



## HCCP NEG SPEC BUILDING JSP17-30

### HCCP NEG SPEC BUILDING JSP 17-30

Public hearing at the request of HCP Land, LLC for Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan approval. The subject parcel is located in section 1 in the Haggerty Corridor Corporate Park, west of Cabot Drive, north of Thirteen Mile Road, and west of Haggerty Road. It is approximately 14.06 acres and zoned OST (Office Service Technology). The applicant is proposing to build a 210,000 square foot, 4-story office building along with associated site improvements, including parking and utilities. The plan also includes an extension of Cabot Drive north to the parcel.

### Required Action

Approve/Deny the Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	4-20-17	<ul style="list-style-type: none"> <li>• <b>Waiver for lack of covered bicycle parking, spacing between bike racks, and type of bike racks</b></li> <li>• <b>Applicant may modify the location of the loading/unloading in exterior side yard of a double frontage lot or seek a ZBA variance</b></li> <li>• <b>Applicant may modify the location of dumpster enclosure within required rear yard setback and near barrier free spaces or seek a ZBA variance</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Engineering	Approval recommended	5-1-17	<ul style="list-style-type: none"> <li>• <b>Applicant may provide sidewalk on both side of the proposed Cabot Drive extension or seek a DCS variance</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscaping	Approval recommended	4-25-17	<ul style="list-style-type: none"> <li>• <b>Waiver for interior street trees along Cabot Drive</b></li> <li>• <b>Waiver for parking lot perimeter canopy trees</b></li> <li>• <b>Waiver for parking lot landscaping due to ITC corridor restrictions</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Wetlands	Approval recommended	4-28-17	<ul style="list-style-type: none"> <li>• <b>Minor Wetland Permit, Wetland Buffer Authorization</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Woodlands	Approval recommended	4-28-17	<ul style="list-style-type: none"> <li>• <b>Woodland Permit, Woodland Fence</b></li> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Traffic	Approval recommended	4-20-17	<ul style="list-style-type: none"> <li>• <b>Applicant should provide the required traffic impact study at time of Final Site Plan submittal or seek a waiver from required traffic impact study (not supported by staff)</b></li> <li>• Items to be addressed by the applicant prior to</li> </ul>

			Final Site Plan approval
Façade	Approval recommended	4-27-17	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Fire	Approval recommended with conditions	4-24-17	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

**MOTION SHEET**

**Approval – Preliminary Site Plan**

In the matter of HCCP NEG Spec Building JSP17-30, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning waiver from Section 5.16 for not providing covered bicycle parking spaces for 25% of the required bicycle parking spaces, for maneuvering lane spacing of 3 feet (4 feet required), and for use of Loop Rack Design (“U” design required), which is hereby granted;
- b. Zoning Board of Appeals variance from Section 4.19.2.F for location of dumpster in rear yard setback if applicant does not change the plans to move dumpster out of setback;
- c. Zoning Board of Appeals variance from Section 5.4.1 for location of the unloading/loading area within the exterior side yard if applicant does not change the plans to move the unloading/loading area from the exterior side yard;
- d. DCS variance from Section 11-256 (b) for lack of sidewalks on both sides of Cabot Drive where no development is proposed at this time;
- e. Landscape waiver from LDM 1.d.(2) for less interior street trees along Cabot Drive because the proposed frontage landscaping is attractive and keeping with the spirit of the ordinance, which is hereby granted;
- f. Landscape waiver from Section 5.5.3.C for less parking lot landscaping due to ITC corridor landscaping restrictions, which is hereby granted;
- g. Landscape waiver from Section 5.5.3.C.(3) for less parking lot perimeter canopy trees if landscaping is sufficiently provided as determined by the Landscape Architect, which is hereby granted;
- h. Applicant shall provide a traffic impact study for the proposed development at time of Final Site Plan submittal;
- i. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- j. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Woodland Permit**

In the matter of HCCP NEG Spec Building JSP17-30, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any).*

*(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Stormwater Management Plan**

In the matter of HCCP NEG Spec Building JSP17-30, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of HCCP NEG Spec Building JSP17-30, motion to **deny** the Preliminary Site Plan... *(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Woodland Permit**

In the matter of HCCP NEG Spec Building JSP17-30, motion to **deny** the Woodland Permit... *(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- AND -**

**Denial – Stormwater Management Plan**

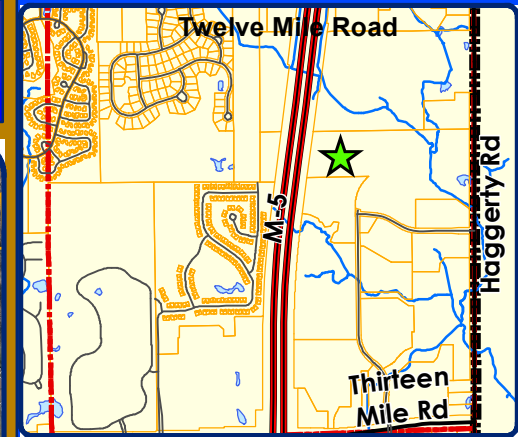
In the matter of HCCP NEG Spec Building JSP17-30, motion to **deny** the Stormwater Management Plan... *(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Maps  
Location  
Zoning  
Future Land Use  
Natural Features

---

# JSP17-30: HCCP NEG Spec Building

## Location Map



### LEGEND

 Sections



## City of Novi

Community Development Department  
Civic Center  
45175 W Ten Mile Road  
Novi, MI 48375  
[www.cityofnovi.org](http://www.cityofnovi.org)

Map Author: Kirsten Mellem  
Date: 04/20/2017  
Project: JSP17-30 HCCP NEG Spec Building  
Version #: 1



1 inch = 352 feet

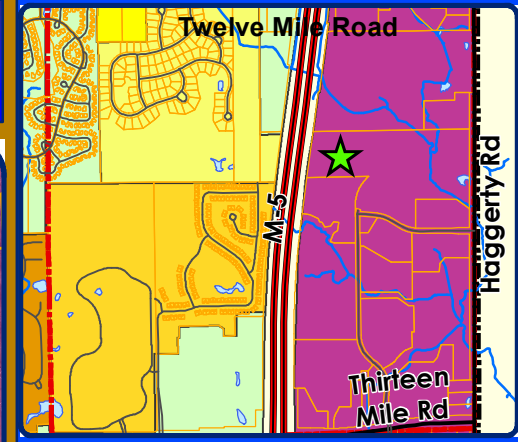
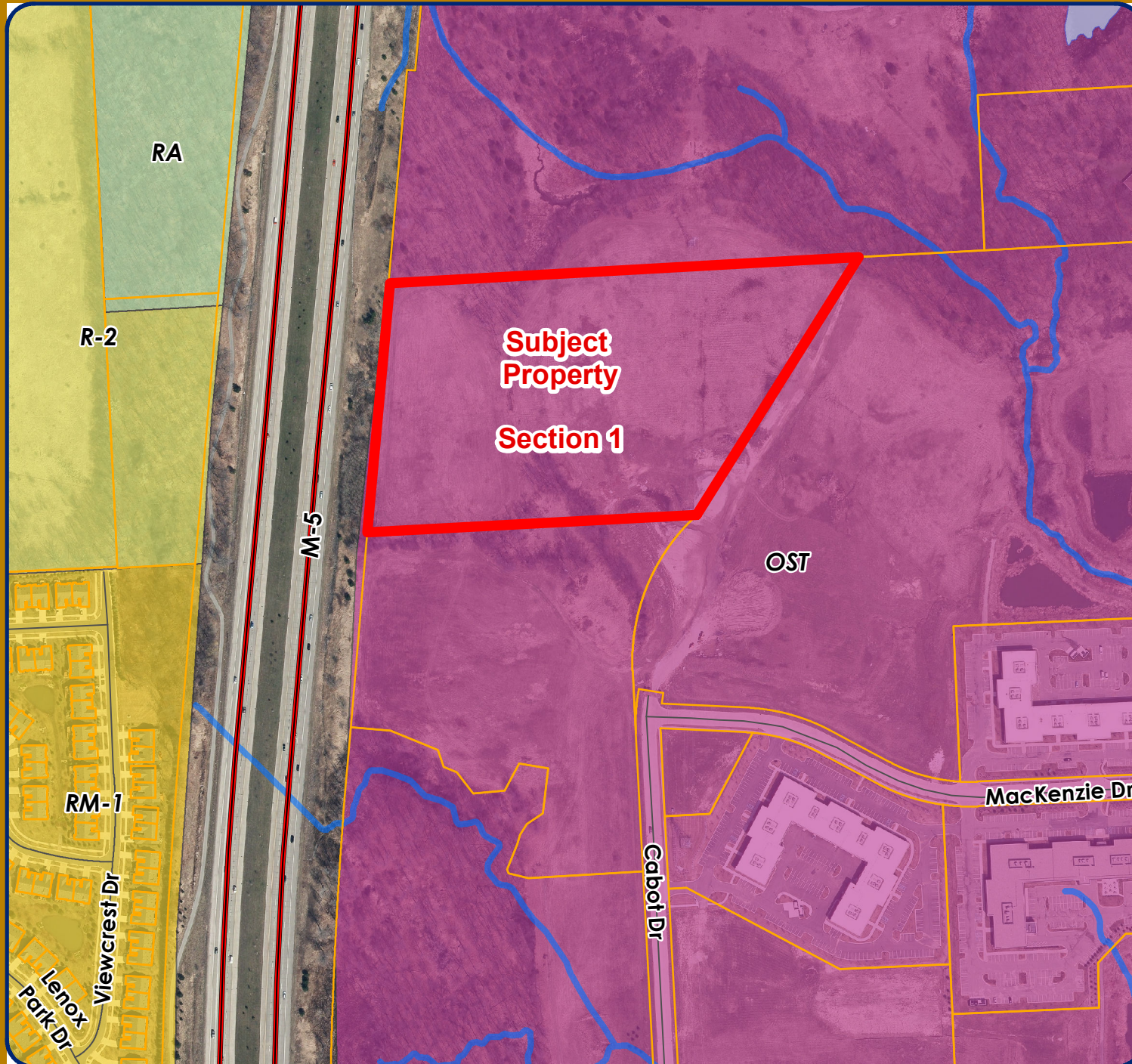


### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

# JSP17-30: HCCP NEG Spec Building

## Zoning Map



**LEGEND**

- Sections
- R-A: Residential Acreage
- R-2: One-Family Residential
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- MH: Mobile Home District
- OST: Office Service Technology

**CITY OF NOVI**  
Community Development Department  
Civic Center  
45175 W Ten Mile Road  
Novi, MI 48375  
www.cityofnovi.org

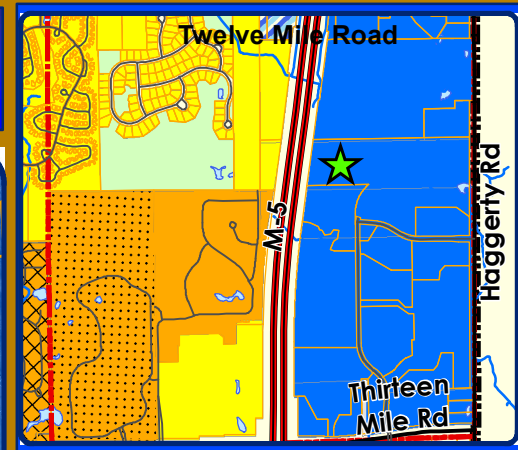
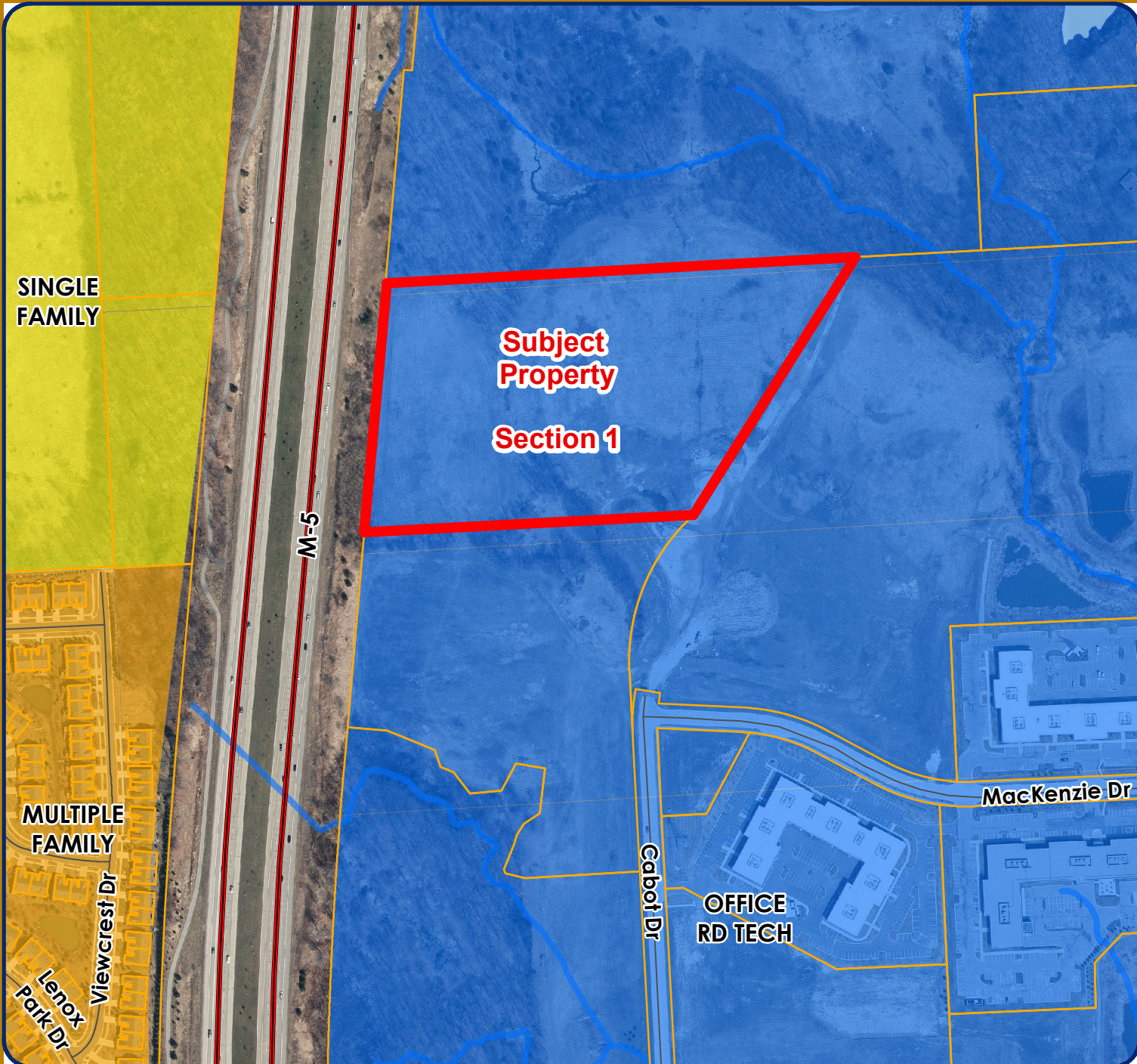
Map Author: Kirsten Mellem  
Date: 04/20/2017  
Project: JSP17-30 HCCP NEG Spec Building  
Version #: 1

0 87.5 175 350 525 Feet  
1 inch = 352 feet

**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

# JSP17-30: HCCP NEG Spec Building

## Future Land Use Map



**LEGEND**

- Sections
- FUTURE LAND USE
  - Single Family
  - Multiple Family
  - PD1
  - Mobile Home Park
  - Community Office
  - Office RD Tech
  - Private Park
  - Utility

**CITY OF NOVI**  
Community Development Department  
Civic Center  
45175 W Ten Mile Road  
Novi, MI 48375  
www.cityofnovi.org

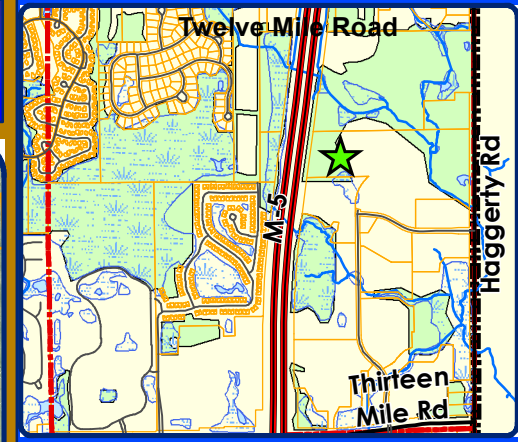
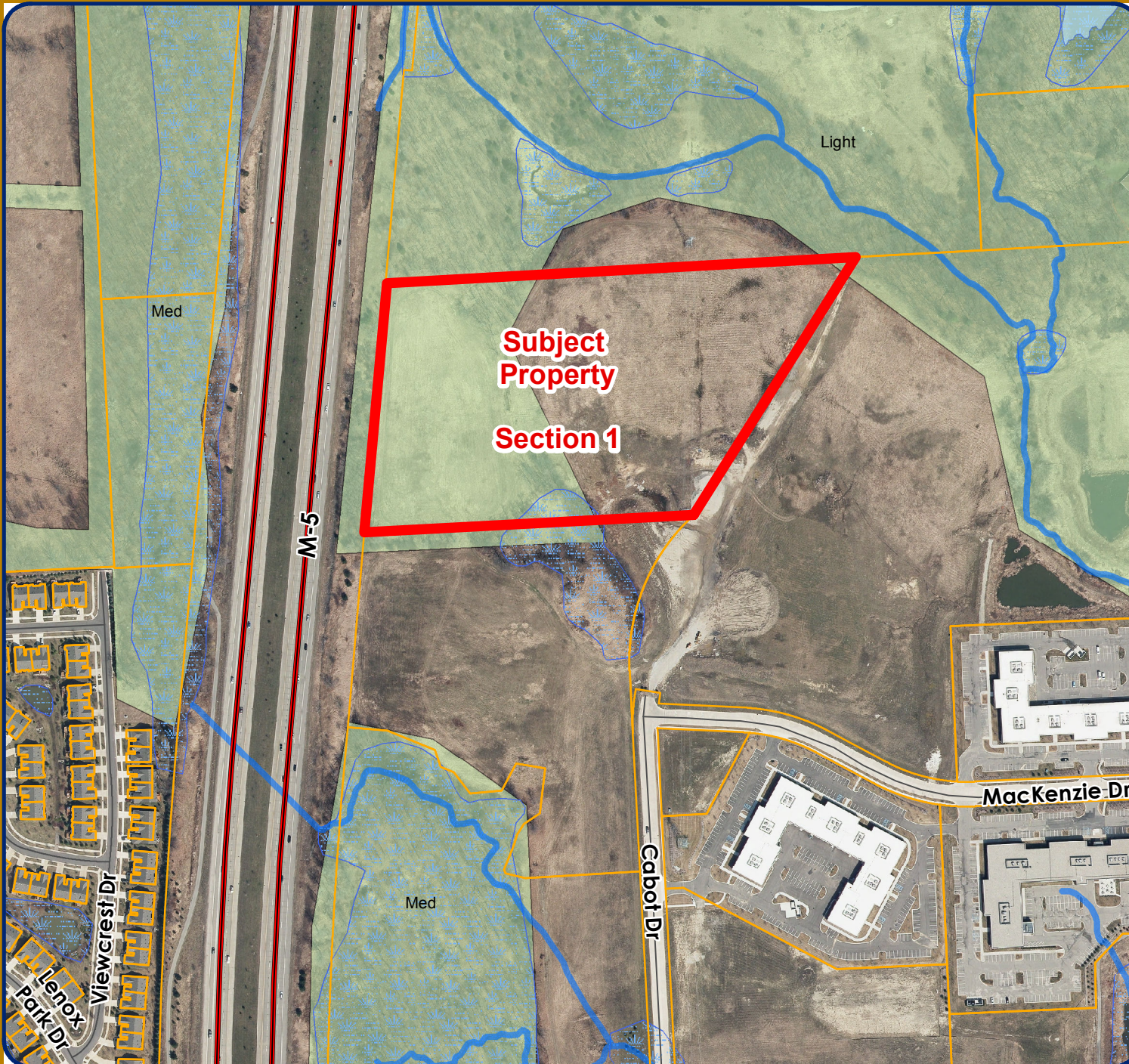
Map Author: Kirsten Mellem  
Date: 04/20/2017  
Project: JSP17-30 HCCP NEG Spec Building  
Version #: 1

0 87.5 175 350 525 Feet  
1 inch = 352 feet

**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

# JSP17-30: HCCP NEG Spec Building

## Natural Features Map



**LEGEND**

-  Sections
-  WETLANDS
-  WOODLANDS

**CITY OF**  
  
**NOVI**  
[cityofnovi.org](http://cityofnovi.org)


**City of Novi**  
 Community Development Department  
 Civic Center  
 45175 W Ten Mile Road  
 Novi, MI 48375  
[www.cityofnovi.org](http://www.cityofnovi.org)

Map Author: Kirsten Mellem  
 Date: 04/20/2017  
 Project: JSP17-30 HCCP NEG Spec Building  
 Version #: 1

0 87.5 175 350 525 Feet  
 1 inch = 352 feet

**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

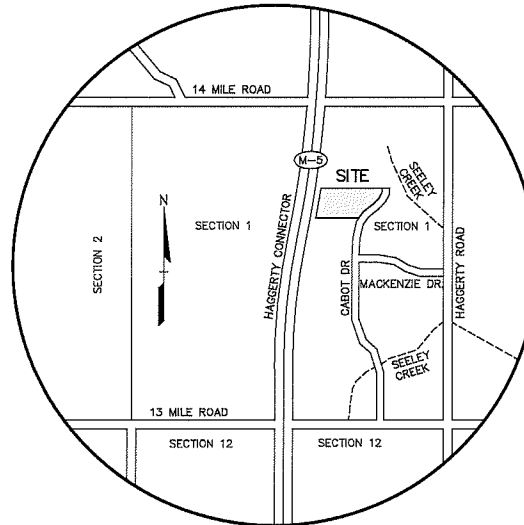




**SITE PLAN**

(Full plan set available for viewing at the Community Development Department)

PRELIMINARY SITE PLANS FOR  
**SPEC. OFFICE BUILDING**  
 WEST SIDE OF CABOT DRIVE NORTH OF MACKENZIE DRIVE  
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



**LOCATION MAP**  
NO SCALE

**INDEX OF DRAWINGS:**

- C-1.0 COVER SHEET
- C-2.0 OVERALL PLAN
- C-2.0 TOPOGRAPHIC SURVEY
- C-4.0 OVERALL SITE PLAN
- C-4.1 DIMENSION & PAVING PLAN - NORTHWEST
- C-4.2 DIMENSION & PAVING PLAN - NORTHEAST
- C-4.3 DIMENSION & PAVING PLAN - SOUTHWEST
- C-4.4 DIMENSION & PAVING PLAN - SOUTHEAST
- C-5.0 PRELIMINARY EASEMENT PLAN
- C-6.1 GRADING PLAN - NORTHWEST
- C-6.2 GRADING PLAN - NORTHEAST
- C-6.3 GRADING PLAN - SOUTHWEST
- C-6.4 GRADING PLAN - SOUTHEAST
- C-8.0 PRELIMINARY UTILITY PLAN
- C-10.1 NOTES AND DETAILS
- C-10.2 DETAILS

- T-1.0 TREE PRESERVATION PLAN
- T-1.1 EXISTING TREE LIST
- L-1.0 LANDSCAPE PLAN - NORTHWEST
- L-1.1 LANDSCAPE PLAN - NORTHEAST
- L-1.2 LANDSCAPE PLAN - SOUTHWEST
- L-1.3 LANDSCAPE PLAN - SOUTHEAST

- PFP-5A PROPOSED OVERALL FIRST FLOOR PLAN
- PFP-5B PROPOSED OVERALL SECOND FLOOR PLAN
- PFP-5C PROPOSED OVERALL THIRD FLOOR PLAN
- PFP-5D PROPOSED OVERALL FOURTH FLOOR PLAN
- PE-1 PROPOSED ELEVATIONS

E402 ELECTRICAL SITE PHOTOMETRIC

FOR REFERENCE ONLY (H.C.C.P PLANS BY A.R. DECKER):  
 CE-26 DETAILED DRAINAGE AREA MAP NORTH  
 D-1 OVERALL PROPOSED STORMWATER MANAGEMENT PLAN  
 D-1A STORMWATER MANAGEMENT CALCULATIONS

**APPLICANT:**

NORTHERN EQUITIES GROUP  
 39000 COUNTRY CLUB DRIVE  
 FARMINGTON HILLS, MICHIGAN, 48331  
 PHONE: (248) 848-6400  
 CONTACT: MATTHEW S. SOSIN

**CIVIL ENGINEER/LANDSCAPE ARCHITECT:**

PROFESSIONAL ENGINEERING ASSOCIATES, INC.  
 2430 ROCHESTER CT., SUITE 100  
 TROY, MICHIGAN, 48063  
 PHONE: (248) 699-9090  
 CONTACT: JAMES P. BUTLER, P.E./JEFFREY T. SMITH, R.L.A.

**ARCHITECT**

FAUDIE ARCHITECTURE  
 26261 EVERGREEN ROAD, SUITE #123  
 SOUTHFIELD, MICHIGAN, 48076  
 PHONE: (248) 619-2354  
 CONTACT: ALDEN (CHIP) FAUDIE, AIA

**SPEC. OFFICE BUILDING LEGAL DESCRIPTION**  
(PER P.L.A.)

LAND IN PART OF THE NORTHEAST 1/4 OF SECTION 1, TOWN 1 NORTH, RANGE 9 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1; THENCE ALONG THE EAST LINE OF SAID SECTION 1, 102°30'00"W, 80.82 FEET; THENCE S87°29'00"W, 108.23 FEET TO THE INTERSECTION OF THE EAST LINE OF CABOT DRIVE (WITH WALKS) AND THE NORTH LINE OF 13 MILE ROAD; THENCE ALONG SAID NORTH LINE THE FOLLOWING TWO (2) COURSES: 1) S77°54'30"W, 17.23 FEET AND; 2) 176.58 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 9026.36 FEET; AND A CHORD BEARING S70°29'20"W, 15.01 FEET; THENCE NON-TANGENT TO SAID CURVE N02°54'20"W, 70.84 FEET; THENCE S80°03'00"W, 80.00 FEET; THENCE S02°54'20"W, 71.84 FEET TO THE APPROXIMATE NORTH LINE OF 13 MILE ROAD; THENCE ALONG SAID NORTH LINE THE FOLLOWING FOUR (4) COURSES: 1) 88.64 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 5823.58 FEET; AND A CHORD BEARING S81°13'00"W, 48.18 FEET; 2) NON-TANGENT TO SAID CURVE N02°27'30"W, 13.00 FEET; 3) 173.33 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE RIGHT, HAVING A RADIUS OF 2824.26 FEET; AND A CHORD BEARING S80°44'00"W, 173.34 FEET AND; 4) S87°17'00"W, 18.26 FEET TO THE EAST LINE OF 14-5 HIGHWAY (AKA HAGGERTY CONNECTOR - VARIABLE WIDTH); THENCE ALONG SAID EAST LINE THE FOLLOWING FIVE (5) COURSES: 1) N02°28'23"W, 81.88 FEET; 2) S87°30'20"W, 48.87 FEET; 3) N02°28'20"W, 71.04 FEET; 4) 114.15 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 11328.18 FEET; AND A CHORD BEARING N01°30'00"W, 142.12 FEET AND; 5) N02°07'47"W, 84.84 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID EAST LINE N04°30'42"W, 80.85 FEET; THENCE N04°30'42"W, 192.77 FEET TO THE WEST LINE OF THE PROPOSED CABOT DRIVE EXTENSION (80 FEET WIDE); THENCE ALONG SAID WEST LINE THE FOLLOWING THREE (3) COURSES: 1) S80°34'00"E, 77.47 FEET; 2) S81°18 FEET ALONG THE ARC OF A CURVE TO THE RIGHT, HAVING A RADIUS OF 452.00 FEET; AND A CHORD BEARING S02°50'00"W, 34.00 FEET AND; 3) S41°30'42"W, 313.70 FEET; THENCE S87°37'42"W, 804.47 FEET TO THE POINT OF BEGINNING. CONTAINING 81,000 SQUARE FEET OF LAND, MORE OR LESS.

**NOTE:**  
 ALL WORK SHALL CONFORM TO  
 CURRENT CITY OF NOVI STANDARDS  
 AND SPECIFICATIONS.

NOT FOR CONSTRUCTION

NO.	BY	DATE	REVISIONS



**CAUTION:**  
 THIS DRAWING IS THE PROPERTY OF PEAT MARSHALL MAIN & KEENE LLP. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, REPRODUCED, TRANSMITTED, OR IN ANY MANNER DISCLOSED TO ANY OTHER PERSON OR ENTITY WITHOUT THE WRITTEN CONSENT OF PEAT MARSHALL MAIN & KEENE LLP.

3 FULL WORKING DAYS BEFORE YOU DIG CALL  
**811**  
 Know what's below  
 Call before you dig  
 1-800-882-7171 www.missspa.org



**PEA, Inc.**  
 2430 Rochester Ct, Ste 100  
 Troy, MI 48063-1872  
 P: 248.699.9090  
 F: 248.699.1044  
 www.peainc.com

NORTHERN EQUITIES GROUP 39000 COUNTRY CLUB DRIVE FARMINGTON HILLS, MICHIGAN 48331	COVER SHEET SPEC. OFFICE BUILDING CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, 48331	DATE:	DATE:	DATE:	DATE:
		DESIGN:	DRAWN:	CHECKED:	IN CHARGE:

ORIGINAL ISSUE DATE:  
 APRIL 10, 2017  
 PEA JOB NO. 2017-0627

SCALE: NONE  
 DRAWING NUMBER:  
**COVER**

ISSUED UNDER THE CARE OF  
 PEAT MARSHALL MAIN & KEENE LLP  
 2430 ROCHESTER COURT, SUITE 100  
 TROY, MI 48063-1872  
 P: 248.699.9090  
 F: 248.699.1044  
 WWW.PEAINC.COM









TREE PLANT LIST: L-1.1

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
12	AR3	Road Maple	<i>Acer rubrum</i>	3" Cal	8.8B	Native
4	AS3	Legacy Sugar Maple	<i>Acer saccharum 'Legacy'</i>	3" Cal	8.8B	Native
15	CB3	Columnar European Hornbeam	<i>Carpinus betulus 'Columnaris'</i>	3" Cal	8.8A	Non-Native
4	CC3	Eastern Redbud	<i>Cercis canadensis</i>	3" Cal	8.8B	Native
4	OT3	Skyline Honeylocust	<i>Gleditsia triacanthos 'Skyline'</i>	3" Cal	8.8B	Native
1	MA2.5	Prune Rose Grapple	<i>Rosa 'Prune Rose'</i>	2.5" Cal	8.8B	Non-Native
1	OP3	Regal Prince Oak	<i>Quercus robur 'Regal Prince'</i>	3" Cal	8.8B	Native
1	TB3	Boulevard Linden	<i>Tilia americana 'Boulevard'</i>	3" Cal	8.8B	Non-Native
13	TC3	Littleleaf Linden	<i>Tilia cordata 'Littleleaf'</i>	3" Cal	8.8B	Non-Native
1	UF3	Fraser Elm	<i>Ulmus parviflorus 'Fraser'</i>	3" Cal	8.8B	Non-Native
7	UY3	Valley Forge Elm	<i>Ulmus americana 'Valley Forge'</i>	3" Cal	8.8B	Native

EVERGREEN PLANT LIST:

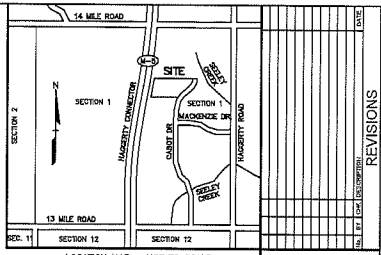
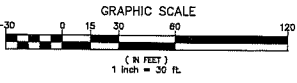
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
1	PA8	Norway Spruce	<i>Picea abies</i>	8" HL	8.8B	Non-Native
1	PD8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8" HL	8.8B	Native

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
40	EA30	Compact Burning Bush	<i>Erythronium alba 'Compactus'</i>	30" HL	Cont.	
30	HA30	Invertedleaf Hydrangea	<i>Hydrangea arborescens 'Inversa'</i>	30" HL	Cont.	
48	JND24	Moor Dense Juniper	<i>Juniperus sibirica 'Moore'</i>	24" Spd	Cont.	
76	PF24	Goldfinger Potentilla	<i>Potentilla fruticosa 'Goldfinger'</i>	24" HL	Cont.	
48	RA24	Orn Low Sumac	<i>Rhus aromatica 'Orn Low'</i>	24" Spd	Cont.	
12	RC24	Knockout Rose	<i>Rosa 'Knock Out'</i>	24" HL	Cont.	
40	SP30	Blue Kim Lace	<i>Syringa patula 'Blue Kim'</i>	30" HL	Cont.	

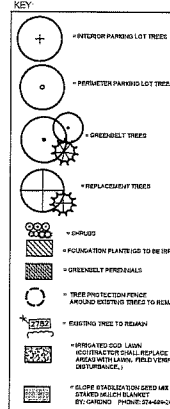
PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
68	CA	Father Time Grass	<i>Comarostaphylis acutiflora 'Karl Foerster'</i>	1 Gal	Cont.	
200	HR	Happy Returns Daylily	<i>Hemerocallis 'Happy Returns'</i>	1 Gal	Cont.	



GENERAL PLANTING NOTES:

- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND EXISTING CONDITIONS, CONTRACTOR SHALL OBTAIN QUANTITIES CONTACT LANDSCAPE ARCHITECT WITH ANY CORRECTIONS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION ON HIS/HER PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE, TELEVISION MAY BE LOCATED BY CALLING 800-368-5871. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF CONTRACTOR. CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER'S REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIALS ARE TO BE NORTHERN HARDWOOD GROWN IN 1" AND INSTALLED ACCORDING TO ALL CITY PLANTING PROCEDURES. ALL PLANT MATERIALS SHALL CONFORM TO THE CURRENT (LATEST) STANDARD FOR NURSERY AND SPECIAL ORDERS. THE CITY SHALL HAVE THE RIGHT TO INSPECT THE PLANT MATERIAL PRIOR TO PLANTING AND TO REJECT ANY PLANT MATERIALS DEEMED NOT TO MEET THE STANDARDS OF THE ZONING ORDINANCE.
- ALL TREES SHALL HAVE A CENTRAL LEADER AND A RADIAL BRANCHING STRUCTURE. PINE, SPRUCE, TREES ARE NOT ACCEPTABLE. ALL TREES SHALL BE BALLED AND BURLAPPED (BMB). ANY EXCESSIVE CANOPY TREE WITH BRANCHES THAT MIGHT TEND TO DEVELOP INTO DROPPERS SHALL BE SUBSTITUTED SO AS NOT TO BECOME DOMINANT BRANCHES.
- ALL MULTI STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE STRAIGHTENED BRANCHING. ONE STEM TREES OR THOSE WITH TEN OR OPEN BRANCHES SHALL NOT BE ACCEPTED.
- ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE TOP. BRANCHING SHALL BE SHAPED AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- NO MACHINERY IS TO BE USED WITHIN THE DRAIN LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN THE DRAIN LINE OF EXISTING TREES.
- MULCH SHALL BE NATURAL, COLORED, FINELY SHREDED HARDWOOD BARK FOR ALL PLANTINGS. 4" THICK FOR TREES IN 4-FOOT DIAMETER CIRCLE WITH 3" FILLED AWAY FROM TRUNK. 3" FOR SHRUBS AND SHRUB BUSHES AND 2" THICK BARK MULCH FOR PERENNIALS.
- ALL LAWN AREAS SHALL RECEIVE 4" COMPACTED TOPSOIL.
- ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, INCLUDING WATERING, CULTIVATION, WEED CONTROL, AND SOIL ENRICHMENTS AS MAY BE NECESSARY.
- ALL PLANT MATERIALS ARE TO BE INSTALLED BY A BOUND, NEIGHBOR-LINE MANNERS AND IN ACCORDANCE WITH THE CURRENT CITY OF IOWA PLANNING REQUIREMENTS.
- ALL PLANT MATERIAL SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH.
- ALL PLANT MATERIAL SHALL BE WARRANTED FOR TWO(2) FULL YEARS AFTER DATE OF ACCEPTANCE BY THE CITY OF IOWA. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE(1) YEAR OR THE NEXT APPROPRIATE PLANTING PERIOD WHICH EVER COMES FIRST.
- A MINIMUM OF ONE WEED CONTROL CULTIVATION PER MONTH OCCURRING IN APRIL, JULY AND AUGUST SHALL BE PERFORMED DURING THE TWO-YEAR ESTABLISHMENT PERIOD.
- ANY SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED IN WRITING BY THE CITY OF IOWA PRIOR TO INSTALLATION.
- ALL TREE TRUNK STAKES AND STAYS MUST BE REMOVED BY JULY 1ST, FOLLOWING THE FIRST WINTER SEASON AFTER INSTALLATION.
- ALL LANDSCAPE AREAS ARE TO BE MAINTAINED IN A HEALTHY GROWING CONDITION FREE OF WEEDS AND RUBS AND IN CONFORMANCE WITH THE APPROVED LANDSCAPE PLAN.
- ALL LANDSCAPE AREAS ARE TO BE WATERED BY A FULLY AUTOMATIC IRRIGATION SYSTEM.
- CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
- PLANT MATERIALS, EXCEPT SOIL, GROUND COVER, AND GRASSING VINE TREE PLANTINGS, SHALL NOT BE LOCATED WITHIN FOUR(4) FEET OF THE PROPERTY LINE.
- ALL TRANSPIRERS ARE TO BE SCREENED IN ACCORDANCE WITH THE CITY OF IOWA ORDINANCE, AND SO AS NOT TO CONTACT WITH D.T.E. RESTRICTIONS. (DETAIL THIS SHEET)
- THE OWNER IS RESPONSIBLE FOR REQUEST OF FINAL INSPECTION AND ACCEPTANCE OF THE LANDSCAPE AT THE END OF THE 2-YEAR GUARANTEE PERIOD.
- THE PROVIDER OF THE FINANCIAL GUARANTEE FOR THE LANDSCAPE INSTALLATION SHALL BE FULLY RESPONSIBLE FOR COMPLETION OF THE LANDSCAPE INSTALLATION AND MAINTENANCE PER THE APPROVED LANDSCAPE PLAN AND APPLICABLE CITY ORDINANCES.



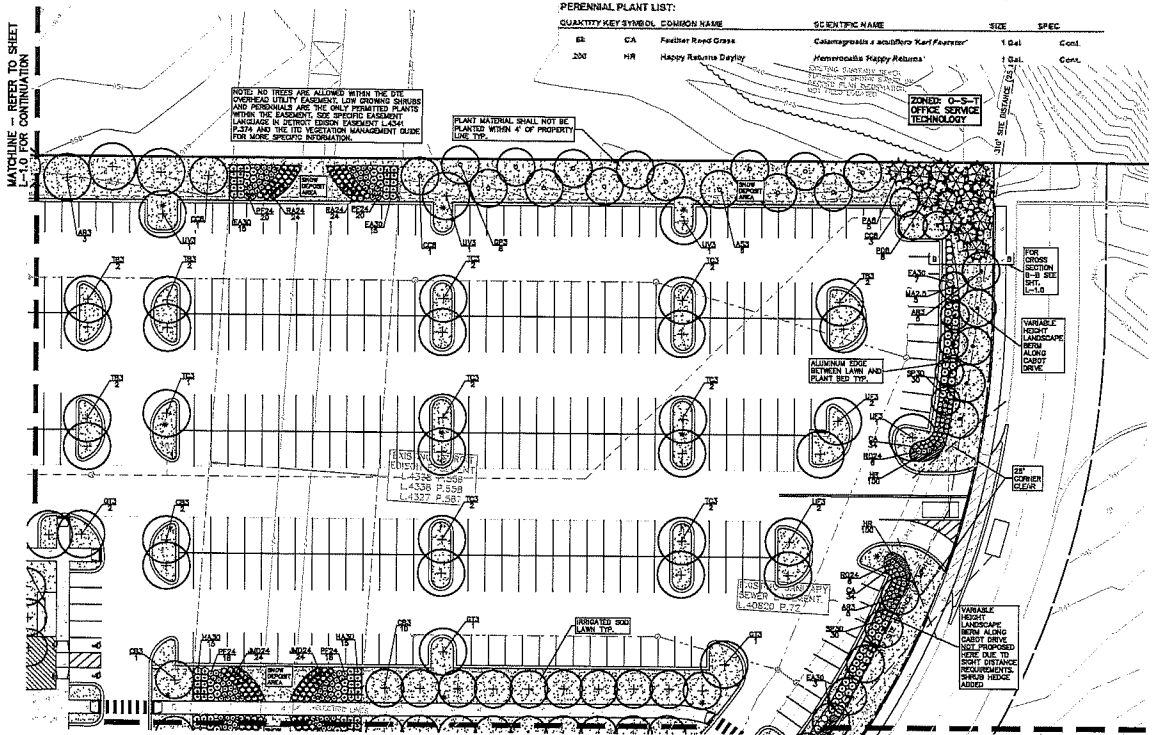
CAUTION: THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF IOWA AND THE IOWA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF IOWA AND THE IOWA DEPARTMENT OF TRANSPORTATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF IOWA AND THE IOWA DEPARTMENT OF TRANSPORTATION.

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811 Know what's below before you dig. MISSOURI 811 INC. 1-800-482-7171 www.811.org

**PEA, Inc.**  
3420 Roundtree Ct., Ste 100  
Iowa, IA 50625-1972  
T: 248-689-4090  
F: 248-689-1044  
www.peainc.com

**NORTHERN EQUITIES GROUP**  
LANDSCAPE PLAN - NE  
SPEC. OFFICE BUILDING  
PART OF THE USE OF A SUBSECTION 1, T. 14N., R. 10E., S. 22E., IOWA  
DATE: 10/20/10  
SCALE: 1" = 30'

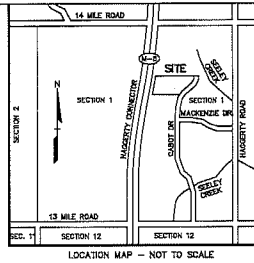
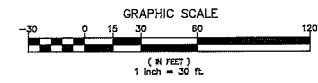
ORIGINAL ISSUE DATE: APRIL 10, 2017  
PEA JOB 110. 2017-087  
SCALE: 1" = 30'  
DRAWING NUMBER: L-1.1



MATCHLINE - REFER TO SHEET L-1.0 FOR CONTINUATION

MATCHLINE - REFER TO SHEET L-1.3 FOR CONTINUATION

NOT FOR CONSTRUCTION



**TREE PLANT LIST: L-1.2**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC.	COMMENT
11	JR3	Red Maple	<i>Acer rubrum</i>	3" Cal.	D&B	Native
11	AS1	Sugar Maple	<i>Acer saccharum</i> 'Green Mountain'	3" Cal.	S&B	Native
8	CL3	Yellowwood	<i>Cladocystis lutea</i>	3" Cal.	D&B	Native
14	FS3	Common Beech	<i>Fagus sylvatica</i> 'Fastigata'	3" Cal.	S&B	Non-Native
2	GT2	Skyline Honeylocust	<i>Gleditsia lucanthes</i> 'Skyline'	3" Cal.	D&B	Native
3	LT1	Tulip Tree	<i>Liriodendron tulipifera</i>	3" Cal.	S&B	Native
12	MA1.6	Frane Rose Crabapple	<i>Malus 'Frane-Rose'</i>	2.5" Cal.	S&B	Non-Native
10	CM3	Burr Oak	<i>Quercus macrocarpa</i>	3" Cal.	D&B	Native
4	QP2	Regal Prince Oak	<i>Quercus robur</i> 'Regal Prince'	3" Cal.	S&B	Native
4	TB3	Bookward Linden	<i>Tilia americana</i> 'Bookward'	3" Cal.	S&B	Non-Native
11	TC3	Limelight Linden	<i>Tilia cordata</i> 'Limelight'	3" Cal.	S&B	Non-Native
3	UF2	Fraser Elm	<i>Ulmus parviflorus</i> 'Fraser'	3" Cal.	S&B	Non-Native
4	UV3	Valley Forge Elm	<i>Ulmus americana</i> 'Valley Forge'	3" Cal.	S&B	Native

**EVEREGREEN PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC.	COMMENT
20	F20	White Spruce	<i>Picea glauca</i>	8" HL	S&B	Native
31	FS3	Eastern White pine	<i>Pinus strobus</i>	8" HL	D&B	Native

**KEY:**

- \* INTERIOR PARKING LOT TREES
- \* PERIMETER PARKING LOT TREES
- \* GREENBELT TREES
- \* REPLACEMENT TREES
- \* EXISTING TREES
- \* FOUNDATION PLANTINGS TO BE INSTALLED
- \* GREENBELT PERENNIALS
- \* TREE PROTECTION FENCE AROUND EXISTING TREES TO REMAIN
- \* EXISTING TREES TO REMAIN
- \* TRUNCATED SEED LAWN (CONTRACTOR SHALL REGRADE DISTURBED AREAS WITH FINAL FILL TO MATCH LIMITS OF DISTURBANCE.)
- \* SLOPE STABILIZATION SEED MIX WITH STABILIZER AND MULCH (SEE SPEC. BY CADDIS. PHONE: 874-003412)

**CAUTION!**  
 THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**

**811**  
 Know what's below  
 Call before you dig  
 MSO of Superior, Inc.  
 1-800-482-7371 www.811sup.com

**PEA**

**PEA, Inc.**  
 2430 Rockingham Ct. Ste 100  
 Troy, MI 48063-1072  
 T 248.589.1030  
 F 248.589.1044  
 www.peainc.com

**NORTHERN EQUITIES GROUP**  
 FARMINGTON HILLS, MICHIGAN 48331

**LANDSCAPE PLAN - SW**  
**SPEC. OFFICE BUILDING**

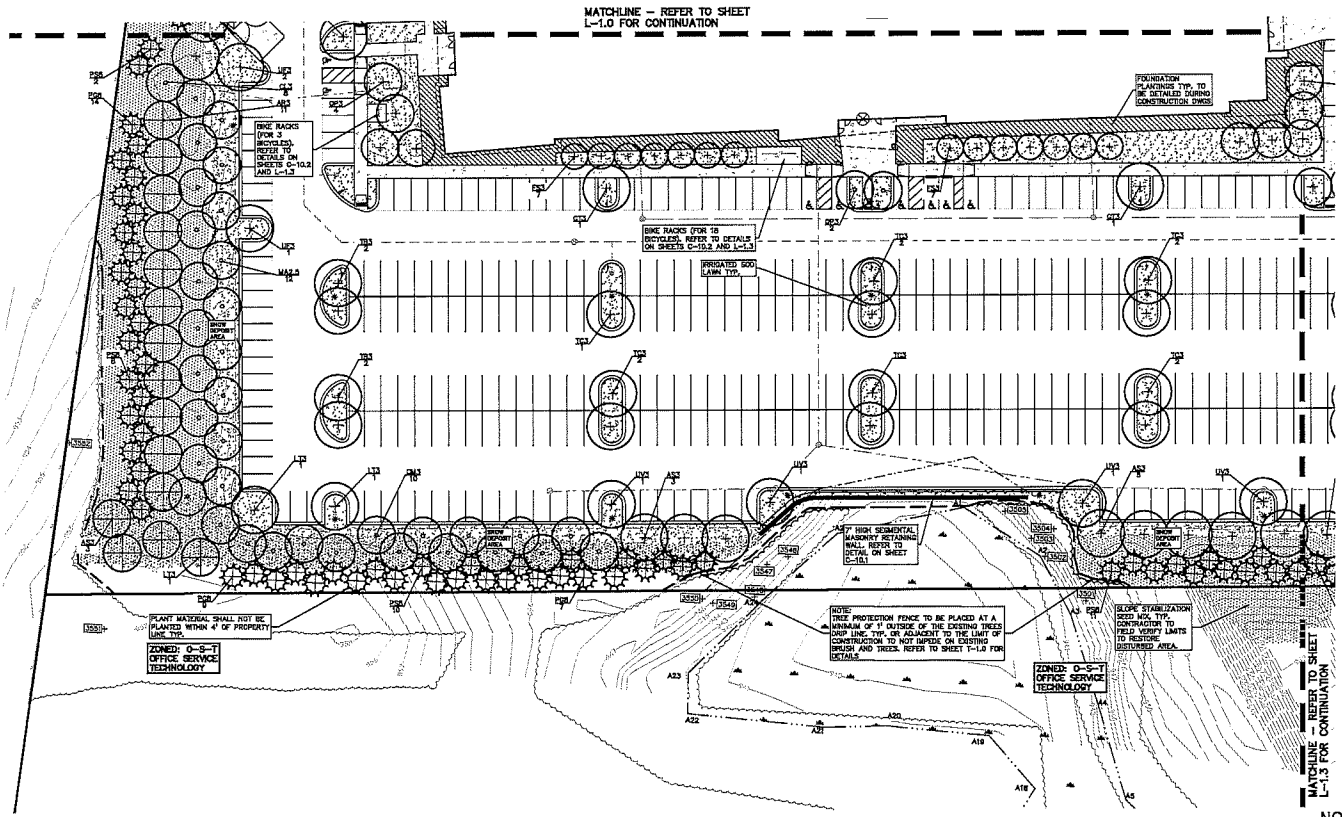
DES. ALE, ENR. JAC, USL, JAL, JPL, JPL

ORIGINAL ISSUE DATE:  
 APRIL 16, 2011

PEA JOB NO. 2011-067

SCALE: 1" = 30'

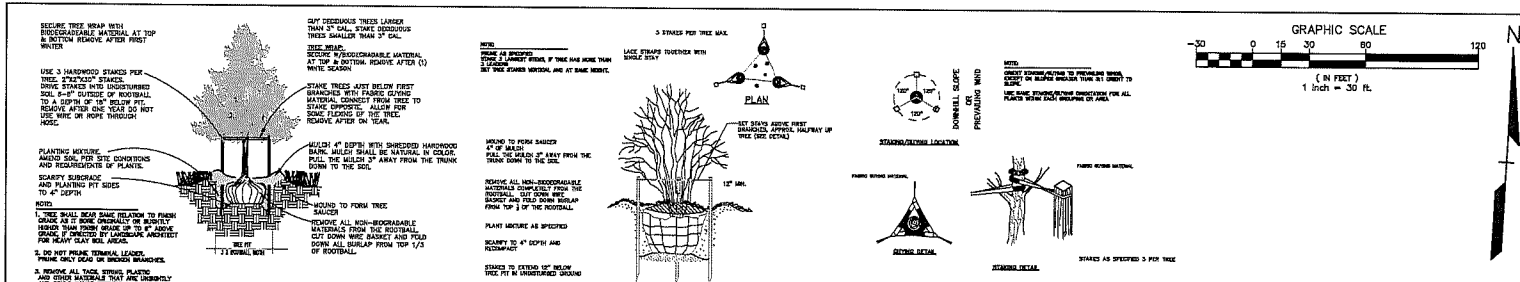
DRAWING NUMBER:  
**L-1.2**



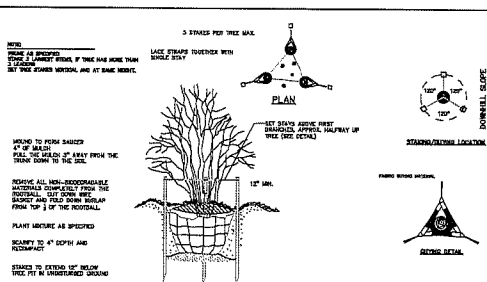
NOT FOR CONSTRUCTION

DESIGNED BY: JAC  
 CHECKED BY: JAL  
 DRAWN BY: JPL  
 DATE: 04/16/11

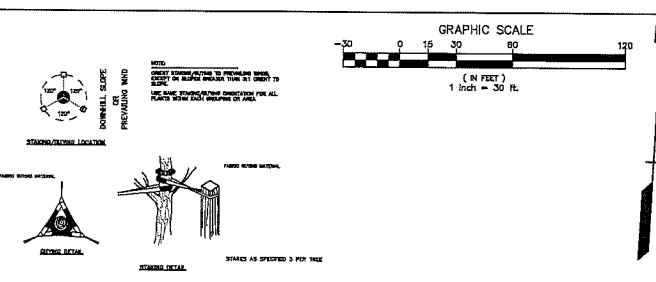




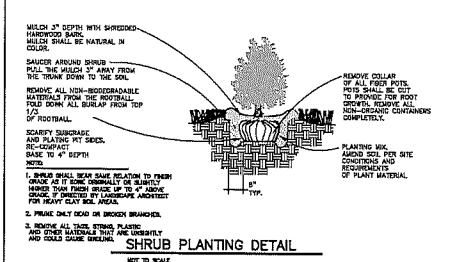
DECIDUOUS TREE PLANTING DETAIL  
NOT TO SCALE



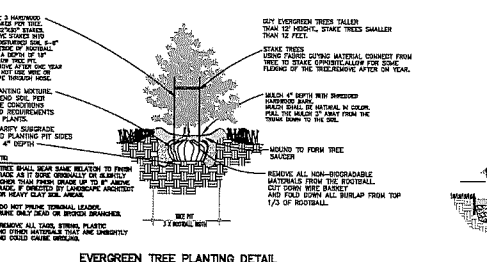
MULTI-STEM TREE PLANTING DETAIL  
NOT TO SCALE



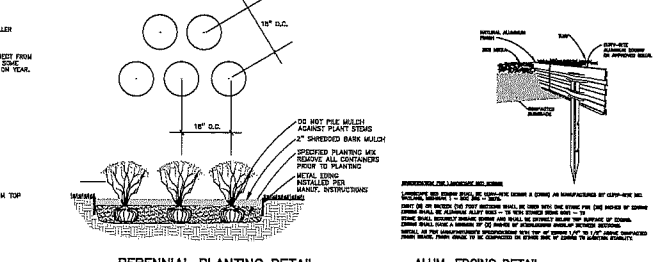
TREE STAKING DETAIL  
NOT TO SCALE



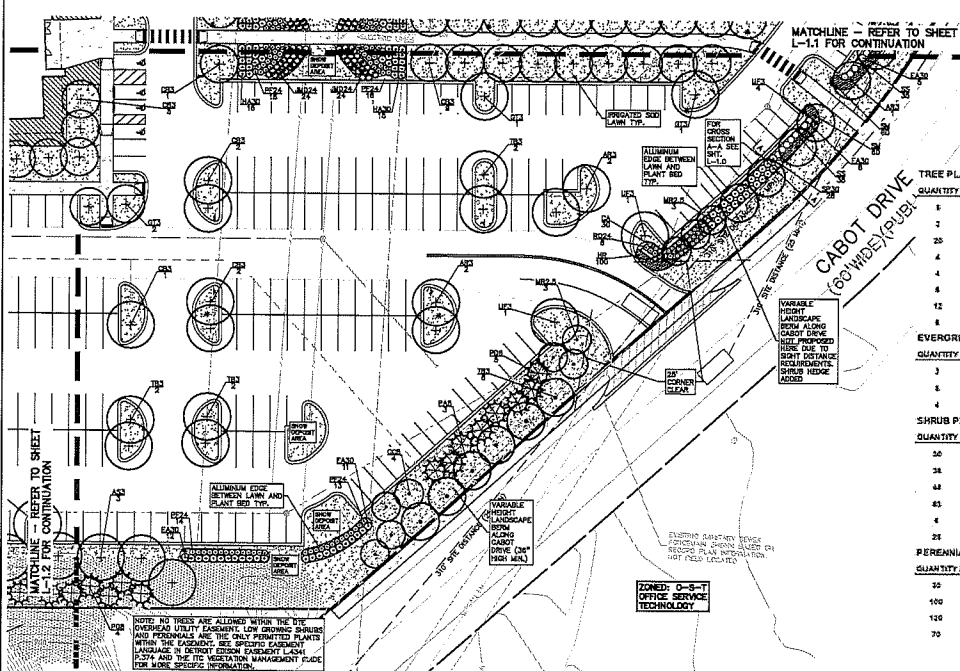
SHRUB PLANTING DETAIL  
NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE



PERENNIAL PLANTING DETAIL  
NOT TO SCALE



TREE PLANT LIST: L-1.3

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
1	APD	Red Maple	Acer rubrum	3" Cal.	S&B	Native
2	AS3	Sugar Maple	Acer saccharum Green Mountain'	3" Cal.	S&B	Native
25	CB3	Columnar European Hornbeam	Carpinus betulus Columnaris'	3" Cal.	S&B	Non-Native
4	CGA	Eastern Redbud	Cercis canadensis	8" HL	S&B	Native
4	DT3	Skyline Honeylocust	Gleditsia triacanthos 'Skyline'	3" Cal.	S&B	Native
6	UR13	Royal Star Magnolia	Magnolia stellata 'Royal Star'	2 1/2" Cal.	S&B	Non-Native
12	TB3	Boulevard Linden	Tilia americana 'Boulevard'	3" Cal.	S&B	Non-Native
8	UF3	Valley Forge Elm	Ulmus americana 'Valley Forge'	3" Cal.	S&B	Native

EVERGREEN PLANT LIST:

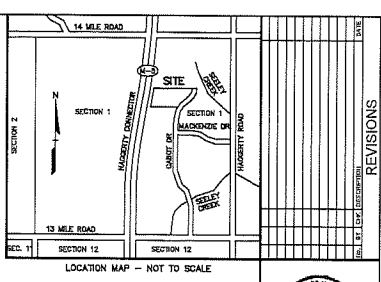
QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
3	FAB	Norway Spruce	Picea abies	8" HL	S&B	Non-Native
6	PD8	Black Hills Spruce	Picea glauca 'Denata'	8" HL	S&B	Native
4	PG8	White Spruce	Picea glauca	8" HL	S&B	Native

SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
30	H433	Incrediball Hydrangea	Hydrangea arborescens 'Abelwee'	10" HL	Cont.	
30	EA30	Compact Burning Bush	Euonymus alata 'Compacta'	10" HL	Cont.	
48	JME24	Water Dance Juniper	Juniperus sabina 'Water'	2 1/2" Spid	Cont.	
45	PF24	Goldfinger Potentilla	Potentilla fruticosa 'Goldfinger'	14" HL	Cont.	
6	RO24	Norwood Rose	Rosa 'Wood Out'	14" HL	Cont.	
25	SP30	Miss Kim Yucca	Scymnus parvula 'Miss Kim'	10" HL	Cont.	

PERENNIAL PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
30	GA	Fadden Road Grass	Colanagrostis x #10000 'Fadden Road'	1 1/2" Cal.	Cont.	
100	NR	Happy Returns Daylily	Heliconia 'Happy Returns'	1 1/2" Cal.	Cont.	
120	SM	May night Salvia	Salvia 'May night'	1 1/2" Cal.	Cont.	
70	SS	Ashtun Jay Sedum	Sedum spectabile 'Ashtun Jay'	1 1/2" Cal.	Cont.	



LOCATION MAP - NOT TO SCALE

KEY:

- INTERIOR PARKING LOT TREES
- PERIMETER PARKING LOT TREES
- GREENBELT TREES
- REPLACEMENT TREES
- SHRUB
- PERENNIAL PLANTING TO BE INSTALLED
- PERENNIAL PERMANENTS
- PHOTO POINT/REFERENCE AROUND EXISTING TREES TO REMAIN
- EXISTING TREE TO REMAIN
- IMPROVED SOIL LAMIN (PCF/FIBER) SHALL REPLACE EXISTING (AS APPLICABLE) FIELD (SOIL) LAMIN OF DISTURBANCE.
- SLOPE STABILIZATION SHALL BE WITH STAKED MULCH OR NETTING BY CONTRACTOR. PHONE: 848-48-2412

3 FULL WORKING DAYS BEFORE YOU DIG CALL 811 Know what's below Call before you dig 800-485-6888, Inc. 1-800-882-7171 www.811.org

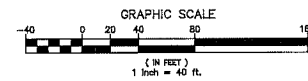
PEA, Inc. 2400 Clubhouse Dr., Ste 100 Troy, MI 48063-1872 T: 248-288-0000 F: 248-288-1044 www.peainc.com

NORTHERN EQUITIES GROUP FABRICTION MILLS (MICHIGAN) 8331 LANDSCAPE PLAN - SE SPEC. OFFICE BUILDING PART OF THE 14 MILE ROAD PROJECT, L-1, L-1A, L-1B, L-1C, L-1D, L-1E, L-1F, L-1G, L-1H, L-1I, L-1J, L-1K, L-1L, L-1M, L-1N, L-1O, L-1P, L-1Q, L-1R, L-1S, L-1T, L-1U, L-1V, L-1W, L-1X, L-1Y, L-1Z

BIKE RACK DETAIL  
NOT TO SCALE

ORIGINAL ISSUE DATE: APRIL 16, 2017  
PEA JOB NO. 2017-097  
SCALE: 1" = 30'  
DRAWING NUMBER: L-1.3

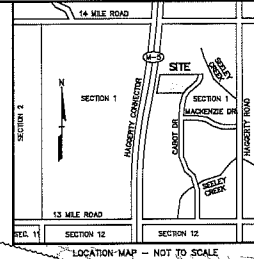
NOT FOR CONSTRUCTION



KEY:

- TREE PROTECTION FENCE AROUND EXISTING TREES TO REMAIN
- EXISTING TREE TO REMOVE
- EXISTING TREE TO BE REMOVED

SEE SHEET T-1.1 FOR EXISTING TREE LIST AND SHEET L-1.6 FOR LANDSCAPE REPLACEMENT CALCULATIONS.



NO.	DATE	BY	REVISIONS

M-5  
 (VARIABLE WIDTH) (PUBLIC)

NOTE:  
 TREE PROTECTION FENCE TO BE PLACED AT A MINIMUM OF 1' OUTSIDE OF THE EXISTING TREE DUMP LINE OR, ON ADJACENT TO THE LIMIT OF CONSTRUCTION TO NOT BURDEN ON EXISTING BROWN AND TREES. REFER TO SHEET T-1.1.6 FOR DETAILS.

EXISTING TREE TO BE REMOVED T-1.0

PROTECT TREE PROTECTION FENCE AROUND EXISTING TREES TO REMAIN T-1.0

EXISTING TREE TO BE REMOVED T-1.0

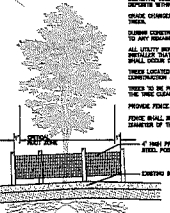
RAMMED WEISSLAND  
 NOTE:  
 TREE PROTECTION FENCE TO BE PLACED AT A MINIMUM OF 1' OUTSIDE OF THE EXISTING TREE DUMP LINE OR, ON ADJACENT TO THE LIMIT OF CONSTRUCTION TO NOT BURDEN ON EXISTING BROWN AND TREES. REFER TO SHEET T-1.1.6 FOR DETAILS.

REGISTRY OFFICE  
 14400 PARKWAY  
 CANTON, MA 01921  
 508-538-3100

BENTLEY SYSTEMS  
 360 SOUTH ST.  
 BOSTON, MA 02110  
 617-252-2100

CABOT DRIVE  
 (60' WIDE) (PUBLIC)

NO PERSONS SHALL BE OPERATING OR MAINTAINING CONSTRUCTION EQUIPMENT ON OR WITHIN THE PROTECTED AREA.  
 NO PERSONS SHALL PLANT OR PLACE ANY OTHER OBJECTS WITHIN THE PROTECTED AREA.  
 NO PERSONS SHALL REMOVE OR DAMAGE ANY TREE OR OBJECT WITHIN THE PROTECTED AREA.  
 NO PERSONS SHALL CONDUCT ANY ACTIVITY WITHIN THE DUMP LINE OF ANY TREE THAT PROTECTS TREES THAT ARE TO BE REMOVED OR THOSE THAT SHALL OCCUR OUTSIDE OF THE PROTECTION PROGRAM.  
 TREES LOCATED OR ADJACENT TO PROTECTED TREES MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES AND SHALL BE PROTECTED.  
 PROTECT TREES 1' DIAMETER OR SMALLER OR THOSE WITH PLACING PILES TO THE TREE DUMP LINE OR PILES.  
 PILES SHALL BE PLACED IN A HOLE WITH A DRAIN OF 1" PER 1' DIAMETER OF THE TREE, MEASURED AT A 45° ANGLE UNDER.



TREE PROTECTION DETAIL  
 NOT TO SCALE

DRAWING NUMBER: T-1.0

NOT FOR CONSTRUCTION



CAUTION:  
 NO PERSONS SHALL BE OPERATING OR MAINTAINING CONSTRUCTION EQUIPMENT ON OR WITHIN THE PROTECTED AREA.  
 NO PERSONS SHALL PLANT OR PLACE ANY OTHER OBJECTS WITHIN THE PROTECTED AREA.  
 NO PERSONS SHALL REMOVE OR DAMAGE ANY TREE OR OBJECT WITHIN THE PROTECTED AREA.  
 NO PERSONS SHALL CONDUCT ANY ACTIVITY WITHIN THE DUMP LINE OF ANY TREE THAT PROTECTS TREES THAT ARE TO BE REMOVED OR THOSE THAT SHALL OCCUR OUTSIDE OF THE PROTECTION PROGRAM.  
 TREES LOCATED OR ADJACENT TO PROTECTED TREES MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES AND SHALL BE PROTECTED.  
 PROTECT TREES 1' DIAMETER OR SMALLER OR THOSE WITH PLACING PILES TO THE TREE DUMP LINE OR PILES.  
 PILES SHALL BE PLACED IN A HOLE WITH A DRAIN OF 1" PER 1' DIAMETER OF THE TREE, MEASURED AT A 45° ANGLE UNDER.

3 FULL WORKING DAYS  
 BEFORE YOU DIG CALL  
 811  
 Know what's below  
 Call before you dig



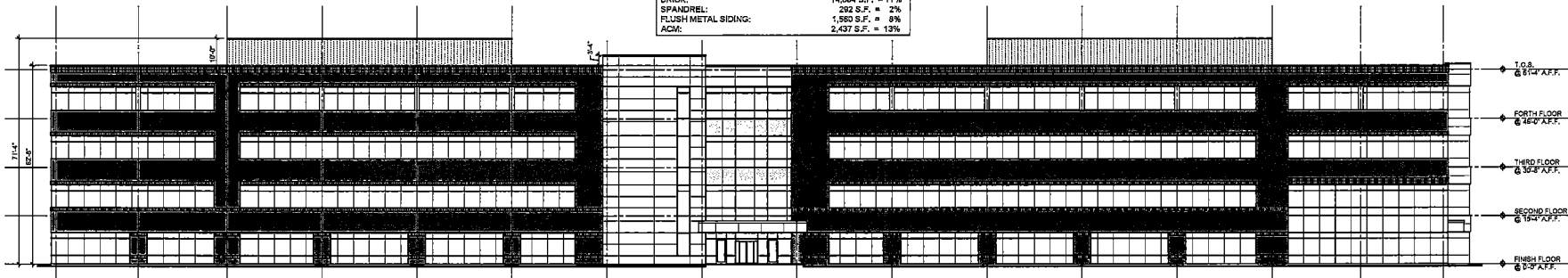
PEA, Inc.  
 2400 Rochester Ct Ste 100  
 Troy, MI 48063-8172  
 P: 348.699.9560  
 F: 348.699.1444  
 www.peahinc.com

NORTHERN EQUITIES GROUP  
 8800 COUNTRY CLUB DRIVE  
 FARMINGTON HILLS, MICHIGAN 48334  
 TREE PRESERVATION PLAN  
 SPEC. OFFICE BUILDING

DATE:	DESIGNER:	DRAWN:	DATE CHECKED:	BY:	DATE RECHECKED:	BY:
APR 10, 2017						

ORIGINAL ISSUE DATE:  
 APRIL 10, 2017  
 PEA JOB NO. 2017-027  
 SCALE: 1" = 40'  
 DRAWING NUMBER:  
**T-1.0**

BUILDING FACADE MATERIAL BREAKDOWN	
TOTAL MATERIAL SQUARE FOOTAGE:	19,173 S.F.
(EXCLUDES VISION GLASS & OPENINGS)	
BRICK:	14,884 S.F. = 77%
SPANDREL:	292 S.F. = 2%
FLUSH METAL SIDING:	1,553 S.F. = 8%
ACM:	2,437 S.F. = 13%



**NORTH ELEVATION**

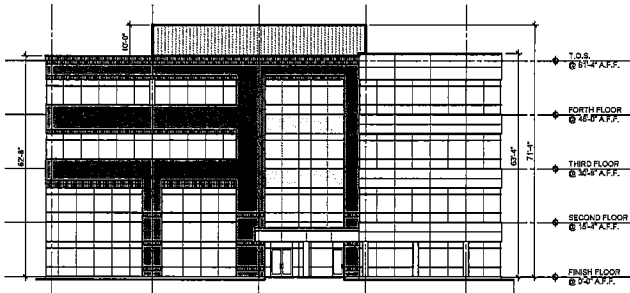
SCALE: 1/16" = 1'-0"

4

BUILDING FACADE MATERIAL BREAKDOWN	
TOTAL MATERIAL SQUARE FOOTAGE:	4,231 S.F.
(EXCLUDES VISION GLASS & OPENINGS)	
BRICK:	2,347 S.F. = 53%
SPANDREL:	286 S.F. = 7%
FLUSH METAL SIDING:	518 S.F. = 12%
ACM:	1,100 S.F. = 26%

BUILDING FACADE MATERIAL BREAKDOWN	
TOTAL MATERIAL SQUARE FOOTAGE:	4,821 S.F.
(EXCLUDES VISION GLASS & OPENINGS)	
BRICK:	2,396 S.F. = 50%
SPANDREL:	660 S.F. = 14%
FLUSH METAL SIDING:	463 S.F. = 10%
ACM:	1,302 S.F. = 28%

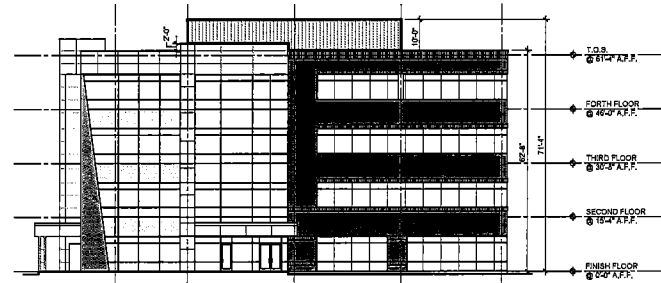
BUILDING FACADE MATERIAL BREAKDOWN	
TOTAL MATERIAL SQUARE FOOTAGE:	16,869 S.F.
(EXCLUDES VISION GLASS & OPENINGS)	
BRICK:	8,967 S.F. = 53%
SPANDREL:	992 S.F. = 6%
FLUSH METAL SIDING:	1,580 S.F. = 9%
ACM:	5,380 S.F. = 32%



**WEST ELEVATION**

SCALE: 1/16" = 1'-0"

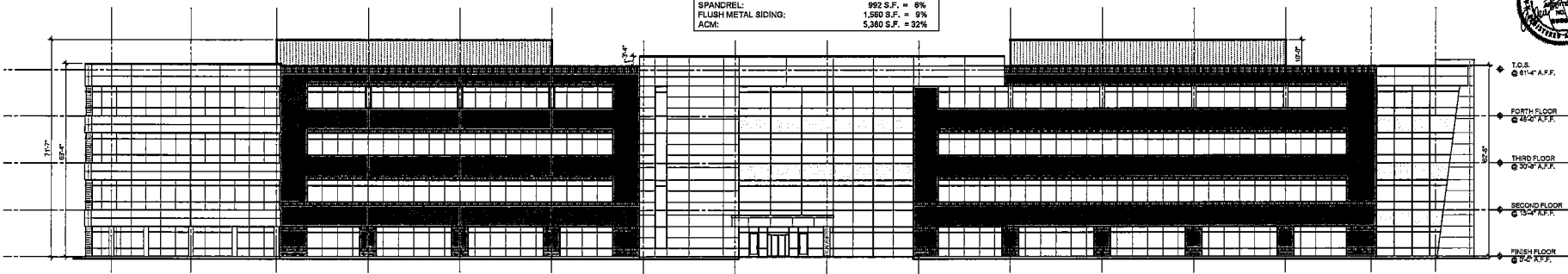
3



**EAST ELEVATION**

SCALE: 1/16" = 1'-0"

2



**SOUTH ELEVATION**

SCALE: 1/16" = 1'-0"

1



26281 Evergreen Road  
Suite 123, Brighton 48016  
248.933.2624  
faudearchitecture.com



**4-STORY SPEC OFFICE BUILDING**  
NOVI, MI

ISSUED FOR:  
DATE: 10-17-17  
SITE PLAN APPROVAL  
FINAL SITE PLAN APPROVAL  
DRAWING DATE: 5-4-17  
PROJECT NUMBER: 16062  
SHEET NUMBER: PE-1



May, 2017

PEA, Inc.  
7927 Nemco Way, Ste 115  
Brighton, MI 48116  
t. 517.546-8583  
f. 517.546.8973  
www.peainc.com



## PLANNING REVIEW

---



# PLAN REVIEW CENTER REPORT

April 20, 2017

**Planning Review**  
**HCCP NEG Spec Building**  
 JSP 17-30

**Petitioner**

HCP Land LLC

**Review Type**

Preliminary Site Plan

**Property Characteristics**

<b>Section</b>	1	
<b>Site Location</b>	North of Thirteen Mile Road, West of Haggerty Road, and on Cabot Drive	
<b>Site School District</b>	Walled Lake Consolidated School District	
<b>Site Zoning</b>	OST: Office Service Technology	
<b>Adjoining Zoning</b>	North	OST: Office Service Technology
	East	OST: Office Service Technology
	West	R-2, One Family Residential
	South	OST: Office Service Technology
<b>Current Site Use</b>	Vacant	
<b>Adjoining Uses</b>	North	Vacant
	East	Vacant
	West	M-5, Residential, Vacant
	South	Office and Research
<b>Site Size</b>	14.06	
<b>Plan Date</b>	4-10-2017	

**Project Summary**

The applicant is proposing to build a 210,000 square foot, 4-story office building along with associated site improvements, including parking and utilities. The plan also includes a proposal to extend Cabot Drive from Mackenzie Drive north to the parcel lot line. A pre-application meeting was not requested by the applicant.

**Recommendation**

Approval of the ***Preliminary Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations listed in this and other review letters. **Planning Commission's approval for Preliminary Site Plan, Woodland Permit, and Storm Water Management Plan is required.**

**Ordinance Requirements**

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Deviations from the Zoning Ordinance are listed below.**

**Ordinance Deviations**

1. Planning Commission waivers
  - a. Waiver for lack of covered bicycle parking, spacing between bike racks, and type of bike rack (covered parking waiver not supported by staff, spacing and type of rack supported)
  - b. Waiver for lack of required screening of loading/unloading area when adjacent to public right-of-way (not supported by staff)

- c. Waiver from required traffic impact study (not supported by staff)
- d. Landscape waiver for interior street trees along Cabot Drive that cannot fit (supported by staff)
- e. Landscape waiver for parking lot perimeter canopy trees that cannot fit (supported by staff)
- f. Landscape waiver for parking lot landscaping due to ITC corridor restrictions (supported by staff)
2. DCS Variance
  - a. Variance for lack of sidewalks along east side of Cabot Drive and for portions of the west side of Cabot Drive
3. Zoning Board of Appeals Variances
  - a. Location of loading/unloading area in exterior side yard of a double frontage lot
  - b. Location of dumpster enclosure within required rear yard setback and near barrier free spaces

**Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Loading and Unloading Screening (Sec. 3.20.2.A): In the OST District truck service areas and overhead truck loading/unloading doors shall be totally screened from view from any public right-of-way. **Please provide additional screening of the loading dock and dumpster enclosure to ensure it is not visible from M-5. If it is not possible to sufficiently screen and it meets the standards for a waiver in the Zoning Ordinance (Sec. 3.20.2.A.iii), then the applicant may request a waiver from Planning Commission. Please explain why sufficient screening is not provided.**
2. Required Parking Calculation (Sec. 3.20.2.B): A floor plan indicating the different uses, leasable floor space used for calculating parking should be shown on the plans. **Please indicate on the floor plans the use and square footages by use.**
3. Outdoor Storage (Sec. 3.20.2.D): The outdoor storage of goods or materials shall be prohibited. **Please provide a note on the site plan that clarifies that outdoor storage will not occur on the property.**
4. Number of Parking Spaces (Sec. 5.2.12.D): For buildings greater than 100,000 square feet, 1 space per 286 square feet of gross leasable area is required. For this development 734 parking spaces are required. **The applicant is providing 1,143 parking spaces, over 409 spaces extra or 56% more than required. Please explain why you need the additional parking spaces and consider land banking the extra 56% of spaces to be built later if the spaces are needed.**
5. Bicycle Parking (Sec. 5.16): Bicycle parking requires 4 ft. spacing between racks, "U" design, and covered spaces required for 25% of spaces when more than 20 are required. **The applicant should provide the required spacing, preferred design, and covered parking or ask for a Planning Commission waiver and explain the need for the waiver.**
6. Loading Spaces (Sec. 5.4.1): Within the OS Districts loading space shall be provided in the rear yard, or in the case of a double frontage lot, in the interior side yard. **Consider moving the loading dock to the north or south side of the building (interior side yards) or seek a ZBA variance for the current proposed location.**
7. Dumpster (Sec. 4.19.2.F): Dumpsters shall be located in the rear yard. If rear lot line abuts a street right-of-way, enclosure shall be no closer than the required front yard setback, and enclosure shall be away from barrier free spaces. **Enclosure is currently 49 ft. from parcel lot line and is required to be at least 100'8" from the rear lot line (the required front yard setback is 100'8") and not near barrier free parking spaces. Please modify the location of the enclosure or seek a ZBA variance for the current proposed location.**

8. Dumpster Enclosure (Sec. 21-145 (c) of the City Ordinance): **Provide the trash enclosure details including materials, height, and requirements as outlined in the City Ordinance.**
9. Non-Motorized Facilities: A 6 ft. wide sidewalk is required along all public roads as part of the Non-Motorized Master Plan to provide non-motorized connections throughout the City. The applicant is only proposing a 6 ft. wide sidewalk along the frontage of the proposed building. **Provide sidewalks along both sides of the Cabot Drive extension or clarify why the applicant is not providing the sidewalks and seeking a DCS variance.**
10. Economic Impact: Planning Commission requests that details on the economic impact be provided with the packet when presented at the Planning Commission meeting. **Provide the information in the response letter prior to the Planning Commission meeting.**
11. Photometric Plan (Sec. 5.7): A lighting plan is required that shows all the standards as outlined in the Ordinance. **Provide photometric data for building elevations, cut sheets for proposed lighting, details of security lighting, and foot candles shown in: walkways, loading areas, building entrances, and at property line.**
12. Cabot Drive Extension: **Please extend Cabot Drive up to the parcel lot line or explain why this is not being provided. Also, the whole extension of the road to the northern parcel lot line should be dedicated to the city in order to allow connection of the road to the parcel to the north.**
13. Accessory Structures (4.19): Any accessory structures, such as transformers and generators should be added to the plans in order to be included with the site plan review. Otherwise, the addition of these accessory structures will require site plan review at a later date.
14. Signage: May be reviewed as part of the site plan review process.

#### Other Reviews

- a. Engineering Review: **Engineering recommends approval.**
- b. Landscape Review: **Landscape recommends approval.** Landscape review has identified waivers that may be required. Refer to review letter for more comments.
- a. Wetlands Review: **Wetlands recommend approval.** A City of Novi Minor Wetland Permit, Wetland Buffer Authorization, and Conservation Easement are required for the proposed impacts to wetlands and regulated wetland setbacks. It is the applicant's responsibility to contact the MDEQ in order to determine the need for a wetland use permit.
- b. Woodlands Review: **Woodlands recommend approval.** A City of Novi Woodland permit, fence, and conservation easement are required for the proposed impacts to regulated woodlands.
- c. Traffic Review: **Traffic recommends approval**, however does not support the applicant's request for a traffic impact study waiver because the 1995 study does not reflect current traffic conditions and new developments that have occurred over the last 20 years.
- d. Facade Review: **Facade recommends approval.**
- e. Fire Review: **Fire recommends approval with conditions.**

#### NEXT STEP: Planning Commission Meeting

This Site Plan is scheduled to go before Planning Commission for public hearing on May 10, 2017. Please provide the following **no later than 5:00pm, May 4, 2017** if you wish to keep the schedule.

1. Original Site plan submittal in PDF format. **NO CHANGES MADE**
2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**
3. A color rendering of the Site Plan, if any.

#### Stamping Set Approval



Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval. Plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.

#### **Site Addressing**

**A new address is required for this project.** The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#). Please contact the Ordinance Division 248.735.5678 with any specific questions regarding addressing of sites.

#### **Signage**

Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

#### **Parcel Split/Combination**

At this time, no property combination or split has been submitted. The applicant must create this parcel prior to Stamping Set approval and/or applying for new site address. Plans will not be stamped until the parcel is created.


#### **Pre-Construction Meeting**

**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

#### **Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [kmellem@cityofnovi.org](mailto:kmellem@cityofnovi.org).



---

Kirsten Mellem, Planner



## PLANNING REVIEW CHART: Office Service Technology (OST)

**Review Date:** April 20, 2017  
**Review Type:** Preliminary Site Plan  
**Project Name:** HCCP NEG Spec Building JSP 17-30  
**Plan Date:** 4-10-2017  
**Prepared by:** Kirsten Mellem, Planner  
**E-mail:** kmellem@cityofnovi.org **Phone:** 248.347.0484

**Bold** To be addressed with the next submittal  
Underline To be addressed with final site plan submittal  
**Bold and Underline** Requires Planning Commission and/or City Council Approval  
*Italics* Please note the comment

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopt. 8-25-10)</i>	Office research development and technology	Office	Yes	<i>The Preliminary Site Plan will require Planning Commission approval.</i>
<b>Area Study</b>	The site does not fall under any special category	NA	Yes	
<b>Zoning</b> <i>(Eff. 12-25-13)</i>	OST: Office Service and Technology	OST: Office Service and Technology	Yes	
<b>Uses Permitted</b> <i>(Sec 3.1.23.B&amp;C)</i>	Sec. 3.1.23.B. - Principal Uses Permitted. Sec. 3.1.23.C. - Special Land Uses Permitted.	Office/Research	Yes	
<b>Height, bulk, density and area limitations (Sec 3.1.23.D)</b>				
<b>Frontage on a Public Street</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	The site has frontage on a new section of Cabot Drive	Yes	<i>Cabot Drive extension is proposed; Please confirm that this will be a public road on road site plan.</i>
<b>Access To Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Access to Major Thoroughfare only Access to other roads only if other side of the street has multi-family or non-residential uses, or City makes a determination the property meets the requirements of this Sec.	The site has access to Haggerty Road - Arterial	Yes	
<b>Minimum Zoning Lot Size</b> for each Unit in Ac <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot		NA	
<b>Minimum Zoning Lot Size</b> for each			NA	

Item	Required Code	Proposed	Meets Code	Comments
Unit: Width in Feet (Sec 3.6.2.D)	coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space			
<b>Maximum % of Lot Area Covered</b> (By All Buildings)	(Sec 3.6.2.D)	52,741 sq. ft. 8.6%	Yes	
<b>Building Height</b> (Sec. 3.1.23.D & Sec. 3.20.1)	46 feet or 3 stories, whichever is less. Additional height can be proposed if met with the conditions listed in Section 3.20.1.A.iii – 115 ft. with building setbacks increased by 2 ft. for every 1 ft. in excess of 46 ft.	Proposed 71'4"  50'8" ft. building setback increase to 100'8" ft.	Yes	
<b>Building Setbacks (Sec 3.1.23.D)</b>				
Front (east)	50 ft. + 50'8" = 100'8"	296 ft.	Yes	<i>Increased to 100'8" ft. due to increased height over 46 ft. (see section 3.20.1.A.iii).</i>
Exterior Side / 2 <sup>nd</sup> Front (west)	50 ft. + 50'8" = 100'8"	159 ft.	Yes	
Interior Side (north)	50 ft. + 50'8" = 100'8"	224 ft.	Yes	
Interior Side (south)	50 ft. + 50'8" = 100'8"	235 ft.	Yes	
<b>Parking Setback (Sec 3.1.23.D) Refer to applicable notes in Sec 3.6.2</b>				
Front (east)	20 ft.	25 ft.	Yes	
Exterior Side / 2 <sup>nd</sup> Front (west)	20 ft.	21.5 ft.	Yes	
Interior Side (north)	20 ft.	21 ft.	Yes	
Interior Side (south)	20 ft.	32 ft.	Yes	
<b>Note To District Standards (Sec 3.6.2)</b>				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	An 100'8" setback along M-5 is required. 159 ft. provided	Yes	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard	Parking is proposed in front yard and meets the parking setback requirements	Yes	
<b>Distance between buildings</b> (Sec 3.6.2.H)	It is governed by Sec. 3.8.2 or by the minimum setback requirements, whichever is greater	Single building proposed	NA	
<b>Wetland/ Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	Wetlands buffers are shown on the plan	Yes	<i>Impacts proposed to wetland buffer. Please refer to the wetland review letter for more information.</i>

Item	Required Code	Proposed	Meets Code	Comments
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec. 5.5.3.	A landscape plan is provided	Yes	<i>Please refer to landscape review letter for additional information.</i>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify setback requirements.	Setbacks reduction is not proposed	NA	
<b>OST District Required Conditions (Sec 3.20)</b>				
<b>Additional Height</b> (Sec 3.20.1)	Properties north of Grand River Avenue: Max height: 115 ft. with additional setbacks of 2 ft. for every 1 ft. in excess of 46 ft.	Proposed 71'4" Setback increased to 100'8"	Yes	
<b>Loading and Unloading Screening</b> (Sec 3.20.2.A)	Truck service areas and overhead truck loading/unloading doors shall be totally screened from view from any public right-of-way, including freeway right-of-way, and adjacent properties, except for required driveway access. Planning Commission may waive these requirements	The loading dock is proposed in the rear of the building along M-5	No	<b>Provide additional screening of the loading dock as described in section 3.20.2.A or request a waiver that meets the standards set forth in Sect. 3.20.2.A.iii</b>
<b>Required Parking Calculation</b> (Sec 3.20.2.B)	A floor plan indicating different uses, leasable floor space used for calculating parking should be shown on the plans.	Floor plans incomplete; Only provided general breakdown of sq. ft. by floor did not include different uses; only showing as office use	No	<b>Please indicate on the floor plans the use and square footages by use.</b>
<b>Additional conditions for permitted uses in 3.1.23.B.ii – v</b> (Sec 3.20.2.C)	Uses permitted under subsections 3.1.23.B.ii - v shall not be located on property sharing a common boundary with property zoned for R-A, R-1, R-2, R-3, R-4 or MH district use unless meets conditions in Sec. 3.20.2.C	Unable to determine the type of uses. The properties zoned RA are separated by a Public right of way, so the conditions of this section would not apply.	NA	
<b>Outdoor storage</b> (Sec 3.20.2.D)	The outdoor storage of goods or materials shall be prohibited.	Unable to determine	Yes?	<b>Add a note to the plan to further clarify.</b>
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking</b>	For buildings greater	1,143 spaces proposed	Yes	<i>Applicant is providing 409</i>

Item	Required Code	Proposed	Meets Code	Comments
<b>Spaces</b> Business Office (Sec.5.2.12.D)	than 100,000 square feet, 1 space per 286 SF GLA  <b>210,000 SF / 286 = 734 parking spaces</b>			<i>additional spaces a 56% increase over the required minimum.</i> <b>Please provide comment for the planning commission as to why you need the additional spaces.</b>
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	Provided Provided Provided	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Not applicable	NA	
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	End Islands are proposed wherever applicable	Yes	
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	For 501 to 1,000 = 2% of total (15 req.) For 1,001 and over = 20, plus one for each 100 or fraction thereof, over 1,000 (22 req.) Van accessible – 1 for every 6 or fraction of accessible spaces (3 or 4 van req.)	22 spaces provided  16 van accessible provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 5' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	Two types of accessible spaces are provided	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	One sign is proposed for each space	Yes	
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	<u>Offices:</u> 5% of required automobile spaces, minimum 2 spaces For 734 spaces, 37 spaces For 1,143 spaces, 57 spaces	57 spaces provided	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> <li>- Covered spaces required for 25% when 20 or more bike parking spaces are required</li> </ul>	<p>Distance appears to be in conformance</p> <p>Bike parking is indicated in four locations</p> <p>Detail shows concrete and <b>Loop Rack Design</b></p> <p>Accessible by 7 ft. wide sidewalk <b>Not provided</b></p>	<b>No</b>	<p><b>Update sheet C4.1- 4.4 to refer to L-1.3 as the detail for the bike racks.</b></p> <p><b>Planning Commission waiver required for type of bike rack, spacing, and lack of covered bike parking.</b></p>
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	<p>Parking space width: 6 ft.</p> <p>One tier width: 10 ft.</p> <p>Two tier width: 16 ft.</p> <p>Maneuvering lane width: 4 ft.</p> <p>Parking space depth: 2 ft. single, 2 ½ ft. double</p>	<p>Provided</p> <p>Provided</p> <p>3 ft. provided</p>	<b>No</b>	<b>Increase maneuvering lane between two racks to 4 ft.</b>
<b>Loading Spaces</b> Sec. 5.4.1	<ul style="list-style-type: none"> <li>- Within the OS districts, loading space shall be provided in the rear yard or</li> <li>- in the case of a double frontage lot, in the interior side yard,</li> </ul>	Loading area is proposed in the exterior side yard because this property is a double frontage lot fronting on Cabot Drive and M-5.	<b>No</b>	<b>Consider moving the loading dock to the north or south side of the building (interior side yards) or seek a ZBA variance for the current proposed location.</b>

Item	Required Code	Proposed	Meets Code	Comments
	- in the ratio of five (5) square feet per front foot of building up to a total area of three-hundred sixty (360) square feet per building. <b>360 sq. ft. required</b>	120x5 = 600 sq. ft.	Yes	
<b>Dumpster</b> <i>Sec 4.19.2.F</i>	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If rear lot line abuts street right-of-way, enclosure shall be no closer than the required front yard setback</li> <li>- Away from Barrier free Spaces</li> </ul>	<p>Dumpster located in the rear yard</p> <p>Farther than 10 ft.</p> <p>Outside the parking setback  <b>Located 49 ft. from rear lot line; 100'8" required.</b></p> <p><b>Opposite barrier free spaces</b></p>	<b>No</b>	<b>Enclosure required to be at least 100'8" from the rear lot line and not near barrier free parking spaces. Please modify location to conform to Ordinance requirements or seek a ZBA variance for the current proposed location.</b>
<b>Dumpster Enclosure</b> <i>Sec. 21-145. (c)</i> <i>Chapter 21 of City Code of Ordinances</i>	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Unknown	<b>No</b>	<b>Provide trash enclosure details including materials, height, and requirements of the Ordinance.</b>
<b>Exterior lighting</b> <i>Sec. 5.7</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting and photometric plan is provided at this time		Refer to comments below
<b>Roof top equipment and wall mounted utility equipment</b> <i>Sec. 4.19.2.E.ii</i>	- All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Roof top equipment is not indicated, but screening is indicated	Yes	
<b>Roof top appurtenances</b>	Roof top appurtenances shall be	Roof top equipment is not indicated, but	Yes	

Item	Required Code	Proposed	Meets Code	Comments
screening	screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	screening is indicated		
<b>Non-Motorized Facilities</b>				
<b>Article XI. Off-Road Non-Motorized Facilities</b>	6 ft. wide sidewalk required along all public roads	6 ft. wide sidewalk is proposed along portions of Cabot Drive	<b>No</b>	<b>Provide the required sidewalk along the full length of both sides of Cabot Drive extension</b>
<b>Pedestrian Connectivity</b>	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	7 ft. wide sidewalks are proposed around the building and a connection to Cabot Drive is proposed	Yes	
<b>Building Code and Other Requirements</b>				
<b>Building Code</b>	Building exits must be connected to sidewalk system or parking lot.		Yes	
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Legal description provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	<i>Refer to all review letters for any additional requested information.</i>
<b>Economic Impact</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Information Not Provided	<b>No</b>	<b>Please provide the information in the response letter prior to the Planning Commission meeting.</b>
<b>Development/ Business Sign &amp;</b>	- Signage if proposed requires a permit.	<u>Unable to determine</u>	Yes	<u>Indicate the location of any proposed signage for</u>



Item	Required Code	Proposed	Meets Code	Comments
<b>Street addressing</b>	- The applicant should contact the Building Division for an address prior to applying for a building permit.	Site address will not be issued without a Site Plan Permit		<u>reference purpose.</u>  <u>Apply for lot addressing prior to stamping set approval.</u>  <u>For further information contact Jeannie Niland 248-347-0438.</u>
<b>Project and Street naming</b>	Some projects may need approval from the Street and Project Naming Committee.	This project does not need approval of the Project Name		<u>For approval of project and street naming contact Richelle Leskun at 248-735-0579.</u>
<b>Property Split</b>	All property splits and combination must be submitted to the Assessing Department for approval.	The site plan indicates one split.	<b>No</b>	<u>Property split needs to be recorded prior to stamping set approval.</u>
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is provided at this time	Yes	
<b>Lighting Plan (Sec. 5.7.A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
<b>Building Lighting (Sec. 5.7.2.A.iii)</b>	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not provided	<u>No</u>	<u>Please provide photometric data on building elevations as required.</u>
<b>Lighting Plan (Sec. 5.7.2.A.ii)</b>	Specifications for all proposed & existing lighting fixtures	Not provided	<u>No</u>	<u>Provide cut sheets for proposed lighting that show requirements of the Ordinance.</u>
	Photometric data	Provided	Yes	
	Fixture height	20 ft.	Yes	
	Mounting & design	Not all provided	<u>No</u>	
	Glare control devices	Unknown	<u>No</u>	
	Type & color rendition of lamps	LED	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Hours of operation	Provided: 5am – 11pm	Yes	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	No neighbors	Yes	
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses)	20 ft. proposed	Yes	
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Notes provided	Yes	
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded, and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>	Unable to determine	<u>No</u>	<u>Provide additional information as required.</u>
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	3.5:1 provided	Yes	
<b>Type of Lamps</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED proposed	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.5 min provided	Yes	<u>Unable to determine if minimum standards are met, as these areas do not show fc measurements. Also indicate which entrance is the main entrance.</u>
	Loading & unloading areas: 0.4 min	Unknown, show fc in loading area	<u>No</u>	
	Walkways: 0.2 min	Unknown, show fc in walkways	<u>No</u>	
	Building entrances, frequent use: 1.0 min	Unknown, show fc at entrances	<u>No</u>	

Item	Required Code	Proposed	Meets Code	Comments
	Building entrances, infrequent use: 0.2 min	Unknown, show fc at entrances	<u>No</u>	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	All sides are non-residential  Property line is not shown	<u>No</u>	<u>Show fc measurements at the property line and show the property line.</u>
<b>Cut off Angles</b> (Sec. 5.7.3.L)	When adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Not applicable, surrounded by non-residential	NA	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

# ENGINEERING REVIEW

---



# PLAN REVIEW CENTER REPORT

05/01/2017

## Engineering Review HCCP NEG SPEC BUILDING

---

### Applicant

HCP LAND, LLC

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: West of Cabot Drive, North of Mackenzie Drive
- Site Size: 14.063 acres
- Plan Date: April 10, 2017
- Design Engineer: PEA, Inc.

### Project Summary

- Construction of a four story general office building of approximately 210,525 square-feet and associated parking, and approximately 1,300 linear feet of new public roadway extending Cabot Drive to the north. Site access is proposed with two drive approaches from the extended portion of Cabot Drive.
- The 24 inch water main is proposed to be extended along the Cabot Drive extension, with 8 inch water main stubs provided for future development to the east. Service to the proposed development is proposed from the extended water main.
- The 12 inch gravity sanitary sewer is proposed to be extended along the Cabot Drive extension, with an 8 inch stub provided for future development to the east. Service to the proposed development is proposed from the extended sanitary sewer.
- Storm water for the site would be collected by an on-site storm sewer system and detained in an existing detention basin in the corporate park.

### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments (to be addressed with Final Site Plan submittal):**

General

1. Provide a minimum of two ties to established section or quarter section corners.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website ([www.cityofnovi.org/DesignManual](http://www.cityofnovi.org/DesignManual)).
3. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County.
4. Provide location dimensions for all proposed water main, sanitary sewer, and storm sewer from a proposed fixed point.
5. Provide a traffic control sign table listing the quantities of each sign type proposed for the development and for the road. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
6. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
7. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
8. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided; or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
9. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
10. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
11. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.

Water Main

12. Provide a profile for all proposed water main 8-inch and larger.

13. The water main stub at the north end of the developed area shall terminate with a hydrant followed by a valve in well. If the hydrant is not a requirement of the development for another reason the hydrant can be labeled as temporary allowing it to be relocated in the future.
14. Relocate the water main outside of the proposed Cabot Drive pavement.
15. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (6/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

#### Sanitary Sewer

16. Provide a note on the Utility Plan and sanitary profiles stating that sanitary leads shall be buried at least 5 feet deep where under the influence of pavement.
17. Provide a profile for all proposed sanitary sewer 8-inch and larger.
18. Relocate the proposed sanitary sewer main outside of the Cabot Drive pavement.
19. Provide seven (7) signed sealed sets of revised utility plans along with the MDEQ permit application (04/14 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

#### Storm Sewer

20. Provide storm sewer pipe sizes and supporting design calculations.
21. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
22. Show and label all roof conductors on storm sewer profiles.
23. Relocate proposed storm sewer to behind the curb, not under the roadway pavement and show double catch basins at all gutter low points, and/or at maximum intervals of five hundred (500) feet along the roadway.
24. A temporary drainage ditch as shown presents maintenance concerns with an uncertain timeline of future development. Enclose the storm sewer along the entire storm sewer run to the discharge into Basin "F".
25. An off-site drainage easement is required for the drainage routed to Basin "F", and a Storm Drain Facility Maintenance Easement Agreement (SDFMEA) is required for the site. In this case, the SDFMEA will be for the oil/gas separator on the last structure on the site.

#### Storm Water Management Plan

26. The Storm Water Management Plan (SWMP) shall generally comply with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual

and the previously approved storm water management plan for the overall site. Provide additional detail in the supporting calculations and clarify the boundaries of the tributary areas to demonstrate that the SWMP meets these criteria.

#### Paving & Grading

27. A sidewalk on both sides of the extension of Cabot Drive, a public roadway, is required as described in section 11-256 (b) of the Ordinance. **Any deviation from this requirement will require a variance, subject to approval by City Council.**
28. Provide a sign indicating the end of sidewalk anywhere that sidewalk terminates.
29. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
30. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants. Note on the plan any location where the 3-foot separation cannot be provided.
31. Soil borings along the proposed road will be required at 500 foot intervals per Section 11-195(d) of the Design and Construction Standards.
32. The turn-around at the end of the proposed road extension should be concrete pavement matching the existing and proposed Cabot Drive pavement.
33. Provide a construction materials table on the Paving Plan(s) listing the quantity and material type for each pavement cross-section being proposed

#### Soil Erosion and Sediment Control

34. A SESC permit is required prior to the start of construction. Informal review of the SESC will be completed with the Final Site Plan if SESC plans are included in the submittal.

#### **The following must be submitted at the time of Final Site Plan submittal:**

35. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and storm water management facilities.
36. Draft copies of the off-site drainage easement, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.



**The following must be submitted at the time of Stamping Set submittal:**

37. A draft copy of a Storm Drain Facility Maintenance Easement agreement, in this case for the oil/gas separator at the last structure on the site, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
38. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
39. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
40. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole to be constructed on the site must be submitted to the Community Development Department.
41. Executed copies of the off-site drainage easement must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

42. A pre-construction meeting shall be required prior to the commencement of any site work.
43. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. There is no fee for this permit.
44. An NPDES permit must be obtained from the MDEQ since the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
45. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
46. A permit for work within the right-of-way of Cabot Drive must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
47. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.

48. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the sanitary sewer plans have been approved.
49. Construction Inspection and other fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.

  
\_\_\_\_\_  
Darcy N. Rechtien, P.E.

cc: Theresa Bridges, Engineering  
George Melistas, Engineering  
Kirsten Mellem, Community Development  
Tina Glenn, Treasurers  
Kristen Pace, Treasurers  
Ben Croy, Water and Sewer

LANDSCAPE REVIEW

---



# PLAN REVIEW CENTER REPORT

April 25, 2017

## Preliminary Site Plan - Landscaping

HCCP Spec Building

### Review Type

Preliminary Site Plan Landscape Review

### Property Characteristics

- Site Location: Cabot Drive – northwest of Cabot-MacKenzie Drive
- Site Acreage: 14.06 acres
- Site Zoning: OST
- Adjacent Zoning: North, East, South – OST, West – M-5
- Plan Date: 4/10/2017

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below and on the accompanying Landscape Chart must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

### Recommendation

This plan is **recommended for approval**. Please address the comments below and on the accompanying landscape chart.

### Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

Provided.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2) )

1. Trees to remain and to be removed are shown on Sheets T-1 and T-1.1.
2. Tree fencing and a tree fencing detail are provided.

Woodland Replacement Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. Please provide replacement calculations.
2. Please use 0.67 credits for evergreen trees in the calculations. The replacements provided assumed a 1:1 deciduous canopy tree/evergreen tree replacement ratio which is incorrect.
3. Please provide additional replacement trees as required.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

M-5 Frontage

1. The frontage along M-5 needs to meet the requirements per Table 5.5.3.B.ii. Based on 607lf of frontage, an undulating berm with a minimum height of 3 feet and minimum crest width of 2 feet, 17 deciduous canopy or large evergreen trees, 30 subcanopy trees are required.
2. **Please add the calculations, and required berm and trees. If a waiver for any of these is requested, justification for that must be provided. Please note that needing space for replacement trees cannot be used as a justification for not planting required trees.**
3. **Please indicate which trees are greenbelt trees with unique labeling as you've done with other plantings.**

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

As the M-5 right-of-way is not owned by the city, no street trees along M-5 are required.

Interior Street to Industrial Subdivision (LDM 1.d.(2))

Cabot Drive Frontage

1. Based on 743lf of frontage, 21 deciduous canopy or large evergreen trees and 56 subcanopy trees are required. 21 large evergreen trees, 21 canopy trees and 17 sub canopy trees are provided, plus a large number of shrubs along the parking lot.
2. **Please revise the calculations per the Interior Street to Industrial Subdivision requirements.**
3. **A landscape waiver for the difference between the actual requirements and what is provided will be required, but is supported by staff as the proposed frontage landscaping will be very attractive, and in keeping with the spirit of the ordinance. The waiver request should include how many plants aren't being provided under the waiver.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 23,503 sf of islands and 301 trees are required. According to the plan's calculations, 28,827 sf of islands, 201 canopy trees, and 228shrubs in interior islands are provided. The applicant has used a 3 shrubs per 1 tree conversion factor for the islands that are in the ITC power line easement. This conversion factor is acceptable, given the limitations of the easement.
2. A landscape waiver for the trees not planted in the ITC corridor is requested and is supported by staff.
3. **Please add some low shrubs or other landscaping to the interior island on Sheet L1.3 that currently does not have any proposed landscaping and is shown as a snow deposit area.**
4. **Please indicate, with SF quantity labels, the areas used for parking space landscaping, and the Vehicular Use Areas used for calculations. This can be in a separate inset map at a smaller scale if desired.**
5. **Please label, in SF, the area of each landscape island counted toward the total. The island must have a tree planted in it to count toward the total (except those in the ITC easement, those can count as long as they are planted with shrubs or other plantings that meet the ITC requirement).**
6. **Trees that are to be counted toward the landscaping requirement must have a minimum mature canopy width of at least 20 feet. Trees such as the Columnar European Hornbeam cannot be used toward the Parking Lot landscaping requirement. Please change those plant selections to species/cultivars with a minimum 20 feet canopy.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. Based on the plan's calculations, the perimeter is 2801 lf, and 80 trees are required. 77 canopy trees and 168 shrubs in peripheral areas are provided. This is acceptable as the shrubs are within the ITC powerline easement where trees are not allowed.
2. **Parking lot perimeter trees need to be deciduous canopy trees, not subcanopy trees. Please replace the subcanopy trees with canopy trees with a minimum mature canopy width of 20 feet.**

3. **Parking lot perimeter trees should be planted no further than 15 feet away from paving. If there is not sufficient room on the site for all of the required perimeter trees, a landscape waiver may be requested and will be supported as long as the perimeter is sufficiently landscaped.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zone is sufficiently screened by the building and by M-5 greenbelt landscaping.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building's 1203 lf perimeter, 9624 sf of foundation landscaping area is required.
2. **It appears that sufficient area is provided, but the actual square footage of the areas to be landscaped needs to be provided to ensure the designated area is sufficient.**
3. Please provide detailed landscape plans for the foundation landscape areas on Final Site Plans.

Plant List (LDM 2.h. and t.)

1. **Plant list is provided.**
2. **Please use \$6/sy for the sod cost.**

Planting Notations and Details (LDM)

Planting details are provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

Not applicable as no changes are proposed to the existing regional detention basin(s). If the project requires expansion of any ponds, the expanded area must be landscaped with large native shrubs.

Irrigation (LDM 1.a.(1)(e) and 2.s)

Irrigation plan for landscaped areas is required for Final Site Plan.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

Trees to be removed and saved are clearly marked.

Corner Clearance (Zoning Sec 5.9)

Corner clearance at exit sign is met.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader [meader@cityofnovi.org](mailto:meader@cityofnovi.org).



---

Rick Meader – Landscape Architect

## LANDSCAPE REVIEW SUMMARY CHART

**Review Date:** April 25, 2017  
**Project Name:** JSP17 – 0030: HCCP SPEC BUILDING  
**Plan Date:** April 10, 2017  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org);  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Yes	Yes	Scale 1"=30'
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA/LLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	Parcel: OST North, East, South: OST West: M-5	No	<b>Please show zoning of parcel and surrounding parcels on plan.</b>
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Yes	Yes	On Sheet C-2.0
<b>Existing plant material</b> <b>Existing woodlands or</b>	<ul style="list-style-type: none"> <li>▪ Show location type and size. Label to be</li> </ul>	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
<b>wetlands</b> (LDM 2.e.(2))	<ul style="list-style-type: none"> <li>saved or removed.</li> <li>Plan shall state if none exists.</li> </ul>			
<b>Soil types</b> (LDM.2.r.)	<ul style="list-style-type: none"> <li>As determined by Soils survey of Oakland county</li> <li>Show types, boundaries</li> </ul>	Yes	Yes	On Sheet C-4
<b>Existing and proposed improvements</b> (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities</b> (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	Yes	Yes	
<b>Proposed grading. 2' contour minimum</b> (LDM 2.e.(1))	Provide proposed contours at 2' interval	Yes	Yes	Spot elevations on C-6.1-6.4
<b>Snow deposit</b> (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements</b> (LDM 1.c)	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover</b> (LDM 1.c.(5))	As proposed on planting islands	Yes	Yes	Sod is indicated on islands.
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands</b> (a, b. i)	<ul style="list-style-type: none"> <li>A minimum of 300 SF to qualify</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	Yes	Yes	
<b>Curbs and Parking stall reduction</b> (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
<b>Contiguous space limit</b> (i)	Maximum of 15 contiguous spaces	Yes	Yes	Maximum bay length is 15 spaces.
<b>Plantings around Fire Hydrant</b> (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No	Yes	<ol style="list-style-type: none"> <li>1. No plantings are shown near hydrants.</li> <li>2. <b>Please add a note on each landscape sheet stating that no trees shall be planted within 10 feet of</b></li> </ol>



Item	Required	Proposed	Meets Code	Comments
				hydrants or utility structures (manholes, catch basins, etc.) to assist with proper installation.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of parking spaces not including access aisles x 10%	A = 196,553 x 10% = 19,665 sf	NA		As the net impervious parking lot surface is being decreased, no new landscape area is required.
B = Total square footage of additional paved vehicular use areas (not including A) under 50,000 SF) x 5%	B = 50,000 x 5% = 2500 sf	Yes		
C = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	C = (184774-50,000) x 1% = 1348 sf	NA		
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of parking spaces not including access aisles x 7%	A = 7% x xx sf = xx sf	NA		
B = Total square footage of additional Paved vehicular use areas (not including A) under 50,000 SF) x 2%	B = 2% x xx sf = xx sf	NA		
C = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5%	C = 0.5% x 0 sf = 0 SF	NA		
<b>All Categories</b>				
D = A+B or A+C	19665 + 2500 + 1348 =	28,827 sf	TBD	1. Calculations are

Item	Required	Proposed	Meets Code	Comments
Total square footage of landscaped islands	23,503 SF			provided. 2. <b>Please label each island with its SF of landscape area. Islands must be landscaped with either trees or, in the power line easement, shrubs, to be counted toward the total provided.</b>
E = D/75 Number of canopy trees required	<ul style="list-style-type: none"> <li>▪ 23,503/75 = 313 Trees</li> </ul>	201 canopy trees + 228 shrubs in interior islands (76 trees at 3 shrubs/1 tree ratio)	Yes	1. A landscape waiver is listed on Sheet 4.0 for the trees that cannot be planted within the ITC easement. <b>Please include the number of trees that is impacted by this waiver (24 trees).</b> 2. If some required trees can't be planted without having trees planted too closely together to allow good plant health, a landscape waiver may be requested. <b>The number of trees covered by this waiver will need to be identified. If the landscape is deemed sufficient, it will be supported by staff.</b> 3. Trees with a mature canopy of less than 20 feet cannot be used to satisfy the deciduous canopy tree requirement for interior parking lot trees. <b>Please change the species/cultivars of parking lot trees to varieties with at least a 20 foot wide mature canopy.</b>
<b>Perimeter Green</b>	<ul style="list-style-type: none"> <li>▪ 1 Canopy tree per 35 lf</li> </ul>	77 trees + 168	Yes/No	1. Parking lot perimeter

Item	Required	Proposed	Meets Code	Comments
space	<ul style="list-style-type: none"> <li>; xx/35=x trees</li> <li>▪ 2801 lf/35 = 80 trees</li> </ul>	shrubs in peripheral area		<p>trees must be deciduous canopy trees with a mature canopy of 20 feet. Subcanopy trees can't be used as perimeter trees.</p> <p>2. If there isn't room for all of the required perimeter trees along the M-5 frontage because of the required</p> <p>3. <b>Please change the subcanopy trees to canopy trees.</b></p>
Parking land banked	▪ NA	None		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
	<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul>			
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.A)	Refer to Residential Adjacent to Non-residential berm requirements chart	NA		No residential zoning is adjacent to site.
<b>Planting requirements</b> (LDM 1.a.)	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements</b> (Zoning Sec 5.5.3.A.(5))	<p>M-5 Frontage: 3 foot high berm with 2-3 foot wide crest</p> <p><u>Cabot Drive frontage:</u> Parcels within an industrial subdivision do not require a berm, but do require screening shrubs at least 3 feet tall.</p>	<p><u>M-5:</u> No berm is provided: <u>Cabot Drive:</u> Berm with shrubs</p>	<p><u>M-5:</u> No <u>Cabot:</u> Yes</p>	<p><u>M-5:</u> <b>Please provide the required berm. If the site grades make the berm unworkable or unnecessary, the applicant may request a landscape waiver. Justification for the waiver must be provided.</b></p>
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Constructed of loam with 6" top layer of</li> </ul>	<u>M-5:</u> Please provide detail for berm if provided.	<u>M-5:</u> No <u>Cabot:</u> Yes	<u>M-5:</u> Please provide detail for berm if provided.

Item	Required	Proposed	Meets Code	Comments
	topsoil <ul style="list-style-type: none"> <li>Maximum slope of 1:3</li> </ul>	<u>Cabot Drive:</u> Berm detail is provided.		
Type of Ground Cover		Sod is indicated on landscape plan		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		No overhead utilities exist near the frontage
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Retaining walls along northwest corner and part of southern edge of parking lot are provided.		<u>Wall details will be required on construction plans.</u>
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		The retaining wall is taller than 3.5 feet in certain areas.		<u>Please have the walls designed by a qualified engineer.</u>
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	Parking: 20 ft.	<u>M-5:</u> 21-92 feet <u>Cabot Drive:</u> 25'	Yes	Site is within an industrial subdivision with double frontage: M-5 and Cabot.
Min. berm crest width	<u>M-5:</u> 2 feet <u>Cabot:</u> NA	<u>M-5:</u> None <u>Cabot:</u> 0-5 ft	<u>M-5:</u> No <u>Cabot:</u> Yes	<b>See berm discussion above</b>
Minimum berm height (9)	<u>M-5:</u> None <u>Cabot:</u> NA	<u>M-5:</u> None <u>Cabot:</u> 0-3 ft	<u>M-5:</u> No <u>Cabot:</u> Yes	<b>See berm discussion above</b>
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<u>M-5 frontage only</u> <ul style="list-style-type: none"> <li>1 tree per 35 lf</li> <li>607/35 = 17 trees</li> </ul>	No frontage trees are provided – only perimeter parking lot trees and replacement trees	No	<ol style="list-style-type: none"> <li>Please add calculations for greenbelt landscaping</li> <li>Please add required trees</li> <li>Please label trees uniquely so they can be identified as greenbelt trees.</li> </ol>
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<u>M-5 frontage only</u> <ul style="list-style-type: none"> <li>1 tree per 20 lf</li> <li>607/20 = 30 trees</li> </ul>	No frontage trees are provided – only perimeter parking lot trees and replacement trees	No	<ol style="list-style-type: none"> <li>Please add calculations for greenbelt landscaping</li> <li>Please add required trees</li> <li>Please label trees uniquely so they can be identified as</li> </ol>

Item	Required	Proposed	Meets Code	Comments
				greenbelt trees.
<b>Canopy deciduous trees in area between sidewalk and curb</b> <i>(Novi Street Tree List)</i>	M-5: None required as the M-5 right-of-way is MDOT's not the city's.	None	Yes	
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 1.d (2)</b> Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
<b>Interior Street to Industrial subdivision</b> <i>(LDM 1.d.(2))</i>	<u>Cabot Drive only:</u> <ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ 743/35 = 21 trees</li> <li>▪ 3 sub canopy trees per 40 l.f. of total linear frontage</li> <li>▪ 3/40 lf = 56 trees</li> <li>▪ Plant massing for 25% of ROW</li> <li>▪ 743 * 25% = 186 lf</li> </ul>	<ul style="list-style-type: none"> <li>▪ 21 evergreen trees</li> <li>▪ 21 canopy trees</li> <li>▪ 17 subcanopy trees</li> <li>▪ 155 lf landscaping at entry points</li> </ul>		<ol style="list-style-type: none"> <li>1. Please revise calculations to use the correct requirements.</li> <li>2. A landscape waiver is required for the shortages from the requirements. As the frontage is attractively landscaped, and additional trees would require incursions into the 25 mph site triangles and create overcrowded growing conditions, this waiver would be supported by staff.</li> </ol>
<b>Screening of outdoor storage, loading/unloading</b> <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		The loading area is screened from view from Cabot by the building, and from M-5 by the dumpster enclosure and heavy evergreen plantings.	Yes	
<b>Transformers/Utility boxes</b> <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	No transformers are indicated	Yes	<b>Please indicate where the transformer(s) is/are to be located, and screen per the city's standard screening detail.</b>
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft.</li> </ul>	9690 sf	TBD	<b>1. Please label areas of foundation landscaping provided in SF.</b>

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>1203 lf x 8ft = 9624SF</li> </ul>			2. <u>Please provide the detailed foundation landscaping with the Final Site Plans.</u> 3. <u>Please include a number of native species in the foundation plantings. At least half of the species used should be native to Michigan.</u>
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	Foundation planting area is shown around the entire building, except at paved entry points.	Yes	
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements (Sec. 5.5.3.E.iv)</b>	<ul style="list-style-type: none"> <li>Clusters shall cover 70-75% of the basin rim area</li> <li>10" to 14" tall grass along sides of basin</li> <li>Refer to wetland for basin mix</li> </ul>	NA	TBD	<b>If no changes to the existing detention basins are proposed, no additional landscaping is required. If enlargement of the existing pond(s) is/are required, the expanded area needs to be landscaped per the ordinance requirements.</b>
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date (LDM 2.i. &amp; Zoning Sec 5.5.5.B)</b>	Provide intended date	Between Mar 15 and Nov 15.	Yes	
<b>Maintenance &amp; Statement of intent (LDM 2.m &amp; Zoning Sec 5.5.6)</b>	<ul style="list-style-type: none"> <li>Include statement of intent to install and guarantee all materials for 2 years.</li> <li>Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source (LDM 2.n &amp; LDM 3.a.(2))</b>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan (LDM 2.s.)</b>	A fully automatic irrigation system and a method of draining is	No		<u>Required for Final Site Plans.</u>

Item	Required	Proposed	Meets Code	Comments
	required with Final Site Plan			
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes	Yes	
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		Yes	Yes	
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	<u>Please use \$6/sy as the unit cost for sod</u>
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	<ul style="list-style-type: none"> <li>Refer to LDM for detail drawings</li> </ul>	Yes	Yes	<b>Please add a callout to the detail stating that rootball dirt should be removed to expose the root flare.</b>
Evergreen Tree		Yes	Yes	<b>See above</b>
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	On Sheet T-1.0
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	<b>Please add note near property lines stating this.</b>
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	<ol style="list-style-type: none"> <li><b>Please show calculations for tree replacements.</b></li> <li>Replacement evergreen trees only count as 0.67 trees. <b>Please include this in the calculations and provide the correct</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				<b>number of replacement trees.</b>
<b>Landscape tree credit</b> (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	No	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	The overhead ITC lines are shown and the areas near them are planted per the ITC guidelines.	Yes	
<b>Collected or Transplanted trees</b> (LDM 3.f)		No		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>	Yes	Yes	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.





## WETLANDS REVIEW

---



April 28, 2017  
ECT No. 170279-0100

Ms. Barbara McBeth  
City Planner  
Community Development Department  
City of Novi  
45175 W. Ten Mile Road  
Novi, Michigan 48375

Re: HCCP Spec. Office Building (JSP17-0030)  
Wetland Review of the Preliminary Site Plan (PSP17-0049)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Haggerty Corridor Corporate Park (HCCP) Spec. Office Building project prepared by PEA, Inc. dated April 10, 2017 and stamped 'Received' by the City of Novi Community Development Department on April 10, 2017 (Plan). ECT also reviewed the Preliminary Site Plan for the Cabot Road Extension prepared by PEA, Inc. dated June 15, 2016 (original issue date) and stamped 'Received' by the City of Novi Community Development Department on April 10, 2017. The plans were reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. ECT also visited the site on April 27, 2017 in order to verify wetland boundaries.

**ECT recommends approval of the Preliminary Site Plan for Wetlands; however, the Applicant should address the items noted below in the *Wetland Comments* Section of this letter prior to receiving Wetland approval of the Final Site Plan.**

The following woodland related items are required for this project:

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Required (likely Minor)
Wetland Mitigation	Not required
Wetland Buffer Authorization	Required
MDEQ Permit	To be determined. It is the applicant's responsibility to contact the MDEQ in order to determine the need for a wetland use permit.
Wetland Conservation Easement	Required

The proposed project is located north of W. Thirteen Mile Road and east of M-5 (Haggerty Connector), in Section 1, Novi, Michigan. The proposed project includes the extension of Cabot Drive north from the current intersection with Mackenzie Drive. In addition, the project includes the construction of a 4-story, 210,525 square foot office building, associated parking and utilities. The proposed parcel consists of approximately 14.1 acres. Nowak & Fraus previously completed the on-site wetland delineation and tree survey.

2200 Commonwealth  
Blvd., Suite 300  
Ann Arbor, MI  
48105

(734)  
769-3004

FAX (734)  
769-3164

As noted on the Preliminary Utility Plan (Sheet C-8.0) it appears as if site stormwater will be routed to existing Detention Basin F. ECT suggests that the City of Novi Engineering Department review these plans in order to verify that the site's stormwater will be adequately managed and meet the City's stormwater storage requirements.

The majority of the subject is previously disturbed and relatively open. An existing wetland (Wetland A) has been mapped on the south side of the subject parcel. An additional area of wetland is located along the northern property boundary (i.e., located north of the proposed parking area on the north side of the proposed building site). This wetland boundary and/or 25-foot wetland setback does not appear to have been included on the plans. The Seeley Drain is located within relatively close proximity to the site to the north.

Based on our review of the Plan, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached) it appears as if this proposed project site contains City-regulated wetland.

#### Onsite Wetland Evaluation

ECT has reviewed the City of Novi Official Wetland and Woodlands Map and completed an onsite wetland verification on April 27, 2017. As noted above, the site does contain area mapped as City regulated wetland/watercourse (Figure 1). One (1) wetland area (i.e., Wetland A) has been indicated on the plans. It is our understanding that this wetland was previously (2015) delineated by King & MacGregor Environmental, Inc. (KME).

Wetland A is an emergent wetland that experiences pockets of seasonal open water. The acreage of Wetland A has not been provided. Common plant species include reed canary grass (*Phalaris arundinacea*) and button bush (*Cephalanthus occidentalis*). The wetland is bounded by a number of large, mature cottonwood (*Populus deltoides*) trees (see Site Photos).

As noted above, an additional area of wetland is located along the northern property boundary (i.e., located north of the proposed parking area on the north side of the proposed building site). This wetland boundary and/or 25-foot wetland setback does not appear to have been included on the plans. The applicant should have their wetland consultant assess the existing wetland boundaries in this area and provide all wetland and all 25-foot wetland buffer boundaries on the plan.

What follows is a summary of the wetland and watercourse impacts associated with the proposed site design.

#### Wetland/Watercourse Impact Review

The plans for the Spec. Office Building (i.e., *Dimension and Paving Plan*, Sheet C-4.3) indicate that the construction of the southernmost parking lot includes impact to the northern section of the 25-foot wetland buffer area of Wetland A. This area of construction does not include direct impacts to Wetland A.

The plans for the Cabot Drive Extension indicate, but do not quantify, a direct impact (i.e., fill) to Wetland A for the purpose of road and utility stub construction. In addition the 25-foot wetland buffer will be impacted in this areas as well. The impacts to Wetland A and its 25-foot wetland setback have not been quantified on the plans.

It should be noted that some site disturbance is already occurring in the area of the Cabot Drive extension, on the eastern side of Wetland A. Currently, it appears as if soil/spoils have been graded into the 25-foot buffer of Wetland A (close to the wetland edge in some areas).

ECT recommends that the applicant avoid all impacts to on-site wetlands and 25-foot wetland buffers to the greatest extent practicable.

**Permits and Regulatory Requirements**

The purpose of the City of Novi Wetland and Watercourse Protection Ordinance is described in the City of Novi Code of Ordinances, Part II, Chapter 12, Article V.; Division 1. This section states that:

- (a) The wetlands and watercourses of the city are indispensable and fragile natural resources subject to floodwater capacity limitations, erosion, soil bearing capacity limitations and other hazards. In their natural state, wetlands and watercourses provide many public benefits, such as the maintenance of water quality through nutrient cycling and sediment trapping, and flood and stormwater runoff control through temporary water storage, slow release and groundwater recharge. In addition, wetlands provide open space, passive recreation, fish and wildlife habitat, including migratory waterfowl and rare, threatened or endangered animal and plant species. The continued destruction and loss of wetlands and watercourses constitutes a distinct and immediate danger to the public health, safety and general welfare.
- (b) Throughout the state, considerable acreage of these important natural resources has been lost or impaired by draining, dredging, filling, excavating, building, pollution and other acts inconsistent with the natural uses of such areas. Remaining wetlands and watercourses are in jeopardy of being despoiled or impaired. Consequently, it is the policy of the city to prevent a further net loss of those wetlands that are: (1) contiguous to a lake, pond, river or stream, as defined in Administrative Rule 281.921; (2) two (2) acres in size or greater; or (3) less than two (2) acres in size, but deemed essential to the preservation of the natural resources of the city under the criteria set forth in subsection 12-174(b).
- (c) Pursuant to Mich. Const. 1963, Art. IV, § 52, the conservation and development of natural resources of the state is a matter of paramount public concern in the interest of the health, safety and general welfare of the people. Pursuant to the Michigan Environmental Protection Act, MCL 324.1701, et seq., it is the responsibility of public and private entities to prevent the pollution, impairment or destruction of the air, water or other natural resources by their conduct. It is, therefore, the policy of the city to protect wetlands and watercourses while taking into account varying ecological, hydrologic, economic, recreational and aesthetic values. Activities which may damage wetlands and watercourses shall be located on upland sites outside of upland woodland areas, unless there are no less harmful, feasible and prudent alternatives to the proposed activity. When an activity will result in the impairment or destruction of a wetland, mitigation shall be required in accordance with section 12-173(e)1.b.
- (d) It is the purpose of this article to protect the public health, safety and welfare through the protection of wetlands and watercourses. To meet these purposes, this article establishes standards and procedures for the review of proposed activities in wetlands and watercourses, provides for the issuance of use permits for approved activities, requires coordination with other applicable ordinances, statutes and regulations and establishes penalties for the violation of this article.

ECT has evaluated the on-site wetlands and believe that they are each providing one or more of the functions and values as described in the wetland essentiality criteria. These wetlands should therefore be considered essential and therefore regulated by the City's Wetland and Watercourse Protection Ordinance. Any proposed use of the on-site wetlands will require a City of Novi *Wetland Use Permit* (likely Minor) as well as an *Authorization to Encroach the 25-Foot Natural Features Setback* for any proposed impacts to the 25-foot wetland buffers. These wetland areas appear to be depicted as wetland on the available mapping materials and as regulated wetland on the official City of Novi Regulated Wetland and Watercourse map. Wetland A as shown on the plans appears to be accurately flagged in the field.

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of a waterbody, regulated stream or are part of wetland system greater than 5 acres in size. It is the applicant's responsibility to contact MDEQ in order to confirm the regulatory authority with respect to the on-site wetland areas. The MDEQ may regulate on-site wetland due to proximity to the Seeley Drain, located adjacent to the project site to the north.

**Wetland Comments**

Please consider the following comments when preparing subsequent site plan submittals:

1. ECT recommends that the applicant avoid all impacts to on-site wetlands and 25-foot wetland buffers to the greatest extent practicable. Is there potential for realigning the proposed Cabot Drive extension and utility connection in a way that avoids Wetland A and its 25-foot setback?

It should be noted that some site disturbance is already occurring in the area of the proposed Cabot Drive extension, on the eastern side of Wetland A. Currently, it appears as if soil/spoils have been graded into portions of the 25-foot buffer of Wetland A (close to the wetland edge in some areas). It is unclear if this impact to the wetland buffer has been previously authorized.

2. The current Plan does not graphically indicate the boundaries of the wetland and/or 25-foot wetland setback located along the northern property boundary (i.e., located north of the proposed parking area on the north side of the proposed building site). This wetland boundary and/or 25-foot wetland setback does not appear to have been included on the plans. The Seeley Drain is located within relatively close proximity to the site to the north. The applicant should have their wetland consultant assess the existing wetland boundaries in this area and provide all wetland and all 25-foot wetland buffer boundaries on the plan.

At a minimum, there are likely impacts to the 25-foot buffer of this unflagged wetland for the purpose of constructing the parking on the north side of the building.

3. Future site plan submittals should indicate, label and quantify (square feet or acres) all areas of proposed impacts to wetland/watercourse and/or 25-foot buffers on the Plan (both permanent and temporary impacts). These quantities are required prior to Final Site Plan approval and issuance of the City of Novi Wetland Use Permit and *Authorization to Encroach the 25-Foot Wetland/Watercourse Setback*.
4. In general, the following information shall be provided on future site plan submittals:
  - Acreages of all on-site wetland/watercourse/pond;
  - Indicate and label all 25-foot wetland/watercourse buffers as necessary on the Plan;
  - Indicate, label and quantify any proposed impacts to the pond/wetland and 25-foot wetland/watercourse buffers on the Plan. The area (square feet or acres) of all impacts to the wetland/watercourse and 25-foot buffers shall be indicated on the Plan. All impacts (both permanent and temporary shall be indicated on the Plan);
  - The volume (cubic feet or cubic yards) of all permanent wetland/watercourse impacts shall be indicated on the Plan.

5. As noted above, the Plan shall clearly indicate all areas of wetland/watercourse and 25-foot buffer that are proposed to be permanently and/or temporarily impacted during construction. If areas of temporary wetland or wetland buffer impacts are proposed, the applicant shall include a native seed mix appropriate for restoration of these temporary impacts. Sod or common grass seed will not be acceptable as restoration in these temporarily impacted wetland or wetland buffer areas. Please review and revise the plan, as necessary.
6. It is the Applicant's responsibility to contact the Michigan Department of Environmental Quality (MDEQ) in order to determine if the proposed development would require a wetland use permit from the MDEQ. The on-site wetlands could be regulated by MDEQ as it may be located within 500-feet of a pond, stream, drain or lake (i.e., Seeley Drain). Final determination of regulatory status should be made by the MDEQ. A permit from this agency may be required for any direct impacts to wetlands. A City of Novi Wetland Permit cannot be issued prior to receiving this information.
7. As noted on the Preliminary Utility Plan (Sheet C-8.0) it appears as if site stormwater will be routed to existing Detention Basin F. ECT suggests that the City of Novi Engineering Department review these plans in order to verify that the site's stormwater will be adequately managed and meet the City's stormwater storage requirements.

**Recommendation**

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter prior to approval of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Sincerely,

**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Peter Hill, P.E.  
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner  
Richelle Leskun, City of Novi Planning Assistant  
Rick Meader, City of Novi Landscape Architect  
Kirsten Mellem, City of Novi Planner

Attachments: Figure 1. City of Novi Regulated Wetland & Woodland Map  
Site Photos

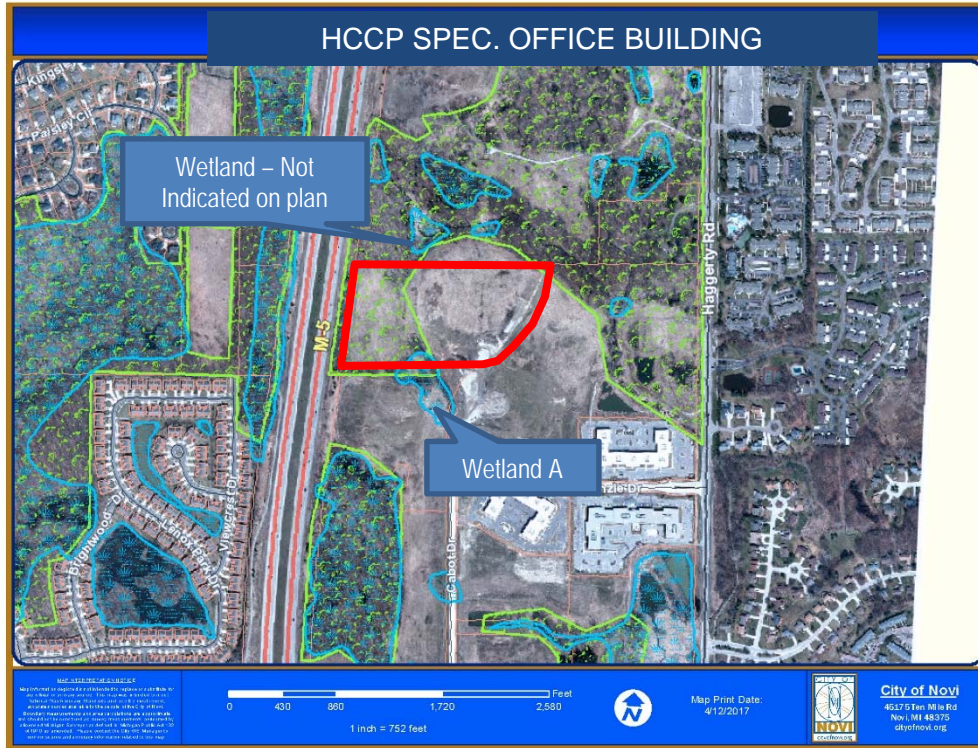


Figure 1. City of Novi Regulated Wetland & Woodland GIS Coverage Map (approximate project boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue.



*Site Photos*



**Photo 1.** Looking west Wetland A. Some grading into the 25-foot buffer appears to have previously occurred (ECT, April 27, 2017).



**Photo 2.** Looking north at unflagged wetland along northern boundary of property (ECT, April 28, 2017).

# WOODLANDS REVIEW

---

April 28, 2017  
ECT No. 170279-0200

Ms. Barbara McBeth  
City Planner  
Community Development Department  
City of Novi  
45175 West Ten Mile Road  
Novi, MI 48375

Re: HCCP Spec. Office Building (JSP17-0030)  
Woodland Review of the Preliminary Site Plan (PSP17-0049)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Haggerty Corridor Corporate Park (HCCP) Spec. Office Building project prepared by PEA, Inc. dated April 10, 2017 and stamped 'Received' by the City of Novi Community Development Department on April 10, 2017 (Plan). ECT also reviewed the Preliminary Site Plan for the Cabot Road Extension prepared by PEA, Inc. dated June 15, 2016 (original issue date) and stamped 'Received' by the City of Novi Community Development Department on April 10, 2017. These plans were reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37. ECT conducted a woodland evaluation for the property on April 27, 2017.

ECT recommends approval of the Preliminary Site Plan for Woodlands; however, the Applicant should address the items noted below in the *Woodland Comments* Section of this letter prior to receiving Woodland approval of the Final Site Plan.

The following woodland related items are required for this project:

Item	Required/Not Required/Not Applicable
Woodland Permit	Required
Woodland Fence	Required
Woodland Conservation Easement	Required

The proposed project is located north of W. Thirteen Mile Road and east of M-5 (Haggerty Connector), in Section 1, Novi, Michigan. The proposed project includes the extension of Cabot Drive north from the current intersection with Mackenzie Drive. In addition, the project includes the construction of a 4-story, 210,525 square foot office building, associated parking and utilities. The proposed parcel consists of approximately 14.1 acres. Nowak & Fraus previously completed the on-site wetland delineation and tree survey.

The purpose of the Woodlands Protection Ordinance is to:

- 1) *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition*

*that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*

- 2) Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- 3) Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

What follows is a summary of our findings regarding on-site woodlands associated with the proposed project.

### **On-Site Woodland Evaluation**

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on April 27, 2017. ECT's in-office review of available materials included the City of Novi Regulated Woodland map and other available mapping. The subject property includes several areas of remaining trees that are located within areas mapped as regulated woodland on the City of Novi Regulated Woodland Map (see Figure 1).

An existing tree survey has been completed for the subject property and is included on the *Tree Preservation Plan* (Sheet T1.0) and an *Existing Tree List* (Sheet T-1.1). The tree list identifies tree tag numbers, diameter-at-breast-height (DBH), common/botanical name, and condition of all surveyed trees. The *Landscape Plan* includes a Tree Replacement Summary that lists the total woodland replacements credits that are required for the proposed tree removals.

The surveyed trees have been marked with aluminum tree tags allowing ECT to compare the tree diameters reported on the Tree Preservation Plan to the existing tree diameters in the field. ECT found that the Plan appears to accurately depict the location, species composition and the size of the existing trees. ECT took a sample of diameter-at-breast-height (DBH) measurements and found that the data provided on the Plan was consistent with the field measurements.

The highest quality woodlands on site are found in the northwestern section of the subject site. These areas are dominated by black walnut trees. In general, the on-site trees consist of black walnut (*Juglans nigra*), silver maple (*Acer saccharinum*), and American elm (*Ulmus americana*). In terms of habitat quality and diversity of tree species, the overall subject site consists of fair to good quality trees. In terms of a scenic asset, wildlife habitat, windblock, noise buffer or other environmental asset, the forested areas located on the subject site are considered to be of good quality.

### **City of Novi Woodland Review Standards, Woodland Permit Requirements & Proposed Impacts**

Based on Section 37-29 (*Application Review Standards*) of the City of Novi Woodland Ordinance, the following standards shall govern the grant or denial of an application for a use permit required by this article:

*No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees,*

*similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.*

In addition,

*"The removal or relocation of trees shall be limited to those instances when necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship".*

The City of Novi regulates all trees 8-inches diameter-at-breast-height (DBH) and greater that are located within the areas delineated as regulated woodlands on the City-Regulated Woodlands Map. The City also regulates any individual tree greater than or equal to 36-inches DBH, irrespective of whether such tree is within a regulated woodland. Proposed woodland impacts will require a Woodland Permit and the regulated trees shall be relocated or replaced by the permit grantee.

It should be noted that the Cabot Drive Extension site plans do not appear to indicate the locations of the existing trees (specifically, near Wetland A in the general vicinity of the start of the Cabot Drive extension). Although not indicated on the plans, it appears as if there will be tree removals associated with the construction of Cabot Drive in the vicinity of Wetland A. Any tree removals in this area shall be indicated on subsequent site plans. The associated Woodland Replacement tree requirements shall also be added to the plan, if applicable.

The *Existing Tree List* (Sheet T-1.1) indicates that 97 of the 116 trees that have been surveyed are proposed for removal. Of these 97 trees, it appears as if ten (10) of the trees are less than 8-inches DBH and would not require replacement.

The applicant has noted on the Plan that an additional thirty-one (31) of the 97 trees proposed for removal have been identified as being in poor, very poor, or dead condition (specifically, these trees have been noted as being less than 50% in health per the International Society of Arboriculture (ISA) rating). Due to the time of year (early growing season) ECT was not able to make an assessment on this proposed exemption for replacement due to the existing health/condition of these 31 trees. ECT will assess the condition of these trees prior to project permitting and collection of any associated Woodland financial guarantees.

The Landscape Plan (Sheet L-1.0) indicates that a total of 57 regulated trees above 8-inches DBH are being removed and that 91 Woodland Replacement Trees are required. In addition, the Plan notes that 91 (native) Woodland Replacement Trees are being provided.

The Landscape plan appear to graphically indicate Woodland Replacement tree locations. The applicant should review and revise the Landscape Plan and the associated Plant Schedule to list the quantities and species of Woodland Replacement Trees in table-form (i.e., indicate which trees are being proposed as Woodland Replacement trees in the *Plant Schedule* table). It appears as if a total of 54 Woodland Replacement Credits, rather than 91 Woodland Replacement Credits, are included on the Plan. The following trees appear to be included as Woodland Replacement trees:

- 37 – White spruce (*Picea glauca*) – at 1.5 tree/1 Woodland Replacement credit = 24 credits;
- 39 – White pine (*Pinus strobus*) - at 1.5 tree/1 Woodland Replacement credit = 26 credits;
- 3 – Sugar maple (*Acer saccharum*) - at 1 tree/1 Woodland Replacement credit = 3 credits;
- 1 – Tulip tree (*Liriodendron tulipifera*) - at 1 tree/1 Woodland Replacement credit = 1 credits;

- 54 Total Woodland Replacement Credits

Woodland Comments

Please consider the following comments when submitting future site development plan submittals:

1. A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch DBH or greater located within the regulated woodland boundaries or any tree greater than 36-inches DBH. Such trees shall be relocated or replaced by the permit grantee either through approved on-site replacement trees or through a payment to the City of Novi Tree Fund. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater and will be counted at a 1:1 replacement ratio. All proposed coniferous replacement trees shall be 6-feet in height (minimum) and will be counted at a 1.5:1 replacement ratio. See the attached City of Novi Woodland Replacement Chart for acceptable woodland replacement species.
2. It should be noted that the Cabot Drive Extension site plans do not appear to indicate the locations of the existing trees (specifically, near Wetland A in the general vicinity of the start of the Cabot Drive extension). Although not indicated on the plans, it appears as if there will be tree removals associated with the construction of Cabot Drive in the vicinity of Wetland A. Any tree removals in this area shall be indicated on subsequent site plans. The associated Woodland Replacement tree requirements shall also be added to the plan, if applicable.
3. It should be noted that the City's Woodland Ordinance (Section 37-8, Relocation or replacement of trees) notes that the Planning Commission may approve the planting of a variety of native plants toward the required woodland replacement credits. However, there are maximum allowable percentages for the different types of material being planted. Specifically, evergreen trees can be used for a maximum of 30% of the required Woodland Replacement total. Please review and revise the landscape plans accordingly and increase the total number of acceptable, native deciduous woodland replacement trees being provide, if necessary.
4. The applicant has noted on the Plan that thirty-one (31) of the 97 trees proposed for removal have been identified as being in poor, very poor, or dead condition (specifically, these trees have been noted as being less than 50% in health per the International Society of Arboriculture (ISA) rating). Due to the time of year (early growing season) ECT was not able to make an assessment on this proposed exemption for replacement due to the existing health/condition of these 31 trees. ECT will assess the condition of these trees prior to project permitting and collection of any associated Woodland financial guarantees.

As such the total number of Woodland Replacement credits required for the development may differ from the 91 total Woodland Replacement Credits currently specified by the Applicant.

5. The *Landscape Plan* (Sheet L-1.0) indicates that 91 Woodland Replacement credits are required and will be provided on-site. The Landscape plan appear to graphically indicate Woodland Replacement tree locations. The Plan appears to indicate 54 total Woodland Replacement trees. The applicant should review and revise the Landscape Plan and the associated plant lists to include the quantities and species of Woodland Replacement Trees in table-form (i.e., indicate which trees are being proposed as Woodland Replacement trees in the *Tree Plant List* tables).

6. Some of the landscape material shown on the Tree Plant List do not qualify as Woodland Replacement trees. As noted in Comment #1, above, see the attached City of Novi Woodland Replacement Chart for acceptable woodland replacement species. Specifically, the following trees would not qualify as Woodland Replacement Trees:
  - a. Cornelian Cherry dogwood;
  - b. Regal prince oak (columnar);
  - c. Valley Forge elm.

If these are intended to be Woodland Replacement trees, please review the City of Novi Woodland Replacement Chart (attached) and revise the landscaping plans as necessary.

7. A Woodland Replacement Performance financial guarantee for the planting of replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.
8. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on site.
9. Based on a successful inspection of any installed on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. A Woodland Maintenance and Guarantee bond equal to twenty-five percent (25%) of the value of the original Woodland Replacement material will then be kept for a period of 2-years after the successful inspection of the tree replacement installation.
10. The Applicant shall provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of remaining woodland and woodland replacement trees. The applicant shall demonstrate that the all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit.
11. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the City of Novi *Landscape Design Manual*.

HCCP Spec. Office Building (JSP17-0030)  
Woodland Review of the Preliminary Site Plan (PSP17-0049)  
April 28, 2017  
Page 6 of 9

**Recommendation**

ECT recommends approval of the Preliminary Site Plan for Woodlands; however, the Applicant should address the items noted in the *Woodland Comments* Section of this letter prior to receiving Woodland approval of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

**ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.**



Pete Hill, P.E.  
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner  
Richelle Leskun, City of Novi Planning Assistant  
Rick Meader, City of Novi Landscape Architect  
Kirsten Mellem, City of Novi Planner

Attachments: Figure 1 – City of Novi Regulated Wetland & Woodland Map  
Woodland Tree Replacement Chart





Figure 1. City of Novi Regulated Wetland & Woodland GIS Coverage Map (approximate project boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue.

Site Photos



**Photo 1.** Looking northwest at area of regulated wetland on north side of site (ECT 4/27/2017).



**Photo 2.** Looking west near northern property line in area of existing Regulated Woodland (ECT 4/27/2017).

### Woodland Tree Replacement Chart

(from Chapter 37 Woodlands Protection)

(All canopy trees to be 2.5" cal or larger, evergreens as listed)

Common Name	Botanical Name
Black Maple	Acer nigrum
Striped Maple	Acer pennsylvanicum
Red Maple	Acer rubrum
Sugar Maple	Acer saccharum
Mountain Maple	Acer spicatum
Ohio Buckeye	Aesculus glabra
Downy Serviceberry	Amelanchier arborea
Yellow Birch	Betula alleghaniensis
Paper Birch	Betula papyrifera
American Hornbeam	Carpinus caroliniana
Bitternut Hickory	Carya cordiformis
Pignut Hickory	Carya glabra
Shagbark Hickory	Carya ovata
Northern Hackberry	Celtis occidentalis
Eastern Redbud	Cercis canadensis
Yellowwood	Cladrastis lutea
Beech	Fagus sp.
Thornless Honeylocust	Gleditsia triacanthos inermis
Kentucky Coffeetree	Gymnocladus dioica
Walnut	Juglans sp.
Eastern Larch	Larix laricina
Sweetgum	Liquidambar styraciflua
Tuliptree	Liriodendron tulipifera
Tupelo	Nyssa sylvatica
American Hophornbeam	Ostrya virginiana
White Spruce_(1.5:1 ratio) (6' ht.)	Picea glauca
Black Spruce_(1.5:1 ratio) (6' ht.)	Picea mariana
Red Pine	Pinus resinosa
White Pine_(1.5:1 ratio) (6' ht.)	Pinus strobus
American Sycamore	Platanus occidentalis
Black Cherry	Prunus serotina
White Oak	Quercus alba
Swamp White Oak	Quercus bicolor
Scarlet Oak	Quercus coccinea
Shingle Oak	Quercus imbricaria
Burr Oak	Quercus macrocarpa
Chinkapin Oak	Quercus muehlenbergii
Red Oak	Quercus rubra
Black Oak	Quercus velutina
American Bladdernut	Staphylea trifolia
Bald Cypress	Taxodium distichum
American Basswood	Tilia americana
Hemlock (1.5:1 ratio) (6' ht.)	Tsuga canadensis

## TRAFFIC REVIEW

---



AECOM  
 27777 Franklin Road  
 Southfield  
 MI, 48034  
 USA  
 aecom.com

**Project name:**  
 JSP17-0030 HCCP Spec Building Traffic Review

**From:**  
 AECOM

**Date:**  
 April 20, 2017

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**CC:**  
 Sri Komaragiri, Kirsten Mellem, George Melistas,  
 Theresa Bridges, Richelle Leskun, Darcy Rechten

# Memo

**Subject:** HCCP Spec Building Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, HCP Land LLC, is proposing a four-story general office building with a gross floor area of 210,525 square feet. The site will be located on the west side of Cabot Drive north of Mackenzie Drive.
2. The project involves extending the roadway of Cabot Drive north of Mackenzie to a stub at the northern property line.
3. The existing speed limit for Cabot Drive is 25 mph.
4. The property is under OST (Office Service Technology) zoning. The applicant is not proposing to rezone the property.
5. Cabot Drive is under the jurisdiction of the City of Novi.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 9<sup>th</sup> Edition, as follows:

ITE Code: 710 (General Office Building)  
 Development-specific Quantity: 210,525 sq. ft. gross floor area  
 Zoning Change: N/A

Trip Generation Summary			
	City of Novi Threshold	Estimated Trips	Analysis
<b>AM Peak-Hour, Peak-Direction Trips</b>	100	306	Fitted Curve Equation

<b>PM Peak-Hour, Peak-Direction Trips</b>	100	261	Fitted Curve Equation
<b>Daily (One-Directional) Trips</b>	750	2,312	Fitted Curve Equation

- The number of trips does exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements:

<b>Traffic Impact Study Recommendation</b>	
<b>Type of Study</b>	<b>Justification</b>
<b>Traffic Impact Study</b>	The estimated number of trips exceeds the City of Novi's daily and peak hour thresholds. The applicant seeks to request a waiver for the traffic study because a previous traffic study was completed in the 1990's. <b>AECOM does not support the applicant's request for a traffic impact study waiver because the previous impact study does not account for current traffic volumes/patterns in the areas surrounding the development.</b>

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant has provided two driveways with two exiting lanes each. The applicant has provided the width of each entering and exiting lane. However, the sum of the total lanes does not result in the total driveway width due to widening of approaches and pavement markings. The City's maximum allowed driveway width is 40 feet. The applicant should revise the plans to include a total driveway width that is compliant with City standards for both driveways.
- The proposed driveway turning radii are in compliance with City standards.
- Any entering/exiting right turn lanes or tapers that may be warranted should be addressed by the traffic impact study.
- The applicant has provided at least 310 feet of sight distance in both directions from each driveway.
- The applicant has provided the required amount of spacing (105 feet) between the two proposed driveways.
- There are an adequate number of site access drives provided
- The applicant has proposed an extension of Cabot Drive north of Mackenzie Drive to the northern property limit. The roadway is 36 feet wide within a 60 foot right-of-way and has two horizontal curves. The curves have radii of 420 feet and 480 feet. Both curves have a design speed of at least 33 mph (assumed no super-elevation).
- The applicant could consider including driveway stubs to the north and south of the property for future access management to adjacent sites.

## INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
  - a. Large trucks and emergency vehicles are expected to be able to access the site.
  - b. The applicant has proposed a 360 square foot loading area which is in compliance with City standards.
  - c. The proposed location of the trash enclosure is not expected to interfere with parking operations.
2. Parking Facilities
  - a. The City of Novi Zoning Ordinance requires one parking space for every 286 square feet of gross floor area resulting in 737 total parking spaces.
  - b. The applicant has provided a total of 1,143 parking spaces.
  - c. Parking space dimensions for length, width, and curb height are in compliance with City standards.
    - i. The applicant should indicate that a 4" curb will be placed in front of the parking space at the southeasternmost end island. The grading plan indicates 4" curb, but to be consistent, sheet C4.4 should too.
  - d. Parking aisle widths are in compliance with City standards.
  - e. End islands and peninsulas generally meet the City's requirement for width and radii; however, all end islands should be three feet shorter than the adjacent parking space.
  - f. The ADA Standards for Accessible Design requires a total of 21 barrier free parking spaces, four of which are required to be van accessible.
  - g. The applicant has provided a total of 22 barrier free spaces, eight of which are van accessible.
  - h. The proposed barrier free parking spaces are in compliance with ADA standards.
  - i. The City of Novi Zoning Ordinance requires 57 bicycle parking spaces. The applicant has proposed 57 bicycle parking spaces.
    - i. The zoning ordinance requires 25% of the bicycle parking be covered. **The applicant is seeking a waiver for covered bicycle parking. AECOM supports this waiver.**
  - j. The proposed layout of bicycle parking spaces does not appear to be in compliance with City standards.
    - i. City ordinances require that 15 inches be provided for each interior parking space and 24 inches be provided for each end parking space. The proposed layout provides 7.5 feet for seven interior parking spaces; however, seven spaces would require 8.75 feet
    - ii. Similarly, the spacing between the two bicycle racks where 18 spaces are provided is only three feet. A minimum of four feet should be provided.
    - iii. The bicycle rack itself should be repositioned to accommodate a six foot bicycle parking space and then an additional four foot aisle. The current configuration would not leave a four foot aisle once a bicycle is parked.
    - iv. Sheets C 4.1 – 4.4 refer to additional bicycle parking details on sheet L1.4, but sheet L1.4 was not included in the submittal.
3. Sidewalk Requirements
  - a. The applicant has proposed seven foot sidewalks around the perimeter of the building and has also provided a six foot sidewalk along Cabot Drive with a connecting path to the building.
  - b. The applicant should consider providing the MDOT R-28-J detail for ramps instead of just referencing it.
4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices. The following is a discussion of the proposed signing and striping.
  - a. Proposed on-site pavement markings are in compliance with MMUTCD standards, with the exception of the crosswalk pavement markings, which should have a gap not to exceed 2.5 times the width of the striping.
  - b. The proposed "No Parking Fire Lane" signing may be excessive, since a vehicle cannot fit adjacent to a 10' or 11' foot wide landscape island. The applicant could consider reducing the amount of signing to only

Memo

those locations where a vehicle could fit. Similarly, the applicant could consider placing "No Parking" signs along landscape islands not along the fire access route where parking should be prohibited.

- c. The proposed R1-1 signs throughout the site and along Cabot Drive should be a minimum of 30"x30".
- d. Sign posts should be 2# or 3# U-channel posts. The applicant should indicate appropriate sign post types with each sign type.
- e. The applicant should indicate sign placement locations and quantities along Cabot Drive.
- f. The applicant should consider the addition of end of road signing at the north end of Cabot Drive.
- g. The applicant should include pavement marking details for Cabot Drive.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Sterling J. Frazier, E.I.T.  
Reviewer, Traffic/ITS Engineer



Matthew G. Klawon, PE  
Manager, Traffic Engineering and ITS Engineering Services



## FAÇADE REVIEW

---



April 27, 2017

*Façade Review Status Summary:*  
**Approved, Full Compliance**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Façade Review**  
**HCCP Spec Building, PSP17-0049**  
 Façade Region: 1, Zoning District: OST

Dear Ms. McBeth;

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Faudie Architects, dated 4/10/17. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 5.15 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

<b>Façade Ordinance, Section 5.15</b>	South (Front)	West	North	East	Ordinance Maximum (Minimum)
Brick	53%	63%	77%	50%	30% Minimum
Spandrel Glass	6%	6%	2%	14%	50%
Flat Metal Panels (Roof Screens)	9%	5%	8%	10%	50%
Aluminum Composite Material (ACM)	32%	26%	13%	26%	50%

As shown above, all proposed materials are in full compliance with the Façade Ordinance.

**Recommendation** - The building exhibits well balanced proportions and composition of materials. The colored rendering provided appears to indicate carefully coordinated earth-toned colors. A sample board was not provided at the time of this review. The sample board should be provided not less than 5 days prior to the Planning Commission meeting to more fully illustrate the proposed colors and textures of materials. The dumpster enclosure is indicated to be brick to match the building. The design is in full compliance with the Façade Ordinance and will harmonize well with other buildings in the surrounding area. Approval is recommended for the reasons stated above.

**Notes to the Applicant:**

1. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".  
<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over a light blue horizontal line.

Douglas R. Necci, AIA

## FIRE REVIEW

---



April 24, 2017

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Kirsten Mellem- Plan Review Center

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Brian Burke

**City Manager**  
Pete Auger

**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Jerrold S. Hart

RE: HCCP Spec Building

PSP# 17-0049

**Project Description:**

Build a four story 210,525 building off of Cabot Dr. in section #1.

**Comments:**

Must relocate hydrant on south side of structure to the east for coverage.

**Recommendation:**

APPROVED with CONDITIONS

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

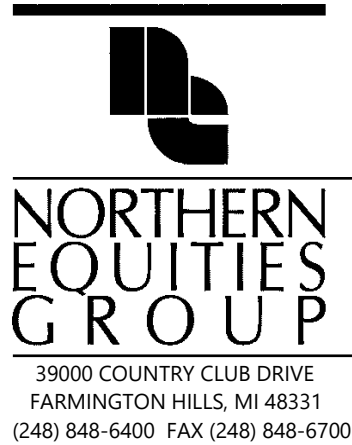
cc: file

**Novi Public Safety Administration**  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

---



**VIA ELECTRONIC MAIL**

May 4, 2017

Ms. Kirsten Mellem  
Planner  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, Michigan 48375-3024

Re: NEG Spec Building  
Site Plan #JSP17-30

---

Dear Kirsten:

The Haggerty Corridor Corporate Park great example of the private sector working with the public sector towards a common goal; bringing great companies to Novi. With almost 2,000,000 square feet of Class A office and office/research space, the Park is 99% occupied and we have no additional space for new tenants. The proposed 210,000 square foot building will be a great addition to the Park and will be a landmark building, just like Harman and Magna.

Please note the requested waivers below. Many of the same waivers have been granted by the Planning Commission for previous projects and we are not asking for anything that has not been done before.

After reviewing the various review letters received from the City and its consultants, we have the following responses (please note the item numbers used correspond to the item numbers of each original comment):

**Planning Review**

*Ordinance Deviations*

1. Planning Commission Waivers
  - a. We are requesting the waiver for covered bicycle parking. They are unsightly, block windows, add to operating costs, require constant maintenance and are no used.
  - b. We are requesting waiver for lack of required screening. We have been granted this waiver previously.
  - c. We are requesting waiver for traffic study. We have been granted this waiver previously.
  - d. We are requesting waiver for street trees in ITC easement. We have been granted this waiver previously.

- e. We are requesting waiver for parking lot perimeter trees. We have been granted this waiver previously.
- f. We are requesting waiver for parking lot landscape b/c of ITC. We have been granted this waiver previously.
2. a. We are requesting waiver to construct sidewalks on east side of road. Those sidewalks will be constructed at time of development of site. We have been granted this waiver previously.
3. a. A Note will be added to the plans regarding outside storage. We request that Planning Commission approve.  
b. We did not require a variance for this situation previously. We request that Planning Commission approve.

### *Ordinance Requirements*

1. We are requesting waiver.
2. Note will be added to the plans indicating that the use will be entirely "office".
3. Note will be added
4. Market dictates require amount of parking spaces. We would build more if we could. No office building built today, with required densities, can be parked less than 5/1000. Parking cannot be reduced.
5. Waiver is requested. See above.
6. Waiver is requested. Needs to be near loading zone. Will be not be visible from M5.
7. We cannot move the dock. Needs to be at end of buildings.
8. Dumpster detail is on sheet C-10.2
9. Installing sidewalk walk along the east side of the Cabot Road extension at this time seems to be unnecessary since the land fronting on this side of Cabot is undeveloped at this time. If installed this walk will likely be completely destroyed with the future development activities.
10. As currently designed the extension of Cabot Drive is proposed to end in a cul-de-sac, which is temporary. It is the intent that in the future when Cabot Drive is extended to the north with the future development of the parcel to the north this cul-de-sac will be removed and the road will be extended. It should also be noted that there is an existing grade change at the common property line which does not allow for the construction of the road to the north property line without the benefit of the and off-site grading easement.
11. Details will be provided.
12. See above. Road will be dedicated.
13. Noted.
14. Noted.

### **Engineering**

No comments to address. Comments regarding Final Site Plan submittal will be incorporated.



## **Landscaping**

1. Noted.
2. N/A

1. Calculations will be provided.
2. Noted.
3. Noted.

1. We have been relieved of this requirement previously. Given the grading, we will not be able to have a berm. In addition, there is no more room for trees.
2. See above. Waiver requested. Berm will be below M5.
3. Noted.

1. Noted
2. See below.
3. Waiver requested.

1. Noted.
2. Noted.
3. Agreed.
4. Agreed.
5. Agreed.
6. Noted.

1. Noted.
2. Noted.
3. Waiver is requested.

1. Noted.
2. Noted.
3. Noted.

## **Wetlands**

1. We do not believe we are impacting any wetland areas.
2. That wetland is not on our property and is not required to be indicated.
3. Agreed.
4. Agreed.
5. Agreed.
6. We do not believe a MDEQ permit is required.
7. The basins have been approved to receive the stormwater.

## **Woodland Review**

1. Noted.
2. Noted.
3. Noted.
4. We believe the health of the trees has been accurately reported.
5. Noted.
6. Noted.

7. Noted.
8. Noted.
9. Noted.
10. Applicant will not execute a conservation easements as it has not done so in the past.
11. Noted.

### **Traffic Review**

I have discussed the traffic study waiver in the past and it has been granted on every other project. Comments in 2(j)(i)-(iv) will be added to plans. The sign marking comments are noted. All of the sign locations and markings for Cabot Drive will be added.

### **Facade Review**

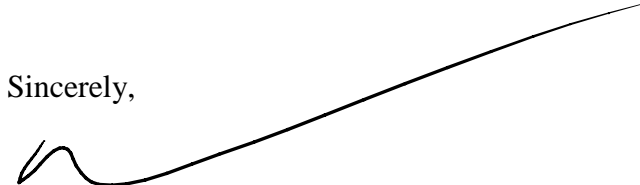
No comments to address.

### **Fire Review**

We can relocate the fire hydrant as requested.

The remaining items pertain to permits and fees therefore do not require changes. We

Sincerely,



Matthew S. Sosin  
President