



WASH ZONE JSP18-50

WASH ZONE JSP 18-50

Consideration at the request of National Car Wash Solutions for Planning Commission's approval of Preliminary Site Plan and Storm Water Management plan. The subject property is vacant land which is part of Novi Ten Shopping Center. The applicant is proposing to develop a 4,788 square foot auto wash building with related drive-through lane and 13 vacuum stations. Related changes to the existing parking lot are proposed to accommodate the drive-through for the car wash.

Required Action

Approve or deny the Preliminary Site Plan and Storm Water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	06-11-19	<ul style="list-style-type: none"> • Zoning Board of Appeals Variance for the following <ul style="list-style-type: none"> ◦ Reduction of minimum centerline radius of 25 ft. for drive-through lane ◦ Lack of bypass lane for the drive-through • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	06-11-19	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended	06-11-19	<ul style="list-style-type: none"> • Waiver for lack of street trees • Waiver for alternate location for foundation landscaping • Items to be addressed by the applicant prior to Final Site Plan approval
Traffic	Approval recommended	06-12-19	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	05-29-19	<ul style="list-style-type: none"> • Section 9 Waiver for the underage of Brick and the overage of EIFS and Ceramic Tile.
Fire	Approval recommended	05-15-19	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of request of National Car Wash Solutions for Wash Zone JSP 18-50, motion to approve the Preliminary Site Plan based on and subject to the following:

1. Landscape waiver from Section 5.5.3.B.ii, iii for not providing four street trees due to conflicts with existing overhead utilities, which is hereby granted;
2. Landscape waiver from Section 5.5.3.D for providing some of the required foundation landscaping away from the building, which is hereby granted;
3. A section 9 waiver is required for the proposed East façade for the following items, which is hereby granted;
 - a. Underage of brick (30% minimum required, 22% proposed);
 - b. Overage of Ceramic tile (25% maximum allowed, 35% proposed);
 - c. Overage of EIFS (25% maximum allowed, 28% proposed);
4. The applicant shall revise the north building elevation to conform to the Façade Ordinance requirements at the time of Final site plan approval;
5. Subject to Zoning Board of Appeals variance from Section 5.3.11.F. for not meeting the minimum centerline radius for drive-thru lane (25' minimum radius required, 23 feet proposed);
6. Subject to Zoning Board of Appeals variance from Section 5.3.11.D. for not providing the required by-pass lane;
7. The findings of compliance with Ordinance standards in the staff and consultant review letters and the remaining items listed in those letters being addressed on the Final Site Plan; and
8. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of request of National Car Wash Solutions for Wash Zone JSP 18-50, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-OR

Denial – Preliminary Site Plan

In the matter of request of National Car Wash Solutions for Wash Zone JSP 18-50, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

Denial – Stormwater Management Plan

In the matter of request of National Car Wash Solutions for Wash Zone JSP 18-50, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS

Location

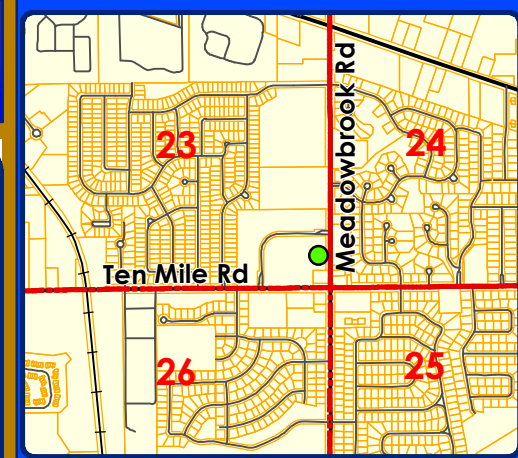
Zoning

Future Land Use

Natural Features

JSP 18-50 WASH ZONE

Location

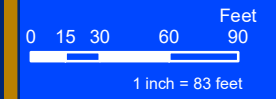


LEGEND
[Red dashed box] Sections



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 06/21/19
JSP 18-50 Wash Zone
Version #: 1

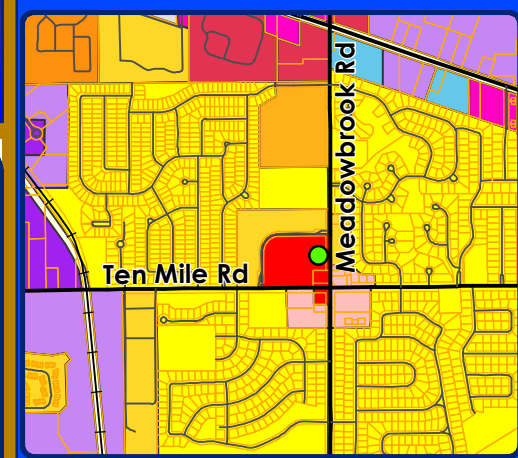
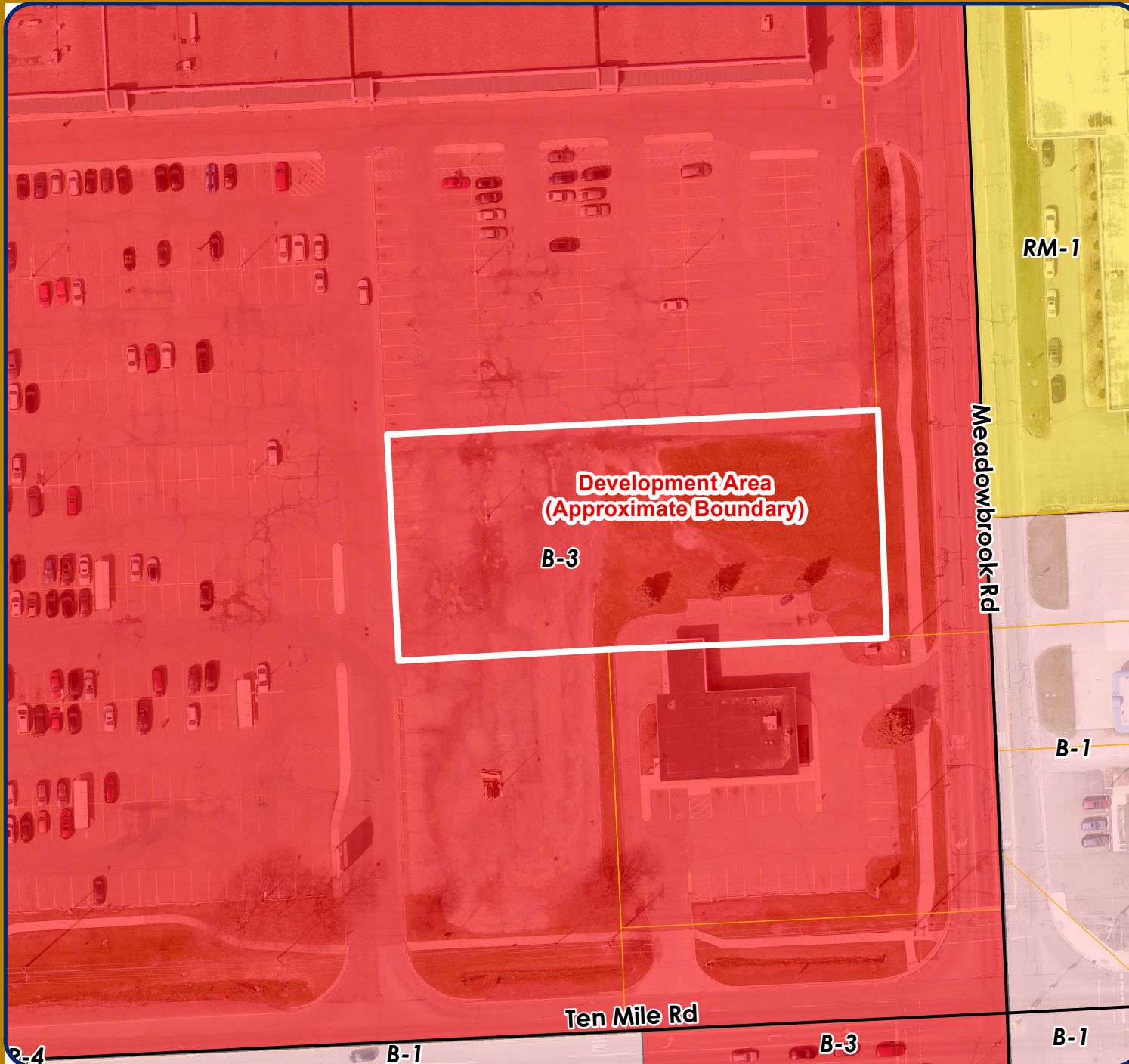


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-50 WASH ZONE

Zoning



LEGEND

- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- I-2: General Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- P-1: Vehicular Parking District
- TC-1: Town Center -1 District



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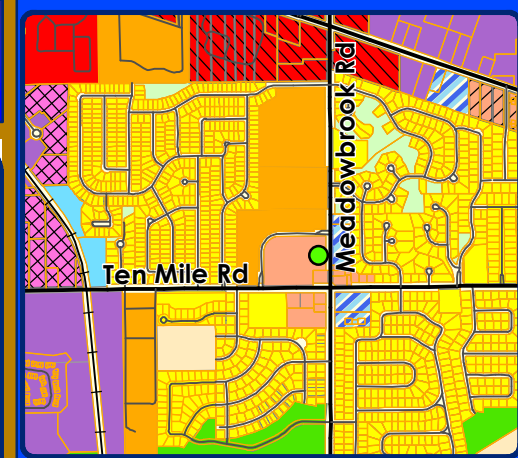
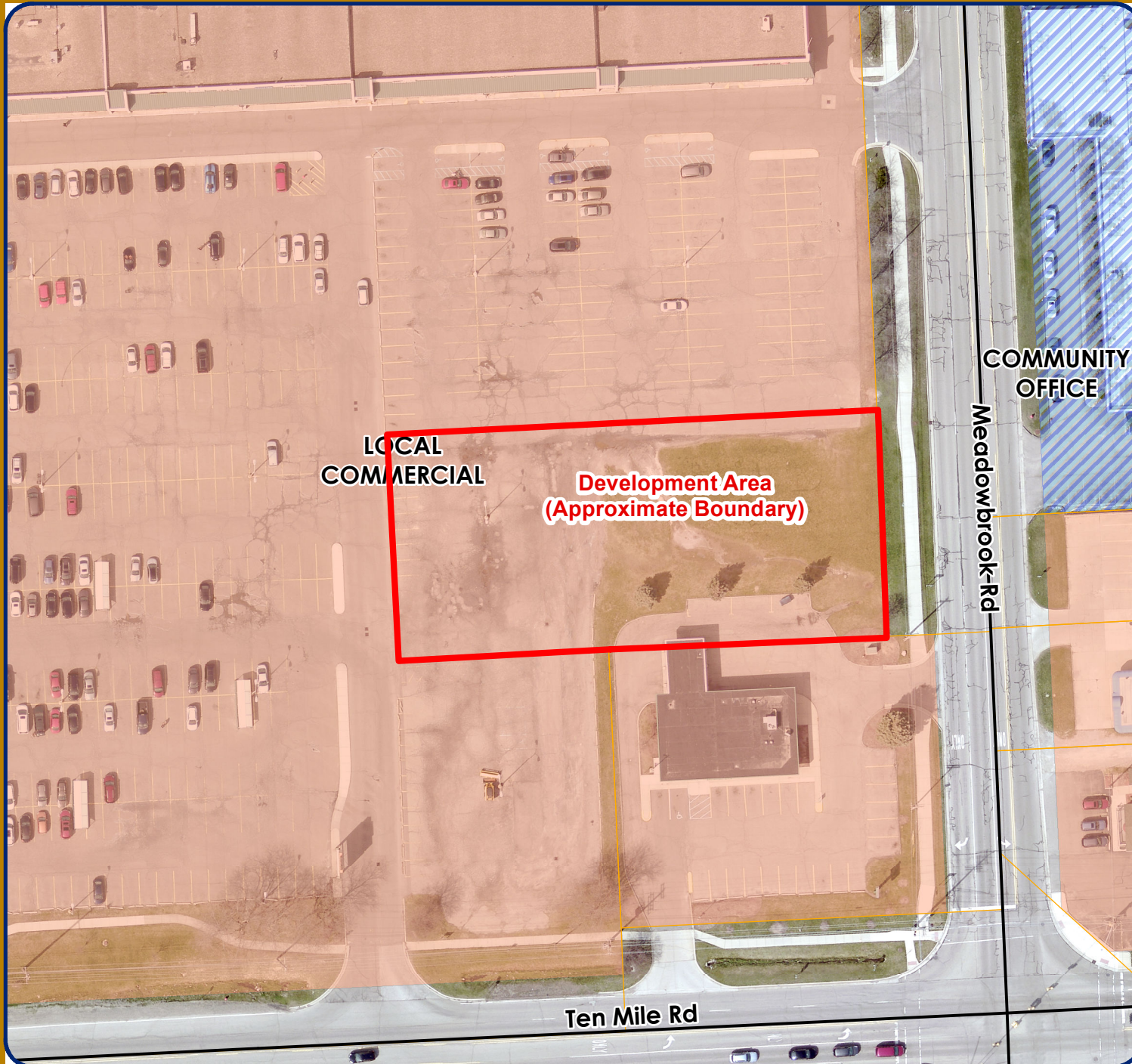


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JSP 18-50 WASH ZONE

Future Land Use



LEGEND

FUTURE LAND USE

[Yellow]	Single Family
[Orange]	Multiple Family
[Blue Diagonal]	Community Office
[Purple]	Industrial RD Tech
[Pink X]	Heavy Industrial
[Light Orange]	Local Commercial
[Light Blue Diagonal]	Community Commercial
[Red]	TC Commercial
[Red Diagonal]	TC Gateway
[Light Yellow]	Educational Facility
[Light Blue]	Public
[Green]	Public Park
[Light Green]	Private Park



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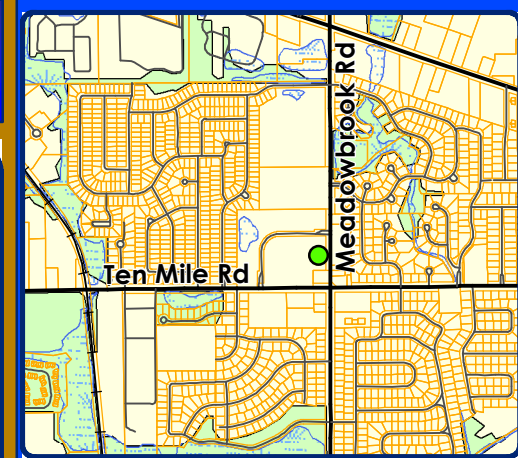


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JSP 18-50 WASH ZONE

Natural Features



LEGEND

-  WETLANDS
-  WOODLANDS

**City of Novi**
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0 15 30 60 90 Feet
1 inch = 83 feet

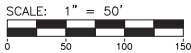


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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

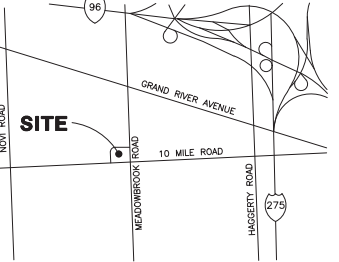


LEGEND

- U.P. EXIST. UTILITY POLE
- G.P. EXIST. GUY POLE
- ☒ ELEC. TRANSFORMER
- OH — EXIST. OVERHEAD UTILITY LINE
- T — EXIST. TELEPHONE LINE
- E — EXIST. ELECTRIC LINE
- G — EXIST. GAS LINE
- W — EXIST. WATER MAIN
- H — EXIST. HYDRANT
- V — EXIST. GATE VALVE IN BOX
- W — EXIST. GATE VALVE IN WELL
- S — EXIST. STORM SEWER
- I — EXIST. CATCH BASIN OR INLET
- C — EXIST. DOUBLE CATCH BASIN OR CLEANOUT
- S — EXIST. SANITARY SEWER
- R — TELEPHONE RISER
- C — CABLE TELEVISION RISER
- M — ELECTRIC METER
- W — WATER METER
- G — GAS METER
- F — FENCE
- SC — SECTION CORNER

NOTES

- 1) THIS SURVEY WAS PREPARED USING TITLE CONNECT LLC, an agent for FIRST AMERICAN TITLE INSURANCE COMPANY TITLE COMMITMENT No.TC13-67731 WITH AN EFFECTIVE DATE OF SEPTEMBER 7, 2016.
- 2) THE PARCEL HEREIN DESCRIBED IS CURRENTLY ZONED B-3 (BUSINESS DISTRICT)
CITY OF NOVI ZONING:
SETBACKS: FRONT = 30 FEET
REAR = 20 FEET
SIDE = 15 FEET
HEIGHT RESTRICTIONS: 33 FEET (CURRENT BUILDINGS ARE 19.3-18.3 FEET)
- 3) THE PARCEL HEREIN DESCRIBED IS IN ZONE X (UNSHADED); THE AREA DETERMINED TO BE OUTSIDE THE 500- YEAR FLOOD HAZARD, PER FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP # 26125C0627F WITH AN EFFECTIVE DATE: SEPTEMBER 29, 2006 AND RATE MAP # 26125C0629F WITH AN EFFECTIVE DATE: SEPTEMBER 29, 2006.
- 4) THE PARCEL HEREIN DESCRIBED HAS 450 REGULAR STRIPPED PARKING SPACES AND 20 HANDICAP, ADDITIONALLY THERE ARE POTENTIALLY 83+ SPACES LOCATED IN THE SOUTHEAST CORNER OF THE PROPERTY IN AN AREA WHERE THE STRIPPING IS VERY FADED.
- 5) ALL INTERIOR ROADS ARE PRIVATE.
- 6) SUBJECT PROPERTY ADDRESS: 41600-41840 W. TEN MILE ROAD, NOVI, MICHIGAN, 48375. TAX ID NO. 22-23-426-017
- 7) PARCEL CONTAINS 9.75 ACRES OR 424,521 SQUARE FEET.
- 8) THERE IS NO EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.



VICINITY MAP NO SCALE

LEGAL DESCRIPTION

Part of the Southeast 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, commencing at the Southeast corner of said Section 23; thence North 89 degrees 35 minutes 00 seconds West 220.00 feet along the South line of said Section 23 and the center Right-of-Way line of Ten Mile Road; thence North 0 degrees 35 minutes 00 seconds East 600.00 feet to a point on the North Right-of-Way line of Ten Mile Road for a place of beginning; thence North 89 degrees 35 minutes 00 seconds West 624.97 feet along the North Right-of-Way line of Ten Mile Road; thence North 0 degrees 25 minutes 00 seconds East 400.00 feet; thence Northeastly 314.16 feet, along the Arc of a circular curve concave to the Southeast, Radius 200.00 feet, Central Angle 90 degrees 00 minutes 00 seconds, Chord North 45 degrees 25 minutes 00 seconds East, 282.84 feet; thence South 89 degrees 35 minutes 00 seconds East, 586.72 feet to a point on the West Right-of-Way line of Meadowbrook Road; thence South 0 degrees 35 minutes 00 seconds West 440.00 feet along the West Right-of-Way line of Meadowbrook Road; thence North 89 degrees 35 minutes 00 seconds West 160.00 feet; thence South 0 degrees 35 minutes 00 seconds West 160.00 feet to a point on the North Right-of-Way line of Ten Mile Road and to the place of beginning.

EXCEPTIONS

- 2) Rights of the public and any governmental unit in any part of the land taken, deeded or used for street, road or highway purposes.
- 6) Terms and conditions of Agreement-Easements-Restrictions as recited in Liber 6786 on Page 537, Oakland County Records, and re-recorded in Liber 6786 on Page 537, Oakland County Records.
- 7) Terms, conditions, provisions, covenants and other matters contained in the Declaration of Condominium as recorded in Liber 6770 on Page 10, Oakland County Records. (plotted)
- 8) Terms and conditions contained in Memorandum of Land Lease by and between First Federal of Michigan (Lessor) and Shopping Center Associates, Inc. (Lessee) dated November 1, 1988 and recorded January 27, 1989 in Liber 6251, Oakland County Records. (plotted)
- 9) Terms and conditions contained in Memorandum of Lease for Recordation by and between Daniel J. Klein (Lessor) and the Great Atlantic & Pacific Tea Company, Inc. (Lessee) dated January 2, Memorandum of Lease dated July 8, 9, 11 and 16 of Table A hereof. The fieldwork was completed on September 29, 2016.

SURVEYORS CERTIFICATE

To: Ameritas Life Insurance Corp., Novi/Meadowbrook Shopping Center, LLC, a Michigan limited liability company, First American Title Insurance Company and The Connect, LLC.
This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2014 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 2, 3, 4, 6(a), 7(a), 7(b)(1), 7(c), 8, 9, 11 and 16 of Table A hereof. The fieldwork was completed on September 29, 2016.

MIDWESTERN CONSULTING, LLC
By: Patrick L. Hastings, P.S. No. 37277
Date:

MIDWESTERN CONSULTING
1818 Plaza Drive, Ann Arbor, Michigan 48106
313-963-8800
www.midwesternconsulting.com
Land Survey • Land Survey • Professional • Municipal
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CLIENT
FINKELE WHITEFIELD SELK
32300 NORTHWESTERN HWY.
ANN ARBOR, MI 48106
RICHARD SELK 248-419-4920

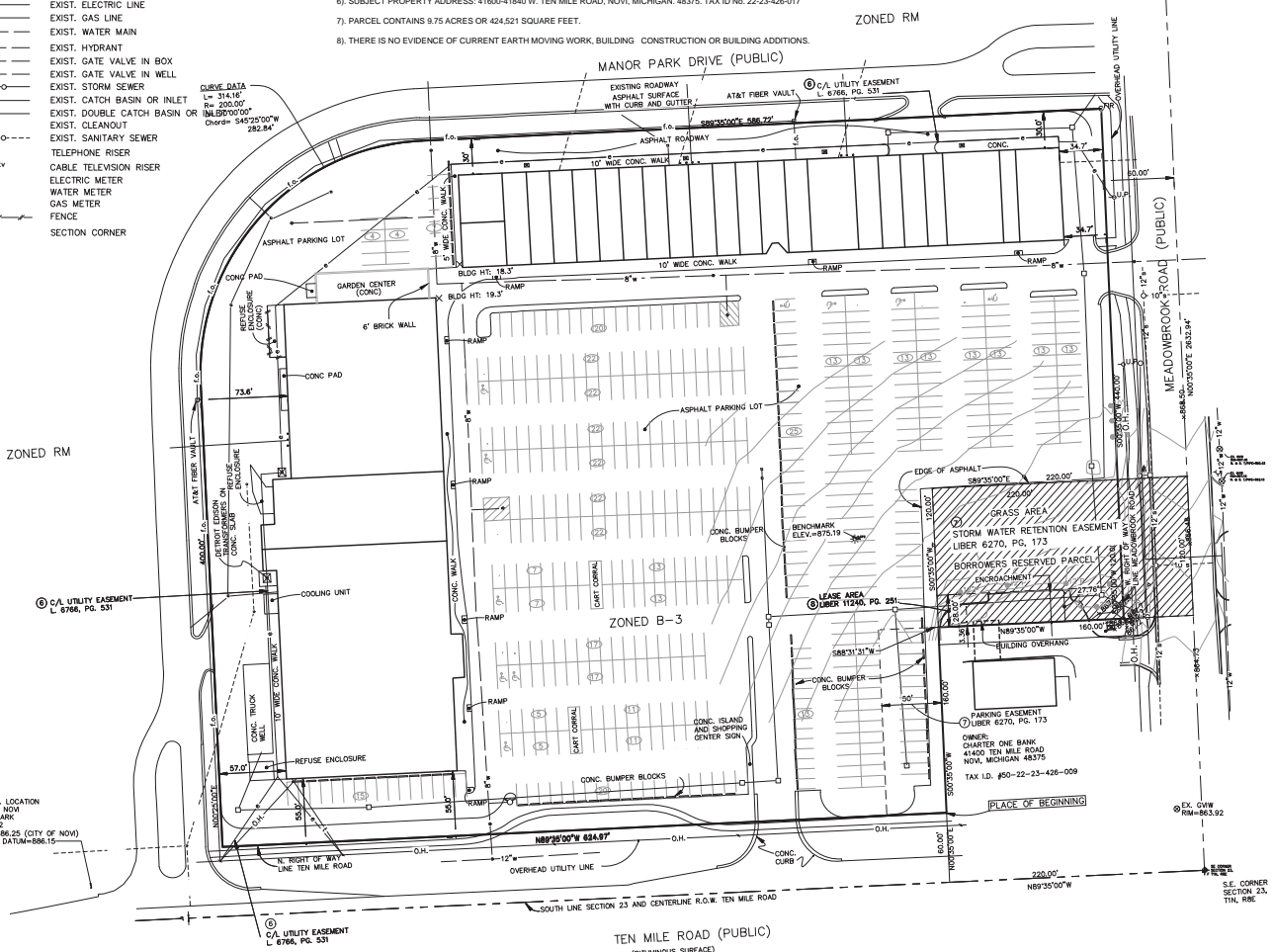
NOVI-TEN SHOPPING CENTER
ALTA/NSPS LAND TITLE SURVEY OF A PARCEL OF LAND
LOCATED IN THE S.E. 1/4 OF SECTION 23, T1N, R8E,
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN.

2

JOB NO.	16215
DATE	09/29/16
SHEET	2 OF 12
REV. DATE	09/29/16
REVISION	09/29/16
DESIGNED BY	PLH
CHECKED BY	PLH
TESTED BY	PLH
DATE	09/29/16

MIDWESTERN CONSULTING, INC. 1818 PLAZA DRIVE, ANN ARBOR, MI 48106-1500
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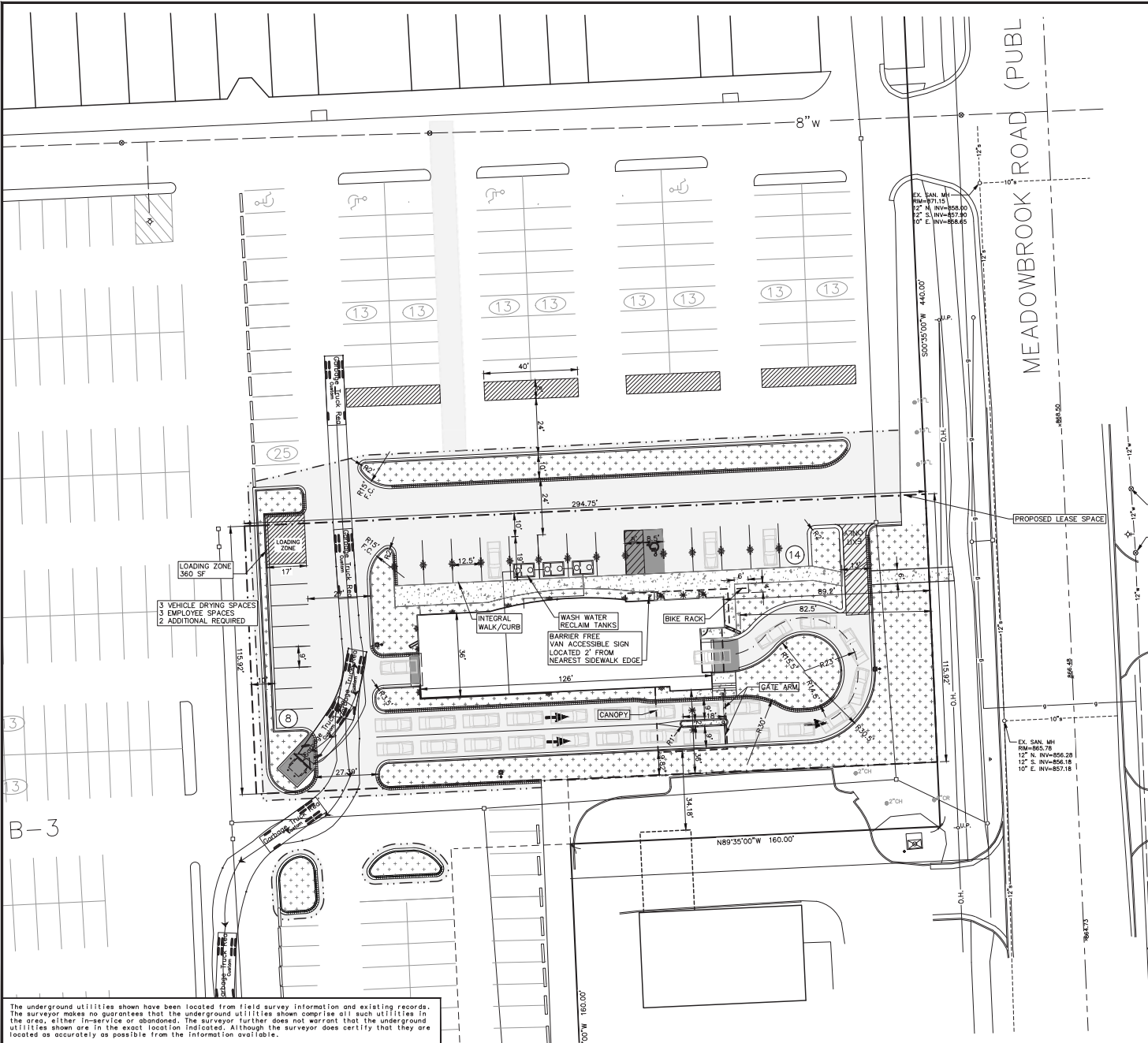
The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown compare all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.



APPROX. LOCATION
CITY OF NOVI
BENCHMARK
ID: 2342
ELEV=886.25 (CITY OF NOVI)
SURVEY DATUM=886.15

TEN MILE ROAD (PUBLIC)
(BITUMINOUS SURFACE)

M:\PROJECTS\16215\16215.dwg, 06/20/19 0:27 PM, Green J. Hines, Inc.
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SCALE: 1" = 20'

LEGEND

838	EXIST. CONTOUR
+836.2	EXIST. SPOT ELEVATION
—○—UP	EXIST. UTILITY POLE
—X—	ELEC. TRANSFORMER
—O—H—	EXIST. OVERHEAD UTILITY LINE
—*—	EXIST. LIGHT POLE
—W—	EXIST. WATER MAIN
—H—	EXIST. HYDRANT
—V—	EXIST. GATE VALVE IN WELL
—S—	EXIST. STORM SEWER
—D—	EXIST. CATCH BASIN OR INLET
—SS—	EXIST. SANITARY SEWER
—S—	SIGN
—T—	SINGLE TREE
—C—	SECTION CORNER
—F—	FOUND IRON ROD
—P—	CONTROL PT.
—C/L—	CENTERLINE
[Pattern]	BITUMINOUS PAVEMENT
[Pattern]	CONCRETE PAVEMENT
[Pattern]	CONCRETE SIDEWALK
[Pattern]	LANDSCAPING
[Pattern]	PROPOSED SPILLOUT CURB
[Pattern]	BUILDING OVERHANG
[Pattern]	PROPOSED LEASE AREA
[Pattern]	DISTURBANCE AREA
(14)	NUMBER OF PARKING SPACES
*	BUILDING LIGHT
**	OVERHEAD/PARKING LOT LIGHT
***	VACUUM LIGHT

VARIANCES:

- SEC. 5.3.11.D - BYPASS LANE
BYPASS LANE NOT INCLUDED

NOTES:

- DIMENSIONS OF PARKING STALLS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OR CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.
- CURB HEIGHT IS 4".
- ALL ON-SITE SIGNING AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- STANDARD PARKING SPACES SHALL BE STRIPED WITH FOUR (4) INCH WHITE STRIPES.
- ACCESSIBLE PARKING SPACE AND ASSOCIATED AISLE SHOULD BE STRIPED WITH FOUR (4) INCH BLUE STRIPES.
- WHERE A STANDARD SPACE IS ADJACENT TO AN ACCESSIBLE SPACE, ABUTTING BLUE AND WHITE STRIPES SHALL BE INSTALLED.
- ARROW PAVEMENT MARKINGS SHOULD BE SOLID AND TRAFFIC FLOW ARROWS SHALL BE HOLLOW.

MIDWESTERN CONSULTING

1818 Plaza Drive, Ann Arbor, Michigan, 48108
 Tel: 734.769.1111
 Fax: 734.769.1111
 Web: www.midwesternconsulting.com

4

WASH ZONE EXPRESS

NATIONAL CAR WASH SOLUTIONS
 1500 SOUTHEAST 27th STREET
 MIQUON, MI 48150
 JIM BELANGER

CLIENT: NATIONAL CAR WASH SOLUTIONS
 PROJECT: WASH ZONE EXPRESS
 SHEET: 4 OF 12
 DATE: 06/20/19
 DRAWN BY: JH
 CHECKED BY: JH
 DESIGNED BY: JH

16215

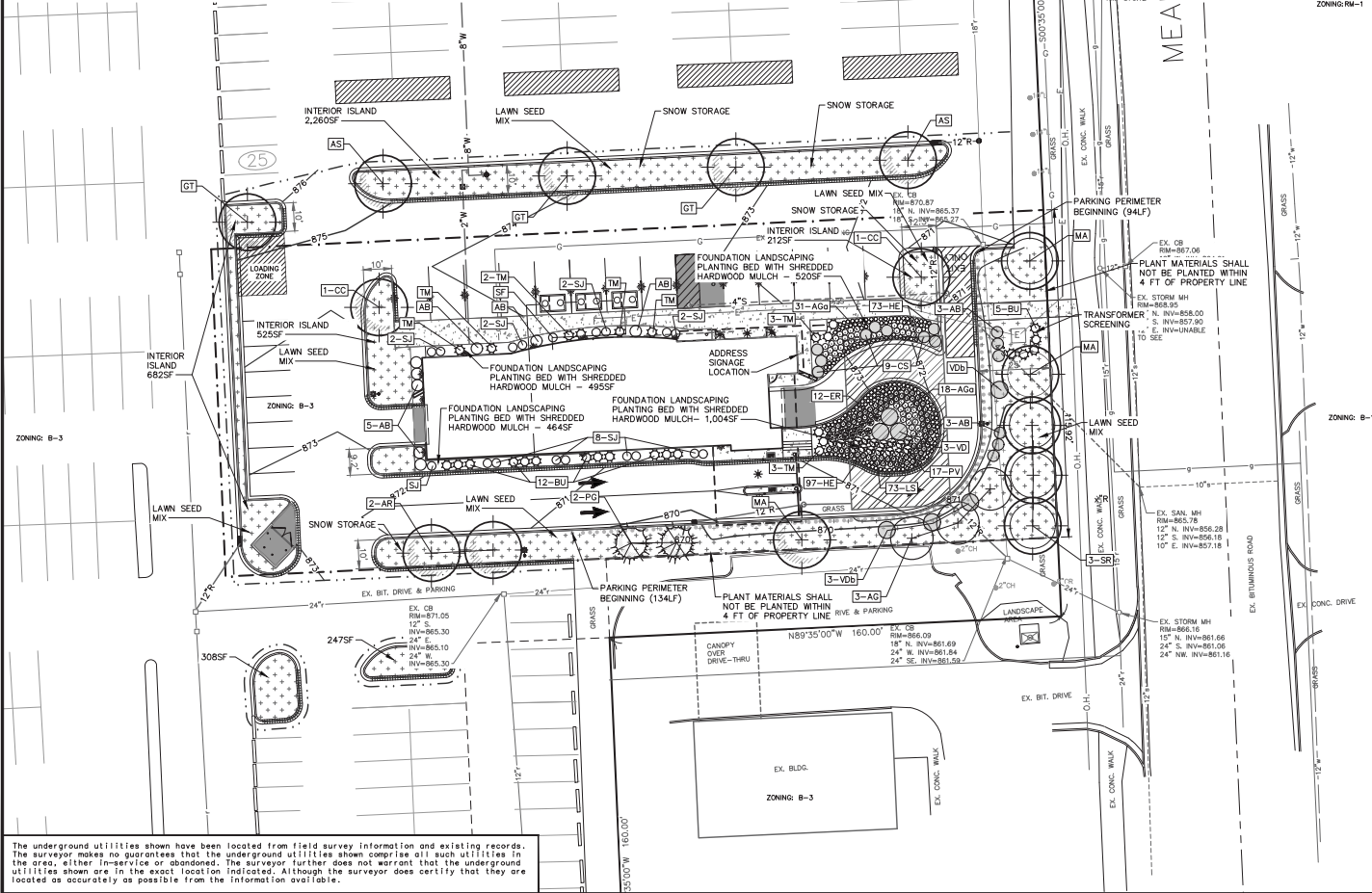
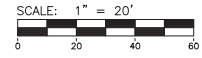
JOB No. 16215
 SHEET 4 OF 12
 DATE: 06/20/19
 DRAWN BY: JH
 CHECKED BY: JH
 DESIGNED BY: JH

PLANT SCHEDULE

Total	Parking	ROW	Building	Utility	Code	Scientific Name	Common Name	Root	Size	Spacing	Genus %	Species %	Notes
Deciduous Trees													
2	2				AR	<i>Acer rubrum</i> 'Frankford'	Red Sunburst Maple	B&B	2.5" cal.	25' o.c.	20%	10%	Native cultivar
2	2				AS	<i>Acer saccharum</i> 'Green Mountain'	Green Mountain Sugar Maple	B&B	2.5" cal.	25' o.c.	20%	10%	Native cultivar
1		3			AG	<i>Aquilegia x grandiflora</i> 'Autumn Brilliance'	Autumn Brilliance Serviceberry	B&B	1.7" cal.	15' o.c.	15%	15%	Native cultivar/Select single stem
2	2				CC	<i>Cornus canadensis</i>	American Hornbeam	B&B	3.5" cal.	25' o.c.	10%	10%	Native
3	3				GT	<i>Gleditsia triacanthos</i> f. 'Inermis	Skyline Honeylocust	B&B	2.5" cal.	30' o.c.	15%	15%	Native cultivar
1	1	2			MA	<i>Maackia amurensis</i>	Amur Maackia	B&B	2.5" cal.	25' o.c.	15%	15%	Native cultivar
1	1	3			SI	<i>Syringa reticulata</i> 'Inyri Silk'	Inyri Silk Japanese Tree Lilac	B&B	2.5" cal.	25' o.c.	15%	15%	Native cultivar
18	10	8	0	0	Total								68% native/cultivar deciduous trees
Evergreen Trees													
2	2				PG	<i>Picea glauca</i>	White Spruce	B&B	6" ht	15' o.c.	10%	10%	Full, Native
3	2	0	0	0	Total								100% native evergreen trees
Shrubs													
14	6	8			AB	<i>Aronia arbutifolia</i> 'Brilliantissima'	Red Chokeberry	#5 Cont.	24" ht	4' o.c.	18%	18%	Native cultivar
17	12	5			BU	<i>Buxus microphylla</i> 'Insularis	Green Mountain Boxwood	#1 Cont.	24-36" ht	4' o.c.	22%	22%	Native cultivar
9					CS	<i>Cornus canadensis</i> 'Farrow'	Arctic Fire Red Twig Dogwood	#5 Cont.	24-36" ht	4' o.c.	12%	12%	Native cultivar
18	18				SI	<i>Syringa japonica</i> 'Goldie'	Double Play Aris Syringa	#1 Cont.	24" ht	3' o.c.	23%	23%	Native
12	12				TM	<i>Taxus x media</i> 'Everlow'	Everlow Yew	#5 Cont.	36" sdb	4' o.c.	16%	16%	Native cultivar
11					VO	<i>Viburnum dentatum</i>	Arrowwood Viburnum	#5 Cont.	36" ht	4' o.c.	9%	4%	Native cultivar
4	4				VDB	<i>Viburnum dentatum</i> 'Christina'	Blue Muffin Arrowwood Viburnum	#5 Cont.	24-36" ht	4' o.c.	9%	3%	Native cultivar
77	0	10	62	5	Total								50% native/cultivar shrubs
Perennials/Ornamental Grasses													
170	170				HE	<i>Hemerocallis</i> 'Stella de Oro'	Stella de Oro Daylily	Quart.	18" o.c.				
49	49				AGA	<i>Agastache</i> x 'Blue Fortune'	Blue Fortune Anise Hyssop	Quart.	24" o.c.				
12	12				ER	<i>Eupatorium rugosum</i> 'Chocolate	Chocolate Joe-Pye	#1 Cont.	30" o.c.				
17	17				PV	<i>Platanus integrum</i> 'Shenandoah'	Shenandoah Switch Grass	#1 Cont.	36" o.c.				
73	73				LS	<i>Liuandernum x superbum</i> 'Rocky'	Rocky Sheeta Daisy	Quart.	24" o.c.				
333	0	0	323	0	Total								

PRELIMINARY OPINION OF COST

Plant Materials	Quantity	Rate	Total
Deciduous Trees	18	\$400.00 per tree	\$7,200.00
Evergreen Trees	2	\$350.00 per tree	\$700.00
Shrubs	77	\$100.00 per shrub	\$7,700.00
Perennials/Ornamental Grasses	321	\$20.00 per perennial	\$6,420.00
Lawn Seed	9200	\$0.50 per square foot	\$4,600.00
Landscape Materials			
Topsoil	195	\$10.00 per cubic yard	\$1,950.00
Double shredded Hardwood Mulch	23	\$70.00 per cubic yard	\$1,610.00
Estimated Total Cost:			\$37,882.00



LEGEND

- 8.35 — EXIST. CONTOUR
- *836.2 — EXIST. SPOT ELEVATION
- O-U.P. — EXIST. UTILITY POLE
- ELEC. — EXIST. TRANSFORMER
- O-U.L. — EXIST. OVERHEAD UTILITY LINE
- * — EXIST. LIGHT POLE
- w — EXIST. WATER MAIN
- H — EXIST. HYDRANT
- V — EXIST. GATE VALVE IN WELL
- r — EXIST. STORM SEWER
- C — EXIST. CATCH BASIN OR INLET
- S — EXIST. SANITARY SEWER
- S — SIGN
- CH — CHERRY
- P — PINE
- CR — CRABAPPLE
- — TREE TO BE REMOVED
- ⊕ — PROPOSED CANOPY TREE (PARKING LOT)
- ⊕ — PROPOSED EVERGREEN TREE (PARKING LOT)
- ⊕ — PROPOSED CANOPY TREE (RIGHT-OF-WAY SCREEN)
- ⊕ — PROPOSED SUB-CANOPY TREE (RIGHT-OF-WAY SCREEN)
- ⊕ — PROPOSED DECIDUOUS SHRUBS
- ⊕ — PROPOSED EVERGREEN SHRUBS
- ⊕ — VEHICULAR USE AREA PERIMETER LIMITS
- ⊕ — PROPOSED LAWN SEED MIX

LANDSCAPE REQUIREMENTS

Required	Proposed
Residential screening	Not applicable
Public Right-of-way Screening	Not applicable
Meadowbrook Road: 137 linear feet	25 greenbelt No berm proposed 2 canopy trees 3 subcanopy trees 3 sidewalk canopy trees 1 existing sidewalk canopy tree
Parking Lot	10% planting width, min. 300ft area, min. 3ft from BOC to tree trunk, 15 spaces per row
Interior Islands	Total SF of island = V10A x 7.5% 20,388sf x 0.075 = 1,529sf 1,530sf / 300 = 5 trees
Perimeter	perimeter adjacent to 20ft tall building - Not applicable 50ft at greenbelt / 70 = 2 trees 134ft along south edge / 70 = 4 trees 2 deciduous trees 2,483sf
Building Foundation	2994' x 81' = 2,424sf 75% of building, min. 4ft width, 60% min. of face along public street (front) 2497/306 = 81% total 25,291' x 100% front
Outdoor trash storage	100% separation from building screening wall / fence >3ft above bins
Transformers/utility box screening	2ft separation, plants ht of transformer - transformer in dense dec. shrubs, groundcover 4ft ht shrubs around transformer in greenbelt
Detention/Retention	Not Applicable
Subdivision Requirements	Not Applicable

NOTES

- THERE ARE NO EXISTING SHRUBS LOCATED ON DEVELOPMENT SITE.
- SEE EXISTING CONDITIONS SHEET FOR SOIL INFORMATION. NRCS SOIL SURVEY MAP IDENTIFIES THE SITE AS URBAN LAND.
- NO BERMS ARE PROPOSED.
- SEE SITE DETAILS SHEET FOR LANDSCAPE DETAILS

The underground utilities shown have been located from field survey information and existing records. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in-service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. Although the surveyor does certify that they are located as accurately as possible from the information available.

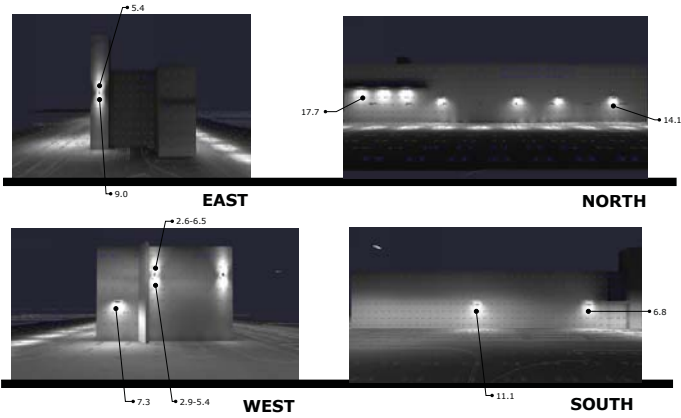
TINA R. FIX, RLA
LANDSCAPE ARCHITECT
MIDWESTERN CONSULTING
3815 PLAZA DRIVE, ANN ARBOR, MI 48108
734-995-0200

MIDWESTERN CONSULTING, INC. 10/20/19 10:28 AM, sheet 7 of 7, rev. 0000
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www.midwesternconsulting.com
Professional Land Surveyor - Registration No. 1111
Professional Engineer - Registration No. 2480
Professional Landscape Architect - Registration No. 2480

WASH ZONE EXPRESS
PRELIMINARY SITE PLAN
LANDSCAPE PLAN

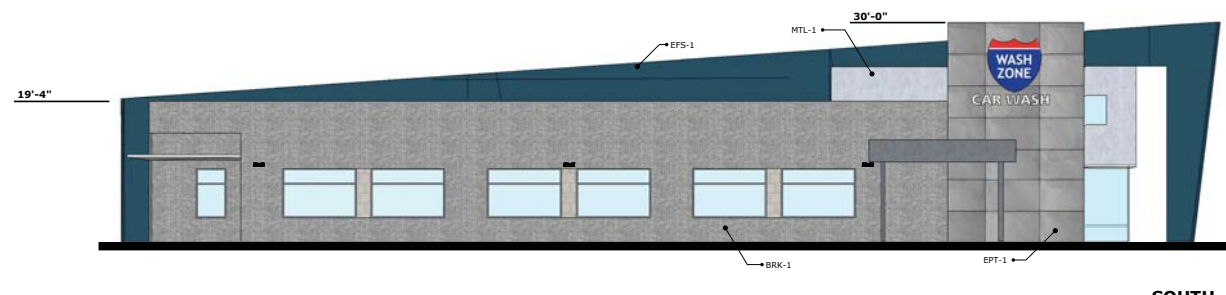
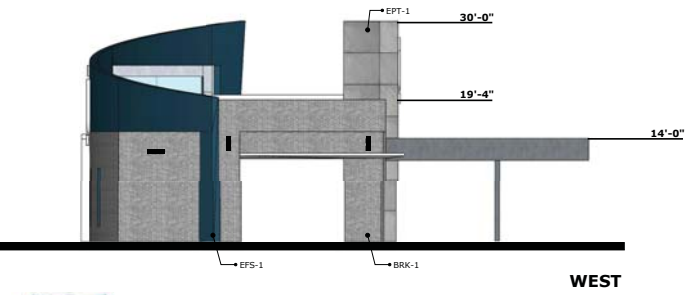
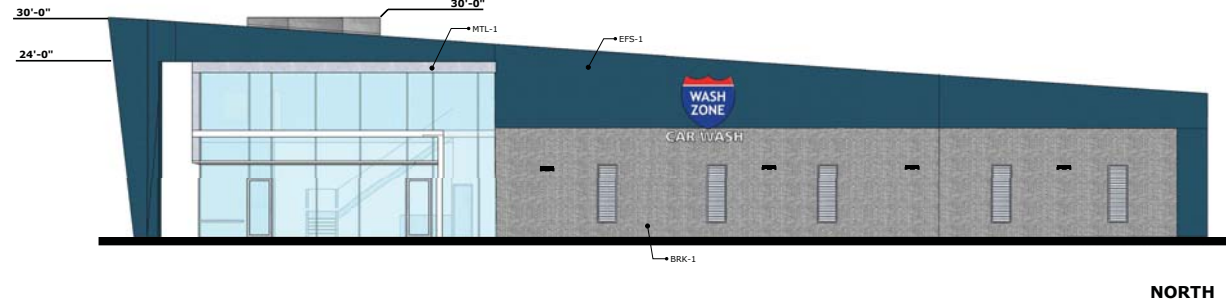
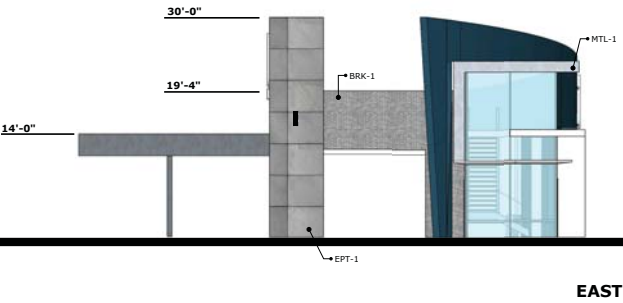
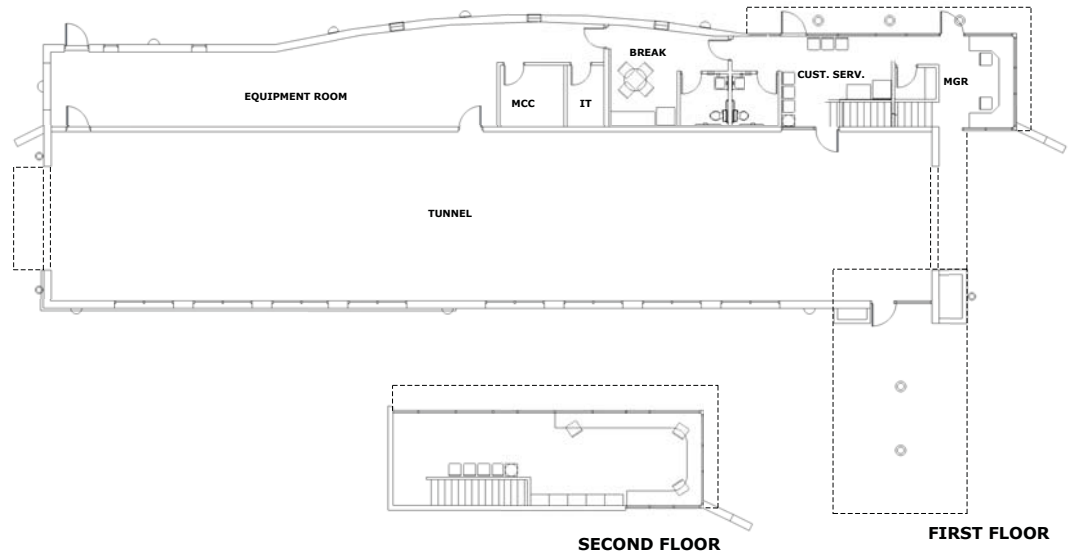
JOB No. **16215**
DATE: 02/27/20
SHEET 9 OF 12
SCALE: AS SHOWN
PROJECT: 16215-000



Exterior Materials	Total all sides	North	East	South	West	Total				
	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%	Sq.Ft.	%
Cladding										
Metal**	11.1%	125	6.0%	138	13.2%	279	11.4%	211	17.3%	753
Stucco	21.0%	639	30.6%	319	30.6%		468	38.4%	1,426	
Stone										
Brick	54.7%	1,295	62.0%	475	45.6%	1,627	66.5%	320	26.3%	3,717
Tile	13.3%	29	1.4%	110	10.6%	542	21.1%	220	18.0%	901
Total	100.0%	2,088	100.0%	1,042	100.0%	2,448	100.0%	1,219	100.0%	6,797
Total Square Footage of Exterior Wall Area*						6,797				*excludes fenestration and doors
Total Square Footage of Masonry Wall Area						6,044				
Total Percentage of Class 1 & 2 Masonry						88.9%				** most metals have masonry backing

EXTERIOR FINISH SELECTIONS

METAL COMPONENTS	MTL-1	PAC CLAD ANODIZED CLEAR
MASONRY	BRK-1	ACME BRICK STEELE GREY SMOOTH
PORCELAIN TILE (EXTERIOR)	EPT-1	CROSSVILLE LAMINAM (3) URBAN REFLECTIVE, OXIDE_3_ GRIGIO L28H
STOREFRONT SYSTEM	SF-1	CLEAR ANODIZED ALUMINUM
EFS	EFS-1	DRYVIT STUCCO SYSTEM, SANDBLAST FINISH, PAINTED BY #105 MAREA BAJA



Wash Zone Car Wash
Novi, MI



May 08, 2019
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PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 11, 2019

Planning Review

WASH ZONE

JSP 18-50

PETITIONER

National Car Wash Solutions

REVIEW TYPE

Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	23	
Site Location	50-22-23-426-017 East of Meadowbrook Road and North of Ten Mile Road	
Site School	Novi Community School District	
Site Zoning	B-3: General Business	
Adjoining Zoning	North	RM-1, Low Density Multiple-Family
	East	R-4, Single Family Residential & B-1, Local Business
	West	RM-1, Low Density Multiple-Family
	South	B-3, General Business & B-1, Local Business
Current Site	Novi Ten Shopping Center	
Adjoining Uses	North	Treetop Meadows-Apartments
	East	Manor of Novi
	West	Treetop Meadows-Apartments
	South	Bank & Shopping Center
Site Size	11.02 acres(shopping center); 0.78 acres (Car wash facility)	
Plan Date	05-10-19	

PROJECT SUMMARY

The subject property is vacant land which is part of Novi Ten Shopping Center. The applicant is proposing to develop a 4,788 square foot auto wash building with related drive-thru lane. The facility also proposes 14 vacuum stations. Existing changes to parking lot are proposed to accommodate the traffic circulation for the Auto wash in the Novi Ten Shopping Center.

RECOMMENDATION

Approval of the **Preliminary Site Plan is recommended**. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission approval of the Preliminary Site Plan and Storm Water Management Plan is required.**

PROJECT HISTORY

A pre-application meeting for this project was conducted on October 16, 2018.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Planning Commission Waivers: Following items would require Planning Commission approval
 - a. A Section 9 Waiver is required for the underage of Brick and the overage of EIFS and Ceramic Tile. Please refer to Façade review for recommended revisions required for positive recommendation for the waiver.
 - b. Three street trees are located behind the sidewalk. A waiver to not plant them at all would be supported by staff as there is not room for the required street trees.
 - c. The eastern foundation landscaping is not located at the building. It is supported by staff as the landscaping is just across the sidewalk from the building.
2. Zoning Board of Appeals Variances: Following items would require Zoning Boards of Appeals approval. **Please indicate whether the plan will be revised to conform or whether to request for variance will be made.**
 - a. Drive-through lanes shall have a minimum centerline radius of 25 ft. Approximately 23 feet is proposed.
 - b. Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal. The site plan proposes an exit point before the tunnel, but not a parallel by-pass lane.
3. Lighting and Photometric Plan: the lighting and photometric plan appears to be in conformance. However, additional detail is required to complete the review. Please refer to plan review chart for information requested.
4. Vacuum stations: The plan proposes 14 vacuum stations north of the proposed building. Each vacuum station is equipped with a pole that includes a hose pipe and light. A sample picture was provided via e-mail. The lights appear to be bright. The applicant should provide additional information about the type of lights and related manufacturing spec sheets. The applicant should also indicate hours of Operation for these vacuum stations. Refer to façade review about the acceptable colors for Vacuum poles.
5. Plan Review Chart: Planning review chart provides additional comments and requests clarification for certain items. **Please address them in addition to the comments provided in this letter.**

OTHER REVIEWS

- a. Engineering Review: Engineering recommends approval of the Preliminary site plan. Additional comments to be addressed with final site plan.
- b. Landscape Review: Landscape recommends approval of the Preliminary site plan and related landscape waivers. Additional comments to be addressed with final site plan.
- c. Traffic Review: Traffic recommends approval of the Preliminary site plan. Additional comments to be addressed with final site plan.
- d. Facade Review: Façade recommends approval. A Section 9 waiver is recommended contingent on certain revisions being made.
- e. Fire Review: Fire recommends approval.

NEXT STEP: PLANNING COMMISSION MEETING

The site plan is scheduled for Planning Commission's consideration on June 26, 2019. Please provide the following by June 19, 2019.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
 2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**
-

AFTER PLANNING COMMISSION APPROVAL

1. Zoning Board Of Appeals Meeting

Planning review identified couple of ZBA variances that are required. Please note that the Planning Commission approval is required prior to ZBA consideration. Please contact Kate Oppermann at 248-347-0459 for ZBA application deadlines and process. **The deadline for August 13 ZBA meeting is July 1.**

2. Final Site Plan Submittal

After receiving Planning Commission's approval of the Preliminary Site Plan and Zoning Board of Appeals approval for the noted variances, please follow the [Final Site Plan Checklist](#) and submit the following for approval:

1. Six copies of Final Site Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Non-Domestic User Survey](#) (Non-residential developments)
9. Legal Documents as required
10. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

3. Electronic Stamping Set Submittal And Response Letter

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

4. Stamping Set Approval

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval. Pre-Con meetings are generally held after Stamping Sets have been issued.

5. Pre-Construction Meeting

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. **No work on the site may be commenced before a pre-construction meeting is held.** Please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled.

SITE ADDRESSING

The building would require a new address. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Brian Riley [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

SIGNAGE

Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: June 11, 2019
Review Type: Preliminary Site Plan
Project Name: **JSP 18-50 WASHZONE**
Plan Date: May 10, 2019
Prepared by: Sri Ravali Komaragiri
Contact: **E-mail:** skomaragiri@cityofnovi.org **Phone:** 248.735.5607

Items in **Bold** need to be addressed by the applicant prior to the approval of the PRO Concept Plan.
 Items underlined need to be addressed prior to the approval of the Preliminary Site Plan.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Local Commercial	No change to existing zoning	Yes	
Area Study	The site falls under the study boundaries for Comprehensive Traffic study which is ongoing			
Zoning <i>(Effective Dec. 25, 2013)</i>	B-3: General Business District	B-3: General Business District	Yes	
Uses Permitted <i>(Sec 3.1.11.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	Auto Wash	Yes	Permitted Use
Auto wash <i>(Sec 4.32)</i>	Permitted use in B-3 when completely enclosed in a building	It appears to be completely enclosed in a building. There are vacuum stations outside the building.	Yes	
B-3 Business District Required Conditions (Sec. 3.10)				
Truck Well <i>(Sec. 3.10.1.A)</i>	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district	Meadowbrook is a residential collector	NA	
Height, bulk, density and area limitations (Sec 3.1.12)				
Frontage on a Public Street. <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Ten Mile and Meadowbrook Road	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Access to Major Thoroughfare (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	It is connected to an internal parking lot which has direct access to Novi Road	Yes	
Minimum Zoning Lot Size and Lot width (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	The applicant is proposing to lease the area of development from the shopping center		Liber and Page provided does not include an exhibit. Show the boundaries of area leased to bank along with Libel and page number on Sheet 2.
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	14% for the Car wash development area	Yes	
Building Height (Sec. 3.1.12.D)	30 ft.	30 feet	Yes	
Building Setbacks (Sec 3.1.12.D)				
Front (Meadowbrook Road)	30 ft.	About 80 ft.	Yes	
Side (south)	15 ft.	Complies	Yes	
Side (north)	15 ft.	Complies	Yes	
Rear (west)	20 ft.	Complies	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (Meadowbrook Road)	20 ft.	Complies	Yes	
Side (south)	10 ft.	Complies	Yes	
Side (north)	10 ft.	10 feet from the Washzone lease boundary	Yes	
Rear (west)	10 ft.	Not indicated	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which	Not applicable	NA	

Item	Required Code	Proposed	Meets Code	Comments
	located.			
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Proposed	Yes	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetlands		
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is provided	Yes	See landscape letter for additional details
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
Parking, Loading, and Dumpster Requirements				
Autowash (automatic) (5.2.12.C.)	Two + 1 for each employee + 1 for each vacuum station or similar area	5 spaces for 3 employees 14 Vacuum spaces 3 drying spaces TOTAL 22 spaces	Yes?	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft.	Yes	Refer to Traffic review for further comments.

Item	Required Code	Proposed	Meets Code	Comments
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	NA	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	Proposed	Yes?	Refer to Traffic review for further comments
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	- Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible	1 handicap space proposed	Yes?	Handicap parking space is also counted towards the proposed 14 vacuum stations. Handicap space should be available for handicap parking only.
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	1 handicap space proposed	Yes?	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign indicated	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	Minimum 2 spaces	Two spaces	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in 	Appear to comply	No	Provide the minimum required bike parking

Item	Required Code	Proposed	Meets Code	Comments
	multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk			
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not provided	No	Provide the bike pad layout with dimensions
Loading Spaces (Sec. 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Interior parking lot/side yard due to double frontage Minimum required 360 sf provided	Yes	
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Interior side yard.	No?	Refer to Traffic review for concerns notes regards to the location.

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Details not provided at this time	Yes	Provide more details with the next submittal.
Drive-through Lanes (Sec. 5.3.11)				
Drive-through Lanes Separation (Sec. 5.3.11.A,C)	Drive-through lanes shall be separate from the circulation routes & lanes necessary for ingress to & egress from the property	Drive-thru lanes are provided farther from ingress and egress.	Yes	
Drive-through setbacks (Sec. 5.3.11.A,B)	Drive through shall follow parking setback requirements and applicable parking lot landscaping requirements	Complies	Yes	
Bypass Lane for Drive-through (Sec. 5.3.11.D)	Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal	Bypass lane not provided. However, an acceptable alternative id provided	No	<u>A Zoning Board of Appeals variance would be required, which is supported by staff.</u> Refer to Traffic comments for more detail
Width & Centerline Radius of Drive-through Lanes (Sec. 5.3.11.E,F,H)	Drive-through lanes shall have a minimum 9 ft. width, centerline radius of 25 ft. and a minimum length of 19 ft.	Does not appear to meet the requirement	No?	<u>A Zoning Board of Appeals variance would be required</u> Refer to Traffic comments for more detail
Drive-through Lane Delineated (Sec. 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	Details not provided at this time	No	Refer to Traffic comments for more detail
Drive-Thru Stacking Spaces (Sec. 5.3.11.I)	Twenty-five (25) vehicles prior to the tunnel (may be in multiple lanes), three (3) vehicles beyond the tunnel for drying	Complies 3 Drying spaces provided at the end of Tunnel	Yes	Refer to Traffic comments for additional modifications required to adjoining island to accommodate drying

Item	Required Code	Proposed	Meets Code	Comments
	areas.			spaces
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan is provided at this time	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Unable to determine	Yes	Please add a note if any rooftop equipment if proposed. If yes, it should be properly screened
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Unable to determine	Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 6 foot sidewalk required along Meadowbrook Road	Existing	Yes	
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Connection to public sidewalk along Meadowbrook Road is proposed	Yes	
Building Code and Other Design Standard Requirements				

Item	Required Code	Proposed	Meets Code	Comments
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Mostly provided	Yes?	
Economic Impact	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied)	\$900,000 Jobs created during construction: 30 After Construction: 10	No	Parking counts indicate 3 employees; the economic impact statement refers to 10 jobs after construction. Does the additional 7 refer to off-site jobs?
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.	Not indicated at this time	NA	<u>For sign permit information contact Maureen Underhill at 248-347-0438.</u>
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	NA	<u>For approval of project and street naming contact Hannah Smith at 248-735-0579</u>
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	A split or combination is not proposed at this time. The area is proposed to be leased	NA	
Other Legal Requirements				
Conservation easements	Conservation easements may be required for woodland impacts	Not applicable at this moment	NA	<u>The following documents will be required during Site Plan review process prior to final site plan approval</u>
Lighting and Photometric Plan (Sec. 5.7)				

Item	Required Code	Proposed	Meets Code	Comments
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan is provided at this time		
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Information provided, but not legible	No?	Please provide information that is legible
Lighting Plan (Sec.5.7.2A.ii)	Specifications for all proposed & existing lighting fixtures	Not provided	No	Provide the specification sheets for all proposed light fixtures
	Photometric data	Provided	Yes	
	Fixture height	Not provided	No	Provide the pole heights/mounting heights
	Mounting & design	Provided	Yes	
	Glare control devices			
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Not provided	No	Provide hours of operation
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
Maximum height when abutting residential districts (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	Not provided	No	Provide the pole heights/mounting heights
Standard Notes	- Electrical service to light	Unable to determine	No	Add these notes to the

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.B)	fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation			plan
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	- All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred	Unable to determine	No	Provide hours of Operation. Indicate what lights will be turned after hours of Operation. Only lights required for security should be turned on Please clarify the light levels for vacuum lights. Hours of Operation for these lights
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	Not provided	No	Provide the ratio to verify conformance
Type of Fixtures (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED	Yes	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	Complies	Yes	
	Loading & unloading areas: 0.4 min	Complies	Yes	
	Walkways: 0.2 min	Complies	Yes	
	Building entrances, frequent use: 1.0 min	Complies	Yes	
	Building entrances, infrequent use: 0.2 min	Complies	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Max. Illumination adjacent to Residential (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Not applicable	NA	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

June 11, 2019

Engineering Review

Wash Zone
JSP18-0050

Applicant

Novi Meadowbrook Shopping

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: North of Ten Mile Road, West of Meadowbrook Road
- Site Size: Approximately 0.78 Acres
- Plan Date: 05/10/2019
- Design Engineer: Midwestern Consulting, LLC

Project Summary

- Construction of an approximately 4,788 square-foot car wash and associated parking. Site access would be provided via existing shopping plaza entrances on Ten Mile Road and Meadowbrook Road.
- Water service would be provided by a 6-inch extension from the existing 8-inch water main along the north side of the property. A 2-inch domestic lead would be provided to serve the building, along with one additional hydrant.
- Sanitary sewer service would be provided by a 4-inch extension from the existing 12-inch sanitary sewer along the west side of Meadowbrook Road.
- Storm water would be collected by a single storm sewer collection system and discharged to an underground detention unit.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the Final Site Plan submittal):

Additional Comments (to be addressed upon Final Site Plan submittal):**General**

1. Provide all elevations on the City of Novi datum and remove the conversion note on sheet 3.
2. Provide a traffic control sign table listing the quantities of each sign type proposed for the development.
3. Specify what the stripping over the 'Exit Only' drive aisle indicates. The legend should reflect this stripping.
4. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).
5. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

Water Main

6. Provide a 20-foot wide easement over the 8-inch water main that extends to the hydrant on-site.
7. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.
8. Provide a profile for all proposed water main 8-inch and larger.
9. Provide three (3) signed and sealed sets of revised utility plans along with the MDEGLE permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

10. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
11. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).

Storm Sewer

12. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
13. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan.
14. Provide storm sewer profiles and illustrate all pipes intersecting storm structures.

Storm Water Management Plan

15. The on-site storm water retention easement (liber 6270, page 173) will likely need to be vacated prior to Stamping Set approval.
16. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
17. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates.
18. Provide a soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table.
19. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access.
20. Provide inspection ports throughout the underground detention system.

Paving & Grading

21. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
22. Curbing and walks adjacent to the end of 17-foot stalls shall be 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
23. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations.
24. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
25. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).

Soil Erosion and Sediment Control

26. A SESC permit is not required since the area of disturbance is less than one acre and the property is more than 500 feet from a body of water or wetland.

Off-Site Easements

27. Any off-site utility easements must be executed **prior to final approval of the plans**. If you have not done so already, drafts of the easements and a recent title search shall be submitted as soon as possible to the Community Development Department for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

The following must be submitted at the time of Final Site Plan submittal:

28. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
29. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
30. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

The following must be submitted at the time of Stamping Set submittal:

31. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
32. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
33. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole to be constructed on the site must be submitted to the Community Development Department.

34. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

35. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
36. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
37. A Soil Erosion Control Permit is not required.
38. A permit for work within the right-of-way of Meadowbrook Road must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
39. A permit for water main construction must be obtained from the MDEGLE. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
40. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
41. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
42. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



Kate Richardson, EIT
Plan Review Engineer

cc: Sri Komaragiri, Community Development
George Melistas, Engineering
Darcy Rechten, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

June 11, 2019

Preliminary Site Plan - Landscaping

Wash Zone Express

Review Type

Preliminary Landscape Review

Job

JSP18-0050

Property Characteristics

- Site Location: Meadowbrook Road, north of Citizens Bank
- Site Acreage: 0.78 ac.
- Site Zoning: B-3
- Adjacent Zoning: North, West, South: B-3, East: RM-1
- Plan Date: 5/10/2019

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan**. The minor revisions noted can be addressed on the Final Site Plan or electronic stamping set.

LANDSCAPE WAIVERS:

1. Three street trees are located behind the sidewalk. *A waiver to not plant them at all would be supported by staff as there is not room for the required street trees.*
2. The eastern foundation landscaping is not located at the building. *It is supported by staff as the landscaping is just across the sidewalk from the building.*

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

There are no trees or bushes on the site.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to any residentially-zoned property.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. While a berm is not required, some sort of continuous visual buffer for the access lane from Meadowbrook Road should be provided that is at least 36" high.

2. The required canopy and subcanopy trees are provided.
3. Based on the frontage, 4 street trees are required. 3 street trees are planted in the greenbelt. *Due to the lack of room for street trees in the right of way (conflicts with overhead wires, the sidewalk and underground utility lines), a landscape waiver for the 4 street trees would be supported by staff (ie they don't need to be provided).*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use area, 1,529sf of interior landscape area and 8 canopy trees are required. 3,679sf of area and 8 trees are provided.
2. Based on the perimeter provided, 7 canopy trees are required. 3 canopy trees and 2 evergreens are provided as perimeter trees along the south access drive. 2 greenbelt trees are double-counted as perimeter trees, but they must be moved to within 15 feet of the curb to count as a perimeter tree. Please do so, or add 2 canopy trees within 15 feet of the curb.
3. Please replace the 2 evergreen trees with deciduous canopy trees.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. Based on the building perimeter, 2,472sf of interior landscape area are required and 2,483sf are provided.
2. As some of the landscaping is located away from the base of the building, a landscape waiver is required. *It is supported by staff as that landscaping is just across the sidewalk walk from the building, between Meadowbrook and the building.*
3. 60% of the building facing a road must be landscaped. 62.5% of the Meadowbrook frontage has landscaping.

Plant List (LDM 2.h. and t., LDM 4)

1. Provided
2. The tree diversity meets the requirements of Section 4 of the Landscape Design Manual.
3. 11 of 19 species (58%) are native to Michigan.

Planting Notations and Details (LDM)

1. Provided
2. **Please see the Landscape Chart for notes about the details, notes and cost estimate.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

The site's storm water will be treated in an underground system so no detention landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**
2. **Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader meader@cityofnovi.org.



TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP18-0050 Wash Zone Express Preliminary
Traffic Review

From:
AECOM

Date:
June 12, 2019

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Sri Komaragiri, Lindsay Bell, George Melistas, Darcy
Rechtien, Hannah Smith, Kate Richardson

Memo

Subject: JSP18-0050 Wash Zone Express Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Novi Meadowbrook Shopping, is proposing a car wash on the west side Meadowbrook Road, north of Ten Mile Road, in the Novi Ten Shopping Plaza.
2. Meadowbrook Road is under the jurisdiction of the City of Novi.
3. The site is currently zoned B-3, General Business.
4. Summary of traffic-related waivers/variances:
 - a. **A variance is required to maintain the currently proposed layout of the car wash without an 18' bypass lane.**
 - b. **A variance may be required for the centerline radius of the drive-thru lanes.**

TRAFFIC IMPACTS

1. AECOM reviewed the ITE Trip Generation Manual, 10th Edition, for land use code 948 – Automated Car Wash and found that the sample size was too small to be considered accurate; therefore, the trip generation estimates cannot be accurately ascertained from the ITE Trip Generation Manual, 10th Edition.
2. The proposed development; however, is not expected to be a major trip generator beyond the City thresholds. A traffic impact study is, therefore, not anticipated at this time.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant has proposed a two-lane, one-way entrance located within the Novi Ten Plaza parking lot. There are two (2) exits, one out of the car wash and one prior to entering the car wash.
 - a. The applicant should include all driveway widths and radii in future submittals.
2. The applicant should provide more information about modifications that are proposed to the existing Novi Ten Plaza parking lot including the removal of parking spaces, wheel stops, etc. The applicant has addressed the parking requirements of the plaza on the cover sheet.

- a. The applicant should include dimensions for all of the proposed end islands in the plaza parking lot. Refer to Figure 5.3.12 in the City's Zoning Ordinance for more information.
 - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space.
- b. Proposed aisle widths in the plaza meet the 24' minimum requirement.
3. There are no proposed modifications to Meadowbrook Road.
4. There is an existing sidewalk along the site on Meadowbrook Road.
 - a. The applicant has proposed a 6' sidewalk connection from the site to the existing sidewalk along Meadowbrook Road.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
 - a. The applicant has included dimensions for the radii of the proposed end islands through the site, but should also provide widths to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
 - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space.
 - ii. The end island outside radii is required to be a minimum of 15'.
 - b. The applicant has proposed a trash receptacle on the west side of the site.
 - i. The location of the trash receptacle could interfere with traffic exiting the car wash, or blocking the access aisle or parking areas to the west. The applicant should provide anticipated trash collection times to ensure that the aisle will not be blocked during operating hours.
 - ii. The applicant has provided trash collection vehicle travel patterns to review accessibility to the trash receptacles.
 - c. The applicant has indicated that 25 vehicles can be stacked in the entrance to the car wash. The applicant has indicated that 3 of the parking spaces at the exit are intended for drying vehicles.
 - i. The applicant should remove the curbed island in front of only these spaces and replace with a painted island to allow the vehicles to pull forward out of the spaces rather than backup towards the vehicles exiting the car wash.
 - d. The applicant has proposed an island between the two stacking lanes.
 - i. The applicant has indicated a width of 2', length of 18', and end radii of 1'.
 - ii. The proposed width of the lanes meet the 9' minimum per Section 5.3.11.E of the City's Ordinance.
 - iii. The by-pass exit prior to entering the car wash is 13' wide; however, it does not serve as a true by-pass lane as it does not extend the entire length of the drive-thru. Per Section 5.3.11.D of the City's Ordinance, 18' is required unless otherwise determined by the Fire Marshal. The applicant would need a variance for the bypass lane to maintain the current layout, which AECOM would support.
 - iv. The applicant has labeled the centerline radius of the drive-thru lanes to review compliance with Section 5.3.11.F of the City's Ordinance; the centerline radius does not meet the 25' requirement.
 1. The applicant should update the plans to meet the minimum radius requirement. The applicant provided passenger vehicle turning radii exhibits to justify the proposed design but should also include a pickup truck design. If the minimum radius is not met, a variance may be required.
 - e. The applicant has indicated a loading zone as applicable and required by the Zoning Ordinance.
 - i. The applicant should provide truck travel patterns throughout the site to confirm accessibility to/from the loading zone.

- f. Note 2 on sheet 4 indicates all curbs are 4" high. Curbs adjacent to 19' parking spaces must be 6", as well as curbs on landscape islands, unless the curb is abutting 17' parking spaces, where the curb is to be 4" in height.
2. Parking Facilities
 - a. The applicant has proposed 17' and 19' long parking spaces with widths varying 8.5' to 12.5'.
 - i. The applicant should revise the parking width to the standard 9' per Section 5.3.2 of the Zoning Ordinance or provide justification for the wider parking spaces.
 - b. The applicant shall refer to the Planning Review Letter for parking quantity requirements.
 - c. The applicant is required to provide two (2) bicycle parking spaces on site, as required by Section 5.16.1 of the Zoning Ordinance.
 - i. The applicant has indicated where the bicycle parking is located, however dimensional details should be provided to ensure compliance with Section 5.16 of the City's Zoning Ordinance. Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities.
3. Sidewalk Requirements
 - a. The applicant has proposed a minimum of 5' wide sidewalk but should label the sidewalk widths on the site plan.
 - b. The applicant should label sidewalk ramps on the plans and include the latest Michigan Department of Transportation (MDOT) detail.

SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
2. The signing table provided on sheet 10 should be moved to the site plan on sheet 4 and should include the quantity for each sign.
 - a. The codes listed for the accessible parking signs do not match those in the MMUTCD. Instead of D9-6 and D9-6p, the codes should be R7-8 and R7-8p, respectively.
3. The applicant has included parking space striping notes to indicate that:
 - a. The standard parking spaces shall be striped with four (4) inch white stripes.
 - b. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
 - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
4. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.
5. The applicant has indicated arrow pavement markings as solid and traffic flow arrows as hollow.
6. The applicant should indicate the proposed signing on site and provide notes and details related to the proposed signing.
 - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
7. The applicant has included the following notes.
 - a. All signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
 - b. Traffic control signs shall use the FHWA Standard Alphabet series.
 - c. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Memo

Sincerely,

AECOM

A handwritten signature in cursive script that reads "Patricia A. Thompson".

Patricia Thompson, EIT
Traffic Engineer

A handwritten signature in cursive script that reads "Josh A. Bocks".

Josh A. Bocks, AICP, MBA
Project Manager

FAÇADE REVIEW



May 29, 2019

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Façade Review Status Summary:

Not Approved, Section 9 Waiver Not Recommended

Re: **FACADE ORDINANCE REVIEW Preliminary Site Plan**
Wash Zone (at Novi Ten Plaza), JSP18-50
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project based on the drawings prepared by APDG Architects, dated 5/8/19. The percentages of materials proposed for each façade are as shown on the table below. The maximum and minimum percentages required by Ordinance Section 5.15 are shown in the right hand column. Materials that are in noncompliance with the Ordinance, if any, are identified in bold.

	East (Front)	West	South	North	Ordinance Maximum (Minimum)
Brick (Steel Grey, Smooth)	22%	58%	54%	52%	100% (30% Minimum)
EIFS (Color - SW#9185)	28%	20%	20%	44%	25%
Ceramic Tile (Laminam-Urban Influence, Oxide-	35%	12%	21%	2%	25%
Flat Metal Panels	15%	10%	5%	2%	50%

As shown above, the minimum percentage of Brick is not provided on the east façade, the percentage of EIFS and Ceramic Tile exceeds the maximum amount allowed by the Ordinance on the east (front) façade, and the percentage of EIFS significantly exceeds the maximum amount allowed by the Ordinance on the north façade. A Section 9 Waiver would be required for the aforementioned deviations. The proposed color for the EIFS material, Marea Baja SW#9185 is subdued in nature and is consistent with Section 5.15.2 of the Ordinance which prohibits the use of intense colors. The façade material sample board required by Section 5.15.4.D indicates carefully coordinated harmonious colors and textures.

Section 5.15.2 of the Façade Ordinance states the “The use of façade materials to form a background or component in a sign, or to increase the visual presence of the building for the purpose of advertising shall be deemed inconsistent with this Section”. We believe that the curved blue colored EIFS element that runs the length of the north façade and terminates as a freestanding element at the northeast corner of the building represents such a design feature. Therefore it is recommended that the percentage of EIFS be reduced to more closely comply with the Façade Ordinance on the north façade.

Vacuum Stations – Approximately 14 vacuum stations are proposed along the north façade. We have noted that in other Wash Zone facilities these structures are painted red, a color not otherwise found on the proposed building or buildings in the surrounding area. This red color would therefore be deemed inconsistent with the Facade Ordinance Section 5.15.2 which prohibits the use of dissonant and/or intense colors that are intended to increase the visual presence of the building for the purpose of advertising. It is recommended the applicant consider using a color that is more in-context with the primary building; for example the blue color indicated on the sample board (SW#9185).

Sample Board



Recommendation –We believe that the other deviations are minor in nature and that the overall design would qualify for a Section 9 Waiver if the percentage of EIFS is brought into closer compliance with the Ordinance. For example, this could be accomplished simply by raising the brick height and reducing the EIFS height by approximately 3.5’ on the north façade. It is our recommendation that a Section 9 Waiver be granted for the underage of Brick and the overage of EIFS and Ceramic Tile, contingent on this or other equivalent revision being made at the time of Final Site Plan Approval.

Notes to the Applicant:

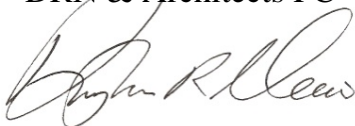
1. It should be noted that all roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Ordinance and harmonious with other façade materials.

2. The signs and logos must comply with the City’s Sign Ordinance, and are not part of this review.

3. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



May 15, 2019

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

CITY COUNCIL

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Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

RE: Wash Zone Express at Novi Ten

PSP# 19-0080
PSP# 18-0151

Project Description:

Build a drive through carwash at Meadowbrook and Ten Mile.

Comments:

- **CORRECTED 5/15/19**-Fire hydrant spacing is 300' from fire hydrant tot fire hydrant. (NOT as the crow flies).**Novi City Ordinance 11-68(F)(1)c.**

Recommendation:

APPROVED

Sincerely,

A handwritten signature in black ink, appearing to read "KSP", with a horizontal line extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



June 20, 2019

City of Novi
45175 Ten Mile Road
Novi, MI 48375

Attn: Sri Ravali Komaragiri
Planner

Re: Wash Zone
JSP 18-50
Revised Plan Date: May 10, 2019

Dear Ms. Komaragiri:

As requested, this letter serves as a summary of the review comments in the Plan Review Report dated June 11, 2019. Review comments from Planning Services, Engineering Services, Landscaping, Traffic (AECOM), and Public Safety are addressed below in **orange**:

PLANNING REVIEW

Reviewed by City of Novi staff and consultants

RECOMMENDATION

Approval of the **Preliminary Site Plan is recommended**. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission approval of the Preliminary Site Plan and Storm Water Management Plan is required.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Planning Commission Waivers: Following items would require Planning Commission approval:
 - a. A Section 9 Waiver is required for the underage of Brick and the overage of EIFS and Ceramic Tile. Please refer to Façade review for recommended revisions required for positive recommendation for the waiver.

The north and east façade will be revised to meet the percentages required in Ordinance Section 5.15.

City of Novi Review Response

June 20, 2019

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- b. Three street trees are located behind the sidewalk. A waiver to not plant them at all would be supported by staff as there is not room for the required street trees.
A waiver will be requested.
 - c. The eastern foundation landscaping is not located at the building. It is supported by staff as the landscaping is just across the sidewalk from the building.
A waiver will be requested.
2. Zoning Board of Appeals Variances: Following items would require Zoning Boards of Appeals approval. **Please indicate whether the plan will be revised to conform or whether to request for variance will be made.**
 - a. Drive-through lanes shall have a minimum centerline radius of 25 ft. Approximately 23 feet is proposed.
A variance will be requested. Letter from architect attached.
 - b. Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal. The site plan proposes an exit point before the tunnel, but not a parallel by-pass lane.
A variance will be requested. Letter from owner describing standard operational procedure (SOP) to clear customer car queue in case of emergency attached.
3. Lighting and Photometric Plan: the lighting and photometric plan appears to be in conformance. However, additional detail is required to complete the review. Please refer to plan review chart for information requested.
4. Vacuum stations: The plan proposes 14 vacuum stations north of the proposed building. Each vacuum station is equipped with a pole that includes a hose pipe and light. A sample picture was provided via e-mail. The lights appear to be bright. The applicant should provide additional information about the type of lights and related manufacturing spec sheets. The applicant should also indicate hours of Operation for these vacuum stations. Refer to façade review about the acceptable colors for Vacuum poles.
5. Plan Review Chart: Planning review chart provides additional comments and requests clarification for certain items. **Please address them in addition to the comments provided in this letter.**
See following chart for our responses.

OTHER REVIEWS

- a. Engineering Review: Engineering recommends approval of the Preliminary site plan. Additional comments to be addressed with final site plan.
- b. Landscape Review: Landscape recommends approval of the Preliminary site plan and related landscape waivers. Additional comments to be addressed with final site plan.
- c. Traffic Review: Traffic recommends approval of the Preliminary site plan. Additional comments to be addressed with final site plan.

City of Novi Review Response

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- d. Facade Review: Façade recommends approval. A Section 9 waiver is recommended contingent on certain revisions being made.
- e. Fire Review: Fire recommends approval.

NEXT STEP: PLANNING COMMISSION MEETING

The site plan is scheduled for Planning Commission's consideration on June 26, 2019. Please provide the following by June 19, 2019.

1. Original Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**

AFTER PLANNING COMMISSION APPROVAL

1. Zoning Board Of Appeals Meeting

Planning review identified couple of ZBA variances that are required. Please note that the Planning Commission approval is required prior to ZBA consideration. Please contact Kate Oppermann at (248)347-0459 for ZBA application deadlines and process. **The deadline for August 13 ZBA meeting is July 1.**

Noted.

2. Final Site Plan Submittal

After receiving Planning Commission's approval of the Preliminary Site Plan and Zoning Board of Appeals approval for the noted variances, please follow the Final Site Plan Checklist and submit the following for approval:

1. Six copies of Final Site Plan sets addressing all comments from Preliminary review,
2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Non-Domestic User Survey](#) (Non-residential developments)
9. Legal Documents as required
10. Drafts of any legal documents (note that off-site easements need to be executed and any onsite easements need to be submitted in draft form before stamping sets will be stamped)

City of Novi Review Response

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3. Electronic Stamping Set Submittal and Response Letter

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

4. Stamping Set Approval

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval. Pre-Con meetings are generally held after Stamping Sets have been issued.

5. Pre-Construction Meeting

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. **No work on the site may be commenced before a pre-construction meeting is held.** Please contact Sarah Marchioni [248.347.0430 or msmarchioni@cityofnovi.org] in the Community Development Department. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled.

SIGNAGE

Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or mkomaragiri@cityofnovi.org.

City of Novi Review Response

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PLANNING REVIEW CHART: B-3 General Business District

Prepared by Sri Ravali Komaragiri

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan (adopted July 26, 2017)	Local Commercial	No change to existing zoning	Yes	
Area Study	The site falls under the study boundaries for Comprehensive Traffic study which is ongoing			
Zoning (Effective Dec. 25, 2013)	B-3: General Business District	B-3: General Business District	Yes	
Uses Permitted (Sec 3.1.11.B & C)	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	Auto Wash	Yes	Permitted Use
Auto wash (Sec 4.32)	Permitted use in B-3 when completely enclosed in a building	It appears to be completely enclosed in a building. There are vacuum stations outside the building.	Yes	
B-3 Business District Required Conditions (Sec. 3.10)				
Truck Well (Sec. 3.10.1.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district	Meadowbrook is a residential collector	NA	
Height, bulk, density and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Ten Mile and Meadowbrook Road	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt	The applicant is proposing to lease the area of development from the shopping center		Liber and Page provided does not include an exhibit. Show the boundaries of area leased to bank along with Liber and page number on Sheet 2. The boundaries are shown on Sheet 2. The hatching

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
	screening, yard setback or usable open space.			will be modified to clearly indicate the area.
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	14% for the Car wash development area	Yes	
Building Height (Sec. 3.1.12.D)	30 ft.	About 30 ft.	Yes	
Building Setbacks (Sec 3.1.12.D)				
Front (Meadowbrook Road)	30 ft.	About 80 ft.	Yes	
Side (south)	10 ft.	Complies	Yes	
Side (north)	10 ft.	10 feet from the Washzone lease boundary	Yes	
Rear (west)	10 ft.	Not indicated	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Not applicable	NA	
Minimum Lot Area (Sec. 3.6.2.D)	The minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space requirements	Proposed	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Proposed	Yes	
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetlands		

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Landscape plan is Provided	Yes	See landscape letter for additional details Acknowledged.
Modification of parking setback requirements (Sec 3.6.2.Q)	Refer to Sec 3.6.2 for more details	None proposed	NA	
Parking, Loading, and Dumpster Requirements				
Autowash (automatic) (5.2.12.C.)	Two + 1 for each employee + 1 for each vacuum station or similar area	5 spaces for 3 employees 14 Vacuum spaces 3 drying spaces TOTAL 22 spaces	Yes?	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	<ul style="list-style-type: none"> - 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking - spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping 	<ul style="list-style-type: none"> - 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. 	Yes	Refer to Traffic review for further comments. Acknowledged.
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	NA	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	Proposed	Yes?	Refer to Traffic review for further comments Acknowledged.
Barrier Free Spaces <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces	1 handicap space proposed	Yes?	Handicap parking space is also counted towards the proposed 14 vacuum space

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
<i>(2012 Michigan Building Code)</i>	– 5' wide with a 5' wide access aisle for regular accessible spaces			<p>stations. Handicap space should be available for handicap parking only.</p> <p>The parking spaces listed in the Site Data chart on the cover will be revised to 13 vacuum stations and 1 Barrier Free space.</p>
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Sign indicated	Yes	
Minimum number of Bicycle Parking <i>(Sec. 5.16.1)</i>	Minimum 2 spaces	Two spaces	Yes	
Bicycle Parking General requirements <i>(Sec. 5.16)</i>	<ul style="list-style-type: none"> – No farther than 120 ft. from the entrance being served – When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations – Spaces to be paved and the bike rack shall be inverted “U” design – Shall be accessible via 6 ft. paved sidewalk 	Appear to comply	No	<p>Provide the minimum required bike parking</p> <p>Minimum bike parking (2 spaces) is provided as shown on Sheet 4.</p>
Bicycle Parking Lot layout <i>(Sec 5.16.6)</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Not provided	No	<p>Provide the bike pad layout with dimensions</p> <p>Dimensions will be added to the bike pad on Sheet 4.</p>
Loading Spaces <i>(Sec. 5.4.2)</i>	<ul style="list-style-type: none"> – Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building – Except in the case of a double frontage lot, loading-unloading, as well as trash 	Interior parking lot/side yard due to double frontage Minimum required 360 sf provided	Yes	

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
	receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City.			
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Interior side yard.	No?	<p>Refer to Traffic review for concerns notes regards to the location.</p> <p>Acknowledged.</p>
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Details not provided at this time	Yes	<p>Provide more details with the next submittal.</p> <p>Acknowledged.</p>
Drive-through Lanes Separation (Sec. 5.3.11.A,C)	Drive-through lanes shall be separate from the circulation routes & lanes necessary for ingress to & egress from the property	Drive-thru lanes are provided farther from ingress and egress.	Yes	
Drive-through setbacks (Sec. 5.3.11.A,B)	Drive through shall follow parking setback requirements and applicable parking lot	Complies	Yes	

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
	landscaping requirements			
Bypass Lane for Drive-through (Sec. 5.3.11.D)	Drive-through facilities shall provide 1 bypass lane, min. of 18 ft. in width, unless otherwise determined by the Fire Marshal	Bypass lane not provided. However, an acceptable alternative id provided	No	A Zoning Board of Appeals variance would be required, which is supported by staff. Variance will be requested. Letter from owner describing standard operational procedure (SOP) to clear customer car queue in case of emergency is attached. Refer to Traffic comments for more detail Acknowledged.
Width & Centerline Radius of Drivethrough Lanes (Sec. 5.3.11.E,F,H)	Drive-through lanes shall have a minimum 9 ft. width, centerline radius of 25 ft. and a minimum length of 19 ft.	Does not appear to meet the requirement	No?	<u>A Zoning Board of Appeals variance would be required</u> A variance will be requested. Letter from architect attached. <u>Refer to Traffic comments for more detail</u> Acknowledged.
Drive-through Lane Delineated (Sec. 5.3.11.G)	Drive-through lanes shall be striped, marked, or otherwise delineated	Details not provided at this time	No	Refer to Traffic comments for more detail Acknowledged.
Drive-Thru Stacking Spaces (Sec. 5.3.11.I)	Twenty-five (25) vehicles prior to the tunnel (may be in multiple lanes), three (3) vehicles beyond the tunnel for drying areas	Complies 3 Drying spaces provided at the end of Tunnel	Yes	Refer to Traffic comments for additional modifications required to adjoining island to accommodate drying spaces Acknowledged.
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Photometric plan is provided at this time	Yes	
Roof top equipment and	All roof top equipment must be screened and all	Unable to determine	Yes	Please add a note if any rooftop equipment is

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
wall mounted utility equipment (Sec. 4.19.2.E.ii)	wall mounted utility equipment must be enclosed and integrated into the design and color of the building			<p>proposed. If yes, it should be properly screened</p> <p>No rooftop equipment will placed.</p>
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable façade regulations, and shall not be visible from any street, road, or adjacent property	Unable to determine	Yes	
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	6 foot sidewalk required along Meadowbrook Road	Existing	Yes	
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Connection to public sidewalk along Meadowbrook Road is proposed	Yes	
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).	Mostly provided	Yes?	

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
Economic Impact	Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied)	\$900,000 Jobs created during construction: 30 After Construction: 10	No	Parking counts indicate 3 employees; the economic impact statement refers to 10 jobs after construction. Does the additional 7 refer to off-site jobs? No, a standard work shift will have 3 employees at a time. The total number will be 10.
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.	Not indicated at this time	NA	For sign permit information contact Maureen Underhill at 248-347-0438.
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	NA	For approval of project and street naming contact Hannah Smith at 248-735-0579
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	A split or combination is not proposed at this time. The area is proposed to be leased	NA	
Other Legal Requirements				
Conservation easements	Conservation easements may be required for woodland impacts	Not applicable at this moment	NA	The following documents will be required during Site Plan review process prior to final site plan approval
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan is provided at this time		
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets,	Provided	Yes	

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
	drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Information provided, but not legible	No?	Please provide information that is legible A revised/ updated lighting plan will be included in the final site plan submittal.
Lighting Plan (Sec.5.7.2A.ii)	Specifications for all proposed & existing lighting fixtures	Not provided	No	Provide the specification sheets for all proposed light fixtures Specification sheets for all proposed light fixtures will be provided.
	Photometric data	Provided	Yes	
	Fixture height	Not provided	No	Provide the pole heights/mounting heights Sheet 11 notes that Mounting Heights are indicated as "MH" and shown in the plan view.
	Mounting & design	Provided	Yes	
	Glare control devices			
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	Not provided	No	Provide hours of operation Hours of operation are listed on Sheet 1 – Cover Sheet in the Community Impact as 8 AM to 7 PM.
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
Maximum height when abutting residential districts	Height not to exceed maximum height of zoning district (or 25 ft.	Not provided	No	Provide the pole heights/mounting heights

City of Novi Review Response

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Item	Required Code	Proposed	Meets Code	Comments
(Sec. 5.7.3.A)	where adjacent to residential districts or uses)			Sheet 11 notes that Mounting Heights are indicated as "MH" and shown in the plan view.
Standard Notes	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Unable to determine	No	<p>Add these notes to the plan</p> <p>These standard notes are listed in the Notes section on Sheet 5 – Utility Plan</p>
<p>Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.</p>	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the façade are preferred 	Unable to determine	No	<p>Provide hours of Operation. Indicate what lights will be turned after hours of Operation.</p> <p>Hours of operation are listed on Sheet 1 – Cover Sheet in the Community Impact as 8 AM to 7 PM.</p> <p>Only lights required for security should be turned on</p> <p>Only security lighting will be left on after hours of operation.</p> <p>Please clarify the light levels for vacuum lights. Hours of Operation for these lights</p> <p>Vacuum lights will only be turned on during hours of operation.</p>
<p>Average light levels (Sec.5.7.3.E)</p>	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	Not provided	No	Provide the ratio to verify conformance
<p>Type of Fixtures (Sec. 5.7.3.F)</p>	Use of true color rendering lamps such as metal halide is preferred	LED	Yes	

City of Novi Review Response

June 20, 2019

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Item	Required Code	Proposed	Meets Code	Comments
	over high & low pressure sodium lamps			
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	Complies	Yes	
	Loading & unloading areas: 0.4 min	Complies	Yes	
	Walkways: 0.2 min	Complies	Yes	
	Building entrances, frequent use: 1.0 min	Complies	Yes	
	Building entrances, infrequent use: 0.2 min	Complies	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a nonresidential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	
Max. Illumination adjacent to Residential (Sec. 5.7.3.L)	When adjacent to residential districts: – All cut off angles of fixtures must be 90° – maximum illumination at the property line shall not exceed 0.5 foot candle	Not applicable	NA	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

City of Novi Review Response

June 20, 2019

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LANDSCAPE REVIEW

Reviewed by Rick Meader, Landscape Architect, City of Novi

ORDINANCE CONSIDERATIONS

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

RECOMMENDATION

This **project is recommended for approval for Preliminary Site Plan**. The minor revisions noted can be addressed on the Final Site Plan or electronic stamping set.

Minor revisions listed below will be addressed on the Final Site Plan submittal.

LANDSCAPE WAIVERS:

1. Three street trees are located behind the sidewalk. A waiver to not plant them at all would be supported by staff as there is not room for the required street trees.
A waiver will be requested.
2. The eastern foundation landscaping is not located at the building. It is supported by staff as the landscaping is just across the sidewalk from the building.

A waiver will be requested.

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

There are no trees or bushes on the site.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to any residentially-zoned property.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. While a berm is not required, some sort of continuous visual buffer for the access lane from Meadowbrook Road should be provided that is at least 36" high.

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Additional shrubs will be provided directly adjacent to the access lane to provide screening to Meadowbrook Road.

2. The required canopy and subcanopy trees are provided.
3. Based on the frontage, 4 street trees are required. 3 street trees are planted in the greenbelt. Due to the lack of room for street trees in the right of way (conflicts with overhead wires, the sidewalk and underground utility lines), a landscape waiver for the 4 street trees would be supported by staff (ie they don't need to be provided).

A waiver will be requested and the four canopy street trees will be removed from the plan.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use area, 1,529sf of interior landscape area and 8 canopy trees are required. 3,679sf of area and 8 trees are provided.
2. Based on the perimeter provided, 7 canopy trees are required. 3 canopy trees and 2 evergreens are provided as perimeter trees along the south access drive. 2 greenbelt trees are double-counted as perimeter trees, but they must be moved to within 15 feet of the curb to count as a perimeter tree. Please do so, or add 2 canopy trees within 15 feet of the curb.

Two of the greenbelt trees will be moved to within 15 feet of the curb.

3. Please replace the 2 evergreen trees with deciduous canopy trees.

The two evergreen trees will be replaced with deciduous canopy trees.

Building Foundation Landscaping (Zoning Sec 5.5.3.D)

1. Based on the building perimeter, 2,472sf of interior landscape area are required and 2,483sf are provided.
2. As some of the landscaping is located away from the base of the building, a landscape waiver is required. *It is supported by staff as that landscaping is just across the sidewalk walk from the building, between Meadowbrook and the building.*

A waiver will be requested.

3. 60% of the building facing a road must be landscaped. 62.5% of the Meadowbrook frontage has landscaping.

Plant List (LDM 2.h. and t., LDM 4)

1. Provided
2. The tree diversity meets the requirements of Section 4 of the Landscape Design Manual.
3. 11 of 19 species (58%) are native to Michigan.

Planting Notations and Details (LDM)

1. Provided
2. **Please see the Landscape Chart for notes about the details, notes and cost estimate.**

The Landscape Chart with notes was not included in this review.

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Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

The site's storm water will be treated in an underground system so no detention landscaping is required.

Irrigation (LDM 1.a.(1)(e) and 2.s)

- 1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**

Landscaping will be hand watered until established.

- 2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.**

A note will be added to the maintenance plan for watering landscaping.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.

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ENGINEERING REVIEW

Reviewed by Kate Richardson, EIT

Project Summary

- Construction of an approximately 4,788 square-foot car wash and associated parking. Site access would be provided via existing shopping plaza entrances on Ten Mile Road and Meadowbrook Road.
- Water service would be provided by a 6-inch extension from the existing 8-inch water main along the north side of the property. A 2-inch domestic lead would be provided to serve the building, along with one additional hydrant.
- Sanitary sewer service would be provided by a 4-inch extension from the existing 12- inch sanitary sewer along the west side of Meadowbrook Road.
- Storm water would be collected by a single storm sewer collection system and discharged to an underground detention unit.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the Final Site Plan submittal):

Minor revisions listed below will be addressed on Final Site Plan or electronic stamping set.

Additional Comments (to be addressed upon Final Site Plan submittal):

General

1. Provide all elevations on the City of Novi datum and remove the conversion note on sheet 3.
2. Provide a traffic control sign table listing the quantities of each sign type proposed for the development.
3. Specify what the stripping over the 'Exit Only' drive aisle indicates. The legend should reflect this stripping.
4. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).
5. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

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Water Main

6. Provide a 20-foot wide easement over the 8-inch water main that extends to the hydrant on-site.
7. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.
8. Provide a profile for all proposed water main 8-inch and larger.
9. Provide three (3) signed and sealed sets of revised utility plans along with the MDEGLE permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

10. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
11. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the right-of-way, provide a 20-foot wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).

Storm Sewer

12. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
13. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan.
14. Provide storm sewer profiles and illustrate all pipes intersecting storm structures.

Storm Water Management Plan

15. The on-site storm water retention easement (liber 6270, page 173) will likely need to be vacated prior to Stamping Set approval.
16. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
17. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates.
18. Provide a soil boring in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table.
19. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access.
20. Provide inspection ports throughout the underground detention system.

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Paving & Grading

21. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
22. Curbing and walks adjacent to the end of 17-foot stalls shall be 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
23. Verify the slopes along the ingress/egress routing to the building from the barrier-free stalls comply with Michigan Barrier-Free regulations.
24. Provide existing and proposed contours on the Grading Plan at the time of the Final Site Plan submittal.
25. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards given in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).

Soil Erosion and Sediment Control

26. A SESC permit is not required since the area of disturbance is less than one acre and the property is more than 500 feet from a body of water or wetland.

Off-Site Easements

27. Any off-site utility easements must be executed **prior to final approval of the plans**. If you have not done so already, drafts of the easements and a recent title search shall be submitted as soon as possible to the Community Development Department for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

The following must be submitted at the time of Final Site Plan submittal:

28. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
29. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. ***The cost estimate must be itemized*** for each utility (water, sanitary, storm sewer), onsite paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
30. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

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The following must be submitted at the time of Stamping Set submittal:

31. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
32. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
33. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole to be constructed on the site must be submitted to the Community Development Department.
34. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

35. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
36. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
37. A Soil Erosion Control Permit is not required.
38. A permit for work within the right-of-way of Meadowbrook Road must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
39. A permit for water main construction must be obtained from the MDEGLE. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
40. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
41. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
42. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.

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TRAFFIC REVIEW

Reviewed by AECOM

The preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

Minor revisions listed below will be addressed on Final Site Plan or electronic stamping set.

GENERAL COMMENTS

1. The applicant, Novi Meadowbrook Shopping, is proposing a car wash on the west side Meadowbrook Road, north of Ten Mile Road, in the Novi Ten Shopping Plaza.
2. Meadowbrook Road is under the jurisdiction of the City of Novi.
3. The site is currently zoned B-3, General Business.
4. Summary of traffic-related waivers/variances:
 - **A variance is required to maintain the currently proposed layout of the car wash without an 18' bypass lane.**
Variance will be requested. Letter from owner describing standard operational procedure (SOP) to clear customer car queue in case of emergency attached.
 - **A variance may be required for the centerline radius of the drive-thru lanes.**
Variance will be requested. Letter from applicant attached.

TRAFFIC IMPACTS

1. AECOM reviewed the ITE Trip Generation Manual, 10th Edition, for land use code 948 – Automated Car Wash and found that the sample size was too small to be considered accurate; therefore, the trip generation estimates cannot be accurately ascertained from the ITE Trip Generation Manual, 10th Edition.
2. The proposed development; however, is not expected to be a major trip generator beyond the City thresholds. A traffic impact study is, therefore, not anticipated at this time.

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant has proposed a two-lane, one-way entrance located within the Novi Ten Plaza parking lot. There are two (2) exits, one out of the car wash and one prior to entering the car wash.
 - a. The applicant should include all driveway widths and radii in future submittals.
2. The applicant should provide more information about modifications that are proposed to the existing Novi Ten Plaza parking lot including the removal of parking spaces, wheel stops, etc. The applicant has addressed the parking requirements of the plaza on the cover sheet.
 - a. The applicant should include dimensions for all of the proposed end islands in the plaza parking lot. Refer to Figure 5.3.12 in the City's Zoning Ordinance for more information.
 - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space.
 - b. Proposed aisle widths in the plaza meet the 24' minimum requirement.

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3. There are no proposed modifications to Meadowbrook Road.
4. There is an existing sidewalk along the site on Meadowbrook Road.
 - a. The applicant has proposed a 6' sidewalk connection from the site to the existing sidewalk along Meadowbrook Road.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
 - a. The applicant has included dimensions for the radii of the proposed end islands through the site, but should also provide widths to review accessibility and compliance with City requirements as stated in Section 5.3.12 of the Zoning Ordinance.
 - i. Note that all end islands adjacent to a travel way shall be constructed three (3) feet shorter than the adjacent parking space.
 - ii. The end island outside radii is required to be a minimum of 15'.
 - b. The applicant has proposed a trash receptacle on the west side of the site.
 - i. The location of the trash receptacle could interfere with traffic exiting the car wash, or blocking the access aisle or parking areas to the west. The applicant should provide anticipated trash collection times to ensure that the aisle will not be blocked during operating hours.

Trash collection times will be limited to before or after normal hours of operation to reduce conflicts.
 - ii. The applicant has provided trash collection vehicle travel patterns to review accessibility to the trash receptacles.
 - c. The applicant has indicated that 25 vehicles can be stacked in the entrance to the car wash. The applicant has indicated that 3 of the parking spaces at the exit are intended for drying vehicles.
 - i. The applicant should remove the curbed island in front of only these spaces and replace with a painted island to allow the vehicles to pull forward out of the spaces rather than backup towards the vehicles exiting the car wash.

The curbed island is needed because of grade elevation differences between the Meadowbrook Shopping Complex driveway and the Wash Zone site. The spaces to the north will be delineated for drying and the spaces across from the car wash exit will be fore employee parking only.

- d. The applicant has proposed an island between the two stacking lanes.

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- i. The applicant has indicated a width of 2', length of 18', and end radii of 1'.
- ii. The proposed width of the lanes meet the 9' minimum per Section 5.3.11.E of the City's Ordinance.
- iii. The by-pass exit prior to entering the car wash is 13' wide; however, it does not serve as a true by-pass lane as it does not extend the entire length of the drive-thru. Per Section 5.3.11.D of the City's Ordinance, 18' is required unless otherwise determined by the Fire Marshal. The applicant would need a variance for the bypass lane to maintain the current layout, which AECOM would support.

A variance will be requested.

- iv. The applicant has labeled the centerline radius of the drive-thru lanes to review compliance with Section 5.3.11.F of the City's Ordinance; the centerline radius does not to meet the 25' requirement.

1. The applicant should update the plans to meet the minimum radius requirement. The applicant provided passenger vehicle turning radii exhibits to justify the proposed design but should also include a pickup truck design. If the minimum radius is not met, a variance may be required.

A variance will be requested.

- e. The applicant has indicated a loading zone as applicable and required by the Zoning Ordinance.
 - i. The applicant should provide truck travel patterns throughout the site to confirm accessibility to/from the loading zone.
- f. Note 2 on sheet 4 indicates all curbs are 4" high. Curbs adjacent to 19' parking spaces must be 6", as well as curbs on landscape islands, unless the curb is abutting 17' parking spaces, where the curb is to be 4" in height.

2. Parking Facilities

- a. The applicant has proposed 17' and 19' long parking spaces with widths varying 8.5' to 12.5'.
 - i. The applicant should revise the parking width to the standard 9' per Section 5.3.2 of the Zoning Ordinance or provide justification for the wider parking spaces.

Parking widths and lengths are greater for the vacuum stations. This additional area provides room for door swings from both sides of the vehicle. A waiver will be requested for the wider spaces.

The employee spaces are standard City of Novi. The 8.5' space is the handicap space adjacent to an access aisle.

- b. The applicant shall refer to the Planning Review Letter for parking quantity requirements.
- c. The applicant is required to provide two (2) bicycle parking spaces on site, as required by Section 5.16.1 of the Zoning Ordinance.

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- i. The applicant has indicated where the bicycle parking is located, however dimensional details should be provided to ensure compliance with Section 5.16 of the City's Zoning Ordinance. Note that a six foot accessible route is required from the adjacent street to the bicycle parking facilities.
3. Sidewalk Requirements
 - a. The applicant has proposed a minimum of 5' wide sidewalk but should label the sidewalk widths on the site plan.
 - b. The applicant should label sidewalk ramps on the plans and include the latest Michigan Department of Transportation (MDOT) detail.

SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
2. The signing table provided on sheet 10 should be moved to the site plan on sheet 4 and should include the quantity for each sign.
 - a. The codes listed for the accessible parking signs do not match those in the MMUTCD. Instead of D9-6 and D9-6p, the codes should be R7-8 and R7-8p, respectively.
3. The applicant has included parking space striping notes to indicate that:
 - a. The standard parking spaces shall be striped with four (4) inch white stripes.
 - b. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
 - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
4. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.
5. The applicant has indicated arrow pavement markings as solid and traffic flow arrows as hollow.
6. The applicant should indicate the proposed signing on site and provide notes and details related to the proposed signing.
 - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
7. The applicant has included the following notes.
 - a. All signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
 - b. Traffic control signs shall use the FHWA Standard Alphabet series.

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- c. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

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FAÇADE REVIEW

Reviewed by Douglas R. Necci, AIA, DRN & Architects PC

Façade Review Status Summary:

Not Approved, Section 9 Waiver Not Recommended

The following is the Façade Review for the above referenced project based on the drawings prepared by APDG Architects, dated 5/8/19. The percentages of materials proposed for each façade are as shown on the table below. The maximum and minimum percentages required by Ordinance Section 5.15 are shown in the right hand column. Materials that are in noncompliance with the Ordinance, if any, are identified in bold.

The north and east façades will be revised to meet the percentages required in Ordinance Section 5.15.

	East (Front)	West	South	North	Ordinance Maximum (Minimum)
Brick (Steel Grey, Smooth)	22%	58%	54%	52%	100% (30% Minimum)
EIFS (Color - SW#9185)	28%	20%	20%	44%	25%
Ceramic Tile (Laminam-Urban Influence, Oxide-	35%	12%	21%	2%	25%
Flat Metal Panels	15%	10%	5%	2%	50%

As shown above, the minimum percentage of Brick is not provided on the east façade, the As shown above, the minimum percentage of Brick is not provided on the east façade, the percentage of EIFS and Ceramic Tile exceeds the maximum amount allowed by the Ordinance on the east (front) façade, and the percentage of EIFS significantly exceeds the maximum amount allowed by the Ordinance on the north façade. A Section 9 Waiver would be required for the aforementioned deviations. The proposed color for the EIFS material, Marea Baja SW#9185 is subdued in nature and is consistent with Section 5.15.2 of the Ordinance which prohibits the use of intense colors. The façade material sample board required by Section 5.15.4.D indicates carefully coordinated harmonious colors and textures.

Section 5.15.2 of the Façade Ordinance states the “The use of façade materials to form a background or component in a sign, or to increase the visual presence of the building for the purpose of advertising shall be deemed inconsistent with this Section”. We believe that the curved blue colored EIFS element that runs the length of the north façade and terminates as a freestanding element at the northeast corner of the building represents such a design feature. Therefore it is recommended that the percentage of EIFS be reduced to more closely comply with the Façade Ordinance on the north façade.

Vacuum Stations – Approximately 14 vacuum stations are proposed along the north façade. We have noted that in other Wash Zone facilities these structures are painted red, a color not otherwise found on the proposed building or buildings in the surrounding area. This red color would therefore be deemed inconsistent with the Façade Ordinance Section 5.15.2 which prohibits the use of dissonant and/or intense colors that are intended to increase the visual presence of the building for the purpose of advertising. It is recommended the applicant consider using a color that is more in-context with the primary building; for example the blue color indicated on the sample board (SW#9185).

Sample Board



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Recommendation –We believe that the other deviations are minor in nature and that the overall design would qualify for a Section 9 Waiver if the percentage of EIFS is brought into closer compliance with the Ordinance. For example, this could be accomplished simply by raising the brick height and reducing the EIFS height by approximately 3.5' on the north façade. It is our recommendation that a Section 9 Waiver be granted for the underage of Brick and the overage of EIFS and Ceramic Tile, contingent on this or other equivalent revision being made at the time of Final Site Plan Approval.

Notes to the Applicant:

1. It should be noted that all roof top equipment must be concealed from view from all vantage points both on-site and off-site using extended parapets or roof screens constructed of materials in compliance with the Façade Ordinance and harmonious with other façade materials.
2. The signs and logos must comply with the City's Sign Ordinance, and are not part of this review.
3. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

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FIRE REVIEW

Reviewed by Kevin S. Pierce-Fire Marshal, City of Novi – Fire Dept.

Comments:

- **CORRECTED 5/15/19**-Fire hydrant spacing is 300' from fire hydrant tot fire hydrant. (**NOT** as the crow flies). **Novi City Ordinance 11-68(F)(1)c.**

Recommendation:

APPROVED

The Original Site Plan submittal in PDF format is included in this submittal (7.7MB.) If you have any questions, please contact me at 734-995-0200, ext. 221. Thank you.

Sincerely,

MIDWESTERN CONSULTING, LLC

A handwritten signature in blue ink that reads "Susan C. Dickinson". The signature is written in a cursive style and is positioned above a horizontal line.

Susan C. Dickinson, P.E.



Friday, November 16, 2018

City of Novi
45175 Ten Mile Road
Novi, Michigan 48375

RE: Wash Zone Express Car Wash

To whom it concerns:

This letter is to address the required turning radius for a well operating car wash. The key design elements of an express car wash are vehicular circulation to the point of sale, a smooth travel to the tunnel entrance and proper alignment onto the conveyor.

When a vehicle must turn 180 degrees to enter a tunnel it is important to know that the vehicle is traveling only 1-2 mph. The vehicle must also align with the conveyor when entering the tunnel, so we design the drive to achieve this. A device called a correlator is installed at the front of the conveyor that actually corrects the cars alignment straight onto the conveyor if needed.

To keep tires from grinding curbs, we prefer to use roll-over curbs which allow the driver to feel that they are getting out of the lane and correct themselves. The graphic attached below shows a standard car of 19 feet length can turn within a 25.5 foot circle. I drive an F150 truck that is 19 feet long and can turn within this radius.

Many engineers use Autoturn software which is a great program for basic turning and site circulation of vehicles and trucks. What Autoturn doesn't design for is slow circulation for a car wash specific application. Autoturn is also designed to have a liberal amount of room to allow for different vehicles and brands. We use a standard of 30 ft outside radius which gives additional room for circulation and keeps cars from grinding curbs. We use a 14 foot wide drive which also allows plenty of room for even the longest vehicles to circulate well.

If you have any questions, please let me know.

Trent Clark

Architect
A Plus Design Group



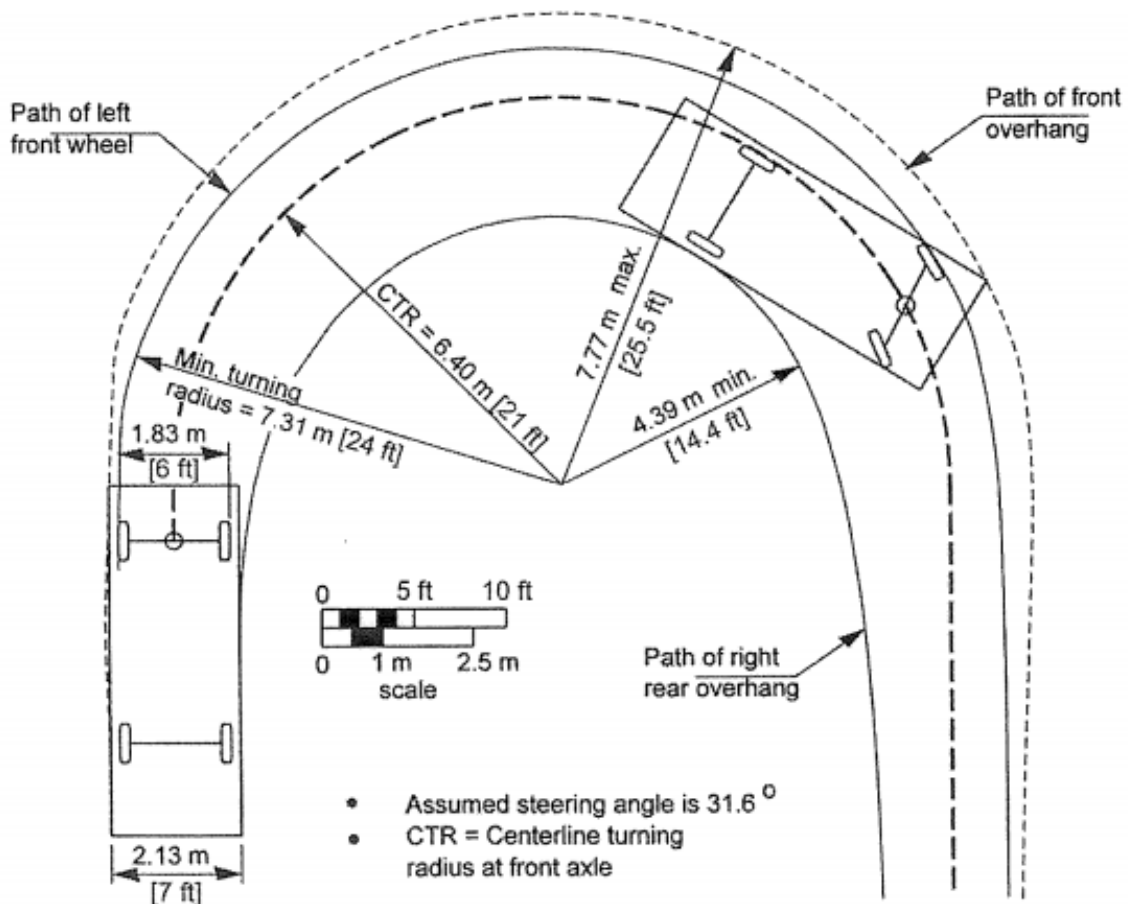
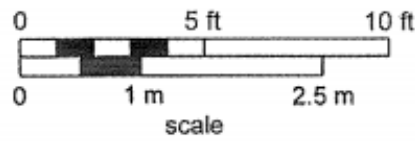
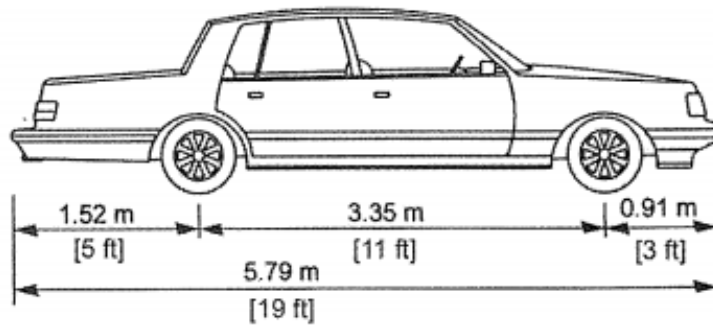


Exhibit 2-3. Minimum Turning Path for Passenger Car (P) Design Vehicle

Jim Belanger, Wash Zone Car Wash
15065 North Sheldon Rd
Plymouth Township, MI 48170

April 26, 2019

Sri Ravali Komaragiri
Planner
City of Novi
45175 Ten Mile Rd
Novi, MI 48375

RE: Variance for By Pass Lane for Drive Through
Section 5.3.11.D

Dear Sri Ravali Komaragiri:

The letter provides the standard operational procedure to clear the customer car queue in case of emergency.

Emergency SOP to Clear the lot of Customer Vehicles: In case of emergency, the following procedure will be followed to clear the lot of customer vehicles:

1. Immediately upon
2. Communication of a site emergency, Manager or Assistant Manager assess type of emergency and call emergency services.
3. Manager or Assistant Manager direct guide on duty station leader to:
 - a. Put a cone in front of the conveyer
 - b. Run the car wash until the bay is clear of vehicles
 - c. Pull the e-stop
 - d. Move to the entrance point and stop incoming traffic to the site.
4. Manager clear employees from the facility and direct them to stand by outside of the office.
5. Manager or Assistant Manager flip gate switches to the "UP" position.
6. Manager or Assistant Manager clear the buffer queue.
 - a. Once the buffer queue is cleared, report directly to the first vehicle in the outside lane and clear the entire outside lane.
 - b. Once the outside lane is cleared, clear the entire inside lane.

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- c. Station employees to keep on lookers away from danger.
- d. Meet the emergency service first responders, brief them and assist as required.

Please let us know what questions you have with our Emergency SOP.

Sincerely,

Jim Belanger

Jim Belanger

Member

Wash Zone Car Wash