



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: November 10, 2020

REGARDING: 47025 Grand River Avenue, Parcel # 50-22-16-151-013 (PZ20-0049)

BY: Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

**Applicant**

Integrated Sign / PetSuites

**Variance Type**

Dimensional Variance

**Property Characteristics**

Zoning District:	Light Industrial
Location:	East of Beck Road and South of Grand River Avenue
Parcel #:	50-22-16-151-013

**Request**

The applicant is requesting variance from the City of Novi Code of Ordinances Section 28-5(b)(2)(a) for a proposed 50 square foot ground sign, based on the setback from the centerline of Grand River Avenue the sign is oversized by 18 square feet. This property is zoned Light Industrial (I-1).

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ20-0049**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has shown practical difficulty requiring \_\_\_\_\_.
- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because \_\_\_\_\_.
- (b) The property is unique because \_\_\_\_\_.
- (c) Petitioner did not create the condition because \_\_\_\_\_.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because\_\_\_\_\_.

(e) The relief if consistent with the spirit and intent of the ordinance because \_\_\_\_\_.

(f) The variance granted is subject to:

1. \_\_\_\_\_.
2. \_\_\_\_\_.
3. \_\_\_\_\_.
4. \_\_\_\_\_.

2. I move that we **deny** the variance in Case No. **PZ20-0049**, sought by \_\_\_\_\_, for \_\_\_\_\_ because Petitioner has not shown practical difficulty requiring \_\_\_\_\_.

(a) The circumstances and features of the property including \_\_\_\_\_ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because \_\_\_\_\_.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that \_\_\_\_\_.

(d) The variance would result in interference with the adjacent and surrounding properties by \_\_\_\_\_.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler  
Deputy Director Community Development  
City of Novi



45175 Ten Mile Road  
 Novi, MI 48375  
 (248) 347-0415 Phone  
 (248) 735-5600 Facsimile  
 www.cityofnovi.org

# ZONING BOARD OF APPEALS APPLICATION

**APPLICATION MUST BE FILLED OUT COMPLETELY**

Application Fee: \$300

Meeting Date: Nov. 10th

ZBA Case #: PZ \_\_\_\_\_

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>			
PROJECT NAME / SUBDIVISION <b>PetSuites - Novi</b>			
ADDRESS <b>47025 Grand River, Novi MI 48374</b>		LOT/SIUTE/SPACE #	
SIDWELL # <b>50-22-</b>		May be obtain from Assessing Department (248) 347-0485	
CROSS ROADS OF PROPERTY			
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO		REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input checked="" type="checkbox"/> SIGNAGE	
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO			
<b>II. APPLICANT INFORMATION</b>			
<b>A. APPLICANT</b>		EMAIL ADDRESS <b>aanderkin@integratedsign.com</b>	CELL PHONE NO.
NAME <b>Aaron Anderkin</b>		TELEPHONE NO. <b>859-263-2800</b>	
ORGANIZATION/COMPANY <b>ISG</b>		FAX NO.	
ADDRESS <b>5801 King Post Ct.</b>	CITY <b>Lexington</b>	STATE <b>KY</b>	ZIP CODE <b>40509</b>
<b>B. PROPERTY OWNER</b> <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER			
Identify the person or organization that owns the subject property:		EMAIL ADDRESS	CELL PHONE NO.
NAME <b>Mike Leonard</b>		TELEPHONE NO.	
ORGANIZATION/COMPANY <b>Hogan Holdings 71, LLC</b>		FAX NO.	
ADDRESS <b>40600 Ann Arbor Road East</b>	CITY <b>Plymouth</b>	STATE <b>MI</b>	ZIP CODE <b>48170</b>
<b>III. ZONING INFORMATION</b>			
<b>A. ZONING DISTRICT</b>			
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input checked="" type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____			
<b>B. VARIANCE REQUESTED</b>			
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:			
1. Section <b>28.5-1b</b>	Variance requested	_____	
2. Section _____	Variance requested	_____	
3. Section _____	Variance requested	_____	
4. Section _____	Variance requested	_____	
<b>IV. FEES AND DRAWINGS</b>			
<b>A. FEES</b>			
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input checked="" type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600			
<b>B. DRAWINGS    1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>			
<ul style="list-style-type: none"> <li>• Dimensioned Drawings and Plans</li> <li>• Site/Plot Plan</li> <li>• Existing or proposed buildings or addition on the property</li> <li>• Number &amp; location of all on-site parking, if applicable</li> </ul>		<ul style="list-style-type: none"> <li>• Existing &amp; proposed distance to adjacent property lines</li> <li>• Location of existing &amp; proposed signs, if applicable</li> <li>• Floor plans &amp; elevations</li> <li>• Any other information relevant to the Variance application</li> </ul>	



# ZONING BOARD OF APPEALS APPLICATION

## V. VARIANCE

### A. VARIANCE (S) REQUESTED

DIMENSIONAL     USE     SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

### C. ORDINANCE

#### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING     ADDITION TO EXISTING HOME/BUILDING     SIGNAGE  
 ACCESSORY BUILDING     USE     OTHER \_\_\_\_\_

## VI. APPLICANT & PROPERTY SIGNATURES


### A. APPLICANT

  
Applicant Signature    Aaron Anderkin, Executive Vice President, Integrated Sign & Graphic, Inc.    10/6/20  
Date

### B. PROPERTY OWNER

**If the applicant is not the owner, the property owner must read and sign below:**

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

  
Property Owner Signature    Howard Holmquist 71, LLC  
MIKE LEONARD, AUTHORIZED AGENT    10/6/2020  
Date

## VII. FOR OFFICIAL USE ONLY

### DECISION ON APPEAL:

GRANTED     DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals    Date



**Community Development Department**  
45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
www.cityofnovi.org

**REVIEW STANDARDS**  
**SIGN VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Sign Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Sign Variance.)

**Standard #1. Extraordinary Circumstances or Conditions.**

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** A sign could not be placed in the location required by the Zoning Ordinance due to the shape, topography or other physical conditions of the lot or due to the location of an existing structure.

Not Applicable       Applicable      If applicable, describe below:

**and/or**

- b. Environmental Conditions.** A sign could not be placed in the location required by the Zoning Ordinance without removing or severely altering natural features, such as trees, topography, drainage courses or encroaching upon stormwater facilities.

Not Applicable       Applicable      If applicable, describe below:

With the sign located per setback requirements as restricted by ordinance, the sign falls behind a significant berm that would obstruct the sign visibility from vehicular traffic. This could also be a potential safety concern, as the monument sign is intended to identify the entrance to the parking lot, and a last minute recognition may prove hazardous.

**and/or**

- c. Abutting Property.** A sign could not be reasonably seen by passing motorists due to the configuration of existing buildings, trees, signs or other obstructions on an abutting property.

Not Applicable       Applicable      If applicable, describe below:

- d. **Scale of Building or Lot Frontage.** A sign that exceeds permitted dimensions for area and/or height could be considered appropriate in scale due to the length of the building frontage (wall sign only) or length of the lot frontage (ground sign only).

Not Applicable     Applicable    If applicable, describe below:

The lots and its street frontage are significant enough that a 50 square foot puts the sign at a size and scale that allows it to properly function in reasonable proportion to the development.

- e. **Not Self-Created.** Describe the immediate practical difficulty causing the need for the Variance was not created by the applicant or any person having an interest in the sign, sign structure, or property.

Not Applicable     Applicable    If applicable, describe below:

## Standard #2. Limit Use of Property.

Explain how the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

Given the setback of the building from the road, the need for a visible ground sign is essential to establish the recognizable presence needed for the business to operate. The monument sign, as proposed, is not overly intrusive or out of proportion given its intended function.

## Standard #3. Adverse Impact on Surrounding Area.

Explain how the Sign Variance will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter.

As illustrated by the provided drawings that demonstrate size and scale of the proposed sign as compared to the one permitted by code, the sign is very much of reasonable scale and proportion and does not look "out of place" given the street frontage and the setback of the building.

CITY OF NOVI – SIGN PERMIT APPLICATION  
COMMUNITY DEVELOPMENT  
(248) 347-0415



PS 20-0086

All applications must have one drawing showing fully dimensioned sign details.  
All signs must have one plot plan showing sign location, any easements and right-of-way.  
All ground signs require a sign foundation permit. Submit a separate building permit application for ground sign foundation along with three signed/sealed engineered drawings and calculations to the Novi Building Department.

47025

Address of Installation GRAND RIVER, NOVI, MI 48374 Date 7/13/2020

Owner of Sign NVA Pet Resorts Address 29229 Canwood St., Ste 100

City Agoura Hills State CA Zip 91301 Phone \_\_\_\_\_

Erector Salient Sign Studio Address 8720 W. Nine Mile Rd City Oak Park

State MI Zip 48237 Erector's License No. 5306177 Phone \_\_\_\_\_

EMAIL kevin@salientstudio.com

Conlon Installations

Type of Sign  Entranceway  Business Center  Wall  Ground  Awning  Projecting

Is this sign illuminated? Yes Lineal frontage of this business \_\_\_\_\_ (multiple tenant)

Is this a multi-tenant building? no Is this a multi-story building? no

Is this a single tenant building on a single parcel of land? \_\_\_\_\_ Distance from street centerline 64' 1"  
(single tenant)

Size/Measurement: Horizontal 10' Vertical 5' Area Sq. Ft. 50 sf

Height from Grade to Top of Sign 6' Copy to be on Sign Pet Suites Stay & Play

SIGN PERMIT FEE DOES NOT INCLUDE ANY FEES FOR BUILDING, ELECTRICAL OR RIGHT-OF-WAY PERMITS THAT MAY APPLY.

Kevin Dougherty  
SIGNATURE OF APPLICANT OR AGENT

248-532-0013  
TELEPHONE NUMBER

Kevin Dougherty  
PRINTED NAME

Reviewed by Mauseen Unruh Hill Date 9-30-20

Approved  
 Not Approved – Reason for Denial oversized by 18 sq. ft. 285

ZONING BOARD OF APPEALS (if applicable)

Approved \_\_\_\_\_  
Not Approved \_\_\_\_\_ Case No. \_\_\_\_\_ Date \_\_\_\_\_

CITY OF NOVI  
COMMUNITY DEVELOPMENT

JUL 15 2020

RECEIVED





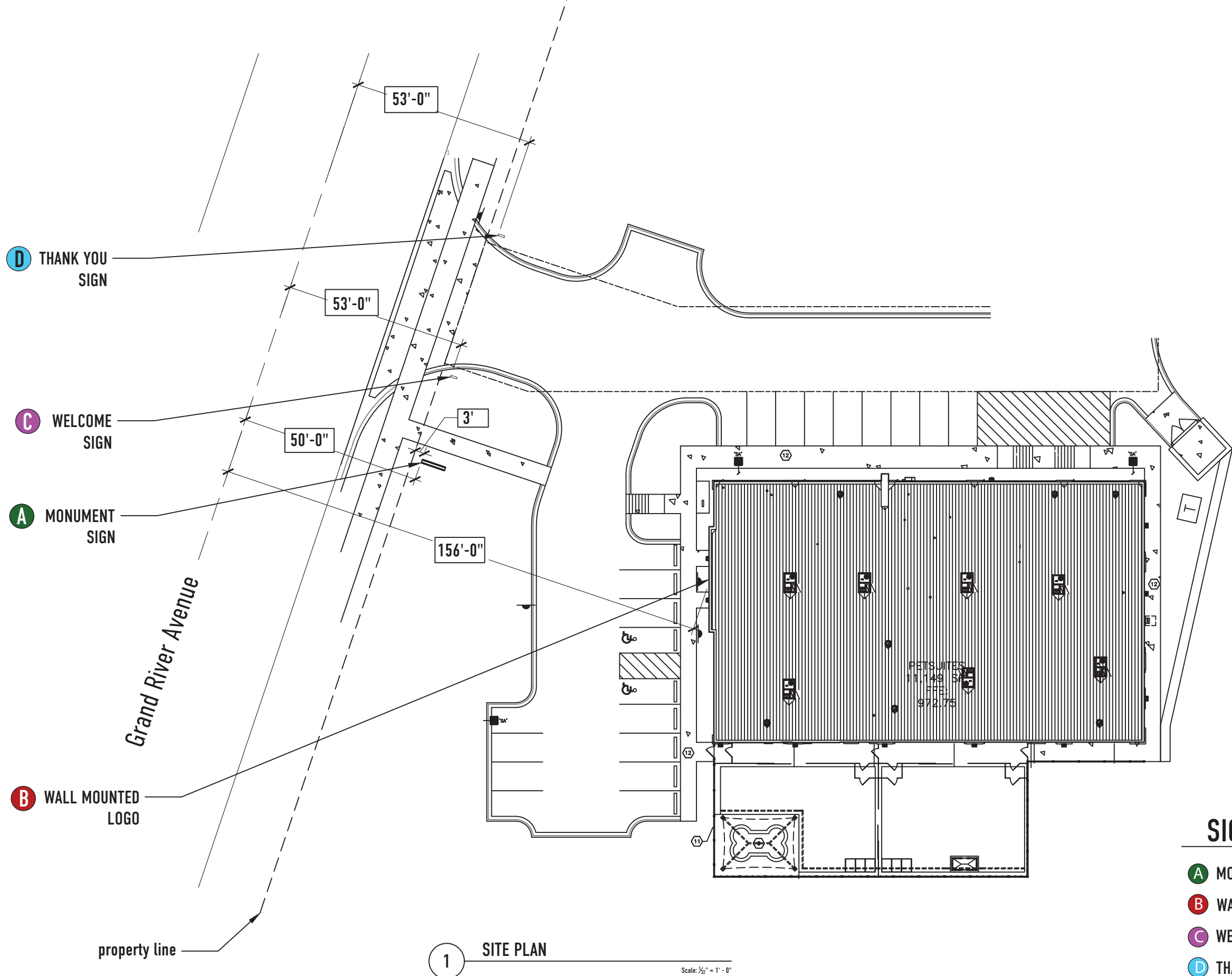
# Petsuites

Novi - Detroit ,Michigan  
Sign Package

10-10-19



M:\Drawing\_Library\Pet\_Suites\_019118\02\_Development\NOVI - DETROIT MICHIGAN\CAD\ELEVATIONS.dwg



1 SITE PLAN  
Scale: 1/2" = 1' - 0"

**SIGN TYPES**

- A** MONUMENT SIGN
- B** WALL MOUNTED LOGO
- C** WELCOME SIGN
- D** THANK YOU SIGN



**INTEGRATED SIGN & GRAPHIC, INC.**  
 5801 Kingpost Court  
 Lexington, KY 40509  
 Toll Free 800.755.7956  
 Office 859.263.2800  
 Online integratedsign.com

**DESIGN INTENT DOCUMENT**

© Copyright Integrated Sign & Graphic, Inc.  
 This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner  
**Petsuites**

Name of Project  
**PETSUITES NOVI**

Project Address  
**47025 GRAND RIVER NOVI, MI 48374**

ISG Project Number  
**019175**

Drawn By  
**J. Whelchel**

Approved By

Original Drawing Date  
**09.29.20**

Issued Revisions

▲	6/2/2020
▲	
▲	
▲	
▲	
▲	
▲	
▲	

Drawing Title

**SITE PLAN**



**INTEGRATED SIGN & GRAPHIC, INC.**  
 5801 Kingpost Court  
 Lexington, KY 40509  
 Toll Free 800.755.7956  
 Office 859.263.2800  
 Online integratedsign.com

**DESIGN INTENT DOCUMENT**  
 Copyright Integrated Sign & Graphic, Inc.

This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner  
**Petsuites**

Name of Project  
**PETSUITES NOVI**

Project Address  
 46045 GRAND RIVER  
 NOVI, MI 48374

ISG Project Number  
 019175

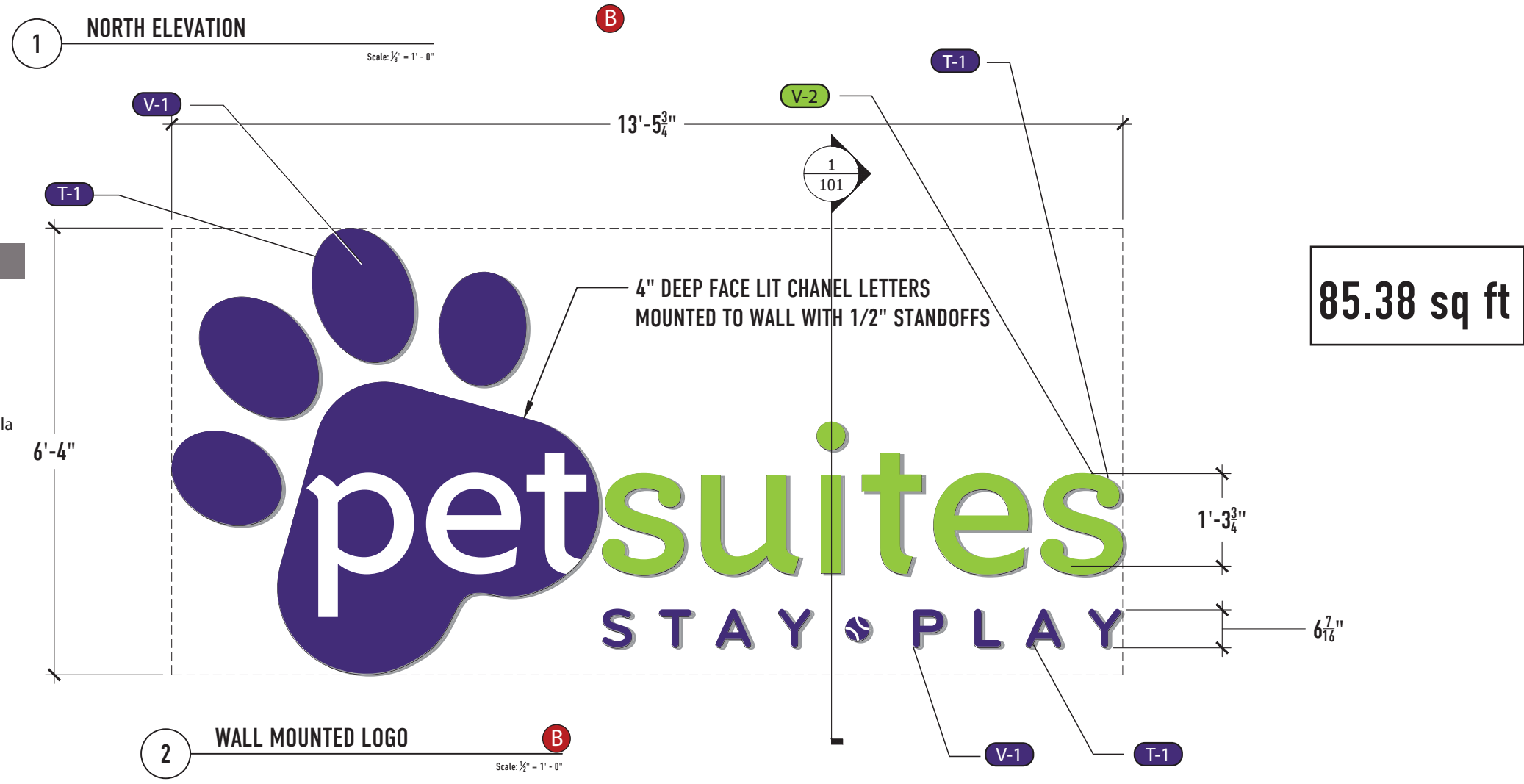
Drawn By  
**T.Samba**      Approved By

Original Drawing Date  
 10.10.19

Issued Revisions

Drawing Title  
**Wall Mounted Logo**

- ⊕ TOP OF BLADE  
127'-0"
- ⊕ TOP OF ARCADE  
123'-0"
- ⊕ TOP OF PARAPET  
120'-0"
- ⊕ B/O OF EAVE  
114'-0"
- ⊕ TOP OF SLAB  
100'-0"



**Colors & Materials**

**Paint Colors**

- P-1** Murex Purple (MP 03563)  
Matthews Paint
- P-2** Green (MP 77527)  
Matthews Paint - See attached Formula

**Translucent Vinyl Colors**

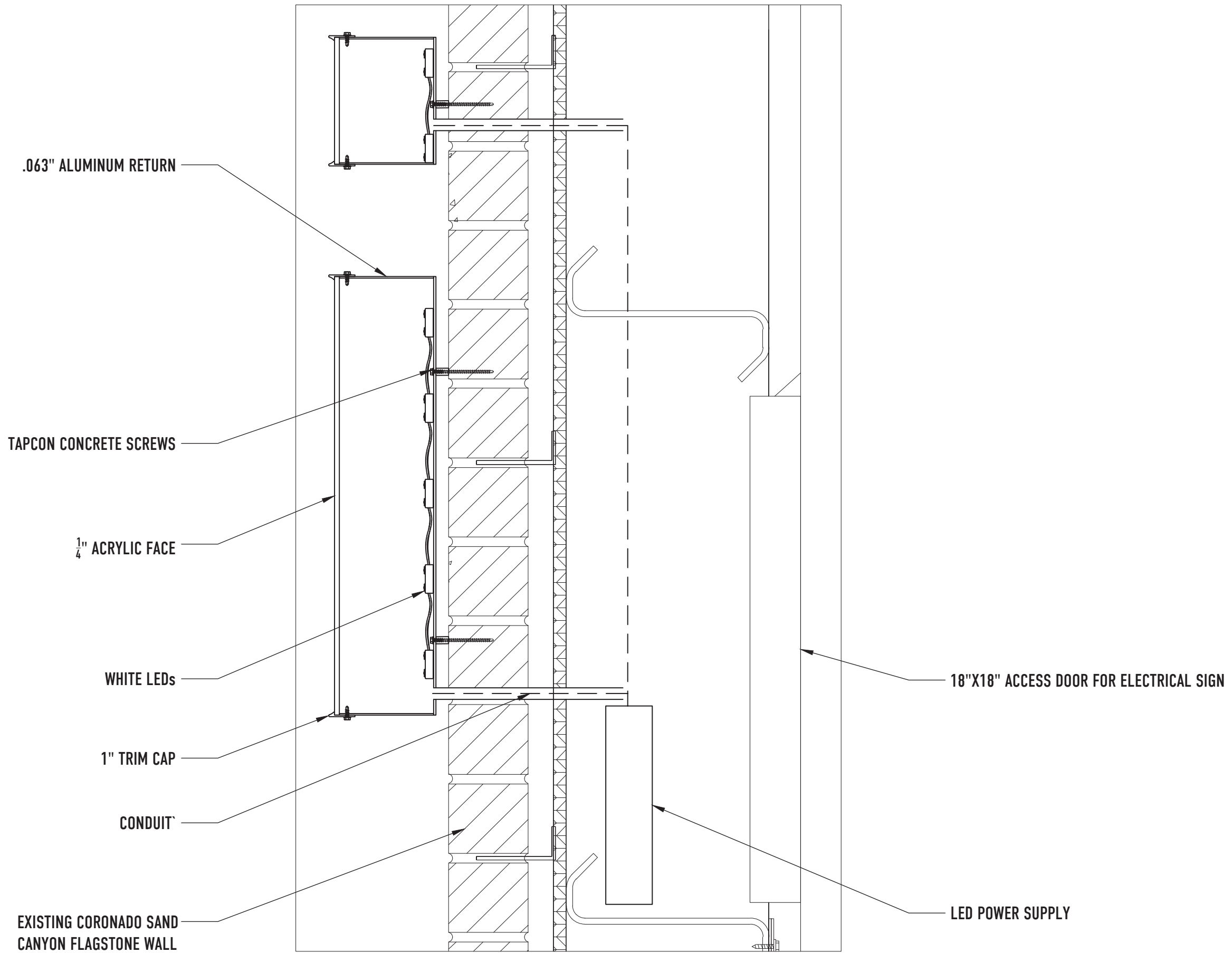
- V-1** Plum Purple (3M Scotchcal 3630-128)
- V-2** Brilliant Green (3M Scotchcal 3630-106)

**Trim Cap Colors**

- T-1** Gemini - Purple (2287)

M:\Drawing\_Library\Pet\_Suites\_019118\02\_Development\NOVI - DETROIT MICHIGAN\CAD ELEVATIONS.dwg

M:\Drawing\_Library\Pet\_Suites 019118\02\_Development\NOVI - DETROIT MICHIGAN\CAD ELEVATIONS.dwg



.063" ALUMINUM RETURN

TAPCON CONCRETE SCREWS

1/4" ACRYLIC FACE

WHITE LEDs

1" TRIM CAP

CONDUIT

EXISTING CORONADO SAND CANYON FLAGSTONE WALL

18"X18" ACCESS DOOR FOR ELECTRICAL SIGN

LED POWER SUPPLY

1 Section View B  
 Scale: 3" = 1' - 0"

**3 amp @ 120 volts required**



**INTEGRATED SIGN & GRAPHIC, INC.**  
 5801 Kingpost Court  
 Lexington, KY 40509  
 Toll Free 800.755.7956  
 Office 859.263.2800  
 Online [integratedsign.com](http://integratedsign.com)

**DESIGN INTENT**  
 DOCUMENT  
 Copyright Integrated Sign & Graphic, Inc.

This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner  
**Petsuites**

Name of Project  
**PETSUITES NOVI**

Project Address  
**46045 GRAND RIVER  
 NOVI, MI 48374**

ISG Project Number  
**019175**

Drawn By **T. Samba** | Approved By

Original Drawing Date  
**10.10.19**

Issued Revisions
▲
▲
▲
▲
▲
▲
▲

Drawing Title  
**Wall Mounted Logo**

## Colors & Materials

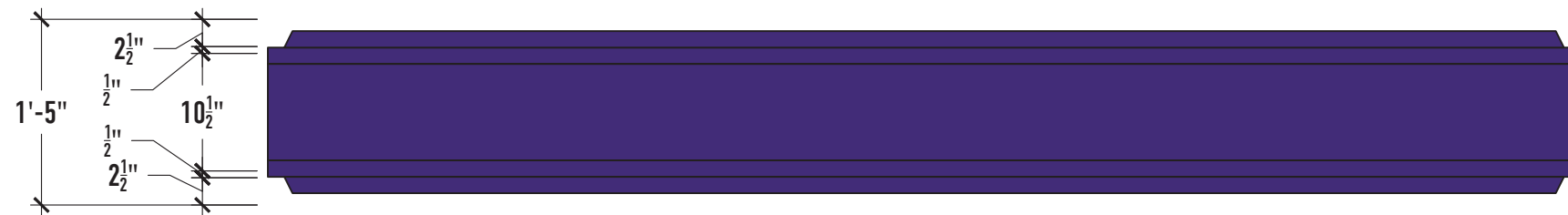
### Paint Colors

**P-1** Murex Purple (MP 03563)  
Matthews Paint

**P-3** Grey Shank (MP 13914)  
Matthews Paint

### Translucent Vinyl Colors

**V-1** Plum Purple  
(3M Scotchlcal 3630-128)



**3** MONUMENT PLAN VIEW  
Scale: 3/4" = 1' - 0"



**1** MONUMENT SIDE VIEW  
Scale: 3/4" = 1' - 0"

**2** MONUMENT FRONT VIEW **A**  
Scale: 3/4" = 1' - 0"

**50 sq ft**



**INTEGRATED SIGN & GRAPHIC, INC.**  
5801 Kingpost Court  
Lexington, KY 40509  
Toll Free 800.755.7956  
Office 859.263.2800  
Online integratedsign.com

### DESIGN INTENT DOCUMENT

Copyright Integrated Sign & Graphic, Inc.  
This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner  
**Petsuites**

Name of Project  
**PETSUITES NOVI**

Project Address  
**46045 GRAND RIVER NOVI, MI 48374**

ISG Project Number  
**019175**

Drawn By **T.Samba** | Approved By

Original Drawing Date  
**10.10.19**

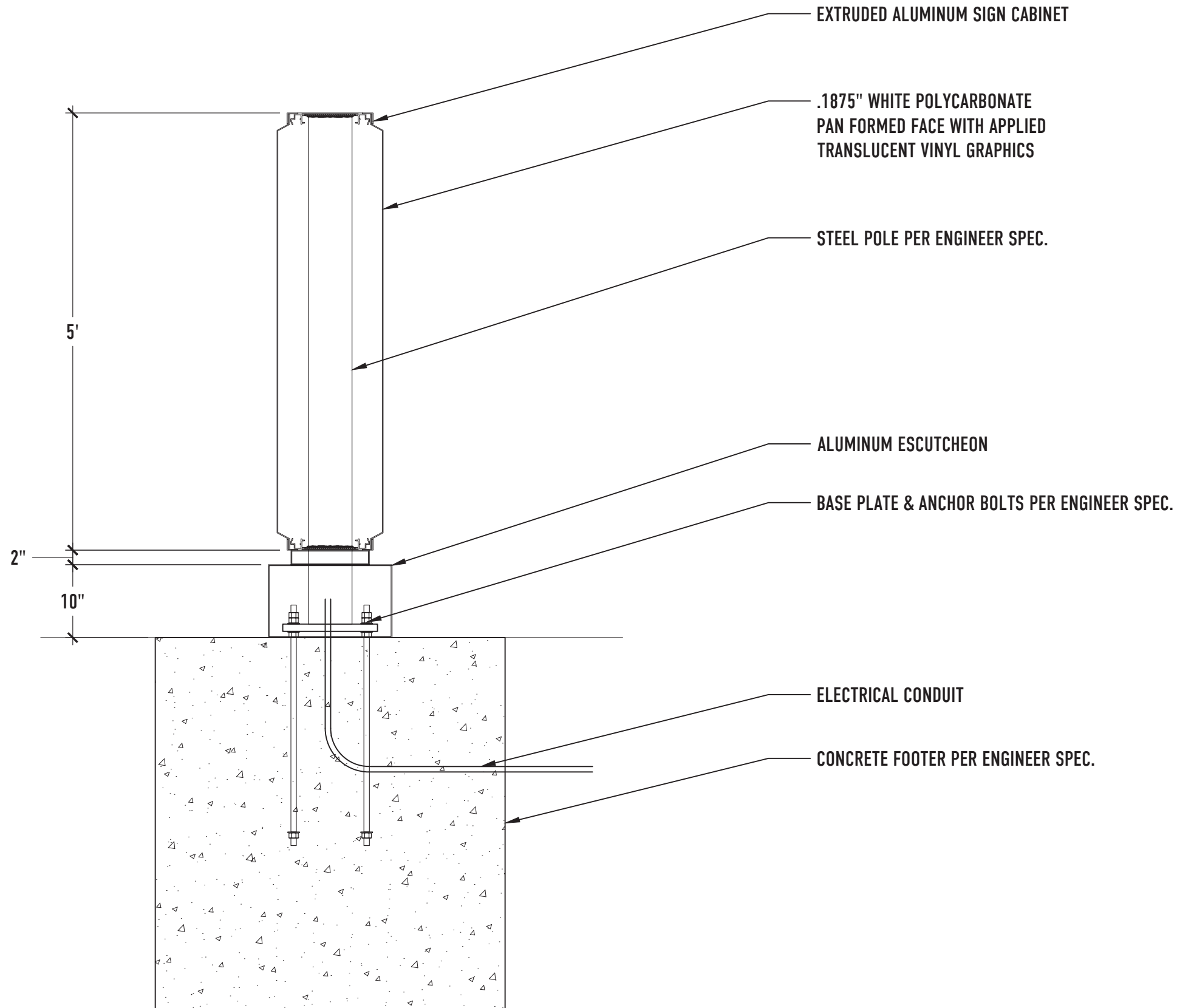
Issued Revisions
△
△
△
△
△
△
△
△

Drawing Title

**Monument Sign**

M:\Drawing\_Library\Pet\_Suites 019118\02\_Development\NOVI - DETROIT MICHIGAN\CAD\ELEVATIONS.dwg

M:\Drawing\_Library\Pet\_Suites 019118\02\_Development\NOVI - DETROIT MICHIGAN\CAD\ELEVATIONS.dwg



1 MONUMENT SECTION VIEW A

Scale: 3/8" = 1' - 0"



INTEGRATED SIGN & GRAPHIC, INC.  
 5801 Kingpost Court  
 Lexington, KY 40509  
 Toll Free 800.755.7956  
 Office 859.263.2800  
 Online integratedsign.com

DESIGN INTENT  
 DOCUMENT  
 Copyright Integrated Sign & Graphic, Inc.

This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner  
 Petsuites

Name of Project  
**PETSUITES  
 NOVI**

Project Address  
 46045 GRAND RIVER  
 NOVI, MI 48374

ISG Project Number  
 019175

Drawn By  
**T.Samba**

Approved By

Original Drawing Date  
 10.10.19

Issued Revisions
△
△
△
△
△
△
△

Drawing Title  
**Monument Sign**

## Colors & Materials

### Paint Colors

**P-1** Murex Purple (MP 03563)  
Matthews Paint

**P-3** Grey Shank (MP 13914)  
Matthews Paint

### Translucent Vinyl Colors

**V-1** Plum Purple  
(3M Scotchcal 3630-128)



**INTEGRATED SIGN & GRAPHIC, INC.**  
5801 Kingpost Court  
Lexington, KY 40509  
Toll Free 800.755.7956  
Office 859.263.2800  
Online [integratedsign.com](http://integratedsign.com)

### DESIGN INTENT DOCUMENT

© Copyright Integrated Sign & Graphic, Inc.

This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner

Petsuites

Name of Project

**PETSUITES  
NOVI**

Project Address

47025 GRAND RIVER  
NOVI, MI 48374

ISG Project Number

019175

Drawn By

J. Whelchel

Approved By

Original Drawing Date

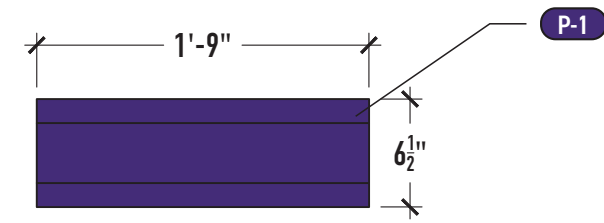
09.29.20

Issued Revisions

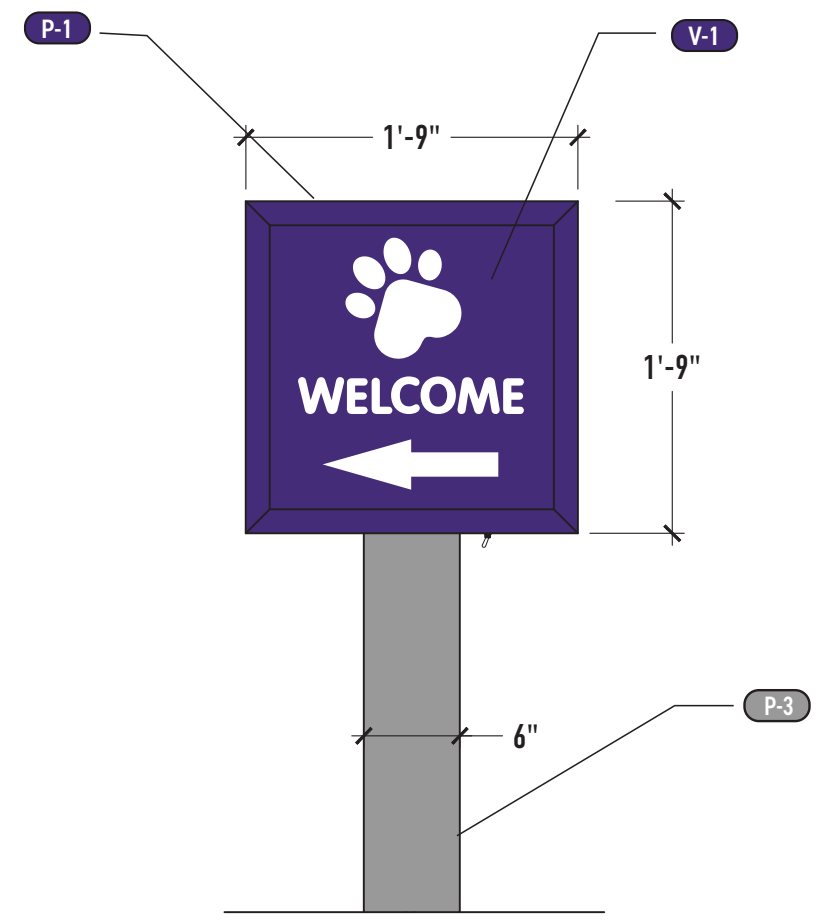


Drawing Title

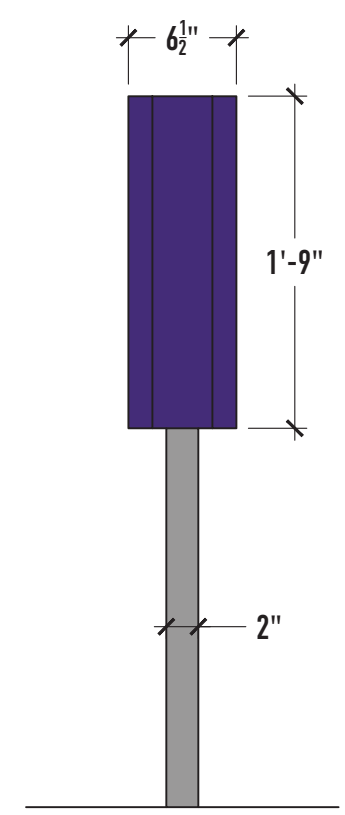
**Enter Exit Signs**



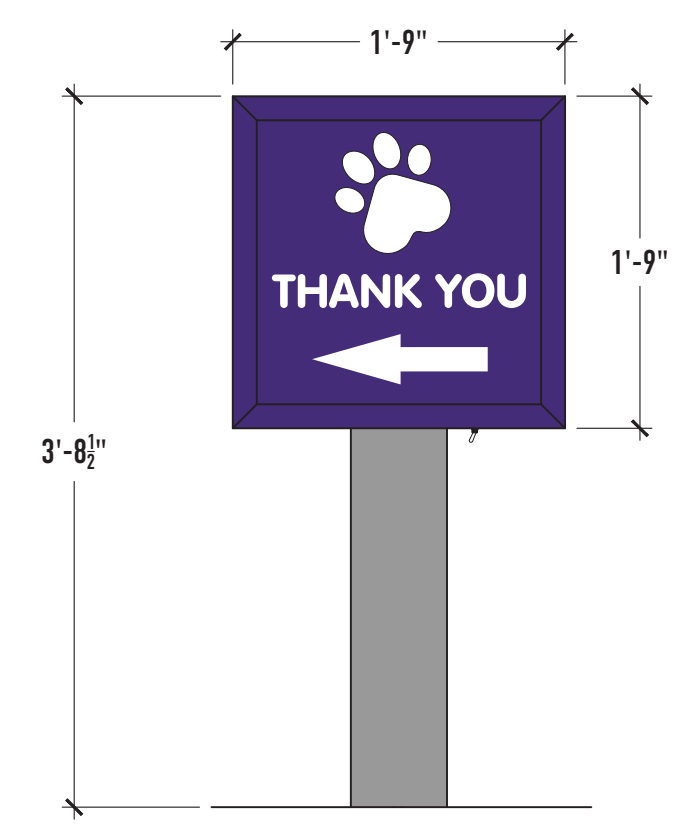
**2 TOP VIEW**  
Scale: 1" = 1' - 0"



**1 ENTER SIGN FRONT VIEW**  
Scale: 1" = 1' - 0"



**2 SIDE VIEW**  
Scale: 1" = 1' - 0"

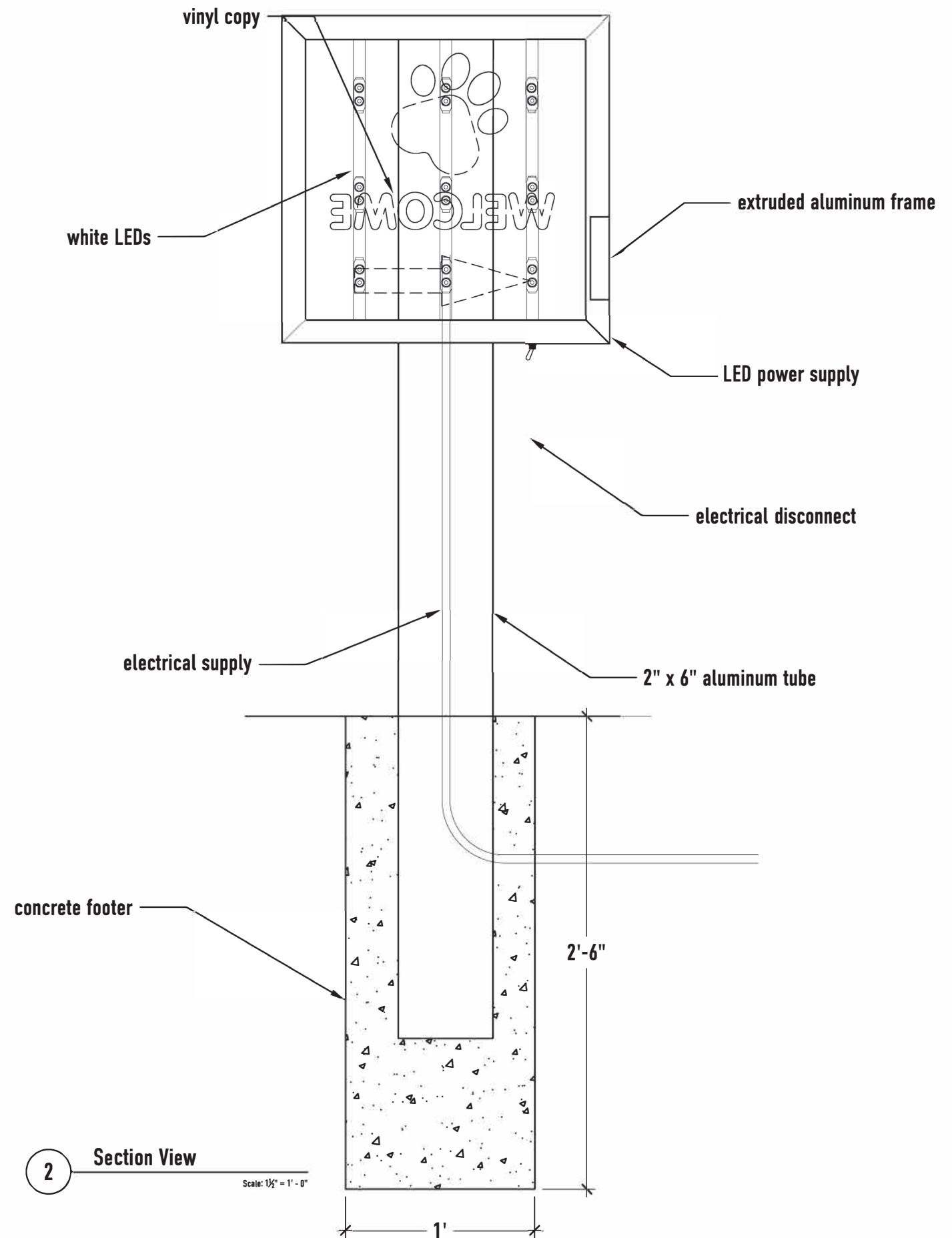
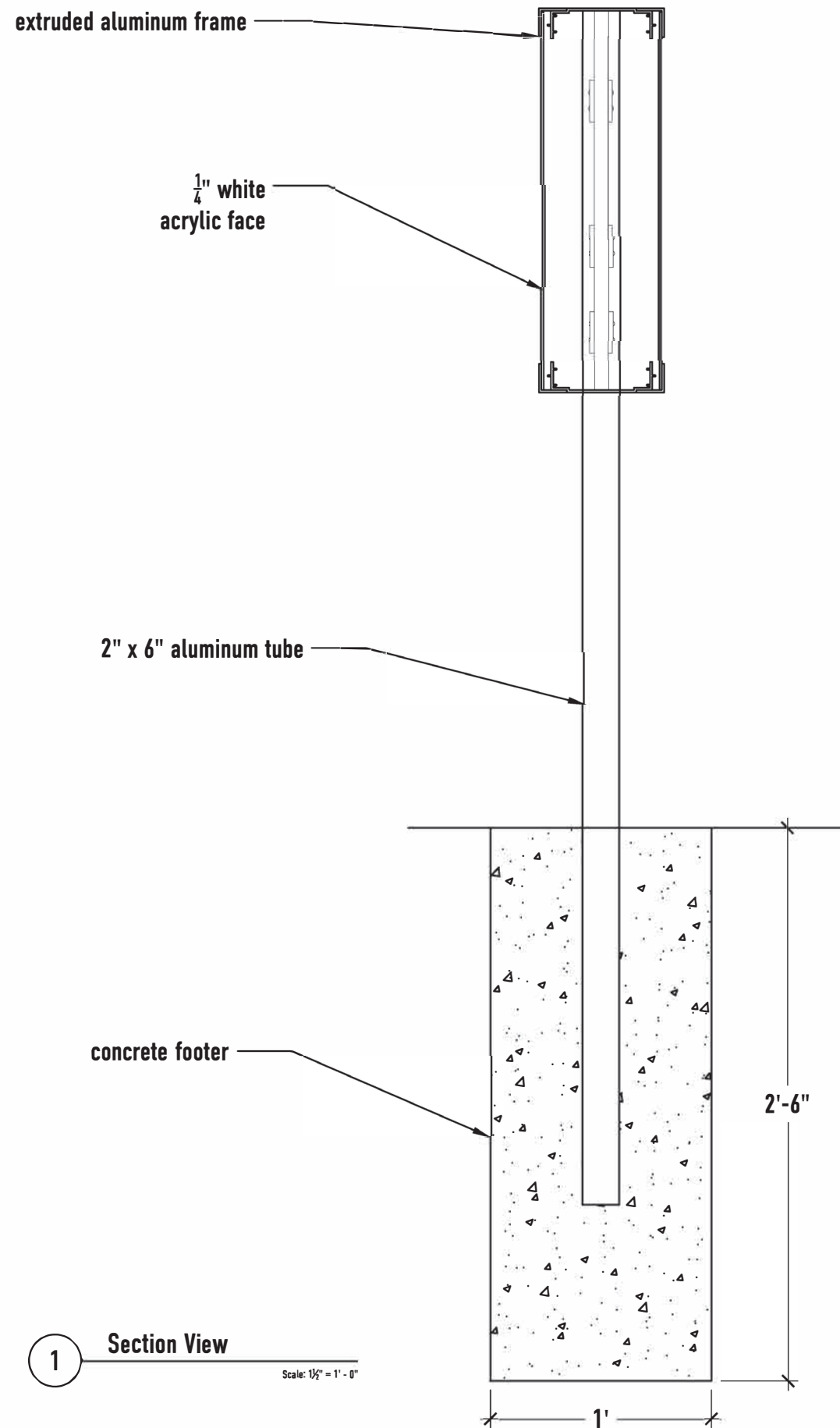


**3 EXIT SIGN FRONT VIEW**  
Scale: 1" = 1' - 0"

**3 sq ft**

M:\Drawing\_Library\Pet\_Suites\_019118\02\_Development\NOVI - DETROIT MICHIGAN\CAD\ELEVATIONS.dwg

M:\Drawing Library\Pet\_Suites 019118\02 Development\NOVI - DETROIT MICHIGAN\CAD\CAD ELEVATIONS.dwg



INTEGRATED SIGN & GRAPHIC, INC.  
 5801 Kingpost Court  
 Lexington, KY 40509  
 Toll Free 800.755.7956  
 Office 859.263.2800  
 Online integratedsign.com

**DESIGN INTENT**

**DOCUMENT**  
 Copyright Integrated Sign & Graphic, Inc.

This design/layout is an unpublished work of Integrated Sign & Graphic, Inc., which expressly reserves its common law rights pursuant to Title 17 Section 2 of the United States Code to prevent unauthorized copying, publication or use of this design/layout, and to obtain damages thereon. This design/layout remains the property of Integrated Sign & Graphic Inc. unless purchased by contractual sales agreement.

Property Owner

Petsuites

Name of Project

**PETSUITES  
NOVI**

Project Address

46045 GRAND RIVER  
NOVI, MI 48374

ISG Project Number

019175

Drawn By

J. Whelchel

Approved By

Original Drawing Date

09.29.20

Issued Revisions



Drawing Title

**Enter and Exit  
Signs  
Section Views**