



## ARAMCO SERVICES JSP14-21

### ARAMCO SERVICES, JSP14-21

Approval of the request of Kirco Manix Construction for Preliminary Site Plan. The applicant is proposing to construct a new 75-space parking lot expansion to the east of the existing Aramco Services building, construct a new hazard materials storage building and tanks in the existing enclosure, and construct a screened explosion relief area in the existing building. The property is located at the northeast corner of Hudson Drive and Peary Court in the Beck North Corporate Park.

### REQUIRED ACTION

Approve the Preliminary Site Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	5/22/14	Items to be addressed on the Stamping Set submittal
Engineering	Approval recommended	5/21/14	Items to be addressed on the Stamping Set submittal
Traffic	Approval recommended	5/14/14	<ul style="list-style-type: none"> <li>▪ <b>Planning Commission waiver for same-side driveway spacing (105 ft. required, 29 ft. provided)</b></li> <li>▪ Items to be addressed on the Stamping Set</li> </ul>
Landscaping	Approval recommended	5/21/14	Items to be addressed on the Stamping Set submittal
Fire	Approval recommended	5/12/14	Items to be addressed on the Stamping Set submittal

### Motion sheet

#### **Approval:**

In the matter of Aramco Services, JSPC14-21, motion to approve the Preliminary Site Plan based on and subject to the following:

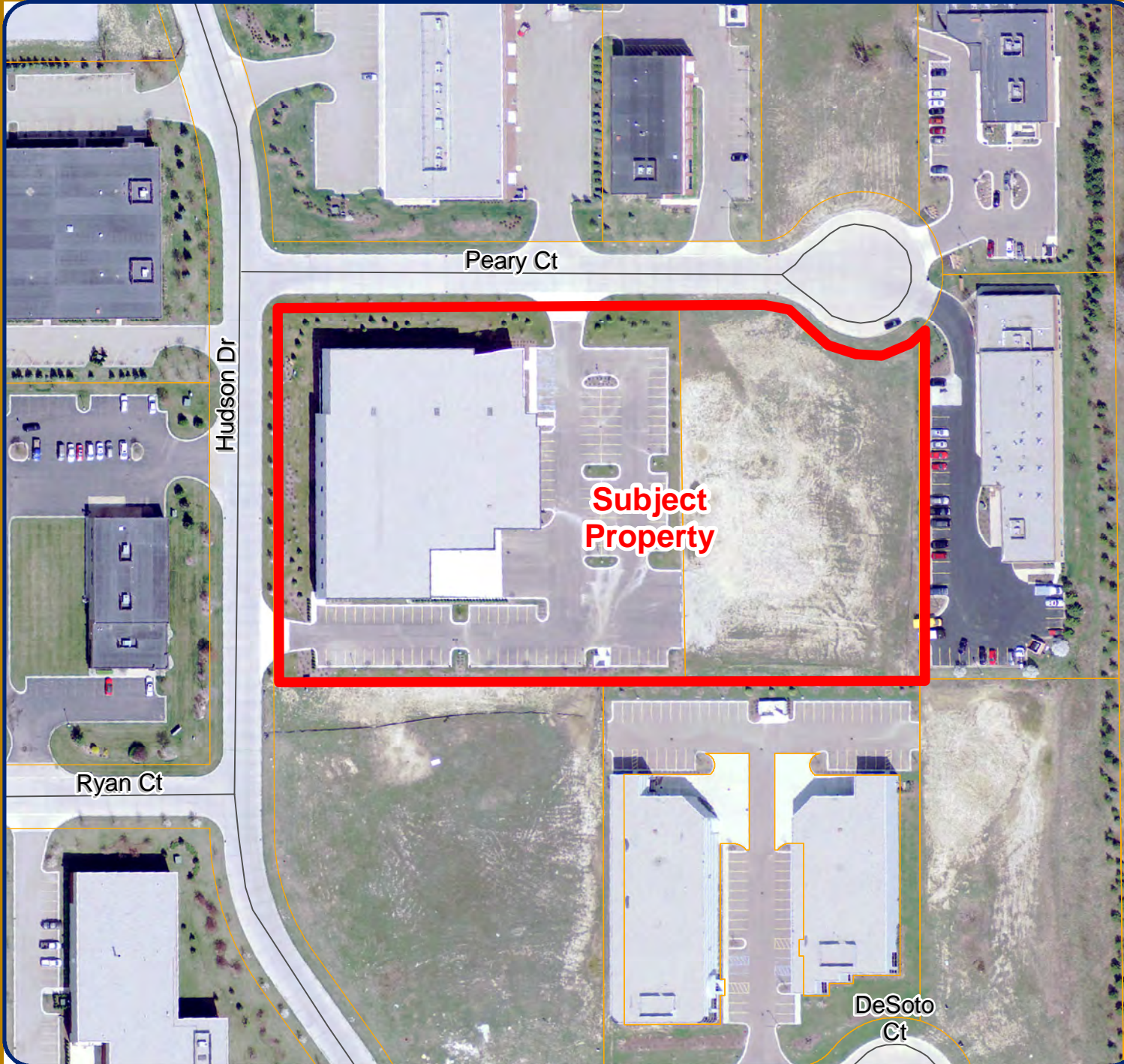
1. Planning Commission waiver for same-side driveway spacing (105 feet required, 29 feet provided), which is hereby granted; and
2. The conditions and items listed in the staff and consultant review letters being addressed on the Stamping Set.

MAPS  
Location  
Zoning

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# JSP14-21 Aramco Services

Location



## Map Legend

 Subject Property



**City of Novi**  
Planning Division  
Community Development Dept.  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sara Roediger  
Date: 06-01-14

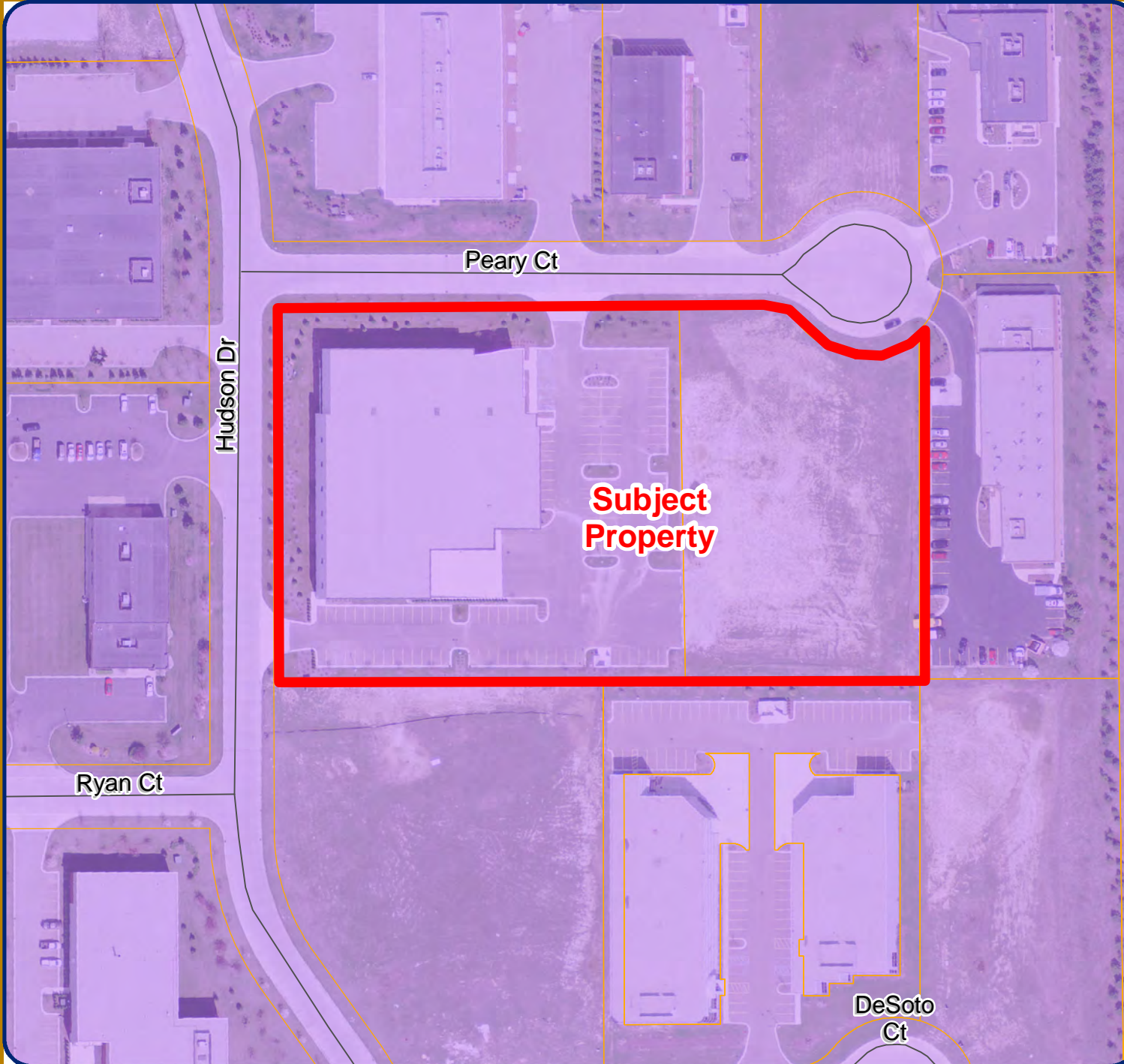
### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



# JSP14-21 Aramco Services

Zoning



## Map Legend

-  Subject Property
-  I-1: Light Industrial



**City of Novi**  
Planning Division  
Community Development Dept.  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Sara Roediger  
Date: 06-01-14

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**SITE PLAN**

(Full plan set available for viewing at the Community Development Department)

PROPERTY DESCRIPTIONS

PARCEL 1 - TAX I.D. NO. 50-22-04-378-032

UNIT 31 OF "BECK NORTH CORPORATE PARK - NOV", BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 4, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1254, MASTER DEED THEREOF RECORDED IN LEEB 21427, PAGES 238 THROUGH 294, AS AMENDED IN LEEB 40090, PAGES 778 THROUGH 783, OAKLAND COUNTY RECORDS.

PARCEL 2 - TAX I.D. NO. 50-22-04-378-033

UNIT 32 OF "BECK NORTH CORPORATE PARK - NOV", BEING A PART OF THE SOUTHWEST 1/4 OF SECTION 4, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOV, OAKLAND COUNTY, MICHIGAN, OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1254, MASTER DEED THEREOF RECORDED IN LEEB 21427, PAGES 238 THROUGH 294, AS AMENDED IN LEEB 40090, PAGES 778 THROUGH 783, OAKLAND COUNTY RECORDS.

BASED ON THE NATIONAL FLOOD INSURANCE RATE MAP #241220404R, CITY OF NOV, MICHIGAN DATED SEPTEMBER 29, 2008 THE SUBJECT PARCEL IS INDICATED AS ZONE X - "AREAS DETERMINED TO BE OUTSIDE OF THE 1% ANNUAL CHANCE FLOODPLAIN"

BENCH MARKS

- B.M.#1: ARROW ON HYDRANT LOCATED ON THE SOUTHWEST CORNER OF HUDSON DRIVE AND PEARY COURT. ELEVATION 954.41
B.M.#2: ARROW ON HYDRANT LOCATED ON THE SOUTH SIDE OF PEARY COURT AND AT THE EAST END OF CUL-DE-SAC. ELEVATION 903.73
B.M.#3: ARROW ON HYDRANT LOCATED ON THE NORTHEAST CORNER OF HUDSON DRIVE AND DESTRO COURT. ELEVATION 945.55

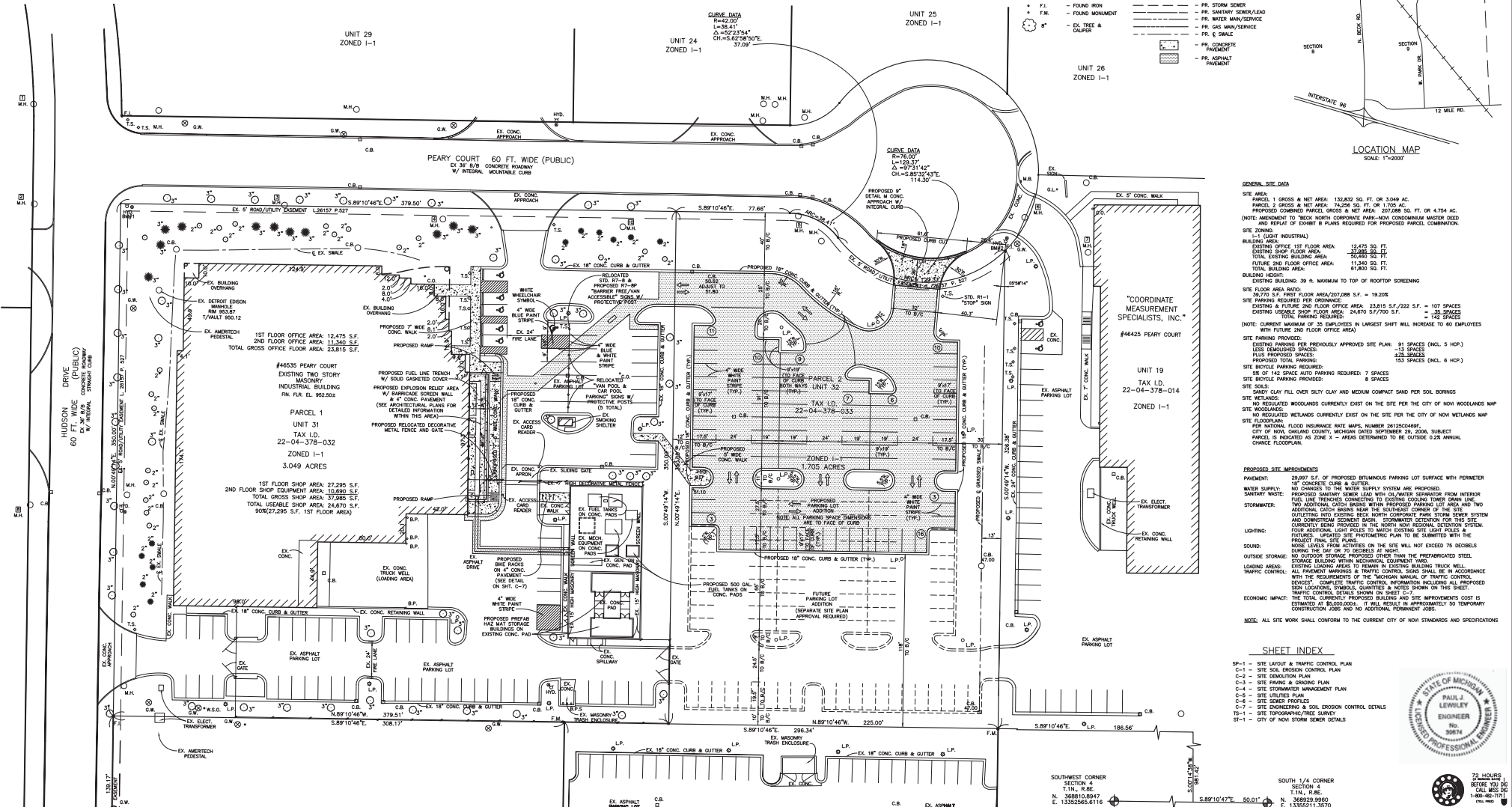
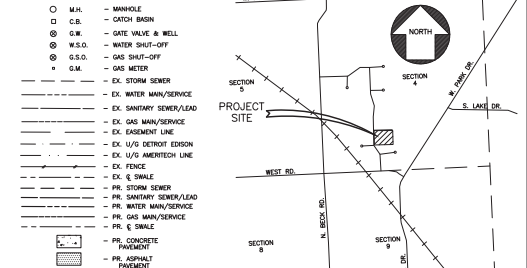
PROPOSED TRAFFIC SIGN QUANTITIES

- 1 EA. - STD. 81-1 "STOP" SIGN (24"x24")
1 EA. - RELOCATED STD. 81-1 "STOP" SIGN (24"x24")
1 EA. - RELOCATED STD. 81-1 "STOP" SIGN (24"x24")
5 EA. - RELOCATED "NO PARKING" SIGN
OR: POOL PARKING" SIGNS



LEGEND

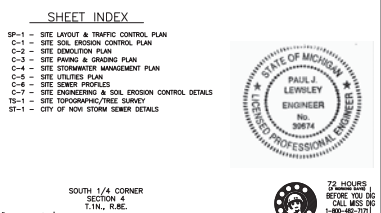
- EXISTING ELEVATION
PROPOSED ELEVATION (ELEV 100 FEET)
EXISTING CONCRETE (AND 800 FEET)
UTILITY POLE
D.S. - DOWNPOUT
L.P. - LIGHT POLE
G.W. - GUY WIRE
T.S. - TRAFFIC SIGN
B.P. - BUMPER POST
F.I. - FOUND IRON
F.M. - FOUND MONUMENT
EX. TREE & CLUSTER



GENERAL SITE DATA
PARCEL 1 GROSS & NET AREA: 132,832 SQ. FT. OR 3.049 AC.
PARCEL 2 GROSS & NET AREA: 74,256 SQ. FT. OR 1.705 AC.
PROPOSED COMBINED PARCEL GROSS & NET AREA: 207,088 SQ. FT. OR 4.754 AC.
(SITE AMENDMENT TO "BECK NORTH CORPORATE PARK-NOV CONDOMINIUM MASTER DEED AND REPEAT OF EXHIBIT B PLANS REQUIRED FOR PROPOSED PARCEL COMBINATION")

PROPOSED SITE IMPROVEMENTS
PAVEMENT: 20,000 S.F. OF PROPOSED BITUMINOUS PARKING LOT SURFACE WITH PERMETER 18" CONCRETE CURB & GUTTER.
WATER SUPPLY: NO CHANGES TO THE WATER SUPPLY SYSTEM ARE PROPOSED.
SANITARY WASTE: PROPOSED SANITARY SENSER LEAD WITH OIL/WATER SEPARATOR FROM INTERIOR FUEL LINE FREESIES CONNECTION TO EXISTING COUPLER UNDER DRAIN LINE.
STORMWATER: TWO ADDITIONAL CATCH BASINS WITH PROPOSED PARKING LOT AREA AND TWO ADDITIONAL CATCH BASINS BEHIND THE SOUTHWEST CORNER OF THE SITE.
LIGHTING: FOUR ADDITIONAL LIGHT POLES TO MATCH EXISTING SITE LIGHT POLES & FOOTCANDLES.
TRAFFIC CONTROL: COMPLETE TRAFFIC CONTROL INFORMATION INCLUDING ALL PROPOSED TRAFFIC CONTROL DETAILS SHOWN ON SHEET C-1.
ECONOMIC IMPACT: CONSTRUCTION COSTS AND SITE IMPROVEMENTS COST IS ESTIMATED AT \$8,000,000. IT WILL RESULT IN APPROXIMATELY 50 TEMPORARY CONSTRUCTION JOBS AND NO JOBSITE PERMANENT JOBS.

PROPOSED PARKING LOT ADDITION FOR THE ARAMCO RESEARCH & DEVELOPMENT CENTER IN SECTION 4 OAKLAND COUNTY MICHIGAN



Client information table including: Client: ACS 3330 UNIVERSITY AVE, SUITE 200 MADISON, WISCONSIN 53705-2167; Project Name: ARAMCO RESEARCH & DEVELOPMENT CENTER; Project No: 1412; Date Issued: 04/21/14; Sheet: SP-1.

## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

May 22, 2014

## Planning Review

Aramco Services

JSP14-21

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### Petitioner

Kirco Manix Construction

### Review Type

Preliminary and Final Site Plan

### Property Characteristics

- Site Location: Northeast corner of Hudson Drive and Peary Court (Section 4)
- Site School District: Walled Lake Consolidated Schools
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, South East, and West: I-1
- Site Use(s): Existing R&D office building and vacant land
- Adjoining Uses: North, East, and West: Various office/industrial, South: vacant land
- Site Size: 4.75 acres (combined)
- Plan Date: 04-21-14

### Project Summary

The applicant is proposing to construct a new 75-space parking lot expansion to the east of the existing Aramco Services research and development and office building, construct a new hazard materials storage building and tanks in the existing enclosure, and construct a screened explosion relief area in the Beck North Corporate Park.

### Recommendation

Approval of the ***Preliminary Site Plan and Final Site Plan is recommended.*** There are minor Planning and Engineering related items that need to be addressed at the time of Stamping Set submittal in addition to a **Planning Commission variance request that must be approved for the same side driveway location.**

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.

1. Sidewalks: As noted in the Engineering review, **staff recommends the installation an internal sidewalk between the proposed parking lot and the building to provide a more direct pedestrian access.**
2. Lighting Review: **A photometric plan has not been submitted. A plan that meets ordinance requirements must be submitted with the Stamping Set submittal.**
3. Economic Information: The applicant has the estimated the building and site improvements to be roughly \$5,000,000, with 50 temporary construction jobs.



4. Master Deed Amendment: A lot combination is required in order to assemble the proposed lot for development purposes. This will require a change to the exhibit B of the existing Master Deed for the property. **Plans cannot be stamped approved until the master deed changes are submitted for review by City staff and the City attorney's office.**

#### Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **with the Stamping Plan submittal.**

#### Stamping Set Approval

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval. Plans addressing the comments in all of the staff and consultant review letters should be **submitted electronically for informal review and approval prior to printing Stamping Sets.**

#### Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org) for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

#### Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni (248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)).

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [sroediger@cityofnovi.org](mailto:sroediger@cityofnovi.org).



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Sara Roediger, AICP – Planner

**Planning Review Summary Chart**

Aramco Services Company JSP 14-21

Preliminary/Final Site Plan Review

Plan Date: 04-21-14

Item	Proposed	Meets Requirements?	Comments
<b>Master Plan</b> Industrial Research Development Technology	No change	Yes	
<b>Zoning</b> I-1 Light Industrial District	No change	Yes	
<b>Use</b> Uses listed in Section 1901 & 1902	Research & development with accessory office	Yes	Parking lot expansion, new haz mat storage building & tanks, & screened explosion relief area at the existing facility
<b>Max. Building Height</b> (Sec. 2400) 40 ft.	39 ft. 2 in. to top of rooftop screening	Yes	
<b>Min. Building Setbacks</b> (Sec. 2400)			
a. Front (north): 40 ft.	40+ ft. (building) 185+ ft. (enclosure)	Yes	
b. Exterior Side (west): 40 ft.	40+ ft. (building) 300+ ft. (enclosure)	Yes	
c. Interior Side (east): 20 ft.	135+ ft. (building) 20+ ft. (enclosure)	Yes	
d. Rear (south): 20 ft.	75+ ft. (building) 50+ ft. (enclosure)	Yes	
<b>Min. Parking Setbacks</b> (Sec. 2400)			
a. Front (north): 40 ft.	40 ft.	Yes	
b. Exterior Side (west): 40 ft.	40 ft.	Yes	
c. Interior Side (east): 10 ft.	20 ft.	Yes	
d. Rear (south): 10 ft.	10 ft.	Yes	
<b>Number of Parking Spaces</b> (Sec. 2505) <u>Office = 23,815 sq. ft.</u> 1 space per 222 sq. ft. of GLA = 107 spaces  <u>Industrial/ Research = 24,670 sq. ft.</u> 1 space for each 700 sq. ft. of usable floor area OR 5 plus 1 for each 1 ½ employees in the largest working shift (35), whichever is greater = 35 spaces OR 28 spaces  107 spaces + 35 spaces = <b>142 spaces required</b>	155 spaces provided	Yes	

Item	Proposed	Meets Requirements?	Comments
<p><b>Parking Space &amp; Maneuvering Lane Dimensions</b> (Sec. 2506)  9 ft. x 19 ft. parking spaces with 24 ft. drives</p> <p>9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations &amp; along landscaping</p>	<p>9 ft. x 19 ft. interior spaces with 24 ft. drives</p> <p>9 ft. x 17.5 ft. perimeter spaces along 7 ft. interior sidewalks &amp; landscaping</p>	<p>Yes</p>	
<p><b>Barrier Free Spaces</b> (ADA standard)  5 spaces, including 1 van accessible space</p>	<p>6 barrier free spaces (3 van accessible)</p>	<p>Yes</p>	
<p><b>Barrier Free Space Dimensions</b> (Barrier Free Code)  8 ft. wide with an 8 ft. wide access aisle for van accessible</p>	<p>8 ft. wide with an 8 ft. wide access aisle for van accessible</p>	<p>Yes</p>	
<p><b>Barrier Free Signs</b> (Barrier Free Design Graphics Manual)  1 barrier free sign per space</p>	<p>1 barrier free sign per space</p>	<p>Yes</p>	
<p><b>Loading Spaces</b> (Sec. 2507.3 &amp; 1905.4.b)  Must be screened &amp; located in rear or side yard if the site is adjacent to an industrial district</p>	<p>Existing loading area located in the interior side yard</p>	<p>Yes</p>	
<p><b>Accessory Structure Setback- Dumpster</b> (Sec. 2503)  Located in the rear or interior side yard</p> <p>Min. 10 ft. from any building unless structurally attached &amp; setback the same as parking from all property lines</p>	<p>Existing dumpster &amp; enclosure to remain</p>	<p>Yes</p>	
<p><b>Dumpster Requirements</b> (City Code Sec. 21-145)  Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown</p> <p>Screening should be 1 foot taller than dumpster</p>	<p>Existing dumpster &amp; enclosure to remain</p>	<p>Yes</p>	
<p><b>Sidewalks and Pathways</b> (Sub. Ord. Sec. 4.05, Bicycle &amp; Pedestrian A)  5 to 8 ft. wide sidewalks/pathways shall be constructed along all major thoroughfares &amp; collectors per DCS, but not along industrial service streets per Subdivision Ordinance</p> <p>Building exits must be connected to sidewalk system or parking lot</p>	<p>Consistent with the existing office park, sidewalks are not provided</p> <p>Building entrances need to be better connected to parking lot</p>	<p>No</p>	<p>As noted in the Engineering review, staff recommends an internal sidewalk between the proposed parking lot &amp; the building to provide a more direct pedestrian access</p>

Item	Proposed	Meets Requirements?	Comments
<p><b>Bicycle Parking Facilities</b> (Sec. 2526)  5% of required auto parking spaces  142 x 0.05 = <b>7 bicycle parking spaces</b></p> <p>Located along the building approach line &amp; easily accessible from the building entrance</p> <p>Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance</p> <p>Be accessible via a paved 6 ft. route &amp; separated from auto facilities</p> <p>4 ft. maneuvering lane with a 6 ft. parking space width &amp; a depth of 2 ft. for single spaces &amp; 2.5 ft. for double spaces</p>	<p>8 parking spaces meeting requirements</p>	<p>Yes</p>	
<p><b>Outdoor Storage Tanks</b> (Sec. 1905.1.b)  Outdoor storage tanks permitted up to 600 gallons each with a masonry screen wall that is at least 1 ft. taller than the tanks</p>	<p>Two 500 gallon storage tanks proposed within existing 15 ft. screen wall</p>	<p>Yes</p>	
<p><b>Exterior Lighting</b> (Section 2511)  Photometric plan and exterior lighting details needed at final site plan</p>	<p>4 new light poles to match existing</p>	<p><b>Information to be provided</b></p>	<p><b>Refer to the Lighting Review Summary Chart</b></p>
<p><b>Economic Impact</b>  Total cost of the proposed building &amp; site improvements</p> <p>Number of anticipated jobs created (during construction &amp; after building is occupied, if known)</p>	<p>A note on Sheet SP-1 indicates building &amp; site improvements estimated at \$5,000,000, with 50 temporary construction jobs created</p>	<p>Yes</p>	
<p><b>Lot Combination/Master Deed Amendment</b>  The lots should be combined to assemble the two lots into one for development purposes</p>	<p>Not provided</p>	<p><b>Information to be provided</b></p>	<p><b>The Master Deed will need to be amended to reflect the new unit numbers and boundaries</b></p>
<p><b>Signs</b> (Chpt. 28)  Signs are not regulated by the Planning Division or Planning Commission</p>	<p>None shown</p>	<p>If a sign is proposed, contact Jeannie Niland at 248.347.0438 or <a href="mailto:jniland@cityofnovi.org">jniland@cityofnovi.org</a> for information</p>	



**Lighting Review Summary Chart**

Required	Meets Requirements?	Comments
<b>Intent</b> (Sec. 2511.1) Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Information to be provided	
<b>Lighting Plan</b> (Sec. 2511.2.a.1) Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Information to be provided	
<b>Lighting Plan</b> (Sec.2511.2.a.2) Specifications for all proposed & existing lighting fixtures: <ul style="list-style-type: none"> <li>▪ Photometric data</li> <li>▪ Fixture height</li> <li>▪ Mounting &amp; design</li> <li>▪ Glare control devices</li> <li>▪ Type &amp; color rendition of lamps</li> <li>▪ Hours of operation</li> <li>▪ Photometric plan</li> </ul>	Information to be provided	
<b>Required Conditions</b> (Sec. 2511.3.a) Height not to exceed maximum height of zoning district (40 ft.) or 25 ft. where adjacent to residential districts or uses	Information to be provided	
<b>Required Conditions</b> (Sec. 2511.3.b) <ul style="list-style-type: none"> <li>▪ Electrical service to light fixtures shall be placed underground</li> <li>▪ Flashing light shall not be permitted</li> <li>▪ Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site’s hours of operation</li> </ul>	Information to be provided	
<b>Required Conditions</b> (Sec.2511.3.e) Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Information to be provided	
<b>Required Conditions</b> (Sec. 2511.3.f) Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Information to be provided	
<b>Min. Illumination</b> (Sec. 2511.3.k) <ul style="list-style-type: none"> <li>▪ Parking areas: 0.2 min</li> <li>▪ Loading &amp; unloading areas: 0.4 min</li> <li>▪ Walkways: 0.2 min</li> <li>▪ Building entrances, frequent use: 1.0 min</li> <li>▪ Building entrances, infrequent use: 0.2 min</li> </ul>	Information to be provided	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 2511.3.k) When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Information to be provided	
<b>Cut off Angles</b> (Sec. 2511.3.1.2) All cut off angles of fixtures must be 90° when adjacent to residential districts	Information to be provided	

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

May 21, 2014

## Engineering Review Aramco Parking Lot Expansion

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### Applicant

KIRCO MANIX CONSTRUCTION, LLC

### Review Type

Preliminary/Final Site Plan

### Property Characteristics

- Site Location: Peary Court in Beck North Corporate Park
- Site Size: 1.705 acres
- Plan Date: 4/21/14

### Project Summary

- Construction of a new 75-space parking lot expansion to the east of the existing site.
- A new sanitary lead will be constructed from the existing building to the existing sanitary sewer lead serving the fuel tank and haz-mat area.
- Storm water would be collected by a single storm sewer collection system and discharged into the storm sewer on Peary Court and ultimately to the existing storm water management system for Beck North Corporate Park.

### Recommendation

**Approval of the Final Site Plan is recommended, with items to be addressed at Stamping Set submittal.**

### Comments:

The (Revised) Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

#### General

1. It is our understanding that the two parcels will be combined prior to construction. If that parcel combination does not occur, the applicant must provide cross-access easements and storm sewer easements for review prior to construction.

Sanitary Sewer

2. The applicant's engineer has stated in the April 21, 2014 response letter that the oil/gas separator proposed for the sanitary sewer lead has been discussed with personnel from Oakland County Water Resources Commissioner's office and the proposed plan was acceptable.

Paving & Grading

3. The bike parking is being relocated to a new location within the gated area of the site. The detail shown on sheet C-7 should be revised to show a more accurate dimension from the concrete walk.
4. A pedestrian sidewalk should be provided between the new parking area and the existing parking area to provide more direct pedestrian access from the proposed parking lot to the existing building.
5. Additional detail is required to show how the proposed drive approach will be constructed relative to Peary Court. While the plans appear to show a Type M approach, there is little detail to show how that would be constructed.
6. Provide spot grades at the corners of the proposed pre-fab Haz Mat building to demonstrate positive drainage.
7. Provide additional spot grades on the proposed sidewalk near the existing industrial building as detailed on sheet C-7.
8. The proposed use of interior landscape islands as end islands in the proposed parking lot is acceptable as an interim measure until the future expansion of the parking lot occurs because the applicant has provided a 27-foot wide maneuvering lane to better accommodate vehicles.
9. Remove the City of Novi Pavement Details sheet from the plan set. The site specific details may conflict with this sheet and many do not apply to this site plan.

**The following must be submitted with the Revised Final Site Plan:**

10. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**

**The following must be addressed prior to construction:**

11. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
12. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$160.25 must be paid to the City Treasurer's Office.



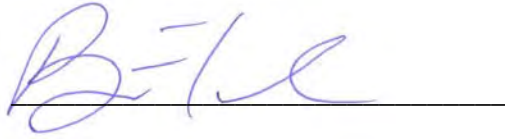
13. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
14. Construction inspection fees in the amount of \$9,931.78 must be paid to the City Treasurer's Office.
15. Storm water Detention Fees in the amount of \$3,299.67 must be paid at the City Treasurer's Office.
16. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Water & Sewer Department at 248-735-5642 to determine the amount of these fees.
17. A street sign financial guarantee in the amount of \$800 (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office. Signs must be installed in accordance with MMUTCD standards.
18. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
19. A permit for work within the right-of-way must be obtained from the City of Novi. The application is available from the City Engineering Department or on the City website and may be filed once the Final Site Plan has been submitted. Please contact the Engineering Department at 248-347-0454 for further information. Only submit the cover sheet, standard details and plan sheets applicable to the permit.

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:**

20. An incomplete site work performance guarantee for this development (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance must be posted prior to TCO.
21. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Department for an informal review and approval.

Please contact Brian Coburn at (248) 735-5632 with any questions.



cc: Sara Roediger, Community Development Department  
Michael Andrews, Water & Sewer Dept.  
Sheila Weber, Treasurer's  
T. Meadows, C. Sapp; Spalding DeDecker

TRAFFIC REVIEW

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May 14, 2014

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

**SUBJECT: Aramco Research & Development Center, JSP14-0021, Traffic Review of Preliminary and Final Site Plan, PSP14-0079 and PSP14-0069**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

### **Recommendation**

We recommend approval of the preliminary and final site plan, subject to the items shown below in **bold** being satisfactorily addressed in the stamping set. *Prior to producing multiple copies for stamping, the applicant should email us revised sheets for our timely informal review and approval.*

### **Site Description**

What is the applicant proposing?

1. The applicant is proposing to construct a new 75-space parking lot east of the existing parking lot, with connections to both the existing lot and the cul-de-sac turnaround of Peary Court. Future expansion of the new lot to the south is anticipated and shown in dashed lines (provided for informational purposes only).
2. To meet the ADA requirement for barrier-free spaces, two existing mid-lot spaces nearer the building would be converted to one, 9-ft-wide barrier-free space and one, 9-ft-wide access aisle, resulting in a net loss of one parking space in this part of the lot. Six parking spaces are to be removed along the building's east façade, and another four spaces will be lost in providing the connection between the new and existing lots. **It appears that a total of 11 existing parking spaces will be "demolished," not 12 as claimed under General Site Data on sheet SP-1; this needs to be checked and corrected as necessary.**

### **Trip Generation**

How much new traffic would be generated?

3. The parking lot expansion is apparently being proposed to accommodate future second-floor office area of 11,340 s.f. On average, that amount of R&D space can be expected to generate 92 one-way vehicular trips per day, 14 in the AM peak hour (12 entering and 2 exiting) and 12 in the PM peak hour (2 entering and 10 exiting).



### Vehicular Access Locations

Do the proposed driveway locations meet City spacing standards?

4. No. The proposed new access drive on the cul-de-sac bulb would be only 29 ft from the existing drive to the northeast (near-back-of-curb to near-back-of-curb). Design and Construction Standards Sec 11-216(d) requires a minimum same-side driveway spacing of 105 ft for a “road speed” of 25 mph (the prima facie speed limit on Peary Court). **A same-side driveway spacing waiver by the Planning Commission is therefore required.**

### Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

5. No.

### Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

6. No. Given the site’s I-1 zoning, the new access drive must be at least 32 ft wide (back-to-back at the interior ends of the tapers), per DCS Fig IX.1 (the standard is 36 ft, but 32 ft has been approved elsewhere in Beck North). The proposed drive is dimensioned 30 ft wide but scales 31 ft wide. **The drive width must be revised to be both drawn and dimensioned 32 ft wide.**
7. **The size of the proposed new STOP sign has not been specified but should be listed under Proposed Traffic Sign Quantities (on sheet SP-1) as 24” x 24”** (the size in place at the other site drive on Peary Court).

### Pedestrian Access

Are pedestrians safely and reasonably accommodated?

8. As best as can be expected, given the lack of sidewalks in Beck North.

### Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

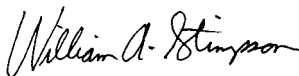
9. The end islands near the south end of the parking lot would have semi-circular ends with a 5.5-ft back-of-curb radius, and the adjacent end aisle would be 27 ft wide to face of curb. Per Sec 2506.13 of the Zoning Ordinance, an end island’s main circulating radius shall “generally” be 15 ft; here, however, it would effectively be 8.5 ft (5.5 ft + 3 ft, the latter amount being the amount by which the end near-term end aisle width would exceed the City standard of 24 ft). If and when the parking lot expansion now proposed is extended further south as shown by the dashed lines, these islands would revert to interior landscape islands and be completely acceptable. To accept these islands prior to further parking lot expansion is to accept a deficient design condition, but requiring a later island reconstruction may be considered impractical and an undue hardship. City planning staff should decide this matter.
10. **A plan note should be added ensuring that the width of end parking spaces is to be referenced to the face (not back) of curb.**

11. The proposed first-floor building expansion would replace an existing 25-ft curb return with a 5-ft curb return. The larger existing return was originally required to facilitate trucks backing from north to west toward the overhead door just around the corner and 64 ft further west. As long as the applicant is satisfied that any large trucks needing to reach that door can do so strictly from the south, we have no problem with this change.
  
12. The Standard Parking Island Detail on sheet C-7 does not comply with the requirements of the 2011 *Michigan Manual on Uniform Traffic Control Devices*, nor does it apply to either the new end islands or new barrier-free parking space now proposed. (No new island is of the general type, and the new barrier-free space and adjacent access aisle will be 9 ft wide, not 8 ft wide.) **We suggest that this detail be deleted in this case and replaced by dimensions and plan notes as applicable. The notes should specify that:**
  - a. **The striping of non-barrier-free parking spaces shall be white.**
  
  - b. **The striping of barrier-free parking spaces and associated access aisles shall be blue.**
  
  - c. **Where a barrier-free space abuts a non-barrier-free space, the two spaces shall be separated by abutting blue and white stripes.**
  
  - d. **The International Symbol of Accessibility (wheelchair) on the pavement shall be white.**
  
13. **The detail for Typical Handicap Parking Signs, also on sheet C-7, should not include the word "OPTIONAL" in the label pointing to the version whose base is protected by a 6-inch-diameter, concrete-filled steel post. Rather, the label should be revised to indicate that such a base is to be used for all signs located between end-to-end parking spaces – in this case, the five relocated "Van Pool & Car Pool Parking" signs as well as the one pair of barrier-free signs. Also, we recommend that the larger steel post be shown rising only 4 ft above grade, a height easily viewed by drivers and more than adequate relative to any impacting bumpers. (A total of six such posts are proposed, and having them rise 6 ft above grade as indicated by the current detail would be unsightly and more costly, as well as unnecessary.)**

Sincerely,  
CLEARZONING, INC.



Rodney L. Arroyo, AICP  
President



William A. Stimpson, P.E.  
Director of Traffic Engineering

## LANDSCAPE REVIEW

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## PLAN REVIEW CENTER REPORT

May 21, 2014

### Preliminary and Final Site Plan Aramco Parking Expansion JSP14-21

#### Review Type

Preliminary and Final Landscape Review

#### Petitioner

Kirco Manix Construction

#### Review Type

Preliminary and Final Site Plan

#### Property Characteristics

- Site Location: Northeast corner of Hudson Drive and Peary Court
- Site School District: Walled Lake Consolidated Schools
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, South East, and West: I-1
- Site Use(s): Existing R&D office building and vacant land
- Adjoining Uses: North, East, West: office/industrial, South: vacant
- Site Size: 4.75 acres (combined)
- Plan Date: 04-21-14

#### Recommendation

**Preliminary and Final Site Plan Approval for Aramco Parking Expansion – JSP14-21 is recommended.** Please address the minor comments as noted below.

#### Ordinance Considerations

##### Adjacent to Residential (Sec. 2509.3.a.)

1. The project property is not adjacent to residential uses.

##### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 20' wide greenbelt is required along the Peary Court frontage. This requirement has been met.
2. A 3' high berm with a 2' crest is required. This requirement has been met.
3. A canopy tree or large evergreen is required for each 40 l.f. of frontage. Fifteen (15) trees are required. This requirement has been met.
4. A sub-canopy tree is required for each 35 l.f. of frontage. Seventeen (17) trees are required. This requirement has been met.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. A street tree is required for every 45 l.f. of road frontage. Six (6) trees are required along Peary Court. This requirement has been met.



**Parking Landscape (Sec. 2509.3.c.)**

1. A total of 18,899 s.f. of parking lot landscape area is required; 1,808 s.f. has been provided. **Please provide an additional 77 s.f. of landscape area.**
2. A total of twenty five (25) parking lot canopy trees are required; 23 trees have been provided. **Please provide (two) 2 additional trees.**
3. Perimeter trees are required for every 35 l.f. of parking lot boundary. This requirement has been met.
4. No portion of the proposed parking contains an excess of 15 contiguous spaces.

**Building Foundation Landscape (Sec. 2509.3.d.)**

1. No additional building is proposed.

**Plant List (LDM)**

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

**Planting Notations and Details (LDM)**

1. Planting Details and Notations meet the requirements of the Ordinance and the Landscape Design Manual.

**Storm Basin Landscape (LDM)**

1. No storm basin is proposed with the project.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. An Irrigation Plan must be provided upon future submittals.

**General**

1. Please show the snow deposit areas as required.
2. Please show the required 25' clear vision corners areas as required.
3. Please see the woodland and wetland reviews for further comments, if any.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: David R. Beschke, RLA

**FIRE REVIEW**

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April 2, 2014

**May 12, 2014**

TO: Barbara McBeth- Deputy Director of Community Development  
Kristen Kapelanski- Plan Review Center  
Sara Roediger- Plan Review Center

RE: Aramco Services Alterations  
46535 Peary Ct. Novi Mi. 48377

**CITY COUNCIL**

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**Mayor Pro Tem**  
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**Assistant Chief of Police**  
Victor C.M. Lauria

**Assistant Chief of Police**  
Jerrod S. Hart

PSP#14-0048

**PSP#14-0069**

**Project Description:**

Parking Lot Addition and Dyno Lab alterations.

**Comments:**

- 1) An updated hazardous chemical survey is required to be submitted to the Planning & Community Development Department for distribution to the Fire Department at the time any Preliminary Site Plan is submitted for review and approval. Definitions of chemical types can be obtained from the Fire Department at (248) 735-5674.
- 2) Addition of fuel tank must comply with NFPA 30.
- 3) Information sheets on outside Haz-Mat building are required to show storage capacity, secondary containment, and description of electrical equipment.
- 4) Any changes in fire protection or alarm systems will require a plan submittal and approval.

**Recommendation: Approval pending correction of Item #1**

Sincerely,

Joseph Shelton- Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

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# Environmental engineers, Inc.

18620 West Ten Mile Road, Southfield, Michigan 48075 Phone: (248) 424-9510 Fax: (248) 424-2954

May 30, 2014

Mr. Sara Roediger, AICP-Planner  
City of Novi Planning Department  
45175 West Ten Mile Road  
Novi, Michigan 48375

Re: Stamping Set Plans for  
Aramco Services Explosion Relief and  
Parking Lot Expansion Areas (JSP 14-21)

Dear Ms. Roediger:

The accompanying Stamping Set Plans for the above referenced project have been revised in accordance with the City of Novi Plan Review Center Report dated May 22, 2014. Our responses to the items discussed in the report are as follows:

#### Planning Review

- 1.) The requirement for a Planning Commission variance for the same side driveway location is acknowledged. We appreciate the matter being placed on the consent agenda for their June 11, 2014 meeting.
- 2.) An internal sidewalk connecting the proposed and existing parking lots has been added near their south end as recommended by the Engineering Department.
- 3.) A photometric plan and related fixture information has been included in the Stamping Set Plans. Please note the proposed light pole locations along the east edge of the site have been revised to provide the required lighting levels.
- 4.) Please note the Proposed Master Deed Amendment including Replat No.4 to the Exhibit B Plans is being submitted for review by City Staff and the City Attorney.
- 5.) Please note a second proposed pre-fabricated hazardous materials storage building has been added on the existing concrete slab within the screened equipment yard to accommodate the facility's test cell requirements. In addition, the two proposed 500 gallon fuel tanks have been repositioned within the equipment yard to leave room for a

second cooling tower required at the time of the second floor office area buildout.

### Engineering Review

#### General

- 1.) As previously mentioned, the parcel combination process is underway, with the Master Deed Amendment documents being submitted for review by City Staff and the City Attorney.

#### Sanitary Sewer

- 2.) Please note the proposed oil/water separator location has been shifted closer to the existing sewer lead and the proposed sewer piping within the explosion relief area is now being shown on the building mechanical plans for project coordination purposes.

#### Paving & Grading

- 3.) The proposed bike parking area has been shifted closer to existing driveway to leave more free space in front of the existing fuel tank fill station. The area is now more clearly dimensioned in the detail on Sheet C-7.
- 4.) As previously mentioned, an internal sidewalk connecting the southern ends of the proposed and existing parking lots has been added to site footprint throughout the plan set.
- 5.) The proposed drive approach has been widened to 32 feet and dimensioned accordingly on Sheet SP-1 as requested in the traffic review. A Type M approach curb opening is now specified on Sheet C-3 with a corresponding detail added on Sheet C-7.
- 6.) Spot grades are now shown on Sheet C-3 at the corners of the proposed pre-fab hazardous materials storage buildings on the existing concrete pad. The area surface drains through existing openings near the southwest corner of the screened equipment yard.
- 7.) Additional spot grades are now shown for the proposed sidewalk near the existing building on the grading detail shown on C-7.



- 8.) The acceptance of the proposed use of interior landscape islands as end islands as an interim measure until the future parking lot expansion occurs is acknowledged.
- 9.) The City of Novi Pavement Details Sheet has been removed from the plan set.
- 10.) This letter is intended to outline the changes made to the plans to address the plan review comments as well as to discuss any other changes which have been made since the previous submittal.
- 11-21.) The permit requirements and fees outlined in these items are hereby acknowledged.

#### Traffic Review

- 2.) The total of 11 existing parking spaces to be "demolished" has now been increased to 13 spaces to provide better access at the southwest corner of the screened equipment yard.
- 4.) The requirement for a Planning Commission same side driveway spacing waiver is acknowledged.
- 6.) As previously mentioned, the proposed drive approach has been widened to 32 feet and dimensioned accordingly on Sheet SP-1.
- 7.) The proposed stop sign is now listed as 24"x24" in the traffic sign quantities on Sheet SP-1.
- 10.) The typical parking space dimension notes on Sheet SP-1 now stipulate these dimensions are to the face of curb.
- 12.) The Standard Parking Island Detail has been removed from Sheet C-7. The requested striping notes have been added on Sheet SP-1.
- 13.) The typical Handicap Parking Signs Detail on Sheet C-7 has been revised as requested.

#### Landscape Review

Stamping Set Plans for  
Aramco Services Explosion Relief and  
Parking Lot Expansion Areas (JSP 14-21)  
May 30, 2014  
Page 4

- 1.) The parking landscape calculations shown on the previous plans should have been revised after a parking space was eliminated to address the indicated parking lot landscape area shortage. The calculations are now correct.
- 2.) Two additional parking lot canopy trees are now shown.
- 3.) The snow deposit areas are now shown on Sheet L-1.
- 4.) The 25' clear vision corner triangles are now shown on Sheet L-1.
- 5.) There are no woodlands or wetlands affected by the proposed project.

Fire Department Review

- 1.) An updated hazardous chemical survey will be included with the Stamping Set submittal.
- 2-4.) The requirements stipulated in these items are hereby acknowledged.

We believe the accompanying Stamping Set Plans have addressed each of the items discussed in the Preliminary/Final Site Plan Review Center Report. Should you have any questions regarding the plans, please contact us. We appreciate your assistance throughout the project review process.

Very truly yours,

ENVIRONMENTAL ENGINEERS, INC.



Paul J. Lewsley, P.E., LEED AP  
President

Ee# 1412  
Cc: Joe Bradley  
Duane Allison