



## SHEETZ JSP23-33

### JSP23-33 SHEETZ

Public hearing at the request of Silken Gold for Preliminary Site Plan, Wetland Permit, Woodland Permit, and Stormwater Management Plan. The subject property is zoned B-3 General Business and is located in Section 13, west of Haggerty Road and south of Twelve Mile Road. The applicant is proposing to demolish the existing gas station on the site to redevelop with a new gas station/convenience store.

### Required Action

Approve/Deny the Preliminary Site Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	9-18-24	<ul style="list-style-type: none"> <li>Items to be addressed in Final Site Plan submittal</li> </ul>
Engineering	Approval recommended	9-19-24	<ul style="list-style-type: none"> <li>Underground stormwater detention system proposed</li> <li>Items to be addressed in the Final Site Plan submittal</li> </ul>
Landscaping	Approval Not recommended (See comments)	9-16-24	<ul style="list-style-type: none"> <li><b><u>Applicant response letter indicates unsupported waivers will be brought into compliance in Final Site Plan submittal</u></b></li> <li><b>Waiver to allow a lack of greenbelt berm along 12 Mile (Supported by staff)</b></li> <li><b>Waiver to allow a lack of street trees along Haggerty Road (Supported due to utility conflicts)</b></li> <li><b>Waiver to allow a deficiency in foundation landscaping at the building (Supported by staff)</b></li> <li>Items to be addressed in Final Site Plan</li> </ul>
Wetland	Approval Not recommended (See comments)	9-17-24	<ul style="list-style-type: none"> <li><b><u>Applicant response letter indicates mitigation to be revised to meet Ordinance requirements</u></b></li> <li><b>Wetland Use permit required</b></li> <li><b>Off-site mitigation on nearby parcel has been revised to account for all requirements</b></li> <li>Items to be addressed in the electronic stamping submittal</li> </ul>
Woodland	Approval recommended	9-17-24	<ul style="list-style-type: none"> <li><b>Woodland Use Permit for removal of approximately 93 regulated trees</b></li> <li>Items to be addressed in Final Site Plan</li> </ul>
Traffic	Approval recommended	9-16-24	<ul style="list-style-type: none"> <li><b>ZBA Variance for loading zone in the front yard</b></li> <li>Items to be addressed in Final Site Plan</li> </ul>

Façade	Approval recommended	7-1-24	• Full compliance with Ordinance
Fire	Approval recommended	9-5-24	• Meets Fire Department Standards

## Motion sheet

### Approval – Preliminary Site Plan

In the matter of Sheetz JSP23-33, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Landscaping waiver from Section 5.5.3.B.ii-iii to allow a continuous hedge in lieu of a berm along 12 Mile Road, as *the intent of the ordinance is achieved*, which is hereby granted.
- b. Landscape waiver from Section 5.5.3.B.ii-iii for the deficiency in street trees along Haggerty Road due to utility conflicts, which is hereby granted.
- c. Landscape waiver from Section 5.5.3.D to allow 25% of the building foundation landscaping to be located away from the building, as *the intent of the ordinance is achieved*, which is hereby granted.
- d. Approval of variances to be requested from the Zoning Board of Appeals as follows:
  - i. Loading zone located in the front yard due to the location of the fuel tanks needing to be near the fuel pumps.
- e. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- f. *(additional conditions here if any)*.

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

### Approval – Wetland Permit

In the matter of Sheetz JSP23-33, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The size of the off-site mitigation area shall be adjusted to fulfill the requirements for mitigation under the Code of Ordinances as shown in the plan dated 9/25/24;
- b. Mitigation areas and the adjacent wetland and woodland areas shall be protected in a 4.23-acre conservation easement;
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- d. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-AND-**

### Approval – Woodland Permit

In the matter of Sheetz JSP23-33, motion to **approve** the Woodland Permit based on and subject to the following:

- e. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- f. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Stormwater Management Plan**

In the matter of Sheetz JSP23-33, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any).

*(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of Sheetz JSP23-33, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial- Wetland Permit**

In the matter of Sheetz JSP23-33, motion to **deny** the Wetland Permit... *(because the plan is not in compliance with Chapter 12 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial- Woodland Permit**

In the matter of Sheetz JSP23-33, motion to **deny** the Woodland Permit... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Stormwater Management Plan**

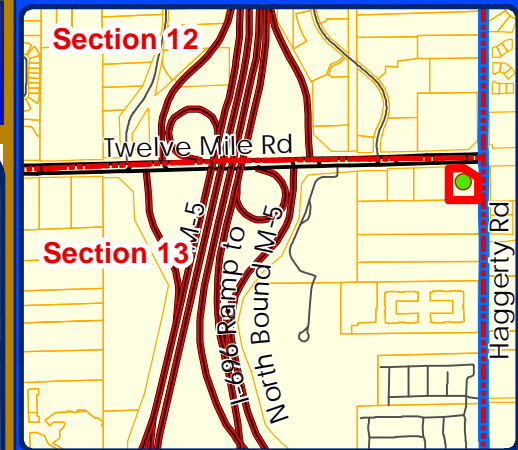
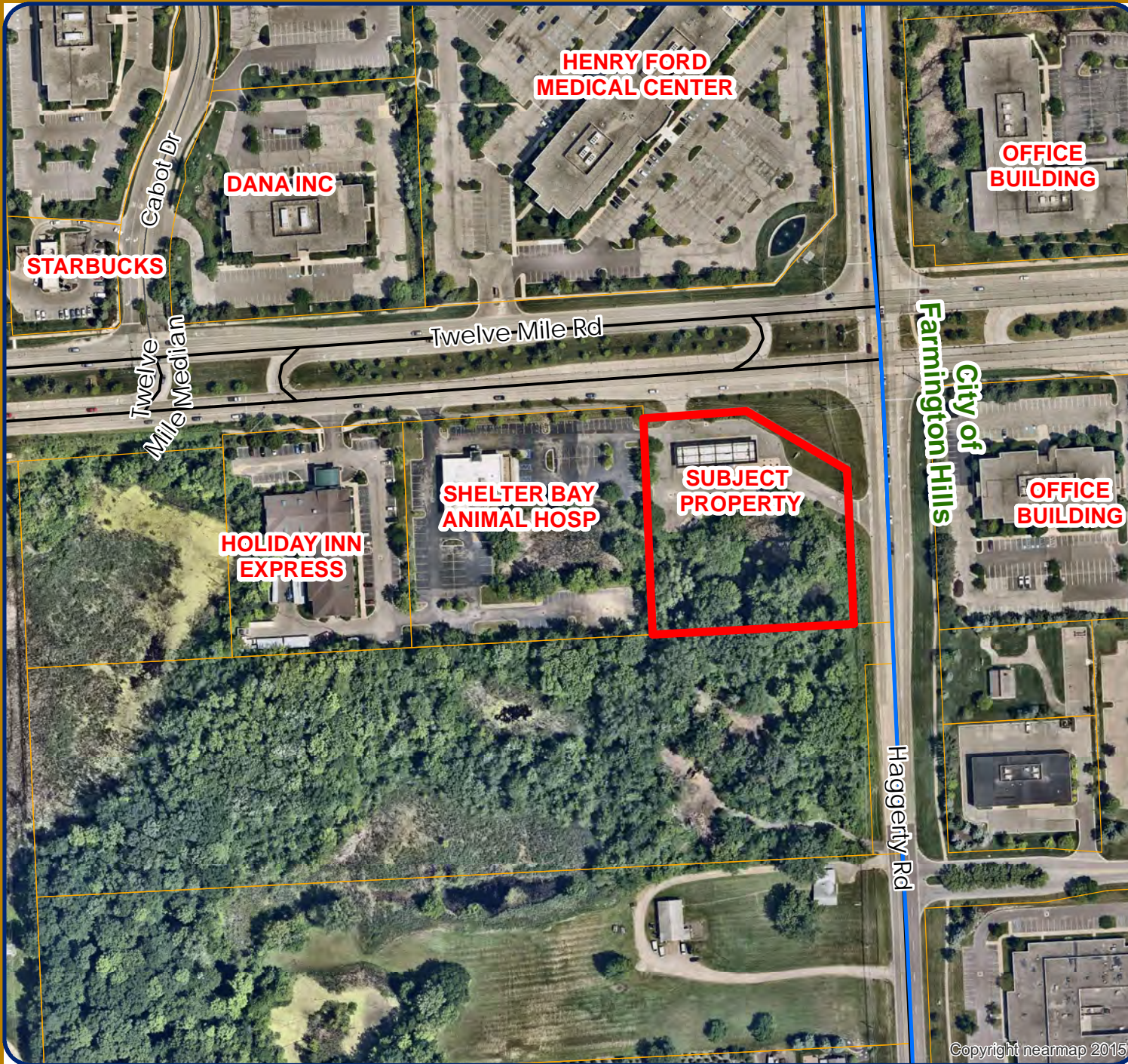
In the matter of Sheetz JSP23-33, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features


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# JSP23-33 SHEETZ

## LOCATION



Legend


 Subject Area



City of Novi  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Lindsay Bell  
Date: 9/27/24  
Project: SHEETZ  
Version #: 1

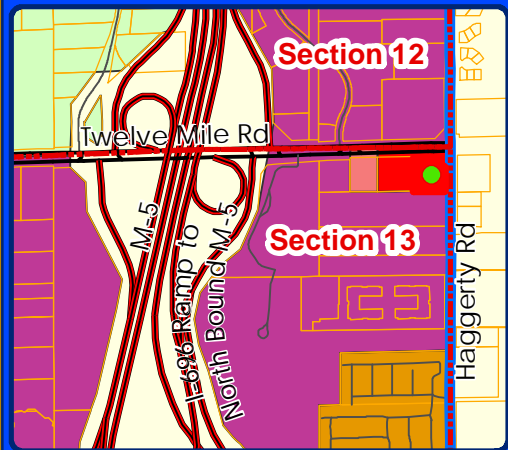
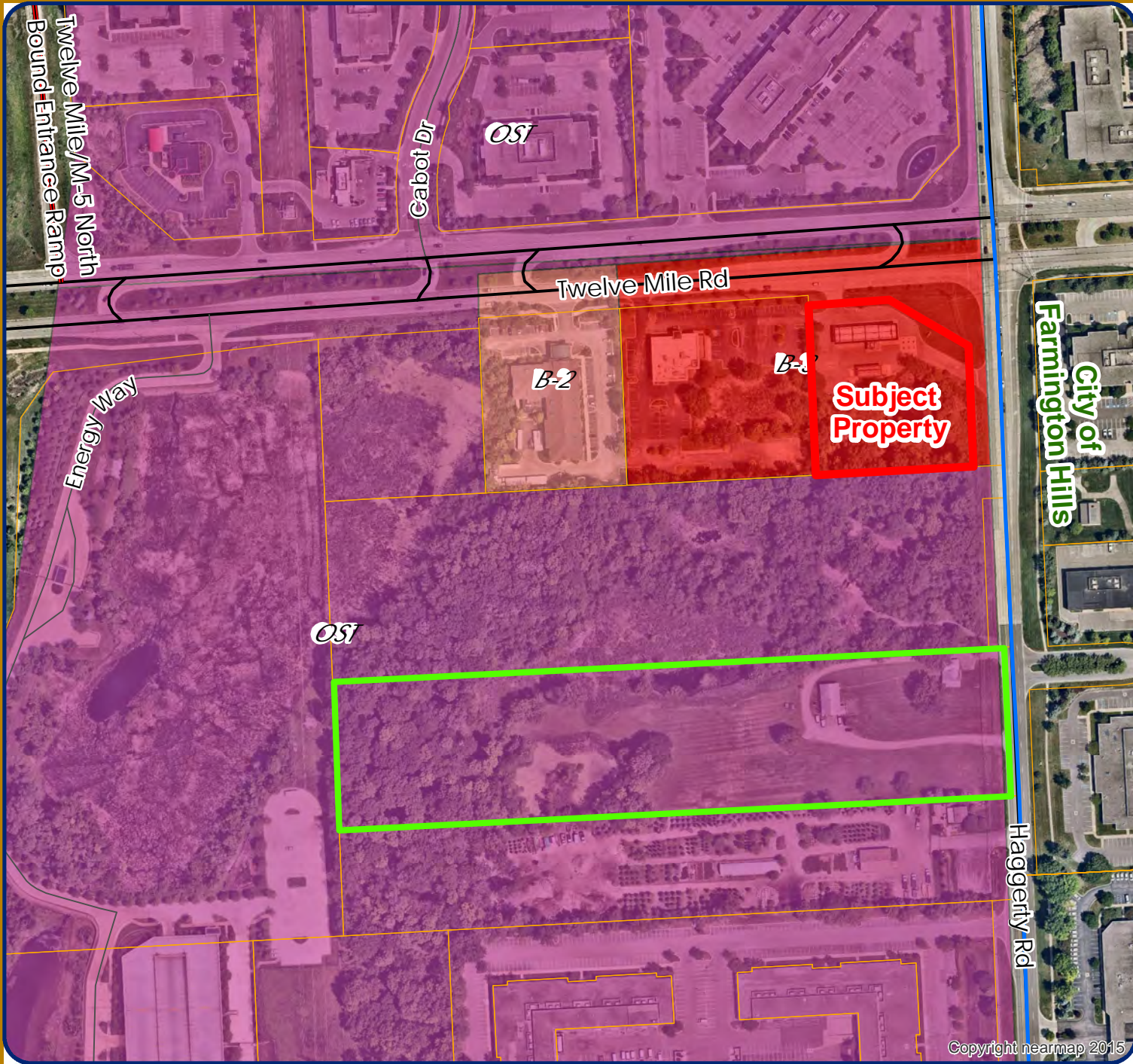
0 50 100 200 300 Feet  
1 inch = 229 feet



**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# SHEETZ ZONING



- LEGEND**
- R-A: Residential Acreage
  - MH: Mobile Home District
  - B-2: Community Business District
  - B-3: General Business District
  - OST: Office Service Technology
  - Subject Property
  - Off-Site Wetland Mitigation Parcel



**City of Novi**  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
 cityofnovi.org

Map Author: Lindsay Bell  
 Date: 6/27/24  
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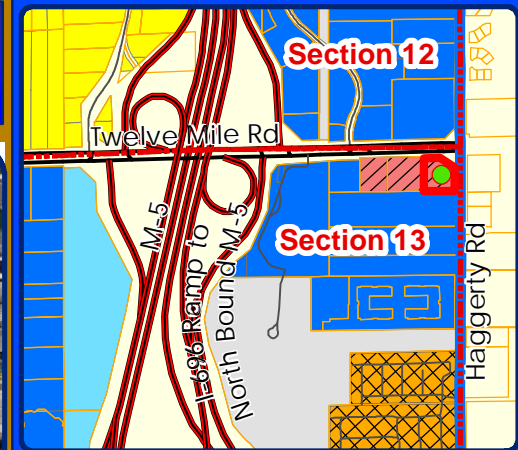
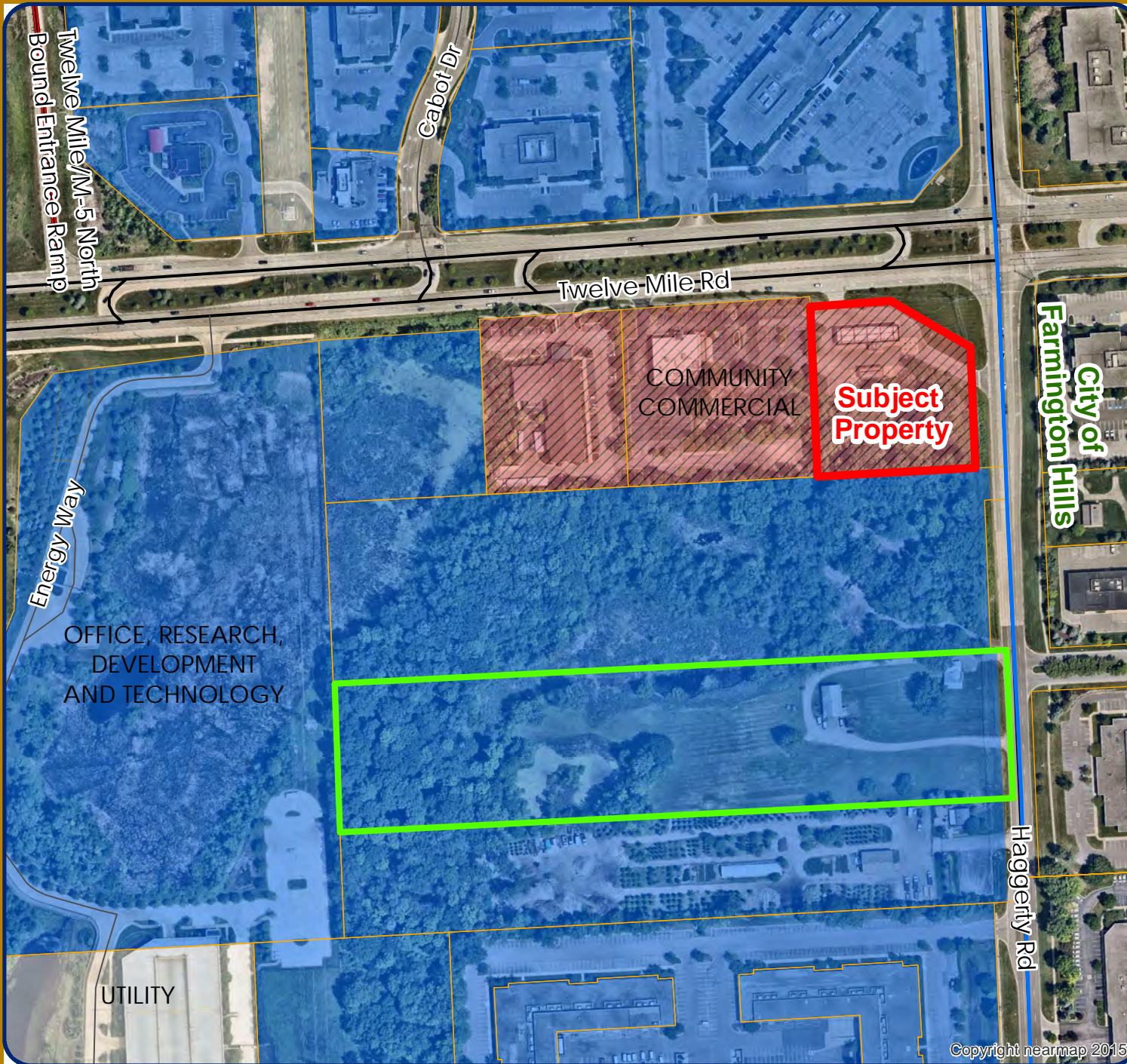


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# SHEETZ

## FUTURE LAND USE



- LEGEND**
- Single Family
  - Manufactured Home Residential
  - Office, Research, Development and Technology
  - Community Commercial
  - Public
  - Utility
  - Subject Property
  - Off-Site Wetland Mitigation Parcel

### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Lindsay Bell  
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Project: SHEETZ  
Version #: 1

0    65    130    260    390

1 inch = 292 feet

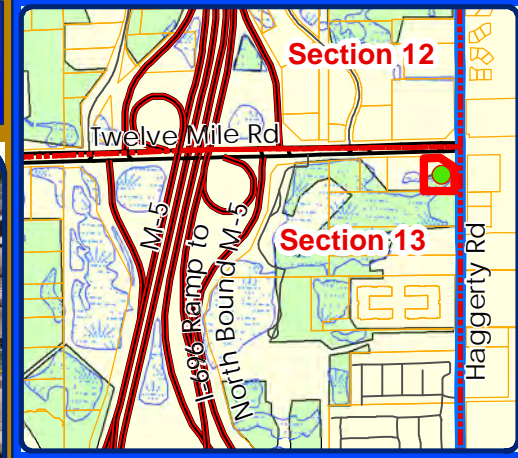
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# SHEETZ

## NATURAL FEATURES



**LEGEND**

- WETLANDS
- WOODLANDS
- Subject Property
- Off-Site Wetland Mitigation Parcel

**City of Novi**  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
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0 50 100 200 300 Feet  
 1 inch = 225 feet

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**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)





DATE	ISSUE
02.13.2024	OWNER REVIEW
04.04.2024	SUBMIT PRELIMINARY SITE PLAN
06.07.2024	RE-SUBMIT PRELIMINARY SITE PLAN
07.12.2024	REVISED LAYOUT PER WETLAND COMMENTS
07.31.2024	RE-SUBMIT PRELIMINARY SITE PLAN

**SKILKEN | GOLD**  
Real Estate Development  
4270 MORSE ROAD  
COLUMBUS, OH 43230  
614.418.3100

**TOPOGRAPHIC SURVEY**

SHEETZ, NOWI, M (HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1" = 30'  
Sheet: C2  
Project: 20015.00

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**BENCH MARK DATA**

NAVD83 VERTICAL DATUM

SITE BENCH MARK NO. 1

ARROW ON HYDRANT (1988) ON THE SOUTH SIDE OF 12 MILE ROAD AND 4400 FEET WEST OF HAGGERTY ROAD.

ELEVATION=900.57

SITE BENCH MARK NO. 2

SET MAG NAIL ON NORTHEAST FACE OF A UTILITY POLE LOCATED ON THE WEST SIDE OF HAGGERTY ROAD ON THE NORTH SIDE OF THE ENTRANCE TO SITE 4170 FEET SOUTH OF 12 MILE ROAD.

ELEVATION=901.89

**NOTES:**

\* TELEPHONE, GAS, ELECTRIC, CABLE TV, STEAM, PUBLIC LIGHTING, WATER, SEWER UTILITY MAPS WERE NOT AVAILABLE AT TIME OF SURVEY.

\* THIS PARCEL IS LOCATED WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA ZONE "V" (AREAS DETERMINED TO BE OUTSIDE OF THE 5% ANNUAL CHANCE FLOODPLAIN) IN ACCORDANCE WITH THE FEDERAL INSURANCE RATE MAP, PANEL NUMBER 601 OF 70A, MAP NUMBER 261505030P, EFFECTIVE DATE SEPTEMBER 29, 2006.

\* GAS & WATER LEAD LOCATION SHOULD BE CONSIDERED AS APPROXIMATE.

\* TREE INVENTORY WAS ACCURATE AT DATE OF SURVEY, AND DOES NOT REFLECT ANY TREES INSTALLED OR REMOVED AFTER SAID DATE.

**LEGEND - EXISTING**

- |   |   |
|---|---|
| <ul style="list-style-type: none"> <li>SECTION LINE</li> <li>FENCE</li> <li>GUARD RAIL</li> <li>WALL</li> <li>TREE LINE</li> <li>WATER EDGE</li> <li>WETLAND LINE</li> <li>STORMLINE</li> <li>SAN LINE</li> <li>WATERLINE</li> <li>GAS LINE</li> <li>UG ELECT. LINE</li> <li>UG TEL. LINE</li> <li>UG CABLE TV LINE</li> <li>ELECTRIC OVERHEAD</li> <li>EX FORESTED WETLANDS</li> <li>EX INUNDATED SHRUB SWAMP REMNANT</li> </ul> | <ul style="list-style-type: none"> <li>SAN MH</li> <li>SAN CLEAN OUT</li> <li>SAN REER</li> <li>DATE VALVE</li> <li>HYDRANT</li> <li>TELE. MH</li> <li>WATER VALVE</li> <li>WATER METER</li> <li>WELL HEAD</li> <li>FIC CONNECTION</li> <li>IRBATION CONTROL BOX</li> <li>STORM MH</li> <li>CATCH BASIN</li> <li>BESENE CS</li> <li>CONVERT. E.S.</li> <li>ROOF/DOWN SPOT</li> <li>OVERFLOW/LET STRUCTURE</li> <li>SAN STORM CLEAN OUT</li> <li>ROUND CS</li> <li>LIGHT POLE</li> <li>UTILITY POLE</li> <li>ELEC. TRANS.</li> <li>AIR CONDITIONER</li> <li>ELEC. METER</li> <li>ELEC. RISER</li> <li>ELEC. CONTROL BOX</li> <li>PUBLIC LIGHTING MH</li> <li>GAS METER</li> <li>GAS REER</li> <li>GAS VALVE</li> <li>GAS MH</li> <li>TELE. REER</li> <li>TELE. MH</li> <li>TELE. CROSS BOX</li> <li>CABLE REER</li> <li>SKN</li> <li>PROG. POST/GUY POST</li> <li>GUY</li> <li>RESIDENTIAL MAILBOX</li> <li>UG. METER BOX</li> <li>EXISTING ELEVATION</li> <li>SOIL SCORING</li> <li>ANCHORING WELL</li> <li>FOUND BRN</li> <li>FOUND NAL</li> <li>K. OUT CROSS</li> <li>ELECTRIC COR.</li> <li>FENCE POST</li> <li>BENCHMARK</li> <li>FOUND PIPE</li> <li>FOUND MOKA</li> </ul> |
|---|---|

**NOTE:**

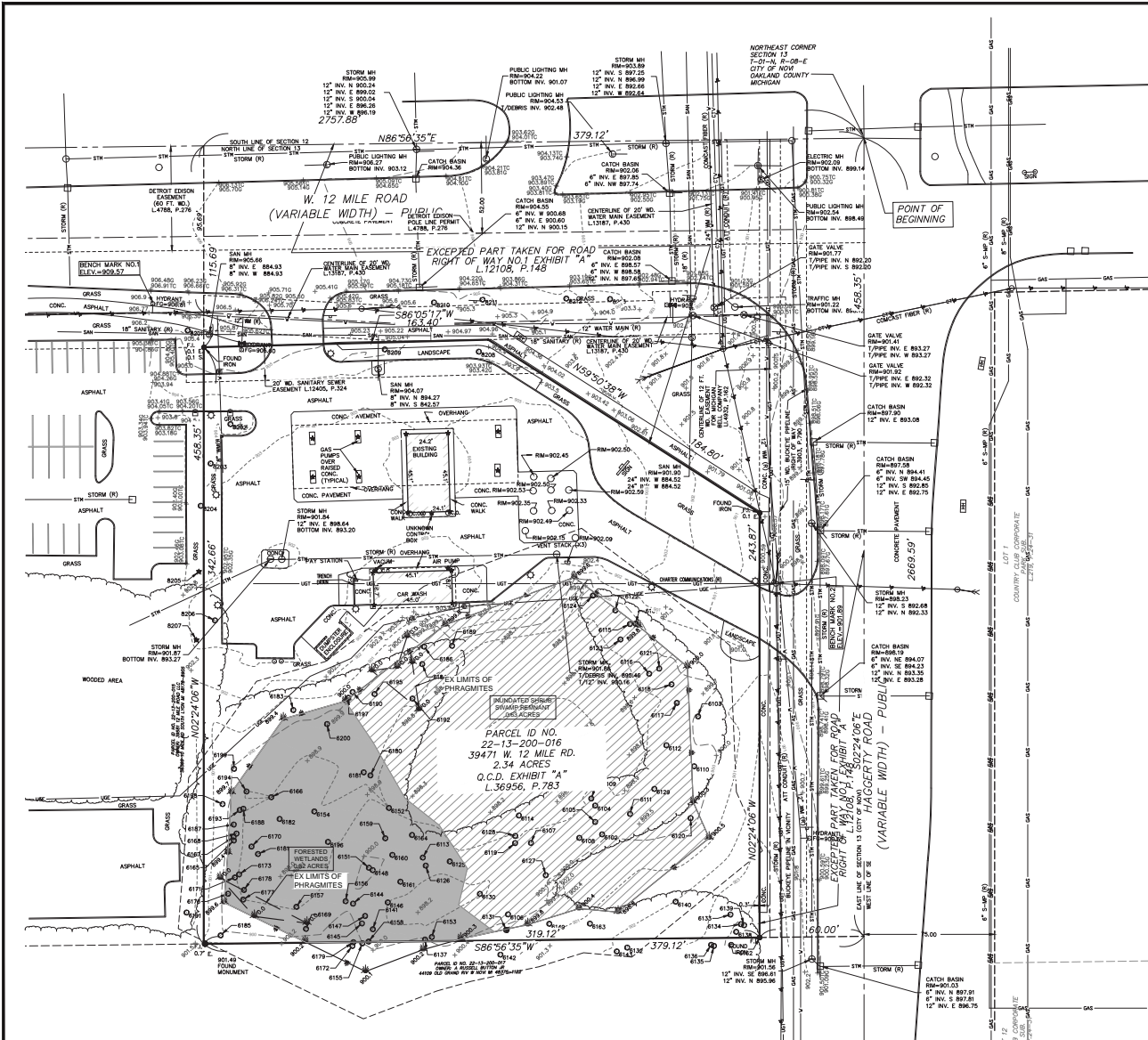
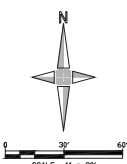
1. NO JAPANESE KNOTWEED FOUND ON SITE. PHRAGMITE LOCATIONS SHOWN ON PLAN.

**PROPERTY DESCRIPTION**

PER TITLE COMMITTEE NO. 7-16471, PREPARED BY NORTHWEST TITLE FAMILY OF COMPANIES, INC. AN AGENT FOR OLD REPUBLIC NATIONAL INSURANCE COMPANY, DATED NOVEMBER 8, 2002 (REVISION NUMBER: 20221212-0418-P48)

LAND IN THE CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS FOLLOWS:

PART OF THE NORTHEAST 1/4 OF SECTION 13, TOWN 1 NORTH, RANGE 8 EAST, DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SECTION 13, TOWN 1 NORTH, RANGE 8 EAST, THENCE SOUTH 02 DEGREES 24 MINUTES 06 SECONDS EAST 458.36 FEET ALONG THE EAST LINE OF SAID SECTION 13, THENCE SOUTH 86 DEGREES 58 MINUTES 38 SECONDS WEST 379.12 FEET; THENCE NORTH 02 DEGREES 24 MINUTES 06 SECONDS WEST 458.36 FEET TO A POINT ON THE NORTH LINE OF SAID SECTION 13; THENCE NORTH 86 DEGREES 58 MINUTES 38 SECONDS EAST 379.12 FEET TO THE POINT OF BEGINNING, EXCEPTING THEREFROM THOSE PARTS TAKEN FOR ROAD DESCRIBED AS BEGINNING AT THE NORTHEAST SECTION CORNER, THENCE SOUTH 02 DEGREES 24 MINUTES 06 SECONDS EAST 458.36 FEET; THENCE SOUTH 86 DEGREES 58 MINUTES 38 SECONDS WEST 379.12 FEET; THENCE NORTH 02 DEGREES 24 MINUTES 06 SECONDS WEST 248.87 FEET; THENCE NORTH 59 DEGREES 58 MINUTES 38 SECONDS WEST 164.80 FEET; THENCE SOUTH 86 DEGREES 58 MINUTES 38 SECONDS WEST 164.80 FEET; THENCE NORTH 02 DEGREES 24 MINUTES 06 SECONDS WEST 115.69 FEET; THENCE NORTH 86 DEGREES 58 MINUTES 38 SECONDS EAST 379.12 FEET TO THE POINT OF BEGINNING.





Executive:	NS
Manager:	NS
Designer:	NS
Quality Control:	JR
Station:	13
	T-01-N R-08-E

Professional Seal:



DATE	ISSUE
02.13.2024	OWNER REVIEW
03.04.2024	SUBMIT PRELIMINARY SITE PLAN
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07.31.2024	RE-SUBMIT PRELIMINARY SITE PLAN

**SKILKEN GOLD**  
Real Estate Development  
4270 MORSE ROAD  
COLUMBUS, OH 43230  
614.418.3100

**SESC PLAN**

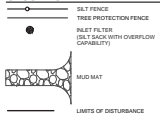
SHEETZ, NOWI, M  
(HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1"=30'  
Sheet: C4  
Project: 20415.00

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**SESC LEGEND:**



**SITE DATA:**

AREA OF DISTURBANCE: 2.20 ACRES  
DISTANCE TO NEAREST LAKE OR STREAM: SEELEY DRAIN, 3,300' TO THE EAST  
SOIL TYPES: 10C - MARLETTE SANDY LOAM, S2A - SELFREDGE LOAMY SAND  
TEMPORARY SOIL EROSION MEASURES: SILT FENCE, MUD MAT, MULCH BLANKET, DUST CONTROL, INLET FILTERS  
PERMANENT SOIL EROSION MEASURES: TOPSOIL, SEED, & MULCH, STORM SEWER, WATER QUALITY UNITS, RIP RAP

**MAINTENANCE NOTES:**

- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL MEASURES, AND NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- TEMPORARY STABILIZATION SHALL BE REPAIRED WHEN, AND AS OFTEN AS NECESSARY, AS DETERMINED BY THE CITY ENGINEER.
- CONTRACTOR SHALL REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES AND OTHER CHANGES HAVE BEEN ACCOMPLISHED, AND WHEN REQUIRED.
- THROUGHOUT THE CONSTRUCTION PERIOD, ALL MUD/SILT TRACKED ON TO EXISTING COUNTY ROADS FROM THE SITE DUE TO CONSTRUCTION SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
- CATCH BASIN INLET FILTERS SHALL BE MAINTAINED CLEAN AT ALL TIMES THROUGHOUT THE CONSTRUCTION PERIOD. IF A FILTER HAS HOLES OR IS INUNDATED WITH SEDIMENT, THE FILTER WILL REQUIRE REPLACEMENT.
- CONSTRUCTION ACCESS ROAD AND LAYDOWN MUST BE MAINTAINED AS NECESSARY. RE-ENTRANCE CRUSHED AGGREGATE IF PRESENT LAYER IS FILLED WITH SEDIMENT, POOLING WATER OR HAS RUTS. A NEW LAYER MAY BE ADDED IF OLD LAYERS BECOME COMPACTED.
- IF REPAIR OR REPLACEMENT IS NECESSARY TO SILT FENCE, IT SHALL BE PERFORMED IMMEDIATELY. THE SILT FENCE SHOULD BE TRENCHED IN, BACK-FILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVAL OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/4 OF THE HEIGHT OF THE FENCE. CONTRACTOR MAY HAVE TO REMOVE, REPLACE, RETRENCH, OR RE-BACKFILL THE FENCE IF IT FAILS. IT WOULD ALSO BE NECESSARY TO RE-INSTALL IF ANY PORTION OF THE FENCING WAS DAMAGED BY CONSTRUCTION MACHINERY.
- ANY SEDIMENT CONTROL FENCING WHICH BECOMES TORN, RIPPED, FALLEN OR FAILS TO PREVENT EROSION AS INTENDED, SHALL BE IMMEDIATELY REMOVED AND REPLACED WITH NEW EROSION CONTROL FENCING.
- SEEDING OR RESEEDING MAY BE REQUIRED IMMEDIATELY TO AREAS WHICH HAVE BEEN DAMAGED BY RUNOFF.
- ANY MULCH MAT OR SOIL STABILIZATION MEASURES WHICH ARE DISTURBED DUE TO CONSTRUCTION, HEAVY RAIN EVENTS, ETC. SHALL BE RESTORED IMMEDIATELY TO PREVENT FURTHER EROSION.
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, THEN A DEWATERING PLAN SHALL BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.

**MAINTENANCE SCHEDULE:**

THE CONTRACTOR SHALL INSPECT SESC MEASURES WEEKLY UNDER NORMAL CONDITIONS, WITHIN 24 HOURS OF EACH RAIN EVENT, AND DAILY DURING A PROLONGED RAIN EVENT BY DESIGNATED CONTRACTOR.

MEASURE	MAINTENANCE SCHEDULE
SILT FENCE	INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS WHEN DEPTH REACHES 8" TO THE HEIGHT OF THE FENCE. FABRIC SHALL BE REPLACED IF DAMAGED.
INLET FILTER	INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS. FILTER SHALL BE REPLACED IF DAMAGED.
DUST CONTROL	WATER SHALL BE APPLIED TO EXPOSED AREAS BY THE CONTRACTOR IN THE EVENT OF EXCESSIVE AIRBORNE DUST. DUST CONTROL SHALL BE APPLIED AS DIRECTED BY THE ENGINEER OR SOIL EROSION PERMITTING AGENCY.
VEGETATION (PERM)	SEED SHALL BE WATERED AND MULCH MAINTAINED UNTIL VIGOROUS TURF HAS BEEN ESTABLISHED.
MUD MAT	INSTALL AT THE START OF CONSTRUCTION PER PLAN. REMOVE ACCUMULATED SEDIMENTS, ADD STONE AS NEEDED, AND REQUIRED BY THE ENGINEER, AND REPLACE GEOTEXTILE IF DAMAGED.

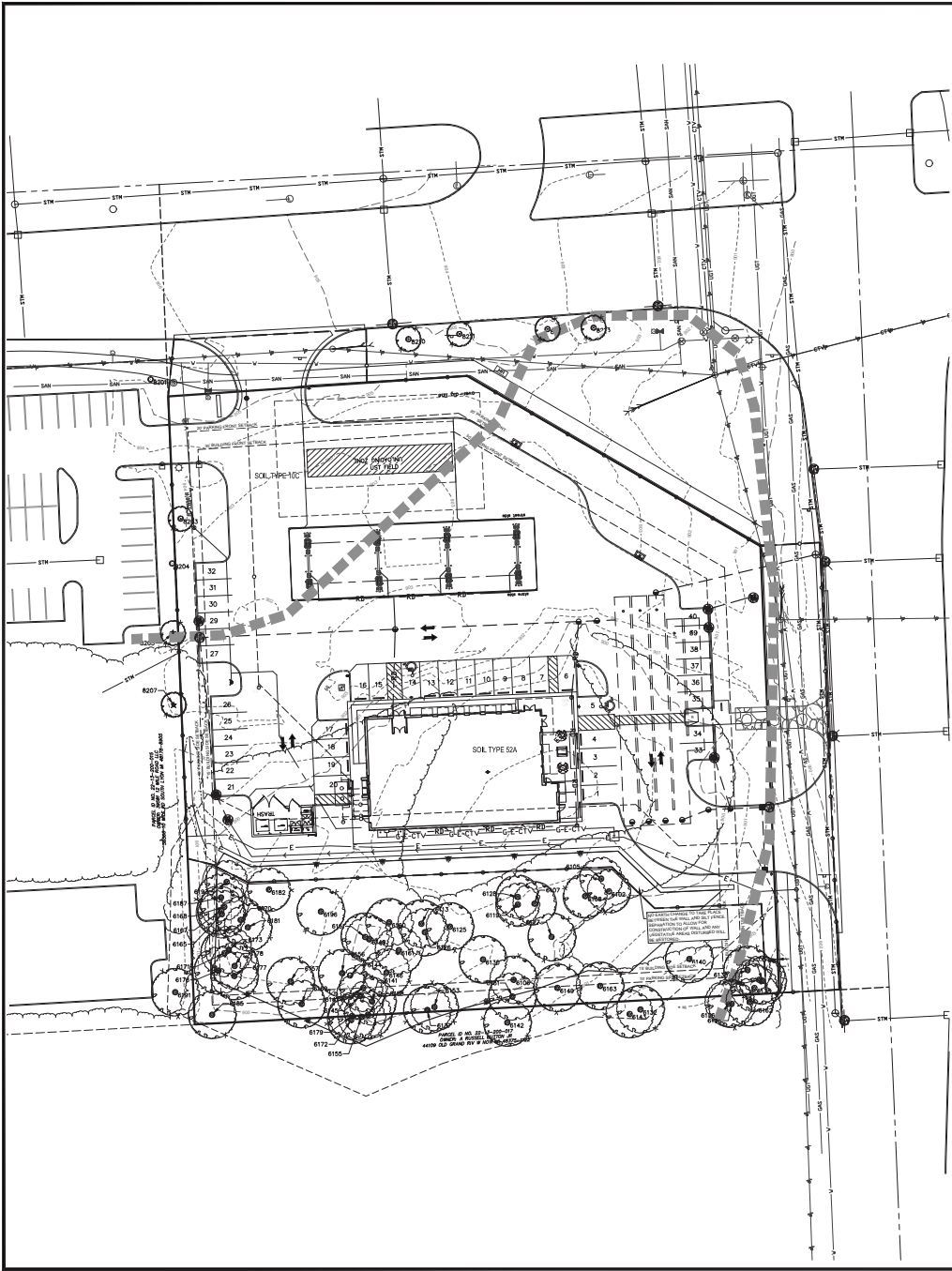
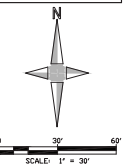
**EROSION CONTROL NOTES:**

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI. INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.
- LAND DISTURBING ACTIVITIES SHALL NOT COMMENCE UNTIL APPROVAL TO DO SO HAS BEEN RECEIVED BY GOVERNING AUTHORITIES.
- THIS PLAN SHALL NOT BE CONSIDERED ALL INCLUSIVE AS THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT SOIL SEDIMENT FROM LEAVING THE SITE. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY BY ON SITE INSPECTION.
- EROSION AND ANY SEDIMENTATION FROM WORK ON THIS PROJECT SHALL BE CONTAINED AND SHALL NOT BE ALLOWED TO COLLECT IN ANY ADJACENT AREA OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MAN-MADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES, PONDS, AND WETLANDS.
- NO LAND CLEARING OR GRADING SHALL BEGIN UNTIL ALL PERIMETER EROSION AND SEDIMENT CONTROL MEASURES HAVE BEEN INSTALLED.
- CONSTRUCTION, INCLUDING INSTALLATION OF PIPE AND ASSOCIATED VALVES AND IN STRUCTURES, BACK FILLING, SURFACE RESTORATION, AND REMOVAL OF EXCESS EXCAVATED MATERIAL SHALL BE ACCOMPLISHED IN ONE CONTINUOUS OPERATION.
- PAVEMENT AND/OR VEGETATION SHALL NOT BE STRIPPED FROM AN AREA UNLESS PIPE LAYING OPERATIONS ARE TO COME IN THAT AREA WITHIN THE NEXT THREE DAYS.
- BACKFILLING AND REMOVAL OF EXCESS EXCAVATED MATERIAL SHALL FOLLOW PIPE LAYING BY NO MORE THAN 100'.
- IF INSTALLATION OF STORM DRAINAGE SYSTEM SHOULD BE INTERRUPTED BY WEATHER OR NIGHTFALL, THE PIPE ENDS SHALL BE COVERED WITH FILTER FABRIC.
- ALL EXPOSED AREAS SHALL BE SEEDED AS SPECIFIED WITHIN 5 DAYS OF FINAL GRADING OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 14 DAYS OR GREATER. 3-4" OF TOPSOIL SHALL BE USED WHERE VEGETATION IS REQUIRED.
- TEMPORARY STABILIZATION SHALL BE PROVIDED DURING THE NON-GROWING SEASON FOR ALL AREAS TO BE SEEDED. THIS TIME PERIOD CONSIDERED TO BE FROM OCTOBER 1 THROUGH APRIL 20.
- TEMPORARY STABILIZATION SHALL CONSIST OF EITHER SMALL GRAIN STRAW OR GRASS HAY SPREAD AT THE RATE OF 1.5 TO 2 TONS PER ACRE WHICH SHALL BE ANCHORED IN PLACE TO PREVENT IT FROM BEING BLOWN OR WASHED AWAY.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PERMANENT STABILIZATION AS SOON AS PRACTICAL.
- CONTRACTOR SHALL BE RESPONSIBLE TO TAKE WHATEVER MEANS NECESSARY TO ESTABLISH PERMANENT SOIL STABILIZATION.
- TEMPORARY STABILIZATION SHALL BE REPAIRED WHEN, AND AS OFTEN AS NECESSARY, AS DETERMINED BY THE CITY ENGINEER.
- STAGING THE WORK WILL BE DONE BY THE CONTRACTOR AS DIRECTED, AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
- SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF DIRT OFF THE SITE.
- ALL DEWATERING SHALL BE DONE IN A MANNER WHICH WILL NOT CONTRIBUTE TO DEPOSITION OF SEDIMENT IN ROAD DITCHES OR OPEN WATER. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A DEWATERING PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
- ISSUANCE OF THE EROSION CONTROL PERMIT DOES NOT NEGATE THE NEED FOR ANY OTHER FEDERAL, STATE OR LOCAL PERMITS.
- PERMANENT STABILIZATION SHALL BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE IF PERMANENT STABILIZATION CANNOT BE COMPLETED WITHIN 5 DAYS OF FINAL GRADE, THEN ALL SOIL EROSION CONTROL MEASURES WILL STAY IN PLACE AND WILL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED.
- THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1994, AS AMENDED THE SOIL EROSION & SEDIMENT ACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF EROSION CONTROL DEVICES AND PRACTICES.
- ANY SEDIMENT CONTROL FENCING WHICH BECOMES TORN, RIPPED, FALLEN OR FAILS TO PREVENT EROSION AS INTENDED, SHALL BE IMMEDIATELY REMOVED AND REPLACED WITH NEW EROSION CONTROL FENCING.
- COMPACT & MAINTAIN 20x75 MUD MAT FROM ACCESS ROAD. DRIVE TO BE CONSTRUCTED OF 1"-3" CRUSHED CONCRETE OR CRUSHED LIMESTONE WITH A MINIMUM THICKNESS OF 6" ON GEOTEXTILE FABRIC.
- CONTRACTOR SHALL KEEP DEBRIS AND TRASH CLEANED UP AT ALL TIMES TO PREVENT CONTAMINATION OF RUNOFF.
- CONTRACTOR SHALL REMOVE ALL SEDIMENT CONTROLS AFTER FINAL STABILIZATION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STREET SWEEPING AND DUST CONTROL.
- SLOPES STEEP THAN 16% SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.

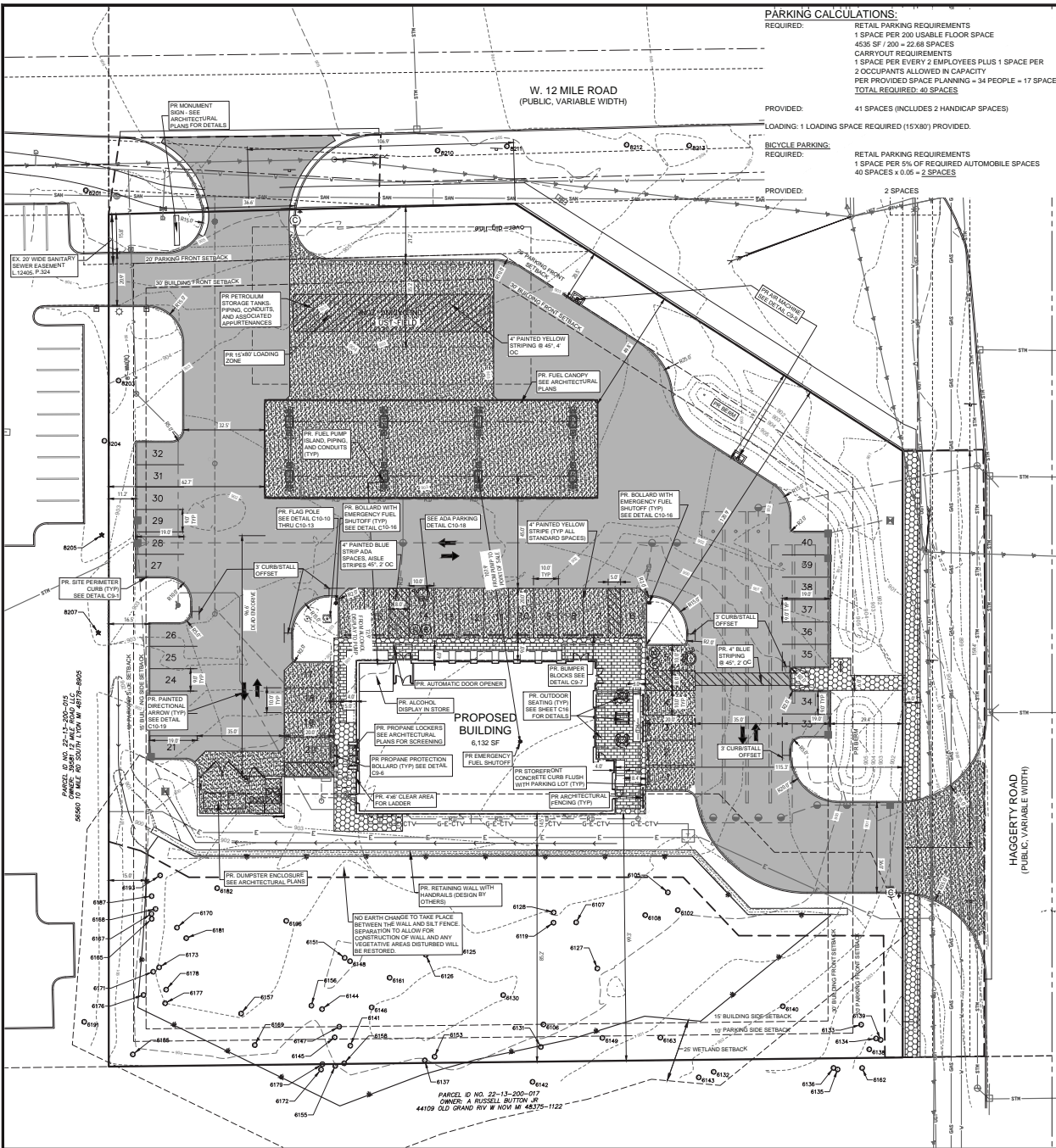
**STABILIZATION NOTE:**  
SLOPES STEEPER THAN 1% SHALL BE STABILIZED WITH EROSION CONTROL BLANKET.

**MAINTENANCE SCHEDULE**

CHECK SILT FENCE	WEEKLY AND AFTER SIGNIFICANT RAIN EVENT
SCRAPE & SWEEP PARKING LOTS	AS NEEDED - MIN. SWEEPING ONCE A WEEK, MIN. SCRAPING DAILY
CHECK INLET FILTERS	AFTER RAIN EVENT
PRETREATMENT STRUCTURE	INSPECT WEEKLY UNTIL SITE IS STABILIZED AND CLEAN AS NEEDED



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**PARKING CALCULATIONS:**

**REQUIRED:**  
 RETAIL PARKING REQUIREMENTS  
 1 SPACE PER 200 USABLE FLOOR SPACE  
 4358 SF / 200 = 22.88 SPACES  
 CARRYOUT REQUIREMENTS  
 1 SPACE PER EVERY 2 EMPLOYEES PLUS 1 SPACE PER  
 2 OCCUPANTS ALLOWED IN CAPACITY  
 PER PROVIDED SPACE PLANNING + 34 PEOPLE = 17 SPACES  
**TOTAL REQUIRED: 40 SPACES**

**PROVIDED:**  
 41 SPACES (INCLUDES 2 HANDICAP SPACES)

**LOADING: 1 LOADING SPACE (15'x80') PROVIDED.**

**BICYCLE PARKING:**  
**REQUIRED:**  
 RETAIL PARKING REQUIREMENTS  
 1 SPACE PER 5% OF REQUIRED AUTOMOBILE SPACES  
 40 SPACES x 0.05 = 2 SPACES

**PROVIDED:**  
 2 SPACES

**LEGEND:**

- PR GATE VALVE AND WELL
- PR HYDRANT
- PR VALVE AND BOX
- PR WATERMAIN
- PR STORM CATCH BASIN
- PR STORM MANHOLE
- PR STORM END SECTION
- PR STORM END SECTION
- PR RIP RAP
- PR STORM SEWER
- PR ROOF DRAIN
- PR CLEAN OUT
- PR SANITARY MANHOLE
- PR SANITARY SEWER
- PR UNDERGROUND ELECTRIC SERVICE
- PR UNDERGROUND GAS SERVICE
- PR UNDERGROUND TELEPHONE SERVICE
- PR UTILITY CROSSING
- PR CONTOUR MINOR (1')
- PR CONTOUR MAJOR (5')
- PR SPOT ELEVATION
- PR SWALE
- PR CURB AND GUTTER
- PR REVERSE CURB AND GUTTER
- PR STD. DUTY ASPHALT  
SEE DETAIL SHEET C-9
- PR CONCRETE PAVEMENT  
SEE DETAIL SHEET C-9
- PR REVERSE CURB AND GUTTER  
SEE DETAIL SHEET C-9
- PR CONCRETE WALK  
SEE DETAIL SHEET C-9
- PR BRICK PAVEMENT  
SEE DETAIL SHEET C-9

**PAVING NOTES:**

- THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND SLEEVES ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
- BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
- ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION, TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
- THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED OR AS APPROVED BY THE OWNER. A BOND COAT OF SS-1H EMULSION SHALL BE APPLIED (AT A RATE OF 0.10 GALLONS/S.Y.D.) BETWEEN THE LEVELING AND WEARING COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
- PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGE/BACK OF CURB.
- BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL COORDINATE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
- ALL BARRIER FREE RAMPS, WALK, LANDINGS AND CURBS SHALL BE A.D.A. COMPLIANT AND MEET MDD STANDARD PLAN R-28.
- GENERAL GRADING REQUIREMENTS ARE AS FOLLOWS:
  - A. FINISH GRADE AT EXISTING BUILDING SHALL MATCH BRICK LEDGES, DOORWAYS OR BASEMENT WINDOWS
  - B. MAINTAIN POSITIVE DRAINAGE AWAY FROM ALL BUILDING; 5% FOR FIRST 10' THEN 2% AFTER
  - C. SIDEWALK CROSS SLOPE SHALL BE A MAXIMUM OF 2%
  - D. PAVEMENT SLOPES (1.0% MINIMUM, 4.0% MAXIMUM) UNIFORMLY BETWEEN FINISH GRADE ON PLANS
  - E. LAWN AREAS 2% MINIMUM TO 25% (BERMS) MAXIMUM
  - F. DIMENSIONS ARE TO FACE OF CURB.

**OUTDOOR SEATING:**

- NO ALCOHOL WILL BE SERVED IN THE OUTDOOR SEATING AREAS.
- OUTDOOR SEATING SHALL BE ALLOWED 24 HOURS A DAY (SAME AS THE RESTAURANT)

**SIGNAGE NOTES:**

- SIGNS 12"x18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST.
- SIGNS GREATER THAN 12"x18" SHALL BE MOUNTED ON A GALVANIZED 1 LB. OR GREATER U-CHANNEL POST.
- SIGN BOTTOM HEIGHT SHALL BE 7' FROM FINAL GRADE.
- SIGNING SHALL BE PLACED 2' FROM THE FACE OF THE CURB OR EDGE OF THE NEAREST SIDEWALK TO THE NEAR EDGE OF THE SIGN.
- FHWA STANDARD ALPHABET SERIES SHALL BE USED FOR ALL SIGN LANGUAGE PER MUTUOD.
- HIGH-INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETRO-REFLECTIVITY.

**SITE PLAN NOTES:**

- SHEETZ WILL GET A RETAIL TIER, OFF-PREMISES LICENSE TO SELL ALCOHOL. A MINIMUM INVENTORY WILL BE MAINTAINED, EXCLUDING ALCOHOL AND MOTOR VEHICLE FUEL, OF NOT LESS THAN \$250,000, AT COST, OF THOSE GOODS AND SERVICES CUSTOMARILY MARKETED BY APPROVED TYPES OF BUSINESSES.
- THE SITE OF PAYMENT AND SELECTION OF ALCOHOLIC LIQUOR IS NOT LESS THAN 50' FROM WHERE MOTOR VEHICLE FUEL IS DISPENSED.
- THE BUILDING ARE FROM WHICH ALCOHOLIC LIQUOR SOLD IS 6,132 SF.
- PROPANE IS PROPOSED TO BE STORED OUTSIDE DUE TO COMBUSTIBILITY AND SCREENED PER DETAIL ON SHEET XXXXX.
- NO OVERNIGHT STORAGE OF VEHICLES IS PERMITTED.

**FIRE MARSHALL NOTES:**

- ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMBUSTIBLE MATERIAL BROUGHT ON SITE.
- FOR NEW BUILDINGS AND EXISTING BUILDINGS, COMPLIANCE WITH IFC SECTION 510 FOR EMERGENCY RADIO COVERAGE MUST BE MET. THIS SHALL BE COMPLETED BY THE TIME THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION PERMITS.

**FIRE TRUCK TURNING NOTE:**

SEE SITE DETAIL SHEET FOR FIRE TRUCK TURNING DIAGRAMS.

**WOODLANDS/WETLANDS NOTE:**

WOODLANDS AND WETLANDS ARE BEING AFFECTED BY THE PROPOSED REDEVELOPMENT OF THE SITE. SEE DEMOLITION PLAN FOR TREE REMOVALS AND LANDSCAPE PLANS FOR REPLACEMENT INFORMATION. SEE SHEET 12 FOR WETLAND PLANNING AND XXXX FOR MITIGATION INFORMATION.

**BIKE RACK DETAIL NOTE:**

6' 0" CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE PROPOSED BIKE RACK AT ALL TIMES. SEE LANDSCAPE PLAN FOR BIKE RACK LOCATION. SEE SITE DETAIL SHEET FOR BIKE RACK ENLARGED DETAIL.

**TRAFFIC SIGNING:**

ITEM	MUTUOD CODE	DESCRIPTION	SIZE	QUANTITY
(A)	R7-8	HANDICAP PARKING ONLY	12"x18"	2
(B)	R7-8P	VAN ACCESSIBLE	18"x9"	2
(C)	R1-1	STOP SIGN	30"x30"	2

**PAVEMENT AREA: 52,682 SF**

**SCHEDULE OF REGULATIONS:**

ZONING DISTRICT: B3

PROPOSED GROSS LEASABLE FLOOR AREA - 6,132 SF

YARD REQUIREMENTS (BUILDING)		REQUIRED	PROVIDED
FRONT (HAGGERTY)		30'	115'
FRONT (12 MILE)		30'	49'
REAR		15'	99'
SIDE		15'	62'

YARD REQUIREMENTS (PARKING)		REQUIRED	PROVIDED
FRONT (HAGGERTY)		20'	28'
FRONT (12 MILE)		20'	20'
REAR		15'	69'
SIDE		10'	10'

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 Landscape Architects

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 www.giffelswebster.com

Executive: NS  
 Manager: NS  
 Designer: NS  
 Quality Control: JR  
 Section: 13

T-01-N-R-08-E

Precedent Seal

**811**

Know what's below.  
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DATE	ISSUE
02.12.2024	OWNER REVIEW
03.04.2024	SUBMIT PRELIMINARY SITE PLAN
06.07.2024	RESUBMIT PRELIMINARY SITE PLAN
07.12.2024	REVISED LAYOUT PER WETLAND COMMENTS
07.31.2024	RESUBMIT PRELIMINARY SITE PLAN

**SKILKEN | GOLD**

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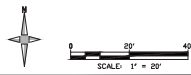
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**SITE AND PAVING PLAN**

SHEETZ NOVI, MI  
 (HAGGERTY)

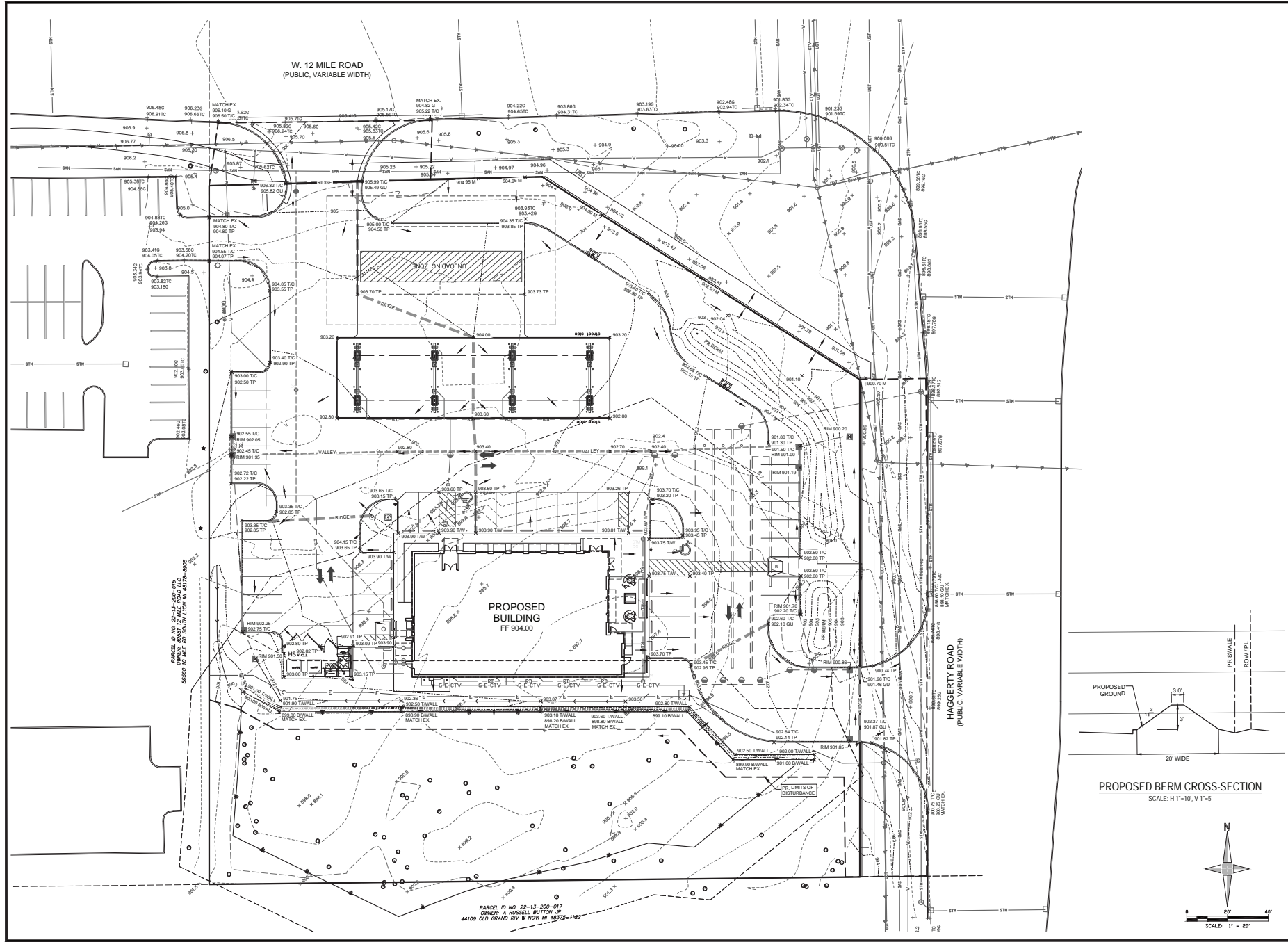
CITY OF NOVI  
 OAKLAND COUNTY  
 MICHIGAN

Date: 11.08.2023  
 Scale: 1"=20'  
 Sheet: C5  
 Project: 20415.00



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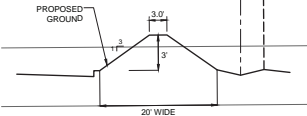




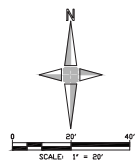
W. 12 MILE ROAD  
(PUBLIC, VARIABLE WIDTH)

PROPOSED BUILDING  
FF 904.00

HAGGERTY ROAD  
(PUBLIC, VARIABLE WIDTH)



PROPOSED BERM CROSS-SECTION  
SCALE: H 1"=10', V 1"=5'



PARCEL ID NO. 22-13-300-017  
OWNER: A. RUSSELL BUTTON, SR  
44109 OLD GRAND RIV W NOW N 4532-1192

PARCEL ID NO. 22-13-300-015  
OWNER: J. R. HENNINGSON  
56600 12 MILE RD SOUTH ELYON MI 48776-8005



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Designer:	NS
Quality Control:	JR
Section:	T3
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06.07.2024	RESUBMIT PRELIMINARY SITE PLAN
07.12.2024	REVISED LAYOUT PER WETLAND COMMENTS
07.31.2024	RESUBMIT PRELIMINARY SITE PLAN

**SKILKEN GOLD**  
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COLUMBUS, OH 43230  
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PRELIMINARY GRADING PLAN

SHEETZ NOWI, M (HAGGERTY)  
CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1"=20'  
Sheet: C6  
Project: 20415.00

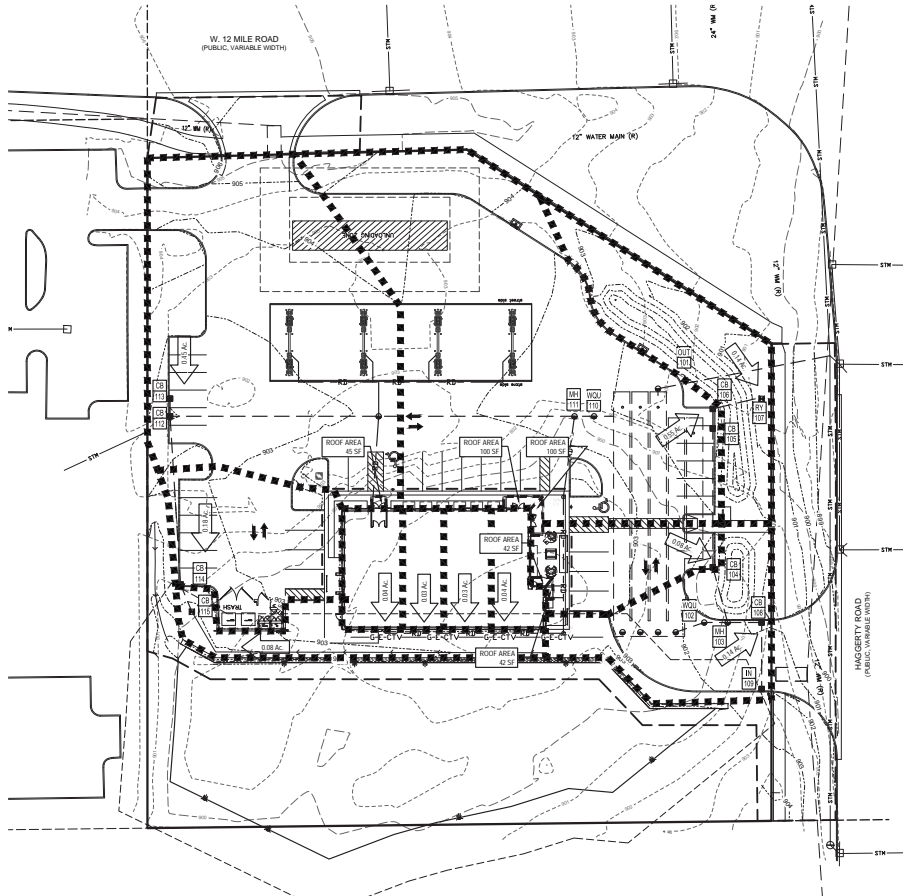
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### STORM WATER DRAINAGE NARRATIVE

STORM WATER RUNOFF FROM THE PROPOSED REDEVELOPMENT SHALL BE COLLECTED VIA A SERIES OF SWALES, CURB & GUTTER, AND CATCH BASINS THEN CONVEYED BY GRAVITY THROUGH STORM SEWER PIPES THROUGH MANUFACTURED PRE-TREATMENT STRUCTURES AND TO UNDERGROUND DETENTION SYSTEM. THE OUTLET FOR THE UNDERGROUND DETENTION SYSTEM WILL BE A WEIR WALL WITHIN A STRUCTURE WITH HOLES AT THE OUTLET ELEVATIONS THAT ACCOMMODATE THE ALLOWED DISCHARGE RATE. THE SITE'S ULTIMATE STORM WATER OUTLET IS AN EXISTING STORM MANHOLE IN THE HAGGERTY RD R.O.W. THIS SEWER IS UNDER THE JURISDICTION OF THE R.C.O.C. AND HAS BEEN DISCUSSED AND APPROVED BY THE R.C.O.C.

DETAILED DESIGN INFORMATION FOR THE STORM SEWER CONVEYANCE SYSTEM, OIL/WATER SEPARATOR, PRE-TREATMENT STRUCTURES AND THE UNDERGROUND DETENTION SYSTEM SHALL BE PROVIDED IN THE FINAL SITE PLAN PACKAGE.



Flow Name	Flow Rate	Area of Catchment
Existing Facility (Proposed) Flow	1.12	1.00
Proposed (Overall)	1.28	1.00
Existing (Overall)	1.08	1.00
100 Year Peak Storm Flow	1.28	1.00

Flow Name	Flow Rate	Area of Catchment
Proposed (Overall)	1.28	1.00
Existing (Overall)	1.08	1.00
100 Year Peak Storm Flow	1.28	1.00

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Existing (Overall)	1.08	1.00
100 Year Peak Storm Flow	1.28	1.00

Flow Name	Flow Rate	Area of Catchment
Proposed (Overall)	1.28	1.00
Existing (Overall)	1.08	1.00
100 Year Peak Storm Flow	1.28	1.00



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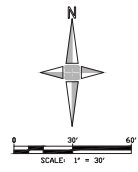
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614.418.3100

### STORM WATER MANAGEMENT PLAN

SHEETZ, NOWI, MI  
(HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1"=30'  
Sheet: C8  
Project: 20415.00



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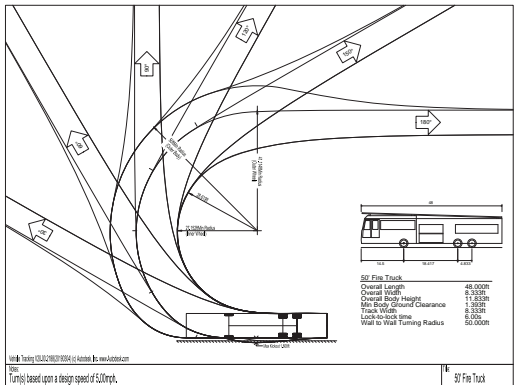
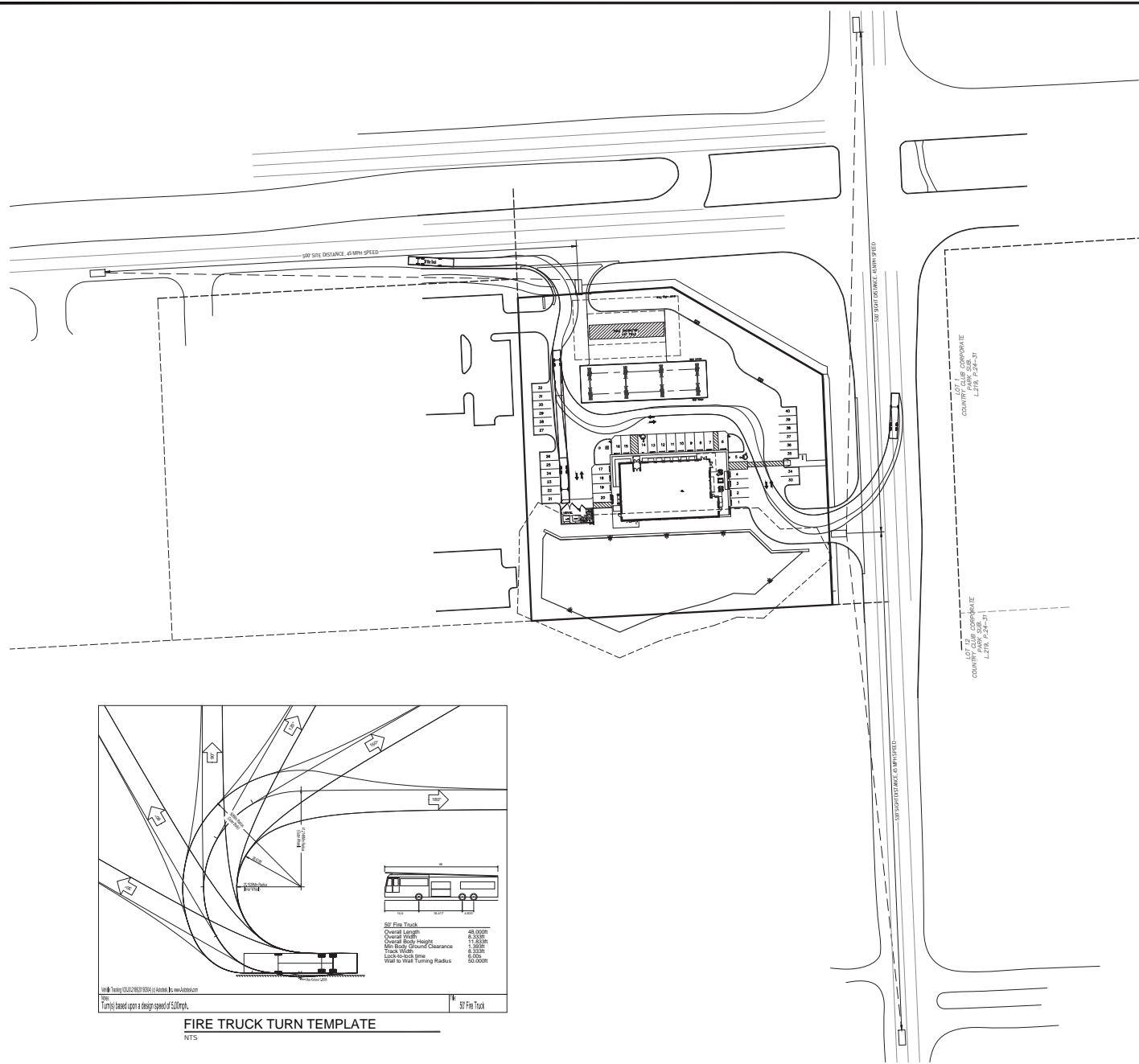
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COLUMBUS, OH 43230  
614.418.3100

**SITE DISTANCE AND  
FIRE TRUCK  
TURNING**  
SHEETZ NOWI, MI  
(HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1"=50'  
Sheet: C12  
Project: 20415.00



**FIRE TRUCK TURN TEMPLATE**  
NTS



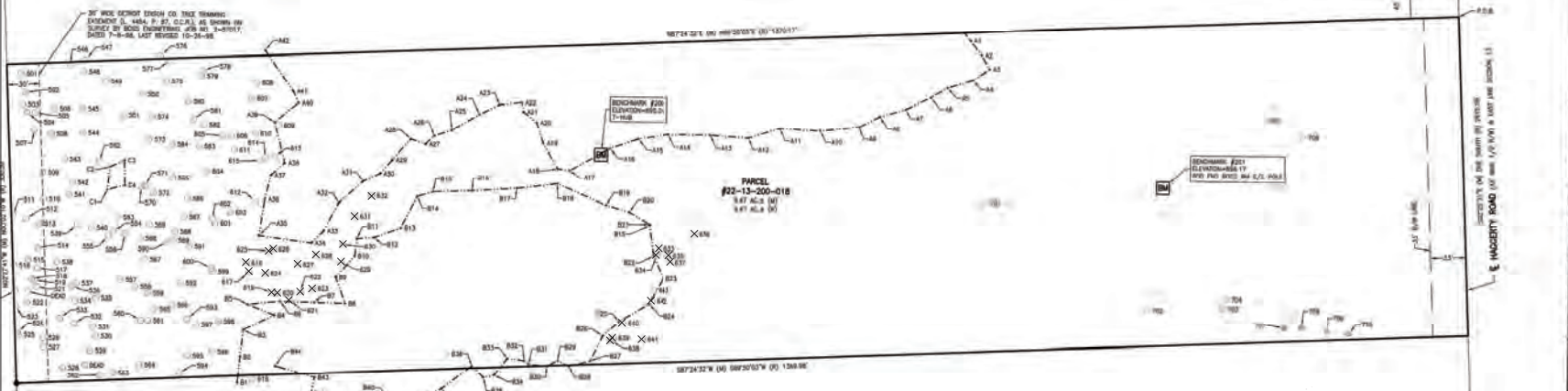
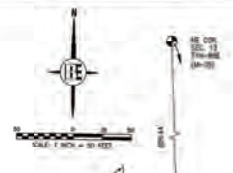


# WETLAND & TREE SURVEY

#23-13-200-017

PARCEL #22-13-200-018  
0.47 AC ± (W)  
0.47 AC ± (E)

#22-13-200-018



## TREE INVENTORY LIST

Tree #	Botanical Name	Common Name	DBH	Height	Health	Notes
301	Quercus bicolor	Swamp White Oak	18	25	Good	
302	Quercus bicolor	Swamp White Oak	10	20	Good	
303	Quercus bicolor	Swamp White Oak	11	20	Good	
304	Tilia americana	Basswood	14	20	Fair	
305	Quercus bicolor	Swamp White Oak	12	20	Good	
306	Fagus grandifolia	American Beech	12	20	Good	
307	Betula peltifolia	Yellow Birch	6	15	Fair	
308	Fagus grandifolia	American Beech	11	20	Good	
309	Quercus bicolor	Swamp White Oak	10	20	Good	
310	Quercus bicolor	Swamp White Oak	11	20	Good	
311	Quercus bicolor	Swamp White Oak	11	20	Good	
312	Quercus bicolor	Swamp White Oak	11	20	Good	
313	Quercus bicolor	Swamp White Oak	11	20	Good	
314	Fagus grandifolia	American Beech	10	20	Good	
315	Quercus bicolor	Swamp White Oak	11	20	Good	
316	Betula peltifolia	Yellow Birch	11	20	Fair	
317	Fagus grandifolia	American Beech	11	20	Good	
318	Tilia americana	Basswood	14	20	Fair	
319	Tilia americana	Basswood	14	20	Fair	
320	Prunus pennsylvanica	Black Cherry	10	20	Good	
321	Prunus pennsylvanica	Black Cherry	11	20	Good	
322	Tilia americana	Basswood	9	20	Fair	
323	Tilia americana	Basswood	9	20	Fair	
324	Acer rubrum	Red Maple	9	20	Fair	
325	Acer rubrum	Red Maple	9	20	Fair	
326	Quercus bicolor	Swamp White Oak	9	20	Fair	
327	Quercus rubra	Red Oak	10	20	Good	
328	Acer rubrum	Red Maple	10	20	Good	
329	Fagus grandifolia	American Beech	20	25	Good	
330	Fagus grandifolia	American Beech	20	25	Good	
331	Fagus grandifolia	American Beech	20	25	Good	
332	Fagus grandifolia	American Beech	20	25	Good	
333	Acer rubrum	Red Maple	10	20	Good	
334	Acer rubrum	Red Maple	10	20	Good	
335	Fagus grandifolia	American Beech	10	20	Good	
336	Fagus grandifolia	American Beech	10	20	Good	
337	Ulmus americana	American Elm	11	20	Fair	
338	Quercus bicolor	Swamp White Oak	11	20	Good	
339	Ulmus americana	American Elm	11	20	Fair	
340	Ulmus americana	American Elm	11	20	Fair	
341	Ulmus americana	American Elm	11	20	Fair	
342	Tilia americana	Basswood	17	25	Fair	* a few 2" leaders, 10' trunk intact
343	Betula peltifolia	Yellow Birch	8	20	Good	
344	Fagus grandifolia	American Beech	20	25	Good	
345	Quercus rubra	Red Oak	20	25	Good	
346	Quercus rubra	Red Oak	20	25	Good	
347	Quercus bicolor	Swamp White Oak	21	25	Good	
348	Quercus bicolor	Swamp White Oak	21	25	Good	
349	Quercus bicolor	Swamp White Oak	21	25	Good	
350	Populus grandidentata	Eastern Cottonwood	30	35	Good	
401	Populus grandidentata	Eastern Cottonwood	30	35	Good	
402	Tilia americana	Basswood	12	20	Fair	
403	Quercus bicolor	Swamp White Oak	9	20	Good	
404	Quercus bicolor	Swamp White Oak	9	20	Good	
405	Ulmus americana	American Elm	10	20	Good	
406	Ulmus americana	American Elm	10	20	Good	
407	Ulmus americana	American Elm	10	20	Good	
408	Ulmus americana	American Elm	10	20	Good	
409	Ulmus americana	American Elm	10	20	Good	
410	Ulmus americana	American Elm	10	20	Good	
411	Fagus grandifolia	American Beech	10	20	Good	
412	Tilia americana	Basswood	10	20	Fair	
413	Ulmus americana	American Elm	10	20	Good	
414	Ulmus americana	American Elm	10	20	Good	
415	Tilia americana	Basswood	10	20	Fair	
416	Fagus grandifolia	American Beech	10	20	Good	
417	Ulmus americana	American Elm	10	20	Good	
418	Ulmus americana	American Elm	10	20	Good	
419	Ulmus americana	American Elm	10	20	Good	
420	Ulmus americana	American Elm	10	20	Good	
421	Ulmus americana	American Elm	10	20	Good	
422	Ulmus americana	American Elm	10	20	Good	
423	Ulmus americana	American Elm	10	20	Good	
424	Ulmus americana	American Elm	10	20	Good	
425	Ulmus americana	American Elm	10	20	Good	
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427	Ulmus americana	American Elm	10	20	Good	
428	Ulmus americana	American Elm	10	20	Good	
429	Ulmus americana	American Elm	10	20	Good	
430	Ulmus americana	American Elm	10	20	Good	
431	Ulmus americana	American Elm	10	20	Good	
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433	Ulmus americana	American Elm	10	20	Good	
434	Ulmus americana	American Elm	10	20	Good	
435	Ulmus americana	American Elm	10	20	Good	
436	Ulmus americana	American Elm	10	20	Good	
437	Ulmus americana	American Elm	10	20	Good	
438	Ulmus americana	American Elm	10	20	Good	
439	Ulmus americana	American Elm	10	20	Good	
440	Ulmus americana	American Elm	10	20	Good	
441	Ulmus americana	American Elm	10	20	Good	
442	Ulmus americana	American Elm	10	20	Good	
443	Ulmus americana	American Elm	10	20	Good	
444	Ulmus americana	American Elm	10	20	Good	
445	Ulmus americana	American Elm	10	20	Good	
446	Ulmus americana	American Elm	10	20	Good	
447	Ulmus americana	American Elm	10	20	Good	
448	Ulmus americana	American Elm	10	20	Good	
449	Ulmus americana	American Elm	10	20	Good	
450	Ulmus americana	American Elm	10	20	Good	

PROPERTY DESCRIPTION PER SURVEY BY BOSS ENGINEERING, JOB NO. 2-98017, DATED 7-8-06, LAST REVISED 10-26-08

Part of the Northwest 1/4 of Section 13, T18N-R06E, C18W, Gallia County, Michigan, more particularly described as follows: Commencing at the northeast corner of said Section 13; thence along the East line of said Section 13 and the westerly line of Hogarty Road (33 feet wide 1/2 right of way), 204.44 feet to the POINT OF BEGINNING of the Parcel to be described; thence continuing along the East line of said Section 13 and the westerly line of Hogarty Road (33 feet wide 1/2 right of way), 204.20 feet (previously recorded as 201.18 feet); thence S 89°20'00" W, 300.30 feet (previously recorded as 311.18 feet); thence N 0°00'10" W, 300.30 feet (previously recorded as 201.18 feet); thence N 89°20'00" E, (previously recorded as N 89°20'00" E), 1370.17 feet, to the POINT OF BEGINNING, containing 3.47 acres, more or less, and subject to the rights of the public over the existing Hogarty Road. Also subject to any other assessments or encumbrances of record.

**GENERAL SURVEY NOTES:**

- BOUNDARIES ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, RECORD BOUNDARIES ARE FROM A PREVIOUS SURVEY BY BOSS ENGINEERING, JOB NO. 2-98017, DATED 7-8-06, LAST REVISED 10-27-08.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE PROPERTY TO ACCURATELY LOCATE SUCH UTILITIES.
- DOCUMENTS OR RESTRICTIONS OF RECORD NOT REFLECTED ON THIS DRAWING MAY EXIST.
- TREE INVENTORY WAS COMPLETED BY BOSS ENGINEERING ON SEPTEMBER 26, 2023. WEATHER FIELD LOCATED BY BOSS ENGINEERING ON SEPTEMBER 15, 18 & 21, 2023.

LEGEND

### TREE WITH TAG

### TREE TO BE REMOVED

**BOSS ENGINEERING**  
Engineers Surveyors Planners Landscape Architects  
3111 E. GRAND RIVER AVE.  
HOWELL, MI 48843  
517-596-8836 FAX 517-548-1670

**HERO HAGGERTY, LLC**  
WETLAND & TREE SURVEY  
PROJECT: PARCEL #22-13-200-018  
DRAWN BY: MP/AER  
FIELD CREW: CL/AR  
CHECKED BY: MP/AER  
DATE: 10-31-23

**giffels webster**  
Engineers Surveyors Planners Landscape Architects  
1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5088  
www.giffelswebster.com

**SKILKEN GOLD**  
Real Estate Development  
4270 MORSE ROAD  
COLUMBUS, OH 43230  
614.418.3100

**MITIGATION AREA TREE REMOVALS**

SHEETZ, NOWI, M (HAGGERTY)

CITY OF NOVI  
OAKLAND COUNTY  
MICHIGAN

Date: 11.08.2023  
Scale: 1"=50'  
Sheet: C15  
Project: 20415.00

**giffels webster**  
Engineers Surveyors Planners Landscape Architects  
1025 East Maple Road  
Suite 100  
Birmingham, MI 48009  
p (248) 852-3100  
f (313) 962-5088  
www.giffelswebster.com

Executive: NS  
Manager: NS  
Designer: NS  
Quality Control: JR  
Sector: 13  
T-01-N-R-08-E

Professional Seal

**811**  
Know what's below.  
Call before you dig.

DATE: 02.13.2024  
ISSUE: OWNER REVIEW

03.04.2024 SUBMIT PRELIMINARY SITE PLAN

06.07.2024 RESUBMIT PRELIMINARY SITE PLAN

07.12.2024 REVISED LAYOUT PER WETLAND COMMENTS

07.31.2024 RESUBMIT PRELIMINARY SITE PLAN

PROJECT: PARCEL #22-13-200-018  
DRAWN BY: MP/AER  
FIELD CREW: CL/AR  
CHECKED BY: MP/AER  
DATE: 10-31-23

SCALE: 1"=50'  
JOB NO: 22-455-1  
DATE: 10-31-23  
SHEET NO: 1 OF 1







PROJECT NAME:  
NEW SHEETZ STORE

NOVI  
W. 12 MILE RD

39471 W. 12 Mile Road  
Novi, MI

OWNER:  
SHEETZ, INC.

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

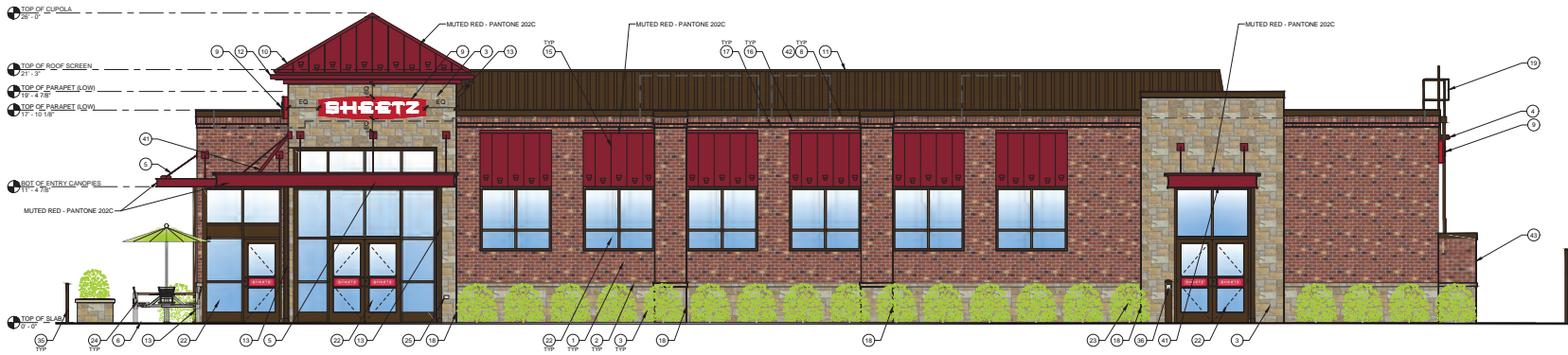
KEYPLAN

ISSUE: 11.20.2023  
SITE ID NO:  
AUTHOR BY: RJK  
REVIEW BY: RJK  
VERSION: 6132L\_v1.5

EXTERIOR  
ELEVATIONS

A200

PRELIMINARY ELEVATIONS



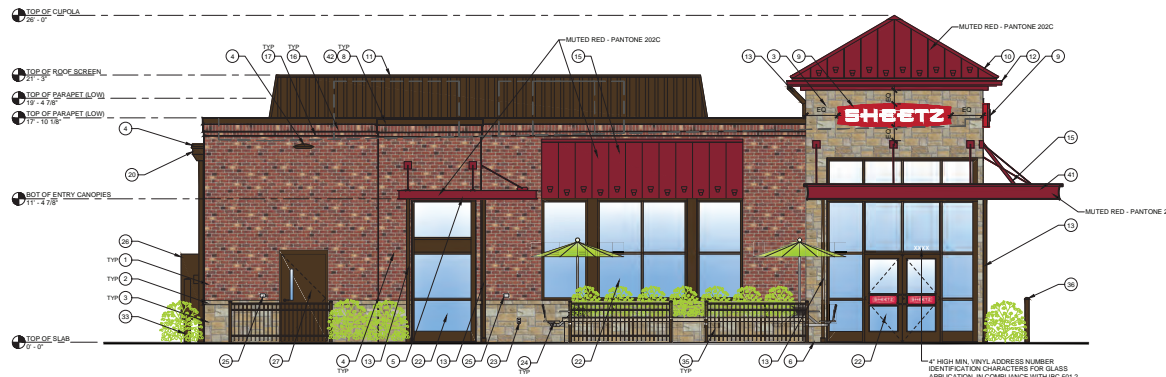
1 FRONT ELEVATION  
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURES EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 5005 JOINT SEALANTS. GENERAL BUILDING FACADE WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

- BRICK VENEER, COLOR: 880 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC.
- CAST STONE SILL, COLOR: CRAB ORCHARD. SEE MASONRY SPEC.
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB ORCHARD. SEE MASONRY SPEC.
- EXTERIOR LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- ARCHITECTURAL CANOPY, COLOR: PANTONE 200C. PREMIUM TWO-COAT KYMAR FINISH.
- BRICK PAVEMENT WALKWAY.
- NOT USED.
- METAL COPING, COLOR: DARK BRONZE.
- WALL MOUNTED BUILDING SIGN. SEE SHEET A200.
- STANDING SEAM METAL ROOF, COLOR: PANTONE 200C.
- ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE.
- GUTTER, COLOR TO MATCH CUPOLA COLOR.
- DOWNSPOUT, COLOR: DARK BRONZE.
- DRIVE THRU WINDOW (IF APPLICABLE).
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY. ROOF COLOR: PANTONE 200C. FRAME COLOR: DARK BRONZE.
- BRICK SOLDIER COURSE, COLOR: 880 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC.
- BRICK ROWLOCK COURSE, COLOR: 880 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC.
- CONTROL JOINT. SEE MASONRY SPEC.
- STEEL ROOF LADDER AND CRANNY POST, COLOR: DARK BRONZE.
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE.
- OVERFLOW SCUPPER.
- ALUMINUM STOREFRONT SYSTEM. SEE A800.
- EXTERIOR HOSE BIB. REFER TO PLUMBING DRAWINGS.
- OUTDOOR FURNITURE.
- ELECTRICAL RECEPTACLE. REFER TO ELECTRICAL DRAWINGS.
- ELECTRICAL EQUIPMENT. REFER TO ELECTRICAL DRAWINGS.
- HM DOOR AND FRAME, COLOR: DARK BRONZE.
- EMERGENCY WATER CONNECTION. REFER TO PLUMBING DRAWINGS.
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE.
- PROPANE LOCKER.
- ICE MERCHANTISER.
- RTI FILLPORT.
- STEEL BOLLARD, COLOR: DARK BRONZE.
- CO2 FILLPORT.
- DECORATIVE ALUMINUM FENCE, COLOR: DARK BRONZE.
- AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE.
- GAS METER AND RISER. REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE.
- NOT USED.
- NOT USED.
- E-STOP & SIGN. REFER TO LIST DRAWINGS.
- CURVED FASCIA ATTACHMENT.
- EXTERIOR LIGHTING AT METAL COPING AND FASCIA. SEE A310-A312 AND E11 FOR ADDITIONAL INFORMATION.
- MASONRY SCREEN WALL.

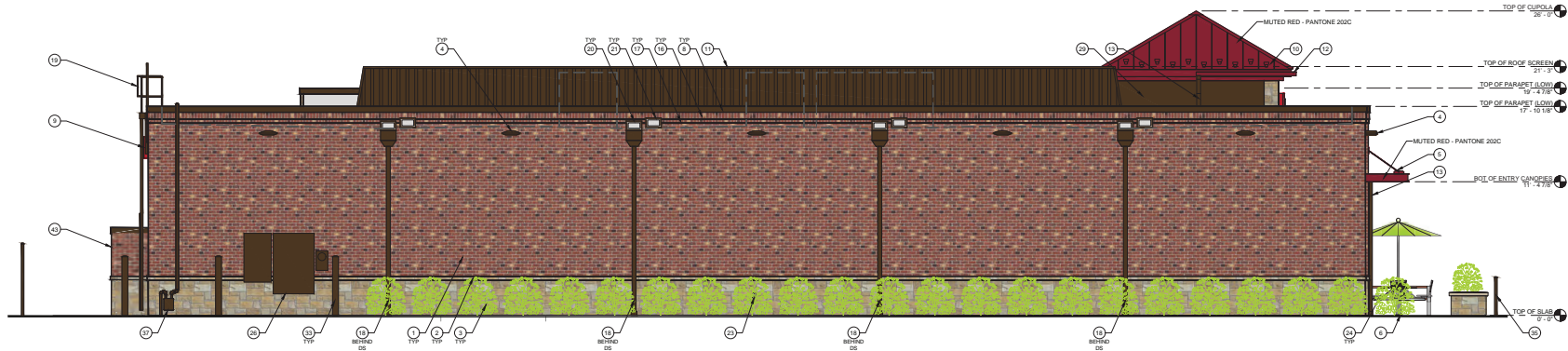


2 LEFT ELEVATION  
1/4" = 1'-0"



OUTLINE AREA = 14.84 SQ. FT.  
BOX AREA = 16.50 SQ. FT.  
TYPICAL OF TWO  
PROJECTS 3" OFF FACE OF BUILDING

A WALL MOUNTED "SHEETZ" BUILDING SIGN  
1/2" = 1'-0"



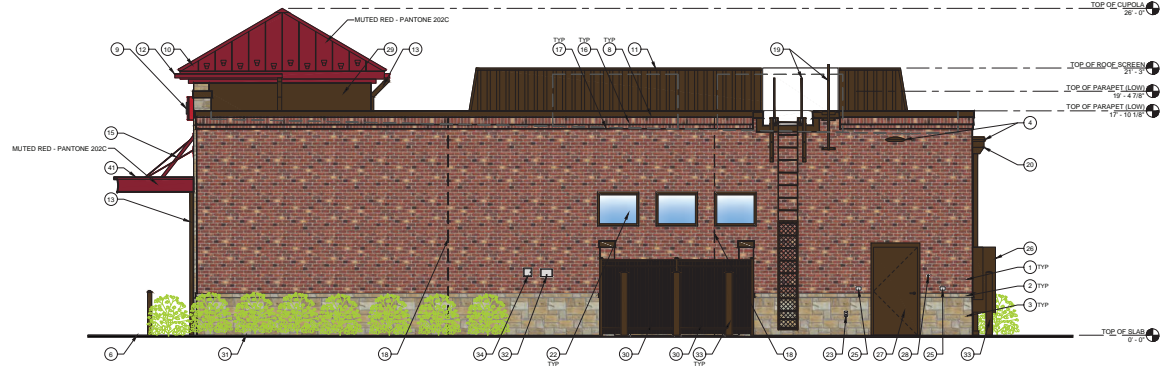
3 REAR ELEVATION  
1/4" = 1'-0"

TYPICAL EXTERIOR ELEVATION NOTES:

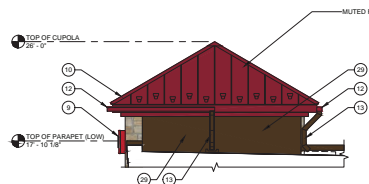
- ALL LIGHTS SHOWN ABOVE AND/OR BELOW DOORS OR WINDOWS ARE TO BE CENTERED ON THE DOOR OR WINDOW UNLESS NOTED OTHERWISE.
- FIXTURE EQUIPMENT BETWEEN TWO DOORS OR WINDOWS ARE TO BE CENTERED EQUALLY.
- EXTERIOR SEALANT FOR STONE SHALL COMPLY WITH SECTION 07 5005 JOINT SEALANTS: GENERAL BUILDING FACADES: WEATHER SEALANT AND SHALL MATCH THE COLOR OF THE STORE.

EXTERIOR ELEVATION KEYNOTES:

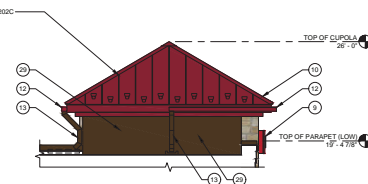
- BRICK VENEER, COLOR: #80 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC.
- CAST STONE SILL, COLOR: CRAB OR CHARD. SEE MASONRY SPEC.
- ANCHORED CAST STONE MASONRY VENEER, COLOR: CRAB OR CHARD. SEE MASONRY SPEC.
- EXTERIOR LIGHT FIXTURE. REFER TO ELECTRICAL DRAWINGS.
- ARCHITECTURAL CANOPY, COLOR: PANTONE 202C. PREMIUM TWO-COAT KYMAR FINISH.
- BRICK PAVER WALKWAY.
- NOT USED.
- METAL COPING, COLOR: DARK BRONZE.
- WALL MOUNTED BUILDING SIGN. SEE SHEET A200.
- STANDING SEAM METAL ROOF, COLOR: PANTONE 202C.
- ROOF EQUIPMENT SCREEN, COLOR: DARK BRONZE.
- GUTTER, COLOR TO MATCH CUPOLA COLOR.
- DOWNSPOUT, COLOR: DARK BRONZE.
- DRIVE THRU WINDOW (IF APPLICABLE).
- METAL STANDING SEAM SHED STYLE AWNING AND FRAME ASSEMBLY. ROOF COLOR: PANTONE 202C. FRAME COLOR: DARK BRONZE.
- BRICK SOLDIER COURSE, COLOR: #80 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC.
- BRICK ROWLOCK COURSE, COLOR: #80 BY CONTINENTAL BRICK COMPANY. SEE MASONRY SPEC.
- CONTROL JOINT, SEE MASONRY SPEC.
- STEEL ROOF LADDER AND CRANKY POST, COLOR: DARK BRONZE.
- STANDARD THROUGH WALL SCUPPER WITH CONDUCTOR HEAD & DOWNSPOUT, COLOR: DARK BRONZE.
- OVERFLOW SCUPPER.
- ALUMINUM STOREFRONT SYSTEM. SEE #800.
- EXTERIOR HOSE BIB, REFER TO PLUMBING DRAWINGS.
- OUTDOOR FURNITURE.
- ELECTRICAL RECEPTACLE, REFER TO ELECTRICAL DRAWINGS.
- ELECTRICAL EQUIPMENT, REFER TO ELECTRICAL DRAWINGS.
- HMDOOR AND FRAME, COLOR: DARK BRONZE.
- EMERGENCY WATER CONNECTION, REFER TO PLUMBING DRAWINGS.
- SEAMLESS ALUM PANEL SYSTEM WITH EXPOSED FASTENERS, COLOR: DARK BRONZE.
- PROPANE LOCKER.
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- STEEL BOLLARD, COLOR: DARK BRONZE.
- CO2 FILLPORT.
- DECORATIVE ALUMINUM FENCE, COLOR: DARK BRONZE.
- AUTOMATIC DOOR PUSH PLATE AND BOLLARD, BOLLARD COLOR: DARK BRONZE.
- GAS METER AND RISER, REFER TO CIVIL UTILITY PLAN, COLOR: DARK BRONZE.
- NOT USED.
- NOT USED.
- E-STOP & SIGN, REFER TO LIST DRAWINGS.
- CURVED FASCIA ATTACHMENT.
- EXTERIOR LIGHTING AT METAL COPING AND FASCIA. SEE A310-A312 AND E1 FOR ADDITIONAL INFORMATION.
- MASONRY SCREEN WALL.



4 RIGHT ELEVATION  
1/4" = 1'-0"



5 CUPOLA ELEVATION FROM ROOF  
1/4" = 1'-0"



6 CUPOLA ELEVATION FROM ROOF  
1/4" = 1'-0"

PROJECT NAME:  
**NEW SHEETZ STORE  
NOVI**

Int. of West 12 Mile Road  
and Haggerty Road  
Novi  
Michigan

OWNER:  
**SHEETZ, INC.**

5700 SIXTH AVE.  
ALTOONA, PA 16602

CONSULTANT

PROFESSIONAL

KEYPLAN

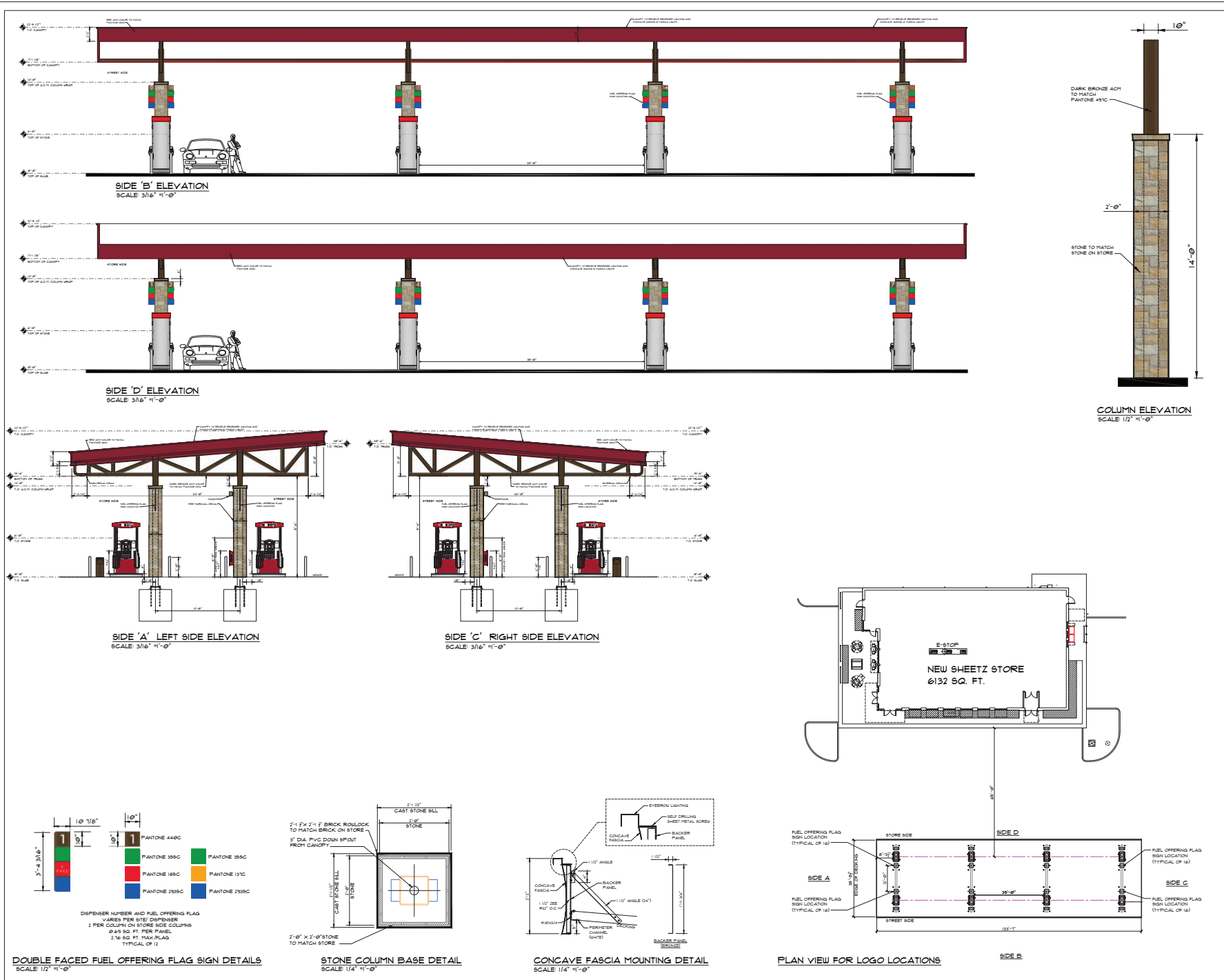


MARK	DATE	DESCRIPTION
DWG	8/20/24	REVISED PER LATEST SITE PLAN

ISSUE: **05-16-24**  
PROJECT NO.:  
AUTHOR BY: DNG  
REVIEW BY:  
SHEET TITLE

GAS AWNING

**AWNING**



G:\Sheetz\interior\Novi\241016\_Novi\Haggerty\_Road\Sign\_Packaging\Novi\Haggerty-Awning.dwg, 8/7/2024, 4:00:35 PM

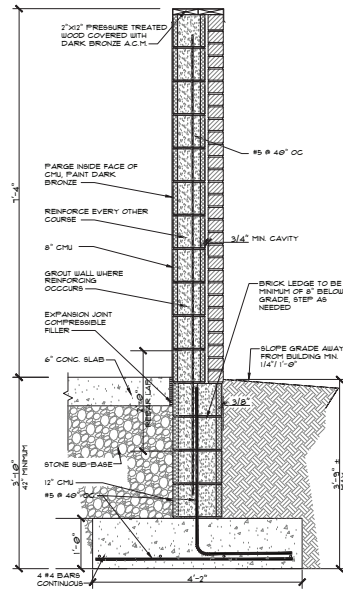


PROJECT NAME:  
**NEW SHEETZ STORE  
NOVI**

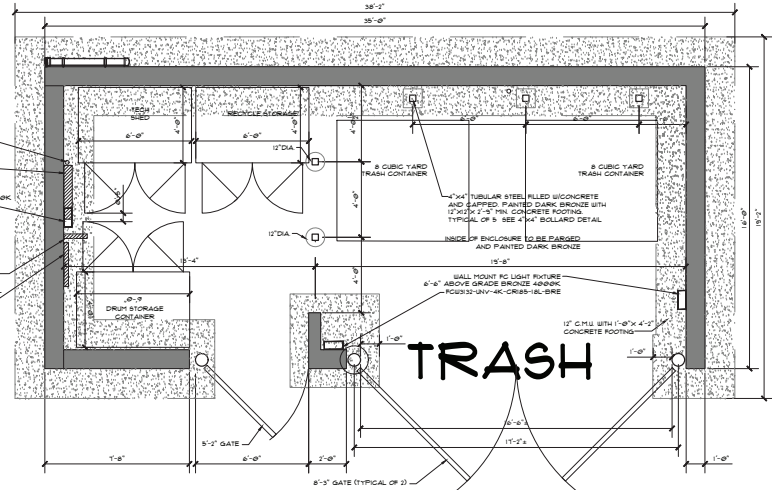
Int. of West 12 Mile Road  
and Haggerty Road  
Novi  
Michigan

OWNER:  
SHEETZ, INC.

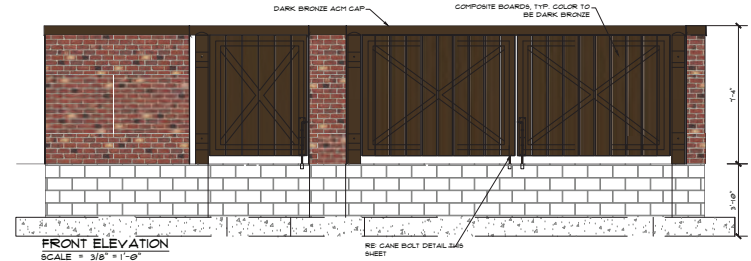
5700 SIXTH AVE.  
ALTOONA, PA 16602



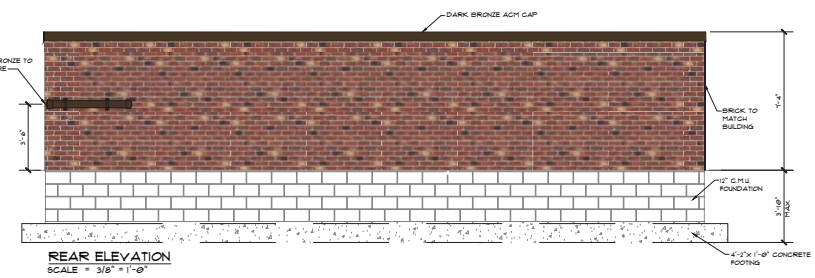
**SECTION DETAIL**  
SCALE: 3/4" = 1'-0"



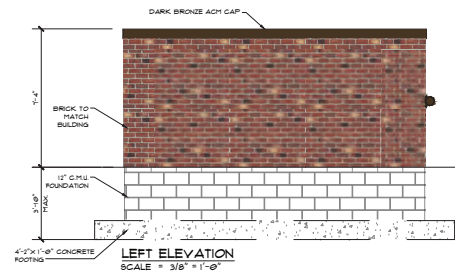
**PLAN VIEW**  
SCALE = 3/8" = 1'-0"



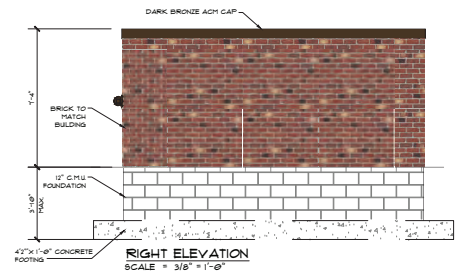
**FRONT ELEVATION**  
SCALE = 3/8" = 1'-0"



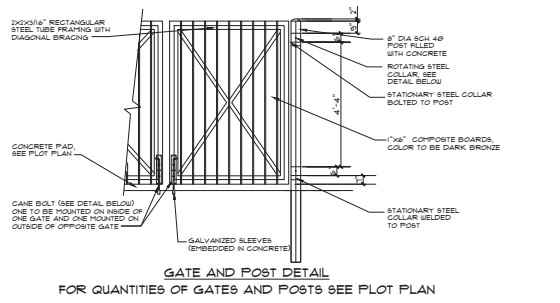
**REAR ELEVATION**  
SCALE = 3/8" = 1'-0"



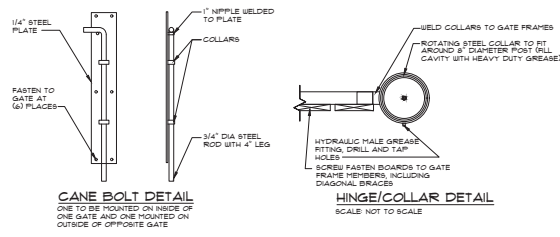
**LEFT ELEVATION**  
SCALE = 3/8" = 1'-0"



**RIGHT ELEVATION**  
SCALE = 3/8" = 1'-0"

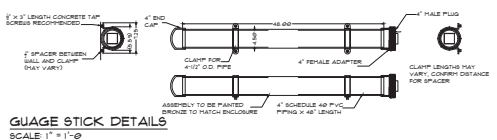


**GATE AND POST DETAIL**  
FOR QUANTITIES OF GATES AND POSTS SEE PLOT PLAN



**CANE BOLT DETAIL**  
ONE TO BE MOUNTED ON INSIDE OF ONE GATE AND ONE MOUNTED ON OUTSIDE OF OPPOSITE GATE

**HINGE/COLLAR DETAIL**  
SCALE: 1" = 1'-0"

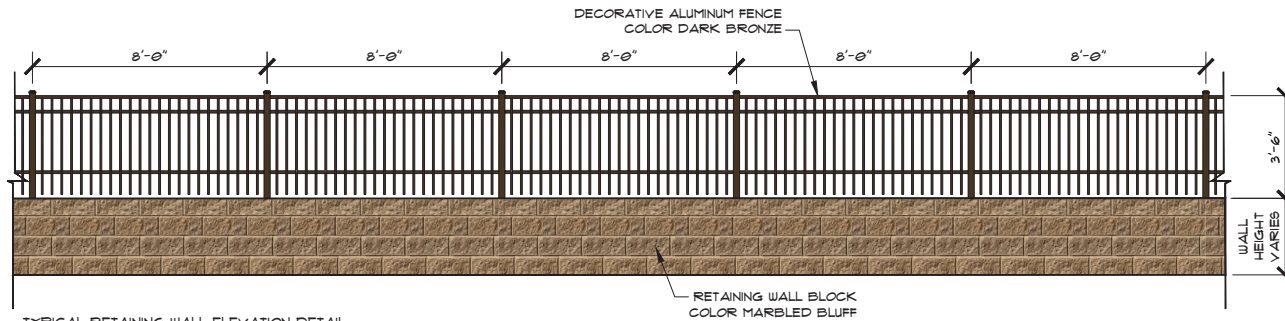


**GAUGE STICK DETAILS**  
SCALE 1" = 1'-0"

MARK	DATE	DESCRIPTION
DNC 08-01-24		REVISED PER LATEST PLAN

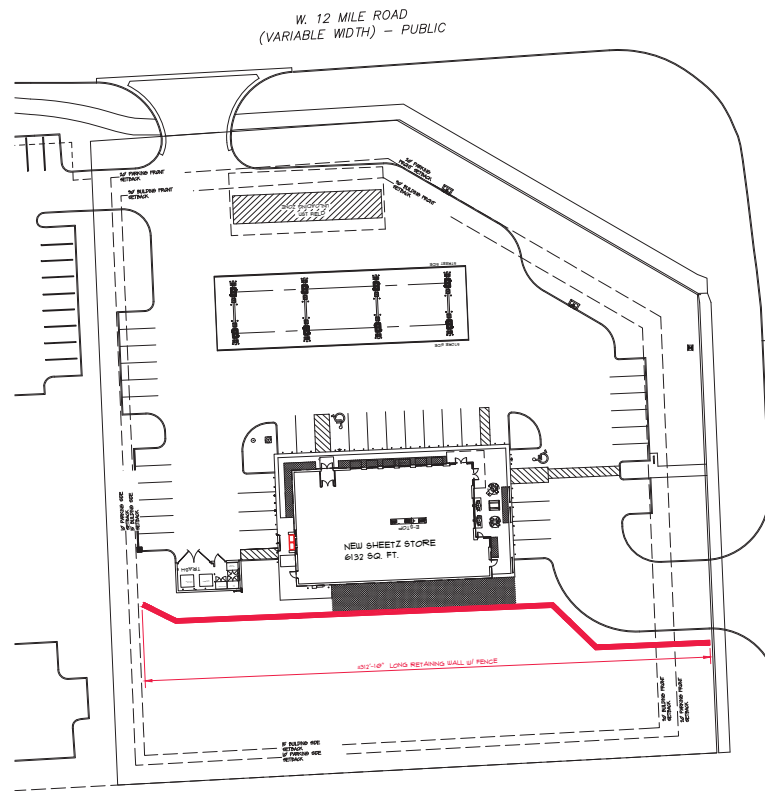
ISSUE: **05-16-24**  
PROJECT NO:  
AUTHOR BY: DNC  
REVIEW BY:  
SHEET TITLE

**TRASH ENCLOSURE**



TYPICAL RETAINING WALL ELEVATION DETAIL  
SCALE: 1/2" = 1'-0"

\*FINAL ENGINEERED WALL DESIGN TO BE COMPLETED WITH CIVIL DRAWING SET



SITE PLAN LOCATION  
SCALE: N.T.S.

Convenience Architecture  
and Design P.C.  
351 Sheetz Way, Claysburg, PA 16625  
phone (814) 239-6013  
email toolumbu@sheetz.com  
web site www.sheetz.com

PROJECT NAME:  
**NEW SHEETZ STORE  
NOVI**

Int. of West 12 Mile Road  
and Haggerty Road  
Novi  
Michigan

OWNER:  
SHEETZ, INC.

5700 SIXTH AVE.  
ALTOONA, PA 16602

HAGGERTY ROAD  
(VARIABLE WIDTH) - PUBLIC

MARK	DATE	REVISION DESCRIPTION
DWG	05-17-24	REVISED PER LATEST SITE PLAN

ISSUE: **05-17-24**  
PROJECT NO:  
AUTHOR BY: DNG  
REVIEW BY:  
SHEET TITLE

PERIMETER  
WALL ELEVATIONS



APPLICANT NARRATIVE

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LAW OFFICES  
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October 4, 2024

**Via Electronic Message Only**

Lindsay Bell  
City of Novi Planning Department  
45175 West 10 Mile Road  
Novi, Michigan 48375  
[lbell@cityofnovi.org](mailto:lbell@cityofnovi.org)

Re: JSP23-33 Sheetz Third Re-Submittal of Revised  
Preliminary Site Plan

Dear Ms. Bell:

Please accept this submission in response to your email of September 19, 2024 along with the Plan Review Center report dated September 18, 2024. With this submission we believe that we have complied with the requests of the City of Novi and would respectfully request that we be placed on the Planning Commission agenda for October 30, 2024 where we seek preliminary site plan approval, woodland permit, wetland permit, and storm water management plan.

In your email of September 19, 2024, you indicated that "wetland and landscape reviews are not recommending approval due to unsupported deviations from ordinance requirements. Other reviews are recommending approval or conditional approval." With this submission we believe we are now satisfying the wetland mitigation requirements and we have decreased the number of landscape deviations. We believe the only remaining requested landscape deviations are be supported by the administration.

You will recall that in our prior submissions we were short square footage with respect to wetland mitigation. We have been working diligently with the city administration to address this condition given the constraints of the site. You had acknowledged in your September 19, 2024 review that our prior efforts to redesign the site had lessened the prior deficiency by more than one half, which at that time the deficiency was .15 acre. We had requested a wetland variance (from City Council) and offered to place 4,23 acres of woodland in a conservation easement and to purchase EGLE wetland credits for the shortage. However, since that time we have continued our efforts and

we have been able to achieve all wetland mitigation square footage required by the ordinance. Therefore, it will no longer be necessary for the City to consider our wetland variance request, the EGLE credits or the previously proposed conservation easement as we now believe that we are in complete satisfaction of the city wetland ordinance.

I am including herewith the initial report from our wetland consultant, ASTI, dated May 1, 2024, which contains all the necessary background information on the site and I am also including Sheets C13, C14, and C15 which contain the now revised wetland impact plan, the mitigation plan, and the mitigation area tree removals. We believe we are now in compliance with the wetland ordinance.

I have also attached hereto a letter dated October 2, 2024 from Giffels Webster which address all of the comments in the plan review center report of September 18, 2024.

We acknowledge that we will need to obtain a ZBA variance for the loading zone in the front yard and we will be submitting a variance application within the next week to the ZBA.

I have also included herein a color rendering of the site plan to be used for the planning commission presentation.

Please confirm that we will be placed on the October 30, 2024 Planning Commission agenda to seek the necessary approvals.

Please contact me directly if you have any questions regarding this submittal or require any additional information.

Very truly yours,

LANDRY, MAZZEO, DEMBINSKI & STEVENS, P.C.



David B. Landry

DBL/sh

CC via e-mail: Nancy Standish  
Dana Knox  
Kareem Amer  
David Bruckelmeyer

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

## Planning Review

SHEETZ

JSP 23-33

September 18, 2024

### PETITIONER

Silken Gold

### REVIEW TYPE

2<sup>nd</sup> Revised Preliminary Site Plan

### PROPERTY CHARACTERISTICS

Section	13	
Site Location	39471 Twelve Mile Road; 22-13-200-016	
Site School	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	OST Office Service Technology
	East	(Farmington Hills – OS-4 Office Research)
	West	B-3 General Business District
	South	OST Office Service Technology
Current Site Use	BP Gas Station	
Adjoining Uses	North	Medical office building
	East	Office Building
	West	Shelter Bay Animal Hospital
	South	Vacant
Site Size	2.34 acres	
Plan Date	July 31, 2024	

### PROJECT SUMMARY

The applicant is proposing to demolish an existing BP gas station at 39471 Twelve Mile Road to construct a new 6,132 square foot convenience store with eight double-sided fueling stations. Existing underground storage tanks will be removed and replaced. Wetland and woodland impacts will require permitting.

### RECOMMENDATION

**Approval of the Preliminary Site Plan is conditionally recommended based on the applicant being able to satisfactorily address the wetland issue.** Currently, Landscape and Wetlands are not recommending approval of the Preliminary Site Plan due to unsupported departures from Ordinance requirements. Planning, Engineering, Woodland, Fire, Façade, and Traffic reviews are recommending approval or conditional of the Preliminary Site Plan.

## ORDINANCE REQUIREMENTS

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This project was reviewed for compliance with the City of Novi Zoning Ordinance and any other applicable provisions of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address any items in **bold** with the next review.

1. Use Agreement: Review of an existing Use Agreement for the property is currently being conducted. For this parcel, the document states the use “shall be limited to the sale of gasoline, the sale of food and related sundry items, and the operation of an auto wash and accessory uses customarily incidental to the sale of gasoline and the operation of an auto wash, but not including servicing and repair of automobiles.” **It is determined that the sale of alcohol is considered customarily incidental to the use described in the Use Agreement. The City Attorney concurs that an amendment of the agreement is not warranted by the proposed development.**
2. Wetland Mitigation (Code of Ordinances, Chapter 12): The original site plan submittal indicated 0.13 acre of impact to forested wetland, and 0.50 acre of impact to scrub-shrub wetland. Calculations indicated approximately 1.0 acre of wetland mitigation was required, but they were only proposing to construct 0.66 acre. Staff advised the applicant to reduce the wetland impacts as much as possible since the amount of wetland mitigation proposed was deficient by 0.34-acre. The plans have been revised to remove the access drive at the rear of the building and now 0.08 acre of forested wetland and 0.44 acre of shrub-scrub wetland impacts are proposed. This results in a total mitigation requirement of 0.82 acre.

Sheet 14 of the site plan shows off-site wetland mitigation will be proposed as it cannot be accommodated on-site. The plan indicates a parcel to the south, 27629 Haggerty (not adjacent but nearby) will be used in part to construct 29,030 square feet (0.66 acre) of mitigation. **The amount of mitigation proposed is deficient by 6,695 square feet (0.15-acre).**

The applicant narrative requests that the City allow the lesser mitigation amount, with the condition that all of the mitigation area would be “higher quality wetland replacement i.e., forested wetland” (as opposed to the scrub-shrub type which is primarily what is being impacted on the Sheetz site), as well as the preservation of 4.23 acres of adjacent woodland/wetland in a permanent conservation easement. They would also purchase EGLE wetland bank credits for the remaining 6,695 square feet of mitigation, if authorized by EGLE. Note that EGLE has determined that the wetland present is not regulated according to their criteria.

**Since the last review, the applicant has redesigned the site to reduce the wetland impacts proposed. However, they are still deficient in the amount of wetland mitigation required under the terms of the ordinance. This type of departure from the Code of Ordinances would not be able to be approved by the Planning Commission. If the plan does not meet the requirements of the Ordinance, they must deny the wetland permit, and possibly deny the site plan as well since it hinges on the wetland permit to allow the impacts.** If denied, the applicant could then appeal the denial to City Council.

Staff has not supported previous variance requests from the Wetland and Watercourse Protection Ordinance in nearly all instances. However, we do acknowledge that the applicant has redesigned the site to lessen the deficiency by more than half (0.15-acre now vs. 0.34 acre previously). The placement of a conservation easement around the wetland mitigation area and surrounding existing woodland and wetland areas (4.23 acres total) would further protect the natural resources in the nearby area. Finally, the purchase of EGLE wetland bank credits has been authorized by Council in certain circumstances. See the applicant’s narrative for the justification of their request. Staff encourages the applicant to fully explore the additional locations for wetland mitigation as suggested in the Wetland Review letter prior to the Planning Commission public hearing, as we would prefer the matter be eligible to be approved.

3. Woodland Protection (Code of Ordinances, Chapter 37): The site plan indicates impacts to protected woodland trees on site with 33 trees to be removed, resulting in 84 replacement credits required. **To construct the wetland mitigation areas, 27 woodland trees will need to be removed from the off-site property resulting in 62 additional replacement credits required.**
4. Alcohol Sales (Sec 4.29.2): The sale of Alcohol is permitted as an accessory use, subject to obtaining a liquor license and the following:
  - a. The applicant or licensee maintains a minimum inventory on the premises, excluding alcoholic and motor vehicle fuel, of not less than \$250,000, at cost, of those goods and services customarily marketed by approved types of businesses
  - b. The site of payment and selection of alcoholic liquor is not less than 50 feet from that point where motor vehicle fuel is dispensed.
  - c. The building from which alcoholic liquor is sold provides not less than 5,000 feet of gross leasable floor area.

**The applicant confirms sale of alcohol is proposed and has provided information to verify conformance with each of the above conditions. The applicant indicates no on-premises alcohol consumption is permitted. They will seek a retail tier, off-premises license.**

5. Outdoor Storage (Sec. 3.10.2.B): " All business, servicing or processing, except for off-street parking, loading/unloading and those outdoor sales uses permitted and regulated in Section 3.1.11.C, shall be conducted within completely enclosed buildings." The plans show the placement of propane outside the building, which is required due to combustibility. The propane will be screened as shown on the plan. The other merchandise (antifreeze/washer fluid, and ice) have been removed.
6. Curbing at Building: Section 5.5.3.C.ii.i states that wheel stops or raised curbing shall be installed to prevent vehicles from encroaching into the sidewalk. The sidewalk around the building appears to be flush with the parking lot pavement. The applicant has modified the plans to replace the bollards with bumper blocks.
7. Loading Area (Sec. 5.4.2): A loading zone is proposed as required in the B-3 district, but the location is in the front yard, which is not permitted. **The applicant has indicated that the location is necessary to be near the underground fuel tanks. A Zoning Board of Appeals variance will need to be requested.**
8. Noise Impact Statement (Sec. 5.14.10.B): A noise impact statement has been provided as required. The statement includes modeling of the anticipated noise levels of mechanical equipment, which is shown to comply with both City of Novi and City of Farmington Hills performance standards for noise.
9. Signage: Sign permits will need to be applied for through the Code Compliance Division (248.735-5678).
10. Photometric Plan (Sec. 5.7): The photometric plan is not required to go before the Planning Commission for this project, but it will be a requirement for Final Site Plan approval.
11. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

## **OTHER REVIEWS**

- a. Engineering Review: Engineering is recommending **approval** of the Preliminary Site Plan and Stormwater Management Plan, with comments to be addressed in the Final Site Plan submittal. (See Engineering Review Letter)

- b. Landscape Review: Landscape is **not recommending approval at this time** as there are several unsupported waivers required for the current layout. (See Landscape Review Letter & Chart)
- c. Wetland Review: Wetlands is **not recommending approval at this time** because wetland mitigation plans do not meet the requirements of the Wetland and Watercourse Protection Ordinance. (See Wetland Review)
- d. Woodland Review: Woodlands is **recommending approval**. (See Woodland Review)
- e. Traffic Review: Traffic is **recommended approval** of the revised Preliminary Site Plan, with comments to be adequately addressed at the time of Final Site Plan submittal (See Traffic Review).
- f. Façade Review: Façade **recommended approval** of the revised Preliminary Site Plan – the elevations are in full compliance with the Ordinance. (See Façade Review)
- g. Fire Review: Fire **recommends approval** of the Preliminary Site Plan with comments to be addressed in Final Site Plan.

### **NEXT STEP: PLANNING COMMISSION AND RESPONSE LETTER**

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The Preliminary Site Plan, Woodland Permit, Wetland Permit, and Stormwater Management Plan will need approval from the Planning Commission. Although not all reviewers are recommending approval, at this time the applicant wishes to move forward with requesting the necessary waivers and variances. Please provide the following via email **by Tuesday, October 22<sup>th</sup> in order to be on the Wednesday, October 30<sup>th</sup> agenda**:

- 1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE. (This has been provided).**
- 2. A response letter addressing ALL the comments from ALL the review letters. Please review each of the letters provided and indicate whether changes to the plans will be made to achieve greater compliance with the Ordinance, or if waivers/variances are requested.
- 3. A color rendering of the Site Plan (to be used for Planning Commission presentation).

### **ZONING BOARD OF APPEALS**

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Any variances shall be requested from the Zoning Board of Appeals once a Planning Commission meeting has been scheduled. Please submit this [application](#) to Community Development Account Clerks to go before the Zoning Board of Appeals. The deadline for Zoning Board of Appeals applications is typically the first of the month for the following month's meeting.

### **CITY COUNCIL**

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After the Planning Commission meeting, the applicant may choose to appeal the decision of the Planning Commission to City Council.

### **FINAL SITE PLAN SUBMITTAL**

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If the Planning Commission, ZBA and City Council issue the necessary approvals, the applicant can move forward to Final Site Plan review. Please submit the following to begin this step:

- 1. **Six** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review. Please also include a PDF copy.
- 2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
- 3. [Final Site Plan Application](#)
- 4. [Final Site Plan Checklist](#)
- 5. [No Revision Façade Affidavit](#) (only if no façade changes have been made) – if changes are made, include additional plan set
- 6. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)



7. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. An [Other Agencies Checklist](#)

### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### **STAMPING SET APPROVAL**

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Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **12 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

### **PRE-CONSTRUCTION MEETING**

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is recommended that you begin working with Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department after Final Site Plan approval. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248.347.0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).



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Lindsay Bell, AICP – Senior Planner



## PLANNING REVIEW CHART: B-3 General Business District

**Review Date:** September 18, 2024  
**Review Type:** Revised Preliminary Site Plan  
**Project Name:** JSP23-33 SHEETZ @ HAGGERTY/12 MILE  
**Plan Date:** July 31, 2024  
**Prepared by:** Lindsay Bell, Senior Planner  
**Contact:** E-mail: lbell@cityofnovi.org; Phone: (248) 347-0484

Items in **Bold** need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b>	Community Commercial	No change to existing zoning	Yes	
<b>Zoning</b> (Effective Dec. 25, 2013)	B-3: General Business District	B-3: General Business District	Yes	
<b>Uses Permitted</b> (Sec 3.1.12.B & C)	Sec 3.1.12.B Principal Uses Permitted.	Fueling Station – 6,132 sf with 8 2-sided pumps	Yes	Permitted Use
<b>Fueling Station Use Standards</b> (Sec 4.29.1)	Permitted use in B-3 subject to conditions:			
	A. Curb cuts shall not create traffic hazards on adjacent streets; entrances shall be minimum of 100 feet from street intersection or residential districts	Existing curb cut on 12 Mile Haggerty curb cut moved further south – meets requirement	Yes	
	B. Minimum 1 acre lot	2.34 acres	Yes	
	C. Fueling stations shall be located to minimize impact on residential, OS-1, OSC or B-1 District. Ample space provided for vehicles waiting for service; sufficient vehicle stacking space provided at pump islands so site circulation not impaired	Not adjacent to residential, OS-1 or OSC districts  No service proposed  Stacking space diagram at pump islands not provided, however it appears adequate space for several vehicles to queue without impeding flow	Yes  Yes  Yes	

Item	Required Code	Proposed	Meets Code	Comments
	D. Detached freestanding canopies shall comply with Sec. 4.19 (setback of 15 ft from ROW permitted, no signs placed on canopy_	Setback exceeds 15 feet	Yes	
	E. Storage of vehicles overnight prohibited except business vehicles (ex. wreckers)	No service repair proposed, no vehicle storage should be present on site (per notes sheet C5)	Yes	
	F. Noise impact statement required – see Section 5.14.10.B for standards	Provided – modeling shows compliance with Performance Standards	Yes	
	G. Minor auto repair	Not proposed	NA	
<b>Alcohol Sales</b> (Sec. 4.29.2)	Permitted as accessory use, subject to liquor license and the following: <ul style="list-style-type: none"> <li>• Licensee maintains minimum inventory on the premises, excluding alcoholic liquor and fuel, of not less than \$250,000 of those goods and services customarily marketed by approved types of businesses</li> <li>• The site of payment and selection of alcohol is not less than 50 feet from where fuel is dispensed</li> <li>• The building of sale provides not less than 5,000 sf of GLA</li> </ul>	Applicant states Section 4.29.2 requirements will be met  Letter from Sheetz states standards will be met	Yes	
<b>B-3 Business District Required Conditions (Sec. 3.10)</b>				
<b>Truck Well</b> (Sec. 3.10.1.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district	None proposed	NA	
<b>Height, bulk, density, and area limitations (Sec 3.1.12)</b>				

Item	Required Code	Proposed	Meets Code	Comments
<b>Frontage on a Public Street.</b> (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Haggerty and Twelve Mile	Yes	
<b>Access to Major Thoroughfare</b> (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Both are major thoroughfares	Yes	
<b>Building Height</b> (Sec. 3.1.12.D)	30 ft	26 ft at tallest point	Yes	
<b>Building Setbacks</b> (Sec 3.1.12.D)				
Front (Twelve Mile)	30 ft.	49 ft	Yes	<i>Yards with street frontage must comply with front yard setback standards (exterior side yard).</i>
Side (east - Haggerty)	30 ft.	115 ft	Yes	
Side (west)	15 ft.	62 ft	Yes	
Rear (south)	20 ft.	99 ft	Yes	
<b>Parking Setback</b> (Sec 3.1.12.D)				
Front (Twelve Mile)	20 ft.	21 ft	Yes	<i>Yards with street frontage must comply with front yard setback standards (exterior side yard).</i>
Side (east - Haggerty)	20 ft.	29 ft	Yes	
Side (west)	10 ft.	11 ft	Yes	
Rear (south)	10 ft.	69 ft.	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	See above	Yes	
<b>Minimum Lot Area</b> (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements			
<b>Off-Street Parking in Front Yard</b>	Off-street parking shall be permitted in the front yard, except that said parking	Proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
(Sec 3.6.2.E)	shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3			
<b>Setback from Residential</b> (Sec 3.6.2.L)	Property directly abutting/adjacent to residential zoning shall have minimum setback of 20 feet	Not adjacent to residential	NA	
<b>Wetland/ Watercourse Setback</b> (Sec 3.6.2.M)	25-foot setback from wetland boundary required – see section for details	Wetland buffers are not maintained – pavement within 5 feet of retaining wall adjacent to remaining wetland	<b>No</b>	<b>See Wetland review letter</b>
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided		<b>See Landscape Review</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
<b>Site Standards (Section 5.0)</b>				
<b>Fueling station (without service garage)</b> (5.2.12.C.)	1 fueling space for each dispensing pump + 1 space per 200 square feet Usable Floor Area, plus parking for accessory uses. 6132 sf/200 = 31 spaces (+fuel pump spaces)	<b>42 proposed + fuel pump spaces</b> Applicant calculation: 1 per 200 UFA of 4,535 sf Carryout: 1 per 2 employees + 1 per 2 occupants 34/2 = 17 <u>40 spaces required</u>	Yes	
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two-way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	19 ft length indicated 35-foot drive aisles	Yes	<b>Impervious surface could be reduced by reducing drive aisle widths – potentially reducing impact to wetland</b>
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	exceeds	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>			<b>Refer to Traffic and Landscape reviews for further comments</b>
<b>Barrier Free Spaces</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> <li>- Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible</li> </ul>	2 barrier-free spaces proposed	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	2 van accessible (10 ft space with 8 ft access aisle)	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Indicated	Yes	
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	Minimum 2 spaces	2 bike spaces indicated	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>	100 feet from entrance  Bike rack detail provided    Accessed by 6' sidewalk	Yes    Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 7 ft. One tier width: 11 ft. Two tier width: 18 ft. Maneuvering lane width: 4 ft. Parking space depth: 32 in	Provided	Yes	
<b>Loading Spaces</b> (Sec. 5.4.2)	<ul style="list-style-type: none"> <li>- Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building</li> <li>- Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.</li> </ul>	Loading zoning shown in front yard  80x15 ft shown (1,200 sf)	<b>No</b>	Loading size exceeds required (960sf)  <u>Location of loading zone will require variance</u>
<b>Dumpster</b> (Sec 4.19.2.F)	<ul style="list-style-type: none"> <li>- Located in rear yard or interior side yard in case of double frontage</li> <li>- Attached to the building OR</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Interior side yard.	Yes	
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	7 ft 4 in  Brick enclosure to match building	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Lighting and Other Equipment Requirements</b>				
<b>Accessory Structures</b> (Sec. 4.19)	Flagpoles shall not be located closer to public ROW than ½ the distance between the ROW and the principal building	Flagpole indicated near NW corner of the building Retaining wall (4-5 ft height) on south side of property, approx. 300 ft length, topped with handrail/fence	Yes	<b>Indicate height of flagpole</b>  <b>These structures will require building permits</b>
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building			<b>See Façade review</b>
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property			<b>See Façade review</b>
<b>Noise Specifications</b> (Sec. 5.14.10.A)	Site proposals must comply with the standards of the noise ordinance.	Noise impact statement provided	Yes	
<b>Sidewalk Requirements</b>				
<b>Sidewalks</b> (Sec. 7.4.2 of the Engineering Design Manual)	- 6-foot sidewalk required along Haggerty	6-foot sidewalk shown	Yes	
<b>Pedestrian Connectivity</b>	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Sidewalk provided from building to Haggerty	Yes	
<b>Building Code and Other Design Standard Requirements</b>				



Item	Required Code	Proposed	Meets Code	Comments
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided on Sheet 2	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets, and drives, and indicate sq. ft. of pavement area (indicate public or private).			<b>See this and other review letters for missing information</b>
<b>Economic Impact</b>	<ul style="list-style-type: none"> <li>- Total cost of the proposed building &amp; site improvements</li> <li>- Number of anticipated jobs created (during construction &amp; after building is occupied)</li> </ul>	\$9.65M project; 65 construction jobs; 35 full time Sheetz store employees		
<b>Other Permits and Approvals</b>				
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	A monument sign is shown west of the entrance on 12 Mile ( <b>no detail found in Arch sheets</b> )		<b>For sign permit information contact Ordinance Enforcement Division 248-735-5678.</b>
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name does not require approval.	NA	
<b>Property Split</b>	The proposed property split must be submitted to the Assessing Department for approval.	A split or combination is not proposed.	NA	
<b>Other Legal Requirements</b>				

Item	Required Code	Proposed	Meets Code	Comments
<b>Conservation Easements</b>	Conservation easements may be required for woodland impacts/wetland mitigation	Conservation easement proposed for off-site mitigation area, plus additional existing woodland if City agrees. Letter from property owner stating they agree to provide the conservation easement will be required	TBD	<b>Will be required for off-site wetland mitigation</b>
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky			<b>Provide at the time of Final Site Plan submittal</b>
<b>Lighting Plan (Sec. 5.7.A.1)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			
<b>Lighting Plan (Sec.5.7.2A.ii)</b>	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			
	Glare control devices			
	Type & color rendition of lamps			
<b>Maximum height when abutting residential districts</b>	Height not to exceed maximum height of zoning district (or 25 ft. where			

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.A)	adjacent to residential districts or uses)			
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>			
<b>Indoor Lighting</b> (Sec. 5.7.3.H)	Indoor lighting shall not be the source of exterior glare or spillover		TBD	
<b>Security Lighting</b> (Sec. 5.7.3.I)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> <li>Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>		TBD	
<b>Color Spectrum Management</b> (Sec. 5.7.3.F)	Non-Res and Multifamily: For all permanent lighting installations - minimum Color Rendering Index of 70 and Correlated Color Temperature of no greater than 3000 Kelvin		TBD	
<b>Parking Lot Lighting</b> (Sec. 5.7.3.J)	<ul style="list-style-type: none"> <li>- Provide the minimum illumination necessary to ensure adequate vision and comfort.</li> <li>- Full cut-off fixtures shall be used to prevent glare and spillover.</li> </ul>		TBD	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min			<b>Provide line items in statistics chart that show each of these areas with data</b>
	Loading & unloading areas: 0.4 min			
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			

Item	Required Code	Proposed	Meets Code	Comments
	Building entrances, infrequent use: 0.2 min			
<b>Average Light Level</b> (Sec.5.7.3.L)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1		TBD	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district: - Maximum illumination at the property line shall not exceed 1 foot candle.		TBD	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90°. - Maximum illumination at the property line shall not exceed 0.5 foot candle.		NA	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

9/19/2024

## Engineering Review

Sheetz

JSP23-0033

### APPLICANT

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Skilken Gold

### REVIEW TYPE

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2<sup>nd</sup> Revised Preliminary Site Plan

### PROPERTY CHARACTERISTICS

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- Site Location: Located south of Twelve Mile Road west of Haggerty Road
- Site Size: 2.34 acres
- Plan Date: 7/31/2024
- Design Engineer: Giffels Webster

### PROJECT SUMMARY

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- Construction of an approximately 6,132 square-foot gas station and associated parking. Site access would be provided via 12 Mile Road and Haggerty Road.
- Water service would be provided by extension from the existing 12-inch water main along the south side of Twelve Mile Road. A 2-inch domestic lead is proposed along with one hydrant.
- Sanitary sewer service would be provided by an extension from the existing 18-inch sanitary sewer along the south side of 12 Mile Road. A 6-inch lead is proposed to serve the building, along with a monitoring manhole.
- Storm water would be collected by a single storm sewer collection system and discharged to an underground detention system.

### RECOMMENDATION

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**Approval of the 2<sup>nd</sup> Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended. Approval of the Storm Water Management Plan is recommended.**

#### Comments:

The 2<sup>nd</sup> Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in [Chapter 11 of the City of Novi Code of Ordinances](#),

the Storm Water Management Ordinance and the [Engineering Design Manual](#) with the following items to be addressed at the time of Final Site Plan submittal:

### **General**

1. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, refer to [City of Novi Survey Benchmarks Arch Map](#). Closest city benchmark 1243, power pole located northwest quad of intersection 12 Mile Road and Haggerty Road, approx. 20 feet northwest of back of curb.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), paving (2 sheets). The most updated details can be found on the City's website under [Engineering Standards and Construction Details](#).
3. A [Right-of-Way Permit](#) will be required from the City of Novi and Oakland County. A copy of the approve RCOC permit will be required prior to per-con meeting. A copy of the Buckeye approval will be required prior to the pre-con meeting.
4. Applicant should clarify if an existing easement is provided for the connection to the property to the west, if no easement exists provide an easement for this connection.
5. Show site distance triangle for Haggerty Road and 12 Mile Road entrances in accordance with Figure VIII-E of the [Design and Construction Standards, Chapter 11 of the City of Novi Code of Ordinances](#).
6. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards. Traffic signs in the Road Commission for Oakland County (RCOC) right-of-way will be installed by RCOC.
7. Provide a traffic control plan for the proposed road work activity on Haggerty and 12 Mile Road. This will be needed at time of final site plan submittal.
8. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas; illustrate and label on the profiles.
9. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
10. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
11. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
12. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation from water main and storm sewer and 10-

- foot horizontal separation from sanitary sewer. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
13. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
  14. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.
  15. *Soil erosion and demo sheets should show silt fence locations. Soil erosion plans should clearly label construction entrance.*

### **Water Main**

16. Proposed hydrant should be facing the drive aisle, towards the east.
17. Water Systems must have the ability to serve at least two thousand (2,000) gallons per minute in single-family detached residential; three thousand (3,000) gallons per minute in apartment, cluster residential and similar complexes, institutional and school areas; and at least four thousand (4,000) gallons per minute in office, industrial and shopping centers is essential.
18. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
19. Provide a separate domestic lead and, if required by the Fire Marshal, a minimum 6-inch fire lead for each building with a unique shut-off valve for each.
20. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
21. All gate valves 6" or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6" .
22. In the general notes and on the profile, add the following note: "Per the Ten States Standards Article 8.8.3, one full 20-foot pipe length of water main shall be used whenever storm sewer or sanitary sewer is crossed, and the pipe shall be centered on the crossing, in order to ensure 10-foot separation between water main and sewers." Additionally, show the 20-foot pipe lengths on the profile.
23. **Check EGLE RIDE Mapper for on-site contamination information:** <https://www.michigan.gov/egle/maps-data/ride-mapper>. EGLE mapper shows Part 211 permit on this site at one point, side ID **00037495**. Please review these documents prior to filling out EGLE watermain application. EGLE will ask information about site contamination (they have requested the following information for other contaminated sites):
  - Estimated contaminant location(s) must be shown and labeled on the plans.
  - Provide a summary of the contaminant's nature and extent and include other relevant information.



- The water system design must mitigate potential risks from contamination.
24. A sealed set of utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#) for water main construction, the [Streamlined Water Main Permit Checklist](#), [Contaminated Site Evaluation Checklist](#), and an electronic version of the utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

### **Irrigation Comments**

25. Indicate if irrigation is proposed on-site, cross-connection specialist will need to review plans prior to stamping set approval.

### **Sanitary Sewer**

26. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way.
27. Provide a sanitary sewer basis of design for the development on the utility plan sheet. (Calculations should use peaking factor of 4.0 and 3.2 People/REU, peaking factor of 4.0 is only for sanitary not for water main).
28. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
29. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
30. Illustrate all pipes intersecting with manholes on the sanitary profiles.
31. Three (3) sealed sets of revised utility plans along with the [Michigan Department of Environment, Great Lakes & Energy \(EGLE\) permit application](#), electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

### **Storm Sewer**

32. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth.
33. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
34. Match the 0.80 diameter depth above invert for pipe size increases.

35. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
36. Provide a four-foot-deep sump and an oil/gas separator in the last storm structure prior to discharge off- site/to the storm water basin.
37. Provide profiles for all storm sewer 12-inch and larger. All storm pipes accepting surface drainage shall be 12-inch or larger. This does not include roof drains.
38. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
39. Illustrate all pipes intersecting storm structures on the storm profiles.
40. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
41. Show and label all roof conductors and show where they tie into the storm sewer.
42. Provide storm sewer design table.

#### **Storm Water Management Plan**

43. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the [Engineering Design Manual](#).
44. Time of Concentration should be a minimum of 10 min for site that are less than 5 acres.
45. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
46. Provide manufacturer's details and sizing calculations for the pretreatment structure(s) on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr).

#### **Underground Storage:**

47. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.
48. Provide an underdrain along the downstream side of the underground detention system which is tied into a manhole as a means of secondary storm water conveyance to the outlet.
49. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications.

50. Provide a note on the plans stating the City's inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.
51. Provide a note on the underground detention detail that aggregate porosity will be tested, and results provided to the City's inspecting engineers.
52. Provide an isolator row in the underground detention system in addition to the swirl concentrator chamber. Contact the Engineering Division for further information.
53. Provide inspection ports throughout the underground detention system at the midpoint of all storage rows. Additional inspection ports may be required for systems larger than 200 feet. One inspection port every 50 feet for isolator row.
54. Inspection ports shall be a minimum of 8-inches.
55. For piped/chamber systems the underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access purposes.
56. In order to prevent scouring (per Table 4 of StormTech manual), do not exceed the maximum inlet flow rates.

#### **Paving & Grading**

57. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
58. Provide a minimum of 6 spot elevations where the pathway crosses each driveway (one at each corner and two in the center of the driveway on each side of the pathway). Spot elevations shall be provided to demonstrate a level landing adjacent to each side of the pathway crossing.
59. No more than ¼" vertical obstacle shall be allowed at each transition between the pathway and the drive approach.
60. Revise Dumpster Pad details to meet city standards, 8" concrete on 8" 21 AA aggregate base. Note: Dumpster pad shall extend minimum 10' beyond dumpster enclosure.
61. Add the maximum 2-percent cross-slope to the sidewalk detail.
62. Provide spot elevations at the intersection of the proposed pathway with the existing pathway.
63. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls. All barrier-free stalls shall comply with Michigan Barrier-Free regulations.
64. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
65. Provide a note on the Grading Plan stating that the proposed pathway within the road right-of-way shall match existing grades at both ends.
66. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.

67. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms. Numerous areas appear to exceed this standard.
68. The grade of the drive approach shall not exceed 2-percent within the first 25 feet of the intersection.
69. The sidewalk within the right-of-way shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased along the crossing or match the proposed cross-section if the approach is concrete.
70. Per MDOT Special Provision for Crushed Concrete; the use of crushed concrete is prohibited on the project within 100 feet of any water course (stream, river, county drain, etc.) and lake, regardless of the application of location of the water course or lake relative to the project limits. Add note to use 21AA crushed limestone base for any pavement within 100 feet of a water course.
71. Revise the on-site road cross-section to 1.5 inches of MDOT 5E1 on 2.5 inches of MDOT 3C on 8 inches of 21AA [limestone only if within 100 feet of a watercourse] aggregate base.
72. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
73. The City standard straight-faced curb (MDOT F-4 curb detail) shall be provided. Remove detail and attach City standard paving details.
74. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
75. Dimensions of parking stalls abutting a curb or sidewalk are to the face of curb or walk. All other dimensions are to back of curb unless otherwise indicated.
76. Sheets shall be signed and sealed by the design engineer responsible for the proposed retaining wall design and all associated calculations. Retaining walls that are 48-inches or larger shall need a permit from Building Department.

#### **Soil Erosion and Sediment Control**

77. A SESC permit is required. A full review has not been completed at this time. A review will be done when a completed packet is submitted to Sarah Marchioni at Community Development.

#### **Off-Site Easements**

78. Indicate if any off-site easements are anticipated for sanitary sewer extension or for parking lot connection to adjacent property.

**The following must be submitted with the Final Site Plan:**

79. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
80. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage, should include number do detectable warning plates), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

**The following must be submitted with the Stamping Set:**

The following is a list of possible legal documents that will be required, legal review transmittal will be provided with final site plan review letter.

81. A draft copy of the [Storm Drainage Facility Maintenance Easement Agreement \(SDFMEA\)](#), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
82. A draft copy of the [Cross-Access Easement](#) for the connection to the existing parking lot to the **(east/west/south/north)** must be submitted to the Community Development Department.
83. A draft copy of the 20-foot-wide [Watermain System Easement](#) onsite must be submitted to the Community Development Department.
84. A draft copy of the 20-foot-wide [Sanitary Sewer Monitoring Manhole Access Easement](#) onsite must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

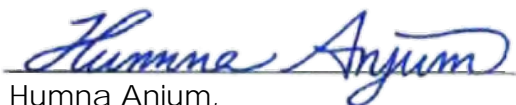
85. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
86. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.

87. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Ted Meadows at 248-844-5400 for more information.
88. Construction inspection fees in the amount of **\$TBD** must be paid to the Community Development Department. **\*\*fees are subject to change.**
89. Off-Site Legal exhibit review fees in the amount of **\$TBD** must be paid to the Community Development Department. **(ONLY FOR OFF-SITE DOCUMENTS)**
90. Legal escrow fees in the amount of **\$TBD** must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents. **\*\*fees are subject to change.**
91. Legal fees for off-site easements should be paid as soon as possible so that documents can be approved.
92. A storm water performance guarantee in the amount of **\$TBD** (Equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
93. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
94. A street sign financial guarantee in the amount of **\$TBD** (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.
95. A traffic control inspection fee of **\$TBD** must be paid to Community Development. This fee is the inspection of traffic control items such as signs, striping, curbs, parking stalls, sidewalk, detectable warning surfaces, and temporary pavement markings.
96. A [Soil Erosion Control Permit](#) must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
97. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website ([Right-of-Way Permit Application](#)) and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.

98. A permit for work within the road right-of-way of **Haggerty Road and 12 Mile Road** must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the city. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards. **Be advised that review by the RCOC may take four weeks or longer.**
99. An [Act 399 Permit for Community Water Supply Systems](#) for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details, and plan/profile sheets applicable to the permit.
100. A [Part 41 Permit For Wastewater Systems](#) for sanitary sewer construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the sanitary sewer plans have been approved. Please submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit. **Be aware that approval by both (1) Oakland County Water Resources Commissioner (OCWRC) and (2) Wayne County Department of Public Services (WCDPS) are required prior to submittal to EGLE.**
101. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resources Commissioner (OCWRC).
102. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Humna Anjum at (248)735-5632 or email at [hanjum@cityofnovi.org](mailto:hanjum@cityofnovi.org) with any questions.



Humna Anjum,  
Project Engineer

cc: Lindsay Bell, Community Development  
Diana Shanahan, Community Development  
Ben Nelson, Engineering  
Ben Croy, City Engineer

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

September 16, 2024

Sheetz

Second Revised Preliminary Site Plan - Landscaping

Review Type

Second Revised Preliminary Site Plan Landscape Review

Job #

JSP23-0033

Property Characteristics

- Site Location: 39471 Twelve Mile Road
- Site Acreage: 2.34 ac.
- Site Zoning: B-3
- Adjacent Zoning: North, South: OST, East: Farmington Hills Office, West: B-3
- Plan Date: 7/31/2024

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance. Please address the comments on both reviews.

**RECOMMENDATION:**

This project is **not recommended for approval**. There are still deficiencies in landscaping provided that are not supported by staff.

**LANDSCAPE WAIVERS REQUIRED BY PROPOSED PLAN:**

- Lack of greenbelt berm along 12 Mile Road –*supported by staff*
- No street trees along Haggerty Road – *supported by staff due to utility conflicts.*
- Deficiency of interior parking lot trees – *not supported by staff*
- Deficiency in accessway perimeter trees – *partially supported by staff – see below*
- Deficiency in foundation landscaping at the building – *supported by staff*

**PLEASE REVISE THE LAYOUT AND LANDSCAPING TO ELIMINATE OR REDUCE THE ABOVE UNSUPPORTED LANDSCAPE WAIVERS.**

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Tree survey is provided.
2. Wetland survey is provided.
3. A conceptual wetland mitigation plan is provided but no planting plans are shown.
4. No plans showing the required wetland mitigation plantings are provided. **Please provide them.**
5. **Please work to save the large trees in the wetland mitigation area.**
6. **See the Merjent letter for detailed discussions of the woodland and wetland impacts.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The site is not adjacent to residential so this buffering is not required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required berm is provided along Haggerty Road, but not along 12 Mile Road. **This requires a landscape waiver.** *It is supported by staff because the proposed hedge has been extended to the berm.*
2. The required greenbelt canopy trees, subcanopy trees and shrubs are provided.
3. The required street trees are provided along Twelve Mile Road with more subcanopy trees but not along Haggerty Road due to utility conflicts. **This requires a landscape waiver.** *It is supported by staff.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior landscape area is provided
2. The site is still quite deficient in interior canopy trees. **This requires a landscape waiver.** *It is not supported by staff. Please provide all of the required trees.*
3. The required parking lot perimeter trees are not provided along the greenbelt sides of the site. The deficiency could easily be removed by moving 5 of the greenbelt canopy trees to within 15 feet of the parking lot, where they could double-count as parking lot perimeter trees and greenbelt canopy trees. **The deficiency in parking lot perimeter trees requires a landscape waiver.** *It would not be supported by staff. Please reposition the canopy trees to remove the necessity for a waiver.*
4. **A landscape waiver is required for the deficiency in accessway perimeter trees along the north and south entrances.** *A lack of 3 of 4 required trees along the south side of the reconfigured drive would be supported by staff, but a tree should be added to both sides of that drive, and 2 more accessway perimeter trees should be added along the north access drives.*

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. The required area is provided, but approximately 25% of the area provided is away from the building. **This requires a landscape waiver.** *It would be supported by staff as most of the required area is at the building, and the remaining area would enhance the appearance of the rest of the site.*
2. The percentages of frontage landscaping for the both the east and north sides of the building meet or exceed the required 60% of frontage.

Loading Zone screening (Zoning Section 5.4.2)

1. The required screening for the loading zone is provided by the greenbelt landscaping and an evergreen hedge.
2. This is accepted by staff, as long as the hedge is maintained at 6 feet in height to screen most of the truck when it is unloading fuel. **Please add a note to this effect to the plan.**

Plant List (LDM 4, 10)

1. 9 of 19 species used (47%) are native to Michigan. This is not acceptable. Please revise the plant list to use species native to Michigan for no less than 50% of the species used.
2. The quantities of serviceberries and Kousa dogwoods exceed the limitations of LDM 4. Tree counts for a single species may only account for 15% or less of the total number of trees planted. Please reduce the number of Kousa dogwoods and serviceberries and add other species in their place and/or increase the number of flowering crabapples used.

Planting Notations and Details (LDM 10)

1. Provided
2. Please add a tree protection fence detail to the Demolition Plan.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. Underground detention is proposed. If that is approved by engineering, no detention basin landscaping is required.
2. If above-ground detention is required, detention basin landscaping will also be required.

Irrigation (LDM 10)

1. If an irrigation system is used, a plan for it must be provided with Final Site Plans.
2. If alternative means of providing water to the plants for their establishment and long-term survival, information regarding that is also required with Final Site Plans.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART – Second Revised Preliminary Site Plan

**Review Date:** September 16, 2024  
**Project Name:** JSP23 – 0033: SHEETZ  
**Project Location:** 39471 West Twelve Mile Road  
**Plan Date:** July 31, 2024  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

### LANDSCAPE WAIVERS REQUIRED BY PROPOSED PLAN:

- Lack of greenbelt berm along 12 Mile Road – *supported by staff*
- No street trees along Haggerty Road – *supported by staff due to utility conflicts.*
- Deficiency of interior parking lot trees – *not supported by staff*
- Deficiency in accessway perimeter trees – *partially supported by staff – see below*
- Deficiency in foundation landscaping at the building – *supported by staff*

### GENERAL NOTE:

- Please remove the truck turning image from the main view on Sheet L-100. It isn't needed and clutters up the plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec)</b>				
<b>Landscape Plan</b> <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> <li>• New commercial or residential developments</li> <li>• Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>• 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>• Consistent with plans throughout set</li> </ul>	Scale: 1" = 20'	Yes	
<b>Project Information</b> <i>(LDM 10)</i>	Name and Address	Location map is provided	Yes	
<b>Owner/Developer Contact Information</b> <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Mark Hansen and Francesca Schovers - Giffels Webster	No	<u>Please consistently show the person who is responsible for the plans.</u> <b>REPEAT COMMENT</b>

Item	Required	Proposed	Meets Code	Comments
<b>Sealed by LA.</b> (LDM 10)	Requires original signature	Copy of seal and signature on plan		<u>See above</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM 10)	Show on all plan sheets	In Title Block	Yes	
<b>Zoning</b> (LDM 10)	Include all adjacent zoning	<ul style="list-style-type: none"> <li>• <u>Parcel:</u> B-3</li> <li>• <u>North, South:</u> OST</li> <li>• <u>West:</u> B-3</li> <li>• <u>East:</u> Farmington Hills Office</li> <li>• <u>West and south zoning are shown on L-100</u></li> </ul>	Yes	
<b>Survey information</b> (LDM 10)	<ul style="list-style-type: none"> <li>• <u>Legal description or boundary line survey</u></li> <li>• <u>Existing topography</u></li> </ul>	Sheet C2	Yes	
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b> (LDM 10)	<ul style="list-style-type: none"> <li>• <u>Show location type and size. Label to be saved or removed.</u></li> <li>• <u>Plan shall state if none exists.</u></li> </ul>	<ul style="list-style-type: none"> <li>• On-site tree survey and removals on Sheet C3</li> <li>• Offsite tree survey and removals shown on Sheet C15.</li> <li>• On Sheet C14 a note a table showing required replacements for offsite removals is provided, but it is very confusing, such that it can't be determined what is required.</li> <li>• A note indicates that a contribution to the tree fund will be made for all required replacements.</li> <li>• Wetland mitigation area survey on Sheet C13</li> <li>• A conceptual wetland mitigation plan is shown on C14</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• Yes</li> <li>• TBD</li> <li>• Yes</li> <li>• Yes</li> <li>• TBD</li> </ul>	<ol style="list-style-type: none"> <li>1. It would be preferable to save the large trees (#635 - #637) in the mitigation area if possible.</li> <li>2. The Replacement Tree Requirements table below should be used for the woodland replacement calculations.</li> <li>3. <u>Provide detailed wetland mitigation plans.</u></li> <li>4. See Merjent letter for complete wetland and woodland reviews</li> </ol>
<b>Soil types</b> (LDM10)	<ul style="list-style-type: none"> <li>• <u>As determined by Soils survey of Oakland county</u></li> </ul>	Sheet C4	Yes	

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>Show types, boundaries</li> </ul>			
<b>Existing and proposed improvements (LDM 10)</b>	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Included on landscape plan	Yes	
<b>Existing and proposed utilities (LDM 10)</b>	Overhead and underground utilities, including hydrants	<ul style="list-style-type: none"> <li>All existing and proposed utilities are shown</li> <li>No light posts are shown</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>No</li> </ul>	<b>Please add all light posts and resolve tree/pole conflicts.</b>
<b>Proposed grading. 2' contour minimum (LDM 10)</b>	Provide proposed contours at 2' interval	Spot elevations, wall elevations and berm contours on Sheet C6	Yes	
<b>Snow deposit (LDM 10)</b>	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)</b>				
<b>General requirements (LDM 5)</b>	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	<ul style="list-style-type: none"> <li>No landscaping within the parking lot is proposed that would block visibility</li> <li>Notes regarding the heights of the Ward's yews have been added</li> </ul>	Yes	
<b>Name, type and number of ground cover (LDM 5)</b>	As proposed on planting islands	Noted	Yes	
<b>General (Zoning Sec 5.5.3.C)</b>				
<b>Parking lot Islands</b>	<ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>A minimum of 200sf unpaved area per tree planted in an island</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	All islands with trees are sized appropriately and are labeled in SF	Yes	
<b>Curbs and Parking stall reduction (Zoning Sec 5.3.12)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	<ul style="list-style-type: none"> <li>Parking spaces are 19 or 20 feet long</li> <li>The applicant has indicated they do not want to reduce the size of the spaces.</li> </ul>	No	

Item	Required	Proposed	Meets Code	Comments
<b>Contiguous space limit</b> (Zoning sec 5.5.3.C)	Maximum of 15 contiguous spaces	11 is maximum bay length	Yes	
<b>Plantings around Fire Hydrant</b> (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> <li>No plantings with matured height greater than 12' within 10 ft. of fire hydrants</li> <li>Plant trees at least 5 ft from underground utility lines</li> <li>Plantings near hydrants or FDCs should be no taller than 12"</li> </ul>	<ul style="list-style-type: none"> <li>One hydrant on the site is shown</li> <li>No shrubs are proposed that would block access to the hydrant.</li> <li>Two other hydrants near 12 Mile Road are also not blocked</li> <li>The building won't have an FDC</li> </ul>	Yes	
<b>Landscaped area</b> (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones</b> (Zoning sec 5.5.3.B.ii Footnote 10)	<ul style="list-style-type: none"> <li>25 ft corner clearance required.</li> <li>Refer to Zoning Section 5.5.9</li> <li>Road Commission for Oakland County zone for RCOC jurisdiction roads</li> </ul>	RCOC clear zones are shown for both entries	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li><math>A = x \text{ sf} * 7.5 \% = A \text{ sf}</math></li> <li><math>49,255 * 7.5\% = 3694 \text{ sf}</math></li> </ul>	Calculation provided	Yes	
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> <li><math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li><math>(\text{Total area}-50000)*1\%</math></li> </ul>	Not used	TBD	
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% * 0 \text{ sf} = B \text{ SF}$	NA		
<b>All Categories</b>				

Item	Required	Proposed	Meets Code	Comments
<p>C = A+B Total square footage of landscaped islands</p>	<ul style="list-style-type: none"> <li>• C = A + B</li> <li>• C = 3694 + 0 = 3694 SF</li> </ul>	<p>3940 sf</p>	<p>Yes</p>	<p>Although the plan says 4735sf is provided, only 3940 sf can be found. It is acceptable as it exceeds the requirement.</p>
<p>D = C/200 Number of canopy trees required</p>	<ul style="list-style-type: none"> <li>• D = C/200 trees</li> <li>• 3694/200 = 18 Trees</li> </ul>	<p>11 trees in interior islands</p>	<p>No</p>	<ol style="list-style-type: none"> <li>1. To count as an interior tree, a tree must be within the outer limits of the parking lot (and corners) and be in an island with at least 200sf of greenspace.</li> <li>2. <b>A landscape waiver is required for the deficiency.</b> <i>It would not be supported by staff.</i></li> <li>3. <b>Please add the required interior trees.</b></li> </ol>
<p><b>Perimeter Trees</b> (Zoning Sec 5.5.3.C)</p>	<p><b>West side:</b> 180/35 = 5 trees</p> <p><b>Frontage side:</b> 366/70 = 5 trees</p> <p><b>Total required:</b> 10 trees</p>	<p><b>7 trees</b> 6 along west side + 1 greenbelt canopy tree within 15 feet of pavement</p>	<p>No</p>	<ol style="list-style-type: none"> <li>1. Greenbelt trees within 15 feet of the parking lot (preferably closer) can be double-counted as parking lot perimeter trees.</li> <li>2. <b>The requirement for each side must be met on that side.</b></li> <li>3. Five of the greenbelt canopy trees could be shifted toward the parking lot to be within 15 feet of it (preferably closer) so they could be double-counted as parking lot perimeter trees. <b>Please do so.</b></li> </ol>
<p><b>Accessway perimeter</b> (Zoning Sec 5.5.3.C)</p>	<ul style="list-style-type: none"> <li>• 1 canopy tree per 35 lf on each side of road, less widths of access drives.</li> <li>• North drives: (20+20+25+30)/35 = 3 trees</li> <li>• South drive: (35+100)/35 = 4 trees</li> </ul>	<ul style="list-style-type: none"> <li>• North drives: 1 tree</li> <li>• South drive: 0 trees</li> </ul>	<p>No</p>	<ol style="list-style-type: none"> <li>1. <b>Please add the required trees along the north access drives.</b> Greenbelt canopy trees within 15 feet of the accessway edge may be double-counted as</li> </ol>



Item	Required	Proposed	Meets Code	Comments
				accessway perimeter trees. <b>2. A landscape waiver is required for the proposed configuration.</b> It would be supported for 3 of the 4 trees required along the south side of the south drive but a tree should be added to both sides of the south drive where space exists.
<b>Parking land banked</b> (Zoning Sec 5.2.14.D)	NA	None		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b> (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> <li>All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>Berm should be located on lot line except in conflict with utilities.</li> <li>Berms should be constructed with 6" of topsoil.</li> </ul>				
<b>Residential Adjacent to Non-residential</b> (Sec 5.5.3.A & LDM 1.a)				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	The site is not adjacent to residential property so this berm is not required	None	Yes	
<b>Planting requirements</b> (LDM 1.a.)	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way</b> (Sec 5.5.3.B and LDM 1.b)				
<b>Berm requirements</b> (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 3-foot-wide crest is required	A berm is proposed along the eastern frontage and a hedge is proposed along the northern edge that extends to the berm	No	<b>1. A landscape waiver would be required for the lack of a berm along the north side.</b> <b>2. The waiver to use a hedge instead of a berm is supported by staff.</b>
<b>Cross-Section of Berms</b> (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> <li>Label contour lines</li> <li>Maximum 33%</li> <li>Min. 3 feet flat horizontal area</li> <li>Minimum 3 feet high</li> <li>Constructed of loam with 6' top layer of topsoil.</li> </ul>	Not provided	No	<u>Please provide a berm cross section showing the materials, slope, height and groundcover.</u>
Type of Ground Cover		Lawn is proposed	Yes	
Setbacks from Utilities	Overhead utility lines	No trees conflict	Yes	<b>The greenbelt trees</b>

Item	Required	Proposed	Meets Code	Comments
	and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	with overhead lines but overhead lines do exist along Haggerty Road.		<b>along Haggerty Road should be moved back as much as is reasonably possible from the overhead lines.</b>
<b>Walls (Zoning Sec 5.5.3.A &amp; LDM 10)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> <li>A 3-5 foot retaining wall is proposed along the wetland</li> <li>A standard detail showing the appearance of the wall is provided on the last sheet with a note that detailed drawings will be provided with building plans.</li> </ul>	Yes	
<b>Walls greater than 4 ft. should be designed and sealed by an Engineer</b>		See above		<u>See above</u>
<b>ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)</b>				
Greenbelt width	Parking between ROW & Bldg: 20 ft.	20 ft	Yes	
Min. berm crest width	2 ft	A hedge is proposed for the north frontage and a berm is provided along Haggerty Road	No	<i>As noted above, the waiver to use a hedge for 12 Mile Road will be supported by staff.</i>
Minimum berm height	3 ft	See above	No	<i>See above</i>
3' wall	(2)(3)(4)	No greenbelt walls are proposed	NA	
<b>Canopy deciduous or large evergreen trees</b>	<b>Parking between ROW &amp; Bldg:</b> <ul style="list-style-type: none"> <li>1 tree per 70 lf</li> <li><math>(245-37+185+90+37)/70 = 7</math> trees</li> </ul> <b>Frontage not adj to parking:</b> <ul style="list-style-type: none"> <li>1 tree per 60 lf</li> <li><math>66/60 = 1</math> tree</li> </ul> <b>Total requirement:</b> = 8 trees	7 trees plus cluster of existing trees to remain at southeast corner of property	Yes	
<b>Sub-canopy</b>	<b>Parking between ROW &amp;</b>	30 trees	Yes	<b>1. See above and to</b>

Item	Required	Proposed	Meets Code	Comments
deciduous trees)	<b>Bldg:</b> <ul style="list-style-type: none"> <li>• 1 tree per 40 lf</li> <li>• <math>(245-37+185+90+37)/40 = 13</math> trees</li> </ul> <b>Frontage not adj to parking:</b> <ul style="list-style-type: none"> <li>• 1 tree per 40 lf</li> <li>• <math>66/40 = 2</math> trees</li> </ul> <b>Total frontage:</b> = 15 trees			the left regarding the calculations. 2. The excess trees may be removed if desired.
Shrubs	<b>Parking between ROW &amp; Bldg:</b> <ul style="list-style-type: none"> <li>• 1 tree per 40 lf</li> <li>• <math>3*(245-56+185+140)/40 = 39</math> trees</li> </ul>	92 shrubs	Yes	<u>Please add a note stating that the shrubs will be maintained at a height of at least 6 feet to provide better screening of the vehicle when it is loading.</u>
Canopy deciduous trees in area between sidewalk and curb	<ul style="list-style-type: none"> <li>• Parking &amp; No Parking: 1 tree per 35 lf</li> <li>• <math>xx/35 = x</math> trees</li> <li>• <u>12 Mile Rd:</u></li> <li>• <math>(227+39)/35 = 7</math> trees</li> <li>• <u>Haggerty Rd:</u></li> <li>• <math>(243+66)/35 = 6</math> trees</li> </ul> Subcanopy trees should be provided at a rate of 1.5 subcanopy trees per required canopy tree where overhead wires exist	<ul style="list-style-type: none"> <li>• 12 Mile Road: 4 existing crabapple trees + 3 more crabapples</li> <li>• Haggerty Road: 0 trees</li> </ul>	<ul style="list-style-type: none"> <li>• Yes</li> <li>• No</li> </ul>	1. <b>Please break out the calculations between the two roads.</b> 2. If the RCOC does not allow any or all of the required street trees, they do not need to be provided, but documentation of their ruling must be provided to the City. 3. <i>A landscape waiver to not provide the street trees in the Haggerty Road right-of-way would be supported by staff as there is no room for the trees due to numerous utility lines there.</i>
<b>Other Screening Requirements</b>				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.4.2, 5.5)	Loading zones must be screened from the roads.	Fuel loading zone is located in the parking lot facing 12 Mile Road 3 canopy trees, 12 subcanopy trees and a hedge are proposed	Yes	1. As noted above, the hedge should be maintained at a height of 6 feet to at least partially block the fuel vehicle when it is unloading. 2. <u>Please add a note to that effect.</u>

Item	Required	Proposed	Meets Code	Comments
<b>Transformers/Utility boxes</b> (LDM 6)	<ul style="list-style-type: none"> <li>A minimum of 2ft. separation between box and the plants</li> <li>Ground cover below 4" is allowed up to pad.</li> <li>No plant materials within 8 ft. from the doors</li> </ul>	<ul style="list-style-type: none"> <li>A transformer is shown at the southeast corner of the building.</li> <li>It's screened with Ward's yews.</li> </ul>	No	<u>Please add a note stating that the yews shall be maintained at a height at least as tall as the transformer.</u>
<b>Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b> (Zoning Sec 5.5.3.D)	<ul style="list-style-type: none"> <li>Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> <li>A: <math>x \text{ lf} \times 8\text{ft} = x \text{ SF}</math></li> <li>A = <math>298 \text{ lf} \times 8 \text{ ft} = 2384 \text{ sf}</math></li> </ul>	<p><u>2612 sf</u></p> <ul style="list-style-type: none"> <li>1982sf (76% of area provided) is at the building or in an island immediately adjacent to the building</li> <li>630sf is provided in areas further away from the building</li> </ul>	Yes/No	<ol style="list-style-type: none"> <li><b>A landscape waiver is required for the areas away from the building.</b></li> <li><i>It would be supported by staff as they will improve the overall look of the site.</i></li> </ol>
<i>Building Frontage Landscaping (Zoning Sec 5.5.3.D)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	<ul style="list-style-type: none"> <li>12 Mile Road Frontage: 70%</li> <li>Haggerty Road Frontage: 65%</li> </ul>	<ul style="list-style-type: none"> <li>Yes</li> <li>Yes</li> </ul>	
<b>Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E &amp; LDM 3)</b>				
<b>Planting requirements</b> (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> <li>Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> <li>Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level</li> </ul>	No detention landscaping is proposed	Yes	<ol style="list-style-type: none"> <li>No detention landscaping is required for the current configuration.</li> <li><u>If aboveground detention is provided, it must be landscaped per the ordinance.</u></li> </ol>
<b>Phragmites and Japanese Knotweed Control</b> (Zoning Sec 5.5.6.B)	<ul style="list-style-type: none"> <li>Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey.</li> <li>Treat populations per MDEQ guidelines and</li> </ul>	Phragmites is shown on the Demolition Plan.	TBD	<u>Please add plans for the removal of the Phragmites to the Demolition Plan, Wetland mitigation plan or Landscape details.</u>

Item	Required	Proposed	Meets Code	Comments
	requirements to eradicate the weed from the site.			
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 10)	Provide intended date	Between Mar 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent</b> (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> <li>• Include statement of intent to install and guarantee all materials for 2 years.</li> <li>• Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Both notes are provided	Yes	
<b>Plant source</b> (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 10)	<ul style="list-style-type: none"> <li>• A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.</li> <li>• If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival</li> </ul>	A note indicates that a plan for an irrigation system will be provided with Final Site Plans	Yes	<u>The irrigation system must conform to the rules listed at the bottom of this chart.</u>
<b>Other information</b> (LDM 10)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6 & LDM 10)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 10 &amp; 11) – Include all cost estimates</b>				
Quantities and sizes	<ul style="list-style-type: none"> <li>• At least 50% of species used shall be native to Michigan</li> <li>• Tree diversity shall follow guidelines of LDM Section 4</li> <li>• No species on the Prohibited Species list may be used</li> </ul>	On plant list	Yes	The caliper size for the subcanopy trees can be reduced to 2"
Root type		On plant list	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> <li>• The tree diversity requirements are not met by the serviceberries or dogwoods (15 each while the</li> </ul>	<ul style="list-style-type: none"> <li>• No</li> <li>• No</li> </ul>	

Item	Required	Proposed	Meets Code	Comments
		maximum is 8). • 9 of 19 species used (47%) are native to Michigan.		2. <u>Please increase the percentage of native species used to at least 50%, preferably more.</u>
Type and amount of lawn		Lawn seed mix is indicated on the plant list	Yes	<u>Add quantities on the Final Site Plans</u>
Cost estimate (LDM 10)	For all new plantings, mulch and sod as listed on the plan	Yes		
<b>Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Multi-stem Tree		No	TBD	<u>Please add a detail if multi-stem trees will be used.</u>
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		No	No	<u>Please add – city detail is available upon request</u>
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	No	No	1. <u>Please put on Demolition and/or Soil Erosion Control plan</u> 2. <u>Please call out where the tree fence is on that plan as it's not clear.</u>
<b>Other Plant Material Requirements (LDM 11)</b>				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	Yes		
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	Yes – on Demolition Plan	Yes	
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> <li>• Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA.</li> <li>• Refer to Landscape tree Credit Chart in LDM</li> </ul>	No		
Plant Sizes for ROW,	• Size determined by	On Plant list	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>Woodland replacement and others</b> (LDM 11)	use detailed in LDM Table 11.b.(2)a.i <ul style="list-style-type: none"> <li>Indicate on plant list</li> </ul>			
<b>Plant size credit</b> (LDM 11)	NA	No		
<b>Prohibited Plants</b> (LDM 11.b)	No plants on City Invasive Species List	None are used	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 11)	Label the distance from the overhead utilities	Subcanopy trees are proposed beneath overhead wires	Yes	
<b>Collected or Transplanted trees</b> (LDM 11)		None		
<b>Nonliving Durable Material: Mulch</b> (LDM 12)	<ul style="list-style-type: none"> <li>Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> </ul>	Yes	Yes	

**NOTES:**

- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
- Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Replacement Tree Requirements	
Removed Tree d.b.h.(in)	Ratio Replacement/Removed Trees
8<11	1
>11<20	2
>20<29	3
>30	4

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.

7. The assembly must be tested after installation with results recorded on the City of Novi test report form.



WETLAND & WOODLAND REVIEW

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September 17, 2024

Lindsay Bell  
Planner – Community Development  
City of Novi  
45175 Ten Mile Road  
Novi, MI 48375

Submitted electronically to [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org)

Re: Sheetz Re-revised Preliminary Site Plan Woodland and Wetland Review (JSP23-33)

Dear Lindsay,

Merjent, Inc. (Merjent) has conducted a review of the re-revised preliminary site plan (rrPSP) for the Sheetz (also referred to as 39471 W. 12 Mile Road; site) prepared by Giffels Webster (applicant; rev. date 7/31/2024). Merjent reviewed the rrPSP for conformance with the City of Novi's (City) Woodland Protection Ordinance, Chapter 37, and Wetlands and Watercourse Protection Ordinance, Chapter 12 Article V. The site (parcel 50-22-13-200-016) contains City-regulated woodlands (Figure 1) and City-regulated wetlands (Figure 2).

Merjent conducted a review of the original PSP submission (rev. date 3/4/2024) and submitted comments to be addressed by the applicant on April 1, 2024. Additionally, the applicant provided a revised preliminary site plan (rPSP) (rev. date 6/7/2024) and submitted comments to be addressed by the applicant on June 30, 2024. Hereafter, the April 1, 2024 review letter will be referred to as the PSP Review Letter and the June 30, 2024 review letter will be referred to as the rPSP Review Letter.

Comments *italicized* below will be in reference to previous Review Letters.

### Wetlands

**Wetland Recommendation:** Merjent **does not recommend approval** of the Sheetz Project due to not meeting the requirements of the Wetlands and Watercourse Protection Ordinance. Options are provided in Comment 3 (below) on how to meet the requirements of the ordinance.

Upon review of published resources, the Sheetz Site appears to contain:

- City-regulated wetlands, as identified on the City of Novi interactive map website. Note that both wetland and property limits depicted on the City's map are considered approximations (Figure 2).
- Wetlands that are regulated by the Michigan Department of Environment, Great Lakes, and Energy (EGLE).
- Wetlands as identified on National Wetland Inventory (NWI) and Michigan Resource Inventory System (MIRIS) maps, as identified on the EGLE Wetlands Viewer interactive map website (PSP Review Letter). NWI and MIRIS wetlands are identified by the associated governmental bodies' interpretation of topographic data and aerial photographs.

- Hydric (wetland) soil as mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service, as identified on the EGLE Wetlands Viewer interactive map website (PSP Review Letter).

**Permits and Regulatory Status**

The Mannik and Smith Group (MSG) provided a Wetland Boundary Determination on October 23, 2023 and determined that Wetland A meets the criteria of a City of Novi Essential Wetland. Additionally, the applicant provided a copy of a EGLE Wetland Identification Report (63-39471 W. 12 Mile Road, Novi; July 18, 2023) that determined Wetland A is not regulated by EGLE.

However, no EGLE review has occurred at the proposed mitigation site.

The following wetland-related items will be required for this project:

Item	Required/Not Required*
<b>Wetland Permit (specify Non-minor or Minor)</b>	Required, Non-minor
<b>Wetland Mitigation</b>	Required
<b>Environmental Enhancement Plan</b>	Required (mitigation plan)
<b>Wetland Buffer Authorization</b>	Required
<b>EGLE Wetland Permit</b>	Potentially Required*
<b>Wetland Conservation Easement</b>	Required

\*See Comment 6

Wetland Review Comments

- Comment 1 is still applicable and was provided for informational purposes.*
- Comment 2 is still applicable.* The applicant has summarized direct wetland impacts in a table, which is summarized below. The values have been reduced relative to the rPSP Review Letter.

Impact	Amount
<b>Permanent Scrub-shrub Wetland Impact</b>	19,350 sq. ft. (0.44 acre) 3,653 cu. yd.
<b>Permanent Forested Wetland Impact</b>	3,350 sq. ft. (0.08 acre) 838 cu. yd.
<b>Temporary Forested Wetland Impact</b>	2,393 sq. ft. (0.05 acre)

For final site plan approval, the applicant should list the wetland type and reason for filling each wetland on Sheet 12 of the PSP. Information such as “X cubic yards of gravel overlain by X cubic yards of asphalt fill for parking lot/road,” would be beneficial when preparing the Wetland Use Permit if this project is approved.

- Comment 3 is still applicable from the rPSP Review Letter.* An updated summary is provided below.

Merjent reviewed ASTI’s August 14, 2024 mitigation analysis of the proposed Sheetz site and the proposed mitigation site. As stated in ASTI’s letter, approximately 0.82 acre (35,725 sq. ft.) of mitigation is required for the proposed impacts on-site (0.44 acre scrub-shrub wetland and 0.08 acre forested wetland). The applicant is proposing the construction of approximately 0.67 acre (29,030 square feet) of all forested wetland to satisfy mitigation requirements. As currently proposed, the mitigation site at 27629 Haggerty Road would only satisfy a ratio of 1.28:1. Additionally, the applicant has proposed a



conservation easement around the remaining forested (primarily upland) areas within the Haggerty Parcel to account for the lack of mitigated wetland.

Merjent reviewed Section 12-176 (Mitigation) of the Code of Ordinances and past projects approved by the City of Novi under the guidance of both the Mannik and Smith Group (MSG) and Environmental Consulting and Technology, Inc (ECT). Although wetland replacement ratios and locations shall be determined on a case-by-case basis, the replacement ratio of 1.5:1 for emergent and scrub-shrub wetlands and 2:1 for forested wetlands has been the standard for projects that were previously reviewed by both MSG and ECT.

As stated in the August 14, 2024 letter from ASTI, the applicant has reduced impacts to wetlands from the rPSP Review Letter to the rrPSP submittal by approximately 4,530 square feet (reduced 2,310 sq. ft. forested and 2,220 sq. ft. scrub/shrub). Additionally, the applicant will create an overall higher quality (forested) wetland for the proposed project. It should be noted that in Section 12-176, five years of monitoring is required for mitigation sites. EGLE typically requires ten years of monitoring for created forested wetland mitigation sites in Southeast Michigan. A deviation of the standard mitigation ratio would only be permitted if City Council grants an exception from the Code requirements. **Merjent recommends that if City Council does grant an exception from the Code requirements, the monitoring period be extended to ten years, per EGLE's recommendations for created forested wetlands.** This may result in a net increase of the total amount of financial guarantee/bond required for the wetland mitigation site, in addition to labor hours for monitoring, relative to the alternative listed below.

**Alternatively**, the applicant can maintain the required 1.5:1 and 2:1 mitigation ratios for scrub/shrub and forested impacts, respectively, and create the required 0.82 acre wetland mitigation area. There are additional areas recommended in **Attachment A** that could be considered for expanding the proposed mitigation site to meet the size requirements needed.

The performance standards for mitigation sites in the City of Novi are included as **Attachment B**.

4. *Comment 4 is still applicable from the rPSP Review Letter. A wetland buffer authorization will be required for this project. For final site plan approval, the applicant should list any mowing, filling (cubic yards/type), and/or excavating that will be performed within the setback.*
5. *Comment 5 is still applicable from the PSP Review Letter. The Applicant is encouraged to provide wetland conservation easements for any areas of remaining wetland and 25-foot wetland buffer. The Applicant shall provide wetland conservation easements as directed by the City of Novi Community Development Department for any areas of proposed wetland.*

The applicant has offered wetland and upland conservation easements for the project.

6. The construction of a proposed wetland mitigation occurs adjacent to two existing wetland areas. **Review and/or approval from EGLE may be required due to the potential for incidental impact on these existing and potentially regulated wetland features at the wetland mitigation site.** Merjent nor the City of Novi can make a determination if a permit is required, from EGLE, for the proposed mitigation site that would potentially influence the hydrology of these existing wetlands. The existing mitigation site wetlands may or may not be regulated by EGLE. The proposed mitigation site

is exempt from requiring additional City of Novi Wetland and Watercourse Permitting under Section 12-171 (b)(18): *Activities within a wetland or watercourse solely for the purpose of creating additional wetland areas on adjacent land for mitigation purposes.*

**Woodlands**

**Woodland Recommendation:** Merjent **recommends approval** of the Sheetz rrPSP. A list of comments is provided below to meet the requirements of the Woodland Protection Ordinance. The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	Yes
Tree Replacement (Chapter 37, Section 37-8)	Yes
Tree Protection (Fence; Chapter 37, Section 37-9)	Yes
Woodland Conservation Easement (Chapter 37-30[e])	Yes, if feasible

Woodland Review Comments – Sheetz Site

1. *Comment 1 from the PSP Review Letter is still applicable. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are likely present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations (Figure 1). A site visit was performed on March 26, 2024 to verify and review the extent of woodlands on-site. Figure 1 attached has a polygon showing the approximate woodland areas onsite.*

Photos of the site were provided in the PSP Review Letter.

2. *Comment 2 from the PSP Review Letter is still applicable. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.*

3. *Comment 3 from the PSP Review Letter is still applicable. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches in DBH.*

No trees larger than 36 inches DBH will be removed.

4. The plan has proposed the removal of 33 regulated trees. A **Woodland Use Permit** is required to perform construction on any site containing regulated woodlands. The permit for this site would require Planning Commission approval because more than three trees are proposed to be impacted/removed by construction.

5. **Woodland Replacement.** Based on a review of the rrPSP, the following replacements are summarized in the plan.

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	17	1	17



Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
12-20	10	2	20
21-29	1	3	3
30+	0	4	0
Multi-stem	5	Sum of Stem DBH/8 (rounded up)	44*
<b>Total</b>	<b>33</b>	-	<b>84</b>

\*See note below regarding total replacements of multi-stem trees.

There is an error in the count of trees between 21 and 29 inches DBH and the total number of replacements needed is 84. **However, the following portion of Comment 5 was not addressed in the rrPSP and should be addressed prior to Final Site Plan Approval:**

*With the information provided above, the following multi-stem trees have been identified as having incorrect replacement values:*

- 6101
- 6102
- 6103
- 6107
- 6115
- 6124
- 6129
- 6190
- 6200

*For example, Tree 6101 is listed as having three nine-inch diameter at breast height (DBH) stems. The listed replacement value is three trees but should be four based on Section 37-8;  $(9 \times 3) / 8 = 3.375$ , rounded to the next whole number would be 4 replacement trees.*

6. The applicant has addressed Comment 6 from the rPSP Review Letter and has stated they will mitigate all tree replacements via payment into the City of Novi Tree Fund in the amount of \$33,600. It should be noted that the second portion of Comment 5 (above) may affect this total amount.
7. A **financial guarantee, in the amount of \$6,000** (120% x \$5,000) is required for tree protection fencing maintenance per Chapter 26.5-37. This guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
  - a. For final site plan approval, **the cost to stake, install, and remove tree protection fencing should be added to the Landscape Plan.** This is needed to calculate woodland fence inspection fees.
8. *Comment 11 is still applicable from the PSP Review Letter. Based on a site visit performed on March 26, 2024, the trees depicted in the site plan for the parcel boundary are accurate and the tree survey matches what is within the parcel boundary.*

Photos were included in the PSP Review Letter.

#### Woodland Review Comments – Mitigation Site

1. *Comment 1 is still applicable from the rPSP Review Letter. Pursuant to Section 37-28, woodland surveys shall be provided by a registered landscape architect, certified arborist, or registered forester, through an onsite inspection, who must verify the contents by seal and/or registration number with signature, whichever applies. The mitigation site tree survey does not contain an appropriate seal/signature from the on-site reviewer.*

2. The rrPSP has proposed the removal of 27 trees within a regulated woodland. The following table is summarized based on Merjent’s review of the provided plan and does not match what is provided on Sheet C14 and C15. The applicant should review their total replacement/removal counts and ensure they are accurate prior to Final Site Plan Review.

Tree Size (DBH, inches)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11	6	1	6
12-20	16	2	32
21-29	4	3	20
30+	1	4	4
Multi-stem	0	Sum of Stem DBH/8 (rounded up)	0
<b>Total</b>	<b>27</b>	-	<b>62</b>

3. *Comment 3 from the rPSP Review is still applicable. Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of proposed grading or construction activities. Tree symbols are present on the plan but are relatively small. Additionally, it is unclear whether the tree symbol on the plan represents the trunk, dripline, or critical root zone of the tree. The tree symbol should be clarified in the legend or elsewhere on the plan. Critical root zones should be identified using a separate symbol on the site plans.*

**This comment was not addressed in the rrPSP and should be addressed prior to Final Site Plan Approval.** Tree protection fencing was added but does not address the locations of CRZ’s. For example, it is unclear whether Tree 598 will be impacted by final grading of the mitigation site.

4. Regulated woodland disturbance includes impacts to the critical root zone of regulated trees, including but not limited to encroachment by grading, landscaping, and construction. If impacts to the critical root zone of regulated woodland trees are proposed – woodland replacements are required. Revised woodland replacement calculations or plan revisions may be necessary to address any unclear encroachments into the critical root zone.

- a. If critical root zones will be impacted, they can also be identified in the tree survey table with an additional “CRZ” label.

**This comment was not addressed in the rrPSP and should be addressed prior to Final Site Plan Approval.** Tree protection fencing was added, but does not address the locations of CRZ’s. For example, it is unclear whether the CRZ of Tree 598 will be impacted by final grading of the mitigation site.

5. *Comment 5 from the rPSP Review Letter has been addressed and tree protection fencing has been added.*

- a. **For final site plan approval, the cost to stake, install, and remove tree protection fencing should be added to the Mitigation Site Plan.** This is needed to calculate woodland fence

inspection fees. For additional information, see Comment 7 under the Woodlands Sheetz Site Review Section (above).

6. The applicant has elected to payment into the City of Novi Tree Fund. Based on the rrPSP, the payment will be in the amount of \$24,800 but may differ pending review of the Comments 2 through 4 (above).
7. *Comment 7 has been addressed from the rPSP Review Letter and all woodland impacts will be mitigated via payment into the City of Novi Tree Fund.*

Should you have any questions or concerns with this review, please contact me via email at [jason.demoss@merjent.com](mailto:jason.demoss@merjent.com) or via phone at (619) 944-3835.

Sincerely,

**Merjent, Inc.**



Jason DeMoss, PWS  
Environmental Consultant

Enclosures:

- Figure 1 – City of Novi Woodlands Map
- Figure 2 – City of Novi Wetlands Map
- Figure 3 – City of Novi Woodlands Map, Haggerty Parcel
- Figure 4 – City of Novi Wetlands Map, Haggerty Parcel

CC:

Diana Shanahan, City of Novi, [dshanahan@cityofnovi.org](mailto:dshanahan@cityofnovi.org)  
Rick Meader, City of Novi, [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org)  
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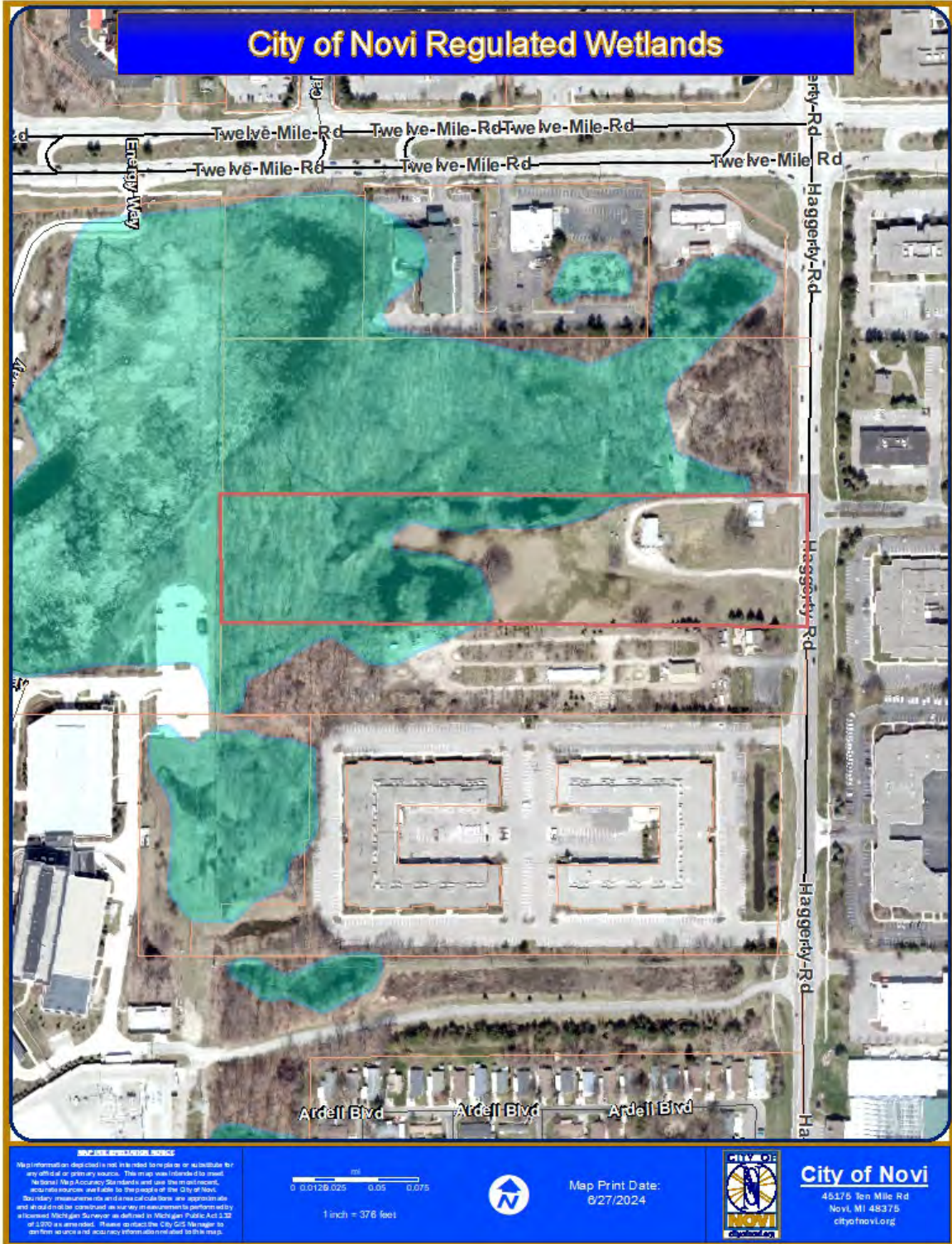
**Figure 1. City of Novi Regulated Woodlands Map**  
 Approximate Site boundary is shown in Red.  
 (Approximate) Regulated Woodland areas are shown in Green.



**Figure 2. City of Novi Regulated Wetlands Map**  
 Approximate Site boundary is shown in red.  
 (Approximate) Regulated Wetland areas are shown in turquoise

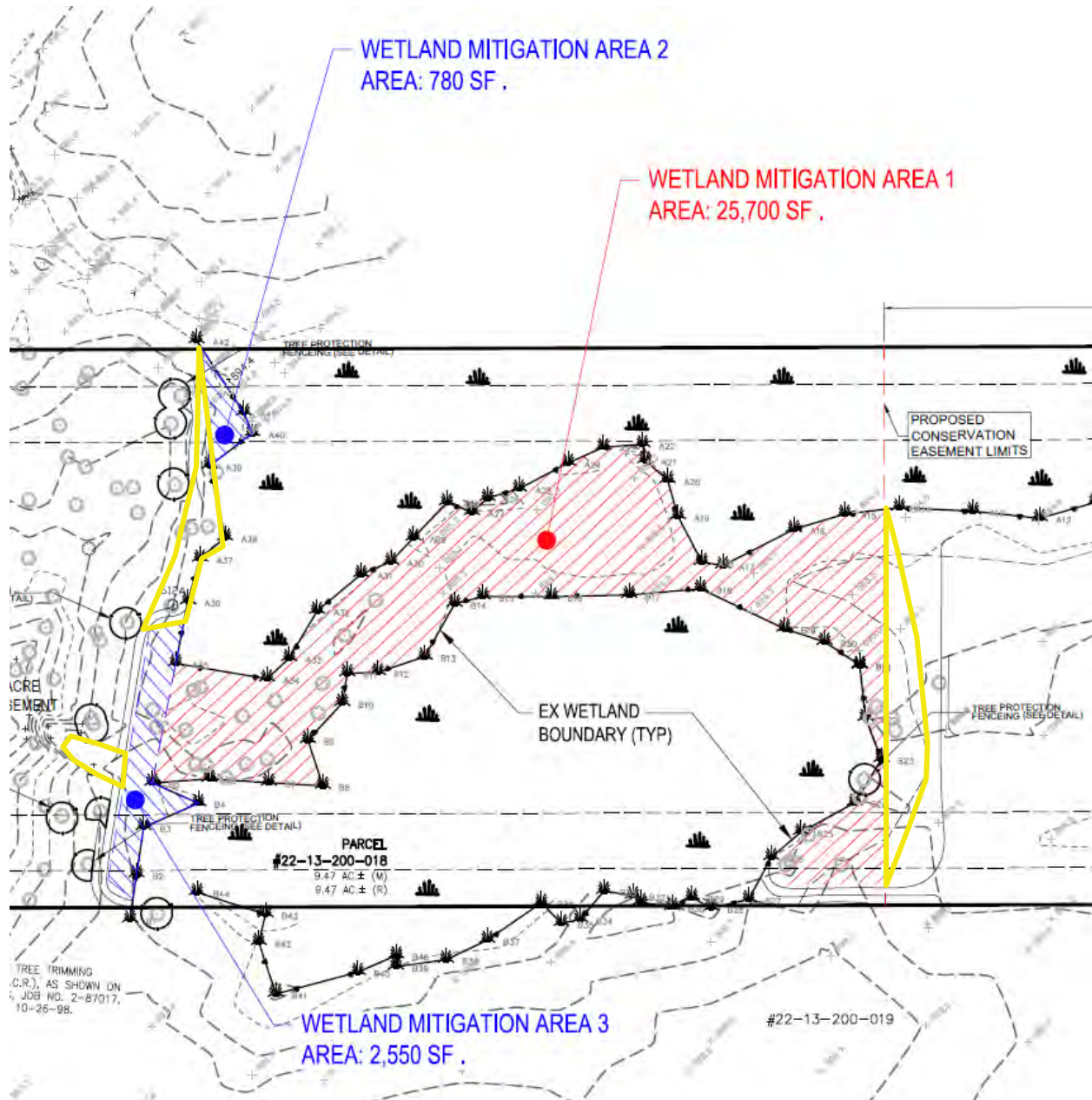


**Figure 3. City of Novi Regulated Woodlands Map (Haggerty Parcel)**  
Approximate Site boundary is shown in Red.  
(Approximate) Regulated Woodland areas are shown in Green.



**Figure 4. City of Novi Regulated Wetlands Map (Haggerty Parcel)**  
Approximate Site boundary is shown in red.  
(Approximate) Regulated Wetland areas are shown in turquoise

## Attachment A – Potential Mitigation Considerations



Areas outlined in yellow above could potentially expand proposed mitigation areas to meet the requirements of the ordinance. However, Merjent has not been on-site to verify if conditions would be feasible to allow for the expansion of mitigation areas. These potential expansions would allow for a less abrupt eastern wetland boundary for Mitigation Area 1, utilize a potential swale west of Mitigation Area 3, and allow the connection of Mitigation Area 2 and 3.

**Attachment B**  
**City of Novi Mitigation Performance Standards**

## City of Novi Mitigation Performance Standards

August 2024

- a. Construction has been completed in accordance with the City of Novi's approved plans and specifications included in the permit and mitigation plan (and associated approved site plan).
- b. The mitigation wetland is characterized by the presence of water at a frequency and duration sufficient to support a predominance of wetland vegetation and the wetland types specified at the end of the monitoring period. The monitoring period will follow the U.S. Army Corps of Engineers definition of the growing season as stated in the 1987 *Wetland Delineation Manual*:
  - i. "The portion of the year when soil temperatures at 19.7 inches (50 cm) below the soil surface are higher than biological zero (5°C [41°F]). For ease of determination, this period can be approximated by the number of frost-free days."
  - ii. "Estimating starting and ending dates for the growing season are based on 28°F (-2.2°C) air temperature thresholds at a frequency of five years in 10."
- c. A layer of high-quality topsoil, from the A horizon of an organic or loamy surface texture soil, is placed (or exists) over the entire wetland mitigation area at a minimum thickness of six inches.
- d. The mitigation wetland shall be free of oil, grease, debris, and all other contaminants.
- e. A minimum of six wildlife habitat structures, consisting of at least three types, have been placed per acre of mitigation wetland. At least 50 percent of each structure shall extend above the normal water level. The types of acceptable wildlife habitat structures are:
  - i. Tree stumps laid horizontally within the wetland area. Acceptable stumps shall be a minimum of six feet long (log and root ball combined) and 12 inches in diameter.
  - ii. Logs laid horizontally within the wetland area. Acceptable logs shall be a minimum of 10 feet long and six inches in diameter.
  - iii. Whole trees laid horizontally within the wetland area. Acceptable whole trees shall have all of their fine structure left intact (i.e., not trimmed down to major branches for installation), be a minimum of 20 feet long (tree and root ball), and a minimum of 12 inches in diameter.
  - iv. Snags which include whole trees left standing that are dead or dying, or live trees that will be flooded and die, or whole trees installed upright into the wetland. A variety of tree species should be used for the creation of snag habitat. Acceptable snags shall be a minimum of 20 feet tall (above the ground surface) and a minimum of 12 inches in diameter at breast height. Snags should be grouped together to provide mutual functional support as nesting, feeding, and perching sites.
  - v. Sand mounds at least 18 inches in depth and placed so that they are surrounded by a minimum of 30 feet of water measuring at least 18 inches in depth. The sand mound shall have at least a 200 square foot area that is 18 inches above the projected high-water level and oriented to receive maximum sunlight.
- f. The mean percent cover of native wetland species in the herbaceous layer at the end of the monitoring period is not less than:
  - i. 60 percent for emergent wetland.
  - ii. 80 percent for scrub-shrub wetland.

- iii. 80 percent for forested wetland.
- g. Extensive areas of open water and submergent vegetation areas having no emergent and/or rooted floating vegetation shall not exceed 20 percent of the mitigation wetland area. Extensive areas of bare soil shall not exceed five percent of the mitigation wetland area. For the purposes of these performance standards, extensive refers to areas greater than 0.01 acre (436 square feet) in size.
- h. The total percent cover of wetland species in each plot shall be averaged for plots taken in the same wetland type to obtain a mean percent cover value for each wetland type. For the purposes of this standard, total percent cover is the percent cover of the ground surface covered by vegetation, bare soil, and open water, when viewed from above. Total percent cover cannot exceed 100 percent. Plots within identified extensive open water and submergent areas, bare soil areas, and areas without a predominance of wetland vegetation shall not be included in this average. Wetland species refers to species listed as facultative and wetter (FAC, FACW, OBL) on the U.S. Army Corps of Engineer's 2020 Regional Plant List (version 3.5) for the Midwest Region.
- i. The mitigation wetland supports a predominance of wetland (hydrophytic) vegetation (as defined in the 2010 U.S. Army Corps of Engineers "Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Midwest Region [Version 2.0]") in each vegetative layer, represented by a minimum number of native wetland species, at the end of the monitoring period. The minimum number of native wetland species per wetland type shall not be less than:
  - i. 15 species within the emergent wetland.
  - ii. 15 species within the scrub-shrub wetland.
  - iii. 15 species within the forested wetland.

The total number of native wetland plant species shall be determined by a sum of all species identified in sample plots of the same wetland type.

- j. At the end of the monitoring period, the mitigation wetland supports a minimum of:
  - i. 300 individual surviving, established, and free-to-grow trees per acre in the forested wetland that are classified as native wetland species and consisting of at least three different species.
  - ii. 300 individual surviving, established, and free-to-grow shrubs per acre in the scrub-shrub wetland that are classified as native wetland species and consisting of at least four different species.
  - iii. *Optional*: Eight native wetland species of grasses, sedges, or rushes per acre in the wet meadow wetland.
- k. Physiognomic classification of trees and shrubs shall be in accordance with the most updated resource from the following list:
  - i. The Michigan Floristic Quality Assessment
  - ii. Michigan Flora (also referred to as the University of Michigan Herbarium)
  - iii. The U.S. Army Corps of Engineer's Regional Plant List for the Midwest Region.
- l. The mean percent cover of invasive species including, but not limited to, *Phragmites australis* (Common Reed), *Lythrum salicaria* (Purple Loosestrife), and *Phalaris arundinacea* (Reed Canary Grass) shall in combination be limited to no more than 10 percent within each wetland type. Invasive species shall not dominate the vegetation in any extensive area of the mitigation wetland. A more exhaustive list of invasive species that are known to be in Michigan can be found on the State of Michigan's Invasive Species plant list (<https://www.michigan.gov/invasives/id-report/plants>)



If the mean percent cover of invasive species is more than 10 percent within any wetland type or if there are extensive areas of the mitigation wetland in which an invasive species is one of the dominant plant species, the permittee shall submit an evaluation of the problem to the City of Novi and/or the. If the permittee determines that it is infeasible to reduce the cover of invasive species to meet the above performance standard, the permittee must submit an assessment of the problem, a control plan, and the projected percent cover that can be achieved for review by the City of Novi. Based on this information, the City of Novi may approve an alternative invasive species standard. Any alternative invasive species standard must be approved in writing by the City of Novi.

If the mitigation wetland does not satisfactorily meet these standards by the end of the monitoring period, or is not satisfactorily progressing during the monitoring period, the permittee will be required to take corrective

Consultant review of Monitoring Reports will be split into the following sections:

1. Vegetation
2. Invasive Species
3. Hydrology
4. Wildlife Observations
5. Topsoil
6. Pollutants
7. Signage
8. Wetland Recommendations (as applicable)
  - a. Financial Guarantee Release

## TRAFFIC REVIEW

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AECOM  
39575 Lewis Dr, Ste. 400  
Novi  
MI, 48377  
USA  
aecom.com

**Project name:**  
JSP23-33 – Sheetz 2<sup>nd</sup> Revised Preliminary  
Traffic Review

**From:**  
AECOM

**Date:**  
September 16, 2024

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**CC:**  
Lindsay Bell, Humna Anjum, Diana Shanahan, Dan  
Commer, Adam Yako

# Memo

**Subject:** JSP23-33 – Sheetz 2<sup>nd</sup> Revised Preliminary Site Plan Traffic Review

The 2<sup>nd</sup> revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments are addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Skilken Gold, is proposing a 6,132 SF Sheetz store and gas station.
2. The development is located on the southwest corner of Twelve Mile Road and Haggerty Road. Twelve Mile Road and Haggerty Road are both under the jurisdiction of the Road Commission for Oakland County.
3. The site is zoned B-3 (General Business).
4. The following traffic related deviations are requested by the applicant:
  - a. Loading zone size not located in the rear or side yard.

## TRAFFIC IMPACTS

1. AECOM was unable to perform an initial trip generation based on the ITE Trip Generation Manual, 11<sup>th</sup> Edition, as there is insufficient data for land use. The existing land use is a convenience store/gas station, so AECOM does not anticipate any significant additional trips for the proposed convenience store/gas station.
2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	35’ at Haggerty Road, not dimensioned at 12 Mile Road	<b>Partially Met</b>	<b>Dimension radii at the 12 Mile Road driveway.</b>
2	Driveway Width   O <a href="#">Figure IX.3</a>	36’	Met	
3	Driveway Taper   O <a href="#">Figure IX.11</a>	-	N/A	
3a	Taper length	-	N/A	
3b	Tangent	-	N/A	
4	Emergency Access   O <a href="#">11-194.a.19</a>	2 access points	Met	
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	Utilizing existing driveway on 12 Mile Road, 530’ on Haggerty Road	Met	
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	Greater than required distance on Haggerty Road	Met	
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	Greater than required distance on Haggerty Road	Met	
7	External coordination (Road agency)	Applicant acknowledged coordination with RCOC required	Met	Work on Twelve Mile Road and Haggerty Road will need to be coordinated with the Road Commission for Oakland County (RCOC).
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	6’	Met	

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	Detail included	<b>Partially Met</b>	<b>Label proposed ramps at driveways on site plan.</b>
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	15' x 80' in front yard	<b>Not Met</b>	Label additional loading zone for store, if proposed. <b>A variance is requested by the applicant for current loading zone location.</b>
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	In rear yard	Met	
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	32.5', 35', 45'	Met	Greater than standard 24'.
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	Dimensioned	Met	
15b	Internal to parking bays	Dimensioned	Met	
16	Parking spaces   <a href="#">ZO 5.2.12</a>	40 provided		See Planning review letter. <b>41 listed in parking calculations on site plan sheet, 40 shown on plan.</b>
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	<15 spaces in all parking bays	Met	
18	Parking space length   <a href="#">ZO 5.3.2</a>	19' and 20'	Met	Could reduce to standard 19' length.
19	Parking space Width   <a href="#">ZO 5.3.2</a>	9' and 10'	Met	
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	6" and 4" wheel stops	Met	Wheel stop detail included. <b>Remove Detail C9-5 for bumper posts on Site Details sheet.</b>
21	Accessible parking – number   <a href="#">ADA</a>	2 proposed, 2 required	Met	
22	Accessible parking – size   <a href="#">ADA</a>	10' x 20' with 8' aisle	Met	
23	Number of Van-accessible space   <a href="#">ADA</a>	2 proposed, 1 required	Met	
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	2 provided, 2 required	Met	
24b	Location   <a href="#">ZO 5.16.1</a>	Indicated	Met	
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	6'	Met	
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	3'	Met	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	Dimensioned	Met	
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	5'	Met	
26	Sidewalk ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	Detail included	<b>Partially Met</b>	<b>Label proposed ramps on site plan.</b>
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	-	N/A	
28	Cul-De-Sac   <a href="#">O Figure VIII-F</a>	-	N/A	
29	EyeBrow   <a href="#">O Figure VIII-G</a>	-	N/A	
30	Turnaround   <a href="#">ZO 5.10</a>	-	N/A	
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Included	Met	
33	Signing table: quantities and sizes	Included	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Included	Met	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Included	Met	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Included	Met	
40	Parking space striping notes	Included	<b>Partially Met</b>	<b>Label crosshatch markings adjacent to parking spaces that are not accessible aisle markings.</b>
41	The international symbol for accessibility pavement markings   ADA	Included	Met	
42	Crosswalk pavement marking detail	Labeled, 4" blue	<b>Partially Met</b>	<b>Standard crosswalk markings shall be white. Yellow would also be acceptable.</b>


SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
43	Any Other Comments:	Details are included for proposed pavement marking arrows.		


Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**

  
Paula K. Johnson, PE  
Senior Transportation Engineer

  
Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW

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July 1, 2024

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

*Façade Review Status Summary:*  
**Approved, Full Compliance.**

Re: **FACADE ORDINANCE - Façade Review – Preliminary Site Plan**  
**Sheets, JSP23-33, Façade Region: 1, Zoning District: B-3**

Dear Ms. McBeth;

The following Façade Review is based on the drawings by Convenience Architecture and Design PC, dated 11/20/23. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

Building	North (Front)	East	South	West	Ordinance Maximum (Minimum)
Brick	40%	45%	65%	63%	100% (30% Min.)
Stone	29%	25%	15%	16%	50%
Standing Seam	14%	12%	5%	6%	25%
Flat Metal Panel, RTU Screen	15%	16%	15%	15%	50%
Flat Metal, Canopies	2%	2%	0%	0%	50%

Canopy (Pantone Color)	North (Front)	East	South	West	Ordinance Maximum (Minimum)
Stone, Column Enclosure	31%	31%	35%	35%	30% Minimum
Flat Metal, Column Enclosure (497C)	4%	4%	4%	4%	50%
Flat Metal, Canopy Fascia (202C)	50%	50%	47%	47%	50%
Flat Metal, Truss (497C)	15%	15%	14%	14%	50%

**Building** - As shown above all building facades are in full compliance with the Façade

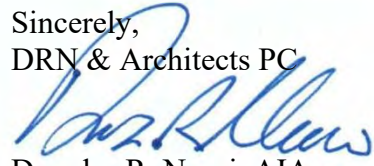
**Canopies** - In response to our prior comments, the applicant has increased the percentage of Stone on the column enclosures bringing the design of the canopies into full compliance.

**Dumpster Enclosure** – The dumpster enclosure is proposed to be 100% Brick to match the primary building and is in full compliance with the Façade Ordinance.

## Notes to the Applicant:

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant's responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

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September 5, 2024

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Heather Zeigler – Plan Review Center  
Dan Commer – Plan Review Center  
Diana Shanahan – Planning Assistant

**CITY COUNCIL**

**Mayor**  
Justin Fischer

**Mayor Pro Tem**  
Laura Marie Casey

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Brian Smith

Ericka Thomas

Matt Heintz

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**Chief of Police**  
Erick W. Zinser

**Fire Chief**  
John B. Martin

**Assistant Chief of Police**  
Scott R. Baetens

**Assistant Fire Chief**  
Todd Seog

RE: Sheetz

**PSP# 24-0019**  
Pre-App #23-0016

**Project Description:**

Build a new 6132 Sq. Ft. gas station on the corner of Twelve Mile and Haggerty Roads.

**Comments:**

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- **Corrected 3-25-24 KSP-** A hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.

**Recommendation:**

**Approved**

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTERS

---



October 2, 2024

City of Novi  
45175 Ten Mile Road  
Novi, MI 48375

Attn: Lindsay Bell, Senior Planner

GW# 20415.00

Re: JSP 23-33 Sheetz @ Haggerty/12 Mile Review

Dear Ms. Bell,

The review comments from City of Novi, (responses are *italicized*).

**City of Novi Ordinance Requirements:**

**Wetland Mitigation (Code of Ordinances, Chapter 12):**

2. The amount of mitigation proposed is deficient by 6,695 square feet (0.15-acre).  
*Plan is provided to show the required mitigation.*

**Woodland Protection (Code of Ordinances, Chapter 37):**

3. To construct the wetland mitigation areas, 27 woodland trees will need to be removed from the off-site property resulting in 62 additional replacement credits required.  
*Acknowledge.*

**Loading Area (Sec. 5.4.2):**

7. A Zoning Board of Appeals variance will need to be requested.  
*Sheetz will request a variance through the ZBA.*

**City of Novi Engineering Review**

Comments to address prior to preliminary site plan approval:

1. The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal:  
*Acknowledged.*

**City of Novi Landscape Review Comments:**

Ordinance Considerations

**Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))**

4. No plans showing the required wetland mitigation plantings are provided. Please

provide them.

*Mitigation plans will be provided with the final site plan package.*

5. Please work to save the large trees in the wetland mitigation area.

*Given the amount of trees on the site and the area of mitigation required, we have tried to save as many as possible.*

#### Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii,iii)

1. The required berm is provided along Haggerty Road, but not along 12 Mile Road. This requires a landscape waiver. It is *supported by staff because the proposed hedge has been extended to berm.*  
*We request the waiver.*
2. The required greenbelt canopy trees, subcanopy trees and shrubs are provided.  
*Acknowledged.*
3. The required street trees are provided along Twelve Mile Road with more subcanopy trees but not along Haggerty Road due to utility conflicts. This requires a landscape waiver. It is supported by staff.  
*We request a waiver.*

#### Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior landscape area is provided  
*Acknowledged.*
2. The site is still quite deficient in interior canopy trees. **This requires a landscape waiver.** It is not supported by staff. **Please provide all of the required trees.**  
*After speaking with landscape architect, we will adjust the plan and meet the requirement.*
3. The required parking lot perimeter trees are not provided along the greenbelt sides of the site. The deficiency could easily be removed by moving 5 of the greenbelt canopy trees to within 15 feet of the parking lot, where they could double-count as parking lot perimeter trees and greenbelt canopy trees. **The deficiency in parking lot perimeter trees requires a landscape waiver.** *It would not be supported by staff. Please reposition the canopy trees to remove the necessity for a waiver.*  
*After speaking with landscape architect, we will adjust the plan and meet the requirement.*
4. **A landscape waiver is required for the deficiency in accessway perimeter trees along the north and south entrances.** *A lack of 3 of 4 required trees along the south side of the reconfigured drive would be supported by staff, but a tree should be added to both sides of that drive, and 2 more accessway perimeter trees should be added along the north access drives.*  
*After speaking with landscape architect, we will adjust the plan and meet the requirement.*

#### Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. The required area is provided, but approximately 25% of the area provided is away from the building. **This requires a landscape waiver.** *It would be supported by staff as most of the required area is at the building, and the remaining area would enhance the appearance of the rest of the site.*  
*We request the waiver.*

Loading Zone screening (Zoning Section 5.4.2)

2. This is accepted by staff, as long as the hedge is maintained at 6 feet in height to screen most of the truck when it is unloading fuel. Please add a note to this effect to the plan.

*Note will be added to the plan.*

Plant List (LDM 4, 10)

1. 9 of 19 species used (47%) are native to Michigan. This is not acceptable. Please revise the plant list to use species native to Michigan for no less than 50% of the species used.

*Plans will be revised to meet this requirement.*

2. The quantities of serviceberries and Kousa dogwoods exceed the limitations of LDM 4. Tree counts for a single species may only account for 15% or less of the total number of trees planted. Please reduce the number of Kousa dogwoods and serviceberries and add other species in their place and/or increase the number of flowering crabapples used.

*Plans will be revised to meet this requirement.*

Planting Notations and Details (LDM 10)

1. Please add a tree protection fence detail to the Demolition Plan.

*Acknowledged, tree protection fence detail has been added to the Demolition Plan.*

Irrigation (LDM 10)

1. If an irrigation system is used, a plan for it must be provided with Final Site Plans.

*Acknowledged, irrigation plan will be provided with Final Site Plans*

Landscape Plan Requirements

1. Show woodland replacement calculation for the offsite tree removals. The woodland replacement trees need to be shown on a plan to be sure they can reasonably be planted on-site before the woodland permit can be approved. It would be preferable to save the large trees (#635 - #637) in the mitigation area if possible. Provide detailed wetland mitigation plans. See Merjent letter for complete wetland and woodland reviews.

*Woodland replacement calculations have been added to the mitigation plan. Replacement trees cannot be counted in the mitigation area so they will pay into the tree fund. Detailed mitigation plans will be provided at the final site plan stage.*

2. Please add all light posts and resolve tree/pole conflicts.

*Light Poles will be shown on the Final Site Plan Submittal.*

**Merjent Review:**

## Wetland Review

1. For final site plan approval, the applicant should list the type and reason for filling each wetland on Sheet 12 of the PSP. Information such as "X cubic yards of gravel overlain by X cubic yards of asphalt fill for parking lot/road," would be beneficial when preparing the Wetland Use Permit if this project is approved.

*Acknowledged.*



2. Sheet 12 of the PSP states that off-site mitigation is proposed. Additionally, Sheet 05 states that "XXXXXX" lists mitigation information (not provided in PSP). Due to the need for approximately 1.00 acre of wetland mitigation, the applicant shall provide a conceptual mitigation plan either appended to the PSP or within the PSP. The conceptual mitigation plan should contain the following information:
  - a. The location of the proposed wetland mitigation site in relation to the proposed Sheetz site. A location map for the mitigation site should be provided with the nearest crossroads and/or identifiable landmarks.
  - b. The total acreage and ecological type of the wetland that will be created and/or expanded.
  - c. A brief description of existing conditions at the proposed mitigation site. Existing conditions include but are not limited to, general topography, soils, vegetation, and any existing hydrology.
  - d. A brief description of the method with which the mitigated wetland will be created and/or expanded. A detailed engineering design is not required, but the source of water for the mitigated wetland should be identified.

*Information has been included with this submittal see C14/C15 and ASTI letter.*

3. A deviation of the standard mitigation ratio would only be permitted if City Council grants an exception from the Code requirements. If the required amount of mitigation cannot be provided, the applicant should consider redesigning the site to reduce the wetland impacts proposed. Sheet C15 states that the wetlands located on the Haggerty Parcel were flagged by Barr Engineering on September 7, 2023. It is recommended that the applicant provide a wetland delineation report for this property and if the planning process continues for this project, a wetland boundary verification is recommended to be performed at the Haggerty Parcel.  
*An updated mitigation plan is provided with this letter depicting required mitigation areas to meet ordinance.*
4. A wetland buffer authorization will be required for this project. For final site plan approval, the applicant should list any mowing, filling (cubic yards/type), and/or excavating that will be performed within the setback.  
*Acknowledged.*
5. The Applicant is encouraged to provide wetland conservation easements for any areas of remaining wetland and 25-foot wetland buffer. The Applicant shall provide wetland conservation easements as directed by the City of Novi Community Development Department for any areas of proposed wetland mitigation areas. This language shall be submitted to the City Attorney within 60 days of the issuance of the City of Novi Wetland and Watercourse permit.  
*Acknowledged.*
6. The construction of a proposed wetland mitigation occurs adjacent to two existing wetland areas. Review and/or approval from EGLE may be required due to the potential for incidental impact on these existing and potentially regulated wetland features at the wetland mitigation site. Merjert nor the City of Novi can make a determination if a permit is required, from EGLE, for the proposed mitigation site that would potentially influence the hydrology of these existing wetlands. The existing mitigation site wetlands may or may not be regulated by EGLE. The proposed mitigation site is exempt from requiring additional City of Novi Wetland and Watercourse Permitting under Section 12-171(b)(18): Activities within a wetland or watercourse solely for the purpose of creating additional wetland areas on adjacent land for mitigation purposes.  
*Wetland hydrology is groundwater driven as confirmed by piezometer readings and soil borings. As a result, impacts to surrounding hydrology is highly unlikely. EGLE permits*

*are not anticipated because the construction will be done from upland with final grades meeting the existing wetland grades along the wetland/upland boundaries.*

#### Woodland – Sheetz Site

1. City-regulated woodlands, as identified on the City of Novi Woodlands interactive map website, are likely present onsite. Note that both the woodlands and property limits depicted on the City map are considered approximations. A visit was performed on March 26, 2024 to verify and review the extent of woodlands on-site. Figure 1 attached has a polygon showing the approximate woodland areas onsite. Select photos from the site visit are included in Attachment A.  
*Tree replacement calculations have been updated.*
2. When a proposed site plan is located within a regulated woodland, any tree proposed for removal with a diameter at breast height (DBH) greater than or equal to eight inches will require tree replacement and a Woodland Use Permit per Section 37-8. This also applies to any tree that will be preserved, but where impacts to critical root zones are proposed.  
*Acknowledged.*
3. Regardless of the presence of regulated woodlands onsite, a Woodland Use Permit is required to perform construction on any site containing the removal of trees larger than 36 inches in DBH. Review of PSP Sheet 3 shows that no trees larger than 36 inches DBH are located on-site.  
*Acknowledged.*
4. The plan has proposed the removal of 41 regulated trees. A Woodland Use Permit is required to perform any construction on any site containing regulated woodlands. The permit for this site would require Planning Commission approval because more than three trees are proposed to be impacted/removed by construction.  
*Acknowledged.*
5. Woodland Replacement. Based on review of the rPSP, a summary of woodland replacements is provided in the plan. The Woodland Replacement tables need to be adapted and revised.  
*Woodland replacement tables have been added.*
10. A financial guarantee, in the amount of \$6,000 (120% x \$5,000) is required for tree protection fencing maintenance per Chapter 26.5-37. This guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.
  - a. For final site plan approval, the cost to stake, install, and remove tree protection fencing should be added to the Landscape Plan. This is needed to calculate woodland fence inspection fees.  
*Acknowledged.*
11. Based on a site visit performed on March 26, 2024, the trees depicted in the site plan for the parcel boundary are accurate and the tree survey matches what is within the parcel boundary. Photographs on the site visit are enclosed in Attachment A.  
*Acknowledged.*

#### Woodland Review Comments – Mitigation Site

1. Pursuant to Section 37-28, woodland surveys shall be provided by a registered landscape architect, certified arborist, or registered forester, through an onsite inspection.  
*A signed and sealed tree survey will be included with the FSP submittal.*
2. A The rrPSP has proposed the removal of 27 trees within a regulated woodland. The following table is summarized based on Merjent's review of the provided plan and does not match what is

provided on Sheet C14 and C15. The applicant should review their total replacement/removal counts and ensure they are accurate prior to Final Site Plan Review.

*Acknowledged.*

3. Accurate critical root zones must be depicted on the site plan for all regulated trees within 50 feet of proposed grading or construction activities.

*Acknowledged.*

4. Regulated woodland disturbance includes impacts to the critical root zone of regulated trees, including but not limited to encroachment by grading, landscaping, and construction. If impacts to the critical root zone of regulated woodland trees are proposed – woodland replacements are required.

*Acknowledged.*

5. Sections 37-9 and 37-28 state requirements for showing tree protection fencing in site plans. The mitigation site does not show the use of protective barriers around woodlands that will not be impacted.

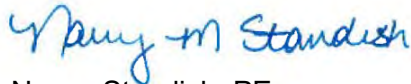
*Acknowledged.*

6. The applicant has elected to payment into the City of Novi Tree Fund. Based on the rrPSP, the payment will be in the amount of \$24,800 but may differ pending review of the Comments 2 through 4 (above).

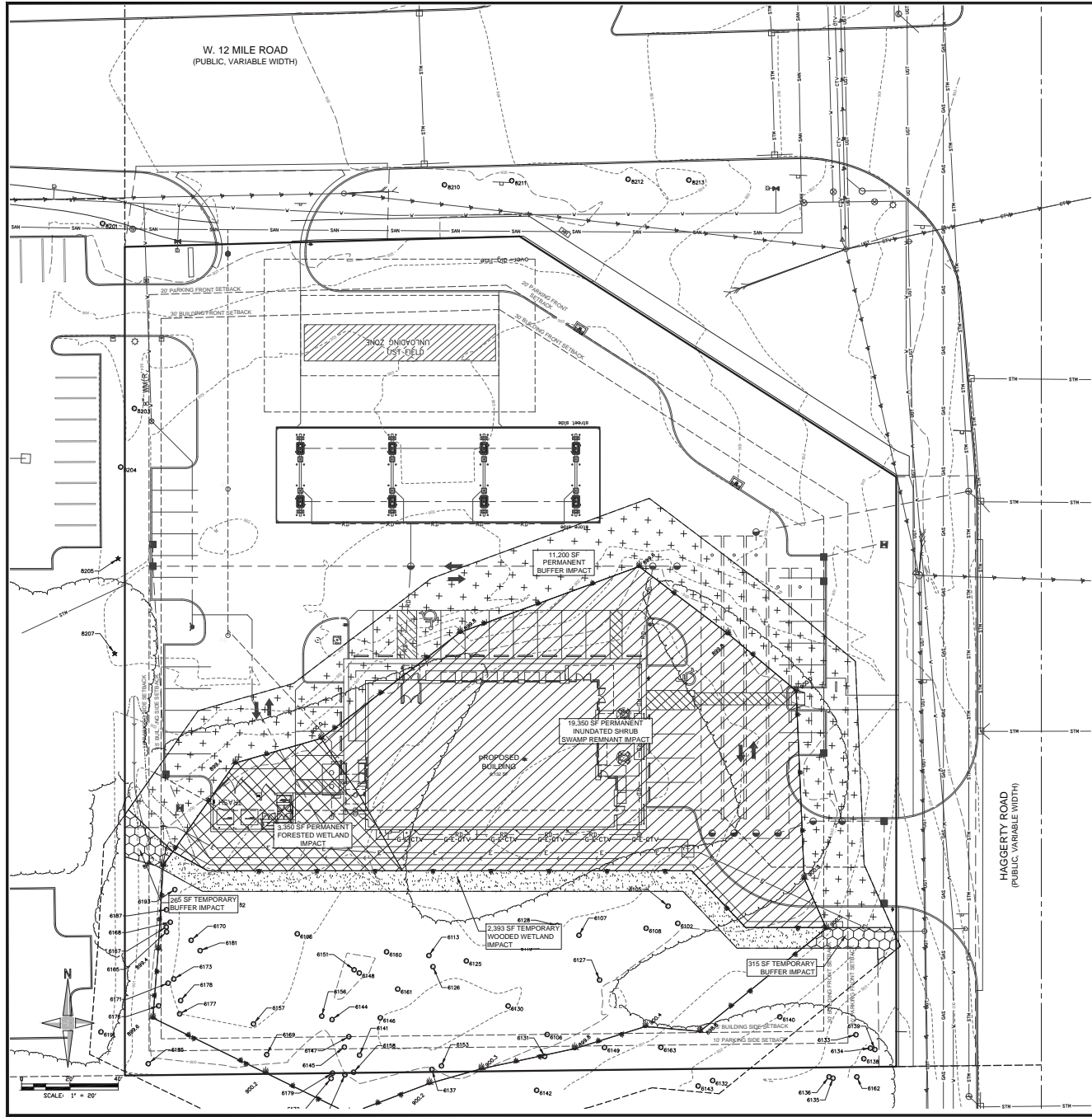
*Acknowledged.*

Please feel free to contact me if you have any questions.

Respectfully,  
**GIFFELS-WEBSTER**



Nancy Standish, PE  
Partner



**LEGEND:**

- PERMANENT WOODED WETLAND IMPACTS
- PERMANENT WETLAND IMPACTS
- PERMANENT WETLAND BUFFER IMPACTS
- TEMPORARY WOODED WETLAND IMPACTS
- TEMPORARY WETLAND BUFFER IMPACTS

IMPACT TABLE		
WETLAND CITY REGULATED	41,255 SF ONSITE AREA	
IMPACT 1 - FORESTED WETLAND FILL	3,350 SF	838 CY
IMPACT 2 - INUNDATED SHRUB SWAMP FILL	19,350 SF	3,653 CY
IMPACT 3 - TEMPORARY	2,393 SF	0 CY
TOTAL PERMANENT SHRUB SWAMP IMPACTS	19,350 SF	
SHRUB SWAMP MITIGATION RATIO 1.5	29,025 SF	
OFF-SITE MITIGATION PROPOSED		
TOTAL PERMANENT FORESTED IMPACTS	3,350 SF	
FORESTED MITIGATION RATIO 2	6,700 SF	
TOTAL MITIGATION REQUIRED	35,725 SF	
OFF-SITE MITIGATION PROPOSED	35,725 SF	
BUFFER IMPACTS		
PERMANENT BUFFER IMPACTS	11,200 SF	
TEMPORARY BUFFER IMPACTS	580 SF	

**giffels webster**  
 Engineers  
 Surveyors  
 Planners  
 Landscape Architects

1025 East Maple Road  
 Suite 100  
 Birmingham, MI 48009  
 p (248) 852-3100  
 f (313) 962-5088  
 www.giffelswebster.com

Executive:	NS
Manager:	NS
Designer:	NS
Quality Control:	JR
Section:	13
	T-01-N R-08-E

Professional Seal:

**811**  
 Know what's below.  
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DATE	ISSUE
02.13.2024	OWNER REVIEW
03.04.2024	SUBMIT PRELIMINARY SITE PLAN
06.07.2024	RESUBMIT PRELIMINARY SITE PLAN
07.12.2024	REVISED LAYOUT PER WETLAND COMMENTS
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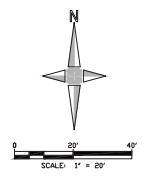
**SKILKEN | GOLD**  
 Real Estate Development  
 4270 MORSE ROAD  
 COLUMBUS, OH 43230  
 614.418.3100

**WETLAND IMPACT PLAN**

SHEETZ NOWI, MI  
 (HAGGERTY)

CITY OF NOVI  
 OAKLAND COUNTY  
 MICHIGAN

Date:	11.08.2023
Scale:	1" = 20'
Sheet:	13
Project:	20415.00

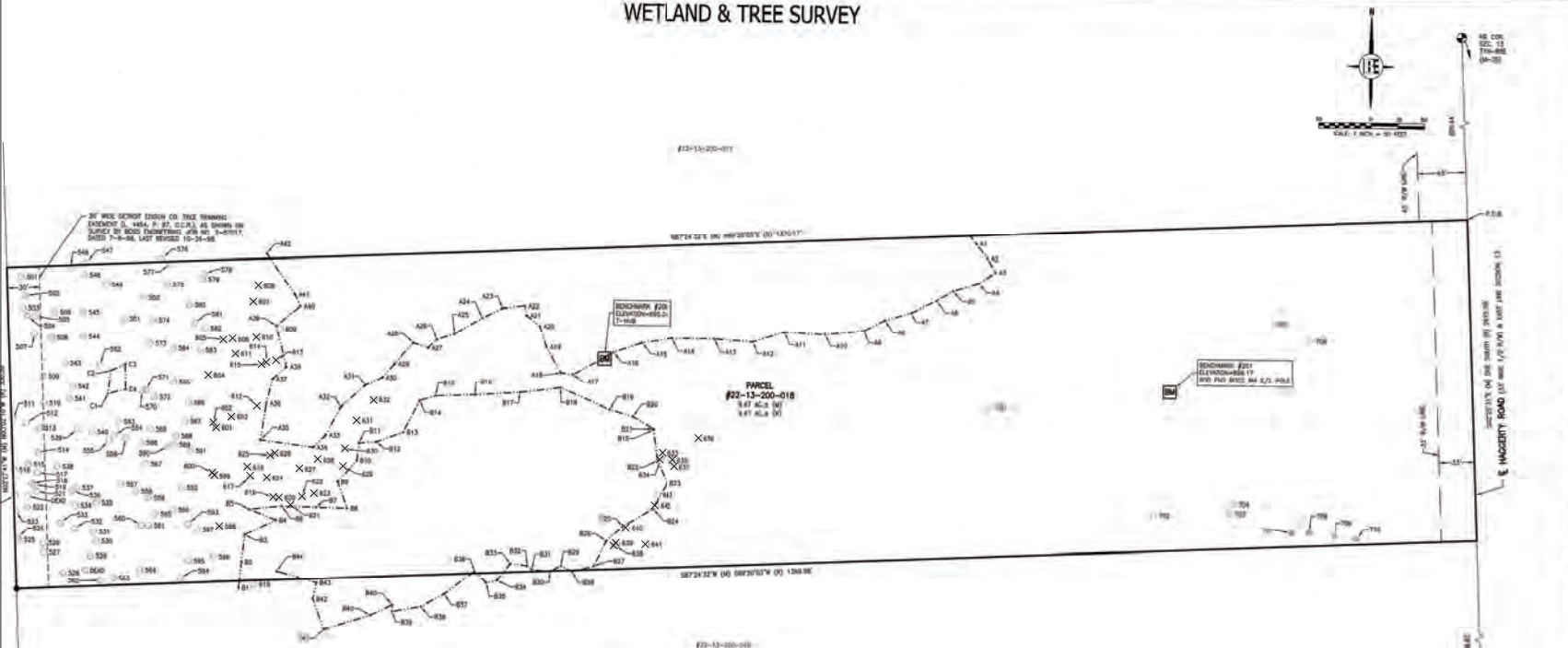


H:\2024\20415.00\Sheetz Nowi, MI\Haggerty\Design\DWG\Sheetz Nowi\13 Wetland Plan.dwg



# WETLAND & TREE SURVEY

#23-13-000-011



## TREE INVENTORY LIST

Tree #	Botanical Name	Common Name	DBH	Condition	Comments
301	Quercus bicolor	Sweetgum	18	Good	
302	Quercus bicolor	Sweetgum	18	Good	
303	Quercus bicolor	Sweetgum	11	Good	
304	Thuja occidentalis	Red Cedar	14	Fair	
305	Quercus bicolor	Sweetgum	12	Good	
306	Fagus grandifolia	American Beech	12	Good	
307	Betula papyrifera	Yellow Birch	6	Fair	
308	Fagus grandifolia	American Beech	17	Good	
309	Quercus bicolor	Sweetgum	19	Good	
310	Quercus bicolor	Sweetgum	13	Good	
311	Quercus bicolor	Sweetgum	11	Good	
312	Quercus bicolor	Sweetgum	14	Good	
313	Quercus bicolor	Sweetgum	13	Good	
314	Fagus grandifolia	American Beech	18	Good	
315	Quercus bicolor	Sweetgum	11	Good	
316	Betula papyrifera	Yellow Birch	11	Fair	
317	Fagus grandifolia	American Beech	11	Good	
318	Thuja occidentalis	Red Cedar	14	Good	
319	Pinus strobus	White Pine	9	Fair	
320	Pinus strobus	White Pine	9	Good	
321	Thuja occidentalis	Red Cedar	9	Good	
322	Thuja occidentalis	Red Cedar	9	Good	
323	Acer rubrum	Red Maple	9	Good	
324	Acer rubrum	Red Maple	9	Fair	
325	Quercus bicolor	Sweetgum	9	Fair	
326	Quercus rubra	Red Oak	18	Good	
327	Quercus rubra	Red Oak	18	Good	
328	Acer rubrum	Red Maple	20	Good	
329	Fagus grandifolia	American Beech	20	Good	
330	Fagus grandifolia	American Beech	20	Fair	
331	Fagus grandifolia	American Beech	20	Good	
332	Fagus grandifolia	American Beech	22	Fair	
333	Acer rubrum	Red Maple	20	Good	
334	Fagus grandifolia	American Beech	18	Good	
335	Fagus grandifolia	American Beech	18	Fair	
336	Thuja occidentalis	Red Cedar	11	Fair	
337	Quercus bicolor	Sweetgum	11	Good	
338	Quercus rubra	Red Oak	14	Good	
339	Quercus rubra	Red Oak	14	Good	
340	Thuja occidentalis	Red Cedar	14	Good	
341	Thuja occidentalis	Red Cedar	14	Good	
342	Thuja occidentalis	Red Cedar	14	Good	
343	Thuja occidentalis	Red Cedar	14	Good	
344	Thuja occidentalis	Red Cedar	14	Good	
345	Thuja occidentalis	Red Cedar	14	Good	
346	Thuja occidentalis	Red Cedar	14	Good	
347	Thuja occidentalis	Red Cedar	14	Good	
348	Thuja occidentalis	Red Cedar	14	Good	
349	Thuja occidentalis	Red Cedar	14	Good	
350	Thuja occidentalis	Red Cedar	14	Good	

Tree #	Botanical Name	Common Name	DBH	Condition	Comments
407	Quercus bicolor	Sweetgum	18	Good	
408	Fagus grandifolia	American Beech	18	Good	
409	Ulmus americana	American Elm	18	Good	
410	Acer rubrum	Red Maple	18	Fair	
411	Fagus grandifolia	American Beech	11	Fair	
412	Ulmus americana	American Elm	11	Fair	
413	Fagus grandifolia	American Beech	20	Good	
414	Thuja occidentalis	Red Cedar	20	Good	
415	Thuja occidentalis	Red Cedar	20	Good	
416	Fagus grandifolia	American Beech	20	Good	
417	Acer rubrum	Red Maple	20	Good	
418	Acer rubrum	Red Maple	20	Good	
419	Acer rubrum	Red Maple	20	Good	
420	Acer rubrum	Red Maple	20	Good	
421	Acer rubrum	Red Maple	20	Good	
422	Acer rubrum	Red Maple	20	Good	
423	Acer rubrum	Red Maple	20	Good	
424	Acer rubrum	Red Maple	20	Good	
425	Acer rubrum	Red Maple	20	Good	
426	Acer rubrum	Red Maple	20	Good	
427	Acer rubrum	Red Maple	20	Good	
428	Acer rubrum	Red Maple	20	Good	
429	Acer rubrum	Red Maple	20	Good	
430	Acer rubrum	Red Maple	20	Good	
431	Acer rubrum	Red Maple	20	Good	
432	Acer rubrum	Red Maple	20	Good	
433	Acer rubrum	Red Maple	20	Good	
434	Acer rubrum	Red Maple	20	Good	
435	Acer rubrum	Red Maple	20	Good	
436	Acer rubrum	Red Maple	20	Good	
437	Acer rubrum	Red Maple	20	Good	
438	Acer rubrum	Red Maple	20	Good	
439	Acer rubrum	Red Maple	20	Good	
440	Acer rubrum	Red Maple	20	Good	
441	Acer rubrum	Red Maple	20	Good	
442	Acer rubrum	Red Maple	20	Good	
443	Acer rubrum	Red Maple	20	Good	
444	Acer rubrum	Red Maple	20	Good	
445	Acer rubrum	Red Maple	20	Good	
446	Acer rubrum	Red Maple	20	Good	
447	Acer rubrum	Red Maple	20	Good	
448	Acer rubrum	Red Maple	20	Good	
449	Acer rubrum	Red Maple	20	Good	
450	Acer rubrum	Red Maple	20	Good	
451	Acer rubrum	Red Maple	20	Good	
452	Acer rubrum	Red Maple	20	Good	
453	Acer rubrum	Red Maple	20	Good	
454	Acer rubrum	Red Maple	20	Good	
455	Acer rubrum	Red Maple	20	Good	
456	Acer rubrum	Red Maple	20	Good	
457	Acer rubrum	Red Maple	20	Good	
458	Acer rubrum	Red Maple	20	Good	
459	Acer rubrum	Red Maple	20	Good	
460	Acer rubrum	Red Maple	20	Good	

**LEGEND**  
 ■ ■ ■ TREE WITH TAG  
 ■ ■ ■ TREE TO BE REMOVED  
 ■ ■ ■ TREE TO BE REMOVED

**PROPERTY DESCRIPTION PER SURVEY BY BOSS ENGINEERING, JOB NO. 2-98017, DATED 7-8-08, LAST REVISED 10-26-08**

Part of the Northwest 1/4 of Section 13, T19N-R06E, City of Novi, Oakland County, Michigan, more particularly described as follows: Commencing at the northeast corner of said Section 13; thence along the East line of said Section 13 and the westerly line of Haggerty Road (33 feet wide 1/2 right of way), 244.50 feet to the POINT OF BEGINNING of the Parcel to be described; thence continuing along the East line of said Section 13 and the westerly line of Haggerty Road (33 feet wide 1/2 right of way), 200.20 feet (previously recorded as 201.18 feet); thence S 89°20'00" W (previously recorded as S 89°20'00" W), 1388.00 feet; thence N 0°02'10" W, 300.30 feet (previously recorded as 201.18 feet); thence N 89°20'00" E (previously recorded as N 89°20'00" E), 1370.17 feet, to the POINT OF BEGINNING, containing 3.47 acres, more or less, and subject to the rights of the public over the existing Haggerty Road. Also subject to any other assessments or restrictions of record.

**GENERAL SURVEY NOTES:**

- BOUNDARIES ARE BASED ON MICHIGAN STATE PLANE COORDINATE SYSTEM, SOUTH ZONE, RECORD BOUNDARY SURVEY FROM A PREVIOUS SURVEY BY BOSS ENGINEERING, JOB NO. 2-98017, DATED 7-8-08, LAST REVISED 10-27-08.
- SUBSURFACE UTILITIES NOT LOCATED FOR THIS SURVEY MAY EXIST. IT IS THE RESPONSIBILITY OF THE OWNER OF THE RESPECTIVE PROPERTY TO ACCURATELY LOCATE SUCH UTILITIES.
- DOCUMENTS OR RESTRICTIONS OF RECORD NOT REFLECTED ON THIS DRAWING MAY EXIST.
- TREE INVENTORY WAS COMPLETED BY BOSS ENGINEERING ON SEPTEMBER 26, 2023.
- WETLANDS WERE PLACED BY BOSS ENGINEERING ON SEPTEMBER 15, 18 & 21, 2023.



**BOSS Engineering**  
 Engineers Surveyors Planners Landscape Architects  
 3111 E. GRAND RIVER AVE.  
 HOWELL, MI 48843  
 517.596.8836 FAX 517.548.6070

**HERO HAGGERTY, LLC**  
 1504 ALUMINUM DRIVE  
 HOWELL, MI 48843  
 517-877-7712

DATE	ISSUE
02.13.2024	OWNER REVIEW
03.04.2024	SUBMIT PRELIMINARY SITE PLAN
06.07.2024	RE-SUBMIT PRELIMINARY SITE PLAN
07.12.2024	REVISED LAYOUT PER WETLAND COMMENTS
07.31.2024	RE-SUBMIT PRELIMINARY SITE PLAN
09.25.2024	REVISE WETLAND MITIGATION AREAS

**giffels webster**  
 Engineers Surveyors Planners Landscape Architects  
 1025 East Maple Road  
 Suite 100  
 Birmingham, MI 48009  
 p (248) 852-3100  
 f (313) 962-0088  
 www.giffelswebster.com

Executive: N/S  
 Manager: N/S  
 Designer: N/S  
 Quality Control: JR  
 Scribe: TS  
 T-01-N-R-08-E

Professional Seal

**811**  
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**SKILKEN GOLD**  
 Real Estate Development  
 4270 MORSE ROAD  
 COLUMBUS, OH 43230  
 614.418.3100

**MITIGATION AREA TREE REMOVALS**

SHEETZ, NOWI, M (HAGGERTY)

CITY OF NOVI  
 OAKLAND COUNTY  
 MICHIGAN

Date: 11.08.2023  
 Scale: 1"=50'  
 Sheet: C15  
 Project: 20415.00

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**Sent Via Email Only**

May 1, 2024

Kareem Amr  
**Skilken Gold**  
4270 Morse Road  
Columbus, OH 43230

*RE: Sheetz Novi Property  
39471 Twelve Mile Road  
Parcel ID No. 22-13-200-016  
Novi, Michigan  
City of Novi File No. JSP23-33*

Dear Kareem Amr:

The following document is intended to summarize proposed impacts to city-regulated wetlands on the Sheetz Novi property and to document the rationale for the selected wetland mitigation proposal. The proposed project includes the demolition of an existing BP gas station at 39471 Twelve Mile Road to construct a new 6,132 square foot convenience store with eight double-sided fueling stations.

As part of redevelopment activities, a portion of a city-regulated wetland will be impacted due to fill. The existing wetland is not EGLE regulated and therefore does not require EGLE approval for the impacts. The proposed permanent impacts are as follows:

- Inundated Shrub Swamp                      21,570 sf (0.495 acres) Permanent Impact
- Remnant Scrub/Shrub Wetland
- Forested Wetland                              5,660 sf (0.130 acres) Permanent Impact

**Total Proposed Impact 27,230 sf (0.625 acres)**

Mitigation of these wetland fills, if permitted, are defined in the ordinances and listed below:

- Inundated Shrub Swamp                      32,355 sf (0.743 acres) mitigation  
Remnant Wetland 1.5:1 ratio
- Forested Wetland 2:1 ratio                      11,320 sf (0.258 acres) mitigation
- Total Required Mitigation    43,675 sf (1.03 acres)**

### **Wetland Mitigation Selection Considerations**

ASTI Environmental, in conjunction with Skilken Gold and the Skilken Gold real estate team, analyzed a total of 10 properties throughout the city for potential mitigation use. These properties were assessed using published data such as aerial photos, City of Novi mapping (wetlands, woodlands, and 2-foot contour), EGLE mapping, and soils surveys. Several site assessments included field visits and a Geoprobe was used on two of the sites that made it through to final consideration (West Road property and the selected Haggerty Road property). The Geoprobe was used to further assess soils and depth to groundwater. The following site characteristics were assessed for each site to determine wetland mitigation potential:

- Existing wetland – existing wetland on the property in question or the surrounding properties indicates a potential for wetland creation through expansion.
- Mapped soils – soils mapped as poorly drained, for example, indicate a potential source of wetland hydrology.
- Topography – city 2-foot contour maps provided insight into the amount of grading that may be required. Topography coupled with existing wetland provided an estimate for depth to groundwater.
- Presence or absence of woodland – converting city mapped woodland or trees in general to create wetland was not desired, nor expected to be approved.
- Hydrology source – properties with ground water as the hydrologic input were desired over the use of surface water runoff.
- Existing development – some properties reviewed were “development ready” and were eliminated due to the presence of infrastructure.
- Availability for purchase – the majority of properties reviewed were for sale; however, the selected site was not. The owner was approached and is willing to discuss potential purchase of a portion of his property.



- Measured depth to groundwater – two sites, a property on West Road and the selected mitigation site, are currently being monitored for depth to groundwater from installed piezometers. The West Road site will likely be eliminated due to groundwater being too deep.

### **Selected Mitigation Alternative – Portion of 27629 Haggerty Road**

The selected mitigation proposal is to purchase +/-4 acres of the +/-9 acres owned by Howard Friedlaender located at 27629 Haggerty Road (approximately 770 feet south of the subject property). Per the included plan, the proposal is to purchase the back portion of the property for required wetland mitigation. The plan proposes a total of 29,030 sf (0.667 acres) of mitigation. This is a mitigation ratio of 1.07:1. Rather than mitigating separate wetland types, the project is proposing the mitigation to be all forested wetland. Forested wetland is less common and a more desirable, generally higher functioning wetland type.

Created forested wetland will also provide the opportunity for addressing the tree replacement obligations associated with the Sheetz development. It is estimated that all but 20 replacement trees can be accommodated within the wetland mitigation area.

Proposed construction within the mitigation area includes cutting grades down one to two feet to meet the same elevation as the adjacent wetlands and to intercept groundwater, the intended primary source of hydrology. The constructed mitigation area will then be planted to meet mitigation standards for the wetland type, specifically, trees and a forested wetland seed mix, using only species native to Michigan.

In addition to placing the 29,030 sf mitigation area in a conservation easement, the mitigation proposal includes the placement of the entire 4.23 acre section of adjacent forested land within a conservation easement. The wooded area contains a diverse assemblage of tree species including swamp white oak, basswood, American beech, yellow birch, black cherry, red maple, red oak, American elm, and sugar maple. These trees range in size from 8 inches up to 29 inches with most being in the 10-15-inch range.

The final mitigation effort proposed is as follows:

- New wetland construction at a ratio of 1.07:1
- Additional conservation easement at a ratio of 5.35:1.

The ecological benefits of this proposal include no net loss of wetland acreage within the city by meeting a minimum 1:1 ratio and the mitigation site is located in close proximity to the permitted impacts (approximately 770 feet away). In addition, existing upland forest will be protected from development in perpetuity

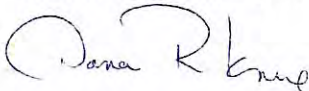
through a conservation easement as part of the wetland mitigation. This forested area is currently only protected by the woodland ordinance.

The added benefit of this proposal is the minimal risk of failure. Rather than attempting wetland creation in an area with unknown or an estimated source of hydrology, such as surface water runoff, this wetland creation area will be driven by groundwater, which is currently being monitored. Further, it will be made part of a much larger wetland/forested upland complex adding to the functions and values of that complex and servicing the area in which the impacts will occur.

We greatly appreciate the opportunity to work with you on this project. If you have any questions or comments, please do not hesitate to contact me at 734.474.0190 or [dknox@asti-env.com](mailto:dknox@asti-env.com).

Sincerely yours,

ASTI ENVIRONMENTAL



Dana R. Knox, PWS  
Wetland Ecologist  
Certification No. 213

Attachments: 2024-05-02 Mitigation Exhibit-13  
2024-05-02 Mitigation Exhibit-14

# NOISE IMPACT STUDY

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2023-121R1  
December 15, 2023

Mr. Andrew Richlen, PE, MBA  
Project Manager  
Skilken Gold  
Real Estate Development  
4270 Morse Road  
Columbus, OH 43230

Subject: **Gas Station & Store Community Impact Statement**  
re: Sheetz Store – SWC Twelve Mile Rd. & Haggerty Rd.  
Novi, MI

Dear Mr. Richlen:

At your request and authorization, Kolano and Saha Engineers, Inc. (K&SE) has conducted an investigation to provide a community impact statement for the City of Novi regarding the operation of the proposed gas station and store. This investigation reviewed the building mechanical equipment noise impact to the surrounding community. These sound levels were evaluated against the limits established by the City of Novi Ordinance.

### **Proposed Site**

The location of the proposed Sheetz Store is at the southwest corner of Twelve Mile Road and Haggerty Road. All properties adjacent to the proposed Sheetz location are commercial, including to the east of Haggerty Road in Farmington Hills. The closest residential properties are to the north-northeast, approximately 800 feet away in Farmington Hills. The next closest residential properties are to the south, approximately 1800 feet away in Novi. The City of Novi noise code limits for commercial properties apply at all adjacent property lines within the Novi boundaries. **Exhibit 1** provides an aerial view of the site with the proposed building, drives and parking lot overlaid, as well as the zoning of adjacent properties and the City of Novi boundary to the east.

Sound level predictions were based on the location of property lines, mechanical equipment, and equipment manufacturer noise data. The following documents were utilized for the predictions:

- Giffels+Webster site plan, Sheetz – Novi dated 7/26/2023.
- Convenience Architecture and Design PC – architectural plans, mechanical plans, plumbing plans, electrical plans – dated 10/2/2023
- Sound power data provided for the proposed rooftop air makeup units as provided to us by equipment manufacturers.

### **City of Novi Noise Code**

The City of Novi Code, Zoning Ordinance, *Section 5.14 Performance Standards, Subsection 10 Noise*, restricts property line noise levels to 75dB(A) daytime and 70dB(A) nighttime for business and commercial zones. Furthermore, it restricts property line noise levels to 60dB(A) daytime and 55dB(A) nighttime for residential zones. Daytime is defined as 7AM – 10PM with Nighttime occupying 10PM – 7AM.

Operations of the Sheetz store are expected to occur during daytime and nighttime periods. Additionally, it is expected that the roof top mechanical equipment may operate 24 hours a day to maintain building environmental conditions.

### **City of Farmington Hills Noise Code**

The City of Farmington Hills Code of Ordinances addresses noise standards in Article VII, Section 17-101. – Noise. In residential districts, it restricts property line noise levels to 60 dB(A) at daytime (7AM to 7PM), 55 dB(A) at evening (7PM to 10PM), and 50 dB(A) at nighttime (10PM to 7AM). In commercial districts, it restricts property line noise levels to 65 dB(A) at daytime (7AM to 7PM), and 50 dB(A) at nighttime (7PM to 7AM).

### **Advanced Computer Modeling Noise Prediction**

Sound is a physical phenomenon that can be readily predicted with reasonable accuracy. To evaluate the sounds created from the proposed Sheetz store and determine what noise impact may occur at the site boundaries, we developed an advanced three-dimensional, outdoor acoustical model. This model allows accurate prediction of sound levels created by the operation of known building mechanical systems and related delivery operations. The computer program we use for this modeling relies on international standards (such as ISO 9613) to properly calculate and predict sound levels. The computer program relies on user inputs of terrain, structures, foliage, obstacles, sound reflective and absorptive surfaces, receiver positions, as well as the type of sound source, including point sources (small individual devices, such as small fans), line sources (numerous sources in a line, such as road traffic), and area sources (sources with large surface areas, such as transformers). By using this predictive tool, we have constructed a virtual acoustic model of the proposed Sheetz store site and have developed sound level predictions for it.

### **Building Rooftop Mechanical Equipment**

Building mechanical systems consist of three roof top air handling units, six refrigeration condenser units, and two exhaust fans. These mechanical units will be located on the roof the Sheetz store, shielded by a screen wall. Sound level data used for these mechanical systems comes from the unit manufacturers. Our modeling assumes a worst-case scenario with all units operating simultaneously at nighttime. The predicted sound level contour plots with this equipment operating are shown in **Exhibit 2**. The predicted sound level for the rooftop mechanical equipment is expected to be below all applicable ordinance noise limits.

Delivery Trucks Traveling on Site

The Sheetz store is expected to receive deliveries on a regular basis. Store supplies are expected to be delivered by WB67 delivery trucks. Deliveries are expected on a weekly basis and will occur during daytime hours. Similarly, fuel deliveries are expected to occur on a weekly basis during daytime hours. Additional deliveries may come by box trucks or vans. Loading and unloading is expected to occur during normal daytime business hours. The delivery vehicles are expected to enter and exit the site from Haggerty Road and W Twelve Mile Road. Delivery vehicles operating on the Sheetz site are expected to comply with the City of Novi noise regulations.

Customer Vehicles on Site

Vehicles moving on site of the Sheetz store are expected to produce relatively low levels of noise. These levels are expected to be well below traffic sound levels on Twelve Mile Road and Haggerty Road.

Conclusions

Based on the findings of our investigation, we expect the proposed Sheetz Novi store to comply with the City of Novi ordinance noise criteria.

Mr. Richlen, we hope this summary of our investigation is informative and helpful. Should you need additional information regarding this work or additional assistance, don't hesitate to ask.

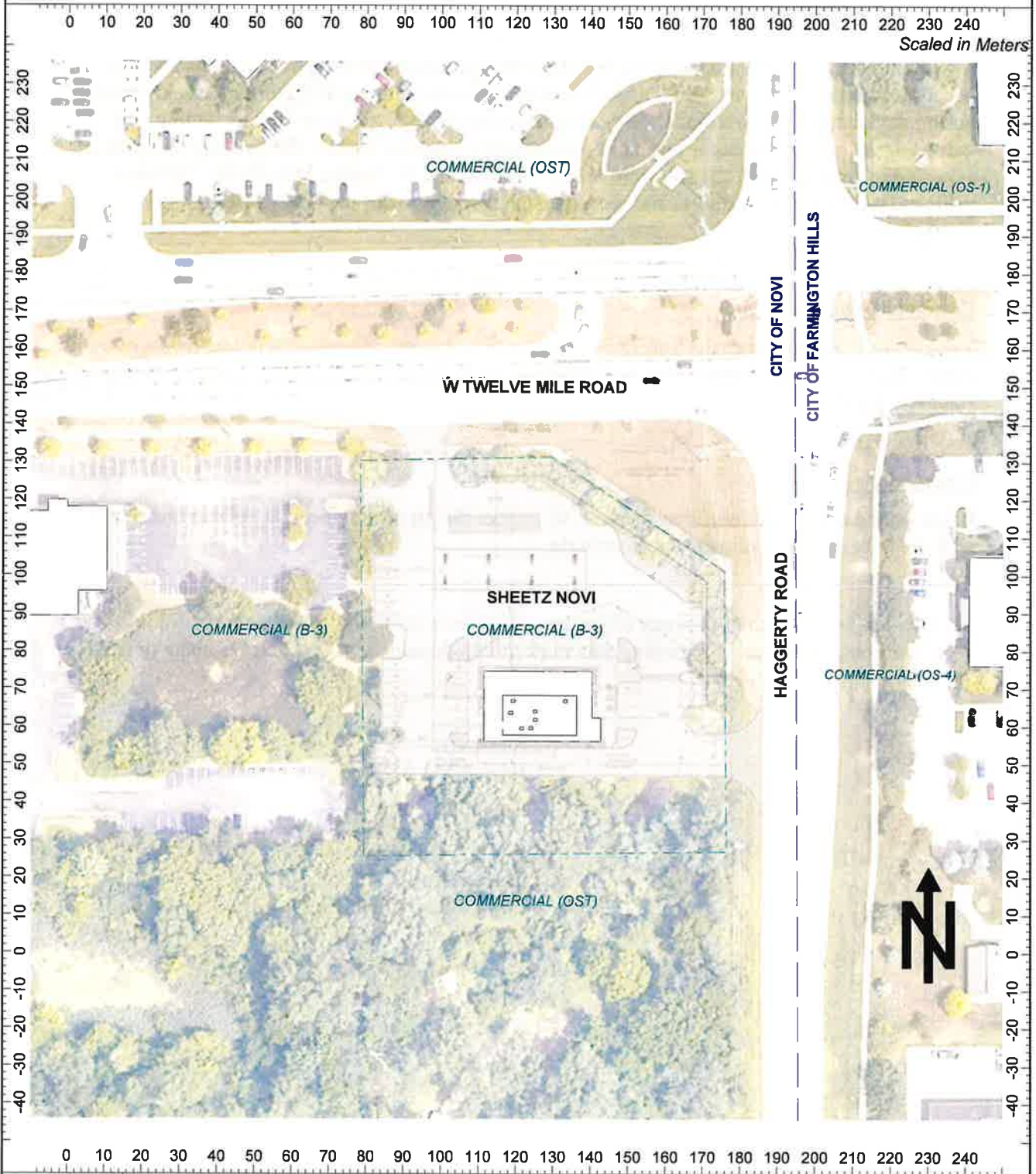
Sincerely,  
**KOLANO AND SAHA ENGINEERS, INC.**



Darren Brown, P.E.  
INCE Board Certified  
Consultant

EXHIBIT 1

SITE PLAN OF THE PROPOSED SHEETZ NOVI STORE  
WITH ADJACENT PROPERTIES

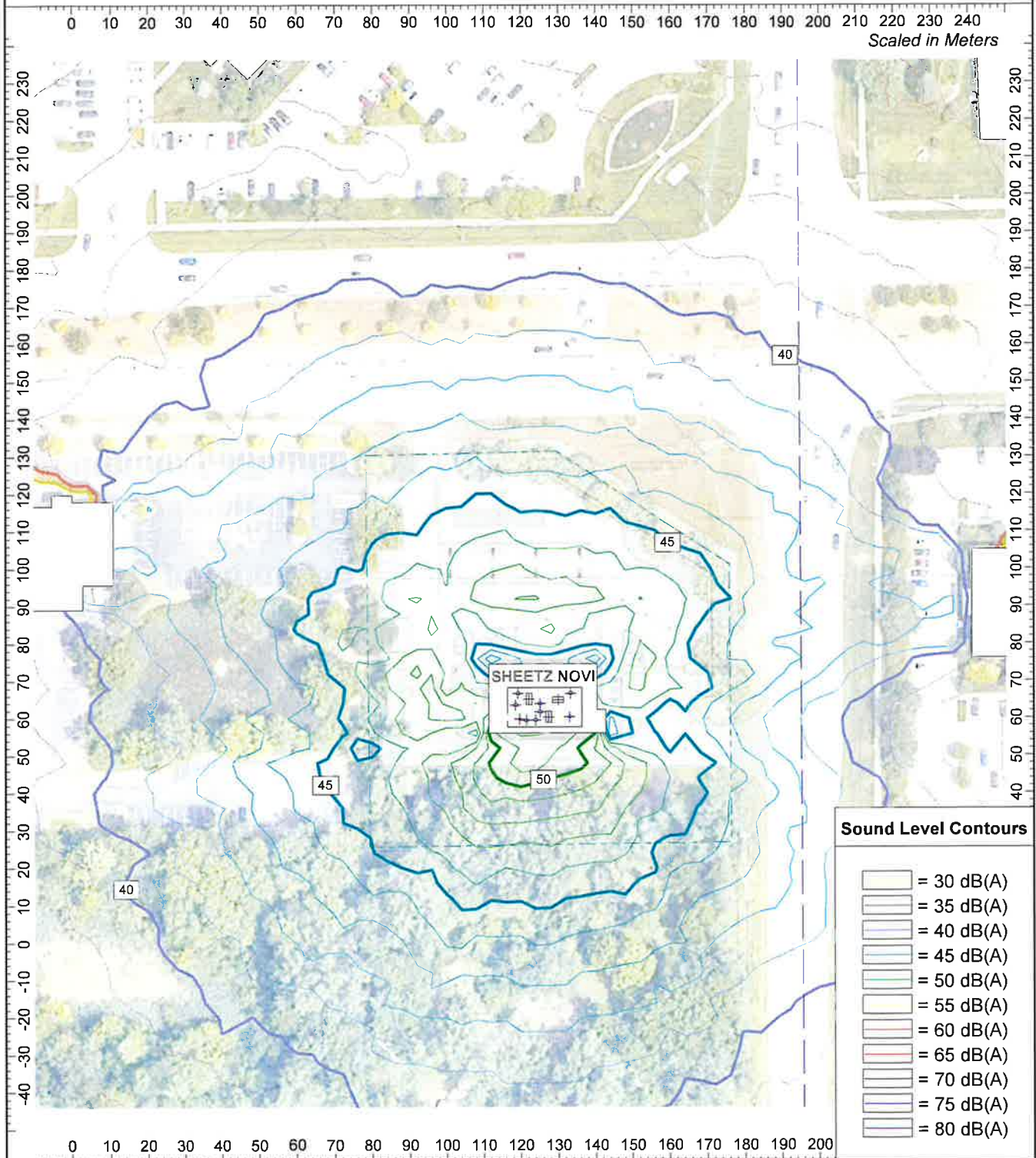


**Kolano and Saha Engineers, Inc.**  
3559 Sashabaw Road - Waterford, MI 48329  
248-674-4100 www.kandse.com

Project Name: **SHEETZ NOVI**  
Study Conducted for: Skilken Gold  
Project No. : 2023-121 Analysis Date (day.mo.yr): 12.12.23

## EXHIBIT 2

### SOUND LEVEL PREDICTIONS OF THE PROPOSED SHEETZ STORE OUTDOOR MECHANICAL EQUIPMENT



**Kolano and Saha Engineers, Inc.**  
 3559 Sashabaw Road - Waterford, MI 48329  
 248-674-4100 www.kandse.com

*Project Name:* **SHEETZ - NOVI**  
*Study Conducted for:* Skilken Gold  
*Project No. :* 2023-121    *Analysis Date (day.mo.yr):* 12.12.23