



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: March 9, 2021

REGARDING: 1601 W Lake Drive, Parcel # 50-22-03-131-007 (PZ21-0002)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Patrick Ziarnik

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: Single Family Residential
Location: East of Novi Road and North of Grand River Avenue
Parcel #: 50-22-03-131-007

Request

The applicant is requesting variances from the Novi Zoning Ordinance Section 4.19.1.E(i) for the construction of a 930,25 square feet accessory building (maximum of 850 square feet allowed by code, variance of 80.28 square feet). Section 4.19.1.B to install the accessory structure in the front yard when by code accessory buildings shall not be erected in any required front yard or in any required exterior side yard. Section 4.19.G for a proposed 5-foot side yard setback (6 feet required by code, variance of 1 foot). This variance will accommodate the building of a new carport. This property is zoned Single Family Residential (R-4).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we grant the variance in Case No. **PZ21-0002**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
 - (b) The property is unique because _____.

_____.

(c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because_____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ21-0002**, sought by _____, for_____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including_____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

JAN 07 2021

CITY OF NOVI
COMMUNITY DEVELOPMENT

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$200.00</u>	
PROJECT NAME / SUBDIVISION <u>CARPORT CONSTRUCTION/GARAGE REMODEL</u>				Meeting Date: <u>3/9/21</u>	
ADDRESS <u>1601 WEST LAKE DRIVE</u>		LOT/SUITE/SPACE # <u>N/A</u>		ZBA Case #: <u>PZ 21 - 0002</u>	
SIDWELL # <u>50-22-03-131-007</u>		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY <u>WEST PARK & PONTIAC TRAIL</u>					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS <u>patziarnik2019@gmail.com</u>		CELL PHONE NO. <u>248-724-8428</u>	
NAME <u>PATRICK ZIARNIK</u>		TELEPHONE NO. <u>248-957-1932</u>		FAX NO.	
ORGANIZATION/COMPANY <u>N/A</u>		ADDRESS <u>1601 WEST LAKE DRIVE</u>		CITY <u>NOVI</u>	
STATE <u>MI</u>		ZIP CODE <u>48377</u>			
B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS		CELL PHONE NO.	
NAME		TELEPHONE NO.		FAX NO.	
ORGANIZATION/COMPANY		ADDRESS		CITY	
STATE		ZIP CODE			
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input checked="" type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>4.19 I B</u> Variance requested <u>CONSTRUCTION OF ACCESSORY BUILDING IN FRONT YARD</u>					
2. Section <u>4.19 I E(i)</u> Variance requested <u>80.28 SQ. FT. IN EXCESS OF AGGREGATE SIZE</u>					
3. Section <u>4.19 I G</u> Variance requested <u>1 FT. (5 FT. REAR YARD SETBACK; 6 FT. REQUIRED)</u>					
4. Section _____ Variance requested _____					
IV. FEES AND DRAWINGS					
A. FEES					
<input checked="" type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250					
<input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400					
<input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 			<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE

ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Pat Liavnik

Applicant Signature

11/7/2021

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED

DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Describe below:

Our lot is long (over 220'), but like most lake lots, it is very narrow (only 45' wide at its widest point). In addition, the lot is oddly shaped in that it comes to a point on the western end, with the garage and the carport we wish to construct positioned on the western end of the lot as the lot narrows. (Please refer to the plot map we've submitted for reference to the building site.)

OR

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure. **Describe below:**

In addition to the limitations imposed by the size and shape of the lot, we are on a lake lot with Walled Lake effectively beyond our "backyard". It is simply not feasible to comply with code requirements and place an accessory building in the "backyard" between the house and the lake.

OR

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties. **Describe below:**

N/A

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

We did not create this unusual lot size or shape or position the house or detached garage on the property. Both the house and the detached garage were built prior to the establishment of existing zoning requirements, and as a result, both are considered legal but non-conforming. Thus, any further construction on our lot in strict conformance with established zoning requirements is extremely difficult, if not impossible.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

Various options to store our boat in the winter exist. We could store the boat off-site somewhere, but that option is expensive and not particularly convenient. We've done that in the past and have had our boat damaged in the process. Shrinkwrapping the boat on-site is another option, but again, shrinkwrapping can be expensive and does not provide ideal cover for the boat during times of heavy snowfall. We believe the optimal scenario for us is to store the boat under a carport on our lot, and given the limitations of our lot, the only logical place to construct a carport is next to the existing garage.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

A sturdy, well-built carport that's attached to the side of our garage is proposed because we believe the garage with an attached carport with 3 open sides will look less imposing than an expanded garage with the same floor area. Ideally, a slightly larger carport would be requested to accommodate our 20' pontoon boat. However, given zoning requirements, a 20' long carport is sufficient and will allow for a 5' rear lot setback, which is only slightly less than that required by zoning requirements (i.e., 6').

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

We plan to remodel the existing garage in addition to constructing the carport to store our boat in the winter. The remodeled garage will be architecturally consistent with the house, including the same color, vinyl siding, roofing materials, etc. The proposed carport, which has been designed by a professional structural engineer, will be a very solid, well-built structure. Advanced building standards, techniques and materials (such as LVL beams and hurricane strap anchors that tie the carport rafters to the support structure) will be used in its construction. We fully expect that the final product- the remodeled garage and carport- will be aesthetically pleasing and will have a positive impact on surrounding properties and property values. Because of the location of the existing garage, the construction of an attached carport will not adversely impact anyone's view of the lake.

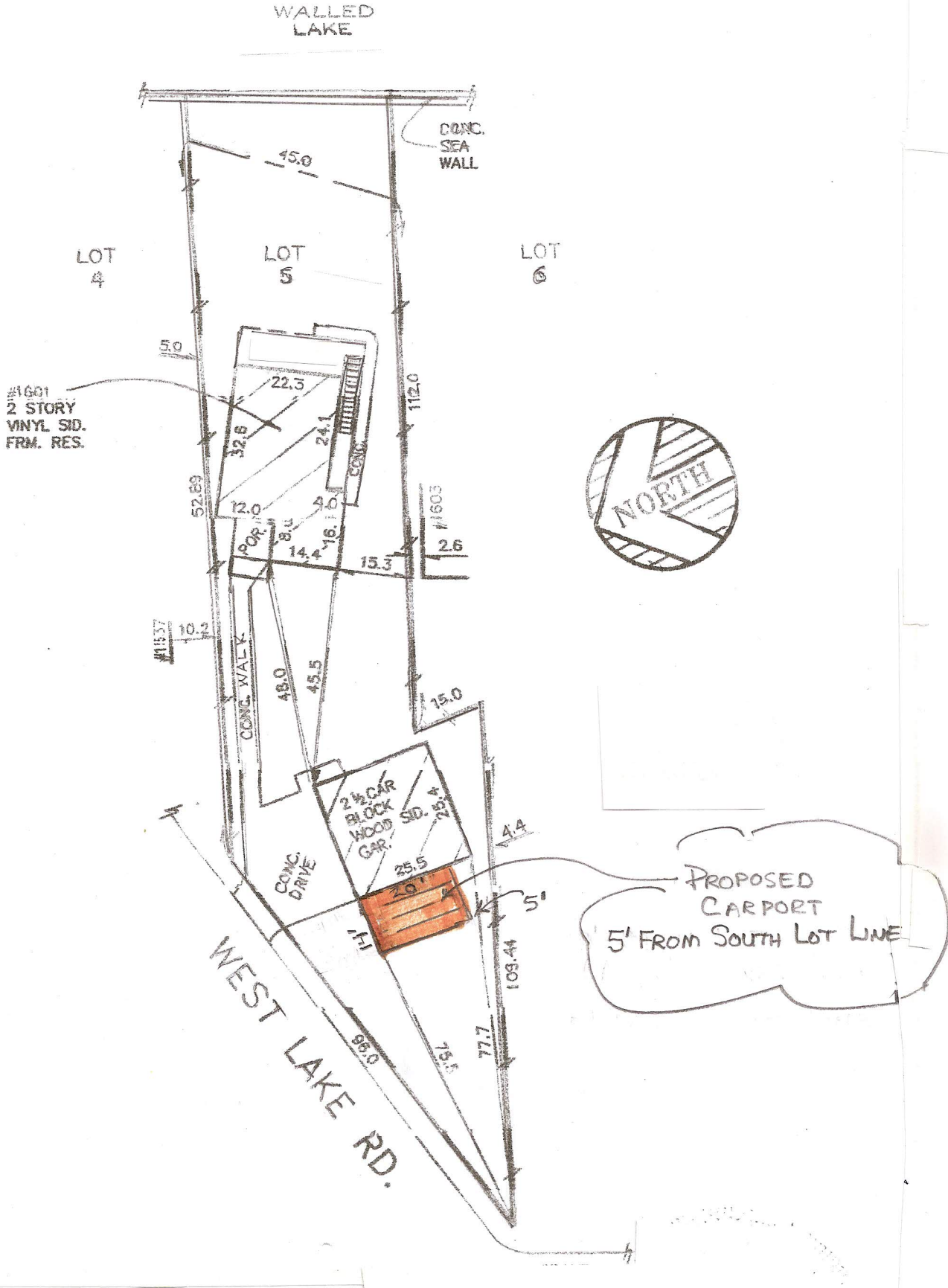
LOCATION OF PROPOSED CARPORT ON LOT

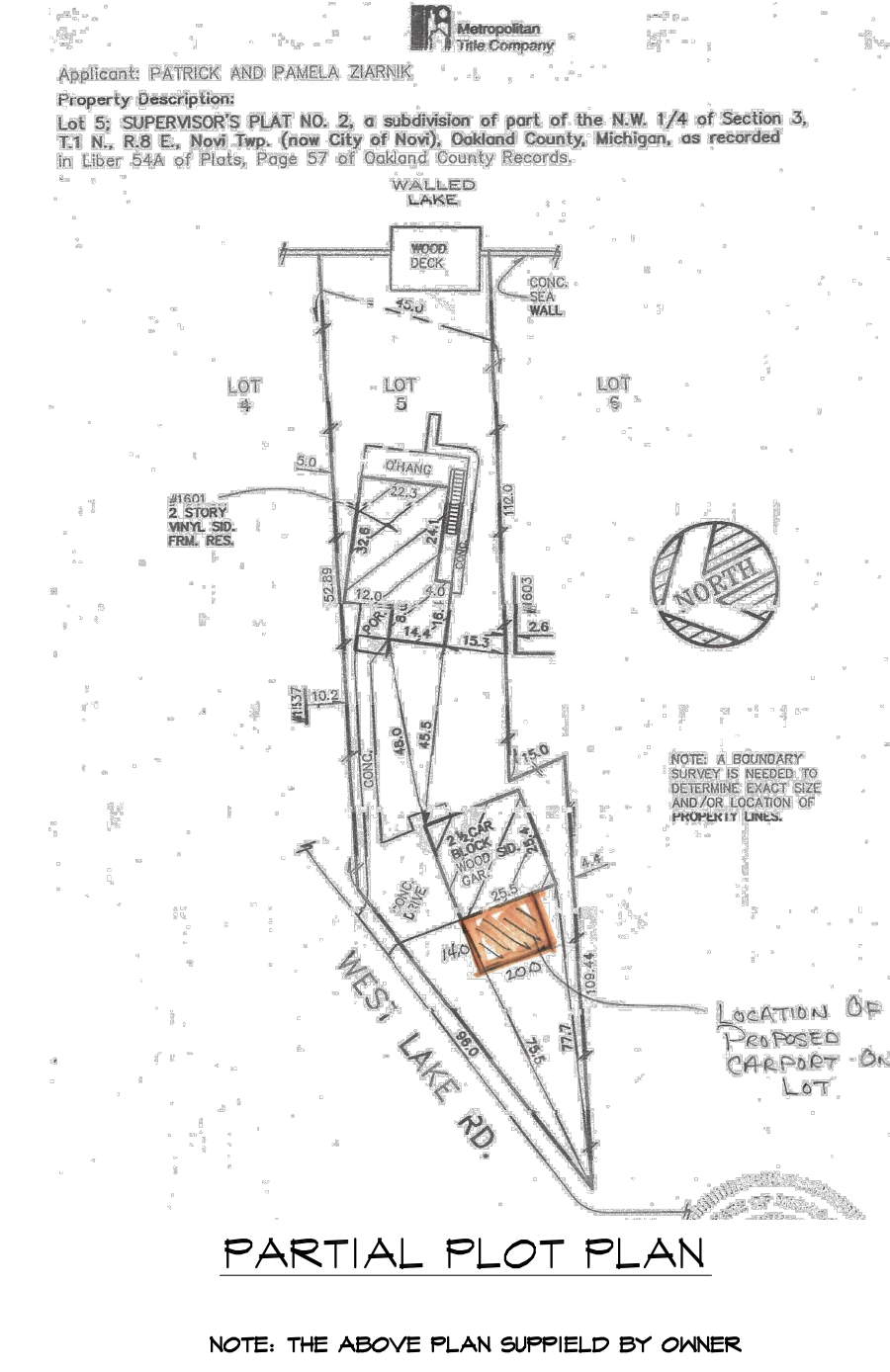
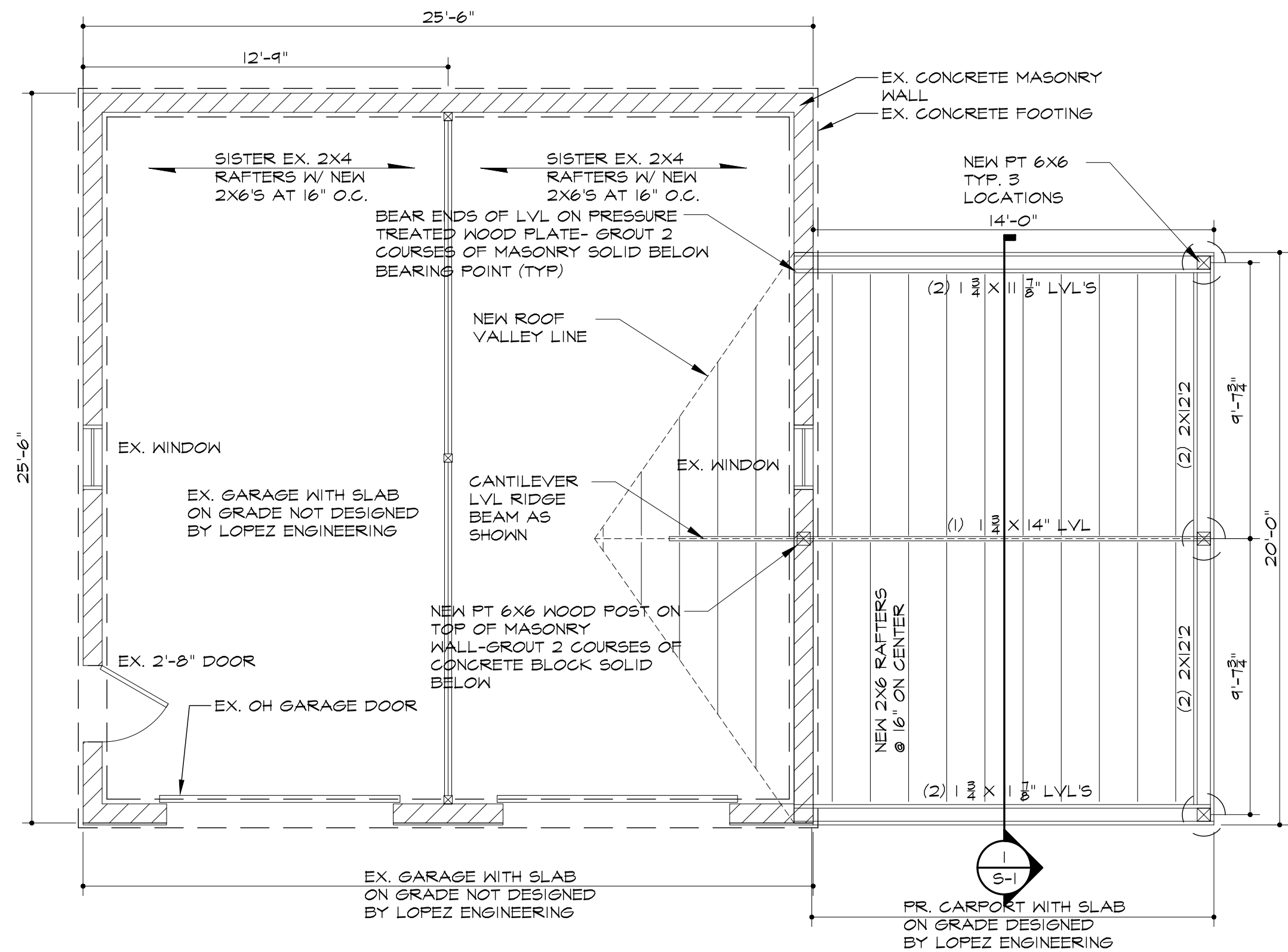


Applicant: PATRICK AND PAMELA ZIARNIK

Property Description:

Lot 5; SUPERVISOR'S PLAT NO. 2, a subdivision of part of the N.W. 1/4 of Section 3, T.1 N., R.8 E., Novi Twp. (now City of Novi), Oakland County, Michigan, as recorded in Liber 54A of Plats, Page 57 of Oakland County Records.



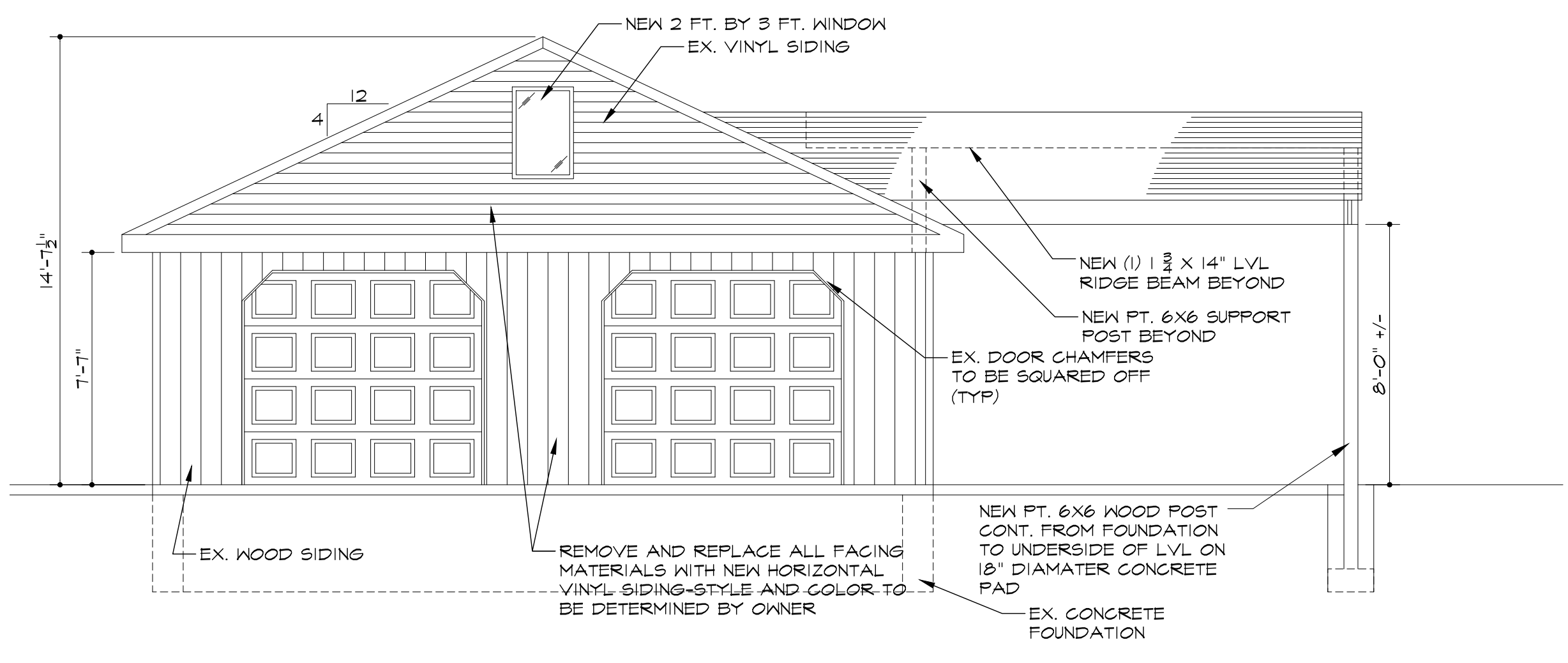


- GENERAL NOTES:**
- 1) THE FOLLOWING LOADS WERE USED IN THE DESIGN OF THE CARPORT:
 - ROOF: 30 PSF LIVE LOAD / 15 PSF DEAD LOAD
 - SNOW LOAD: BASED ON CURRENT ASCE 7, WITH THE FOLLOWING FACTORS: $P_g = 30 \text{ PSF}$ $I = 1.0$ $C_e = 1.0$ $C_t = 1.1$ DRIFTING PER SECTION 7.7
 - WIND LOAD: BASED ON CURRENT ASCE 7, WITH THE FOLLOWING FACTORS: OCCUPANCY RISK CATEGORY: 2 WIND SPEED: $V_{ult} = 115 \text{ MPH}$ $V_{base} = 40 \text{ MPH}$ EXPOSURE CATEGORY: C FOR MAIN WINDFORCE RESISTING SYSTEM EXPOSURE CATEGORY: G FOR COMPONENTS AND CLADDING INTERNAL PRESSURE COEFFICIENT: $G_c(p) = \pm 0.18$
 - 2) USE OF STRUCTURAL DRAWINGS AS ERECTION DRAWINGS BY THE CONTRACTOR IS STRICTLY PROHIBITED.
 - 4) THE STRUCTURAL DRAWINGS ARE FOR PLACEMENT AND SIZE OF STRUCTURAL COMPONENTS ONLY. O.S.H.A., D.N.R. AND SAFETY CODE REQUIREMENTS ARE DETERMINED AND PROVIDED BY THE CONTRACTOR.
 - 5) THE STRUCTURE IS DESIGNED TO BE SELF-SUPPORTING AND STABLE AFTER IT IS FULLY COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURE AND SEQUENCE, AND TO ENSURE THE SAFETY OF THE STRUCTURE AND ITS COMPONENTS DURING ERECTION. THIS INCLUDES PROVIDING TEMPORARY BRACING, SHORING, GUYS OR TIE DOWNS. TEMPORARY SUPPORTS SHALL REMAIN IN PLACE UNTIL ALL STRUCTURAL COMPONENTS ARE INSTALLED AND COMPLETED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION.
 - 6) UNLESS OTHERWISE SPECIFIED, ALL PROCEDURES AND MATERIALS SHALL MEET THE 2015 MICHIGAN RESIDENTIAL BUILDING CODE.
 - 7) ALL DIMENSIONS SHOWN ON PLAN ARE PROVIDED BY OWNER.
- CONCRETE:**
- 1) ALL CONCRETE WORK AND PLACEMENT SHALL CONFORM TO THE LATEST ACI STANDARDS AND RECOMMENDATIONS. FREE FALL SHALL NOT EXCEED 10 FEET FOR ALL CONCRETE CONTAINING HIGH-RANGE WATER-REDUCER (SUPERPLASTICIZER) AND 5 FEET FOR ALL OTHER CONCRETE. PROVIDE ELEPHANT TRUNK, TREMBLES OR OTHER PLACING EQUIPMENT OR OPENING IN SIDES OF FORMS AS REQUIRED TO LIMIT FREE FALL.
 - 2) ALL CONCRETE SHALL ATTAIN THE FOLLOWING 28 DAY COMPRESSIVE STRENGTHS:
 - FOOTINGS, PIERS, FOUNDATION WALLS: 3000 PSI
 - SLAB ON GRADE: 4000 PSI
 - EXPOSED CONCRETE: 4000 PSI WITH 6% +/- 1% ENTRAINED AIR.
 - 3) ALL CONCRETE SHALL BE PORTLAND CEMENT CONFORMING TO ASTM C150 AND AGGREGATE CONFORMING TO ASTM C33.
 - 4) NORMAL WEIGHT CONCRETE MIXES SHALL BE PROPORTIONED IN ACCORDANCE WITH SECTION 3.8 OF ACI-301 AND CHAPTER 4 OF ACI-310. THE FOLLOWING SERVES AS A BASIS FOR EACH MIX DESIGN. DEVIATIONS SHALL BE SUBSTANTIATED WITH CERTIFIED TEST DATA.
 - 5) COLUMN FOOTINGS SHALL BE CENTERED ON COLUMN CENTERLINES OR COLUMN BASE PLATE CENTERLINES UNLESS NOTED OTHERWISE.

- GENERAL WOOD NOTES:**
- 1) WOOD CONSTRUCTION SHALL BE PER AMERICAN INSTITUTE OF TIMBER CONSTRUCTION (AITC) AND NATIONAL DESIGN STANDARDS AND SPECIFICATIONS.
 - 2) ALL CARPORT FRAMING ABOVE GRADE IS TO BE SPRUCE FINE FIR #1 UNLESS NOTED.
 - 3) ALL 6X6 WOOD POST SHALL BE SOUTHERN YELLOW PINE #2
 - 4) ALL ENGINEERED WOOD LUMBER (LVL) SHALL ATTAIN THE FOLLOWING MINIMUM STRENGTHS:
 - $F_b = 2600 \text{ PSI}$
 - $E = 1900000 \text{ PSI}$
 - $F_v = 285 \text{ PSI}$
 - $F_t = 855 \text{ PSI}$
 - $F_{pmp} = 750 \text{ PSI}$
 - $F_{cpw} = 2510 \text{ PSI}$
 - 5) ALL WOOD BILL PLATES, BLOCKING STUDS, FURRING, ETC. IN CONTACT WITH CONCRETE OR CONCRETE MASONRY ARE TO BE PRESSURE TREATED.
- WOOD SHEATHING NOTES:**
- 1) ALL ROOF DIAPHRAGMS SHALL BE CONSTRUCTED OF 7/16" C-D PLYWOOD SHEATHING PANEL IDENTIFICATION INDEX OF 38 INTERIOR QUALITY WITH EXTERIOR GLUE.
 - 2) ALL WALL, ROOF SHEATHING SHALL BE STAGGERED WITH THE EXTERIOR GRAIN PERPENDICULAR TO THE FRAMING.
 - 3) ALL ROOF DIAPHRAGM SHALL BE INSTALLED ON A CONTINUOUS BEAD OF STRUCTURAL GLUE.
 - 4) NO STAPLES ARE PERMITTED IN THE FASTENING OF PLYWOOD SHEATHING.
 - 5) EACH PIECE OF APA RATED PLYWOOD SHEATHING SHALL BE STAMPED WITH AN APPROPRIATE TRADEMARK.
 - 7) CONTRACTOR SHALL NOT INSTALL SPECIES GROUP 5 PLYWOOD SHEATHING.
 - 6) ALL SHEATHING IS TO BE SUPPLIED AND INSTALLED IN 4 FT. X 8 FT. SHEETS.
- FOUNDATION NOTES:**
- 1) FOOTINGS ARE DESIGNED TO BEAR ON NATURAL MATERIAL WITH AN ALLOWABLE SOIL BEARING CAPACITY OF 3000 PSF. VERIFY BY QUALIFIED TESTING AGENCY (IN FIELD). IF SOIL OF THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE LOWERED OR ENLARGED AT THE DIRECTION OF THE ENGINEER/ARCHITECT.
 - 2) ALL SLABS SHALL BEAR ON CLEAN GRANULAR SOIL COMPACTED TO A MINIMUM OF 95% MODIFIED PROCTOR.
 - 3) WHERE NEW FOOTINGS ARE ADJACENT TO EXISTING FOUNDATIONS, PLACE BOTTOM OF NEW FOOTING AT THE SAME ELEVATION AS THE EXISTING.
 - 4) THE BOTTOM OF EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 3.5 FEET BELOW FINISHED GRADE.

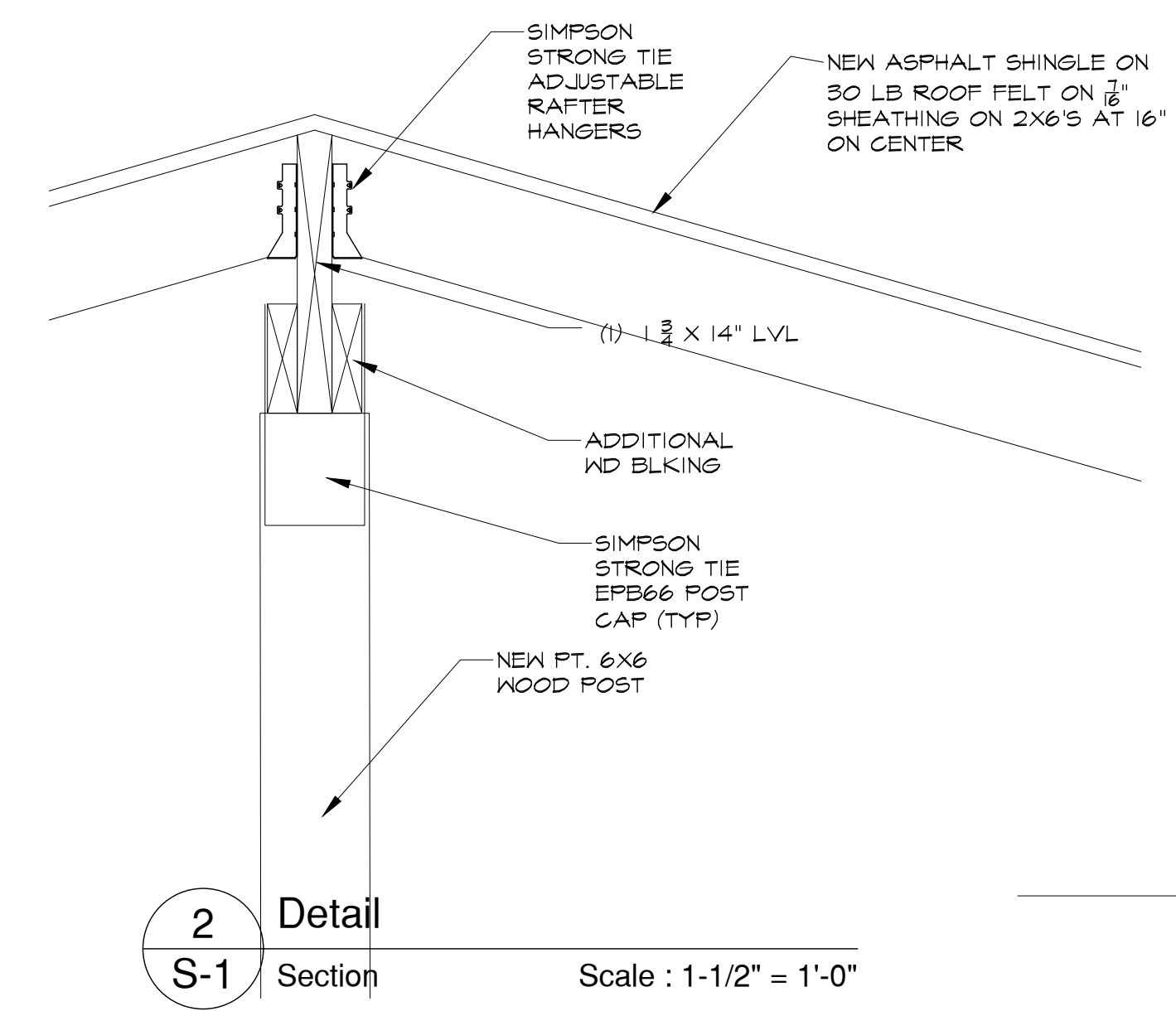
Roof Framing/Foundation Plan

Scale : 1/4" = 1'-0"



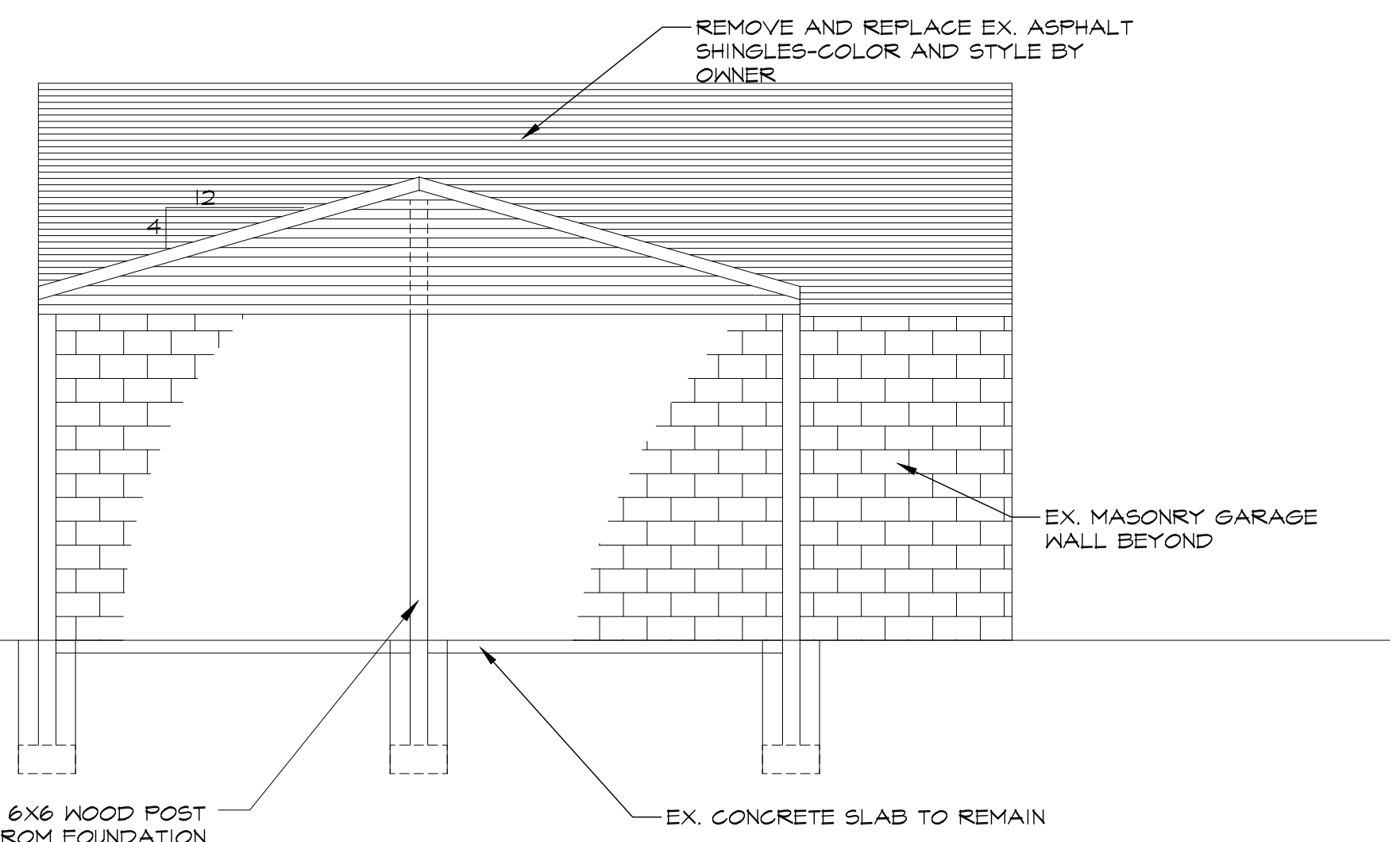
Front Elevation

Scale : 1/4" = 1'-0"



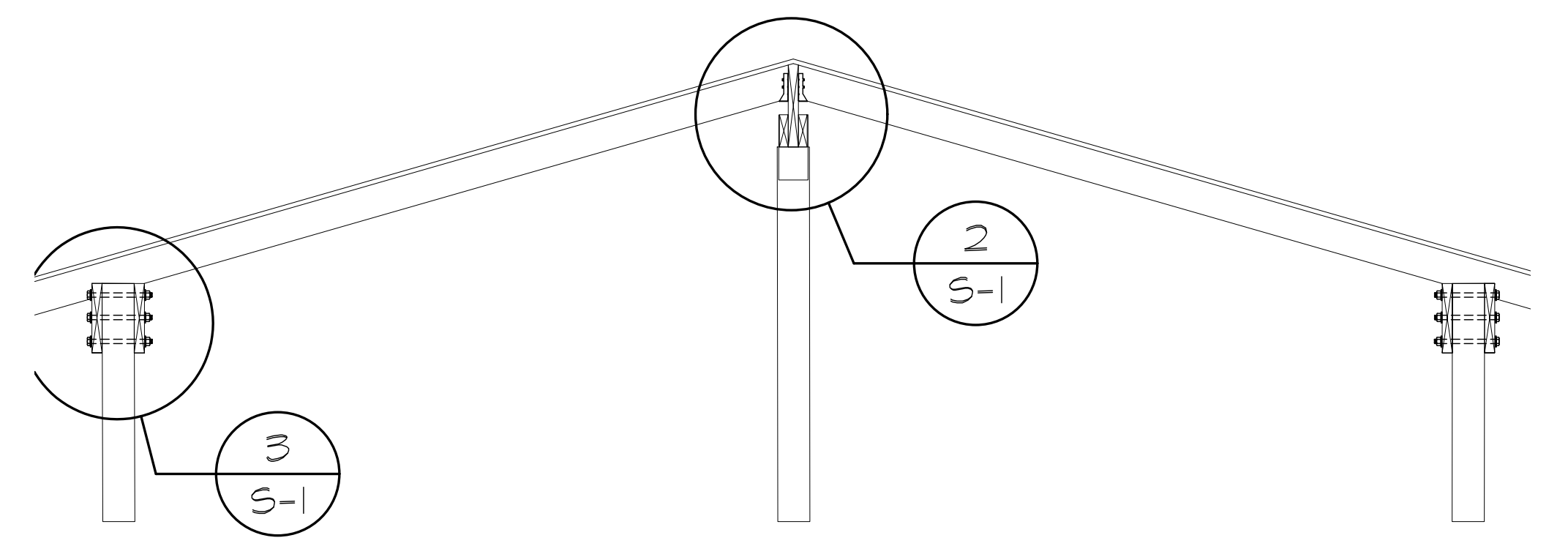
2 Detail S-1 Section

Scale : 1-1/2" = 1'-0"



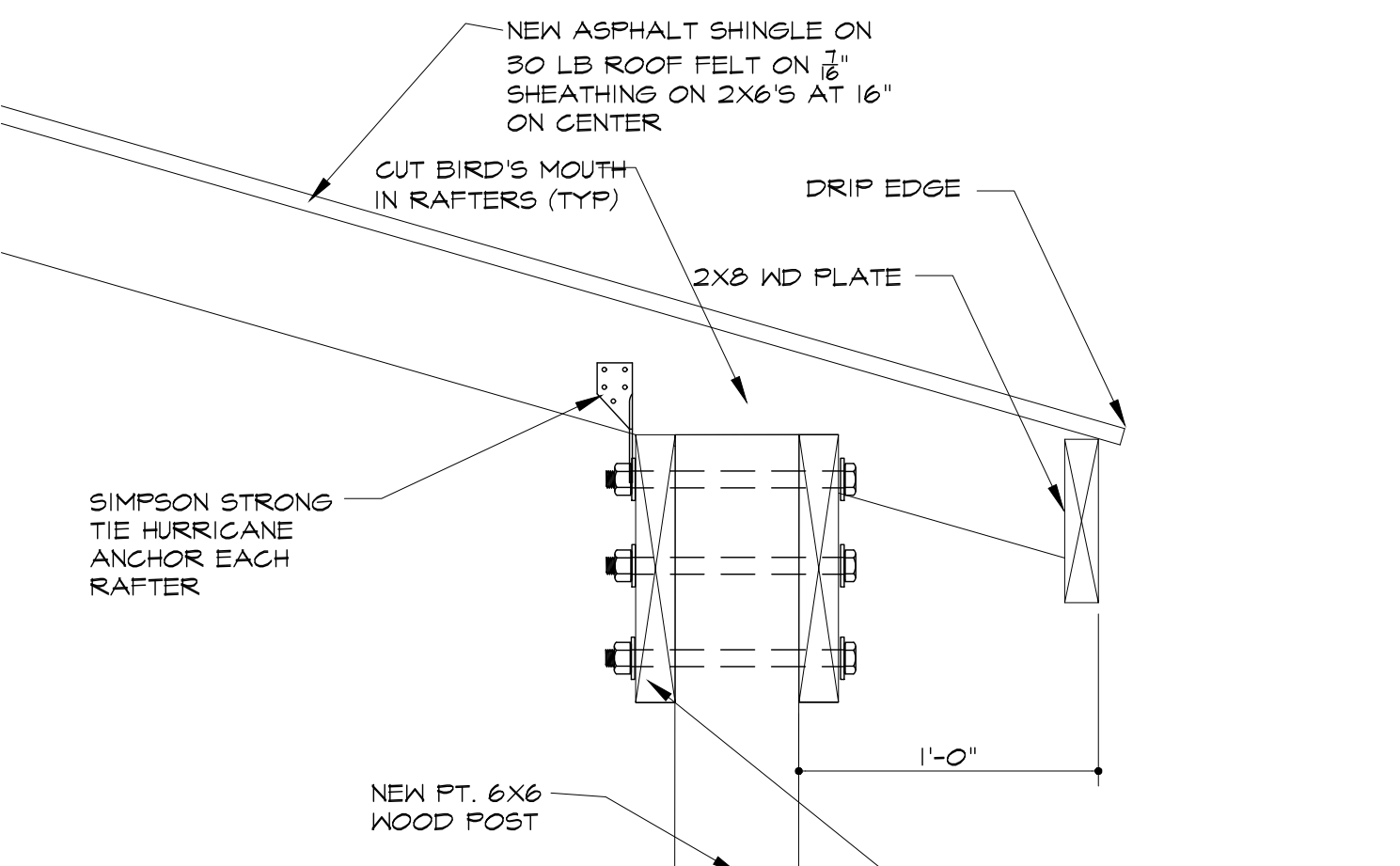
Right Elevation

Scale : 1/4" = 1'-0"



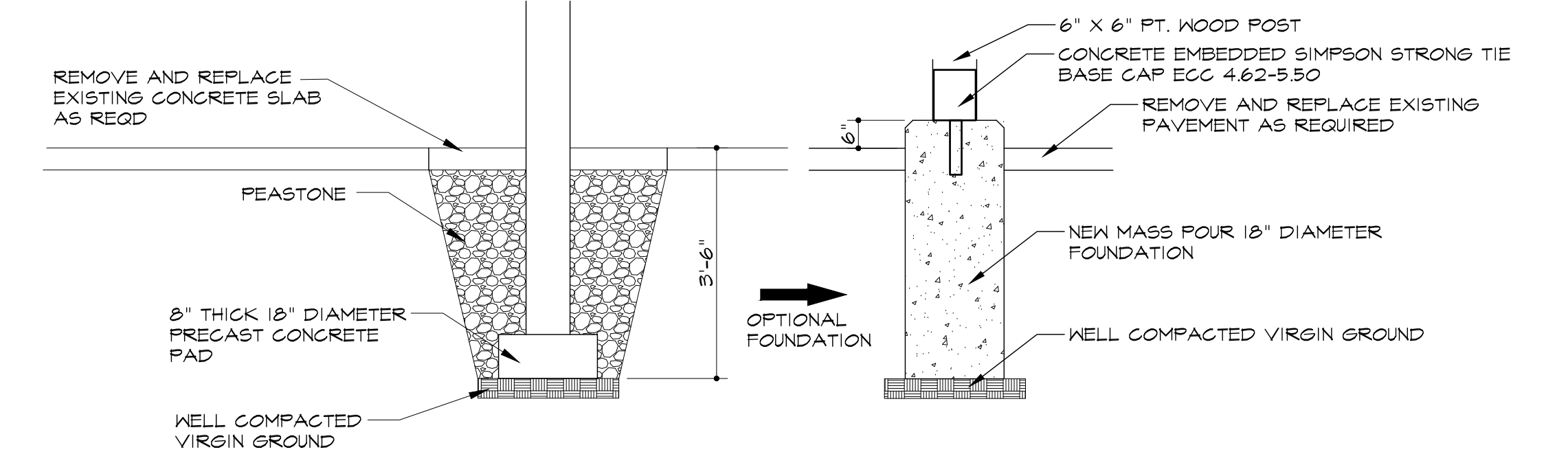
1 Detail S-1 Section

Scale : 1/2" = 1'-0"



3 Detail S-1 Section

Scale : 1-1/2" = 1'-0"



Foundation Details

Scale : 1/2" = 1'-0"

Proposed Carport Addition

location: 1601 West Lake Drive, Novi, MI 48377

drawing title: Framing Plan and Details

client: Pat Ziamnik

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CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

12/03/20	Per Owner
12/02/20	Per Owner
date:	revisions / submissions

drawn by: TJM checked by: MCW

date: December 2, 2020

Job no: 20-0400

sheet no.:

S1.0

Existing Garage with Site for Proposed Carport



TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to:

1601 W Lake Drive, Parcel # 50-22-03-131-007 (PZ21-0002)

Please note my: (Approval) (Objection) to the requested variance.

Comments:

We think it would be a nice addition to the property and ^{improve} improve the street.

(PLEASE PRINT CLEARLY)

Name: Danielle + Justin Weinger

Address: 1523 W Lake Dr

Date: 3/2/21

Zoning Board of Appeals meetings are broadcast live on Spectrum channel 13-1 and AT&T U-verse channel 99. They are also streamed live on the City's website at cityofnovi.org.

TO: CITY OF NOVI
ZONING BOARD OF APPEALS
45175 TEN MILE ROAD
NOVI, MI 48375

Please note my comments to:

1601 W Lake Drive, Parcel # 50-22-03-131-007 (PZ21-0002)

Please note my: (Approval) (Objection) to the requested variance.

Comments:

I am in full support of the requested variances and the building of the carport. It will be a nice addition for the Ziarnik's and the continual improvement of our neighborhood.

(PLEASE PRINT CLEARLY)

Name: Robb Gardner

Address: 1533 West Lake Drive

Date: 3/1/21

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