of accessory structures in an alternate location within the common area, as approved by the Planning Commission in accordance with the Preliminary Site Plan in order to allow the use of free standing solar panels as shown on the Revised Concept Plan to provide power to the access gate and outside lighting.
  - m. A traffic deviation for not meeting the minimum required horizontal curve radii for the proposed streets; and
  - n. A landscape deviation for absence of minimum required street trees and green belt trees in areas where there is a conflict with existing natural features;
3. In the event Developer attempts to or proceeds with actions to complete improvement of the Land in any manner other than as 41-unit residential subdivision, as shown on **Exhibit B**, the City shall be authorized to revoke all outstanding building permits and certificates of occupancy issued for such building and use.
4. Developer acknowledges and agrees that the City has not required the Undertakings. The Undertakings have been voluntarily offered by Developer in order to provide an enhanced use and value of the Land, to protect the public safety and welfare, and to induce the City to rezone the Land to the Proposed Classification so as to provide material advantages and development options for the Developer.
5. All of the Undertakings represent actions, improvements, and/or forbearances that are directly beneficial to the Land and/or to the development of and/or marketing of a 41-unit residential subdivision on the Land. The burden of the Undertakings on the Developer is roughly proportionate to the burdens being created by the development, and to the benefit which will accrue to the Land as a result of the requirements represented in the Undertakings.
6. In addition to the provisions in Paragraph 2, above, in the event the Developer, or its respective successors, assigns, and/or transferees proceed with a proposal for, or other pursuit of, development of the Land in a manner which is in material violation of the Undertakings, the City shall, following notice and a reasonable opportunity to cure, have the right and option to take action using the procedure prescribed by law for the amendment of the Master Plan and Zoning Ordinance applicable to the Land to amend the Master Plan and zoning classifications of the Land to a reasonable classification determined appropriate by the City, and neither the Developer nor its respective successors, assigns, and/or transferees, shall have any vested rights in the Proposed Classification and/or use of the Land as permitted under the Proposed Classification, and Developer shall be estopped from

objecting to the rezoning and reclassification to such reasonable classifications based upon the argument that such action represents a “downzoning” or based upon any other argument relating to the approval of the Proposed Classification and use of the Land; provided, this provision shall not preclude Developer from otherwise challenging the reasonableness of such rezoning as applied to the Land.

7. By execution of this Agreement, Developer acknowledges that it has acted in consideration of the City approving the Proposed Classification on the Land, and Developer agrees to be bound by the provisions of this Agreement.
8. After consulting with an attorney, the Developer understands and agrees that this Agreement is authorized by and consistent with all applicable state and federal laws and Constitutions, that the terms of this Agreement are reasonable, that it shall be estopped from taking a contrary position in the future, and, that the City shall be entitled to injunctive relief to prohibit any actions by the Developer inconsistent with the terms of this Agreement.
9. This Agreement shall be binding upon and inure to the benefit of the parties to this Agreement and their respective heirs, successors, assigns and transferees, and an affidavit providing notice of this Agreement may be recorded by either party with the office of the Oakland County Register of Deeds.
10. Except with respect to appeals from the applicable standards of the City’s Sign Ordinance, the Zoning Board of Appeals (ZBA) shall have no jurisdiction over the Property or the application of this Agreement until after site plan approval and construction of the development as approved therein.
11. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach. All remedies afforded in this Agreement shall be taken and construed as cumulative, that is, in addition to every other remedy provided by law.
12. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.
13. This Agreement may be signed in counterparts.

{Signatures begin on following page}

DEVELOPER

CAMBRIDGE OF NOVI, LLC, a Michigan limited liability company

By:   
Mark F. Guidobono Its: Member  
Rick Corrent, project manager


STATE OF MICHIGAN )

) ss

COUNTY OF OAKLAND )

On this 1 day of March, ~~2018~~ <sup>2019</sup>, before me appeared ~~Mark F. Guidobono,~~ <sup>Rick Corrent</sup> ~~Member of Cambridge of Novi, LLC~~ who states that he has signed this document of his own free will duly authorized on behalf of the Fee Developer.

KATHERINE OPPERMANN  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES Sep 5, 2024  
ACTING IN COUNTY OF Oakland

  
Katherine Oppermann, Notary Public  
Oakland County  
Acting in \_\_\_\_\_ County  
My commission expires: Sept 5, 2024



CITY OF NOVI

By:

Robert J. Gatt  
Robert J. Gatt, Mayor

By:

Cortney Hanson  
Cortney Hanson, Clerk

STATE OF MICHIGAN )

) ss

COUNTY OF OAKLAND )

On this 4<sup>th</sup> day of MARCH, ~~2018~~ <sup>2019</sup>, before me appeared Mayor Robert J. Gatt and Cortney Hanson, who stated that they had signed this document of their own free will on behalf of the City of Novi in their respective official capacities, as stated above.

X Clerk

Marilyn S. Troutman  
\_\_\_\_\_  
, Notary Public

County

Acting in \_\_\_\_\_ County

My commission expires:

Drafted by:

Elizabeth Kudla Saarela  
Johnson, Rosati, Schultz & Joppich  
27555 Executive Drive, Suite 250  
Farmington Hills, MI 48331-5627

When recorded return to:  
Cortney Hanson, Clerk  
City of Novi  
45175 Ten Mile Road  
Novi, MI 48375

MARILYN S. TROUTMAN  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES Oct 13, 2024  
ACTING IN COUNTY OF OAKLAND

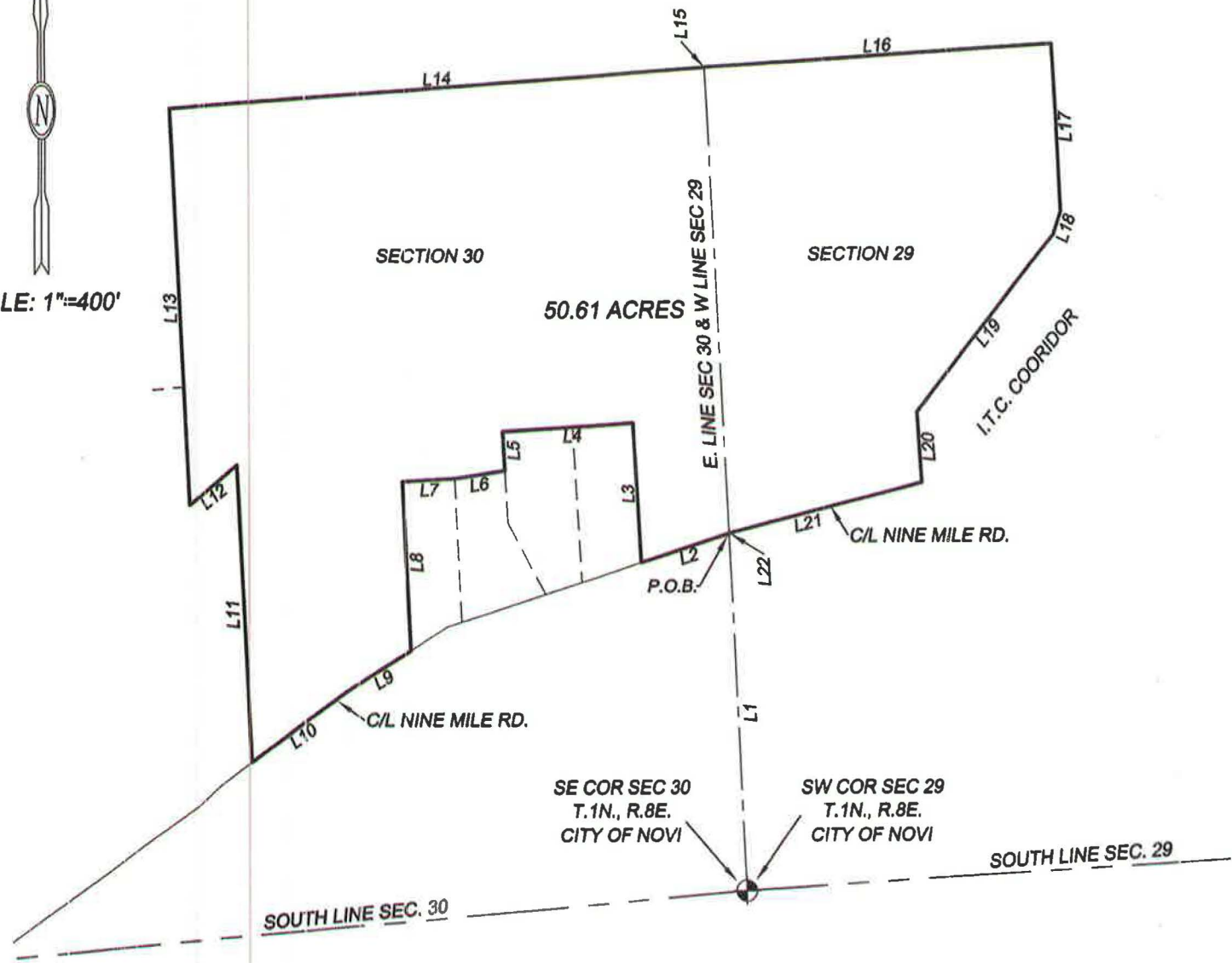
**Exhibit A**

Land

# EXHIBIT "A"



SCALE: 1"=400'



LINE	LENGTH	BEARING
L1	856.10	N02°55'33"W
L2	225.47	S72°10'25"W
L3	338.57	N03°29'24"W
L4	324.26	S86°30'35"W
L5	94.19	S03°29'25"E
L6	123.77	S81°07'19"W
L7	126.82	S87°09'55"W
L8	410.12	S02°48'50"E
L9	181.85	S57°34'11"W
L10	288.11	S53°31'53"W
L11	718.50	N02°57'55"W
L12	152.36	S50°15'11"W

LINE	LENGTH	BEARING
L13	953.24	N02°57'42"W
L14	1317.06	N85°45'28"E
L15	0.79	N02°55'33"W
L16	851.95	N86°30'23"E
L17	400.57	S03°01'41"E
L18	59.92	S18°05'04"W
L19	540.46	S38°22'03"W
L20	169.15	S03°49'56"E
L21	487.26	S75°23'04"W
L22	1.18	S02°55'33"E



*Joseph C. Kapelczak*

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Scale:  
1"=400'  
Date:  
2/27/19  
Job No.:  
10522  
Sht. No.:  
1 OF 2

## TERRA

PART OF THE SE 1/4 SEC 30 &  
PART OF THE SW 1/4 SEC 29  
T.1N., R.8E., CITY OF NOVI, OAKLAND CO., MI.

## EXHIBIT "A" TO THE PRO AGREEMENT



8615 RICHARDSON ROAD  
COMMERCE TWP., MI. 48390  
PHONE: 248-363-2550  
FAX: 248-363-1646

# EXHIBIT "A"

## DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF SECTION 30 AND PART OF THE SOUTHWEST 1/4 OF SECTION 29, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE INTERSECTION OF THE C/L OF NINE MILE ROAD AND THE WEST LINE OF SECTION 30, ALSO BEING THE EAST LINE OF SECTION 29, SAID INTERSECTION BEING N 02°55'33" W, 856.10 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 29; THENCE S 72°10'25" W ALONG THE C/L OF NINE MILE ROAD, 225.47 FEET; THENCE N 03°29'24" W, 338.57 FEET; THENCE S 86°30'35" W, 324.26 FEET; THENCE S 03°29'25" E, 94.19 FEET; THENCE S 81°07'19" W, 123.77 FEET; THENCE S 87°09'55" W, 126.82 FEET; THENCE S 02°48'50" E, 410.12 FEET TO THE C/L OF NINE MILE ROAD; THENCE S 57°34'11" W ALONG THE C/L OF NINE MILE ROAD 181.85 FEET; THENCE S 53°31'53" W ALONG THE C/L OF NINE MILE ROAD, 288.11 FEET; THENCE N 02°57'55" W, 718.50 FEET; THENCE S 50°15'11" W, 152.36 FEET; THENCE N 02°57'42" W, 953.24 FEET; THENCE N 85°45'28" E, 1317.06 FEET TO THE WEST LINE OF SECTION 30, ALSO BEING THE EAST LINE OF SECTION 29; THENCE N 02°55'33" W ALONG SAID SECTION LINE 0.79 FEET; THENCE N 86°30'23" E, 851.95 FEET; THENCE S 03°01'41" E, 400.57 FEET; THENCE S 18°05'04" W, 59.92 FEET; THENCE S 38°22'03" W, 540.46 FEET; THENCE S 03°49'56" E, 169.15 FEET TO THE C/L OF NINE MILE ROAD; THENCE S 75°23'04" W ALONG THE C/L OF NINE MILE ROAD, 487.26 FEET TO THE WEST LINE OF SECTION 30, ALSO BEING THE EAST LINE OF SECTION 29, THENCE S 02°55'33" E ALONG SAID SECTION LINE 1.18 FEET TO THE POINT OF BEGINNING. CONTAINING 50.61 ACRES AND SUBJECT TO EASEMENTS AND RIGHT-OF-WAYS OF RECORD.

22-30-401-025  
- 026 } SE 1/4 Sec. 30.

22-29-326-039  
- 040  
- 041 } SW 1/4 Sec. 29



*Joseph C. Kapelczak*

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Scale:

1"=400'

Date:

2/27/19

Job No.:

10522

Pl. No.:

20F2

TERRA

PART OF THE SE 1/4 SEC 30 &  
PART OF THE SW 1/4 SEC: 29

T.1N.,R.8E., CITY OF NOVI, OAKLAND CO., MI.

EXHIBIT "A" TO THE  
PRO AGREEMENT



8615 RICHARDSON ROAD  
COMMERCE TWP., MI. 48390  
PHONE: 248-363-2550  
FAX: 248-363-1646

**Exhibit B**

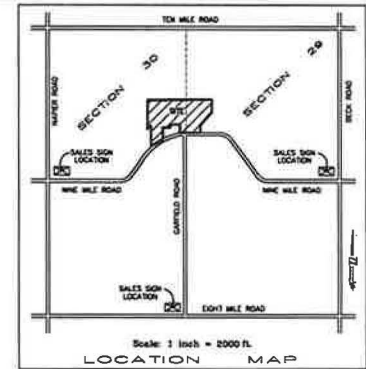
**PRO Plan**

PLANNED REZONING OVERLAY (PRO) PLAN

**VILLA D'ESTE**

SECTION 29/30, TOWN 1 NORTH, RANGE 8 EAST,  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PREPARED FOR:  
**CAMBRIDGE COMPANIES**  
47765 BELLAGIO DR.  
NORTHVILLE, MICHIGAN 48167  
PHONE: 248.248.3800



**LEGAL DESCRIPTION:**  
PART OF THE SOUTHWEST 1/4 OF SECTION 30 AND THE SOUTHWEST 1/4 OF SECTION 29, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, BEGINNING AT A POINT LOCATED 167.70 FEET NORTH AND 16.85 FEET WEST OF THE NORMAL CENTER LINE OF 9 MILE ROAD AND THE SOUTH LINE OF SECTION 30 AND CONTINUING AS FOLLOWS: THE APPARENT CENTER LINE OF 9 MILE ROAD 404.75 FEET AND ALONG SAID CENTER LINE NORTHERLY 86.35 FEET AND ALONG SAID CENTER LINE N63°30'11.50" E 35.50 FEET FROM THE SOUTH-WEST CORNER OF SECTION 30 THENCE N63°30'11.50" E 130.00 FEET THENCE S63°30'11.50" E 130.00 FEET TO THE EAST LINE OF EVERGREEN ESTATES CONDOMINIUM PLAN NO. 188 AS RECORDED IN LIVER TRACT 16425 PT THROUGH 124 OAKLAND COUNTY RECORDS; THENCE CONTINUING ALONG THE EAST LINE OF EVERGREEN ESTATES N63°30'11.50" E 228.58 FEET TO THE NORTHEAST CORNER OF EVERGREEN ESTATES; THENCE N63°30'11.50" E 68.89 FEET THENCE N67°43'48.10" E 131.00 FEET TO THE EAST LINE OF SECTION 30 ALSO BEING THE WEST LINE OF SECTION 29 THENCE ALONG SAID LINE S82°33'30.00" W 74.81 FEET THENCE N67°43'48.10" E 27.00 FEET TO THE WEST LINE OF THE INTERNATIONAL TRANSMISSION COMPANY CONDUIT; THENCE ALONG THE WESTERN SIDE OF THE INTERNATIONAL TRANSMISSION COMPANY CONDUIT FOR THE FOLLOWING COURSE: S01°14'45.00" E 100.00 FEET AND S 81°48'10.00" E 100.00 FEET AND S02°23'30.00" E 100.00 FEET AND S02°43'00.00" E 100.00 FEET TO THE NORMAL CENTER LINE OF 9 MILE ROAD; THENCE S02°43'00.00" E 100.00 FEET TO THE NORMAL CENTER LINE OF 9 MILE ROAD; THENCE S02°43'00.00" E 100.00 FEET TO THE WEST LINE OF SECTION 30; THENCE S02°43'00.00" E 100.00 FEET TO THE WEST LINE OF SECTION 29 AND 30; THENCE ALONG THE NORMAL CENTER LINE OF 9 MILE ROAD S77°12'29.70" W 225.47 FEET THENCE S02°43'00.00" E 100.00 FEET THENCE S02°43'00.00" E 100.00 FEET THENCE S02°43'00.00" E 100.00 FEET TO THE NORMAL CENTER LINE OF 9 MILE ROAD; THENCE ALONG SAID CENTER LINE S02°43'00.00" E 100.00 FEET THENCE CONTINUING ALONG SAID CENTER LINE S02°43'00.00" E 100.00 FEET TO THE POINT OF BEGINNING CONTAINING 50.61 ACRES AND SUBJECT TO THE RIGHTS OF THE PUBLIC ON 9 MILE ROAD.

**SITE BENCHMARKS:**  
CITY OF NOVI BM #3041  
962.14  
NORTH FLANGE BOLT ON FIRE HYDRANT LOCATED 160 FEET SOUTHWEST OF INTERSECTION OF EVERGREEN ESTATES AND 9 MILE ROAD.  
CITY OF NOVI BM #3042  
963.43  
SANITARY MANHOLE LOCATED IN FRONT ON WEST SIDE OF #48750 9 MILE ROAD.  
CITY OF NOVI BM #3043  
FOUND CUT BOX ON THE WEST END OF A CONCRETE HEADBALL OVER A NORTH TO SOUTH FLOWING DRAIN AT THE INTERSECTIONS OF 9 MILE AND GARFIELD.

WOODLAND PLANS PREPARED BY: ALLEN DESIGN, LLC LANDSCAPE ARCHITECTURE 557 CARPENTER NORTHVILLE, MICHIGAN 48167 PHONE: 248.467.4668

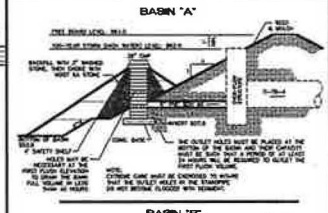
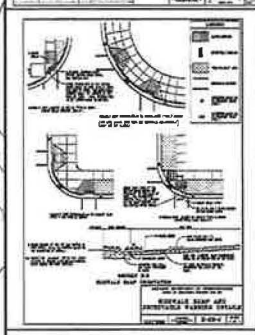
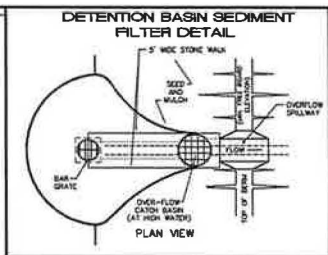
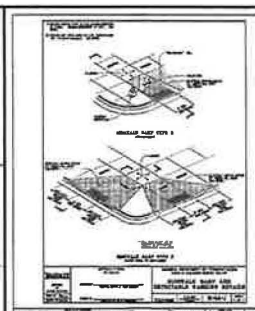
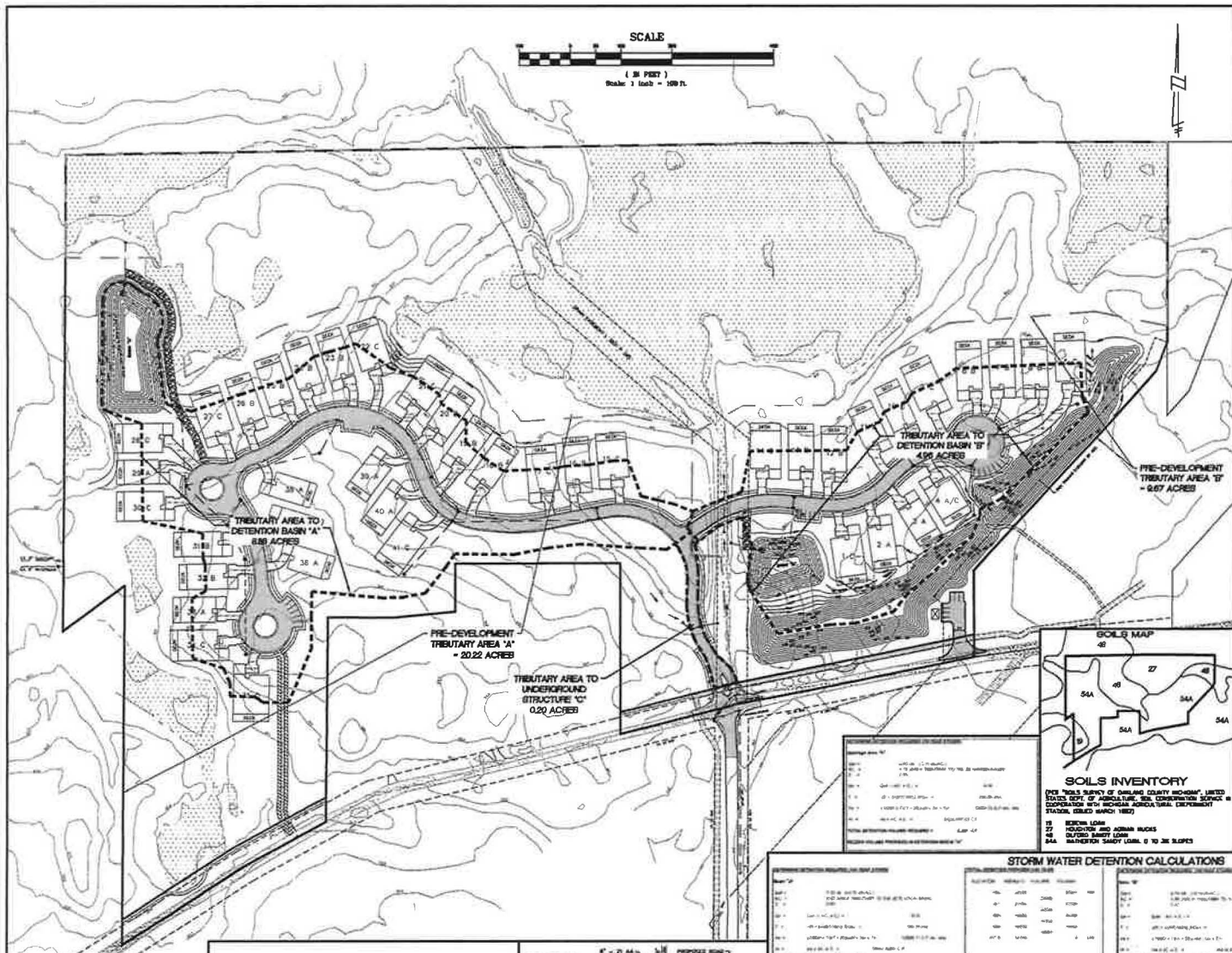
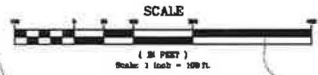
TOPOGRAPHIC & BOUNDARY SURVEY BY: JCK GROUP, INC. 8615 RICHARDSON ROAD, COMMERCE TWP., MICHIGAN 48390 PHONE: 248.363.2550

WETLAND FLAGGING PREPARED BY: WILSON ROAD GROUP, INC. 323 JEFFERSON LAPEER, MICHIGAN 48445 PHONE: 810.664.6300

LANDSCAPE PLANS PREPARED BY: DEAK PLANNING + DESIGN 143 CADYCENTRE #78, NORTHVILLE, MICHIGAN 48167 PHONE: 866.355.4204

ENGINEER'S SEAL	REVISIONS
	1. Submit to City
	2. Submit to City
	3. Submit to City
	4. Submit to City
	5. Submit to City
PREPARED BY: A.A. CHECKED BY: P.M. DATE: 08/08/2014 DRAWING FILE: 13-000-14	
<b>COVER SHEET</b>	
<b>SKIBER, KEAST ENGINEERING, L.L.C.</b>	SHEET 1
100 MANICOMER BLVD. • NORTHVILLE, MI • 48167 PHONE: 248.308.3331 FAX: 248.308.3331	



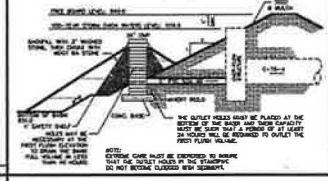


**C-Factor Determination for Basin "A"**  
Tributary Area = 8.88 Ac.

Impervious Area:	
Roofs =	3.28 Ac.
Driveways and Garages =	1.22 Ac.
Patios and Driveways =	4.38 Ac.
Leaf Area =	2.50 Ac.
<b>Total Impervious Area =</b>	<b>9.38 Ac.</b>
<b>C Avg. =</b>	<b>0.83</b>

**C-Factor Determination for Basin "B"**  
Tributary Area = 4.36 Ac.

Impervious Area:	
Roofs =	0.24 Ac.
Driveways and Garages =	2.52 Ac.
Leaf Area =	1.58 Ac.
<b>Total Impervious Area =</b>	<b>4.36 Ac.</b>
<b>C Avg. =</b>	<b>0.87</b>



**SOILS INVENTORY**  
FOR "VILLA NESTE OF OAKLAND COUNTY MICHIGAN", LIMITED TO THE CITY OF MARSHBURG, THE CONSTRUCTION SERVICE IN COOPERATION WITH MICHIGAN AGRICULTURAL EXPERIMENT STATION, (FIELD SURVEY 1982)

15. SLOPE LOW  
16. SLOPE MODERATE AND STEEP  
17. SLOPE STEEP  
18. SLOPE VERY STEEP (SLOPE 6 TO 20 SLOPES)

- MAINTENANCE SCHEDULE:**  
THE PROPERTY OWNER IS RESPONSIBLE FOR THE MAINTENANCE OF THE DETENTION BASIN. MAINTENANCE SHOULD BE PERFORMED FOLLOWING ANY STORM AND SHOULD INCLUDE:
- CHECKING THE DEPTH OF SEDIMENT DEPOSIT TO ENSURE THE CAPACITY OF THE BASIN IS ADEQUATE FOR STORM WATER AND SEDIMENT DEPOSITION, AND FOR THE REMOVAL OF SEDIMENT.
  - CHECKING THE BASIN FOR PIPING, SEEPAGE, OR OTHER MECHANICAL DAMAGE.
  - CHECKING FOR THE PRESENCE OF ANY WEED GROWTH WHICH WOULD PREVENT PROPER DRAINAGE FROM THE BASIN.
  - CHECKING THE OUTFALL TO ENSURE DRAINAGE IS NOT CAUSING ANY NEIGHBORLY DAMAGE AND TO ENSURE THE OUTLET IS NOT CLOGGED.
  - ANY PROBLEM DISCOVERED DURING THE MAINTENANCE CHECKS SHOULD BE ADDRESSED IMMEDIATELY.
  - SEDIMENT REMOVED DURING CLEANING SHOULD BE PLACED AT AN UPLAND AREA AND STABILIZED SO THAT IT DOES NOT RE-ENTER THE DRAINAGE COURSE.

**PEAK FLOW RUNOFF CALCULATIONS**  
PEAK FLOW RUNOFF CALCULATIONS

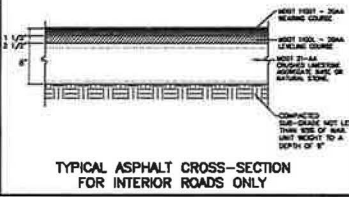
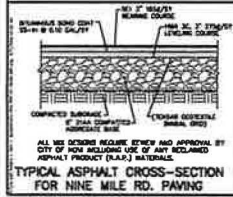
1.50 cfs/inch = 279.6 cfs/inch + 30.7 cfs/inch

Q = (C/Avg) \* I \* A = 0.83 \* 1.5 \* 279.6 \* 8.88 = 31.5 cfs  
Q (Precipitation) = 1.5 cfs

Q = (C/Avg) \* I \* A = 0.87 \* 1.5 \* 279.6 \* 4.36 = 14.8 cfs  
Q (Precipitation) = 0.8 cfs

**STORM WATER DETENTION CALCULATIONS**

Basin #	Area (Ac)	C Avg	I (in)	Q (cfs)
Basin A	8.88	0.83	1.5	31.5
Basin B	4.36	0.87	1.5	14.8



**VILLA NESTE**  
SECTION 29/30, TOWN 1 NORTH, RANGE 9 EAST  
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

**REVISIONS**

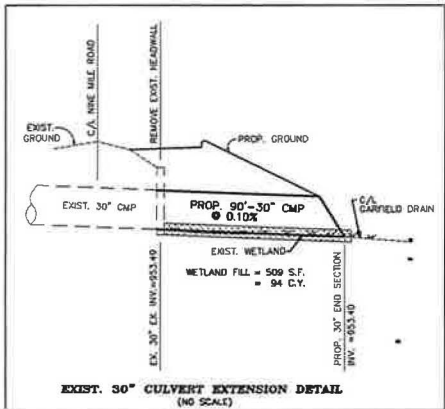
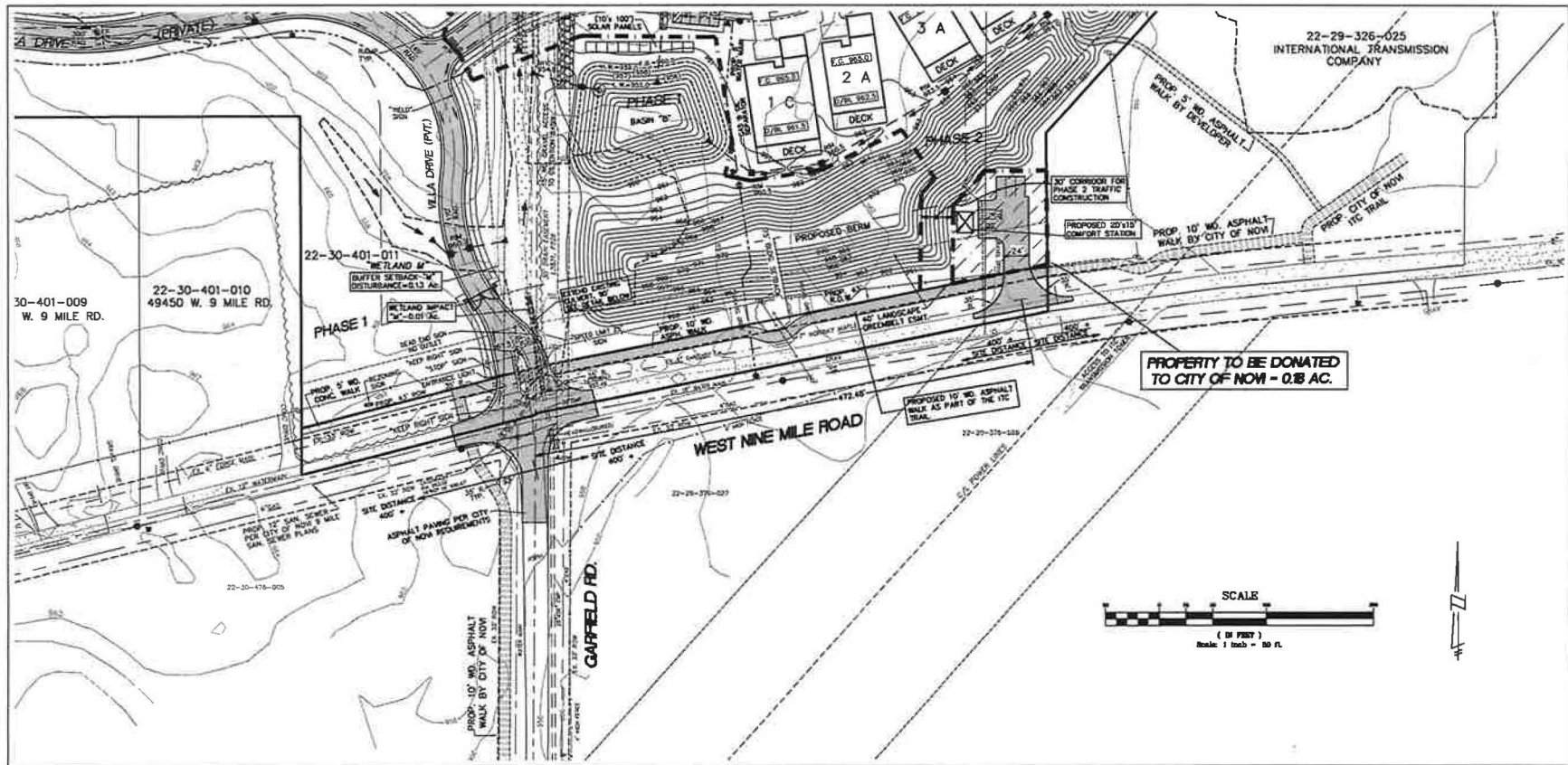
NO.	DATE	DESCRIPTION
1	8-2-17	ISSUE FOR PERMITS
2	8-2-17	ISSUE FOR PERMITS
3	8-2-17	ISSUE FOR PERMITS
4	8-2-17	ISSUE FOR PERMITS
5	8-2-17	ISSUE FOR PERMITS
6	8-2-17	ISSUE FOR PERMITS

**STORM WATER MANAGEMENT PLAN**

**SEIBER, KEAST ENGINEERING, L.L.C.**  
CONSULTING ENGINEERS  
100 MANICOTTI BLVD. SUITE 10 • BENTONVILLE, AR • 6787  
PH: 248.268.3333 FAX: 248.268.3333

**SHEET 3**





<b>VILLA D'ESTE</b>		
SECTION 29/30, TOWN 1 NORTH, RANGE 8 EAST CITY OF NOVI, GARLAND COUNTY, MICHIGAN		
DATE: 08-6-18 (REVISION BY: A.A.) FOR PROJECT: 18-000		
DRAWN BY: P.E. / REVISED DATE: 11-29-2018		
<b>REVISIONS</b>		
NO.	DESCRIPTION	DATE
1	ISSUED TO CITY	8-6-18
<b>ENTRANCE BLVD. PLAN</b>		
<b>SEIBER, KEAST ENGINEERING, L.L.C.</b>		SHEET <b>4</b>
<small>CONSULTING ENGINEERS 100 MANICENTRE • SUITE 10 • KNOXVILLE, TN • 37907 PHONE: 248.308.3331 EMAIL: info@seiberkeast.com</small>		



Trees within Land Donated Area Have Been Surveyed but not Shown on Tree List

- Trees within Woodland Were not Surveyed
- Approximately 100 Trees per Acre
- 7.2 Acres
- Approximately 720 Trees within Woodland

Trees within Land Donated Area Have Been Surveyed but not Shown on Tree List

Key  
 x Damages Removed  
 See Sheets W-3 through W-5 for Woodland List

**811**  
 Call Before You Dig  
 1-800-485-5742

**ALLEN DESIGN**  
 LAND PLANNING & SURVEYING ARCHITECTS  
 537 WADSWORTH AVENUE, SUITE 100  
 ANN ARBOR, MI 48106  
 Phone: 313.963.9639  
 Email: info@alldesign.com

**Title:** Woodland Plan

**Project:** Villa D'Este  
 NOV, MI

**Prepared for:**  
 Cambridge Homes  
 47755 Dequig  
 Novi, Michigan 48167


<b>Revision:</b>	<b>Issued:</b>
Submitted: April 11, 2018	April 11, 2018
Reviewed: August 7, 2018	August 7, 2018
Revised: August 13, 2018	August 13, 2018
Approved: August 15, 2018	August 15, 2018
Revised:	

**Job Number:** 16208

**Drawn By:** [Signature] **Checked By:** [Signature]

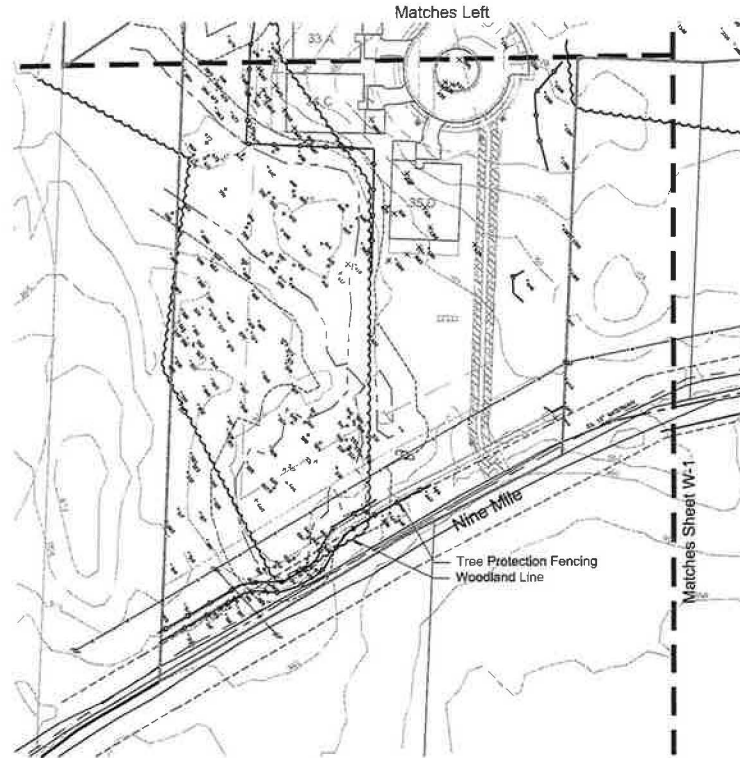
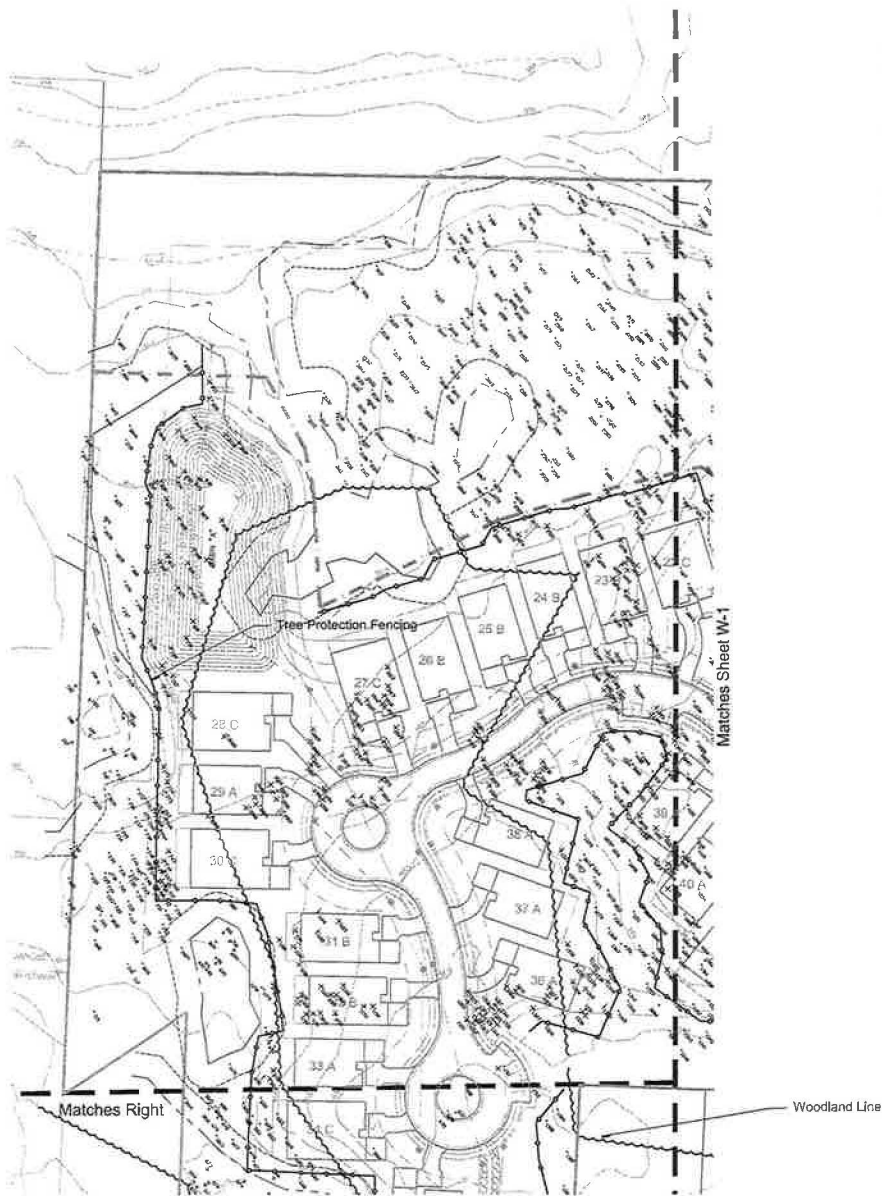
**Scale:**

**Seal:**



**Sheet No.:** W-1

**North Arrow:** NORTH  
 0° 19' 30" 60"  
 1"=60'



Seal: \_\_\_\_\_



Title: \_\_\_\_\_  
**Woodland Plan**

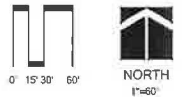
Project: \_\_\_\_\_  
**Villa D'Este  
 Novi, MI**

Prepared for: \_\_\_\_\_  
 Cambridge Homes  
 47765 Bellagio  
 Northville, Michigan 48167

Revision:	Issued:
Submittal	April 11, 2018
Revised	June 7, 2017
Revised	August 13, 2018
Revised	August 14, 2018
Revised	August 22, 2018

Job Number: \_\_\_\_\_  
 16-008

Drawn By: \_\_\_\_\_ Checked By: \_\_\_\_\_  
 jon jak



Sheet No. \_\_\_\_\_

Key \_\_\_\_\_  
 / Denotes Removed  
 See Sheets W-3 Through W-5 for Woodland List



**W-2**

Tree List

Table with columns: Tree #, Species, Location, Size, Health, etc. It contains a detailed list of trees with their respective details.

ALLEN DESIGN
557 CARRIER + NORVILLE, MI 48117
248 489 4698 • Fax: 248 348 9559



Title:
Woodland List

Project:
Villa D'Este
Novi, MI

Prepared for:
Crestview Homes
47851 E.
Novi, Michigan 48117

Revision: Issued:
Station: April 11, 2018
Prepared: August 13, 2018
Checked: August 22, 2018

Job Number: 104368

Drawn By: Checked By:

Notes:
This list is for the site.
This is to be used for the site.
This is to be used for the site.

Sheet No. W-3

Tree List

Tree #	Species	DBH	Height	Condition	Notes
1	Red Oak	12"	25'	Good	
2	White Oak	10"	20'	Good	
3	Red Oak	14"	30'	Good	
4	White Oak	11"	22'	Good	
5	Red Oak	13"	28'	Good	
6	White Oak	9"	18'	Good	
7	Red Oak	15"	32'	Good	
8	White Oak	12"	26'	Good	
9	Red Oak	11"	24'	Good	
10	White Oak	13"	28'	Good	
11	Red Oak	14"	30'	Good	
12	White Oak	10"	20'	Good	
13	Red Oak	12"	26'	Good	
14	White Oak	11"	24'	Good	
15	Red Oak	13"	28'	Good	
16	White Oak	9"	18'	Good	
17	Red Oak	15"	32'	Good	
18	White Oak	12"	26'	Good	
19	Red Oak	11"	24'	Good	
20	White Oak	13"	28'	Good	
21	Red Oak	14"	30'	Good	
22	White Oak	10"	20'	Good	
23	Red Oak	12"	26'	Good	
24	White Oak	11"	24'	Good	
25	Red Oak	13"	28'	Good	
26	White Oak	9"	18'	Good	
27	Red Oak	15"	32'	Good	
28	White Oak	12"	26'	Good	
29	Red Oak	11"	24'	Good	
30	White Oak	13"	28'	Good	
31	Red Oak	14"	30'	Good	
32	White Oak	10"	20'	Good	
33	Red Oak	12"	26'	Good	
34	White Oak	11"	24'	Good	
35	Red Oak	13"	28'	Good	
36	White Oak	9"	18'	Good	
37	Red Oak	15"	32'	Good	
38	White Oak	12"	26'	Good	
39	Red Oak	11"	24'	Good	
40	White Oak	13"	28'	Good	
41	Red Oak	14"	30'	Good	
42	White Oak	10"	20'	Good	
43	Red Oak	12"	26'	Good	
44	White Oak	11"	24'	Good	
45	Red Oak	13"	28'	Good	
46	White Oak	9"	18'	Good	
47	Red Oak	15"	32'	Good	
48	White Oak	12"	26'	Good	
49	Red Oak	11"	24'	Good	
50	White Oak	13"	28'	Good	
51	Red Oak	14"	30'	Good	
52	White Oak	10"	20'	Good	
53	Red Oak	12"	26'	Good	
54	White Oak	11"	24'	Good	
55	Red Oak	13"	28'	Good	
56	White Oak	9"	18'	Good	
57	Red Oak	15"	32'	Good	
58	White Oak	12"	26'	Good	
59	Red Oak	11"	24'	Good	
60	White Oak	13"	28'	Good	
61	Red Oak	14"	30'	Good	
62	White Oak	10"	20'	Good	
63	Red Oak	12"	26'	Good	
64	White Oak	11"	24'	Good	
65	Red Oak	13"	28'	Good	
66	White Oak	9"	18'	Good	
67	Red Oak	15"	32'	Good	
68	White Oak	12"	26'	Good	
69	Red Oak	11"	24'	Good	
70	White Oak	13"	28'	Good	
71	Red Oak	14"	30'	Good	
72	White Oak	10"	20'	Good	
73	Red Oak	12"	26'	Good	
74	White Oak	11"	24'	Good	
75	Red Oak	13"	28'	Good	
76	White Oak	9"	18'	Good	
77	Red Oak	15"	32'	Good	
78	White Oak	12"	26'	Good	
79	Red Oak	11"	24'	Good	
80	White Oak	13"	28'	Good	
81	Red Oak	14"	30'	Good	
82	White Oak	10"	20'	Good	
83	Red Oak	12"	26'	Good	
84	White Oak	11"	24'	Good	
85	Red Oak	13"	28'	Good	
86	White Oak	9"	18'	Good	
87	Red Oak	15"	32'	Good	
88	White Oak	12"	26'	Good	
89	Red Oak	11"	24'	Good	
90	White Oak	13"	28'	Good	
91	Red Oak	14"	30'	Good	
92	White Oak	10"	20'	Good	
93	Red Oak	12"	26'	Good	
94	White Oak	11"	24'	Good	
95	Red Oak	13"	28'	Good	
96	White Oak	9"	18'	Good	
97	Red Oak	15"	32'	Good	
98	White Oak	12"	26'	Good	
99	Red Oak	11"	24'	Good	
100	White Oak	13"	28'	Good	

**Allen Design**  
 537 CARRISER + NORTHVILLE, MI 48167  
 248.467.4688 • Fax 248.349.0559  
 Email: info@alldesign.com

**Allen Design**  
 537 CARRISER + NORTHVILLE, MI 48167  
 248.467.4688 • Fax 248.349.0559  
 Email: info@alldesign.com

**Title:** Woodland List

**Project:** Villa D'Este  
Novi, MI

**Prepared for:** Castellan Homes  
Northville, Michigan 48167

**Revision:** Issued:  
 Submittal April 17, 2018  
 Revised August 13, 2018  
 Revised August 22, 2018

**Job Number:** 16568

**Drawn By:** Checked By:

**Sheet No.:** W-4

**Notes:**

Tree to be saved

Tree to be removed (cut) at a weekend

Tree to be removed in a separate

woodcut and mill by reserved

or as indicated.

Tree List

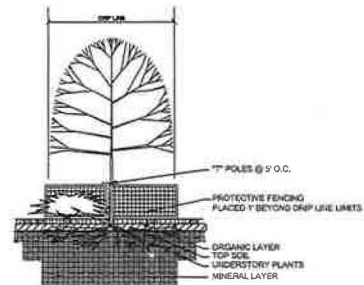
Tag #	Diameter	Common Name	Botanical Name	Condition	Remarks	Required Replacement	Credits
3185	9	American Elm	Ulmus americana	Good	Remove	1	
3186	10	American Elm	Ulmus americana	Good	Remove	1	
3187	8	Silver Maple	Acer saccharinum	Good	Remove	1	
3188	10	American Elm	Ulmus americana	Good	Remove	1	
3189	21	Eastern Cottonwood	Populus deltoides	Good	Save		
3191	12	Silver Maple	Acer saccharinum	Good	Save		
3192	10	Silver Maple	Acer saccharinum	Good	Save		
3193	10	Silver Maple	Acer saccharinum	Good	Save		
3194	15	Silver Maple	Acer saccharinum	Good	Save		
3195	16	Silver Maple	Acer saccharinum	Good	Save		
3196	18	Silver Maple	Acer saccharinum	Good	Save		
Woodland Replacements Required						1029	
Woodland Credits							137

Woodland Summary

Total Trees Surveyed	1,353 Trees
Un-Surveyed Trees In Woodland	720 Trees
Surveyed Trees In Land Donation	418 Trees
Less Non-Regulated Trees:	
Exempt Trees	125 Trees
Net Regulated Trees	2,368 Trees
Regulated Trees Removed	552 Trees (23.3%)
Replacement Required	
Trees 8" - 11"	257 trees x 1= 257 Trees
Trees 11" - 20"	204 trees x 2= 408 Trees
Trees 20" - 30"	44 trees x 3= 132 Trees
Trees 30"+	9 trees x 4= 36 Trees
Multi-Stemmed Trees (38 trees)	195 Trees
Subtotal Replacement Required	1,238 Trees
Less Credits	127 Credits
Total Replacement Required	962 Trees

Remarks Key:

Save	Tree will be saved
Credit	Tree is located outside of a woodland area and will be saved.
Remove	Tree is located in a regulated woodland and will be removed.
Exempt	Tree is dead or located outside of a woodland area.



1. 1" POLES OR MORE ORANGE TREE FENCING SHALL BE INSTALLED IN OR AROUND THE DRIPLINE, UNLESS MORE SUBSTANTIAL FENCING IS PROVIDED.
2. FENCING SHALL BE A MINIMUM 1" TUBULAR STEEL OR 2" ALUMINUM PIPE WITH 1/2" DIA. HOLES. SPACING BETWEEN POLES SHALL BE 5' ON CENTER. FENCING SHALL BE PLACED 1' BEYOND DRIPLINE LIMITS.
3. FENCING SHALL BE INSTALLED TO THE TOP OF THE TREE TRUNK AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
4. FENCING SHALL BE INSTALLED TO THE TOP OF THE TREE TRUNK AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.
5. ALL OTHER REQUIREMENTS SHALL BE PROVIDED BY THE CITY OF NORTHVILLE.
6. ALL OTHER REQUIREMENTS SHALL BE PROVIDED BY THE CITY OF NORTHVILLE.
7. ALL OTHER REQUIREMENTS SHALL BE PROVIDED BY THE CITY OF NORTHVILLE.
8. ALL OTHER REQUIREMENTS SHALL BE PROVIDED BY THE CITY OF NORTHVILLE.
9. ALL OTHER REQUIREMENTS SHALL BE PROVIDED BY THE CITY OF NORTHVILLE.
10. ALL OTHER REQUIREMENTS SHALL BE PROVIDED BY THE CITY OF NORTHVILLE.

TREE PROTECTION DETAIL

NO SCALE

Seal:



Title:

Woodland List

Project:

Villa D'Este  
Novi, MI

Prepared for:

Cambridge Homes  
47765 Bellagio  
Northville, Michigan 48167

Revision:

Revision	Issued
Submission	April 17, 2018
Revised	June 11, 2018
Revised	August 13, 2018
Revised	August 14, 2018
Revised	August 22, 2018

Job Number:

19-008

Drawn By:

jos

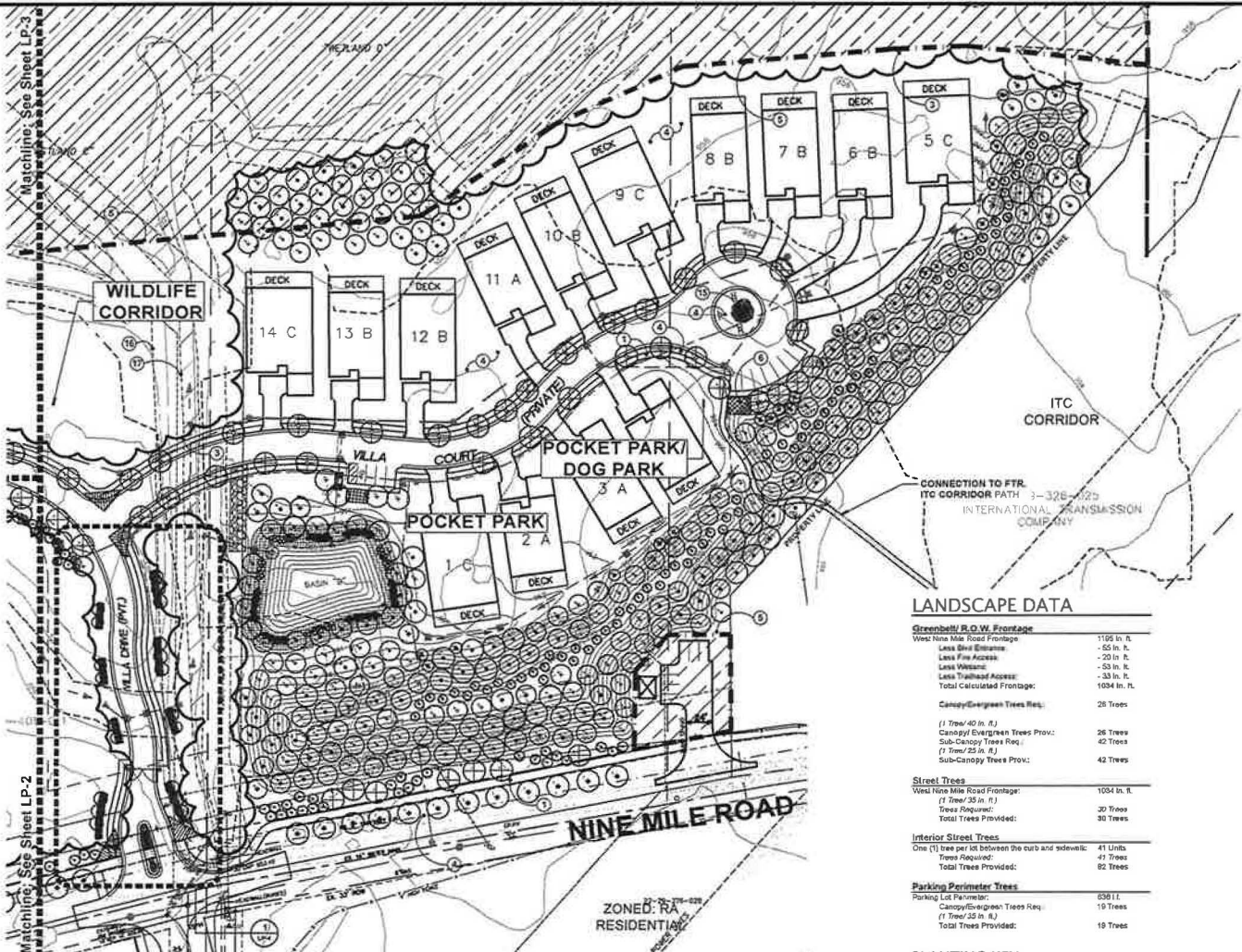
Checked By:

jos

Sheet No.



W-5



**CONCEPTUAL SITE PLANTING PLAN**

SCALE 1" = 50'



**NOTE KEY:**

- ① NEW PROPOSED ITEM - SEE DIM. DRAWING
- ② EXISTING ITEM - SEE DIM. DRAWING
- ③ PROPOSED LIMITS OF WOODLAND PRESERVATION
- ④ PROPOSED LIMITS OF LAND DONATION TO CITY - SEE CIVIL DRAWING
- ⑤ WETLAND BENT AREA
- ⑥ NO ITEM
- ⑦ NO ITEM
- ⑧ PROPOSED GATE ENTRANCE
- ⑨ PROPOSED AREA ANCHOR
- ⑩ NO ITEM
- ⑪ WETLAND BENT AREA SEE 30' FOR SIDE SLAPES
- ⑫ WETLAND BENT AREA
- ⑬ WETLAND BENT AREA
- ⑭ WETLAND BENT AREA
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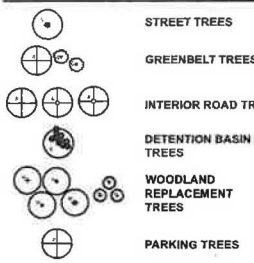
**GENERAL PLANTING REQ.:**

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS AND SUPERVISION REQUIRED FOR THE COMPLETION OF THE WORK.
2. ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE STATED ON THE PLANT LIST. SIZE SHALL BE THE MINIMUM SIZES ON THE PLANT LIST UNLESS ALL DIMENSIONS SHALL BE ACCORDANCE WITH THE LATEST EDITION OF THE "N.A.S. STANDARDS FOR LANDSCAPE STOCK".
3. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
4. ALL SINGLE TRUNK GROUND TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED. ALL SMALLER TREES SHOULD BE PLANTED STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
5. ALL LANDSCAPE TREES SHALL BE HEAVILY BRANCHED AND HAVE SPARSE TRUNK CROVING. ONE BRUSH TREE OR THOSE WITH 1/4" DBH OR GREATER SHALL NOT BE ACCEPTED.
6. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE CROWN. SYMMETRICAL IN SHAPE AND NOT BRACHED FOR THE LAST YEAR OF GROWING SEASON.
7. THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS IN THE CORRECT QUANTITIES AND SPECIES. THE PLANTS SHALL BE IDENTIFIED AS TO GIVE THE BEST APPEARANCE.
8. WHEN THE PLANT HAS BEEN PROVED SET, THE FIT SHALL BE MAINTAINED WITH A TOPSOIL AND MULCH. THE PLANTS SHALL BE PLANTED IN THE CORRECT QUANTITIES AND SPECIES.
9. ALL PLANT MATERIALS SHALL BE PROVIDED AND MAINTAINED. THE AMOUNT OF PLANTING SHALL BE LIMITED TO THE REMOVAL OF EXISTING MATERIALS TO BE REPLACED FOR THE LOSS OF ROOTS FROM TRANSPORTING. CUTS SHOULD BE PLUSH, LEAVING NO STUBS.
10. THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS FROM THE DATE OF PLANTING. REPRESENTATIVE RECEIVED THE RIGHT FOR FINAL INSPECTION. PLANT MATERIAL WITH SIX (6) MONTHS GUARANTEE. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LANDSCAPE MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
11. TOPSOIL SHALL BE PROVIDED. FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 1% BUT NOT MORE THAN 3% BY WEIGHT OF ORGANIC MATTER IN A PROGRADE FROM A 10 TO 2' DEPTH SHALL BE PROVIDED FROM CLAY LOAM. CHARGE BARK PLANT ROOTS, STUBS AND OTHER FOREIGN MATERIALS.
12. NO MULCH IS TO BE USED WITHIN THE CRIP LINE OF EXISTING TREES. MULCH SHALL BE ALL LIGN AREA BETWEEN CRIP LINE OF EXISTING TREES.
13. THE CONTRACTOR SHALL PROVIDE A PROTECTED GIRT PERMANENT BUILDINGS, WELLS AND PIPES AS PER SPEC.
14. ALL PLANTING BEDS SHALL RECEIVE A SHREDED BARK MULCH. SEE PERFORMANCE.
15. SOUP BEDS LANDSCAPE - ALL LIGN AREA BETWEEN CURBS AND SLOPES OF RETAINED BUILDINGS. USE 3/8" TO 1" 1/2" DEEP BED TOP SOIL PLACEMENT.
16. SOIL SHALL BE TWO YEAR OLD WARDENHURST PLYMOUTH COUNTY BLUE GRASS GROWN IN A SOIL WARDENHURST ON LOAM SOIL.

**LANDSCAPE DATA**

<b>Greenbelt/ R.O.W. Frontage</b>	
View Nine Mile Road Frontage:	1195 sq. ft.
Less Drive Entrances:	- 50 sq. ft.
Less Five Access:	- 23 sq. ft.
Less Wetland:	- 53 sq. ft.
Less Trailhead Access:	- 33 sq. ft.
Total Calculated Frontage:	1034 sq. ft.
<b>Canopy/Evergreen Trees Req.:</b>	26 Trees
(1 Tree/ 40 sq. ft.)	
Canopy/Evergreen Trees Prov.:	36 Trees
Sub-Canopy Trees Req.:	42 Trees
(1 Tree/ 25 sq. ft.)	
Sub-Canopy Trees Prov.:	43 Trees
<b>Street Trees</b>	
View Nine Mile Road Frontage:	1034 sq. ft.
(1 Tree/ 35 sq. ft.)	
Trees Required:	30 Trees
Total Trees Provided:	30 Trees
<b>Interior Street Trees</b>	
One (1) tree per lot between the curb and sidewalk:	41 Units
Trees Required:	41 Trees
Total Trees Provided:	82 Trees
<b>Parking Perimeter Trees</b>	
Parking Lot Perimeter:	638 ft.
Canopy/Evergreen Trees Req.:	19 Trees
(1 Tree/ 35 sq. ft.)	
Total Trees Provided:	19 Trees

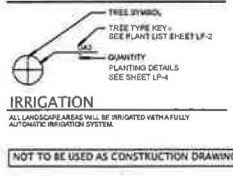
**PLANTING KEY**



**PLANT MIX**

- ALL PLANTING PERENNIAL BEDS TO RECEIVE:
- 1 1/4" CFT. BALE CHANDLERPINE
  - 1 1/4" B. B. CHANDLERPINE
  - 1 1/4" B. B. CHANDLERPINE
  - 1 1/4" B. B. CHANDLERPINE
  - PER 100 SQ FT BED AREA.
- HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM
- MULCH**
- MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH
- NO GROUND WOOD PALLETTE MULCH PERMITTED
- TOPSOIL**
- CONTRACTOR TO FILL ON ASP. SUBGRADE TO 4" DEPTH AND INSTALL A COMPACTED DEPTH TOPSOIL IN ALL LIGN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

**PLANT KEY**



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 PROPOSED DETACHED CONDOMINIUMS - NOV, MI



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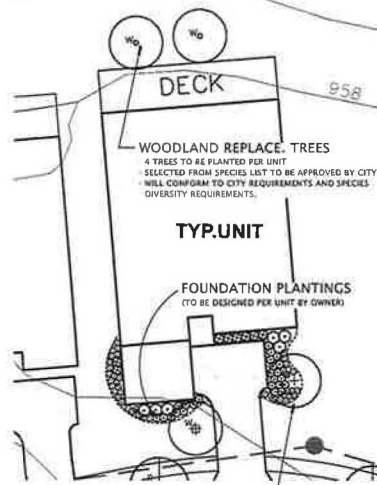
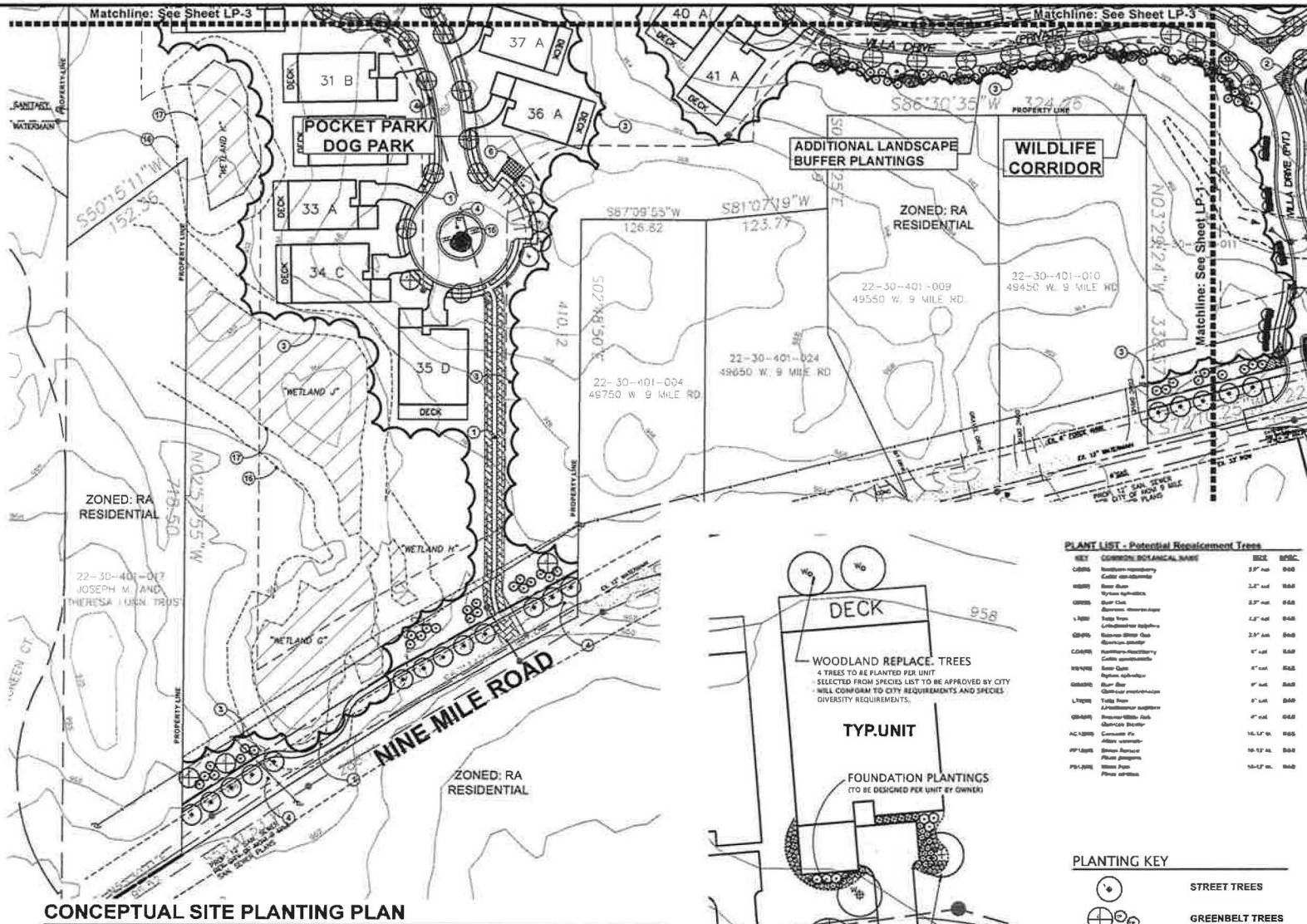
**Revisions**

REV. APP. PKG.	08/11/17
REV.01 PER. CHANGE	10/01/17
REV.02 PER. CHANGE	01/22/18
REV.03 PER. CHANGE	04/15/18
REV.04 PER. CHANGE	06/08/18

Sheet Title:  
**CONCEPTUAL LANDSCAPE PLAN**

PROJECT NO.  
**121713**

Sheet No.  
**LP-1**



**PLANT LIST - Potential Replacement Trees**

KEY	COMMON BOTANICAL NAME	SIZE	DBHC
0209	Medium magnolia	2 1/2" x 10'	0/0/0
0210	Star Elm	2 1/2" x 10'	0/0/0
0211	Yucca aglicarpa	2 1/2" x 10'	0/0/0
0212	Star Elm	2 1/2" x 10'	0/0/0
1108	Staghorn sumac	1 1/2" x 6'	0/0/0
	Callitriche	1 1/2" x 6'	0/0/0
0205	Medium White Oak	2 1/2" x 10'	0/0/0
	Quercus alba	1" x 6"	0/0/0
0208	Hamamelis	1" x 6"	0/0/0
0207	Star Elm	1" x 6"	0/0/0
0206	Alginate AppleTree	1" x 6"	0/0/0
0204	Star Elm	1" x 6"	0/0/0
	Quercus macrocarpa	1" x 6"	0/0/0
1107	Yucca Plant	1" x 6"	0/0/0
	Alnus incana	1" x 6"	0/0/0
0202	Prunus Millier Oak	1" x 6"	0/0/0
	Quercus bicolor	16-18' x 6"	0/0/0
AC 1000	Concordia Pk	10-12' x 16"	0/0/0
PP 1000	Spring Summer	10-12' x 16"	0/0/0
PP 1001	Spring Summer	10-12' x 16"	0/0/0

**PLANTING KEY**

- STREET TREES
- GREENBELT TREES
- INTERIOR ROAD TREES
- DETENTION BASIN TREES
- WOODLAND REPLACEMENT TREES

- NOTE KEY:**
1. HAZARDOUS WEA - SEE CIVIL DRAWING
  2. EXISTING OBSTACLES - SEE CIVIL DRAWING
  3. PROPOSED LOTS OF WOODLAND PRESERVATION
  4. PROPOSED LOTS OF LAND DONATION TO CITY - SEE CIVIL DRAWING
  5. SHOW DEPOSIT AREA
  6. NO ITEM
  7. NO ITEM
  8. NO ITEM
  9. NO ITEM
  10. IMPROVED GATED ENTRANCE
  11. IMPROVE SIDE WALKS
  12. NO ITEM
  13. DETERMINATION WITHIN SEEDS ARE FOR USE SLOPES
  14. CONTINUOUS LEACH BED
  15. DRAIN & PERFORATED PLANTING TYP
  16. 25 FT WETLAND SETBACK
  17. WETLAND LIMITS
  18. NO ITEM
  19. DATA ANALYSIS ARE FOR WINDSPEED AND DUST COLLECTION
- GENERAL PLANTING REQ.:**
1. THE OWNER SHALL OBTAIN THE PROVISIONS AND NECESSITY MATERIAL LABOR EQUIPMENT TOOLS AND SUPPLIES REQUIRED FOR THE CONSTRUCTION OF THE GROUNDS.
  2. ALL PLANT MATERIALS SHALL CONFORM TO THE FIVE GRADES ON THE PLANT LIST. WEEDS SHALL BE THE MINIMUM ALLOWED ON THE PLANT LIST. ALL PLANT MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "N.A.S. STANDARDS FOR LANDSCAPE ARCHITECTS".
  3. ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE ARCHITECTS AND SUBJECT TO INSTALLATION OF THE PLANT MATERIAL.
  4. ALL SINGLE TRUNK THORN TREES TO HAVE A CENTRAL LEADER, THE TRUNK SHOULD BE FREE OF BRANCHES AT LEAST 10 FT. THIS IS ACCEPTED. ALL SINGLE TRUNK THORN TREES TO HAVE STRAIGHT BRANCHES TO REMAIN IN PLACE.
  5. ALL MULTITRUNK TREES SHALL BE HEAVILY BRANCHED AND HAVE BRANCHES AT LEAST 8 FT. THIS IS ACCEPTED. ALL MULTITRUNK TREES SHALL BE HEAVILY BRANCHED AND HAVE BRANCHES AT LEAST 8 FT. THIS IS ACCEPTED.
  6. ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULLY TO BE PLANTED WITHIN THE SETBACK AND NOT SHARED FOR THE LAST FIVE GROWING SEASONS.
  7. THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS IN THE CORRECT GRADES AND PLANTS IN PLACE SHALL BE OBTAINED AS TO USE THE BEST APPEARANCE.
  8. WHEN THE PLANTING BEGINS PROCEED TO THE BEST PRACTICE TO BE MET WITH A TOPSOIL AND NATIVE SOIL MIXTURE, OCCASIONALLY PLANTING MATERIALS AND BETTER WITH WATER.
  9. ALL PLANT MATERIALS SHALL BE PRUNED AND PLANTS REQUIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR DAMAGED TWIGS AND TO COMBARE FOR THE LOSS OF ROOTS FROM TRANSPORTING. CUTS SHOULD BE FLUSH, LEAVING NO STUBS.
  10. THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF ONE YEAR. IF THE CONTRACTOR'S REPRESENTATIVE ASSURES THE RIGHT FOR A FULL INSPECTION, PLANT MATERIALS WITH ONE YEAR OF GUARANTEE SHALL BE OBTAINED FROM THE CONTRACTOR'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF TREE PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
  11. TOPSOIL SHALL BE FRUITFUL, FERTILE TOPSOIL OF SLAY LOAM OR HEAVIER CONSISTENCY AT LEAST 10 FT NOT MORE THAN 10 FT BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.5 TO 7.5. SOIL SHALL BE FREE FROM SLAKY SALTS, COARSE SAND, PLANT ROOTS, STONES AND OTHER FOREIGN MATERIALS.
  12. THE CONTRACTOR IS TO BE RESPONSIBLE FOR THE GRADING OF EXISTING TREES, LAND GRADING ALL LAIN AREAS WITHIN ONE LINE OF EXISTING TREES.
  13. ALL PLANTING SITES SHALL RECEIVE 4" SHIMMERS BARK MULCH OR 6" DEEP OF MULCH.
  14. ALL PLANTING SITES SHALL RECEIVE 4" SHIMMERS BARK MULCH OR 6" DEEP OF MULCH.
  15. SOIL FREE LAIN AREAS - ALL LAIN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS SHALL BE TO 4" DEEP BEFORE TOPSOIL PLACEMENT.
  16. SOIL SHALL BE TWO YEAR OLD, SANDWICHED FOR PENETRATION AREAS (SUCH AS) SOIL HANDLED ON GROUND.
- PLANT MIX**  
ALL PLANTING PERENNIAL BUD TO RECEIVE:  
1. 2 CLIFTS BALL COMPOST PEAT  
1. 1 LB ORGANIC  
1. 1 LB MULTIPURPOSE FERTILIZER  
PER 100 SQ FT BED AREA.  
HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM
- MULCH**  
MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH  
NO GROUND WOOD PALETTE MULCH PERMITTED
- TOPSOIL**  
CONTRACTOR TO FILL OR EXIST SURGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAIN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR
- PLANT KEY**  
TREE SYMBOL  
TREE TYPE KEY - SEE PLANT LIST SHEET LP-2  
QUANTITY - PLANTING DETAILS SEE SHEET LP-4
- IRRIGATION**  
ALL LANDSCAPE AREAS WILL BE PROVIDED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM
- NOT TO BE USED AS CONSTRUCTION DRAWING**



VILLA D'ESTE  
PROPOSED DETACHED CONDOMINIUMS - NOVI, MI



**PREPARED BY:**  
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**REVISIONS:**

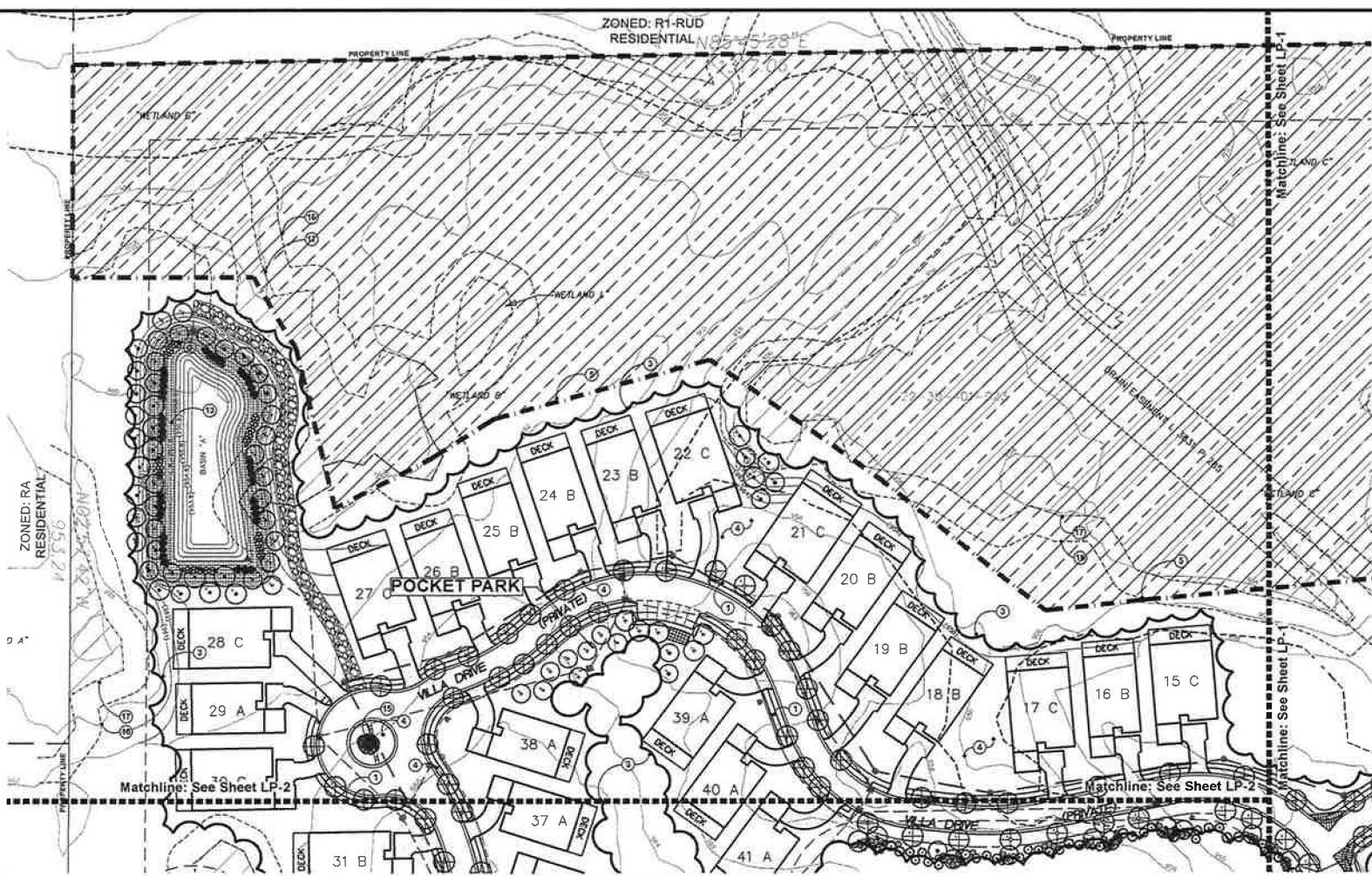
NO.	DATE	DESCRIPTION
01	08/27/17	PROJ APP PNC
02	10/24/17	REVISED PER OWNER
03	11/27/17	REVISED PER OWNER
04	04/16/18	REVISED PER OWNER
05	06/08/18	REVISED PER OWNER

**Sheet Title:**  
CONCEPTUAL LANDSCAPE PLAN

**project no.**  
121713

**sheet no.**  
LP-2





**CONCEPTUAL SITE PLANTING PLAN**

SCALE 1" = 50'

- NOTE KEY:**
- 1. NEW CONCRETE WALKS, SEE CIVIL DRAWING
  - 2. CLEAR VISION TRIANGLE
  - 3. PROPOSED LIMITS OF WOODLAND PRESERVATION
  - 4. PROPOSED LIMITS OF LAND DONATION TO CITY - SEE CIVIL DRAWING
  - 5. SHOW REPORT AREA
  - 6. NO ITEM
  - 7. NO ITEM
  - 8. NO ITEM
  - 9. PROPOSED GATE ESTIMATE
  - 10. FINISH
  - 11. DETENTION BASIN SEE SEE FOR SIZE SLURRY
  - 12. CONTINUOUS GRADE BED
  - 13. SPUR & FRENCH WALL PLANTING TYP
  - 14. 20 FT. NETLAND SETBACK
  - 15. NETLAND LIMITS
  - 16. NO ITEM
  - 17. SEE WALKWAY LAYOUT BY SHAWNEE AND WALKWAY STABLES PLAN

- GENERAL PLANTING REQ.:**
1. THE OWNER SHALL OBTAIN ALL NECESSARY MATERIALS, LABOR, EQUIPMENT, TOOLS, AND SUPERVISION NECESSARY TO COMPLETE THE WORK SHOWN ON THE DRAWING.
  2. ALL PLANT MATERIALS SHALL CONFORM TO THE TREE LISTED ON THE PLANT LIST. TREES SHALL BE THE COMMONEST SPECIES ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE U.S.A. STANDARDS FOR NURSERY STOCK.
  3. ALL TREE LOCATIONS SHALL BE STAMPED BY LANDSCAPE CONTRACTOR AND BE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
  4. ALL SHRUB & TREEM SHADE TREES TO HAVE A CENTRAL LEADER. TREES TO BE PLANTED IN THE WINDWARD SIDE SHALL BE ACCEPTED. ALL SHRUB & TREEM SHADE TREES TO HAVE STRAIGHT TRUNKS & SYMMETRICAL CROUNES.
  5. ALL MEAD-TIM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SEED TREE FOR THOSE WITH THIN OR SPINDLY BRANCHES SHALL BE ACCEPTED.
  6. ALL SHRUBS & TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE BRANCHES. BRANCHES SHALL BE TRIMMED TO MAINTAIN THE LAST FIVE GROWING SEASONS.
  7. THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS IN THE CORRECT QUANTITY AND SPACING. THE PLANTING SHALL BE CONDUCTED AT THE BEST APPROXIMATE.
  8. WHEN THE PLANTING HAS BEEN COMPLETED, THE SITE SHALL BE REGRADDED WITH A TOPSOIL AND NATURAL SOIL CULTURE. PLANTING MATERIALS AND SETTING SHALL BE WATERED.
  9. ALL PLANT MATERIALS SHALL BE PLANTED AND PLACED PERMITTED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR DAMAGED BRANCHES TO MAINTAIN THE HEALTH OF THE PLANT. CUTS SHOULD BE PLUSH LEAVING NO STUBS.
  10. THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF ONE YEAR. IF THE CONTRACTOR'S REPRESENTATIVE RECEIVES THE RIGHT FOR A FINAL INSPECTION OF PLANT MATERIALS WITHIN ONE YEAR, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ANY PLANT MATERIALS THAT DO NOT MEET THE SPECIFICATIONS OF THE PLANT LIST. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
  11. TOPSOIL SHALL BE PREPARED: FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 10% ORGANIC MATTER. TOPSOIL SHALL BE APPLIED TO ALL LAWN AREAS BETWEEN CURBS AND DRIVEWAYS OR BETWEEN DRIVEWAYS. TOPSOIL TO 4" DEEP FOR THE TOPSOIL PLACEMENT.
  12. TOPSOIL SHALL BE FRESH WITHIN THE WORK AREA OF SETTING TREES. HAND GRASS ALL LAWN AREAS WITHIN ONE YEAR OF SETTING TREES.
  13. IT IS MANDATORY THAT FERTILIZER BE PROVIDED AS PER THE FOLLOWING SCHEDULE: MULCH AND FERTILIZER.
  14. ALL LAWN AREAS SHALL RECEIVE 4" OF FRESH BARN MANURE MULCH PER SPECIFICATIONS.
  15. SOFTED LAWN AREAS ALL LAWN AREAS BETWEEN CURBS AND DRIVEWAYS OR BETWEEN DRIVEWAYS. TOPSOIL TO 4" DEEP FOR THE TOPSOIL PLACEMENT.
  16. TOPSOIL SHALL BE FRESH WITHIN THE WORK AREA OF SETTING TREES. HAND GRASS ALL LAWN AREAS WITHIN ONE YEAR OF SETTING TREES.

- PLANT MIX**
- ALL PLANTING PERENNIAL BEGON TO RECEIVE:
- 1. 1/4 CUBIC YARD GARDEN PEAT
  - 2. 1/4 CUBIC YARD GARDEN PEAT
  - 3. 1/4 CUBIC YARD GARDEN PEAT
  - 4. 1/4 CUBIC YARD GARDEN PEAT
  - 5. 1/4 CUBIC YARD GARDEN PEAT
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  - 39. 1/4 CUBIC YARD GARDEN PEAT
  - 40. 1/4 CUBIC YARD GARDEN PEAT
  - 41. 1/4 CUBIC YARD GARDEN PEAT
- MULCH**
- MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH
- NO CIRCUIT WOOD PALETTE MULCH PERMITTED
- TOPSOIL**
- CONTRACTOR TO FILL OR ADD SUBSTANCE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

- PLANT KEY**
- 1. TREE SYMBOL
  - 2. TREE TYPE KEY - SEE PLANT LIST SHEET LP-2
  - 3. QUANTITY
  - 4. PLANTING DETAILS - SEE SHEET LP-4
- IRRIGATION**
- ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM
- NOT TO BE USED AS CONSTRUCTION DRAWING

- PLANTING KEY**
- 1. STREET TREES
  - 2. GREENBELT TREES
  - 3. INTERIOR ROAD TREES
  - 4. DETENTION BASIN TREES
  - 5. WOODLAND REPLACEMENT TREES



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VILLA D'ESTE  
 PROPOSED DETACHED CONDOMINIUMS - NOVI, MI



PROJECT ARCHITECT  
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 47705 Bellagio Drive  
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 248.348.3600

Revisions:

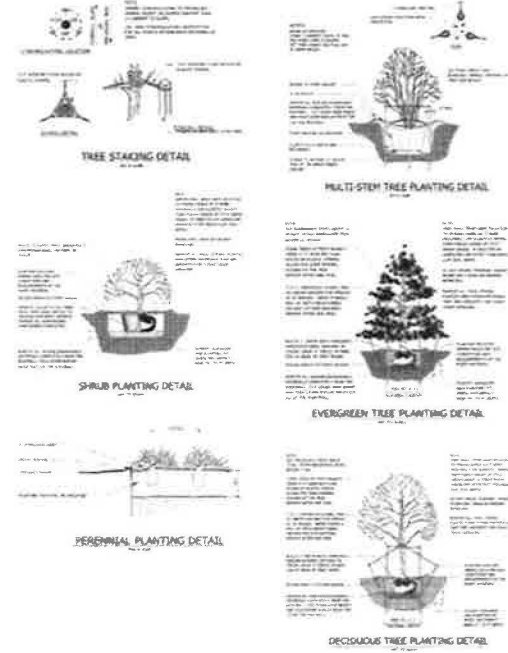
REV	APP	DATE
01	PLG	08/27/17
02	PLG	10/24/17
03	PLG	01/23/18
04	PLG	04/11/18

SHEET TITLE:  
**CONCEPTUAL LANDSCAPE PLAN**

PROJECT NO.  
 121713

SHEET NO.  
**LP-3**

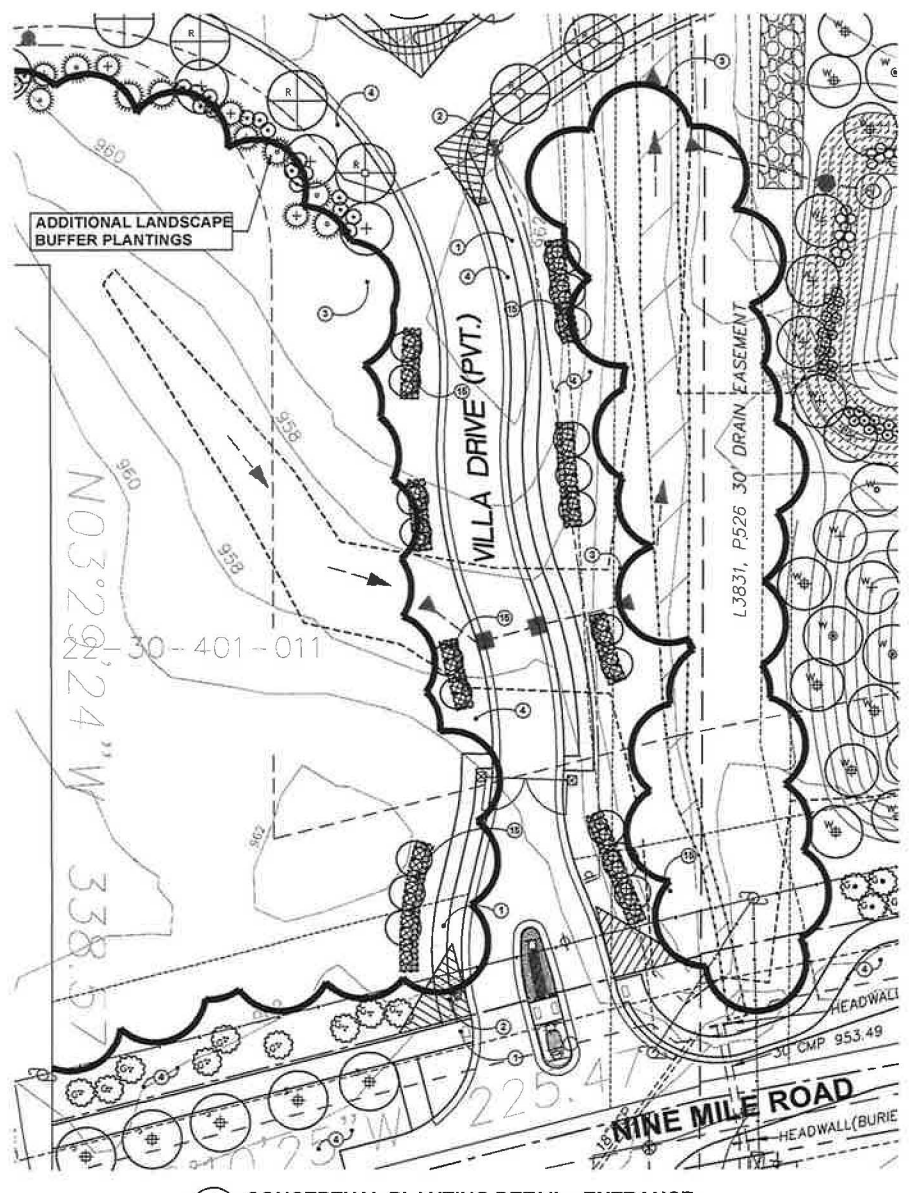
**NOVI PLANTING DETAILS**



**NOVI LANDSCAPE SPECIFICATIONS**

- Wherever in the Ordinance landscape plan, or repair or amended, they shall be planted in accordance with the approved site plan.
- All plantings shall be installed in strict accordance with the approved site plan. All installed landscape including plant material, mulch, watering, irrigation, and sodding, shall be installed and inspected by the City prior to issuance of a Temporary Certificate of Occupancy. All work, a minimum guarantee of 1.5 years after the date of installation, shall be held and inspection occur for a Final Certificate of Occupancy. In order to receive a Final Certificate of Occupancy, the contractor shall address within 20 days during the month 18th to November 15th, the same reason. Under extraordinary circumstances related to the inability to plant during the approved initiation period a final guarantee of 12 months in the call of any deficiencies will hold and the contractor for a Final Certificate of Occupancy, if the deficiencies are not addressed in the time period outlined above, the City will cash in the amount held for the landscaping items and remove the trees.
- A City Representative will perform Landscape Inspections. Following a request from the contractor, the inspection time period is from March 15th to November 15th. If an inspection is requested between November 15th and March 15th, a financial guarantee to be provided for an 1.5 year period acceptable for a Temporary Certificate of Occupancy is outlined above. Beginning March 21st, the deposit for 180 days to complete items or the City will cash in the amount being held and finish the job.
- The establishment period for the landscape plan to be installed will occur beginning on the date of the Final Certificate of Occupancy approved to 2 years from that date. All plantings shall be properly planted and to be in a healthy, growing condition at commencement of the establishment period; at the end of the establishment period, any plants, which are 70% dead or greater, shall be replaced.
- Notes of individual plant changes:
  - (1) The owner or developer must notify the City of the installation schedule. The City may reject any material which is defective or in general poor condition.
  - (2) Minor changes regarding plant material, per the approved and stamped landscape plan, may be allowed upon written notification, and written approval by the City Landscape Analyst of species, size, change, and location.
  - (3) Minor changes due to seasonal planting problems or lack of plant availability may be approved in writing by the City Landscape Analyst, when there is no reduction in the quality of plant material, no significant change in size or instead of plants material, the new plant material is compatible with the new site and in the same general horticultural characteristics, including same damage or reduction in height, crown, or as material being replaced. If there are any new additions or changes are significant from approved plan, the landscape plan shall be revised and resubmitted for plan approval.
- Maintenance
  - (a) Maintenance of required plantings by the owner shall be carried out to be to prevent a healthy, neat and orderly appearance. The City may require and do the same.
  - (b) To insure proper maintenance and a condition of Final City Plan approval, the property owner shall enter into and report with the office of the Oakland County Registrar of Deeds a Landscape Maintenance Agreement, or locate such provisions as part of subdivision map or construction measure deed, each of which shall be approved by the City Attorney. Such instrument shall identify the minimum plan of maintenance, in a period of ten years, shall be required for the landscaping plan, and shall include the procedure, authority and basis for City care of trees by the responsible party. Such instrument shall include provisions to:
    - ensure all dead and diseased material shall be removed and replaced within the established time period; and
    - ensure all dead and diseased material shall be removed and replaced within the established time period; and
    - ensure all dead and diseased material shall be removed and replaced within the established time period.
- Allocation of Planting Costs. Where the owner of the property subjected to the requirements of this Ordinance shall be responsible for installing and maintaining permanent landscaping the approved final landscape plan as described in this section. Where the owner of the property subjected to the requirements of this Ordinance shall be responsible for installation. All funds used for work required pursuant to this Section shall be treated as a site improvement for purposes of Ordinance 30384 and 8.

\* These requirements constitute all other planting requirements for specifications.



**1** CONCEPTUAL PLANTING DETAIL - ENTRANCE  
LP-1 SCALE 1\"/>

**NOTE KEY:**

- 1 NEW SPHERIC TREES - SEE CIVIL DRAWING
- 2 BLACK WEDDER TREES
- 3 PROPOSED LIMITS OF WOODLAND PRESERVATION
- 4 PROPOSED LIMITS OF LAND DONATION TO CITY - SEE CIVIL
- 5 DRIVEWAY AREA
- 6 DRIVEWAY AREA
- 7 NO ITEM
- 8 NO ITEM
- 9 PROPOSED GATED ENTRANCE
- 10 PROPOSED SIDE WALK
- 11 INTERIOR WALKWAY
- 12 RETENTION/STORAGE AREA FOR SIDE DRIVE
- 13 CONFORMANCE WALKWAY
- 14 DRIVE & SIDEWALK PLANTING STR
- 15 25 FT METEWS SETBACK
- 16 METEWS LIMIT
- 17 NO ITEM
- 18 300 SMOKE AREA BY SPONGE AND WATER COLLECTION

**GENERAL PLANTING REQ.:**

- 1 THE PLANT MATERIAL MUST BE PROTECTED FROM ELEMENTARY MATERIAL DAMAGE, EQUIPMENT, TOOLS AND SUPERSTITION DURING THE COURSE OF INSTALLATION ON THE GRASS.
- 2 ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE LISTED ON THE PLANT LIST. SIZE SHALL BE THE MINIMUM SIZES ON THE PLANT LIST OR LARGER. ALL MATERIALS MUST BE PLANTED IN ACCORDANCE WITH THE LATEST EDITION OF THE M.A.N. STANDARDS FOR NUMBER 1 STOCK.
- 3 ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE ARCHITECT AND SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- 4 ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. ALL OTHER FORMS OR SPECIES OTHER THAN BEECH, MUST BE ACCEPTED. ALL SINGLE TRUNK SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL BRANCHING.
- 5 ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE FRANKED TRUNKS. ONE BRAD TREES OR THOSE WITH THIN OR OTHER UNDESIRABLE BRANCHING, BE ACCEPTED.
- 6 ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE CORRECT FORM AND SHAPE AND NOT SPREAD FOR THE LAST FIVE GROWING SEASONS.
- 7 THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS IN THE CORRECT LOCATIONS AND SPACING THE PLANTS SHALL BE DETERMINED AS TO GIVE THE BEST APPEARANCE.
- 8 WHEN THE PLANT HAS BEEN PROPERLY SET, THE SITE SHALL BE CLEANED UP WITHIN 72 HOURS AFTER SETTING THE PLANTS.
- 9 ALL PLANT MATERIALS SHALL BE PLANTED AND WATERED BEHIND THE APPOINTED OF PLANTING SHALL BE LIMITED TO THE REMOVAL OF WEEDS AND/OR TOP SOIL TO PROVIDE FOR THE USE OF ROOTS FROM TRANSPORTATION. CUTS SHOULD BE FLUSH LEAVING NO STUBS.
- 10 THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO YEARS. IN THE EVENT THAT THE CONTRACTOR REPRESENTATIVE RECEIVES THE RIGHT FOR A FINAL INSPECTOR PLANT MATERIAL FROM THE CITY SHALL BE DETERMINED BY THE CONTRACTOR REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE PROTECTION OF NEW PLANTS LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
- 11 TOPSOIL SHALL BE PROVIDED. PORTABLE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 10% HUMUS FROM THE TOP BY WEIGHT OF ORGANIC MATTER IN THE TOP RANGE FROM 1.5 TO 2.0 FEET SHALL BE PROVIDED FROM CLAY LOAM COARSE SANDY PROFILE, STONY AND OTHER FOREIGN MATERIALS.
- 12 ALL CONSTRUCTION TO BE COMPLETED WITHIN THE TIME FRAME OF WORKING HOURS. HAND CARRY SHALL BE LIMITED TO THE TOP SOIL OF EXISTING TRENCHES.
- 13 IF NECESSARY, THE EXISTING BRANCHES TO BE REMOVED FROM SMALL BUILDINGS, WALKS AND DRIVEWAYS.
- 14 PLANTING BESS SHALL BE USED IF SPACED BENEATH AND BE PROTECTED.
- 15 BODY FEED LAMP AREA - ALL LAMP AREAS BETWEEN CURBS AND DRIVEWAYS OR BETWEEN DRIVEWAYS, USE 18\"/>

**PLANT MIX**

- ALL PLANTING PERENNIAL BEDS TO RECEIVE:**
- 1 - 4 1/2 FT BLUE CANDIDIA PLANT
  - 1 - 1 1/2 FT BLUE CANDIDIA PLANT
  - 1 - 1 1/2 FT BLUE CANDIDIA PLANT
  - 1 - 1 1/2 FT BLUE CANDIDIA PLANT
- PER 180 SQ FT BED AREA**

HAND TILT INTO SOIL TO A DEPTH OF 12\"/>

**MULCH**

- MULCH TO BE DOUBLE SPREADDED HARDWOOD BARK MULCH
- NO CIRCUIT WOOD PALETTE MULCH PERMITTED

**TOPSOIL**

- CONTRACTOR TO FILL TOPSOIL SUBGRADE TO A DEPTH AND INSTALL 4\"/>

**PLANT KEY**

- TREE SYMBOL
- TREE TYPE KEY - SEE PLANT LIST SHEET LP-2
- QUANTITY
- PLANTING DETAILS - SEE SHEET LP-4

**IRRIGATION**

- ALL LANDSCAPE AREAS WILL BE PROVIDED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.

**NOT TO BE USED AS CONSTRUCTION DRAWING**

**VILLA D'ESTE**  
 PROPOSED DETACHED CONDOMINIUMS - NOVI, MI



**PROJECT ADDRESS:**  
 Cambridge Homes, Inc.  
 47755 Bagdad Drive  
 Northville, MI 48167  
 248-148-3800

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**Revisions:**

REV	DATE	DESCRIPTION
01	05/17/13	PROJ APP PRC
02	05/20/13	REVISED PER OWNER
03	05/22/13	REVISED PER OWNER
04	06/12/13	REVISED PER OWNER
05	06/12/13	REVISED PER OWNER

**CONCEPTUAL LANDSCAPE PLAN**

PROJECT NO. 121713

**LP-4**



**PROJECT SPONSOR**  
 Cambridge Homes, Inc.  
 47765 Bolaglo Drive  
 Northville, MI 48167  
 248.348.3800

Copyright 2018 Deer Planning & Design, LLC

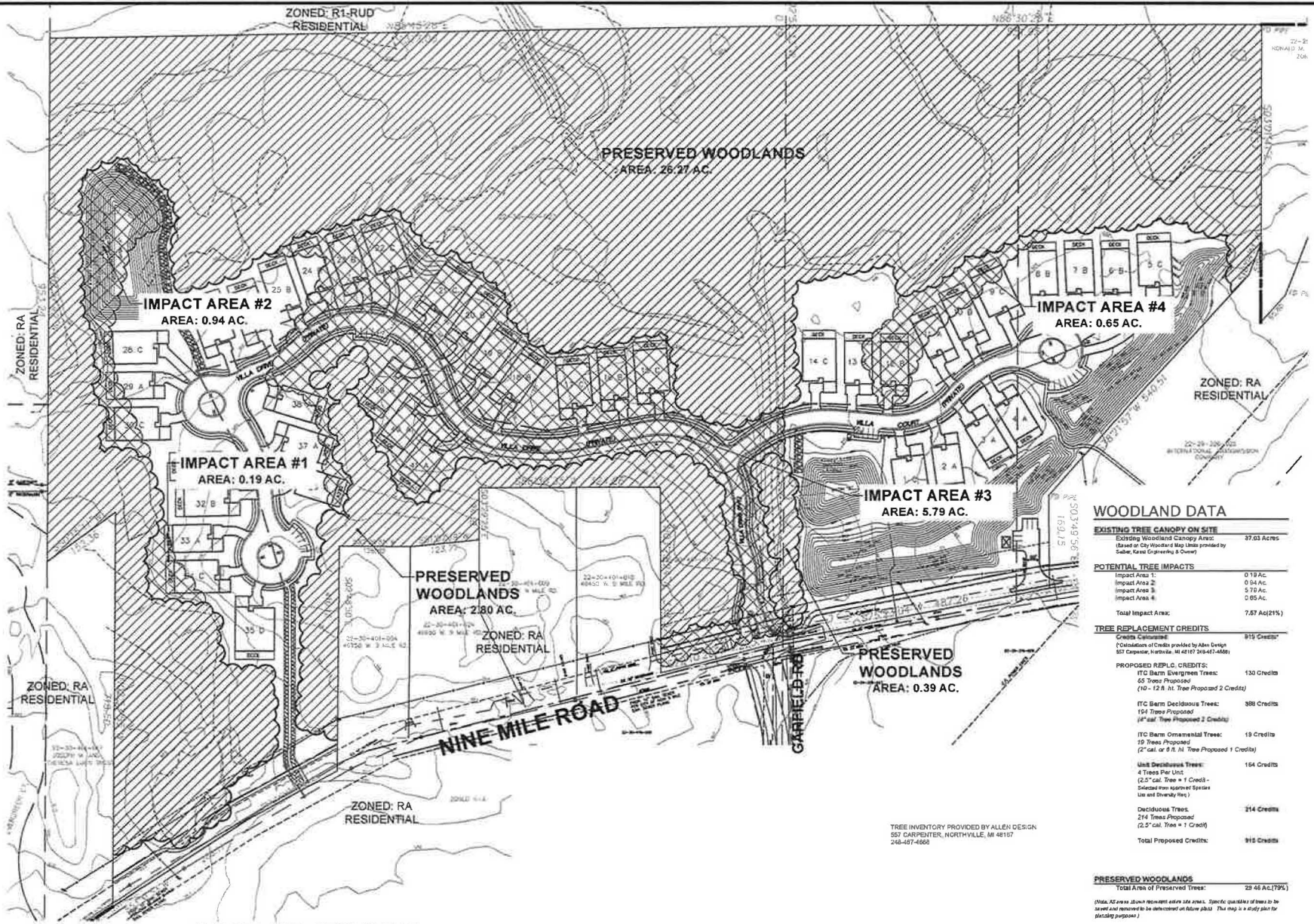
**PROVISIONS:**

PROJ APP REV	04/17/17
PROJ PER OWNER	10/01/17
REVISED PER OWNER	10/02/17
REVISED PER OWNER	01/23/18
REVISED PER OWNER	04/11/17
REVISED PER OWNER	05/08/17

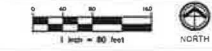
**SHEET TITLE:**  
**WOODLAND STUDY PLAN**

**PROJECT NO.:**  
 121713

**SHEET NO.:**  
 WP-1



**WOODLAND STUDY MAP**  
 SCALE 1" = 80'



**WOODLAND DATA**

**EXISTING TREE CANOPY ON SITE**  
 Existing Woodland Canopy Area: 37.03 Acres  
 Based on City of Woodland Map Lines provided by Sauer, Kazal Engineering & Survey

**POTENTIAL TREE IMPACTS**

Impact Area 1:	0.19 AC
Impact Area 2:	0.94 AC
Impact Area 3:	5.79 AC
Impact Area 4:	0.65 AC
<b>Total Impact Area:</b>	<b>7.57 AC (21%)</b>

**TREE REPLACEMENT CREDITS**  
 Credits Calculated: 915 Credits  
 \*Calculations of Credits provided by Adam Deigh 553 Capstone, Northville, MI 48167 248-467-4668

**PROPOSED REPLC. CREDITS:**

ITC Barm Evergreen Trees:	130 Credits
65 Trees Proposed	(10 - 12.8 in. Tree Proposed 2 Credits)
ITC Barm Deciduous Trees:	388 Credits
154 Trees Proposed	(8" cal. Tree Proposed 2 Credits)
ITC Barm Ornamental Trees:	19 Credits
19 Trees Proposed	(2.2" cal. or 8" H. Tree Proposed 1 Credit)
Unit Deciduous Trees:	164 Credits
4 Trees Per Unit	(2.2" cal. Tree = 1 Credit - Selection from approved Species List and Diversity Req.)
Deciduous Trees:	314 Credits
214 Trees Proposed	(2.2" cal. Tree = 1 Credit)
<b>Total Proposed Credits:</b>	<b>915 Credits</b>

**PRESERVED WOODLANDS**  
 Total Area of Preserved Trees: 29.46 AC (79%)

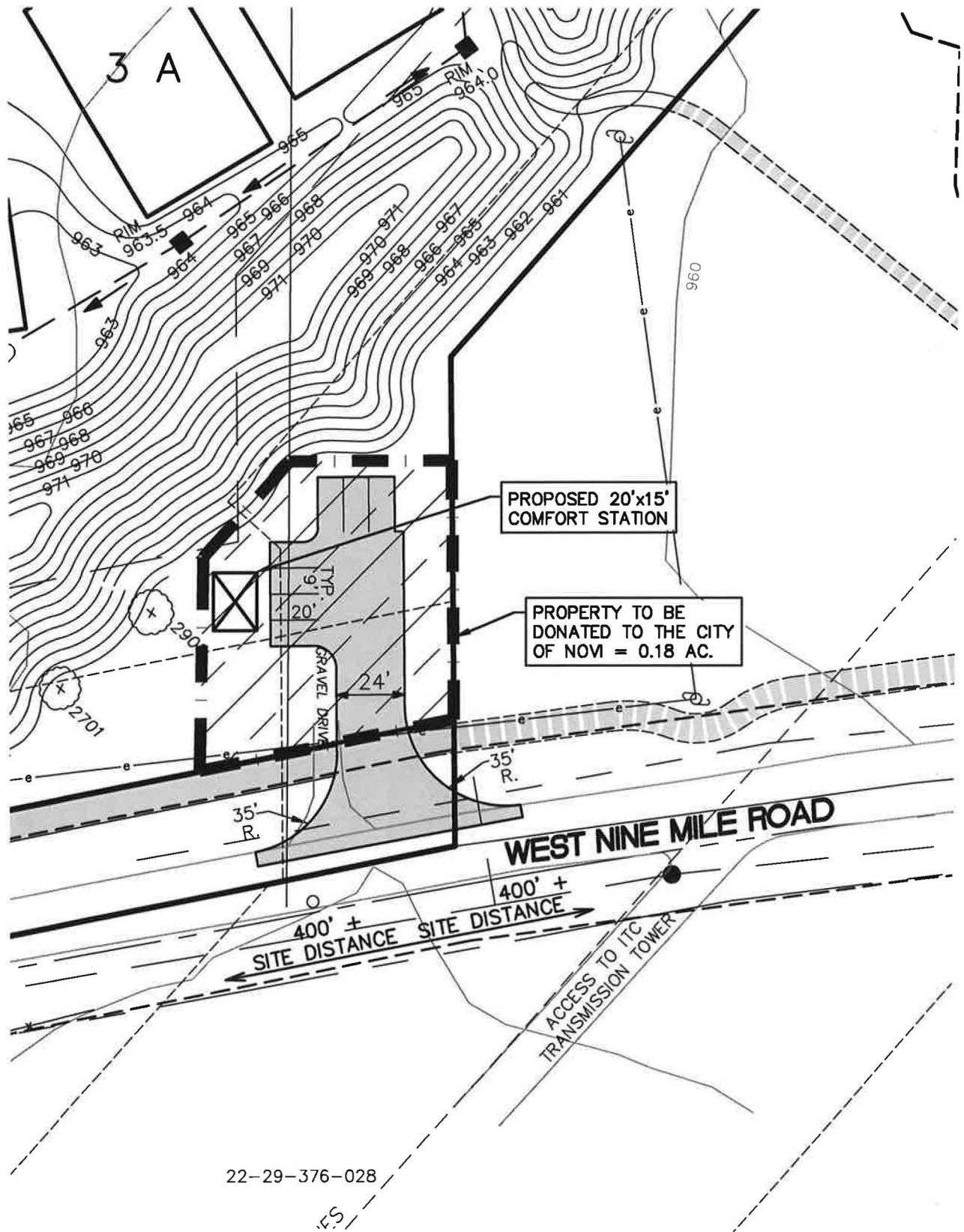
(These AC are shown throughout entire site plans. Specific quantities of trees to be saved and removed to be determined on future plans. This map is a study plan for planning purposes.)

TREE INVENTORY PROVIDED BY ALLEN DESIGN  
 553 CARPENTER, NORTHVILLE, MI 48167  
 248-467-4668

## **Exhibit C**

### **Comfort Station Improvements**

EXHIBIT D  
C



22-29-376-028

EXHIBIT D



**SEIBER KEAST  
ENGINEERING, L.L.C.**  
CONSULTING ENGINEERS  
100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167  
248.308.3331

REVISIONS		
NO.	ITEM	DATE

**TERRA**  
SEC. 29/30, T.1N., R.8E., CITY OF NOVI,  
OAKLAND COUNTY, MICHIGAN

SCALE: 1" = 50'  
JOB NO.: 15-030  
DATE: 03-01-19  
CHECKED BY: J.E.

SHEET  
**1**  
OF  
**1**

**Exhibit D**

ITC Trail along the north side of Nine Mile Road

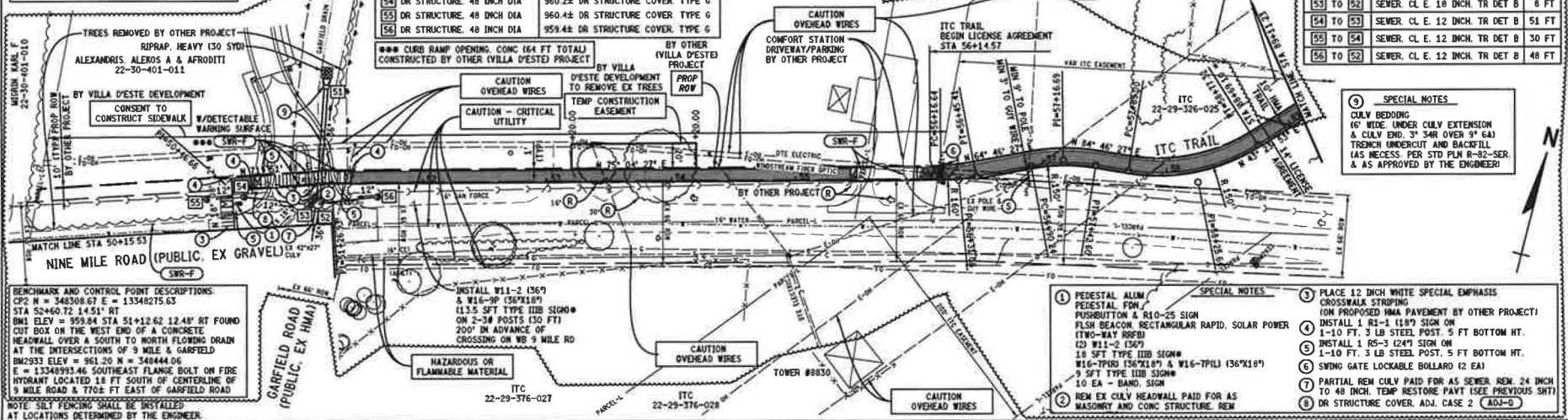
NOTE: CLEAR BRUSH, DEBRIS AND DOWNED TREE MATERIAL AS DESCRIBED IN THE PATHWAY GRADING SPEC AND AS DIRECTED BY THE ENGINEER. REMOVE TREES OR BRANCHES AS NEEDED TO MAINTAIN A MINIMUM OF 2' CLEAR ON BOTH SIDES OF TRAIL.

• SIGN COLOR SHALL BE FLUORESCENT YELLOW AND SHEETING MATERIAL SHALL BE ASTM TYPE IX

DRAINAGE STRUCTURES **		RM ELEV TO BE COORDINATED ** W/OTHER (VILLA D'ESTE) PROJECT	
51	CULV END SECT. CONC. 36 INCH	960.3±	DR STRUCTURE COVER TYPE B
52	DR STRUCTURE 84 INCH DIA	960.4±	DR STRUCTURE COVER TYPE B
53	DR STRUCTURE 60 INCH DIA	960.2±	DR STRUCTURE COVER TYPE C
54	DR STRUCTURE 48 INCH DIA	960.4±	DR STRUCTURE COVER TYPE C
55	DR STRUCTURE 48 INCH DIA	959.4±	DR STRUCTURE COVER TYPE C
56	DR STRUCTURE 48 INCH DIA	959.4±	DR STRUCTURE COVER TYPE C

NOTE: CLEAR ROADSIDE TREES AND BRUSH SO THAT THE TWO-WAY RECTANGULAR RAPID FLASHING BEACONS AND TRAIL USERS ADJACENT TO THE ROAD ARE VISIBLE TO VEHICLES ON THE ROAD FROM 360 FEET AWAY.

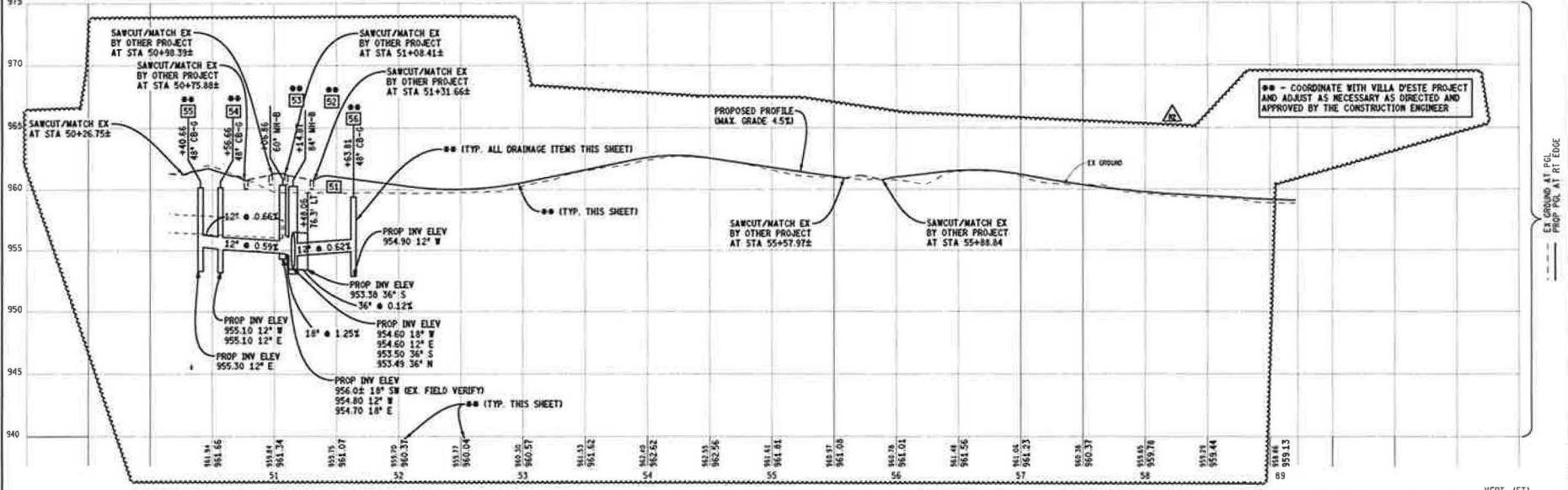
FOR BENCHMARK & CONTROL PT DATA SEE SHEETS 6, 7 AND 12		
LOCATION	STORM SEWER **	LENGTH
52 TO 51	SEWER, CL E. 36 INCH, TR DET B	90 FT
53 TO 52	SEWER, CL E. 18 INCH, TR DET B	6 FT
54 TO 53	SEWER, CL E. 12 INCH, TR DET B	51 FT
55 TO 54	SEWER, CL E. 12 INCH, TR DET B	30 FT
56 TO 52	SEWER, CL E. 12 INCH, TR DET B	46 FT



BENCHMARK AND CONTROL POINT DESCRIPTIONS:  
 CP2 N = 348308.67 E = 13348275.63  
 STA 52+60.72 14.51' RT  
 OMI ELEV = 959.84 STA 51+12.62 12.48' RT FOUND CUT BOX ON THE WEST END OF A CONCRETE HEADWALL OVER A SOUTH TO NORTH FLOWING DRAIN AT THE INTERSECTIONS OF 3 MILE & GARFIELD  
 BM2933 ELEV = 961.20 N = 348444.06  
 E = 13348993.46 SOUTHEAST FLANGE BOLT ON FIRE HYDRANT LOCATED 1.8 FT SOUTH OF CENTERLINE OF 3 MILE ROAD & 77.0± FT EAST OF GARFIELD ROAD

NOTE: SELF FENCING SHALL BE INSTALLED AT LOCATIONS DETERMINED BY THE ENGINEER.

- SPECIAL NOTES**
- PEDESTAL ALUM. PEDESTAL FDN. PUSHBUTTON & R10-25 SIGN. FLSH BEACON, RECTANGULAR RAPID, SOLAR POWER.
  - W11-2 (36") 18 SFT TYPE IIB SIGN. W16-7PHD (36"x18") & W16-7PHL (36"x18") 9 SFT TYPE IIB SIGN. 10 EA - BAND, SIGN.
  - NEW EX CULV HEADWALL PAID FOR AS MASONRY AND CONC STRUCTURE, REM.
  - PLACE 12 INCH WHITE SPECIAL EMPHASIS CROSSWALK STRIPING (ON PROPOSED HMA PAVEMENT BY OTHER PROJECT)
  - INSTALL 1 R1-1 (18") SIGN ON 1-10 FT. 3 LB STEEL POST, 5 FT BOTTOM HT.
  - INSTALL 1 R5-3 (24") SIGN ON 1-10 FT. 3 LB STEEL POST, 5 FT BOTTOM HT.
  - SWING GATE LOCKABLE BOLLARD (2 EA)
  - PARTIAL REM CULV PAID FOR AS SEWER, REM. 24 INCH TO 48 INCH, TEMP RESTORE PAVT (SEE PREVIOUS SHT)
  - DR STRUCTURE COVER, ADJ. CASE 2 (ADJ-0)



PRELIMINARY DRAFT OF REVISION 2, FOR COORDINATION ONLY: DECEMBER 27, 2018

PLAN REVISION R2: DECEMBER xx, 2018    APPENDUM 2: JUNE 25, 2018    APPENDUM 1: JUNE 22, 2018



FILE: 51567.ITC.phn.001.dwg    AUTH:    DATE:    REVISION:

**AECOM**

**NOVI**

CITY OF NOVI - ITC TRAIL PHASE 2

JOB: 60551567  
 DATE: 06/06/18  
 SHEET: 7

EX GRADING AT P.C.L.  
 PROP P.C. AT R. EDGE

STA 50+15.53 TO STA 89+11.23

**FIRST AMENDMENT OF  
PRO AGREEMENT**

---



RECEIVED  
OAKLAND COUNTY  
REGISTER OF DEEDS

2019 NOV 15 AM 10:07

NOVI CITY CLERK'S OFFICE  
2019 DEC 26 PM 12:34

196205  
LIBER 53534 PAGE 132  
\$28.00 FISC RECORDING  
\$4.00 REINFORCEMENT  
11/21/2019 02:50:55 P.M. RECEIPT# 143721  
PAID RECORDED - OAKLAND COUNTY  
LISA BROWN, CLERK/REGISTER OF DEEDS

### FIRST AMENDMENT TO PLANNED REZONING OVERLAY (PRO) AGREEMENT (TERRA)

This First Amendment to Planned Rezoning Overlay (PRO) Agreement, TERRA ("Amendment"), made this 28<sup>th</sup> day of OCTOBER, 2019, by and between **CAMBRIDGE OF NOVI, L.L.C.**, a Michigan limited liability company, whose address is 47765 Bellagio Drive, Northville, MI 48167 (referred to as "Developer"), and **CITY OF NOVI**, a Michigan municipal corporation, whose address is 45175 Ten Mile Road, Novi, MI 48375-3024 (referred to as "City").

#### RECITATIONS

1. Developer and City are parties to a Planned Rezoning Overlay (PRO) Agreement, TERRA (the "PRO"), dated March 4, 2019 (the date of the last signatory), with respect to certain properties situated in the City of Novi, County of Oakland, State of Michigan, as more particularly described on **Exhibit A** attached hereto (the "Property").
2. On March 22, 2019, the PRO Agreement was recorded with the Oakland County Register of Deeds at Liber 52674, Page 562.
3. Developer and City desire to amend the PRO Agreement with respect to certain deviations and the establishment of additional conditions and terms.

NOW, THEREFORE, Developer and City agree as follows:

A. The following conditions are added to the PRO Conditions listed in Section V.C following Condition No. 14 on page 5:

15. For Unit 7 through 36, covered decks shall be allowed to extend up to fifteen (15) feet into the "Accessory Unit Boundary" from the rear façade. "Accessory Unit Boundary" refers to the area beginning at the rear unit boundary and is within the sidelines of the unit boundary, and extending twenty-five (25) feet to the rear, as shown on the approved Final Concept Plan made part of the original PRO Agreement. 88
16. No more than three (3) regulated woodland trees may be removed from the accessory unit boundary to accommodate the construction or installation of a pool or other accessory use. A minimum of fifteen (15) feet shall be maintained between two buildings, with the exception of rough overhangs and wind walls as noted below:
  - a. A minimum of nine (9) feet shall be maintained between the roof overhangs between two buildings at the facia, as shown in the "overhang

subject to approval by the City's façade consultant at the time of building permit review;

- b. Masonry planters with foundations are allowed in front yard setbacks. They are not allowed in easement areas. A maximum of 4.5 feet of on-ground projection shall be allowed in the sideyard as shown on the "wing wall/planter projection area" exhibit on the Revised Concept Plan dated July 25, 2019, attached as Exhibit B, subject to approval by the City's façade consultant at the time of building permit review.

- 17. The elevations of the homes within the development shall comply with the ordinance requirements and conditions of the original PRO Agreement, subject to any and all limitations set forth in the Master Deed as determined at the time of individual building permit review. More specifically, given the Developer's representations to the City and the deviations granted herein and in the PRO Agreement, the homes within the development shall be designed and built in the Prairie architectural style, subject to the following conditions:

- a. All homes shall have elements of prairie style architecture with large overhangs, horizontal lines, and low-sloped roofs.
- b. All facades shall be brick or stone or siding or a combination. Vinyl siding is not allowed.
- c. Where wood siding is the predominant material, it shall be a wood toned color.
- d. All elevations are subject to minor deviation as approved by the City's façade consultant at the time of building permit review

- 18. The compensating cut periods in the approved PRO Agreement shall be updated to be consistent with MDEGLE permit approval dated April 9, 2019.

- B. The third sentence of Section V.C.1.b on page 4 is amended as follows:

The ITC Comfort Station shall be completed within 6 months from the substantial completion date of the ITC trail along the subject property's frontage

- C. The following deviations are added to the list of deviations in Section 2 of the PRO Agreement, at page 7:

- o. Engineering deviation from Section 7.4.2(d) of the Engineering Design Manual to allow exposed aggregate as an alternate material for sidewalk pavement in lieu of concrete for the entire development.
- p. Planning deviation from Section 3.32.8 to allow for additional encroachment for roof overhangs into the required side yards (a maximum of fifteen (15) feet is allowed per current side yard setbacks, a minimum of nine (9) feet between the roof overhangs at fascia is proposed). This approval shall be subject to the building (and the buildings within the development) being designed in the prairie

architectural style and subject to conditions listed under the PRO Condition numbered 17, a through d.

D. Paragraph 3, on page 7, is amended to add the following sentence:

Notwithstanding the foregoing, the Developer shall be permitted to combine two units into a larger unit, thereby reducing the number of total units within the subdivision. Such combination and reduction shall be reviewed and approved administratively by the Community Development Department as part of plot plan review process.

E. Except as expressly modified by this Agreement, the PRO Agreement remains in full force and effect.

F. This amendment shall be binding upon and inure to the benefit of the parties hereto and their successors and assigns. The rights and obligations contained in this amendment shall run with the property.

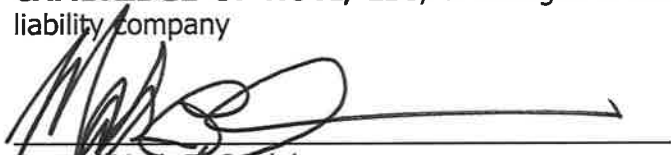
G. This amendment has been duly authorized by all necessary action of Developer and City.

H. This amendment may be executed by the parties in counterparts.

IN WITNESS WHEREOF the undersigned have executed this amendment effective as of the day and year set forth above.

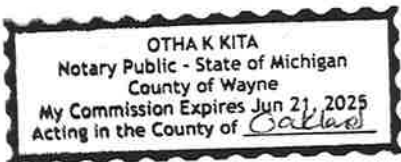
**DEVELOPER**


**CAMBRIDGE OF NOVI, LLC**, a Michigan limited liability company

  
By: Mark F. Guidobono  
Its: Member

STATE OF MICHIGAN )  
                                  ) ss  
COUNTY OF OAKLAND )

The foregoing First Amendment to Planned Rezoning Overlay (PRO) Agreement was acknowledged before me by Mark F. Guidobono, member for Cambridge of Novi, LLC, on the 24<sup>th</sup> day of October, 2019.



  
Notary Public  
Oakland County, Michigan  
Acting in Oakland County, Michigan  
My Commission Expires: 6-21-25

CITY OF NOVI

Robert J. Gatt  
By: Robert J. Gatt  
Its: Mayor

Cortney Hanson  
By: Cortney Hanson  
Its: Clerk

STATE OF MICHIGAN )  
                                  ) ss  
COUNTY OF OAKLAND )

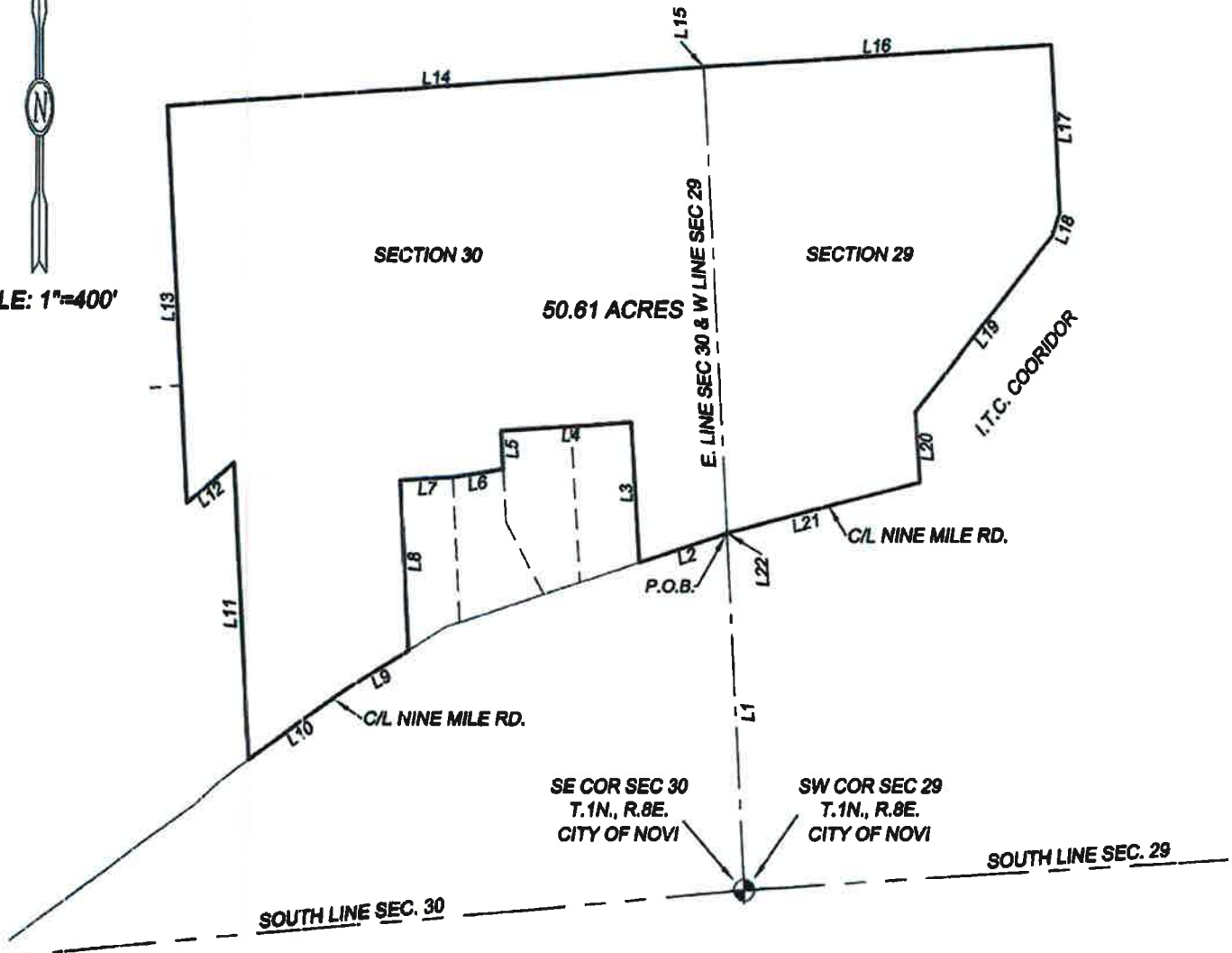
The foregoing First Amendment to Planned Rezoning Overlay (PRO) Agreement was acknowledged before me by Robert J. Gatt, Mayor, and Cortney Hanson, Clerk, of behalf of the City of Novi, on the 28<sup>th</sup> day of OCTOBER, 2019.

Marilyn S. Troutman  
Notary Public  
OAKLAND County, Michigan  
Acting in OAKLAND County, Michigan  
My Commission Expires: OCT. 13, 2024

MARILYN S. TROUTMAN  
NOTARY PUBLIC, STATE OF MI  
COUNTY OF OAKLAND  
MY COMMISSION EXPIRES Oct 13, 2024  
ACTING IN COUNTY OF OAKLAND

# EXHIBIT "A"

SCALE: 1"=400'



LINE	LENGTH	BEARING
L1	856.10	N02°55'33"W
L2	225.47	S72°10'25"W
L3	338.57	N03°29'24"W
L4	324.26	S86°30'35"W
L5	94.19	S03°29'25"E
L6	123.77	S81°07'19"W
L7	126.82	S87°09'55"W
L8	410.12	S02°48'50"E
L9	181.85	S57°34'11"W
L10	288.11	S53°31'53"W
L11	718.50	N02°57'55"W
L12	152.36	S50°15'11"W

LINE	LENGTH	BEARING
L13	953.24	N02°57'42"W
L14	1317.06	N85°45'28"E
L15	0.79	N02°55'33"W
L16	851.95	N86°30'23"E
L17	400.57	S03°01'41"E
L18	59.92	S18°05'04"W
L19	540.46	S38°22'03"W
L20	169.15	S03°49'56"E
L21	487.26	S75°23'04"W
L22	1.18	S02°55'33"E



*Joseph C. Kapelusz*

© 2019 JCK & ASSOCIATES, INC.

Scale:  
1"=400'  
Date:  
2/27/18  
Job No.:  
10822  
Sht. No.:  
10F2

## TERRA

PART OF THE SE 1/4 SEC 30 &  
PART OF THE SW 1/4 SEC 29  
T.1N., R.8E., CITY OF NOVI, OAKLAND CO., MI

## EXHIBIT "A" TO THE PRO AGREEMENT



8615 RICHARDSON ROAD  
COMMERCE TWP., MI. 48390  
PHONE: 248-363-2550  
FAX: 248-363-1646

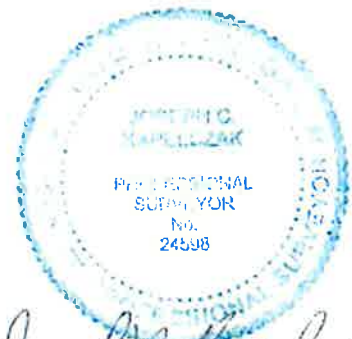
# EXHIBIT "A"

**DESCRIPTION**

PART OF THE SOUTHEAST 1/4 OF SECTION 30 AND PART OF THE SOUTHWEST 1/4 OF SECTION 29, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT THE INTERSECTION OF THE C/L OF NINE MILE ROAD AND THE WEST LINE OF SECTION 30, ALSO BEING THE EAST LINE OF SECTION 29, SAID INTERSECTION BEING N 02°55'33" W, 856.10 FEET FROM THE SOUTHWEST CORNER OF SAID SECTION 29; THENCE S 72°10'25" W ALONG THE C/L OF NINE MILE ROAD, 225.47 FEET; THENCE N 03°29'24" W, 338.57 FEET; THENCE S 86°30'35" W, 324.26 FEET; THENCE S 03°29'25" E, 94.19 FEET; THENCE S 81°07'19" W, 123.77 FEET; THENCE S 87°09'55" W, 126.82 FEET; THENCE S 02°48'50" E, 410.12 FEET TO THE C/L OF NINE MILE ROAD; THENCE S 57°34'11" W ALONG THE C/L OF NINE MILE ROAD 181.85 FEET; THENCE S 53°31'53" W ALONG THE C/L OF NINE MILE ROAD, 288.11 FEET; THENCE N 02°57'55" W, 718.50 FEET; THENCE S 50°15'11" W, 152.36 FEET; THENCE N 02°57'42" W, 953.24 FEET; THENCE N 85°45'28" E, 1317.06 FEET TO THE WEST LINE OF SECTION 30, ALSO BEING THE EAST LINE OF SECTION 29; THENCE N 02°55'33" W ALONG SAID SECTION LINE 0.79 FEET; THENCE N 86°30'23" E, 851.95 FEET; THENCE S 03°01'41" E, 400.57 FEET; THENCE S 18°05'04" W, 59.92 FEET; THENCE S 38°22'03" W, 540.46 FEET; THENCE S 03°49'56" E, 169.15 FEET TO THE C/L OF NINE MILE ROAD; THENCE S 75°23'04" W ALONG THE C/L OF NINE MILE ROAD, 487.26 FEET TO THE WEST LINE OF SECTION 30, ALSO BEING THE EAST LINE OF SECTION 29, THENCE S 02°55'33" E ALONG SAID SECTION LINE 1.18 FEET TO THE POINT OF BEGINNING. CONTAINING 50.61 ACRES AND SUBJECT TO EASEMENTS AND RIGHT-OF-WAYS OF RECORD.

22-30-401-025 > SE 1/4 Sec. 30.  
-026

22-29-326-039 > SW 1/4 Sec. 29  
-040  
-041



*Joseph D. Kapilevich*

© 2019 JCK & ASSOCIATES, INC.

Scale: 1"=400'  
Date: 2/27/19  
Job No.: 10822  
Pl. No.: 10P2

**TERRA**  
PART OF THE SE 1/4 SEC 30 &  
PART OF THE SW 1/4 SEC 29  
T.1N., R.8E., CITY OF NOVI, OAKLAND CO., MI.

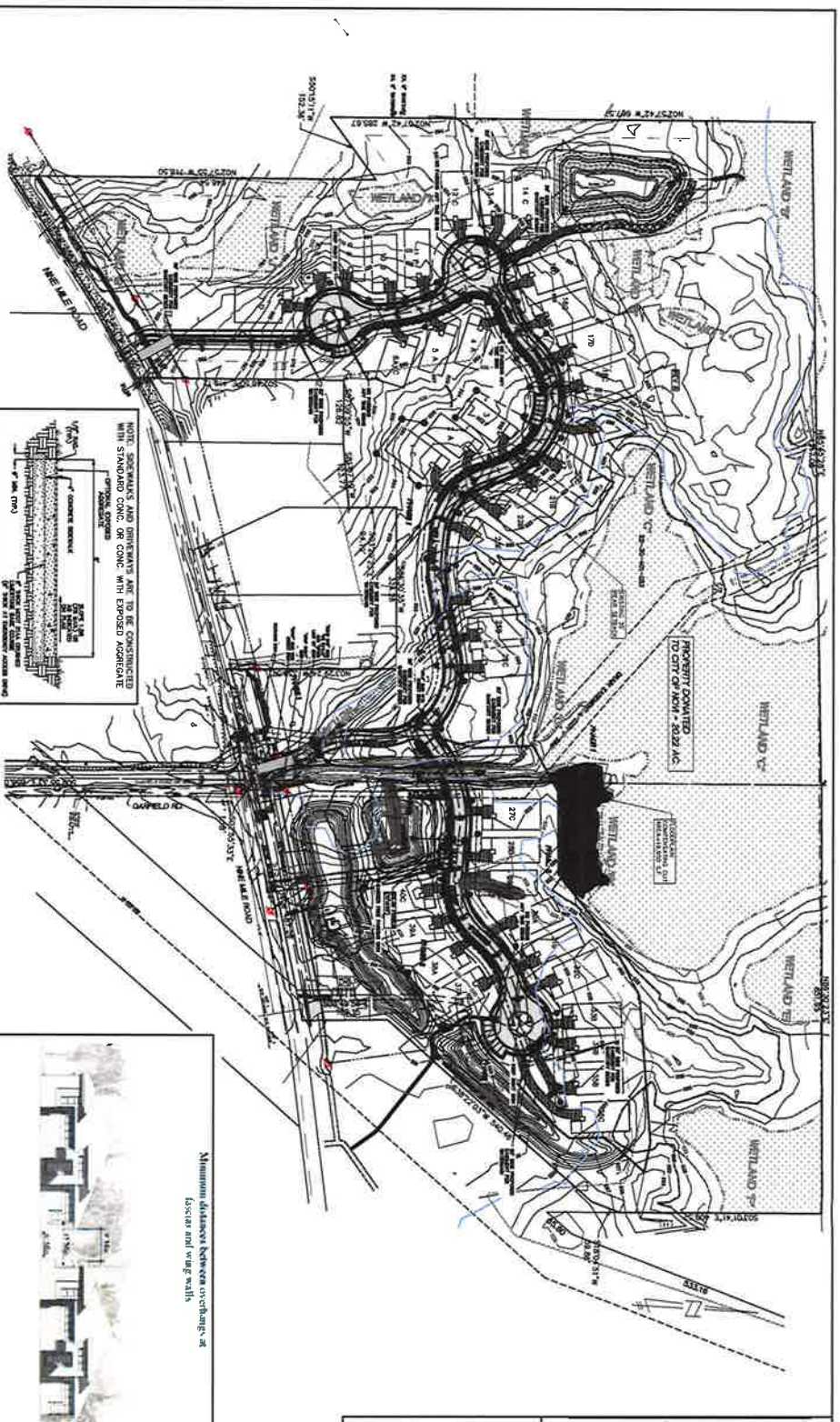
EXHIBIT "A" TO THE  
PRO AGREEMENT



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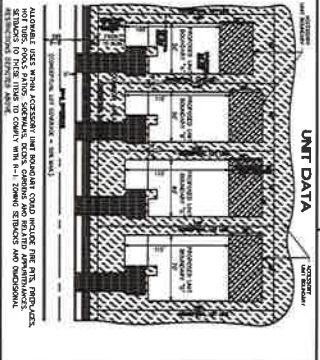
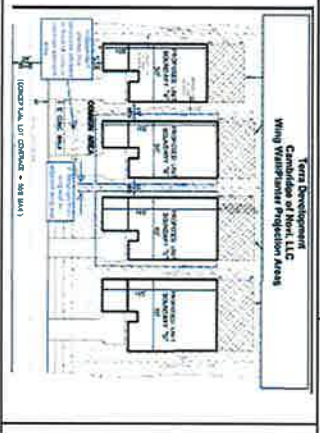
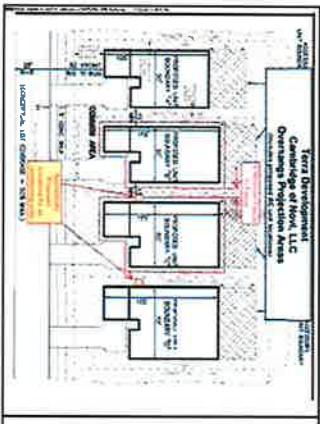
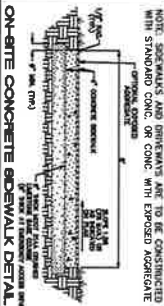
**Exhibit B**

**PRO Plan**



RECENTLY DOWNGRADED TO CITY OF HOUSTON - 2012 A.C.

CONCRETE SIDEWALK



Minimum distance between overhangs at facades and wing walls



- PROPOSED IMPROVEMENTS**
1. ROADWAYS SHALL BE RECONSTRUCTED, REPAVED, & REPLACEMENT CURBS SHALL BE PROVIDED.
  2. PROPOSED SANITARY SEWERS (BY OTHERS) TO BE LOCATED ALONG THE SOUTH SIDE OF 9 MILE ROAD.
  3. WATER MAINS TO BE PROVIDED BY CONNECTING TO AN EXISTING WATER MAIN OR BY INSTALLING A NEW WATER MAIN. ALL CONNECTIONS SHALL BE MADE TO BE 5' DIA.
  4. STORM WATER COLLECTION SHALL BE PROVIDED ON SITE.
  5. 5" WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL ROADWAYS. SIDEWALKS SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL DRIVEWAYS AND ALONG 9 MILE ROAD. SIDEWALKS SHALL BE CONSTRUCTED ALONG 9 MILE ROAD WITH RUBBER DETECTABLE WARNING SURFACES.
  6. ALL ROADWAYS TO BE PRIVATE CITY OF HOUSTON HAS NO OBLIGATION TO MAINTAIN OR REPAIR THE PRIVATE STREETS OR DRIVEWAYS.
  7. A CITY OF HOUSTON RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK ALONG AND ACROSS HOUSTON HIGHWAY #1.

- Phase 1 Construction Activities and Measurements**
1. Survey 1:10 scale site plan for Phase 1 boundary.
  2. Survey 1:10 scale site plan for Phase 2 boundary.
  3. Conduct utility locates for all utilities.
  4. Perform earth retention work on both front and back slopes.
  5. All water mains in place 18" minimum depth, 150 lb. pipe with 150 lb. manholes, 18" minimum depth.
  6. All sanitary sewers in place 18" minimum depth, 150 lb. pipe with 150 lb. manholes, 18" minimum depth.
  7. All storm sewers in place 18" minimum depth, 150 lb. pipe with 18" minimum depth.
  8. All storm sewers in place 18" minimum depth, 150 lb. pipe with 18" minimum depth.
  9. All storm sewers in place 18" minimum depth, 150 lb. pipe with 18" minimum depth.
  10. All storm sewers in place 18" minimum depth, 150 lb. pipe with 18" minimum depth.

**SITE DATA**

PROPOSED PLANNED REZONING OVERLAY (PRO) CUBHBT ZONING: "R-A"

AREA ACROSS: 50.61 ACRES

PROPOSED DENSITY: 40/5000 = 0.02 UNITS/ACRE

PROPOSED ZONING: "R-1"

ALTERNATE DENSITY (CONC) = 1.83 UNITS/ACRE

PROPOSED DENSITY EXCLUDING WETLANDS AND ROW: 40/5000 = 0.02 UNITS/ACRE

PROPOSED DENSITY EXCLUDING WETLANDS AND ROW: 40/5000 = 0.02 UNITS/ACRE

**WETLANDS Delineation BY**

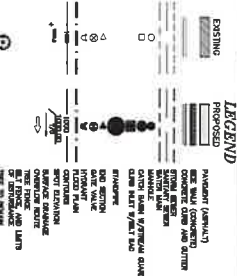
**NO. OF PARKING SPACES REQUIRED = 13 SPACES**

**NO. OF PARKING SPACES PROVIDED = 23 SPACES**

**MOBILE PARKING CALCULATIONS**

NO. OF OFFICE SPACES REQUIRED = 8 SPACES

NO. OF OFFICE SPACES PROVIDED = 8 SPACES



**PRO SITE PLAN**

**SEIBER, KEAST ENGINEERING, L.L.C.**

CONSULTING ENGINEERS

100 BANCROFT SQUARE, HOUSTON, TEXAS 77005

DATE: 07/20/14

SHEET 1





**CITY OF NOVI**  
**RESPONSE FORM**

**MAKING A RECOMMENDATION TO THE CITY COUNCIL FOR TERRA (PREVIOUSLY KNOWN AS VILLA D' ESTE), JSP 17-52, FOR AMENDMENT TO THE PRO AGREEMENT. THE SUBJECT PROPERTY IS ZONED R-1 (ONE-FAMILY RESIDENTIAL) WITH A PLANNED REZONING OVERLAY AGREEMENT.**

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Community Development Department  
45175 W. Ten Mile, Novi, Michigan 48375  
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

Please see Attached June 24, 2022 Letter outlining our Reasons for Supporting this Change

SIGNATURE: Thomas Busser

PRINT NAME: THOMAS BUSSER

ADDRESS: 9506 Villa Drive Lot #19

\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\*

**RECEIVED**

**AUG 23 2022**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

June 24, 2022

Mayor, Bob Gatt  
Planning Commission Chairperson, Mark Pehrson

We strongly support Cambridge of Novi, LLC's request to eliminate the pedestrian connection sidewalk from Terra Community's Phase II to the ITC trail.

We have made a significant investment in the City of Novi and in the new Terra community. Key points that drove our decision to purchase and build a custom home in Terra were the added security and safety of the small community size, the dead-end roads, and the gated entrance. These important features greatly reduce car, foot, and bicycle traffic.

The extra pedestrian connection sidewalk in Phase II is also misleading to ITC trail users, potentially leading them into the Terra community instead of continuing on the ITC trail.

At the gated entrance, there is a sidewalk connecting Terra to the ITC trail, so Terra Community homeowners can easily access the ITC Trail in both directions. The second connection in Phase II is redundant and not necessary.

We are also in agreement with raising the berm to help block the transmission towers and powerlines from view.

Thank you for your consideration in eliminating the pedestrian sidewalk from Phase II of Terra to the ITC trail.

Sincerely,



Thomas Busard



Diane Busard

Terra Community address:  
Lot 19  
49506 Villa Drive



**CITY OF NOVI**

**RECEIVED**

**RESPONSE FORM**

**AUG 26 2022**

**CITY OF NOVI  
COMMUNITY DEVELOPMENT**

**MAKING A RECOMMENDATION TO THE CITY COUNCIL FOR TERRA (PREVIOUSLY KNOWN AS VILLA D' ESTE), JSP 17-52, FOR AMENDMENT TO THE PRO AGREEMENT. THE SUBJECT PROPERTY IS ZONED R-1 (ONE-FAMILY RESIDENTIAL) WITH A PLANNED REZONING OVERLAY AGREEMENT.**

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I SUPPORT



I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**SIGNATURE:** Annette Mullett

**PRINT NAME:** Annette Mullett

**ADDRESS:** 49438 Villa Dr.

**\*\*\*IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).\*\*\***



**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

**AUG 26 2022**

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

To maintain privacy in our sub.  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

SIGNATURE: Jean Bleivas      Howard Bleivas  
PRINT NAME: Jean Bleivas      Howard Bleivas  
ADDRESS: 49599 Villa Drive

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**CITY OF NOVI**  
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**RECEIVED**

**AUG 26 2022**

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I SUPPORT

I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

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SIGNATURE: MP Harris

PRINT NAME: MARION HARRIS

ADDRESS: 49542 Villa Dr., Novi, MI 48374

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**CITY OF NOVI**  
**RESPONSE FORM**

**RECEIVED**

SEP 01 2022

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COMMUNITY DEVELOPMENT

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I SUPPORT       I OBJECT

**TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

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SIGNATURE: *Daryl Adams*

PRINT NAME: DARYL ADAMS

ADDRESS: 49554 VILLA DR, #15

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