



VALENCIA SOUTH JSP 13-75 with Rezoning 18.706

VALENCIA SOUTH JSP 13-75 WITH REZONING 18.706 (PRO AMENDMENT)

Public hearing at the request of MI Homes of Michigan for Planning Commission’s recommendation to City Council for an amendment to Planned Rezoning Overlay Concept Plan associated with a Zoning Map amendment. The subject property was rezoned from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay (PRO). The subject property totals approximately 41.31 acres and is located in Section 29, south of Ten Mile Road and west of Beck Road. The approved plan proposed a 64 unit single-family residential development. The current amendment is requested to allow for construction of a ranch floorplan within the Community.

Required Action

Recommendation to the City Council for approval, denial or postponement of request to amend the Planned Rezoning Overlay Concept Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval	02-07-19	No other changes to approved PRO Concept plan are proposed at this time. Proposed ranch style housing is subject to all the development standards approved as part of the original PRO concept plan and agreement.
Façade	Denial	02-07-19	Deviation from Similar Dissimilar Ordinance for reduction of minimum square footage for ranch style housing (2,550 square feet minimum required, 2,001 square feet proposed); The developer should demonstrate whether the difference stated by the builder in initial sale price is reflected downstream in the assessed value and resale value the difference stated by the builder in initial sale price reflected downstream in the assessed value and resale value for a ranch vs. 2-story home

MOTION SHEET

Recommend Approval

In the matter of Valencia South JSP 13-75 and Zoning Map Amendment 18.706, motion to **recommend approval** to the City Council for amendment to Planned Rezoning Overlay Concept Plan.

1. The recommendation shall include the following ordinance deviation:
 - a. Deviation from review standards listed in Section 3.7 of our Zoning Ordinance (Similar Dissimilar Ordinance) for reduction of minimum square footage for ranch style housing (2,550 square feet minimum required, 2,001 square feet minimum proposed);
2. If the City Council approves the rezoning, the Planning Commission recommends the following conditions be requirements of the Planned Rezoning Overlay Agreement:
 - a. Proposed ranch style housing is subject to all the development standards approved as part of the original PRO concept plan and agreement.
3. This motion is made because:
 - a. The proposed development meets the intent of the Master Plan to provide single-family residential uses on the property that are consistent with and comparable to surrounding developments;
 - b. The proposed housing style as shown on the submitted elevations is consistent with the enhanced architecture proposed at the time of initial PRO agreement.
 - c. *(additional reasons here if any).*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- OR-

Recommend Postponement

In the matter of Valencia South JSP 13-75 and Zoning Map Amendment 18.706, motion to **recommend postponement**, based on and subject to the following:

1. To allow the applicant to demonstrate whether the difference stated by the builder in initial sale price is reflected downstream in the assessed value and resale value the difference stated by the builder in initial sale price reflected downstream in the assessed value and resale value for a ranch vs. 2-story home;
2. To allow the applicant time to consider further modifications to the building floor plans and/ or provide additional information as discussed in the review letters; and
3. *(Additional reasons here if any).*

- OR-

Recommend Denial

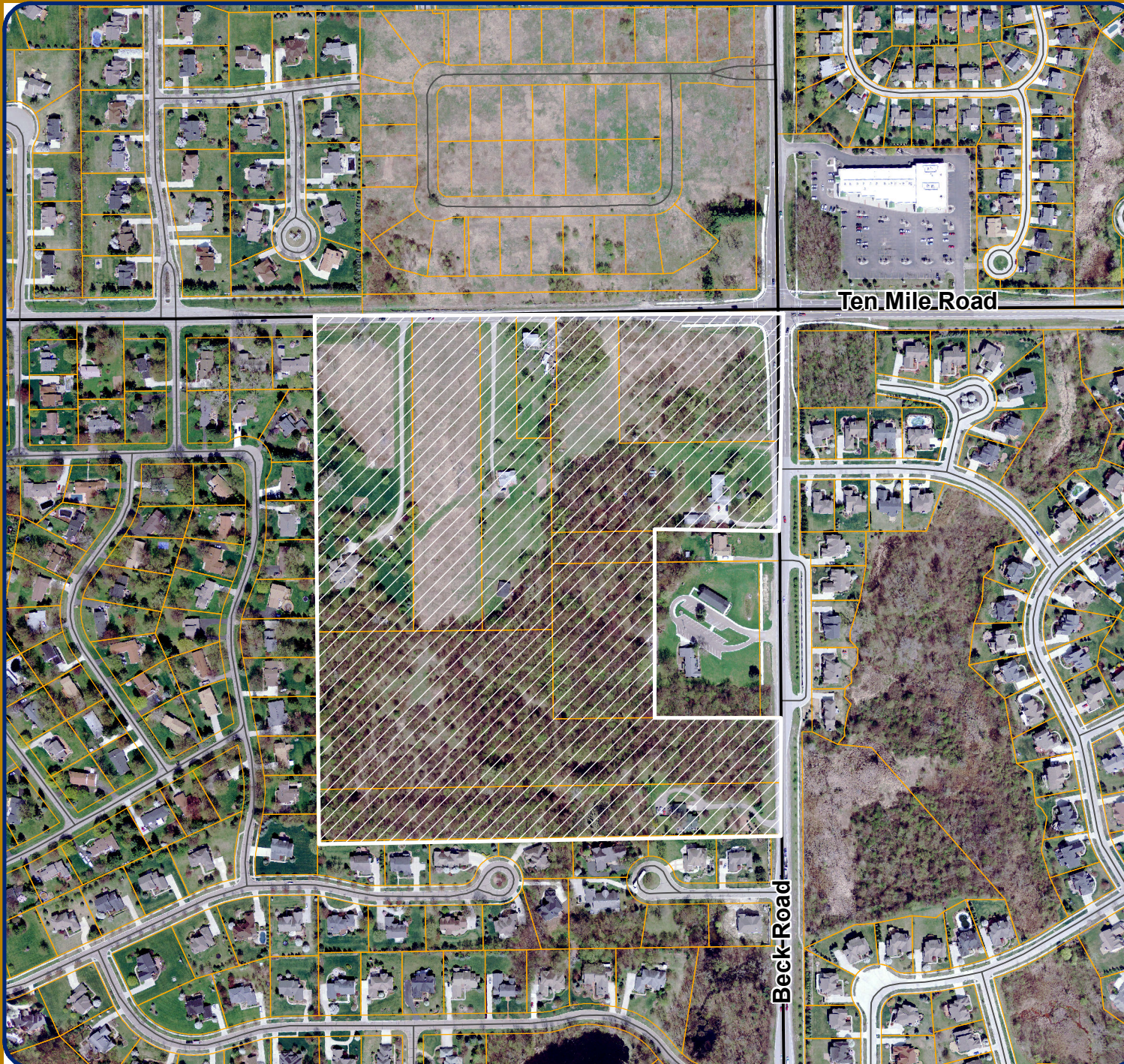
In the matter of Valencia South JSP 13-75 and Zoning Map Amendment 18.706, motion to **recommend denial** to the City Council for amendment to Planned Rezoning Overlay Concept Plan, based on and subject to the following:

1. Proposed elevations are not conforming to review standards listed in Section 3.7 of our Zoning Ordinance and are not consistent with the intent of similar dissimilar ordinance.
2. *(Additional reasons here if any).*

Maps
Location
Zoning
Future Land Use
Natural Features

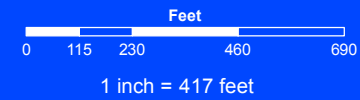
Valencia South JSP13-75

Location



Map Legend

 Subject Property



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

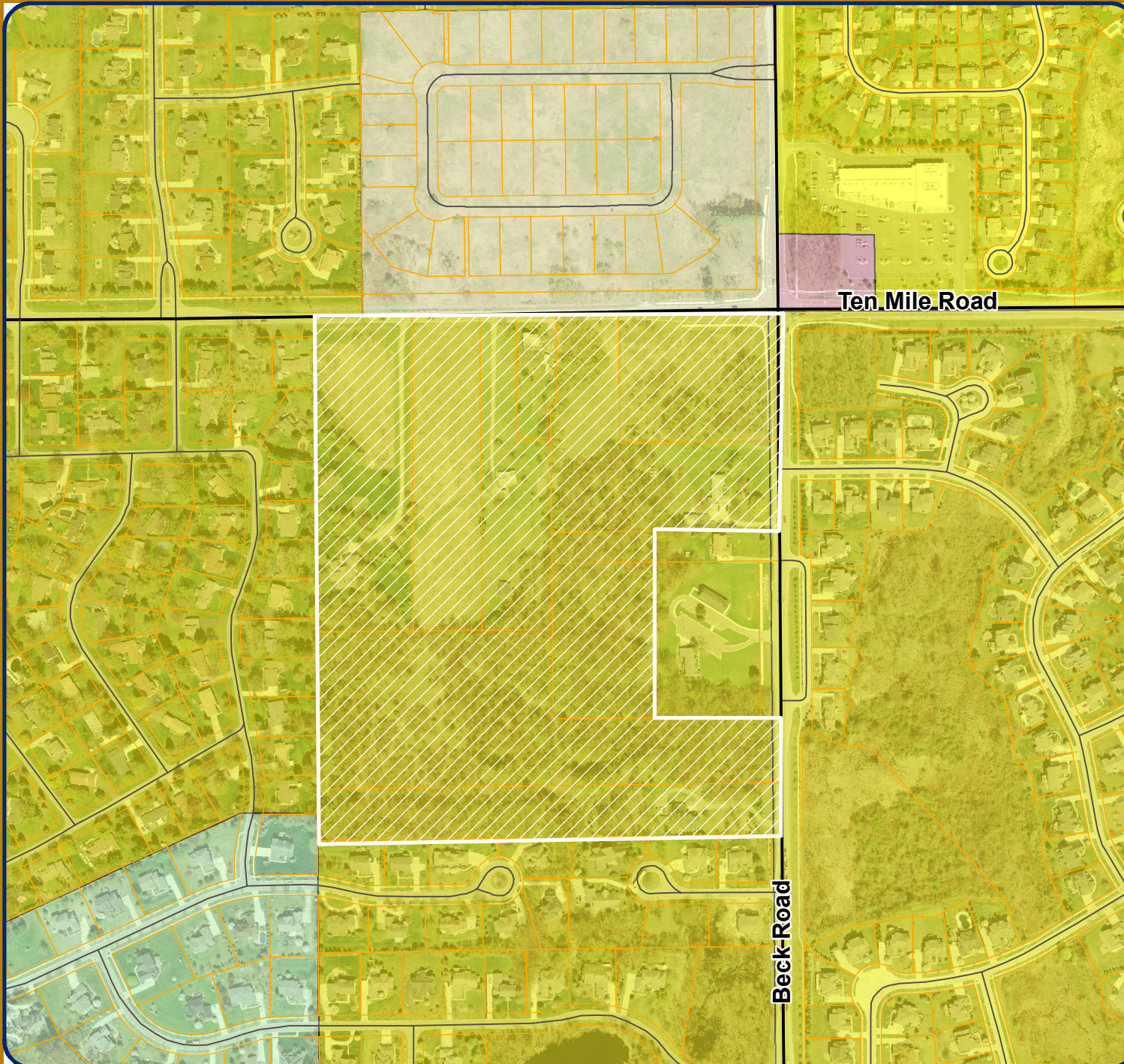
Map Author: Kristen Kapelanski
Date: 02-05-15
Project: JSP13-75 Valencia South
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

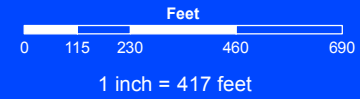
Valencia South JSP13-75

Zoning



Map Legend

- Subject Property
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- B-1: Local Business District



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Planning Division
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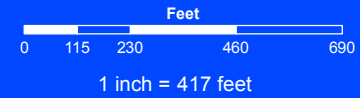
Valencia South JSP13-75

Future Land Use



Map Legend

- Subject Property
- Single Family
- Local Commercial
- Private Park



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Valencia South JSP13-75

Natural Features



Map Legend

- Subject Property
- Wetlands
- Woodlands



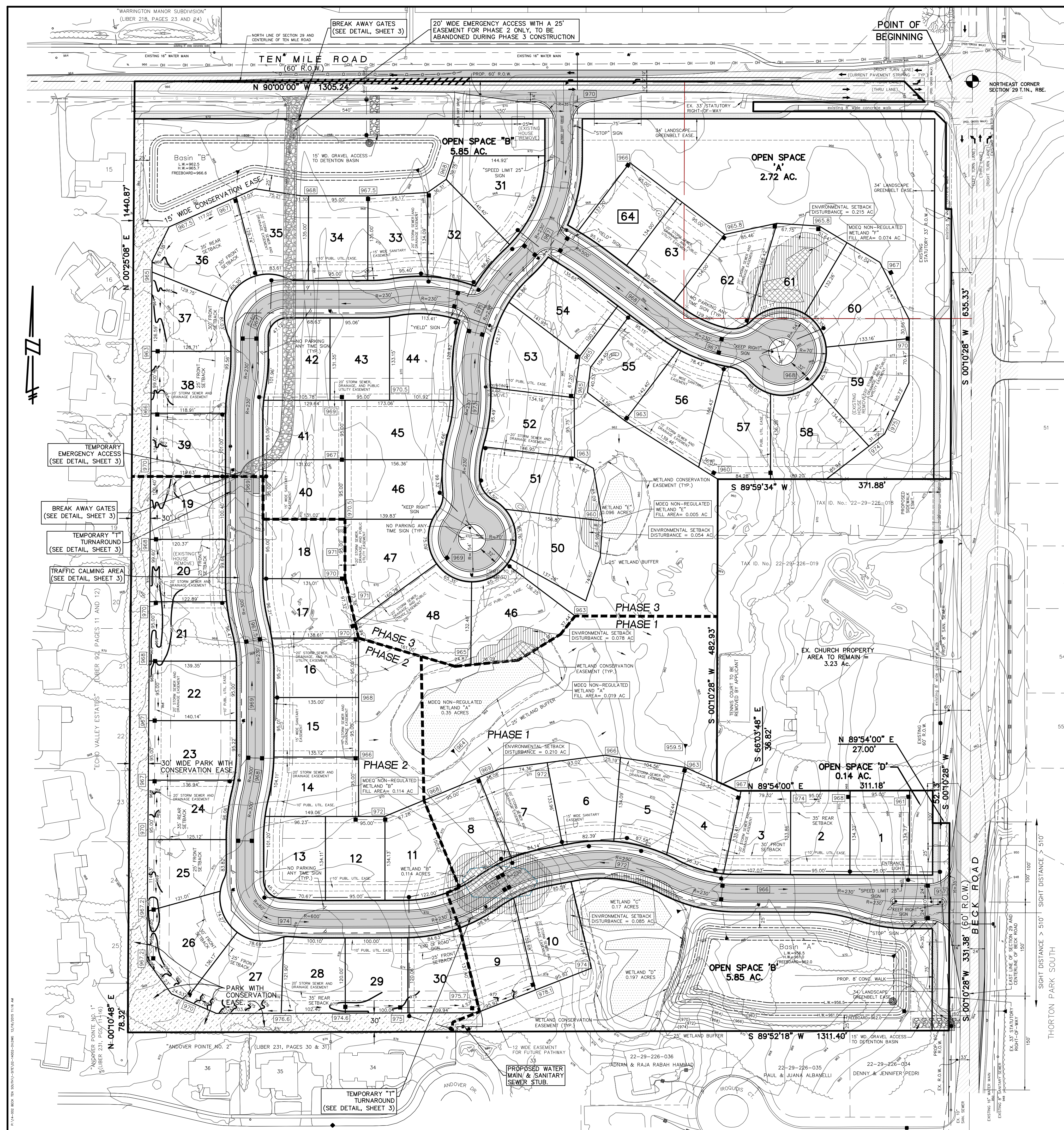
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Preliminary Site Plan
10-14-15



UNIT TABLE - PHASE 1

UNIT #	AREA (SF)	WIDTH (SF)
1	12,782	95.00'
2	12,739	95.00'
3	12,457	100.82'
4	13,410	95.68'
5	12,982	91.00'
6	13,409	90.00'
7	13,457	90.00'
8	13,599	95.79'
9	13,508	98.38'
10	14,150	95.17'

UNIT TABLE - PHASE 2

UNIT #	AREA (SF)	WIDTH (SF)
11	13,650	109.08'
12	12,730	98.71'
13	12,840	98.71'
14	13,374	95.98'
15	12,825	95.00'
16	12,877	95.06'
17	12,979	95.98'
18	12,447	95.00'
19	12,048	100.40'
20	12,045	99.61'
21	12,504	96.32'
22	13,280	95.00'
23	13,287	95.10'
24	12,267	94.41'
25	12,051	91.36'
26	15,780	90.00'
27	14,320	90.00'
28	12,076	98.80'
29	12,005	100.04'
30	12,538	90.00'

UNIT TABLE - PHASE 3

UNIT #	AREA (SF)	WIDTH (SF)
31	14,397	129.20'
32	14,026	95.58'
33	12,734	95.23'
34	12,825	95.00'
35	13,403	90.00'
36	17,178	90.00'
37	12,397	90.00'
38	12,210	99.37'
39	12,046	101.00'
40	12,447	95.00'
41	12,436	95.01'
42	12,943	98.63'
43	12,505	95.01'
44	13,983	104.71'
45	15,706	96.48'
46	14,574	96.80'
47	16,808	90.00'
48	19,304	90.00'
49	17,326	90.00'
50	14,560	90.00'
51	17,078	109.73'
52	13,090	95.00'
53	14,604	123.86'
54	13,857	99.18'
55	12,928	95.04'
56	16,210	90.00'
57	15,599	93.00'
58	16,652	90.00'
59	17,300	90.00'
60	17,402	90.00'
61	14,189	93.83'
62	15,416	113.33'
63	12,730	95.00'
64	12,792	95.05'

EYEBROW SIGNAGE
 "NO PARKING" SIGNS WILL BE POSTED ON BOTH SIDES OF THE STREET THROUGH THE EYEBROW BEND TO ENSURE MOBILITY OF FIRE TRUCKS AND MOVING VANS.

SIGNAGE NOTES

- STREET NAME SIGNS SHOULD BE PLACED ATOP THE INTERIOR YIELD SIGNS AND THE EXISTING STOP SIGNS.
- ALL STREET-NAME SIGNS SHALL COMPLY WITH THE CITY OF NOVI DESIGN STANDARDS.

SIGNAGE LEGEND

SYMBOL	DESCRIPTION	QUANTITY	PANEL	POST
Yield Sign	"YIELD" SIGN (R1-2)	2	2	2
Keep Right Sign	"KEEP RIGHT" SIGN (R4-7A)	4	4	4
No Parking Sign	"NO PARKING ANY TIME" SIGN (R7-1)	16	12	12
End of Road Sign	"END OF ROAD" MARKER (OM4-3)	1	1	1
25 MPH Sign	"25 MPH SPEED LIMIT" SIGN (R2-1) (25)	2	2	2
Stop Sign	"STOP" SIGN (R1-1 30')	2	2	2
Street Name Sign	"STREET NAME" SIGN (D3-1)	4	0	0

WETLAND IMPACT

MDEQ NON REGULATED WETLAND	AREA (AC.)	WETLAND IMPACT AREA (AC.)	25' BUFFER AREA (AC.)	25' BUFFER DISTURBANCE (AC.)
A	0.350	0.019	0.410	0.078
B	0.114	0.114	0.210	0.210
C	0.170	0	0.221	0.066
D	0.197	0	0.222	0.019
E	0.096	0.005	0.197	0.054
F	0.074	0.074	0.215	0.215
TOTAL:	1.001	0.212	1.475	0.642

SITE DATA
PROPOSED ONE-FAMILY RESIDENTIAL SITE CONDOMINIUM
 CURRENT ZONING: "R-1"
 MAXIMUM DENSITY = 1.65 DU/NET ACRE
 AREA GROSS = 41.21 ACRES
 AREA NET = EXCLUDING STATUTORY 33' R.O.W. ON TEN MILE ROAD (0.94 AC.) = 40.27 ACRES.
 MAXIMUM DENSITY = 1.65 DU/N.AC. X 40.27 ACRES = 66.44 UNITS
 PROPOSED NUMBER OF UNITS: 64 UNITS

TOTAL OPEN SPACE (GROSS)
 OPEN SPACE "A" = 118,502 SQ.FT. / 2.72 AC.
 OPEN SPACE "B" = 254,598 SQ.FT. / 5.85 AC.
 OPEN SPACE "C" = 191,510 SQ.FT. / 4.39 AC.
 OPEN SPACE "D" = 5,976 SQ.FT. / 0.14 AC.
 TOTAL OPEN SPACE = 570,586 SQ.FT. / 13.10 ACRES
 = 31.71% OF SITE

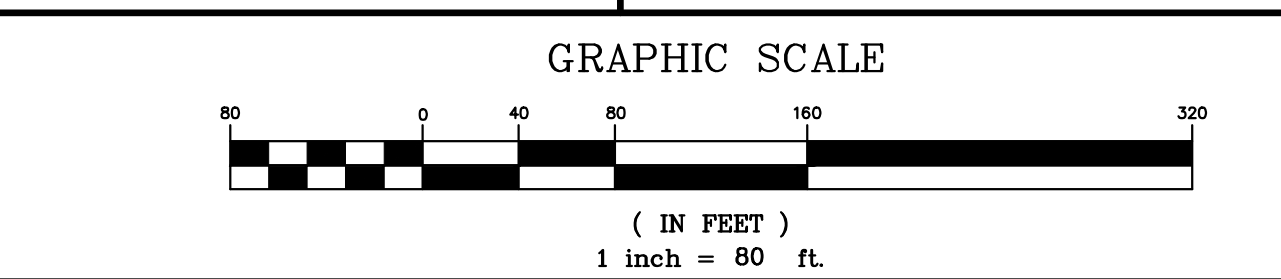
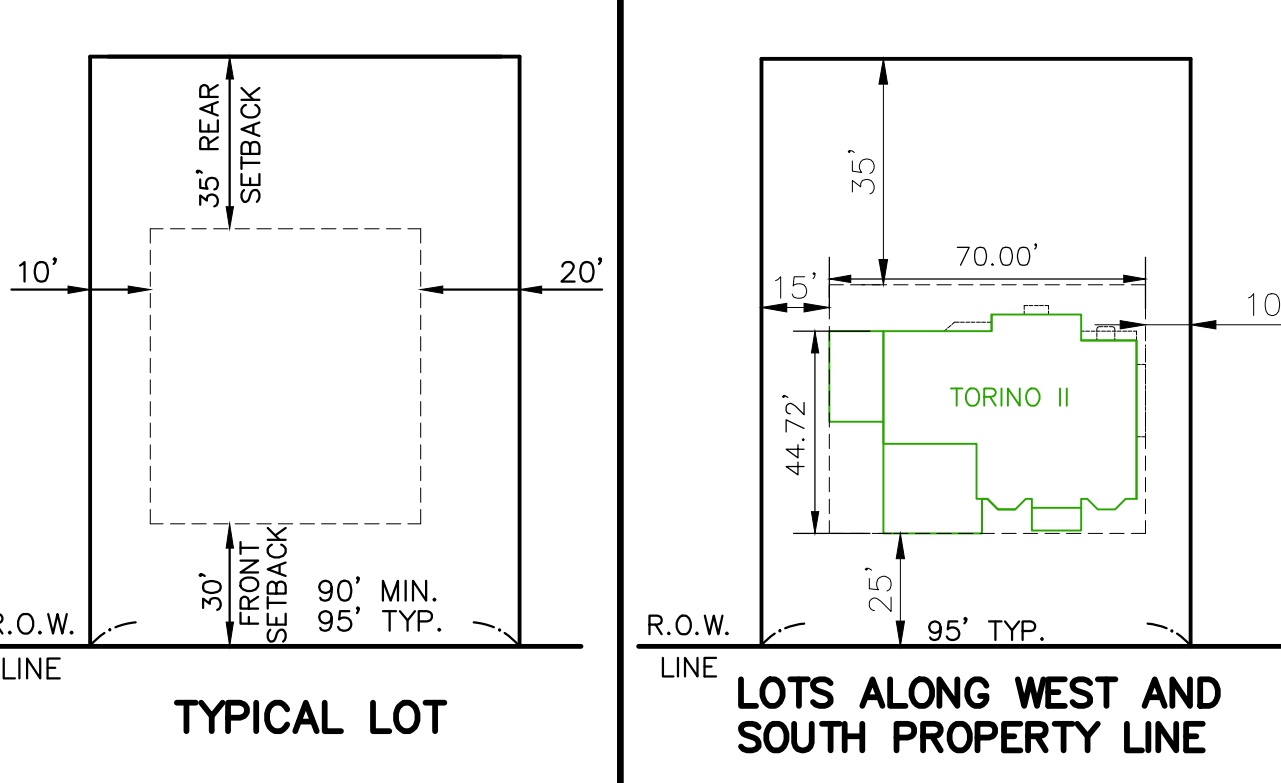
PROPOSED DESIGN CRITERIA
 (CONSISTENT "R-3 ZONING")
 MINIMUM LOT SIZE = 12,000 SQ.FT.
 MINIMUM LOT WIDTH = 90.00 FEET

STANDARD LOTS
 FRONT SETBACK = 30 FEET
 REAR SETBACK = 35 FEET
 SIDE YARD SETBACK = 10 FEET (MINIMUM)
 SIDE YARD SETBACK = 30 FEET (AGGREGATE)

LOTS ALONG WEST AND SOUTH PROPERTY LINE
 FRONT SETBACK = 25 FEET
 REAR SETBACK = 35 FEET
 SIDE YARD SETBACK = 10 FEET (MINIMUM)
 SIDE YARD SETBACK = 25 FEET (AGGREGATE)

NOTE:
 LOT WIDTH IS THE STRAIGHT LINE DISTANCE BETWEEN THE SIDE LOT LINES, MEASURED AT THE TWO POINTS WHERE THE MIN. FRONT YARD SETBACK LINE INTERSECTS THE SIDE LOT LINES

AVERAGE UNIT AREA = 13,814
 AVERAGE UNIT WIDTH = 96.37



- NOTES:**
- WOODLANDS PLAN, TREE INVENTORY REMOVAL & REPLACEMENT PLAN WILL BE PROVIDED WITH PRELIMINARY SITE PLAN.
 - 25' WIDE VEGETATED BUFFER SHALL BE PROVIDED AROUND THE PERIMETER OF EACH STORM WATER BASIN.
 - EMERGENCY ACCESS GATES MUST BE INSTALLED PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT.

- PROPOSED IMPROVEMENTS**
- MUNICIPAL SEWER TO BE PROVIDED BY CONNECTING TO AN EXISTING SANITARY SEWER ON THE WEST SIDE OF BECK ROAD.
 - MUNICIPAL WATER TO BE PROVIDED BY CONNECTING TO EXISTING 16" WATER MAINS LOCATED ON THE EAST SIDE OF BECK ROAD AND THE NORTH SIDE OF TEN MILE ROAD. ALL PROPOSED WATER MAIN SHALL BE 8" DUCTILE IRON CL. 54.
 - STORM WATER DETENTION SHALL BE PROVIDED ON SITE.
 - 5' WIDE CONCRETE SIDEWALKS SHALL BE CONSTRUCTED ON BOTH SIDES OF ALL INTERIOR ROADWAYS. AN 8-FOOT WIDE CONCRETE WALK SHALL BE CONSTRUCTED ALONG TEN MILE ROAD AND BECK ROAD. ALL SIDEWALK SURFACES SHALL BE PROVIDED WITH RAMPS & DETECTABLE WARNING SURFACES.
 - ALL ROADWAYS TO BE PUBLIC.
 - A CITY OF NOVI RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
--- (dashed)	--- (solid)	PAVEMENT (ASPHALT)
--- (dashed)	--- (solid)	SIDE WALK (CONCRETE)
--- (dashed)	--- (solid)	CONCRETE CURB AND GUTTER
--- (dashed)	--- (solid)	STORM SEWER
--- (dashed)	--- (solid)	SANITARY SEWER
--- (dashed)	--- (solid)	WATER MAIN
○ (circle)	○ (circle)	MANHOLE
○ (circle)	○ (circle)	CATCH BASIN W/STREAM GUARD
○ (circle)	○ (circle)	CURB INLET W/SILT SAC
○ (circle)	○ (circle)	END SECTION GATE VALVE
○ (circle)	○ (circle)	HYDRANT
○ (circle)	○ (circle)	FLOOD PLAIN
○ (circle)	○ (circle)	CONTOURS
○ (circle)	○ (circle)	SPOT ELEVATION
○ (circle)	○ (circle)	PROPOSED ELEVATION

VALENCIA ESTATES SOUTH
 SECTION 29, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

NO.	ITEM	DATE
1	PER CITY REVIEW	8-14-14
2	EXPAND PROJECT LIMITS	10-28-14
3	PER CITY REVIEW	12-12-14
4	REVISE LAYOUT PER OWNER	07-16-15
5	PRELIMINARY SITE PLAN	10-14-15
6	ADD PROPOSED GRADING	11-23-15
7	ADD PROPOSED CONTOURS ALONG CONSERVATION EASEMENT	12-15-15

DATE: 09-20-15 DESIGNED BY: A.A. JOB NUMBER: 14-002
 CHECKED BY: P.K. DRAWING FILE: 02-14002-OV

PRELIMINARY SITE PLAN

SEIBER, KEAST ENGINEERING, L.L.C.
 CONSULTING ENGINEERS
 100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
 PHONE: 248.308.3331 FAX: 248.308.3335

SHEET 2

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

February 7, 2019

Planning Review

Valencia South PRO

JSP 13-75 with Rezoning 18.708

PETITIONER

MI Homes of Michigan

REVIEW TYPE

Revised PRO Concept Plan and Agreement: 1st Amendment to approved PRO plan

PROPERTY CHARACTERISTICS

Section	29	
Site Location	South of Ten Mile Road and west of Beck Road.	
Site School	Novi Community School District	
Current Site	R-3 with PRO	
Proposed Site	R-3 with PRO	
Adjoining Zoning	North	R-3 with PRO
	East	R-1 One-Family Residential
	West	R-1 One-Family Residential
	South	R-1 One-Family Residential
Current Site Use	Valencia South under construction	
Adjoining Uses	North	Valencia Estates
	East	Single family homes and Oakland Baptist Church
	West	Echo Valley Estates
	South	Andover Pointe No.2
Site Size	41.312 gross acres, 40.323 net acres	
Plan Date	December 11, 2018	

PROJECT SUMMARY

The subject property was rezoned from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay (PRO). The subject property totals approximately 41.31 acres and is located in Section 29, south of Ten Mile Road and west of Beck Road. The approved plan proposed a 64 unit single-family residential development. **The current amendment is requested to allow for construction of a ranch floorplan within the Community. No other changes to the development are proposed at this time.**

PROJECT REVIEW HISTORY

City Council approved the PRO Concept plan and the agreement on August 24, 2015.

PRO OPTION

The PRO option creates a "floating district" with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from EXPO to TC) and the applicant enters into a PRO agreement with the City, whereby the applicant submits a conceptual plan for development of the site. The City Council reviews the Concept Plan, and if the plan may be acceptable, it directs for preparation of an agreement between the City and the applicant, which also requires City Council approval. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan

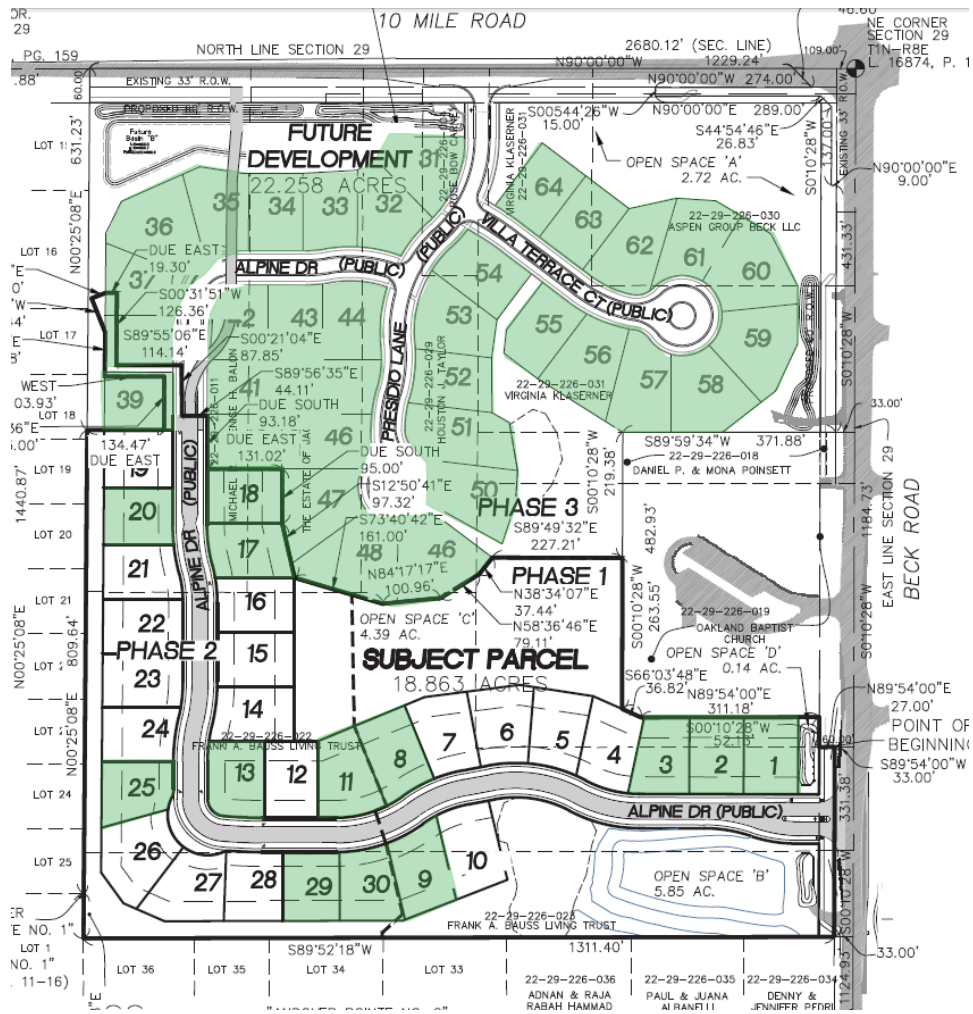
approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two (2) years, the rezoning and PRO concept plan expires and the agreement becomes void.

RECOMMENDATION

Approval to the proposed amendment is recommended contingent on the applicant providing necessary data that satisfactorily addresses the concerns listed in Façade review letter.

COMMENTS

- Type of housing:** The subdivision is currently under construction. According to the applicant, 17 houses out of 64 are sold and will be developed as two-story single family homes. Our records indicate building permits have been issued for 6 more houses. 7 houses are currently occupied. The applicant is proposing to introduce ranch style housing as one of the options for prospective buyers for the remaining lots (shaded in green in the image below). The mix of ranch style home and single family homes is market driven at this time.



- Existing vs Proposed:** The applicant indicated in his cover letter that the average square footage of the existing, surrounding homes is 2,614 square feet and the proposed ranch plan is 2,001 square feet. However, staff does not agree with this finding. The average size of the approved models within Valencia South is 3,400 SF. The average size of occupied models is 3,600 SF. The average size of all homes within the surrounding neighborhood (within 350') is approximately 3,400 SF.

3. **Architectural Style:** The quality of architectural design was considered as part of the overall public benefit. Proposed housing style is consistent with the enhanced architecture initially proposed. However, staff's concerns are more related to the size and its conflict with the intent of similar dissimilar ordinance.
4. **Typical Lot Layout:** The applicant should provide a typical lot plan indicating the property lines and the building footprint to verify conformance with setbacks. It appears that a 2,550 square feet is achievable for the existing lots.
5. **Façade deviation requested:** The Similar Dissimilar Ordinance requires that the square footage of a proposed home be within 75% of the average of the occupied homes in the surrounding area. Per our Façade review letter, the proposed ranches should be approximately a minimum of 2,550 square feet to comply. The applicant is proposing a 2,000 square feet ranch option which would require a deviation. **Staff is currently not supporting the requested deviation as the applicant did not satisfactorily justify the high market value and high construction cost of ranch style homes. Please refer to Façade review letter for more details and additional information requested.**

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that "each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas." Such deviations must be considered by City Council, who will make a finding of whether to include those deviations in a proposed PRO agreement. A proposed PRO agreement would be considered by City Council only after tentative approval of the proposed concept plan and rezoning.

Update: February 08, 2019:

The applicant has provided a response letter with a comparative market analysis of the types of homes that have been constructed in Valencia South, compared with the proposed ranch-style homes. The analysis includes sale prices for 2-story single family homes in Valencia South and sales prices of 1-story ranch housing in developments in South Lyon and Northville that are similar to the ranch homes proposed in Valencia South. Two-story Single family homes are selling at a price range from \$193 per sq. ft. to \$ 229 per sq. ft. whereas ranch style houses are selling at a range of \$232 per sq. ft. to \$311 per sq. ft. It appears that there is a significant premium (about 20% to 40%) in price per square foot for ranch style housing. On a price/square foot basis, the applicant states that the ranch style housing will sell at a substantially higher ratio, given the extra construction cost associated with building 1-story homes versus 2-story homes. The developer states that the cost of construction for ranches is also 30% higher than single family homes. According to the applicant, it would be harder to sell ranches with the minimum required square footage of 2,550 sf (as noted in the Façade Consultant's review letter), due to higher cost of construction and higher sale values.

The developer should demonstrate whether the difference stated by the builder in initial sale price is reflected downstream in the assessed value and resale value the difference stated by the builder in initial sale price reflected downstream in the assessed value and resale value for a ranch vs. 2-story home

See below a summary of comparison of both style of housing proposed, provided by the applicant.

	Existing Single Family Homes	Proposed Ranch Style Homes
Total levels	2	1
Building height	32-35' (2-story)	25-27' (1-story)
Square footage: total living area	2777-3927 sf	2001 sf with additional 1,231 sf basement
Total number of levels	2	1
Garage Parking	3	3

The applicant is not proposing any other changes to the approved PRO plan or the agreement. The site plan is still subject to conditions listed in the PRO agreement.

SUMMARY OF OTHER REVIEWS

Facade Review (dated 02-07-19): Façade is currently not supporting the requested deviation from similar dissimilar ordinance.

NEXT STEP: PLANNING COMMISSION

The current request is scheduled for Planning Commission public hearing on February 13, 2019. Please submit the following no later than noon on February 8th, 2019 in electronic format.

1. Response letter addressing staff's comments.
2. Color renderings of proposed ranch style houses or pictures of existing houses

CITY COUNCIL MEETING

If Planning Commission makes a positive recommendation, we will place the request on next available City Council agenda.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org



Sri Ravali Komaragiri – Planner

FAÇADE REVIEW



February 7, 2019

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375-3024

Re: Valencia South PRO Amendment (Lot 29 Bloomfield Model)
Architectural Review, JSP13-0075

Dear Ms. McBeth;

This project was approved as a Planned Rezoning Overlay (PRO). The quality of architectural design was considered as part of the overall public benefit as required by Section 3402.D.2.b of the PRO Ordinance. The criteria considered in determining compliance included; home size, quality of materials and design diversity. The PRO specifically stated that home sizes would be upgraded to “2,400 SF minimum, up to 3,500 SF and larger”. Four models, each with several elevations (23 total) were submitted and were approved at that time. These established a minimum standard of quality for homes within Valencia South, with the understanding that other models, of equal or greater quality, could be included at a later date. The approved models ranged from 3,000 to 3,500 SF (see attached). Approximately 23 of the 53 lots in Valencia South have been approved to date. Of these approximately 7 homes are occupied. The average size of the approved models within Valencia South is 3,400 SF. The average size of occupied models is 3,600 SF. The average size of all homes within the surrounding neighborhoods (within 350’) is approximately 3,400 SF.

The applicant has requested that an additional model; the “Bloomfield” be allowed. The “Bloomfield” model is a ranch style home which the applicant indicates is in high demand in the marketplace. This model is less than 2,000 SF; significantly less than the average size anticipated in the PRO. The “Bloomfield” model is generally consistent with the other criteria considered in the PRO; namely quality of materials and design diversity.

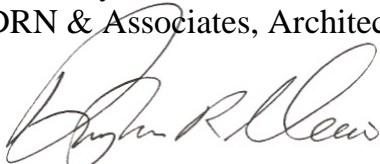
The Similar Dissimilar Ordinance requires that the square footage of a proposed home be within 75% of the average of the occupied homes in the surrounding area. Based on this the minimum size for a new home in Valencia South would be approximately 3,400 x 75% = 2,550 SF. Therefore, the proposed “Bloomfield” model is approximately 550 SF below the minimum required by the Similar / Dissimilar Ordinance.

The applicant has requested that the PRO Agreement be amended to allow the “Bloomfield” model be constructed on up to 35 lots; essentially all remaining lots within Valencia South. The applicant has stated that this is justified by the high market value and higher construction cost (per SF) of ranch style homes, and that the home is otherwise consistent with the PRO with respect to quality of materials and design diversity.

Recommendation – The applicant should submit other ranch style models that comply with the Ordinance with respect to minimum square footage (approximately 2,550 SF). Alternately, the applicant should provide data evidencing the differential in market value of a ranch style home as compared to an equivalent 2-story home. Unless a significantly higher value on a dollar per square foot basis can be demonstrated, we believe that the introduction of any model below the minimum size required by the Similar Dissimilar Ordinance would be inconsistent with the intent and purpose said Ordinance as well as the PRO, and moreover would set an undesirable precedent for future application of these Ordinances.

If you have any questions please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over a light blue horizontal line.

Douglas R. Necci, AIA

Attachments;
Original PRO Models; Springhaven, Torino, Muirfield & Santa Fe (color renderings)
Proposed “Bloomfield” model w/ 4 elevations (drawings).



PINNACLE HOMES

A



Springhaven

3,000 Square Feet



Valencia Estates

www.PinnacleHomes.com

248.977.6144



3

10/14

Springhaven

3,000 Square Feet
4 Bedroom ▲ 2-1/2 Bath
3-Car Attached Garage

First Floor



Second Floor



PINNACLE HOMES

Valencia Estates
www.PinnacleHomes.com
248.977.6144



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12/12/14

PINNACLE HOMES



Lorino

3,500 Square Feet



Valencia Estates

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5

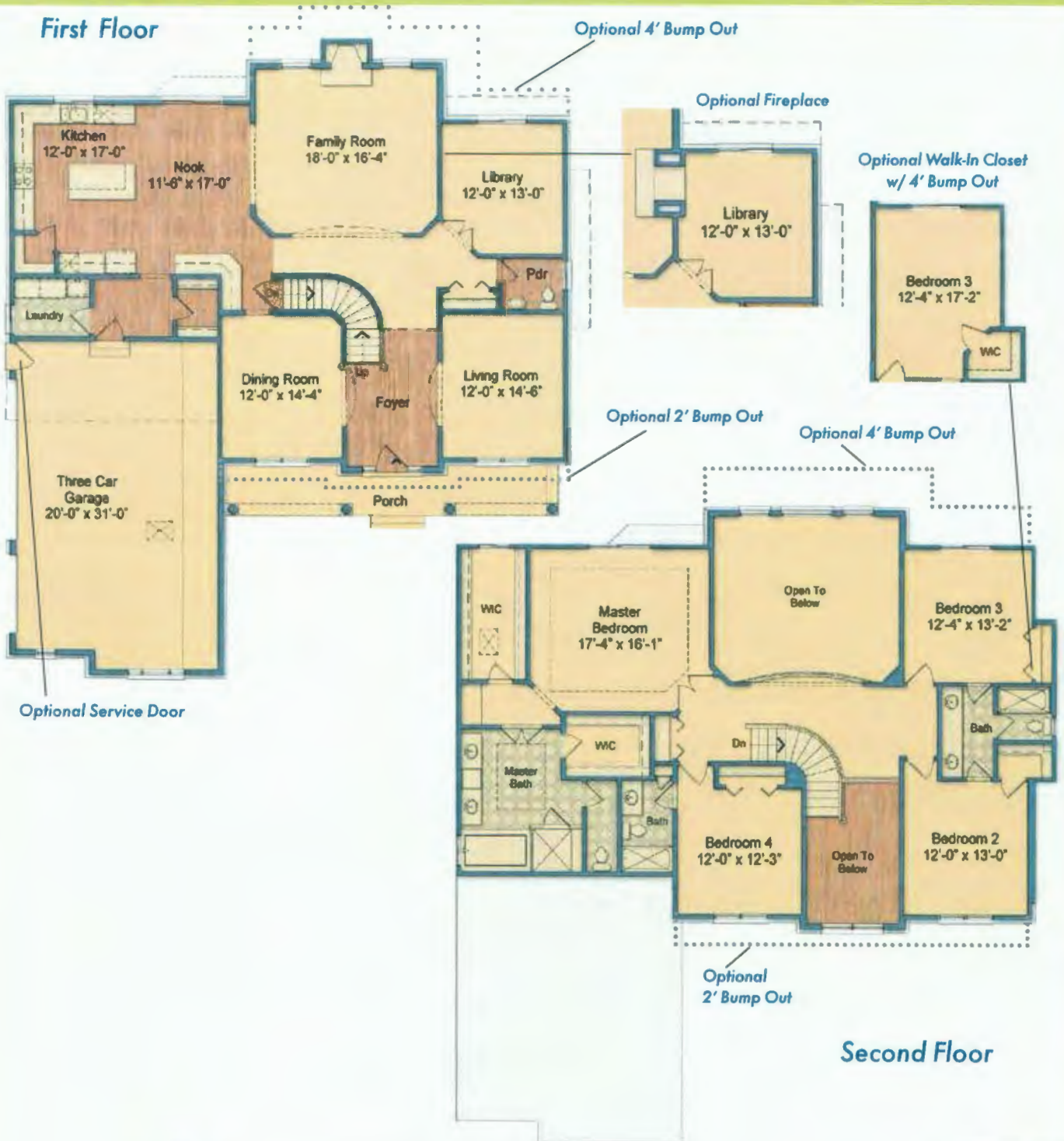


10/14

Torino

3,500 Square Feet
 4 Bedroom ▲ 3-1/2 Bath
 3-Car Attached Garage

First Floor



Second Floor



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PINNACLE HOMES



Muirfield

3,200 Square Feet



5

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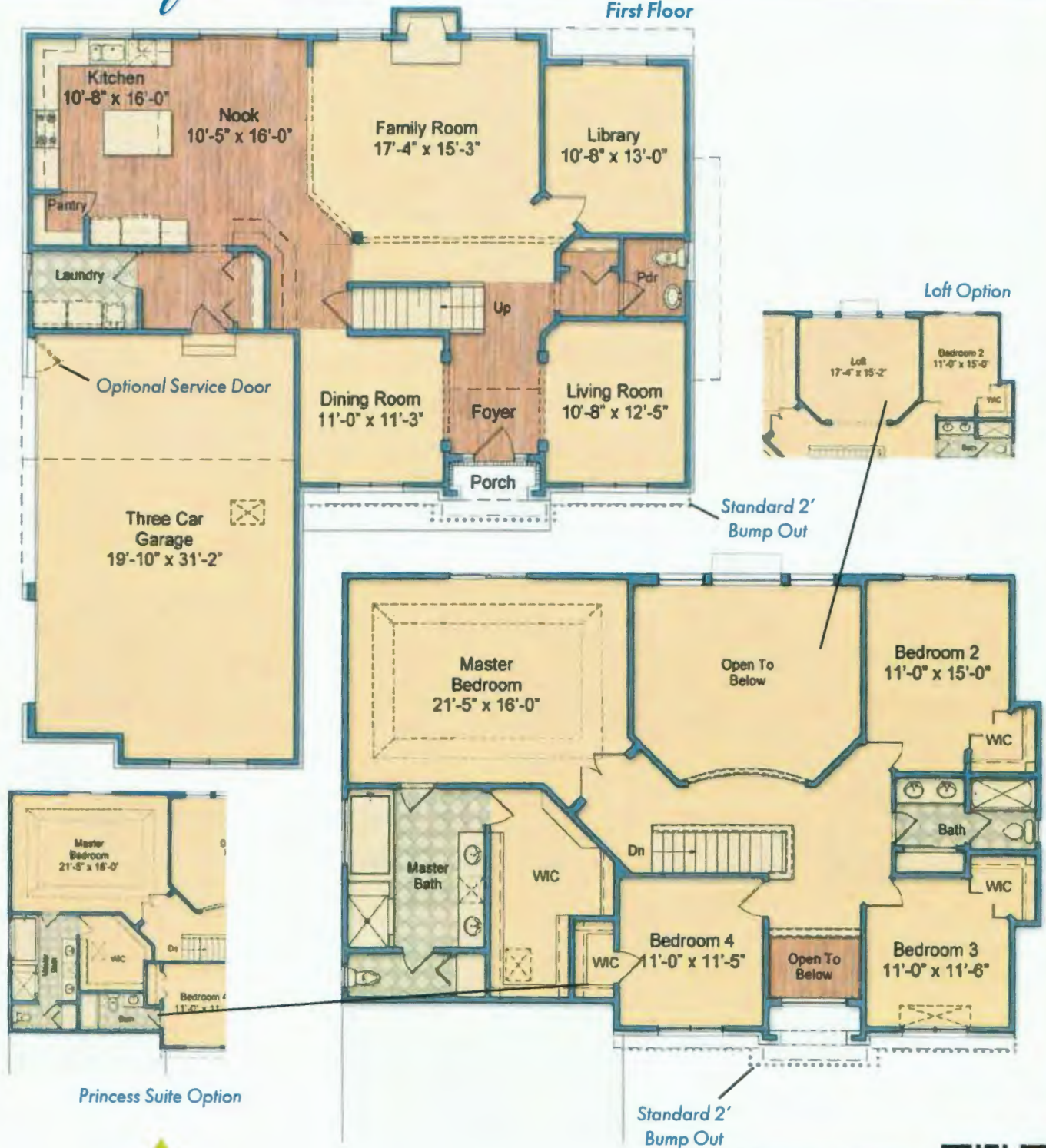


10/14

Muirfield

3,200 Square Feet
 4 Bedroom ▲ 2-1/2 Bath
 3-Car Side Entry Garage

First Floor



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A



Santa Fe

3,520 Square Feet

A



B



C



Santa Fe

3,520 Square Feet
4 Bedroom ▲ 3-1/2 Bath
3-Car Attached Garage

First Floor



Second Floor



Valencia Estates
248.449.4000
www.PinnacleBuilt.com

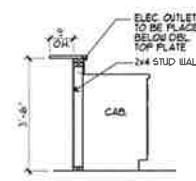


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GENERAL NOTES:

- DOUBLE EVERY JOIST UNDER CERAMIC TILE WHEN USING DIMENSIONAL LUMBER.
- ALL POURED CONCRETE WALLS TO BE BACKFILLED WITH SANDY TYPE SOIL AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE.
- ALL POURED CONCRETE FOOTING TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE BEARING ON UNDISTURBED VIRGIN SOIL WITH A MINIMUM BEARING CAPACITY OF 2500 P.S.F. MUST BE VERIFIED BY SOILS ENGINEER IN THE FIELD FOR FOOTING INSPECTION.
- UNEXCAVATED GARAGE SLAB SHALL COMPLY W/ TABLE R402.2 (1) CONCRETE SLAB MIN. 3500 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE ON 4" MIN. WELLS. COMPACTED SAND BASE.
- ALL POURED CONCRETE WALLS WITH A BRICK LEDGE GREATER THAN 4'-0", SHALL BE REINFORCED VERTICALLY WITH #5 BARS @ 4'-0" O.C. AND HORIZONTALLY WITH ONE (1) #4 BAR @ 12" FROM TOP AND BOTTOM AND @ THE MID-POINT OF THE WALL.
- TYPICALLY ALL FINIS IN POURED CONCRETE FOUNDATION WALLS MUST BE REMOVED AND FILLED WITH FOUNDATION COATING PRIOR TO BACK FILL INSPECTION.
- PROVIDE 4" PER" DRAIN TILE CONT. AT BASEMENT FTG. IN 1" (MIN) PEASTONE WITH 2" BELOW DRAIN TILE. CONNECT TO SUMP AND STORM SEWER AS REQUIRED.
- BUILDER AND SUB BRICK CONTRACTORS TO PROVIDE DEEP HOLES RESTING ON THE FINISH GRADE 3" O.C. (MAX) (IF PREPARED) AT HEAD DETAILS OF WINDOWS, DOORS, BASEMENT WINDOWS AND GARAGE DOORS. ALSO PROVIDE FLASHING TO FACE OF BRICK W/ MIN. 8" VERTICAL LEG AND FORM END DARTS (LAP UNDER AIRMOISTURE BARRIER). MICHIGAN RESIDENTIAL CODE 205 SEC. 103.15 - 103.8. A PRE-BRICK INSPECTION WILL BE REQ'D PRIOR TO BRICK INSTALLATION FOR FLASHING INSPECTION.
- ALL ENGINEERED WOOD FLOOR TRUSSES TO BE 1" DENISE KD WITH 2" BY 6" CONTINUOUS RIBBON BRACING ON BOTTOM CORD 3'-0" O.C. (MINIMUM 2" PER SPAN WELL NAILED TO TRUSSES. PROVIDE BRACKETS/CHAINS.
- ALL MICRO-LAM BEAMS TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS.
- ALL FLOOR JOISTS TO BE 2" OR BETTER HEM FIR WITH 1" X 3" CROSS BRIDGING @ 4'-0" O.C. (MIN.)
- PROVIDE 15 POUND FELT AT UNTREATED EXPOSED LUMBER.
- PROVIDE 2x6 UPMANIZED PRESSURE TREATED SILL PLATE ON SILL SEALER WITH 1/2" ANCHOR BOLTS @ 6'-0" O.C. AND LOCATED NOT MORE THAN 8" INCHES AND NOT LESS THAN 3 1/2" INCHES FROM THE ENDS OF EACH PLATE SECTION. EXCEPTION: USE ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" ANCHOR BOLTS.
- PROVIDE METAL FLASHING, COUNTER FLASHING AND STEPPED FLASHING WHERE NOTED AND AT ALL PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERACTIONS WITH ROOF, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS.
- PROVIDE APPROVED SEALANT WHERE REQUIRED AND AS DETAILED BY MFG.
- DO NOT DRILL KITCHEN WINDOW DOUBLES.
- PROVIDE A 1" MIN. SOLID CORE FIBERATED DOOR BETWEEN GARAGE AND RESIDENCE MIN. 20 MINUTE FIBERATED R09.13.
- ALL WINDOW NUMBERS REFER TO GENERIC WINDOW SIZES. VERIFY SIZES WITH WINDOW MANUFACTURER USED. ALL SIZES AND SHAPES TO MATCH DIMENSIONALLY.
- ALL BEDROOM WINDOWS TO MEET 205 MICHIGAN RESIDENTIAL EGRESS CODES. ALL WINDOW SILLS 1" ABOVE FINISH GRADE. SHALL HAVE THE BOTTOM OF THE OPENING LOCATED 4" MIN. OF 24" ABOVE FINISH FLOOR OF THE ROOM PER MRC 205 SEC. R6.02.
- AREAS THAT REQUIRE TEMPERED GLASS:
 - FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS
 - SHOWER AND BATH TUB DOORS AND ENCLOSURES (IF APPLICABLE)
 - PANELS WITH A GLAZED AREA IN EXCESS OF 3.50 FT. WITH LOWEST EDGE LESS THAN 18 INCHES ABOVE THE FINISHED FLOOR LEVEL.
 - ALL OTHER AREAS AS CODE REQUIRES PER 205 MICHIGAN RESIDENTIAL CODE.
- PROVIDE UNDERSTAIR PROTECTION PER 205 ENCLOSED ACCESSIBLE SPACE UNDER SHALL HAVE WALLS UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYP/DMR BOARD.
- WHERE HANDRAILS ARE SHOWN, HANDRAIL HEIGHT IS TO BE NOT LESS THAN 34" AFF. AND MORE PROVIDE HANDRAIL ON AT LEAST (1) SIDE OF EVERY STAIRWAY PER SECTION R301.11 OF THE 2018 IBC. PER R301.11 GUARD RAIL IS TO BE NOT LESS THAN 36" AFF. PER R301.2 (MRC 205) 205 MICHIGAN RESIDENTIAL CODE. HANDRAIL GRIP TO COMPLY WITH 205 MICHIGAN RESIDENTIAL CODE SECTION R301.13 HANDRAIL SHALL BE CONTINUOUS WHERE ADJACENT TO WALLS SHALL HAVE A SPACE OF MIN 1/2" BETWEEN WALLS AND THE HANDRAIL. PER R301.12
- ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOT CANDLE OF LIGHT.
- 4'-0" CLEAR HEADROOM REQUIRED ON ALL STAIRS.
- PROVIDE A BATH FAN WHERE SHOWN ON PLAN AND VENT FAN TO EXTERIOR AS REQUIRED. VENT MECHANICAL EXHAUST DIRECTLY OUTSIDE PER R601.3. (MRC-205)
- TYPICAL ALL HABITABLE ROOMS TO HAVE PROPER LIGHT, VENTILATION AND COMPLY WITH 205 MICHIGAN RESIDENTIAL CODES.
- PROVIDE ELECTRICAL SMOKE DETECTORS IN ALL SLEEPING AREAS, HALLWAYS, AND MECHANICAL ROOMS ON ALL FLOOR LEVELS, INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE WIRED TOGETHER SO AS WHEN ONE SOUNDS THEY ALL SOUND AND HAVE BATTERY BACKUP PER SEC. R304 OF 205 MICHIGAN RESIDENTIAL CODE.
- FIRESTOP ALL DROPS AND CHASES, ELECTRICAL, PLUMBING AND HVAC.
- VERIFY ELECTRICAL SERVICE IN ACCORDANCE WITH ALL NEW WORK. VERIFY ALL PROPOSED ELECTRICAL OUTLETS, SWITCHES, DIFFERS, LIGHT LOCATION, ETC INCLUDING CABLE AND PHONE FIRE-ARMING SECURITY. TAKE INTO CONSIDERATION ALL ELECTRICAL INSTALLATION WITH OWNER AND COMPLY WITH 205 MICHIGAN RESIDENTIAL ELECTRICAL CODES.
- WHERE APPLICABLE, VERIFY PREPLACEMENT OPTION WITH SUBDIVISION SPECS AND WORK ORDER.
- VERIFY SIZE OF FIREPLACE UNIT WITH BUILDER/OWNER. CONTRACTOR TO VERIFY ROUGH OPENING SIZE OF SELECTED UNIT WITH MANUF. SPECS PRIOR TO BUILDING CONSTRUCT CHIMNEY PER CHAPTER 10 OF THE 205 MRC.
- PROVIDE 5/8" DRYSWALL ON THE GARAGE SIDE OF WALLS COMMON TO RESIDENCE AND GARAGE. APPLY 5/8" TYPE "X" DRYSWALL TO GARAGE CEILING AREAS BELOW HABITABLE ROOMS PER MRC 205 TABLE R307.2.
- LOWER LEVEL AREA CONSIDERED UNHABITABLE. ANY FUTURE ALTERATIONS TO MODIFY LOWER LEVEL TO A HABITABLE SPACE WILL COMPLY STRICTLY TO THE 205 MICHIGAN RESIDENTIAL CODE. EGRESS WINDOW PROVIDED, AS REQUIRED, IN COMPLIANCE W/ MRC 205 SEC. R301.1 - R301.3
- CHIMNEY TERMINATION MUST PROJECT 2'-0" ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3'-0" ABOVE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH THE ROOF.
- ROOF VENTILATION WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1" INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENTS.
- NOT USED.
- NOT USED.

- PROVIDE FIBER-CEMENT, FIBER-HAT REINFC. CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER REINFC. GYPSUM BACKERS AS BACKERS FOR THE ANCHOR SHOWER WALL, TILES AND PANELS. BACKERS MUST COMPLY W/ ASTM C 1088, C 1035, C 1116 OR C 1176 AND BE INSTALLED PER MANUF. RECOMMENDATIONS. MRC 205 SEC. R302.2.
- PROVIDE NON-ABSORBENT FINISH TO THE SURFACE OF ALL BATHING AREAS W/ WALL MOUNTED SHOWER HEADS, A MIN OF 4'-0" ABOVE FINISH FLOOR PER MRC 205 SEC. R301.2.
- PROVIDE 3-LAYER MINERAL COATED ROLLED ROOFING AT ALL EAVES TO 14" INSIDE BUILDING. 3 LAYERS MUST BE CEMENTED TOGETHER. VERIFY WITH BUILDING DEPARTMENT.
- PROVIDE ADEQUATE ROOF VENTILATION AND SOFFIT VENTILATION (MIN) AS REQUIRED. VERIFIED BY CALCULATION USE OF AREA VENTILATION REQ'D PER SEC. R206.2.
- FASTENER SCHEDULE FOR STRUCTURAL MEMBERS TABLE R601.3 (1) WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO PRINTING AND PARTICLEBOARD WALL SHEATHING TO PRINTING. BUILDING MATERIALS OF 1/8" - 1/4" USE 6d COMMON NAIL. (SUBFLOOR, WALL) @ 6" FROM EDGES (2") INTERMEDIATE SUPPORTS AND USE 8d COMMON NAILS FOR ROOF @ 6" FROM EDGES (2") INTERMEDIATE.
- BUILDER /OWNER TO PROVIDE WATERPROOFING TO CODE SNIFFIT INFORMATION ON APPROVED PRODUCTS.
- ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHOULD REVIEW THE DRAWING AND INDICATE TO ARCHITECT PRIOR TO FABRICATION ANY CHANGE IN BEARING CONDITIONS THAT WOULD REQUIRE RE-FRAMING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.
- ROOF TRUSS MANUFACTURER TO FURNISH SHOP DRAWING TO THE DESIGNER PRIOR TO FABRICATION OF THE TRUSSES.
- ROOF TRUSS DESIGNED BY TRUSS MANUFACTURER TO CONFORM TO ALL MINIMUM DESIGN LOAD REQUIREMENTS.
- BUILDER/TRUSS MFG. TO PROVIDE TRUSS DESIGN DRAWINGS IN COMPLIANCE WITH MRC 205 AND SHALL INCLUDE AT MINIMUM THE INFORMATION SPECIFIED BELOW:
 - SLOPE OR DEPTH SPAN AND SPACING
 - LOCATION OF ALL JOINTS
 - REQUIRED BEARING UPLIFTS
 - DESIGN LOADS AS APPLICABLE
 - TOP CHORD LIVE LOAD (INCLUDING SNOW LOADS)
 - BOTTOM CHORD LIVE LOAD
 - BOTTOM CHORD DEAD LOAD
 - CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION
 - CONTROLLING WIND AND EARTH QUAKE LOADS
 - ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE
 - EACH REACTION FORCE AND DIRECTION
 - JOINT CONNECTOR TYPE AND DESCRIPTION E.G. SIZE, THICKNESS OR GAUGE) AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERFERENCE
 - LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER
 - CONNECTION REQUIREMENTS FOR:
 - TRUSS-TO-TRUSS GIRDERS
 - TRUSS PLY TO FLY
 - FIELD SPLICES
 - CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD
 - MAXIMUM AXIAL COMPRESSION FORCES IN THE TRUSS MEMBERS TO ENABLE THE BUILDING DESIGNER TO DESIGN THE SIZE CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS
 - REQ'D PERMANENT TRUSS MEMBER BRACING BRACE ROOF TRUSSES AS RECOMMENDED BY MANUFACTURER.



NOTE: ALL CODES SHALL COMPLY WITH THE MICHIGAN BUILDING CODES, INTERNATIONAL BUILDING CODES WHERE APPLICABLE & 205 MICHIGAN RESIDENTIAL CODE. THEY SHALL ALSO COMPLY WITH ANY JURISDICTION CODES IN THEIR RESPECTIVE COUNTY, CITY, VILLAGE, OR TOWNSHIP AND THEIR PROVISIONS AND ORDINANCES.

NOTE: GENERAL NOTES INDICATED ABOVE ARE JUST A SMALL PORTION OF OUR STANDARD NOTES & THE 205 MICHIGAN RESIDENTIAL CODE BUT THE CODE IS MUCH BROADER & SHOULD BE STRICTLY FOLLOWED BY BUILDERS, TRADES & CRAFTSMAN.

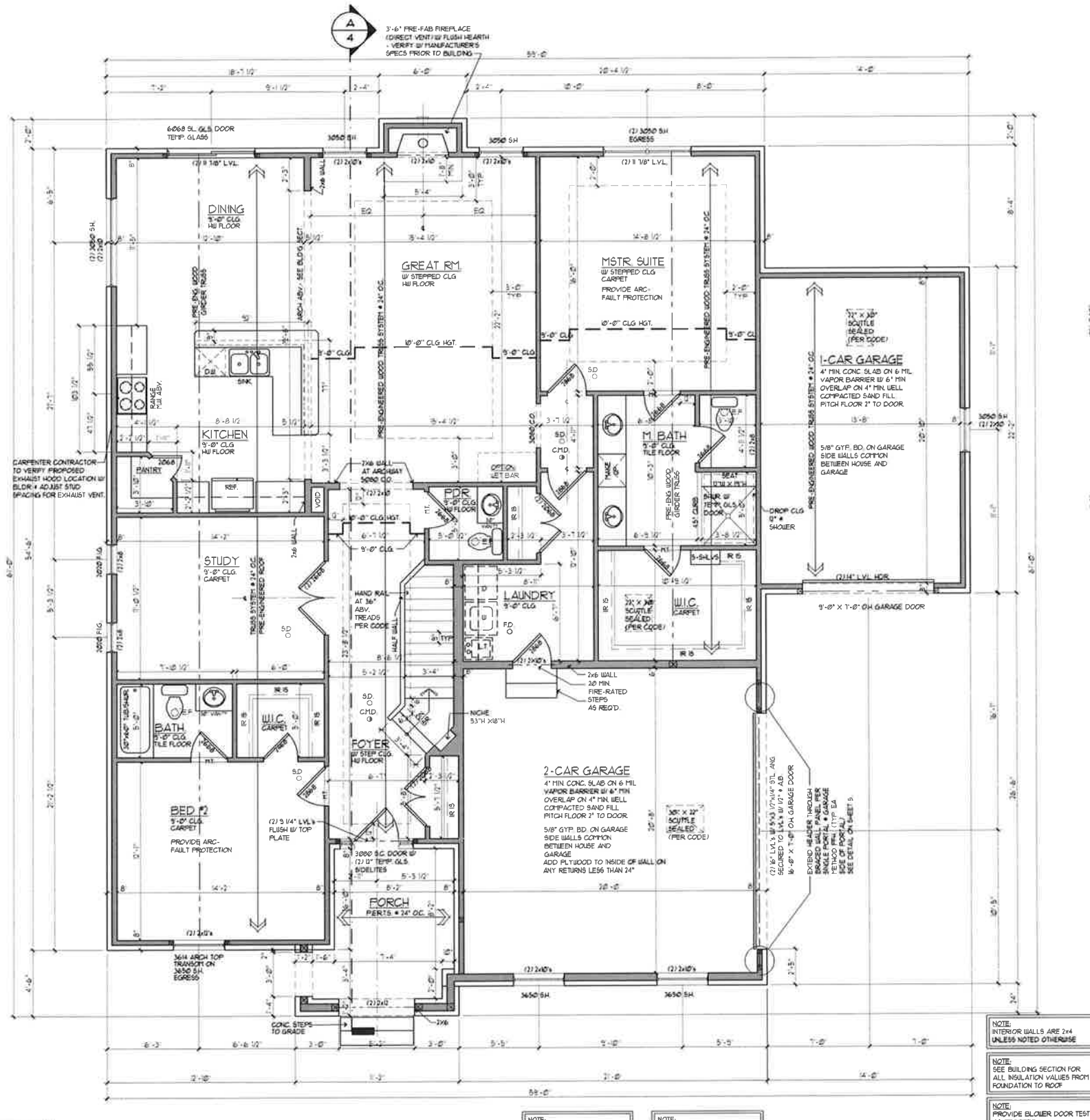
DO NOT SCALE DRAWING. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS, NOTIFY THE DESIGNER IMMEDIATELY FOR DIRECTION. BUILDER RESPONSIBLE TO HAVE REVIEWED ALL DRAWINGS AND IF ADDITIONAL CLARIFICATION OR INFORMATION IS NEEDED BUILDER IS TO CONTACT DESIGNER AND SALES COUNSELOR.

THESE CONSTRUCTION DOCUMENTS ARE A GRAPHIC REPRESENTATION FOR THE PROPOSED PROJECT. DIMENSIONS OF ROOMS, WINDOWS OR FIXTURES MAY VARY BETWEEN MANUFACTURERS AND INSTALLATION. BUILDER TO MAKE EVERY ATTEMPT TO MATCH DIMENSIONS AS DRAWN.

WINDOW DESIGNATIONS ARE APPROXIMATE. EXACT SIZES ARE PER THE MANUFACTURER'S SPECIFICATIONS.

SIZE OF ANGLE (IN) **	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO OF 1/2" OR 5/8" REINFC. BARS*
3 x 3 x 1/4	8'-0"	4'-0"	3'-0"	1
4 x 3 x 1/4	8'-0"	6'-0"	4'-0"	1
3 x 3 1/2 x 1/4	10'-0"	6'-0"	4'-0"	2
3 x 3 1/2 x 1/2	14'-0"	8'-0"	7'-0"	2
4 1/2 x 3 1/2 x 1/2	20'-0"	12'-0"	9'-0"	4

- LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION.
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8 INCHES AND ALL CELLS OF HOLLOW MASONRY LINTELS SHALL BE GROUTED SOLID. REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES. OTHER STEEL MEMBERS, MEETING STRUCTURAL DESIGN REQUIREMENTS, MAY BE USED.



FLOOR PLAN: BLOOMFIELD - "R"
2,001 TOTAL SQ FT SCALE: 1/4" = 1'-0"

NOTE: PROVIDE TEMPERED GLASS IN ACCORDANCE WITH SECTION R601.4 MRC 205

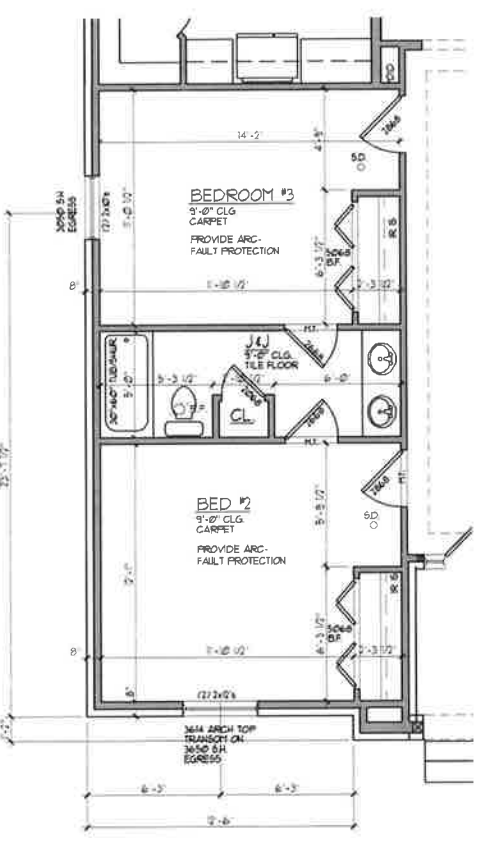
NOTE: PROVIDE HURRICANE CLIPS IN ACCORDANCE WITH SECTION R601.4 MRC 205

NOTE: INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE

NOTE: SEE BUILDING SECTION FOR ALL INSULATION VALUES FROM FOUNDATION TO ROOF

NOTE: PROVIDE BLOWER DOOR TEST AS REQUIRED

NOTE: COMPLY WITH 205 MICHIGAN UNIFORM ENERGY CODE USING SECTION 409.5 ILLUMINATED PERFORMANCE



OPTIONAL 3RD BEDROOM BLOOMFIELD "R" SCALE: 1/4" = 1'-0"

- SD BUILDER TO PROVIDE APPROVED SMOKE DETECTORS AS REQ'D ON ALL FLOORS (INTER-CONNECTED) WITH BATTERY BACK-UP
- CHD CARBON MONOXIDE DETECTOR (PER CODE) TO COMPLY W/ ILL10034 AND INSTALLED PER MANUF. SPECIFICATIONS
- NOTE: ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOTCANDLE
- INDICATES TYPICAL (1) STUD BEARING (UNLESS OTHERWISE NOTED ON PLAN)
- NOTE: BUILDER TO COORDINATE ALL ELECTRICAL UPGRADES (FANS, OUTLETS, SWITCHES, LIGHTING, ETC) W/ HOMEOWNER PRIOR TO CONSTRUCTION
- NOTE: INTERIOR WALL DIMENSIONS ARE FROM STUD TO STUD EXTERIOR WALLS INCLUDE SHEATHING
- NOTE: MINIMUM THREE STUD SPACINGS AT ALL DOOR THRESHOLS - CARPENTER TO VERIFY CASING SIZE WITH BUILDER
- NOTE: ALL TRIM TO BE PACKED OUT W/ 1/2" OSB SHEATHING

MARTINI Design Group

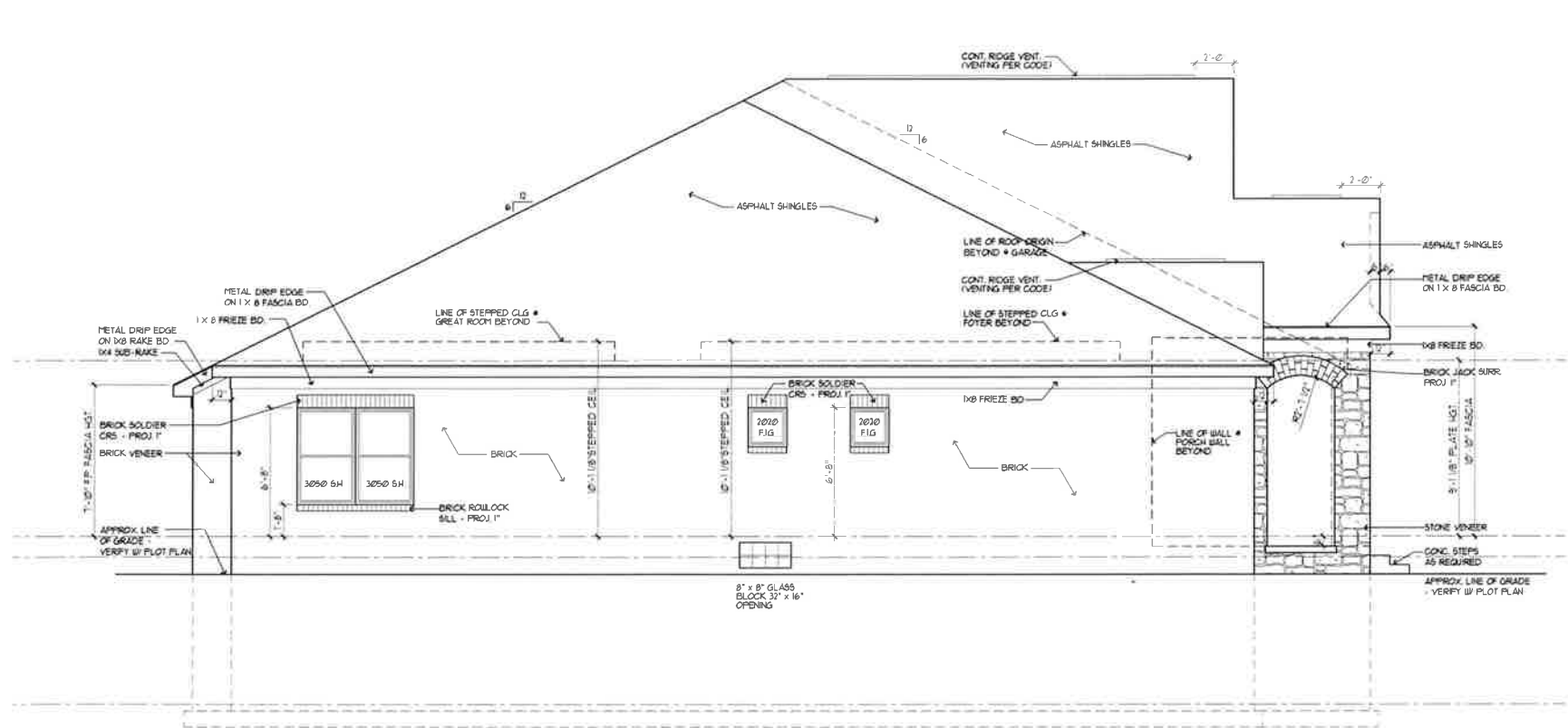
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PINNACLE HOMES
28800 ORCHARD LAKE RD.
SUITE 200
FARMINGTON HILLS, MI

BLOOMFIELD 'R' MASTER SET
@ VALENCIA SOUTH
NOVI, MI 48374

Review Set: 09.20.2016
Permit Set:
Final Set:
Revisions: 12.11.2016
Drawn By:
Checked By:
Job No:
18-396
Sheet No:
2 OF 5



LEFT ELEVATION - "R"

SCALE: 1/4" = 1'-0"

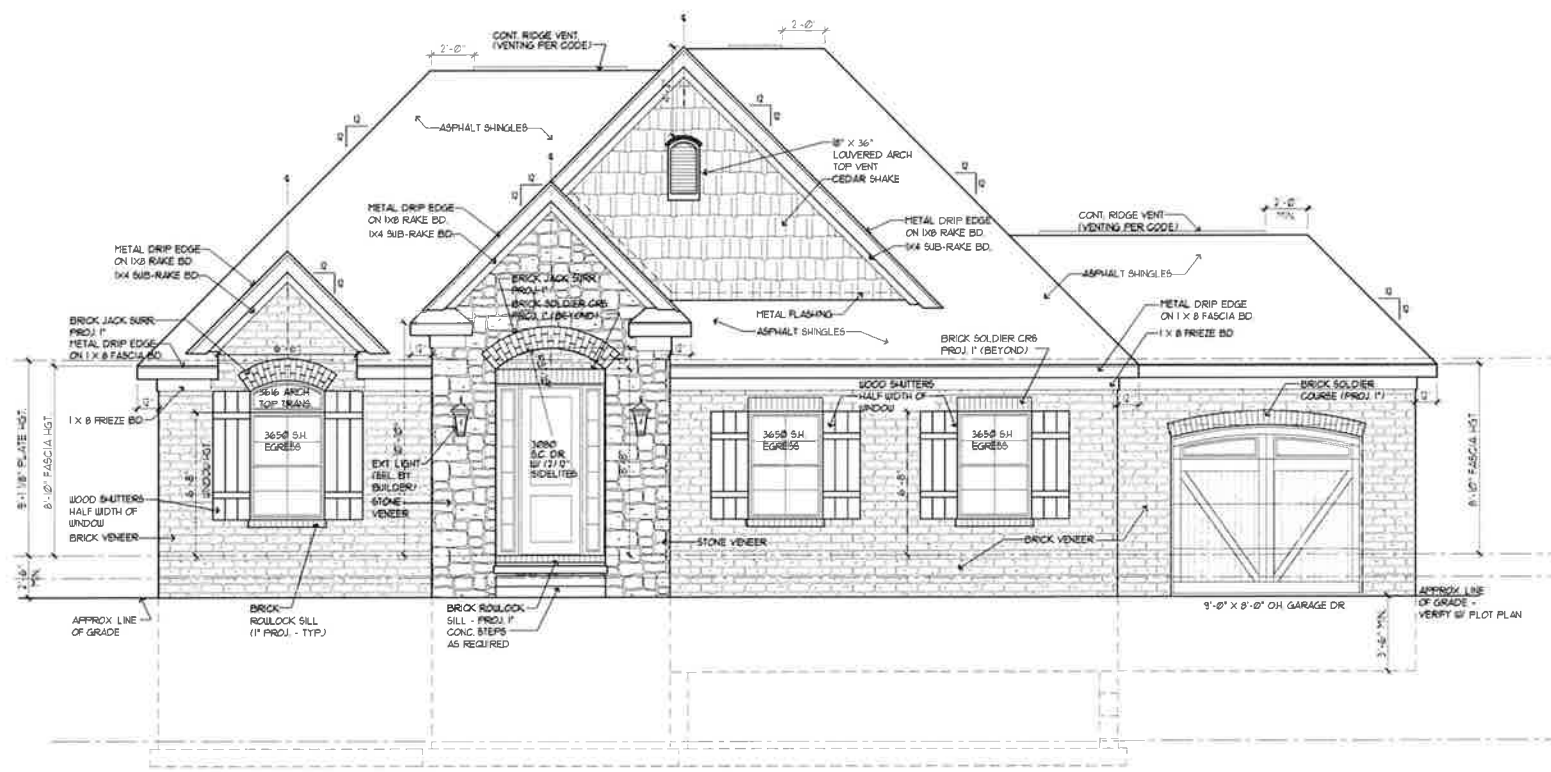
NOTE: ANY WINDOW WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 12" FROM FINAL GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE.

TYPICAL WINDOW DESIGNATION

NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY.

CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.

SH = SINGLE HANG WINDOW
 DH = DOUBLE HANG WINDOW
 SL = SLIDING WINDOW
 C = CASSETT WINDOW
 FIG = FIXED INSULATED GLASS



FRONT ELEVATION: BLOOMFIELD - "R"

SCALE: 1/4" = 1'-0"



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SAMARTINO
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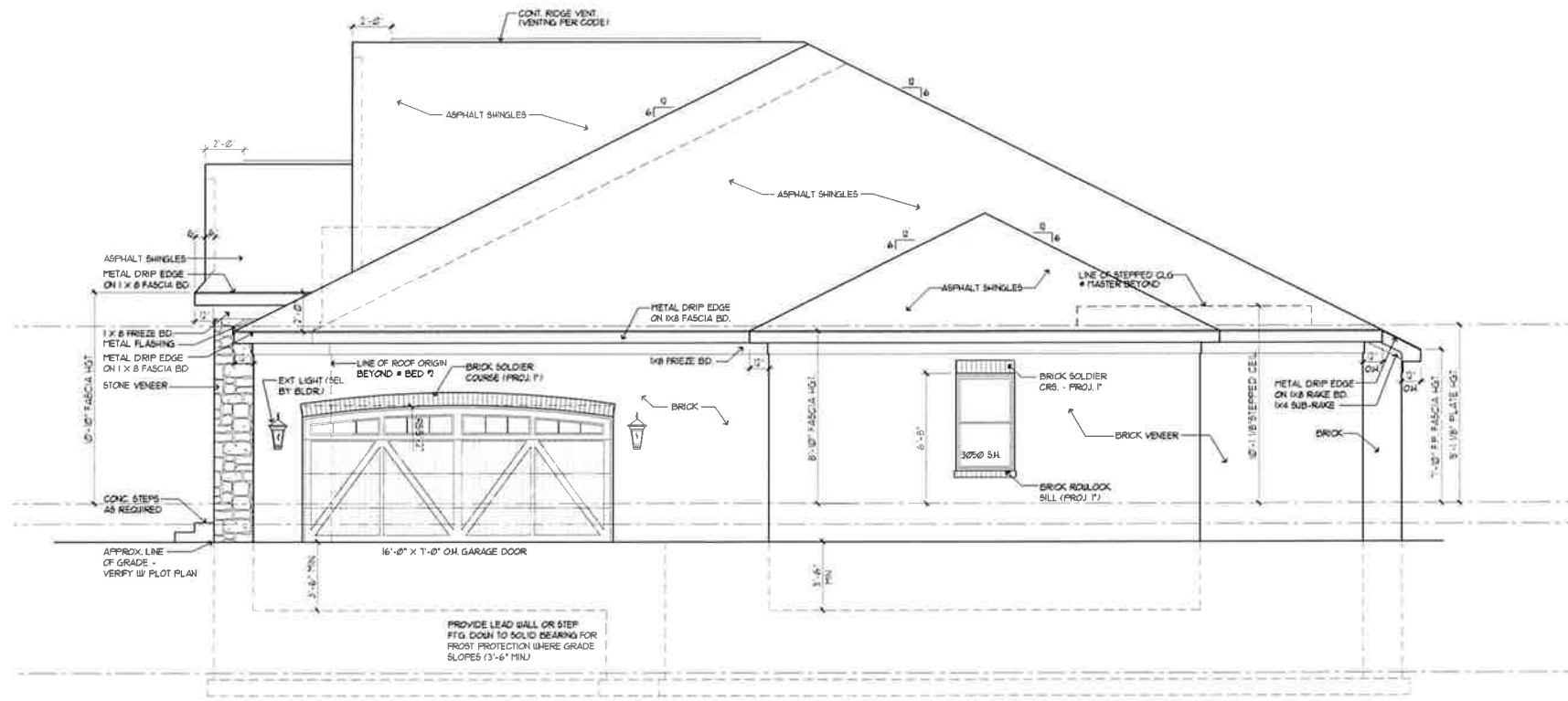
PINNACLE HOMES
28800 ORCHARD LAKE RD.
SUITE 200
FARMINGTON HILLS, MI

BLOOMFIELD "R" MASTER SET
@ VALENCIA SOUTH
NOV, MI 48374

Review Set:	09.20.2016
Permit Set:	
Final Set:	
Revisions:	12.11.2016
Drawn By:	
Checked By:	

Job No:
18-396

Sheet No:
3.A OF 5



RIGHT ELEVATION - "R"
SCALE: 1/4" = 1'-0"

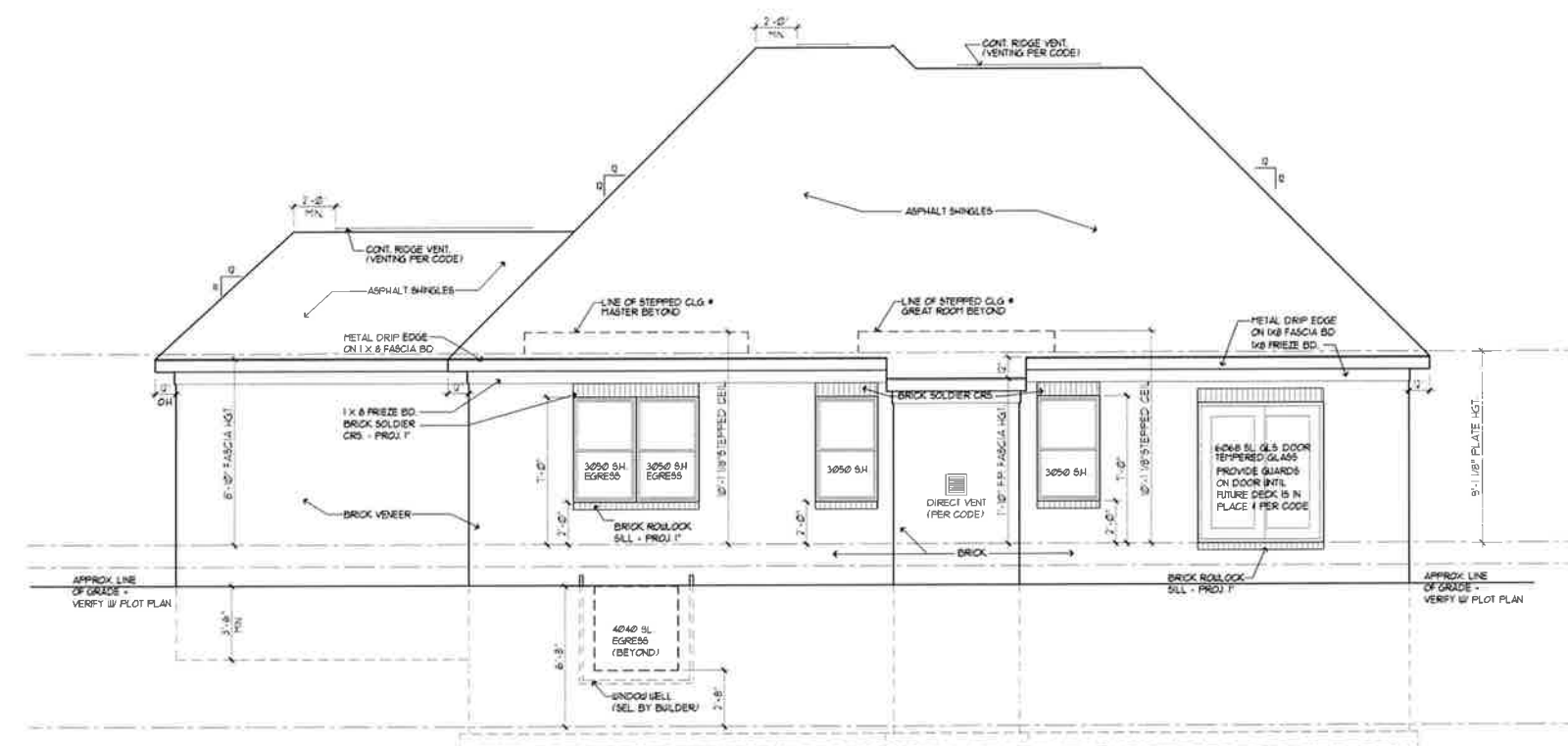
NOTE: ANY WINDOWS WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 12" FROM FINISH GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE.

TYPICAL WINDOW DESIGNATION

NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.



- SH = SINGLE HUNG WINDOW
- DH = DOUBLE HUNG WINDOW
- SL = SLIDING WINDOW
- C = CASSETTE WINDOW
- FIG = FIXED INSULATED GLASS



REAR ELEVATION - "R"
SCALE: 1/4" = 1'-0"



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GENERAL STRUCTURAL NOTES:

(REFER ONLY TO NOTES APPLICABLE TO THE PROJECT)

DESIGN CRITERIA:

- BUILDING CODES USED FOR DESIGN:**
2015 MICHIGAN RESIDENTIAL CODE (MRC)
- FLOOR LIVE AND DEAD LOADS:**
40 psf LIVE
15 psf DEAD FOR WOOD LINOLEUM AND CARPET FLOORING
25 psf DEAD FOR THIN SET CERAMIC FLOORING
35 psf DEAD FOR MARBLE / GRANITE FLOORING
- MINIMUM DEFLECTION CRITERIA:**
L/240 LIVE AND L/360 TOTAL FOR ROOF COMPONENTS WITH RIGID FLOORING (e.g. TILE/MARBLE)
L/180 LIVE AND L/360 TOTAL FOR FLOOR COMPONENTS WITH RIGID FLOORING (e.g. TILE/MARBLE)
L/360 LIVE AND L/720 TOTAL FOR FLOOR COMPONENTS WITH FLEXIBLE FLOORING (e.g. CARPET)
- ROOF LIVE AND SNOW LOADS:**
FLAT ROOF SNOW LOAD: Ps = 25 psf
FLAT ROOF DEAD: 5 psf
- WIND LOADS:**
ULTIMATE WIND SPEED: 115 MPH
WIND IMPORTANCE FACTOR: I = 1.0
BUILDING CATEGORY: III
WIND EXPOSURE: B
- DESIGN STRENGTHS:**
CONCRETE:
CLASS STRENGTH AT 28 DAYS (PSI) LOCATION
A 3000 INTERIOR SLABS
B 3000 FOOTINGS & FOUNDATION WALLS
C 3000 AIR-ENTRAINED EXTERIOR SLABS & WALLS
CONCRETE REINFORCEMENT: ASTM A603/A633-02 (Fy = 60 KSI) / ASTM A496-01
STRUCTURAL STEEL: ASTM A307-07 / ALTERNATIVELY - F554-99 GR 36 MAY BE USED
MASONRY: NORMAL WEIGHT / Fm = 500 PSI

FOUNDATIONS AND EARTHWORK:

- WATER SHALL NOT BE PERMITTED TO ACCUMULATE IN FOOTING EXCAVATIONS.
- PROVIDE A MINIMUM OF 6 INCHES OF GRANULAR FILL BELOW ALL INTERIOR SLABS-ON-GRADE.
- PROVIDE GRANULAR BACKFILL FOR BASEMENT WALLS. ALL BACKFILL SHALL BE WELL DRAINED.
- THE FOUNDATION DESIGN IS BASED ON A SOIL BEARING CAPACITY OF 2500 PSF. OTHERS SHALL DETERMINE THE ACTUAL BEARING VALUE OF THE SOIL.
- ALL FOOTING EXCAVATIONS SHALL BE INSPECTED, PRIOR TO CONCRETE PLACEMENT.
- WHERE COMPACTION OF FILL IS SPECIFIED, COMPACTION OF FILL MATERIAL SHALL BE A MINIMUM 98% OF MAXIMUM DRY DENSITY.
- BOTTOM OF EXTERIOR BUILDING FOOTINGS ARE TO BE AT LEAST 42 INCHES BELOW FINL OUTSIDE GRADE REGARDLESS OF ELEVATION SHOWN ON PLAN.
- ALL CONTIGUOUS FOOTINGS SHALL BE CENTERED UNDER WALLS AND ALL PIERS AND SPREAD FOOTINGS SHALL BE CENTERED UNDER COLUMNS OR PIERS UNLESS NOTED OTHERWISE.
- NO SLABS OR FOUNDATIONS SHALL BE PLACED INTO OR ADJACENT TO SUBGRADE CONTAINING WATER, ICE, FROST OR ORGANIC MATERIAL.
- WHERE FOUNDATION WALLS ARE TO HAVE SOIL PLACED ON BOTH SIDES, PLACE SOIL SYMMETRICALLY TO SO TO MAINTAIN A COMMON ELEVATION ON EACH SIDE OF THE WALL.
- BASEMENT WALLS ARE DESIGNED TO BE LATERALLY RESTRAINED BY CONCRETE FLOOR. PROVIDE TEMPORARY SUPPORT TO BASE OF BASEMENT WALL IF WALL IS BACKFILLED PRIOR TO PLACEMENT OF BASEMENT CONCRETE FLOOR. DO NOT BACKFILL MORE THAN 4' PRIOR TO FOOTING PRIOR TO PLACING THE BASEMENT CONCRETE FLOOR.

CONCRETE:

- THE REINFORCING STEEL CONTRACTOR SHALL FABRICATE ALL REINFORCEMENT AND FURNISH ALL ACCESSORIES CHAIRS, SPACERS BARS AND SUPPORTS NECESSARY TO SECURE THE REINFORCEMENT UNLESS SHOWN OTHERWISE ON THE PLANS AND/OR DETAILS.
- REINFORCING STEEL SHALL BE ASTM A603 (GRADE 60).
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A601.
- CONCRETE REINFORCEMENT SHALL BE PLACED ACCORDING TO THE CRSI "RECOMMENDED PRACTICE FOR PLACING REINFORCING BARS".
- CONCRETE COVERAGE FOR REINFORCEMENT UNDO. ON DRAWING:
FOOTINGS: 3"
SLAB ON GRADE: CENTER OF SLAB
WALLS EXPOSED TO EARTH: 2"
COLUMN: 1 1/2"
- COMPRESSION LAP SPLICES FOR GRADE 60 BARS SHALL BE 30 BAR DIAMETER MINIMUM.
- TENSION LAP SPLICES SHALL BE AS DETAILED. USE CLASS "B" SPLICES UNLESS NOTED OTHERWISE.
- ALL WELDED WIRE FABRIC LAPS SHALL BE 8" AT ENDS AND SIDES.
- BAR LENGTHS SHOWN DO NOT INCLUDE HOOKS OR BENDS.
- CONCRETE AT THE TIME OF PLACEMENT SHALL HAVE A SLUMP OF 4" ± 1" UNLESS A SUPER-PLASTICIZING AGENT IS USED.
- ALL OPENINGS IN CONCRETE WALLS SHALL HAVE (1) 5 BARS PLACED AROUND ALL OPENINGS. EXTEND BARS 18" BEYOND EACH FACE OF OPENING. PLACE (1) 5 x 4'-0" LONG BARS DIAGONALLY AT EACH CORNER.

MASONRY:

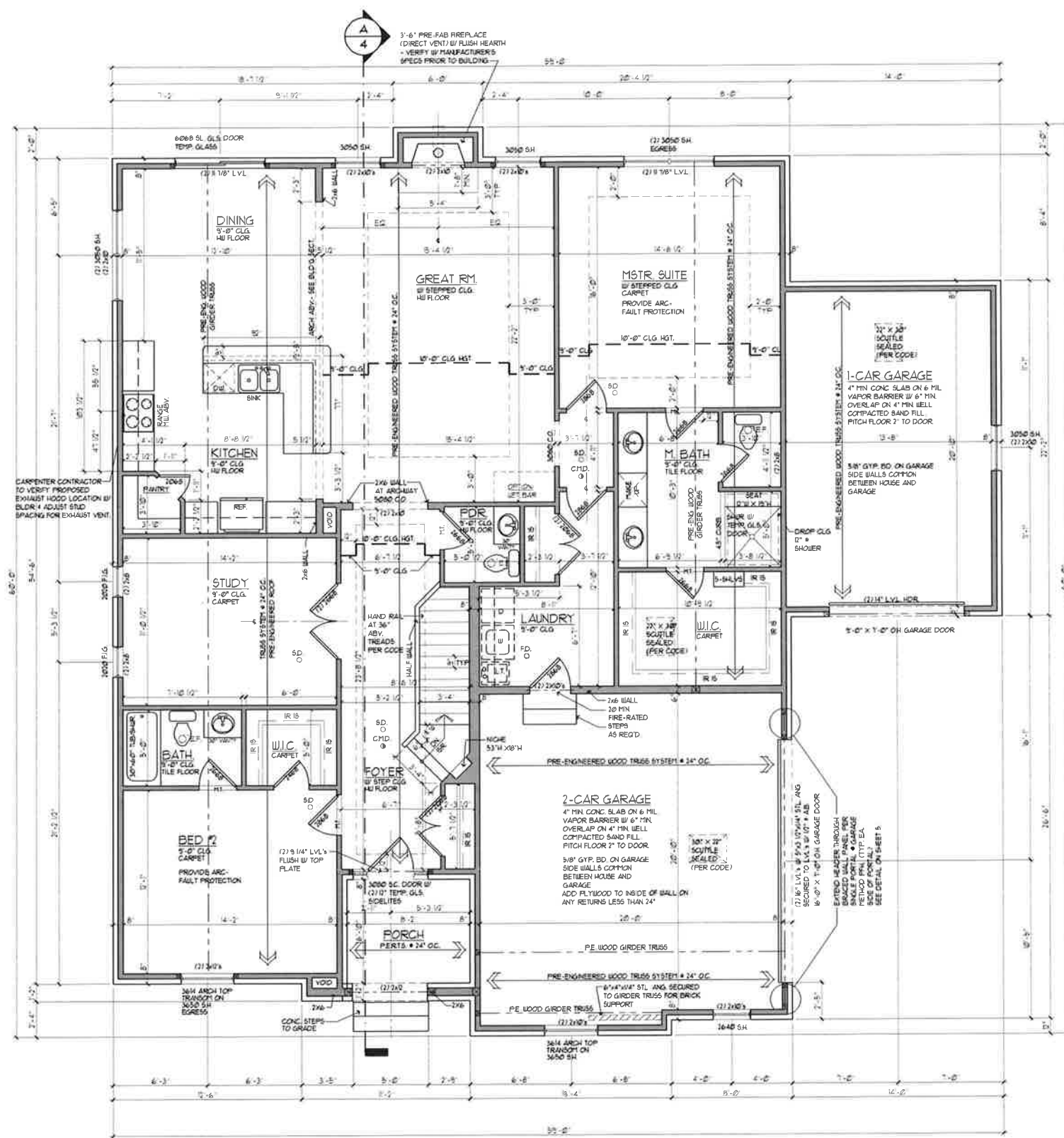
- GROUT FOR VERTICALLY REINFORCED MASONRY WALLS AND BOND BEAMS SHALL CONSIST OF: 1 PART CEMENT, 2 1/2 PARTS FINE AGGREGATE, 3 PARTS FINE GRAVEL, FC = 3000 PSI AT 28 DAYS. GROUT SLUMP 9" TO 10". GROUT SOLID ALL CELLS CONTAINING REINFORCING.
- MASONRY WALLS SHALL HAVE HORIZONTAL REINFORCING CONSISTING OF GALVANIZED STANDARD WEIGHT #5 GAUGE DUR-O-WALL DIA 3/8" TRUSS TYPE OR EQUAL REINFORCING LOCATED AT EVERY OTHER COURSE UNLESS NOTED OTHERWISE.
- PLACE FULL HEIGHT VERTICAL BAR AT EACH CORNER, WALL END AND AT EACH SIDE OF EACH OPENING AND CONTROL JOINT (MIN 1" IN REINFORCED WALLS. BAR SIZE TO MATCH SIZE OF WALL REINFORCING).
- LAP ALL VERTICAL REINFORCING SPLICES 48 BAR DIAMETERS 24" FOR 4 BARS, 30" FOR 5 BARS AND 36" FOR 6 BARS.
- ANCHOR BEAMS AND LINTELS TO WALL.
- MASONRY WALLS SHALL BE LAID UP AND GROUTED IN 4 FOOT LIFTS (LOW LIFT GROUTING PROCEDURE PER ACI 530). IF CLEANOUTS ARE PROVIDED AT EACH GROUTED CORE, WALLS MAY BE GROUTED IN 8 FOOT LIFTS FOLLOWING THE HIGH LIFT GROUTING PROCEDURE PER ACI 530).
- THE PROCEDURES OF ACI 530.1 FOR COLD WEATHER CONSTRUCTION SHALL BE ADHERED TO WHENEVER THE AIR OUTSIDE TEMPERATURE IS BELOW 40 DEGREES F.

STRUCTURAL STEEL:

- YIELD STRESS AND TYPE OF STEEL:**
FOR WIDE FLANGE SHAPES: ASTM A992 WITH YIELD STRESS OF 50/60 KSI
FOR S SHAPES, CHANNELS, ANGLES, BARS, PLATES AND RODS: ASTM A36 WITH YIELD STRESS OF 36/50 KSI
FOR RECTANGULAR AND SQUARE TUBULAR SHAPES: ASTM A500 WITH YIELD STRESS OF 46/60 KSI
- BOLTS: USE CARBON OR ALLOY STEEL ASTM A307, 1/2" DIA OR LARGER IF REQUIRED BY CONNECTION DESIGN. ANCHOR BOLTS SHALL BE WEDGE STYLE ANCHOR NUT, KNUK BOLT 3 NUTS. CARBON STEEL MEETING ASTM A563, WASHERS, HARDENED STEEL WASHERS MEETING ASTM F436. ASTM A307 BOLTS MAY BE USED FOR WOOD TO WOOD CONNECTIONS AND STEEL LATEL TO WOOD CONNECTIONS.
- ANCHOR RODS: ASTM F954, GRADE 36.

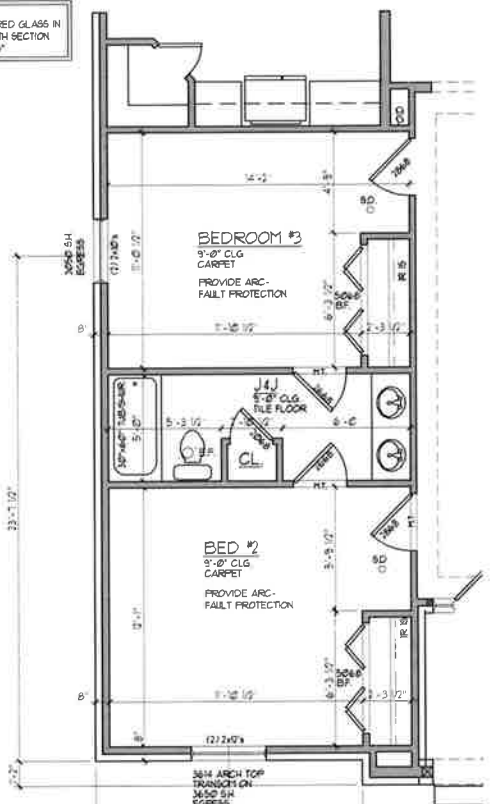
MISCELLANEOUS:

- PREFABRICATED I-JOISTS OR METAL PLATED WOOD FLOOR TRUSSES SHALL BE DESIGNED TO SUPPORT THEIR OWN LIVE PLUS THE SUPERIMPOSED DEAD AND LIVE LOADS STATED IN THE GENERAL NOTES AND 2015 MRC. I-JOIST SERIES, MANUFACTURER, SPACING, BLOCKING AND DETAILING SHALL BE DESIGNED BY THE FLOOR SYSTEM PROVIDER SUCH THAT IT MEETS THE DESIGN CRITERIA IN SECTION A. AS A MINIMUM, THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER FOR REVIEW THE DESIGN LAYOUT AND COMPONENT CALCULATIONS BY A PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF MICHIGAN, PRIOR TO USE IN THE STRUCTURE.
- MIN LVL (MICROLAT) PROPERTIES SHALL BE: E = 2.9 x 10⁶ psi, Fv = 2850 psi, Fv = 285 psi, Wt/lf of LVL IS 1.15'.
- MIN PSL (MICROLAT) PROPERTIES SHALL BE: E = 1.8 x 10⁶ psi, Fv = 2400 psi, TRUS JOIST PARALLEL OR EQUAL.
- WALLS SHALL BE BRACED ACCORDING TO 2015 MRC.
- TRUSSES SHALL BE BRACED IN ACCORDANCE WITH IBC'S (LATEST EDITION) "SIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF METAL PLATE CONNECTED WOOD TRUSSES".
- ALL POINT LOADS SHALL BE CONTINUOUSLY BLOCKED THROUGHOUT THE STRUCTURE TO THE FOUNDATION OR SUPPORT BEAM.
- THESE DRAWINGS DO NOT INCLUDE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- THE STRUCTURAL DESIGN IS BASED ON THE BUILDING IN ITS COMPLETED STATE. CONTRACTORS AND THEIR SUBCONTRACTORS SHALL TAKE WHATEVER PRECAUTIONS ARE NECESSARY TO WITHSTAND ALL HORIZONTAL AND VERTICAL LOADS THAT MAY BE ENCOUNTERED DURING THE CONSTRUCTION PRIOR TO COMPLETION OF THE BUILDING.
- DO NOT SCALE DRAWINGS.
- ALL 4 PLY OR MORE LVL'S SHALL BE BOLTED TOGETHER PER MANUFACTURER RECOMMENDATIONS.

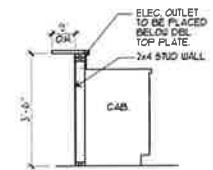


FLOOR PLAN: BLOOMFIELD - "N"
2001 TOTAL SQ FT SCALE: 1/4" = 1'-0"

- NOTE: INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE
- NOTE: SEE BUILDING SECTION FOR ALL INSULATION VALUES FROM FOUNDATION TO ROOF
- NOTE: PROVIDE BLOWER DOOR TEST AS REQUIRED
- NOTE: COMPLY WITH 2015 MICHIGAN UNIFORM ENERGY CODE USING SECTION 405.5 SIMULATED PERFORMANCE
- NOTE: PROVIDE HURRICANE CLIPS IN ACCORDANCE WITH SECTION R602.11 "MRC 2015"
- NOTE: PROVIDE TINTED GLASS IN ACCORDANCE WITH SECTION R602.4 "MRC 2015"



OPTIONAL 3RD BEDROOM BLOOMFIELD "N"
SCALE: 1/4" = 1'-0"



RAISED COUNTER SCALE: 3/8" = 1'-0"

- NOTE: BUILDER TO PROVIDE APPROVED SMOKE DETECTORS AS REQUIRED ON ALL FLOORS (INTER-CONNECTED) WITH BATTERY BACK-UP
- NOTE: CARBON MONOXIDE DETECTOR (PER CODE) TO COMPLY WITH UL984 AND INSTALLED PER MANUF. SPECIFICATIONS
- NOTE: ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. 11 FOOT-CANDLE
- NOTE: INDICATES TYPICAL (2) STUD BRACING UNLESS OTHERWISE NOTED ON PLAN
- NOTE: BUILDER TO COORDINATE ALL ELECTRICAL UPGRADES (FANS, OUTLETS, SWITCHES, LIGHTING, ETC.) WITH HOMEOWNER PRIOR TO CONSTRUCTION
- NOTE: INTERIOR WALL DIMENSIONS ARE FROM STUD TO STUD. EXTERIOR WALLS INCLUDE SHEATHING
- NOTE: MINIMUM THREE STUD SPACING AT ALL DOOR JAMBES - CARPENTER TO VERIFY CAGING SIZE WITH BUILDER
- NOTE: ALL TRIM TO BE PACKED OUT WITH 1/4" OSB SHEATHING

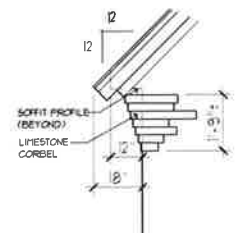


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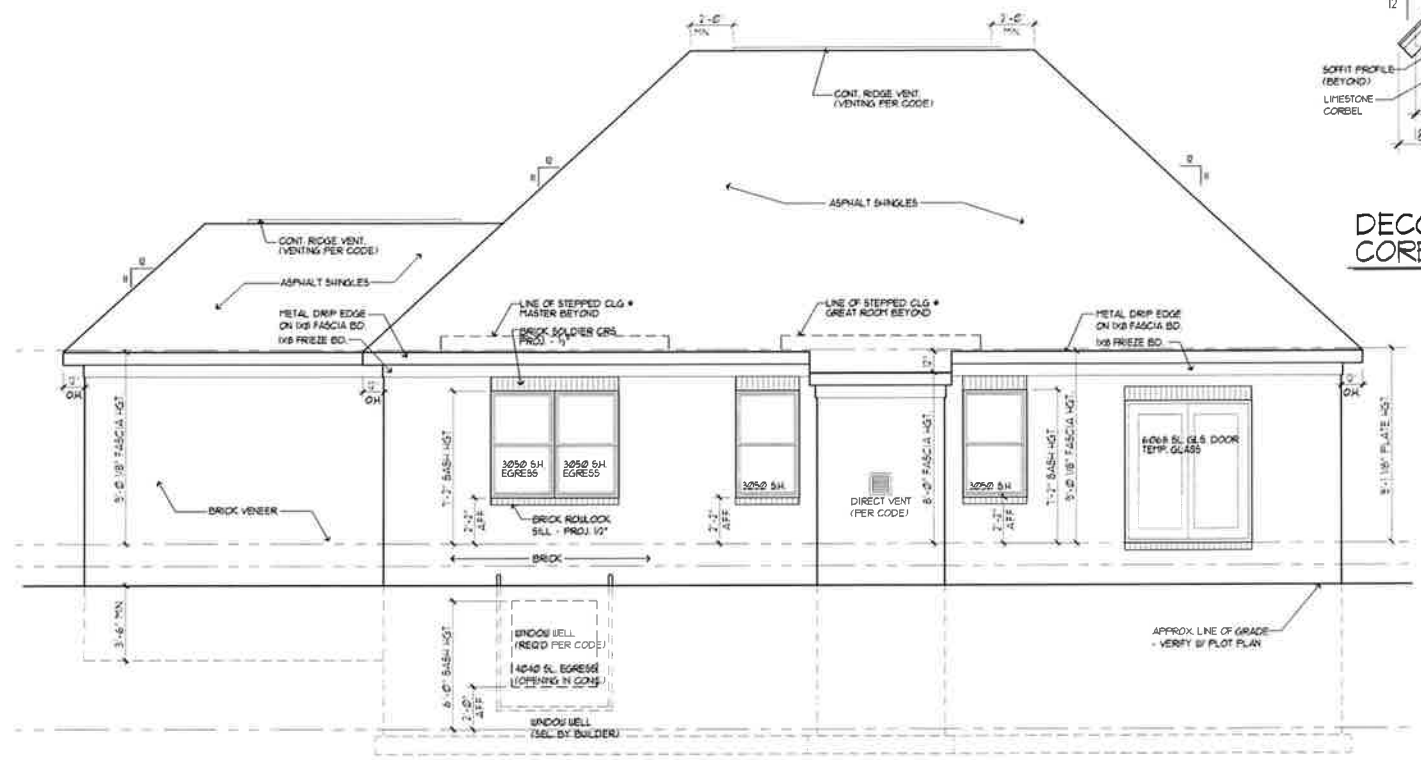
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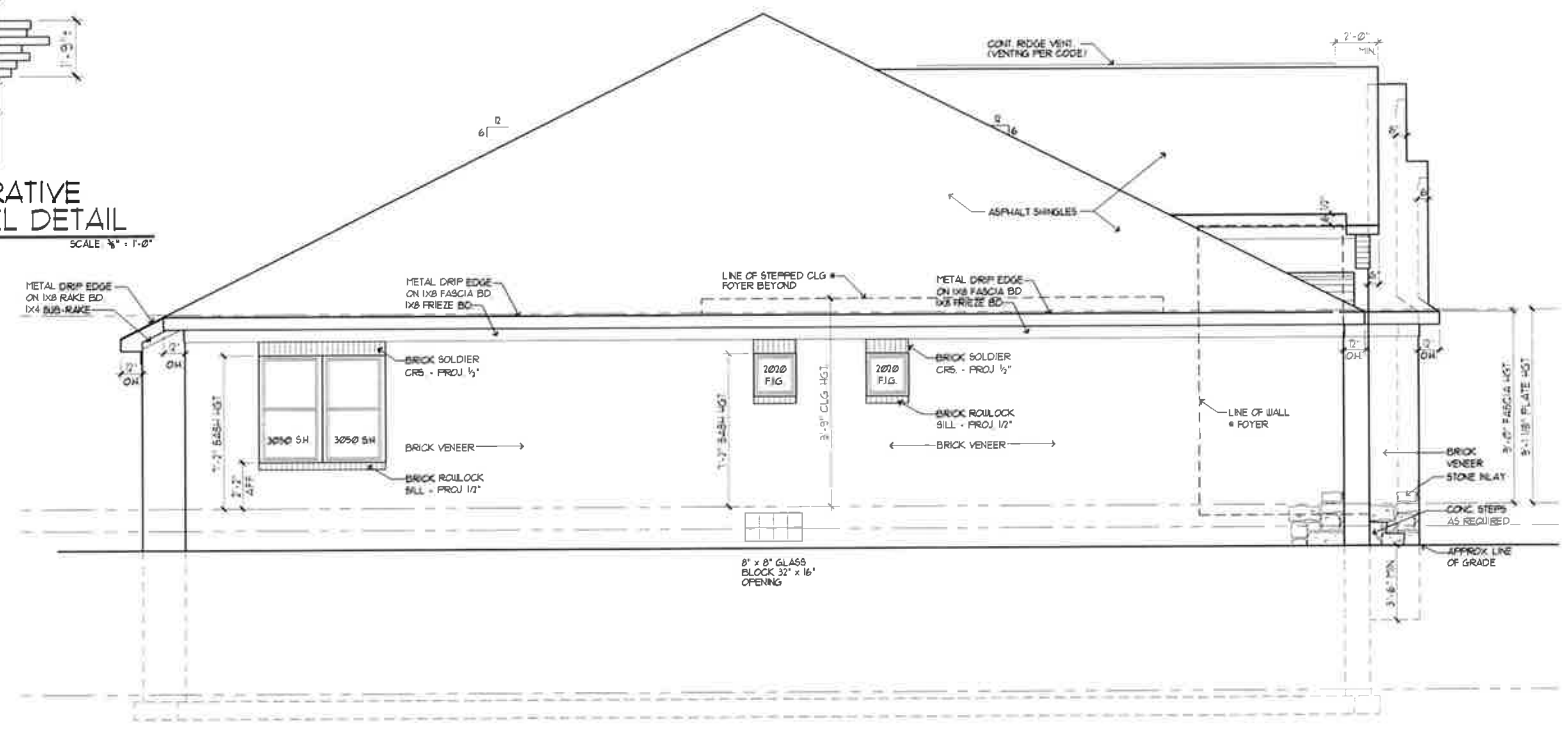
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DECORATIVE CORBEL DETAIL
SCALE: 1/4" = 1'-0"

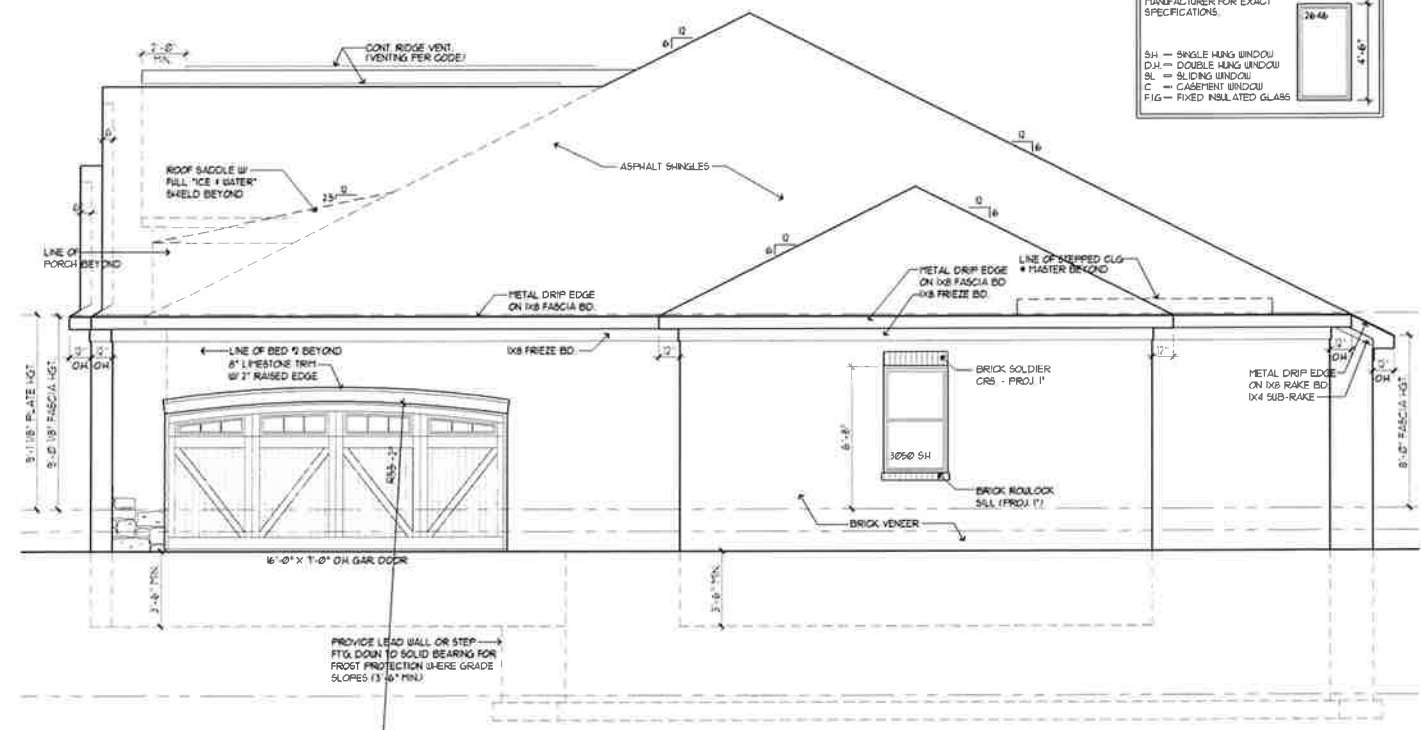
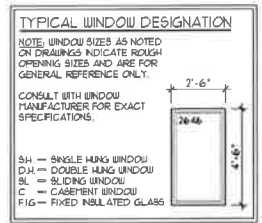


REAR ELEVATION - "N"
SCALE: 1/4" = 1'-0"

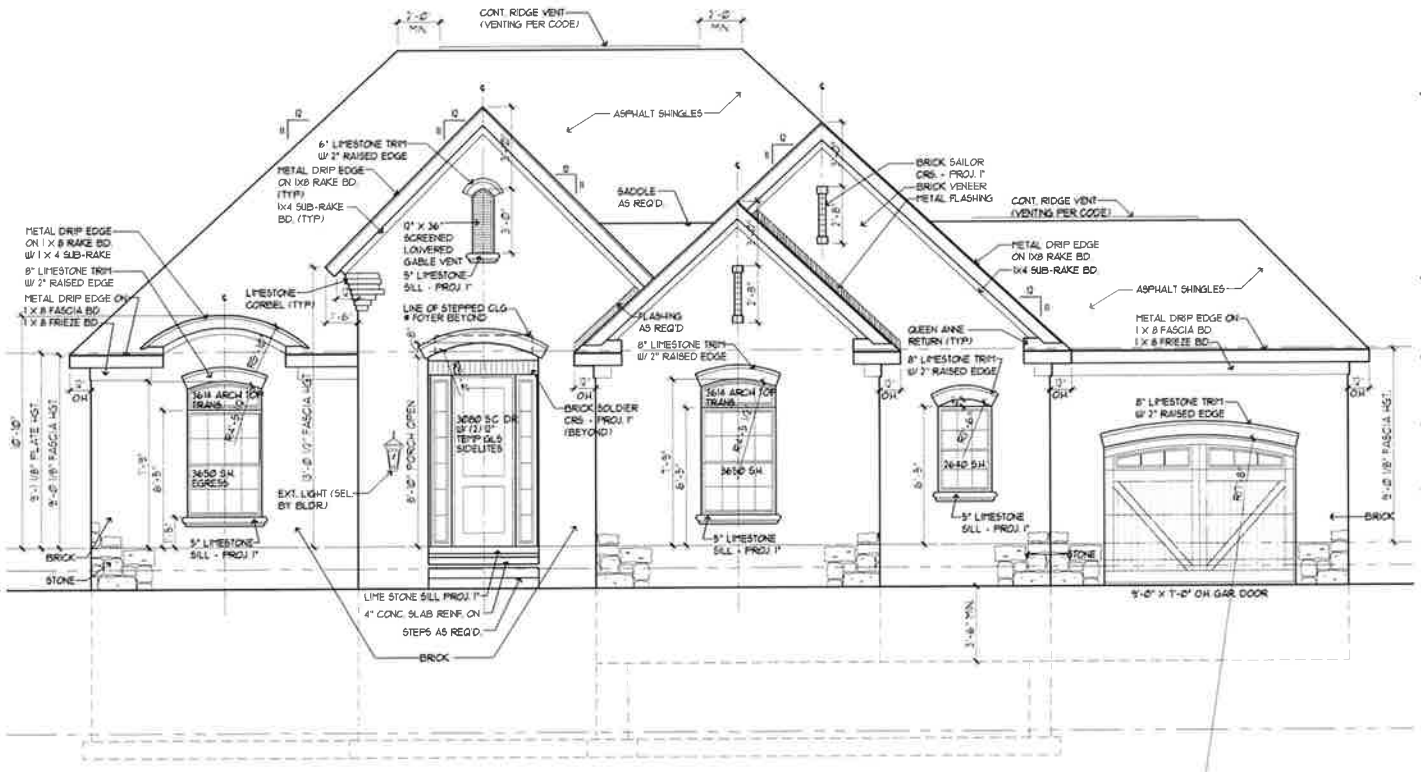


LEFT ELEVATION - "N"
SCALE: 1/4" = 1'-0"

NOTE: ANY WINDOWS WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 12" FROM FIN. GRADE MUST BE NON-EGRESS AND/OR NON-OPERABLE.



RIGHT ELEVATION - "N"
SCALE: 1/4" = 1'-0"



FRONT ELEVATION: BLOOMFIELD - "N"
SCALE: 1/4" = 1'-0"



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GENERAL NOTES:

- DOUBLE EVERY JOIST UNDER CERAMIC TILE WHEN USING DIMENSIONAL LUMBER
- ALL POURED CONCRETE WALLS TO BE BACKFILLED WITH SANDY TYPE SOIL AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE
- ALL POURED CONCRETE FOOTING TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE BEARING ON UNDISTURBED VIRGIN SOIL WITH A MINIMUM BEARING CAPACITY OF 2500 P.S.F. MUST BE VERIFIED BY SOILS ENGINEER IN THE FIELD FOR FOOTING INSPECTION
- UNEXCAVATED GARAGE SLAB SHALL COMPLY W/ TABLE R402.2 4" CONCRETE SLAB MIN. 3500 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE ON 4" MIN. WELL COMPACTED SAND BASE
- ALL POURED CONCRETE WALLS WITH A BRICK LEDGE GREATER THAN 4'-0", SHALL BE REINFORCED VERTICALLY WITH 5 BARS 16" O.C. AND HORIZONTALLY WITH ONE (1) #4 BAR # 12" FROM TOP AND BOTTOM AND # THE MID-POINT OF THE WALL
- TYPICALLY ALL FIN. IN POURED CONCRETE FOUNDATION WALLS MUST BE REMOVED AND FILLED WITH FOUNDATION COATING PRIOR TO BACK FILL INSPECTION
- PROVIDE 4" PERF. DRAIN TILE CONT. AT BASEMENT FIN. IN 0" (FIN) FEASIBLE WITH 2" BELOW DRAIN TILE. CONNECT TO SUMP AND STORM SEWER AS REQUIRED.
- BUILDER AND SUB BRICK CONTRACTORS TO PROVIDE KEEL HOLES RESTING ON THE FLASHING SPACED 33" O.C. MAX (74" PREFERRED) AT HEAD DETAILS OF WINDOWS, DOORS, BASEMENT WINDOWS AND GARAGE DOORS. ALSO PROVIDE FLASHING TO FACE OF BRICK W/ IN 8" VERTICAL LEG AND FORM END D/TS (LAP UNDER AIRMOISTURE BARRIER) MICHIGAN RESIDENTIAL CODE 2015 SEC. 103.15 - 103.18. A PRE-BRICK INSPECTION WILL BE REQUIRED PRIOR TO BRICK INSTALLATION FOR FLASHING INSPECTION
- ALL ENGINEERED WOOD FLOOR TRUSSES TO BE 4" DENISE KD WITH 2" BY 6" CONTINUOUS RIBBON BRACING ON BOTTOM CORD 8'-0" O.C. (MINIMUM) 2 PER SPAN WELL NAILED TO TRUSSES. PROVIDE DRAFTSTOPPING.
- ALL MICRO-LAM BEAMS TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS.
- ALL FLOOR JOISTS TO BE 2" OR BETTER WHEN FIR WITH 1" X 3" CROSS BRIDGING 8'-0" O.C. (MIN.)
- PROVIDE 15 POUND FELT AT UNTREATED EXPOSED LUMBER
- PROVIDE 2% VOLUNTARILY PRESSURE TREATED SILL PLATE ON SILL SEALER WITH 1/4" ANCHOR BOLTS 4'-0" O.C. AND LOCATED NOT MORE THAN 12" INCHES AND NOT LESS THAN 3/4" INCHES FROM THE ENDS OF EACH PLATE SECTION. EXCEPTION: USE ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/4" ANCHOR BOLTS
- PROVIDE METAL FLASHING, COMPAN FLASHING AND STEPPED FLASHING WHERE NOTED AND AT ALL PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES. EXTERIOR WALL INTERACTIONS WITH ROOF, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS
- PROVIDE APPROVED SEALANT WHERE REQUIRED AND AS DETAILED BY PFG.
- DO NOT DRILL KITCHEN WINDOW DOUBLERS.
- PROVIDE A 1" MIN. SOLID CORE FERROFIBER DOOR BETWEEN GARAGE AND RESIDENCE MIN. 20 MINUTE FERROFIBER R30251
- ALL WINDOW NUMBERS REFER TO GENERIC WINDOW SIZES. VERIFY SIZES WITH WINDOW MANUFACTURER USED. ALL SIZES AND SHAPES TO MATCH DIMENSIONALLY.
- ALL WINDOW UNITS TO MEET 2015 MICHIGAN RESIDENTIAL EGRESS CODES. ALL WINDOW SILLS 1" ABOVE FINISH GRADE. SHALL HAVE THE BOTTOM OF THE OPENING LOCATED A MIN. OF 24" ABOVE FINISH FLOOR OF THE ROOM PER MRC 2015 SEC. R402.2
- AREAS THAT REQUIRE TEMPERED GLASS:
 - FIXED AND SLIDING PANELS OF SLIDING TYPE DOORS.
 - SHOWER AND BATH TUB DOORS AND ENCLOSURES (IF APPLICABLE)
 - PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWEST EDGE LESS THAN 8 INCHES ABOVE THE FINISHED FLOOR LEVEL.
 - ALL OTHER AREAS AS CODE REQUIRES PER 2015 MICHIGAN RESIDENTIAL CODE.
- PROVIDE UNDERSTAIR PROTECTION MRC 2015 ENCLOSED ACCESSIBLE SPACE UNDER SHALL HAVE WALLS UNDER STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD
- WHERE HANDRAILS ARE SHOWN, HANDRAIL HEIGHT IS TO BE NOT LESS THAN 34" AFF. AND MORE FROM FINISH GRADE ON AT LEAST (1) SIDE OF EVERY STAIRWAY PER SECTION R311.1 OF THE 2015 MICHIGAN RESIDENTIAL CODE. HANDRAIL GRIP TO COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE SECTION R312.3.3. HANDRAIL SHALL BE CONTINUOUS. WHERE ADJACENT TO WALLS SHALL HAVE A SPACE OF MIN 1/2" BETWEEN WALLS AND THE HANDRAIL. PER R312.2
- ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOT CANDLE OF LIGHT
- 6'-8" CLEAR HEADROOM REQUIRED ON ALL STAIRS.
- PROVIDE A BATH FAN WHERE SHOWN ON PLAN AND VENT FAN TO EXTERIOR AS REQUIRED. VENT MECHANICAL EXHAUST DIRECTLY OUTSIDE PER R303.3 (MRC-2015)
- TYPICAL ALL HABITABLE ROOMS TO HAVE PROPER LIGHT, VENTILATION AND COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODES
- PROVIDE ELECTRICAL SMOKE DETECTORS IN ALL SLEEPING AREAS, HALLWAYS, AND MECHANICAL ROOMS ON ALL FLOOR LEVELS INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE WIRED TOGETHER SO AS WHEN ONE SOUNDS THEY ALL SOUND AND HAVE BATTERY BACKUP PER SEC. R314 OF 2015 MICHIGAN RESIDENTIAL CODE
- FIRESTOP ALL DROPS AND CHASES, ELECTRICAL, PLUMBING AND HVAC.
- VERIFY ELECTRICAL SERVICE IN ACCOMMODATING ALL NEW WORK. VERIFY ALL PROPOSED ELECTRICAL OUTLETS, SWITCHES, DIMMERS, LIGHT LOCATION, ETC. INCLUDING CABLE AND PHONE FIRE-WIRING SECURITY. TAKE INTO CONSIDERATION ALL ELECTRICAL INSTALLATION WITH OWNER AND COMPLY WITH 2015 MICHIGAN RESIDENTIAL ELECTRICAL CODES.
- WHERE APPLICABLE, VERIFY FIREPLACE OPTION WITH SUBDIVISION SPECS. AND WORK ORDER
- VERIFY SIZE OF FIREPLACE UNIT WITH BUILDER/OWNER. CONTRACTOR TO VERIFY ROUGH OPENING SIZE OF SELECTED UNIT, WITH MANUF. SPECS. PRIOR TO BUILDING. CONSTRUCT CHIMNEY PER CHAPTER 10 OF THE 2015 MRC.
- PROVIDE 5/8" DIRTWALL ON THE GARAGE SIDE OF WALLS COMMON TO RESIDENCE AND GARAGE. AFFLY 5/8" TYPE "X" DIRTWALL TO GARAGE CEILING AREAS BELOW HABITABLE ROOMS PER MRC 2015 TABLE R402.6
- LOWER LEVEL AREA CONSIDERED UNHABITABLE. ANY FUTURE ALTERATIONS TO MODIFY LOWER LEVELS TO A HABITABLE SPACE WILL COMPLY STRICTLY TO THE 2015 MICHIGAN RESIDENTIAL CODE. EGRESS WINDOWS PROVIDED, AS REQUIRED, IN COMPLIANCE W/ MRC 2015 SEC. R301 - R305.
- CHIMNEY TERMINATION MUST PROJECT 20" ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3'-0" ABOVE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH THE ROOF.
- ROOF VENTILATION WHERE EAVE OR CORNICE VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1" GAP SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENTS.
- NOT USED.
- NOT USED.

- PROVIDE FIBER-CEMENT, FIBER-MAT REINF. CEMENT, GLASS MAT GYPSUM BACKERS OR FIBER REIN. GYPSUM BACKERS AS BACKERS FOR TUB AND/OR SHOWER WALL TILES AND PANELS. BACKERS MUST COMPLY W/ ASTM C 1086, C 1325, C1328 OR C 1318 AND BE INSTALLED PER MANUF. RECOMMENDATIONS. MRC 2015 SEC. R101.4.2
- PROVIDE NON-ABSORBENT FINISH TO THE SURFACE OF ALL BATHING AREAS W/ WALL MOUNTED SHOWER HEADS, A MIN OF 6'-0" ABOVE FINISH FLOOR PER MRC 2015 SEC. R301.2
- PROVIDE 2-LAYER MINERAL COATED ROLLED ROOFING AT ALL EAVES TO 24" INSIDE BUILDING. 2 LAYERS MUST BE CEMENTED TOGETHER. VERIFY WITH BUILDING DEPARTMENT.
- PROVIDE ADEQUATE ROOF VENTILATION AND SOFFIT VENTILATION (MIN) AS REQUIRED. VERIFIED BY CALCULATION 1/60 OF AREA VENTILATION. **REG'D PER SEC. R402.2**
- FASTENER SCHEDULE FOR STRUCTURAL MEMBERS R602.3 (1) WOOD STRUCTURAL PANELS, SUBFLOOR, ROOF AND WALL SHEATHING TO FRAMING AND PARTICLEBOARD WALL SHEATHING TO FRAMING, BUILDING MATERIALS OF 1/4" - 1/2" USE 6d COMMON NAIL. (SUBFLOOR WALLS) 1" 6d FROM EDGES 2" INTERMEDIATE SUPPORTS AND USE 6d COMMON NAILS FOR ROOF 6" FROM EDGES 12" INTERMEDIATE
- BUILDER/OWNER TO PROVIDE WATERPROOFING TO CODE SUEMT INFORMATION ON APPROVED PRODUCTS
- ROOF TRUSS FRAMING INDICATED ON DRAWINGS IS OUR ASSUMED LAYOUT. TRUSS MANUFACTURER SHOULD REVIEW THE DRAWING AND INDICATE TO ARCHITECT PRIOR TO FABRICATION. ANY CHANGE IN BEARING CONDITIONS THAT WOULD REQUIRE RE-FRAMING OF OUR STRUCTURE TO ACCOMMODATE TRUSSES.
- THE ROOF TRUSS MANUFACTURER TO FURNISH SHOP DRAWINGS TO THE DESIGNER PRIOR TO FABRICATION OF THE TRUSSES.
- ROOF TRUSS DESIGNED BY TRUSS MANUFACTURER TO CONFORM TO ALL MINIMUM DESIGN LOAD REQUIREMENTS
- BUILDER/TRUSS MFG. TO PROVIDE TRUSS DESIGN DRAWINGS IN COMPLIANCE WITH MRC 2015 AND SHALL INCLUDE AT MINIMUM THE INFORMATION SPECIFIED BELOW:
 - SLOPE OR DEPTH SPAN AND SPACING
 - LOCATION OF ALL JOINTS
 - REQUIRED BEARING WIDTHS
 - DESIGN LOADS AS APPLICABLE
 - TOP CHORD LIVE LOAD (INCLUDING SNOW LOADS)
 - TOP CHORD DEAD LOAD
 - BOTTOM CHORD LIVE LOAD
 - BOTTOM CHORD DEAD LOAD
 - CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION
 - CONTROLLING WIND AND EARTH QUAKE LOADS
 - ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE
 - EACH REACTION FORCE AND DIRECTION
 - JOINT CONNECTOR TYPE AND DESCRIPTION E.G. SIZE THICKNESS OR GAUGE, AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERACE
 - LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER
- CONNECTION REQUIREMENTS FOR:
 - TRUSSES TO TRUSS GARDER
 - TRUSS FLY TO PLY
 - FIELD SPLICES
 - CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD.
- MAXIMUM ALLOW. COMPRESSION FORCES IN THE TRUSS MEMBERS TO ENABLE THE BUILDING DESIGNER TO DESIGN THE SIZE CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS
- READ PERMANENT TRUSS MEMBER DRAGS BRACE ROOF TRUSSES AS RECOMMENDED BY MANUFACTURER

1. SLOPE OR DEPTH SPAN AND SPACING
2. LOCATION OF ALL JOINTS
3. REQUIRED BEARING WIDTHS
4. DESIGN LOADS AS APPLICABLE
 1. TOP CHORD LIVE LOAD (INCLUDING SNOW LOADS)
 2. TOP CHORD DEAD LOAD
 3. BOTTOM CHORD LIVE LOAD
 4. BOTTOM CHORD DEAD LOAD
 5. CONCENTRATED LOADS AND THEIR POINTS OF APPLICATION
 6. CONTROLLING WIND AND EARTH QUAKE LOADS
5. ADJUSTMENTS TO LUMBER AND JOINT CONNECTOR DESIGN VALUES FOR CONDITIONS OF USE
6. EACH REACTION FORCE AND DIRECTION
7. JOINT CONNECTOR TYPE AND DESCRIPTION E.G. SIZE THICKNESS OR GAUGE, AND THE DIMENSIONED LOCATION OF EACH JOINT CONNECTOR EXCEPT WHERE SYMMETRICALLY LOCATED RELATIVE TO THE JOINT INTERACE
8. LUMBER SIZE, SPECIES AND GRADE FOR EACH MEMBER

- CONNECTION REQUIREMENTS FOR:
 - TRUSSES TO TRUSS GARDER
 - TRUSS FLY TO PLY
 - FIELD SPLICES
 - CALCULATED DEFLECTION RATIO AND/OR MAXIMUM DESCRIPTION FOR LIVE AND TOTAL LOAD.
- MAXIMUM ALLOW. COMPRESSION FORCES IN THE TRUSS MEMBERS TO ENABLE THE BUILDING DESIGNER TO DESIGN THE SIZE CONNECTIONS AND ANCHORAGE OF THE PERMANENT CONTINUOUS LATERAL BRACING. FORCES SHALL BE SHOWN ON THE TRUSS DRAWING OR ON SUPPLEMENTAL DOCUMENTS
- READ PERMANENT TRUSS MEMBER DRAGS BRACE ROOF TRUSSES AS RECOMMENDED BY MANUFACTURER

NOTE:
GENERAL NOTES INDICATED ABOVE ARE JUST A SMALL PORTION OF OUR STANDARD NOTES & THE 2015 MICHIGAN RESIDENTIAL CODE BUT THE CODE IS MUCH BROADER & SHOULD BE STRICTLY FOLLOWED BY BUILDERS, TRADES & CRAFTSMAN

DO NOT SCALE DRAWING. USE PRINTED DIMENSIONS ONLY. IF ANY DISCREPANCY OCCURS, NOTIFY THE DESIGNER IMMEDIATELY FOR CLARIFICATION. BUILDER RESPONSIBLE TO HAVE REVIEWED ALL DRAWINGS AND IF ADDITIONAL CLARIFICATION OR INFORMATION IS NEEDED BUILDER IS TO CONTACT DESIGNER AND SALES COUNSELOR.

THESE CONSTRUCTION DOCUMENTS ARE A GRAPHIC REPRESENTATION FOR THE PROPOSED PROJECT. DIMENSIONS OF ROOMS, WINDOWS OR FIXTURES MAY VARY BETWEEN MANUFACTURERS AND INSTALLATION. BUILDER TO MAKE EVERY ATTEMPT TO MATCH DIMENSIONS AS DRAWN.

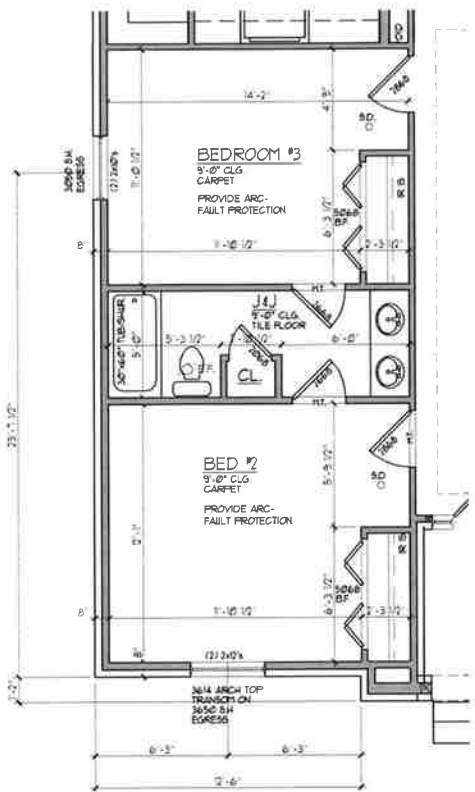
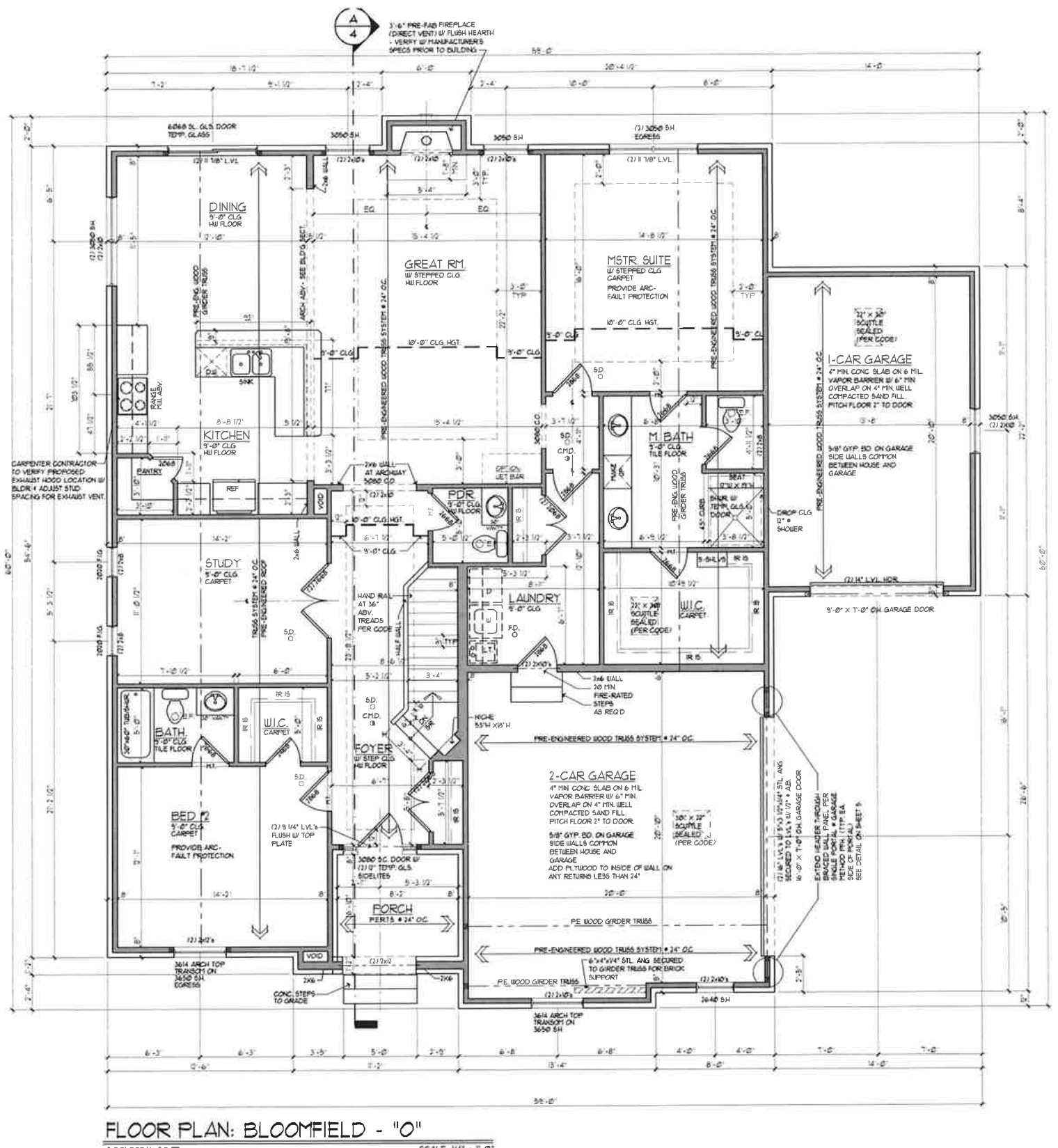
WINDOW DESIGNATIONS ARE APPROXIMATE. EXACT SIZES ARE PER THE MANUFACTURER'S SPECIFICATIONS

RAISED COUNTER
SCALE: 3/8" = 1'-0"

NOTE:
ALL CODES SHALL COMPLY WITH THE MICHIGAN BUILDING CODES INTERNATIONAL BUILDING CODES WHERE APPLICABLE & 2015 MICHIGAN RESIDENTIAL CODE. THEY SHALL ALSO COMPLY WITH ANY JURISDICTION CODES IN THEIR RESPECTIVE COUNTY, CITY, VILLAGE, OR TOWNSHIP AND THEIR PROVISIONS AND ORDINANCES.

SIZE OF ANGLE (IN)**	NO STORY ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO OF 1/2" DIA. REG. REIN. BARS*
3 x 3 x 1/4"	6'-0"	4'-6"	3'-0"	1
4 x 3 x 1/4"	8'-0"	6'-0"	4'-0"	1
5 x 3 1/2 x 1/4"	10'-0"	8'-0"	6'-0"	2
6 x 3 1/2 x 1/4"	14'-0"	9'-6"	7'-0"	2
7 1/2 x 3 1/2 x 1/4"	20'-0"	12'-0"	9'-6"	4

- LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION
- DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8 INCHES AND ALL CELLS OF HOLLOW MASONRY LINTELS SHALL BE GROUTED SOLID. REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
- STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES. OTHER STEEL MEMBERS, MEETING STRUCTURAL DESIGN REQUIREMENTS, MAY BE USED.



OPTIONAL 3RD BEDROOM BLOOMFIELD "0"
SCALE: 1/4" = 1'-0"

MARTINI SAMARTINO Design Group

620 EAST LONG LAKE RD. SUITE 200 TROY MI 48068 P. 248.524.0445 F. 248.524.0447

28800 ORCHARD LAKE RD. SUITE 200 FARMINGTON HILLS, MI

BLOOMFIELD '0' @ VALENCIA SOUTH LOT # NOVI, MI. 48374

Proj No: 18-320
Sheet No: 2 OF 5

NOTES:

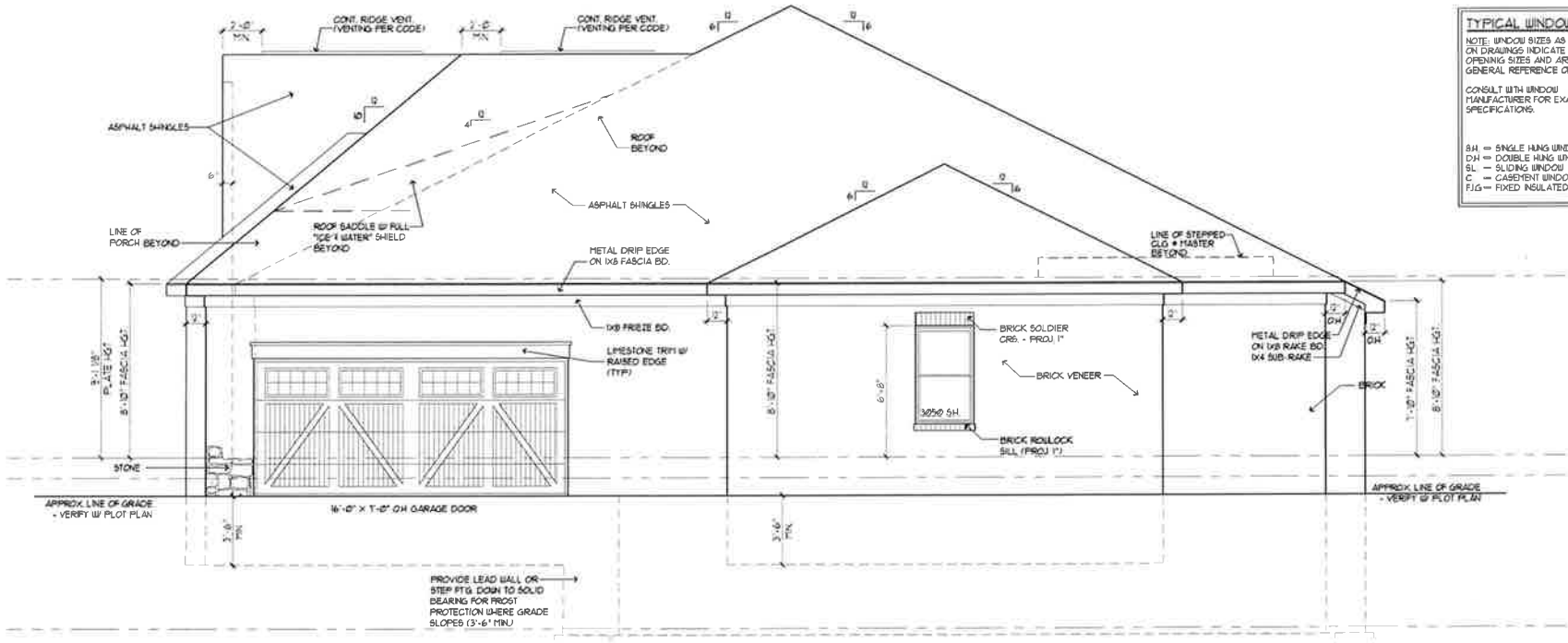
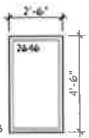
- 1. BUILDER TO PROVIDE APPROVED SMOKE DETECTORS AS REQ'D ON ALL FLOORS (INTER-CONNECTED) WITH BATTERY BACK-UP
- 2. CARBON MONOXIDE DETECTOR (PER CODE) TO COMPLY W/ UL7834 AND INSTALLED PER MANUF. SPECIFICATIONS
- 3. ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOTCANDLE
- 4. INDICATES TYPICAL - (1) STUD BEARING (UNLESS OTHERWISE NOTED ON PLAN)
- 5. BUILDER TO COORDINATE ALL ELECTRICAL UPGRADES (FANS, OUTLETS, SWITCHES, LIGHTING, ETC) W/ HOMEOWNER PRIOR TO CONSTRUCTION
- 6. INTERIOR WALL DIMENSIONS ARE FROM STUD TO STUD. EXTERIOR WALLS INCLUDE SHEATHING
- 7. MINIMUM THREE STUD SPACING AT ALL DOOR JAMBS - CARPENTER TO VERIFY CASING SIZE WITH BUILDER
- 8. ALL TRIM TO BE PACKED OUT W/ 1/4" OSB SHEATHING

NOTE: ANY WINDOWS WITH BOTTOM SILL LOWER THAN 2" FROM FINISH FLOOR AND EXCEEDING 12" FROM FINAL GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE.

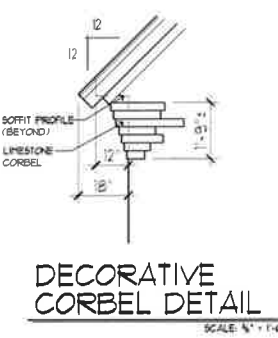
TYPICAL WINDOW DESIGNATION

NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.

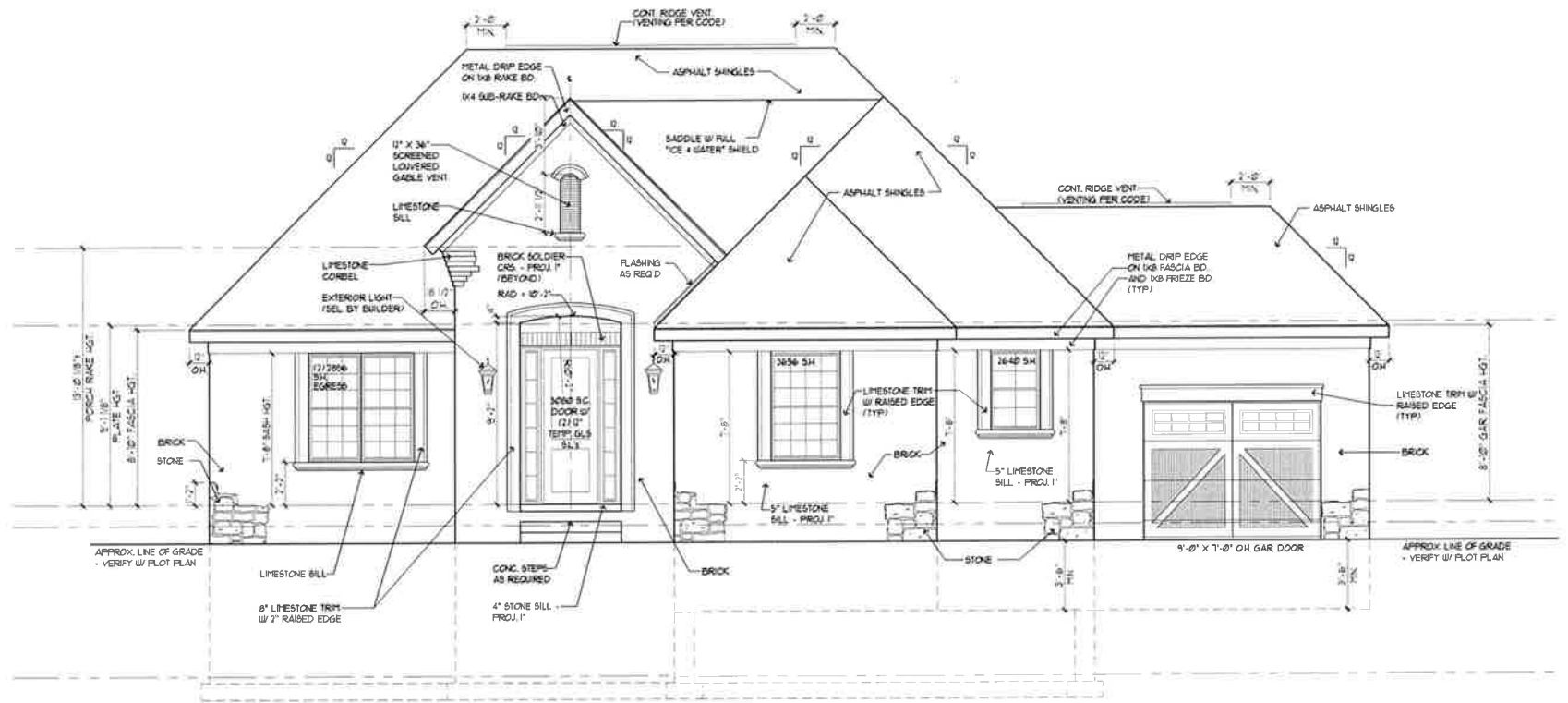
- SH = SINGLE HUNG WINDOW
- DH = DOUBLE HUNG WINDOW
- SL = SLIDING WINDOW
- C = CASHEMENT WINDOW
- FI.G = FIXED INSULATED GLASS



RIGHT ELEVATION - "O"
SCALE: 1/4" = 1'-0"



DECORATIVE CORBEL DETAIL
SCALE: 3/4" = 1'-0"



FRONT ELEVATION: BLOOMFIELD - "O"
SCALE: 1/4" = 1'-0"



MARTINI SAMARTINO Design Group
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PINNACLE HOMES
28800 ORCHARD LAKE RD.
SUITE 200
FARMINGTON HILLS, MI

BLOOMFIELD "O"
@ VALENCIA SOUTH
LOT #
NOVI, MI. 48374

1st Set:	
Review Set:	08.02.2018
Permit Set:	
Final Set:	
Revisions:	12.10.18
Drawn By:	
Checked By:	

Job No:
18-320
Sheet No:
3.A OF 5

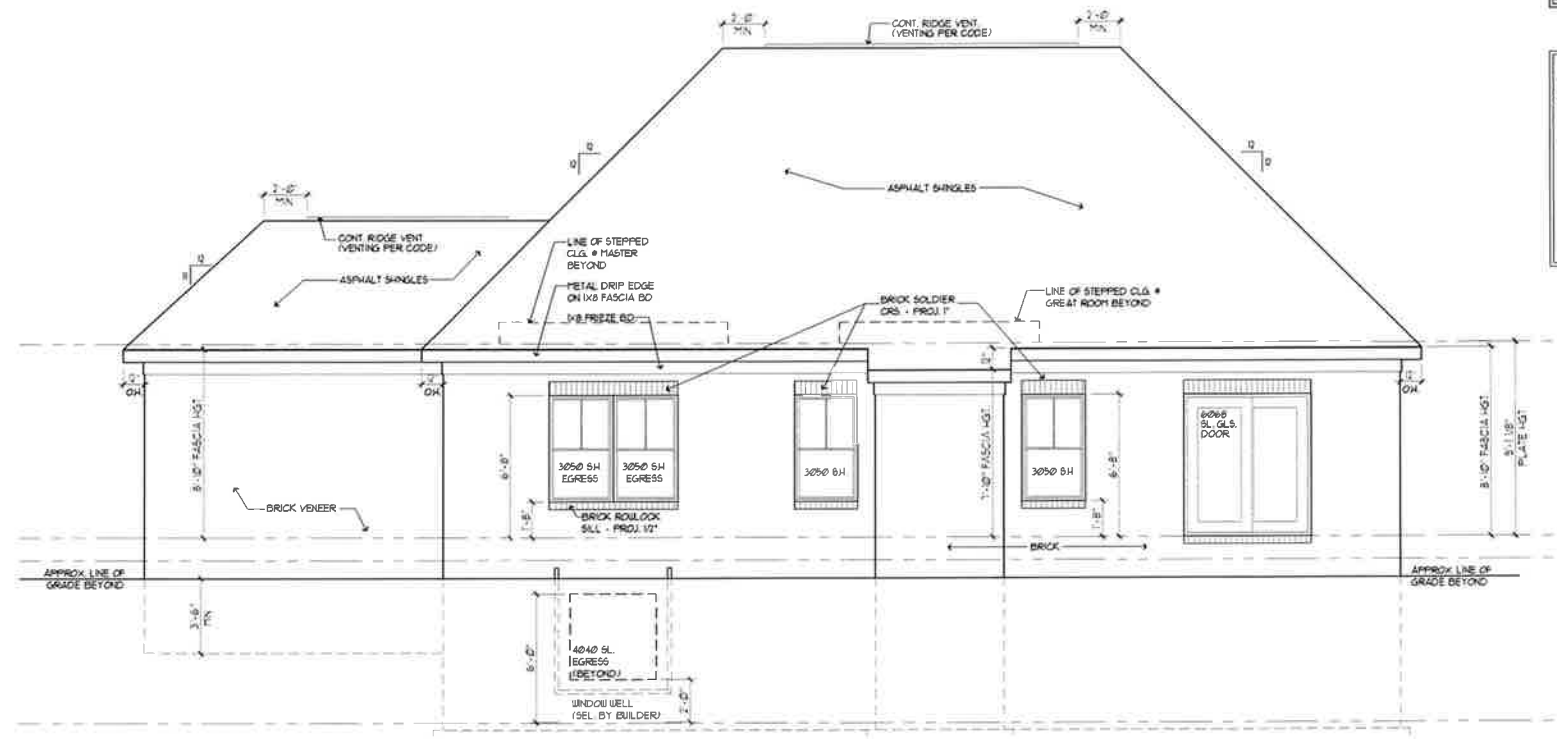
NOTE: ANY WINDOWS WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 1" FROM FINAL GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE

TYPICAL WINDOW DESIGNATION

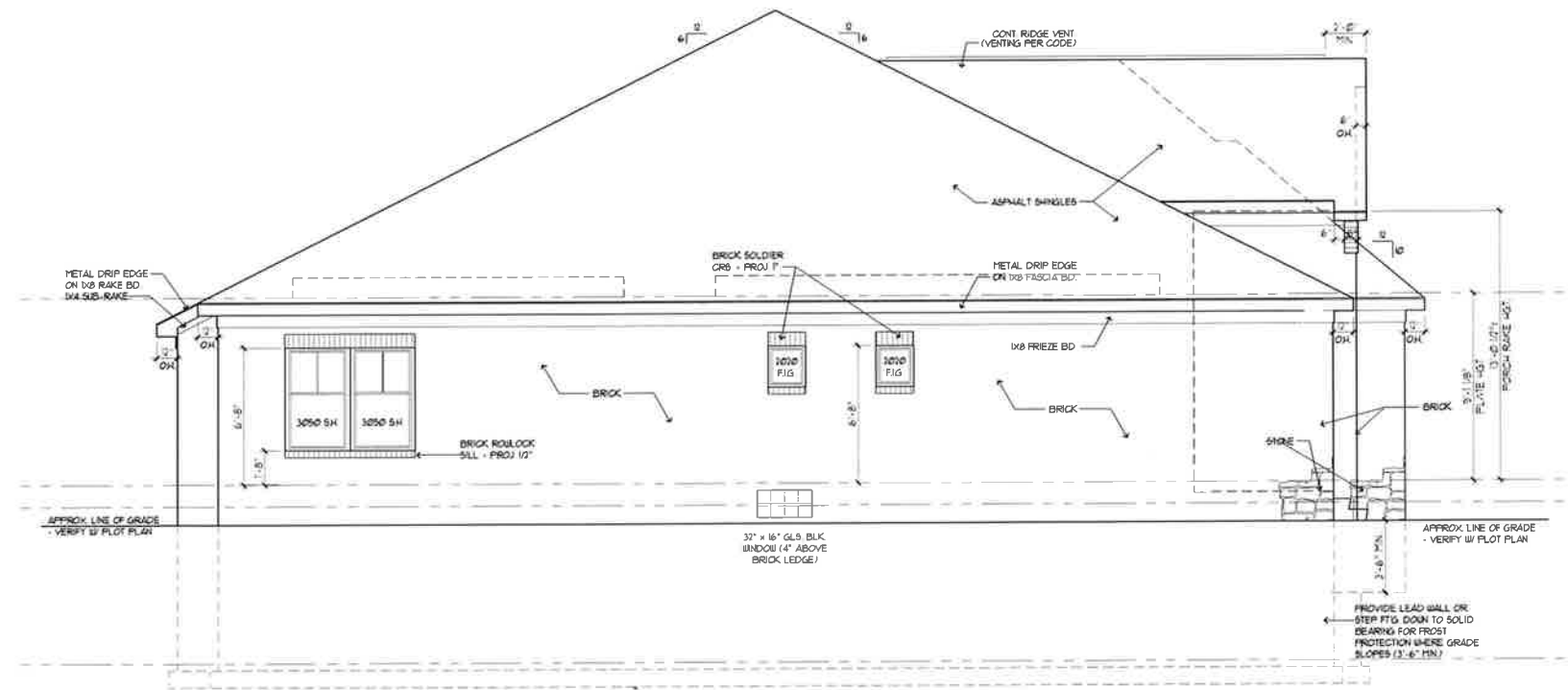
NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY.

CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.

BH = SINGLE HING WINDOW
 DH = DOUBLE HING WINDOW
 SL = SLIDING WINDOW
 C = CASEMENT WINDOW
 FIG = FIXED INSULATED GLASS



REAR ELEVATION - "O"
 SCALE: 1/4" = 1'-0"



LEFT ELEVATION - "O"
 SCALE: 1/4" = 1'-0"

MARTINI SAMARTINO Design Group

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BLOOMFIELD 'O'
 @ VALENCIA SOUTH
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 NOVI, MI, 48374

Blk Set:
 Review Set: 08.02.2018
 Permit Set:
 Final Set:
 Revisions: 12.10.18
 Drawn By:
 Checked By:

Job No:
18-320

Sheet No:
3.B OF 5

GENERAL NOTES:

- DOUBLE EVERY JOIST UNDER CERAMIC TILE WITH DIMENSIONAL LUMBER.
- ALL POURED CONCRETE WALLS TO BE BACKFILLED WITH SANDY TYPE SOIL AND BE WELL BRACED UNTIL CONCRETE IS THOROUGHLY CURED AND ADDITIONAL WEIGHT OF THE BUILDING IS IN PLACE.
- ALL POURED CONCRETE FOOTING TO BE A MINIMUM OF 3'-6" BELOW FINISHED GRADE BEARING ON UNDISTURBED VIRGIN SOIL WITH A MINIMUM BEARING CAPACITY OF 1500 PSF. MUST BE VERIFIED BY SOILS ENGINEER IN THE FIELD FOR FOOTING INSPECTION.
- UNEXCAVATED GARAGE SLAB SHALL COMPLY WITH TABLE R402.2 4" CONCRETE SLAB MIN. 3500 MINIMUM SPECIFIED COMPRESSIVE STRENGTH OF CONCRETE ON 4" MIN. WELL COMPACTED SAND BASE.
- ALL POURED CONCRETE WALLS WITH A BRICK LEDGE GREATER THAN 4'-0" SHALL BE REINFORCED VERTICALLY WITH 5 BARS 24" O.C. AND HORIZONTALLY WITH ONE (1) 4 BAR # 4" FROM TOP AND BOTTOM AND # 4 MID-POINT OF THE WALL.
- TYPICALLY ALL PINS IN POURED CONCRETE FOUNDATION WALLS MUST BE REMOVED AND FILLED WITH POLYURETHANE COATING PRIOR TO BACK FILL INSPECTION.
- PROVIDE 4" FERRIS DRAIN TILE CONT. AT BASEMENT FTL IN 2" (MIN) PITCHES WITH 2" BELOW DRAIN TILE. CONNECT TO SUMP AND STORM SEWER AS REQUIRED.
- BUILDER AND SUB BRICK CONTRACTORS TO PROVIDE WEEP HOLES RESTING ON THE FLASHING SPACED 30" O.C. MAX (24" PREFERRED) AT HEAD DETAILS OF WINDOWS, DOORS, BASEMENT WINDOWS AND GARAGE DOORS. ALSO PROVIDE FLASHING TO FACE OF BRICK UP 2" FROM FLASHING. USE 40# END DAPS (LAP UNDER AIRMOISTURE BARRIER) MICHIGAN RESIDENTIAL CODE 2015 SEC. 103.15 - 103.18. A PRE-BRICK INSPECTION WILL BE REQUIRED PRIOR TO BRICK INSTALLATION FOR FLASHING INSPECTION.
- ALL ENGINEERED WOOD FLOOR TRUSSES TO BE 1/2 DENSE KD WITH 2" BY 6" CONTINUOUS REGION BRACING ON 8'-0" O.C. (MINIMUM) PER SPAN WELL MAILED TO TRUSSES. PROVIDE DRAFT STOPPING.
- ALL MICRO-LAM BEAMS TO BE JOINED TOGETHER PER MANUFACTURER'S SPECIFICATIONS.
- ALL FLOOR JOISTS TO BE 2 OR BETTER HEM FIR WITH 1' X 3" CROSBY BRIDGING 6'-0" O.C.
- PROVIDE 5 POLY FELT AT UNTREATED EXPOSED LUMBER.
- PROVIDE 2x6 UNOLMANIZED PRESSURE TREATED SILL PLATE ON SILL SEALER WITH 1/2" ANCHOR BOLTS # 6-8" O.C. AND LOCATED NOT MORE THAN 2" INCHES AND NOT LESS THAN 3/4" INCHES FROM THE END OF EACH PLATE SECTION. EXCEPT USE ANCHOR STRAPS, SPACED AS REQUIRED TO PROVIDE EQUIVALENT ANCHORAGE TO 1/2" INCH ANCHOR BOLTS.
- PROVIDE METAL FLASHING, COUNTER FLASHING AND STEPPED FLASHING WHERE NOTED AND AT ALL PENETRATIONS AND TERMINATIONS OF EXTERIOR WALL ASSEMBLIES, EXTERIOR WALL INTERSECTIONS WITH ROOF, CHIMNEYS, PORCHES, DECKS, BALCONIES AND SIMILAR PROJECTIONS.
- PROVIDE APPROVED SEALANT WHERE REQUIRED AND AS DETAILED BY PFG.
- DO NOT DRILL KITCHEN WINDOW DOUBLERS.
- PROVIDE A 1/4" MIN SOLID CORE FIBERGLASS DOOR BETWEEN GARAGE AND RESIDENCE MIN. 20 MINUTE RATED R302.1.
- ALL WINDOW NUMBERS REFER TO GENERIC WINDOW SIZES. VERIFY SIZES WITH WINDOW MANUFACTURER USED. ALL SIZES AND SHAPES TO MATCH DIMENSIONALLY.
- ALL BEDROOM WINDOWS TO MEET 2015 MICHIGAN RESIDENTIAL EGRESS CODES ALL WINDOW SILLS 1" ABOVE FINISH GRADE. SHALL HAVE THE BOTTOM OF THE OPENING LOCATED A MIN. OF 24" ABOVE FINISH FLOOR OF THE ROOM PER IRC 2015 SEC. R402.
- AREAS THAT REQUIRE TYPED GLASS:
 - FIXED AND SLIDING GLASS OR GLASS TYPE DOORS
 - SHOWER AND BATHUBS DOORS AND ENCLOSURES (IF APPLICABLE)
 - PANELS WITH A GLAZED AREA IN EXCESS OF 9 SQ. FT. WITH LOWEST EDGE LESS THAN 8 INCHES ABOVE THE FINISHED FLOOR LEVEL.
 - ALL OTHER AREAS AS CODE REQUIRES PER 2015 MICHIGAN RESIDENTIAL CODE
- PROVIDE UNDERSTAIR PROTECTION PER 2015 ENCLOSED ACCESSIBLE SPACE UNDER SHALL HAVE WALLS UNDER STAIR SURFACE AND ANY SORFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- WHERE HANDRAILS ARE SHOWN HANDRAIL HEIGHT IS TO BE NOT LESS THAN 34" AFF. AND MORE PROVIDE HANDRAIL ON AT LEAST (1) SIDE OF EVERY STAIRWAY PER SECTION R311.1 OF THE 2015 MICHIGAN RESIDENTIAL CODE. HANDRAIL GRIP TO COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODE SECTION R311.1.3. HANDRAIL SHALL BE CONTINUOUS WHERE ADJACENT TO WALLS SHALL HAVE A SPACE OF MIN 1/4" BETWEEN WALLS AND THE HANDRAIL. PER R 311.1.2
- ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN (1) FOOT CANDLE OF LIGHT.
- 6'-0" CLEAR HEADROOM REQUIRED ON ALL STAIRS.
- PROVIDE A BATH FAN WHERE SHOWN ON PLAN AND VENT FAN TO EXTERIOR AS REQUIRED.
- TYPICAL ALL HABITABLE ROOMS TO HAVE PROPER LIGHT AND VENTILATION AND COMPLY WITH 2015 MICHIGAN RESIDENTIAL CODES.
- PROVIDE ELECTRICAL SMOKE DETECTORS IN ALL SLEEPING AREAS, HALLWAYS, AND MECHANICAL ROOMS ON ALL FLOOR LEVELS INCLUDING THE BASEMENT. SMOKE DETECTORS SHALL BE WIRED TOGETHER SO AS WHEN ONE SOUNDS THEY ALL SOUND AND HAVE BATTERY BACKUP PER SEC. R314 OF 2015 MICHIGAN RESIDENTIAL CODE.
- FIRESTOP ALL DROPS AND CHASES, ELECTRICAL, PLUMBING AND HVAC.
- VERIFY ELECTRICAL SERVICE IN ACCORDING TO ALL NEW WORK. VERIFY ALL PROPOSED ELECTRICAL OUTLETS, SWITCHES, DIMMERS, LIGHT LOCATION, ETC. INCLUDING CABLE AND PHONE PRE-WIRING. TAKE INTO CONSIDERATION ALL ELECTRICAL INSTALLATION WITH OWNER AND COMPLY WITH 2015 MICHIGAN RESIDENTIAL ELECTRICAL CODES.
- WHERE APPLICABLE, VERIFY FIREPLACE OPTION WITH SUBDIVISION SPECS. AND WORK ORDER.
- VERIFY SIZE OF FIREPLACE UNIT WITH BUILDER/OWNER. CONTRACTOR TO VERIFY ROUGH OPENING SIZE OF SELECTED UNIT, WITH MANUF. SPECS. PRIOR TO BUILDING.
- PROVIDE 5/8" DRYWALL ON THE GARAGE SIDE OF WALLS COMMON TO RESIDENCE AND GARAGE. APPLY 1/2" TYPE "X" DRYWALL TO GARAGE CEILING AREAS BELOW HABITABLE ROOMS PER IRC 2015 TABLE R502.6.
- LOWER LEVEL AREA CONSIDERED UNHABITABLE. ANY FUTURE ALTERATIONS TO MODIFY LOWER LEVEL TO A HABITABLE SPACE WILL COMPLY STRICTLY TO THE 2015 MICHIGAN RESIDENTIAL CODE. EGRESS WINDOWS (IF PROVIDED), AS REQUIRED, IN COMPLIANCE WITH IRC 2015 SEC. R310.1 - R310.5.
- CHIMNEY TERMINATION MUST PROJECT 2 FEET ABOVE ANY PART OF THE BUILDING WITHIN 10 FEET, BUT SHALL NOT BE LESS THAN 3' ABOVE HIGHEST POINT WHERE CHIMNEY PASSES THROUGH THE ROOF.
- ROOF VENTILATION WHERE EAVE OR CORNER VENTS ARE INSTALLED INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1" INCH SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AT THE LOCATION OF THE VENTS.
- NOT USED
- NOT USED

NOTE: ALL CODES SHALL COMPLY WITH THE MICHIGAN BUILDING CODES INTERNATIONAL BUILDING CODES WHERE APPLICABLE. 1 2015 MICHIGAN RESIDENTIAL CODE. THEY SHALL ALSO COMPLY WITH ANY JURISDICTION CODES IN THEIR RESPECTIVE COUNTY, CITY, VILLAGE, OR TOWNSHIP AND THEIR PROVISIONS AND ORDINANCES.

NOTE: GENERAL NOTES INDICATED ABOVE ARE JUST A SMALL PORTION OF OUR STANDARD NOTES 1 THE 2015 MICHIGAN RESIDENTIAL CODE BUT THE CODE IS MUCH BROADER 1 SHOULD BE STRICTLY FOLLOWED BY BUILDERS, TRADES 1 CRAFTSMAN

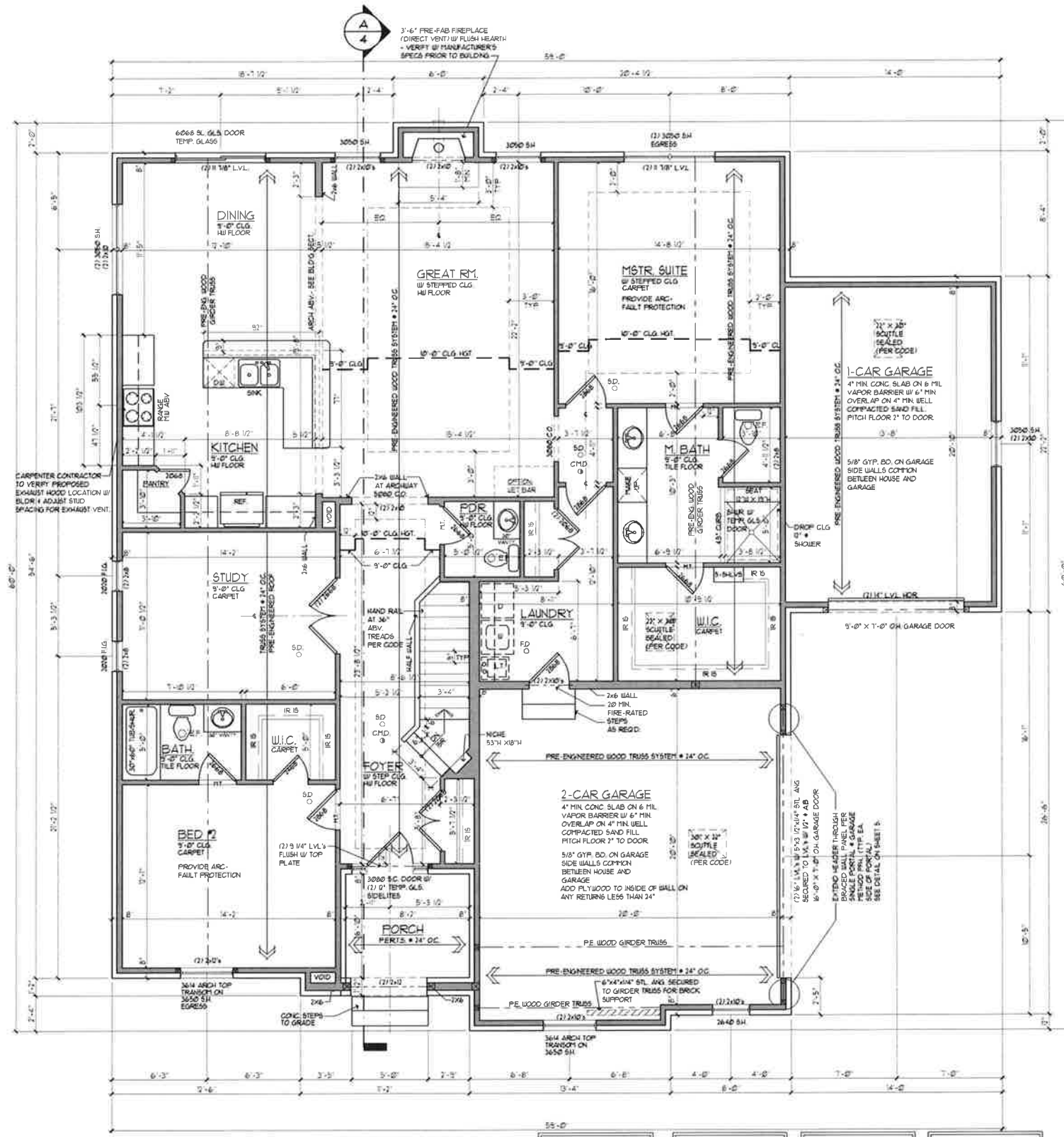
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ALLOWABLE SPANS FOR LINTELS SUPPORTING MASONRY VENEER

TABLE R502.1(1) PER IRC 2015

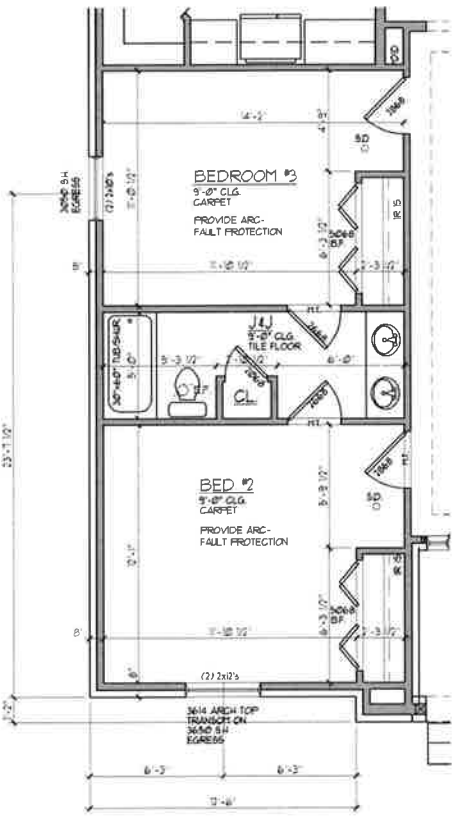
SIZE OF ANGLE (IN.) ²	NO. STORIES ABOVE	ONE STORY ABOVE	TWO STORIES ABOVE	NO. OF 1/2" O.D. OR 3/4" DIA. BARS ¹
3 x 3 x 1/2	6'-0"	4'-0"	3'-0"	1
4 x 3 x 1/2	8'-0"	6'-0"	4'-0"	1
5 x 3 1/2 x 1/2	10'-0"	8'-0"	6'-0"	2
6 x 3 1/2 x 1/2	14'-0"	9'-0"	7'-0"	2
12 1/2 x 3 1/2 x 1/2	20'-0"	12'-0"	9'-0"	4

1. LONG LEG OF THE ANGLE SHALL BE PLACED IN A VERTICAL POSITION
 2. DEPTH OF REINFORCED LINTELS SHALL NOT BE LESS THAN 8 INCHES AND ALL CELLS OF HOLLOW MASONRY LINTELS SHALL BE GROUDED SOLID. REINFORCING BARS SHALL EXTEND NOT LESS THAN 8 INCHES INTO THE SUPPORT.
 3. STEEL MEMBERS INDICATED ARE ADEQUATE TYPICAL EXAMPLES. OTHER STEEL MEMBERS MEETING STRUCTURAL DESIGN REQUIREMENTS, MAY BE USED.



FLOOR PLAN: BLOOMFIELD - "P"
 2021 TOTAL SQ FT SCALE: 1/4" = 1'-0"

- NOTE: PROVIDE TYPED GLASS IN ACCORDANCE WITH SECTION R602.4 1 IRC 2015
- NOTE: PROVIDE HURRICANE CLIPS IN ACCORDANCE WITH SECTION R602.1 1 IRC 2015
- NOTE: INTERIOR WALLS ARE 2x4 UNLESS NOTED OTHERWISE
- NOTE: PROVIDE BLOWER DOOR TEST AS REQUIRED.
- NOTE: PROVIDE WEB STIFFENERS # CANT. BAY WINDOW PER MANUF. REQUIREMENTS
- NOTE: SEE BUILDING SECTION FOR ALL INSULATION VALUES FROM FOUNDATION TO ROOF
- NOTE: COPIES WITH 2015 MICHIGAN UNIFORM ENERGY CODE USING SECTION 405 SPULATED PERFORMANCE
- NOTE: ALL TRIM TO BE PACKED OUT W/ 1/4" OSB SHEATHING



OPTIONAL 3RD BEDROOM BLOOMFIELD "P"
 SCALE: 1/4" = 1'-0"

- SD: BUILDER TO PROVIDE APPROVED SMOKE DETECTORS AS REQ'D ON ALL FLOORS (INTER-CONNECTED) WITH BATTERY BACK-UP
- CHMD: CARBON MONOXIDE DETECTOR (PER CODE) TO COMPLY WITH 909.4 AND INSTALLED PER MANUF. SPECIFICATIONS
- NOTE: ALL STAIRWAYS SHALL BE ILLUMINATED WITH MIN. (1) FOOTCANDLE
- SD: INDICATES TYPICAL (1) STD BEARING (UNLESS OTHERWISE NOTED ON PLAN)
- NOTE: BUILDER TO COORDINATE ALL ELECTRICAL UPDATES (FANS, OUTLETS, SWITCHES, LIGHTING, ETC.) W/ HOMEOWNER PRIOR TO CONSTRUCTION
- NOTE: INTERIOR WALL DIMENSIONS ARE FROM STUD TO STUD. EXTERIOR WALLS INCLUDE SHEATHING
- NOTE: MINIMUM THREE STD SPACERS AT ALL DOOR JAMBS - CARPENTER TO VERIFY CASING SIZE WITH BUILDER
- NOTE: ALL TRIM TO BE PACKED OUT W/ 1/4" OSB SHEATHING

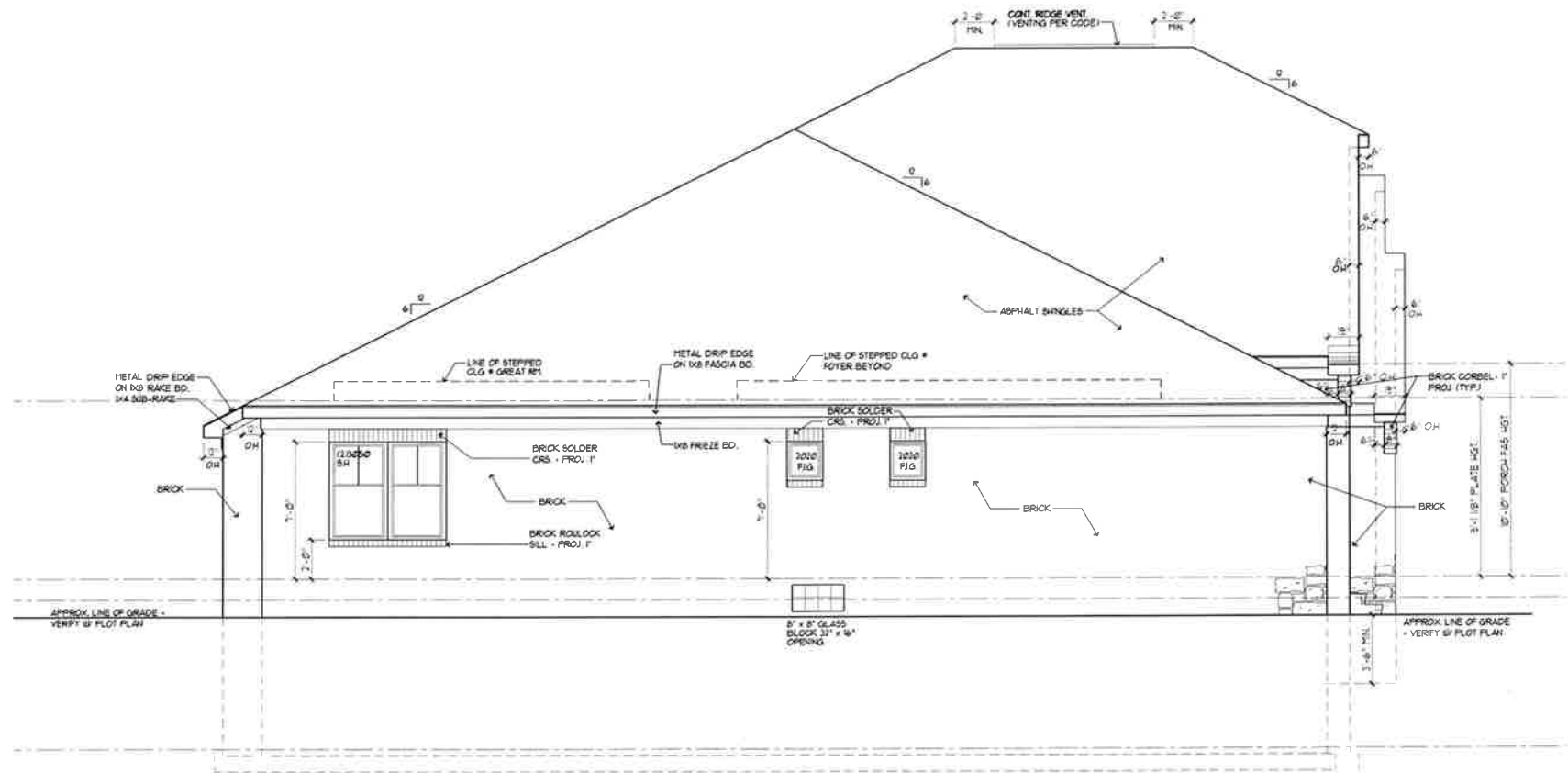
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BLOOMFIELD "P" MASTER SET @ VALENCIA SOUTH NOVI, MI 48374

Blk Set: 08.23.2018
 Review Set: -
 Permit Set: -
 Final Set: -
 Revisions: -
 Drawn By: 12.11.2018
 Checked By: -
 Job No: 18-321
 Sheet No: 2 OF 5



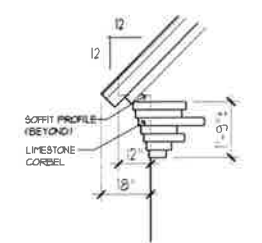
LEFT ELEVATION - "P"
SCALE: 1/4" = 1'-0"

NOTE: ANY WINDOW WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 12" FROM FINISH GRADE MUST BE NON-EGRESS AND OR NON-OPERABLE

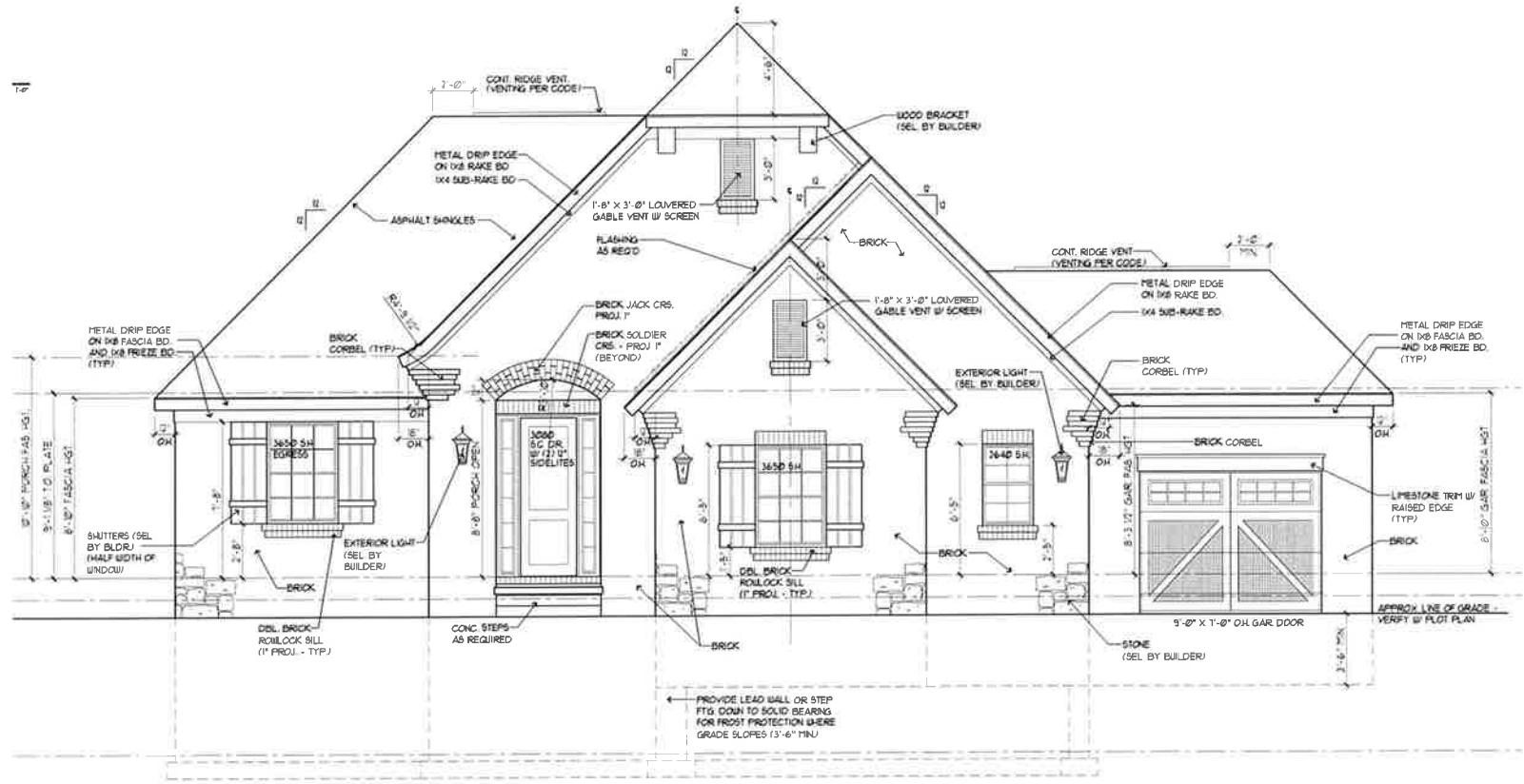
TYPICAL WINDOW DESIGNATION

NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.

SH - SINGLE HUNG WINDOW
DH - DOUBLE HUNG WINDOW
SL - SLIDING WINDOW
C - CASEMENT WINDOW
FIG - FIXED INSULATED GLASS



DECORATIVE CORBEL DETAIL
SCALE: 1/2" = 1'-0"



FRONT ELEVATION: BLOOMFIELD - "P"
SCALE: 1/4" = 1'-0"



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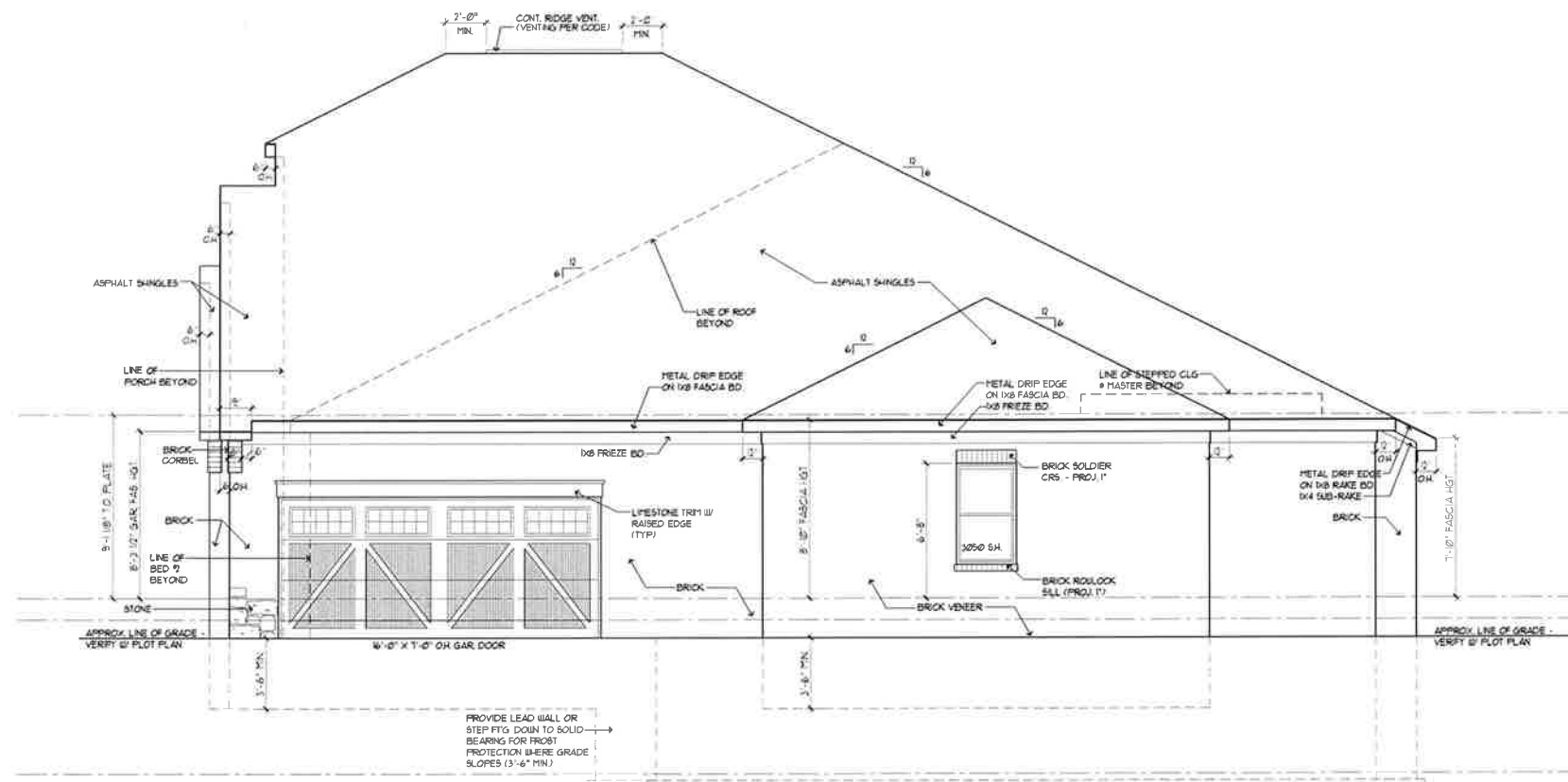
920 EAST LONG LAKE RD.
SUITE 200
TROY MI 48065
P. 248.524.0445
F. 248.524.0447

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28800 ORCHARD LAKE RD.
SUITE 200
FARMINGTON HILLS, MI

BLOOMFIELD "P" MASTER SET
@ VALENCIA SOUTH
NOVI, MI 48374

Blk Set:	06.23.2018
Review Set:	
Permit Set:	
Final Set:	
Revisions:	
Drawn By:	12.11.2018
Checked By:	
Job No:	18-321
Sheet No:	3 OF 5



RIGHT ELEVATION - "P"

SCALE: 1/4" = 1'-0"

NOTE: ANY WINDOW WITH BOTTOM SILL LOWER THAN 24" FROM FINISH FLOOR AND EXCEEDING 17" FROM FINAL GRADE MUST BE NON-BEARING AND/OR NON-OPERABLE.

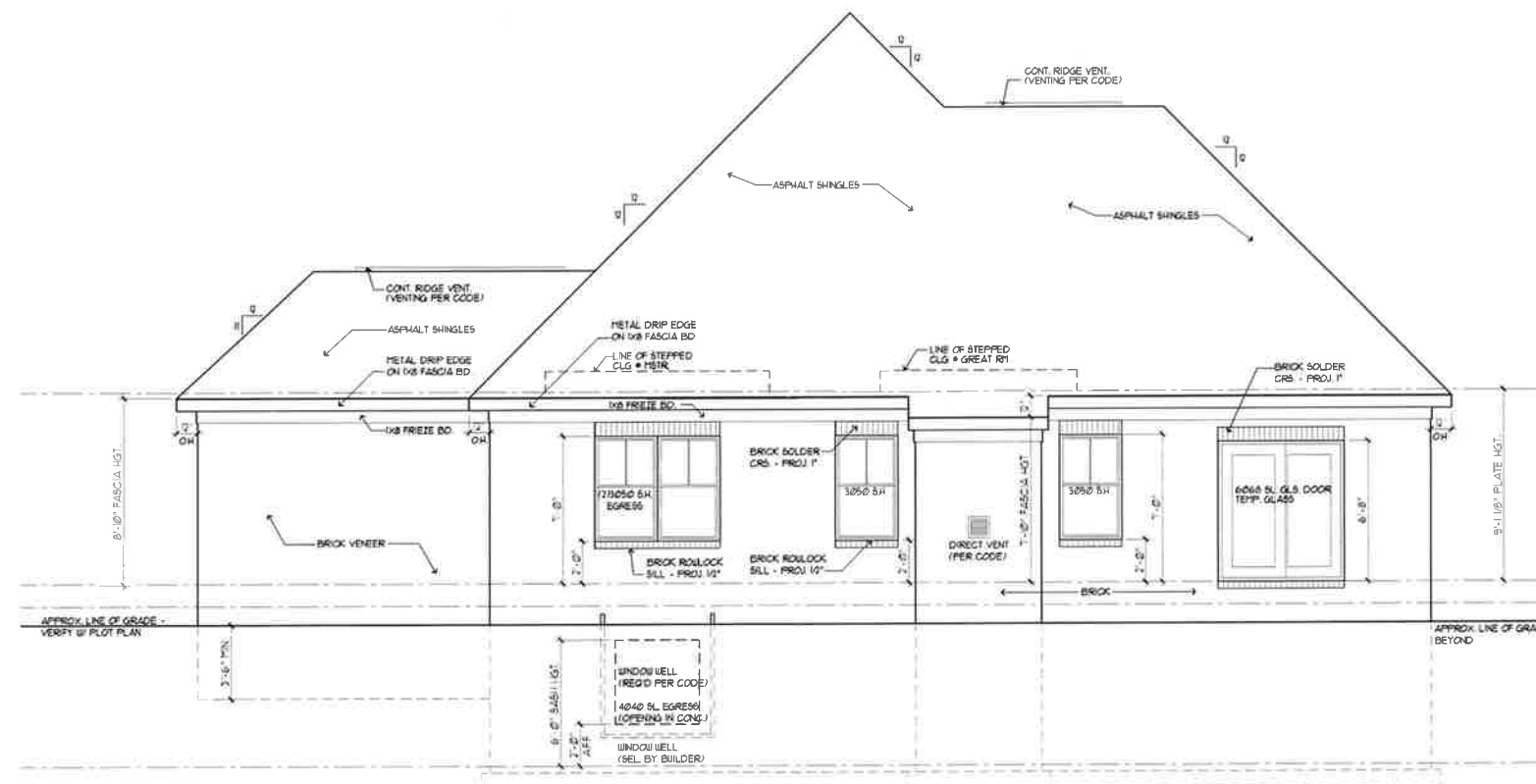
TYPICAL WINDOW DESIGNATION

NOTE: WINDOW SIZES AS NOTED ON DRAWINGS INDICATE ROUGH OPENING SIZES AND ARE FOR GENERAL REFERENCE ONLY.

CONSULT WITH WINDOW MANUFACTURER FOR EXACT SPECIFICATIONS.



- SH - SINGLE HUNG WINDOW
- DH - DOUBLE HUNG WINDOW
- SL - SLIDING WINDOW
- C - CASSETT WINDOW
- FIG - FIXED INSULATED GLASS



REAR ELEVATION - "P"

SCALE: 1/4" = 1'-0"



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SUITE 200
FARMINGTON HILLS, MI

BLOOMFIELD "P" MASTER SET
@ VALENCIA SOUTH
NOV1, MI 48374

Bid Set:	08.23.2018
Review Set:	
Permit Set:	
Final Set:	
Revisions:	
Drawn By:	12.11.2018
Checked By:	

Job No:
18-321

Sheet No:
3 OF 5

APPLICANTS RESPONSE LETTER



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Planning Review Response February 7, 2019

Planning Commissioners,

What follows is a response to the Plan Review for the **Valencia South PRO (JSP13-75 with Rezoning 18.708)**:

2. Existing vs. Proposed

Please see the highlighted section of the attached Exhibit A. M/I Homes applied for a ranch plan building permit within the Valencia South community, and the City of Novi's architectural consultant, Doug Necci, stated that the minimum square footage allowed for construction in Valencia South would be 2,614. I believe this is consistent with the language in my application cover letter.

4. Typical Lot Layout

Please see attached Exhibit B. Exhibit B shows a plot plan for Valencia Estates South lot 29, with the architectural footprint of our proposed Bloomfield plan, and is in compliance with typical lot setbacks within the project.

5. Façade Deviation Requested

Doug Necci has requested evidence that new construction ranch homes transact at a higher price/square foot than new construction 2-story homes. Please see attached Exhibit C. Exhibit C shows comparable, ranch home transaction prices for our Legacy of Lyon project, located on the north side of 10 Mile Road, just east of Currie Road, in Lyon Township. In the past 365 days, we've sold 10 ranches with an average of 2,036 sq. ft. and average sale price of \$562,798, or **\$276/sq. ft.**

Please see attached Exhibit D. Exhibit D shows comparable ranch home transaction prices for our Ridge Hill Estates project, located at the southeast corner of 7 Mile and Ridge Roads, in Northville Township. In the past 365 days, we've sold 11 ranches with an average of 2,049 sq. ft. and average sale price of \$630,655, or **\$307/sq. ft.**

Additionally, Exhibit E shows comparable home transactions in our Valencia Estates South community. In the past 365 days, we've sold 5 2-story homes, with an average of 3,340 sq. ft., and an average sale price of \$730,322, or **\$218/sq. ft.** **While the absolute dollar amounts of the 2-story transactions may be higher, new construction ranch homes transact at a significantly higher price/square foot ratio in the local area and, if anything, increase the surrounding property values. It is my opinion that**



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these comparative studies demonstrate high local demand for ranches which are relatively much more expensive than their 2-story counterparts. With this information, I believe we've satisfactorily addressed Mr. Necci's concern.

Per page 3 of the Planning Review, renderings of our proposed plans have been requested. At this point in time, we have 2 of the proposed elevations rendered. I've included, as Exhibit F, renderings of proposed Bloomfield elevations N and O within the Valencia Estates South community.

If there are any further questions or concerns, I can be reached at 248-990-6514 or via email at bbotham@mihomes.com.

Regards,

Brad Botham, Director of Land Acquisition
M/I Homes of Michigan



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Exhibit A

Bradley Botham

From: Steve Siep
Sent: Monday, November 26, 2018 5:03 PM
To: Bradley Botham
Subject: FW: Valencia South Lot 29, PBR18-0707

Brad, the plan to populate VALS phase 3 with Belmonts and Bloomfields may be tougher than thought. Looks like Minimum square footage requirement is 2614 according to Doug Necci.. 2614 seems like an odd number. Is there something in the PD agreement stating Minimum Square footage requirements? This rejection notice is for a spec in phase 2.... Maybe phase 3 is different?

Thoughts?

From: Matthew Helgeson <mhelgeson@MIHOMES.com>
Sent: Monday, November 26, 2018 4:54 PM
To: Steve Siep <:ssiep@mihomes.com>
Cc: Matthew Helgeson <mhelgeson@MIHOMES.com>; Shane Mc Donough <smcdonough@MIHOMES.com>; Anthony Faszczewski <afaszczewski@mihomes.com>; Barb Sawosko <bsawosko@MIHOMES.com>
Subject: Fwd: Valencia South Lot 29, PBR18-0707

Steve,

Not sure what's going on yet, Thought I'd bring you into the fold

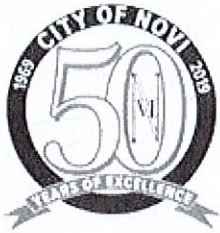
Get [Outlook for iOS](#)

From: Oppermann, Katherine <koppermann@cityofnovi.org>
Sent: Monday, November 26, 2018 4:37 PM
To: Matthew Helgeson
Subject: FW: Valencia South Lot 29, PBR18-0707

Good Afternoon Matt,

I received this email from our consultant Architect, Doug Necci, while our office was out for the holiday. The plans may need to be revised, but you can always give Doug a call should you need anything questions answered on this matter. For now these plans will be on hold.

Best Regards,



Katherine Oppermann | Account Clerk

City of Novi | 45175 Ten Mile Road | Novi, MI 48375 USA

t:248.347.0459 | f: 248.735.5600 | cityofnovi.org

To receive monthly e-news from Novi or follow us on social media, [click here](#).

From: dnecci@drnarchitects.com [<mailto:dnecci@drnarchitects.com>]

Sent: Friday, November 23, 2018 11:46 AM

To: Oppermann, Katherine

Subject: Valencia South Lot 29, PBR18-0707

Kate,

The proposed house does not comply with the Similar / Dissimilar Ordinance.

The proposed square footage is 1,978 SF whereas the minimum required is 2,614 SF.

By definition, the finished basement does not count toward the "Residential Building Area".

Thanks

Doug Necci



Phone: (248) 880-6523
E-Mail: dnecci@drnarchitects.com
Web: drnarchitects.com

DRN & ASSOCIATES, ARCHITECTS, PC

50850 Applebrooke Dr., Northville, MI 48167



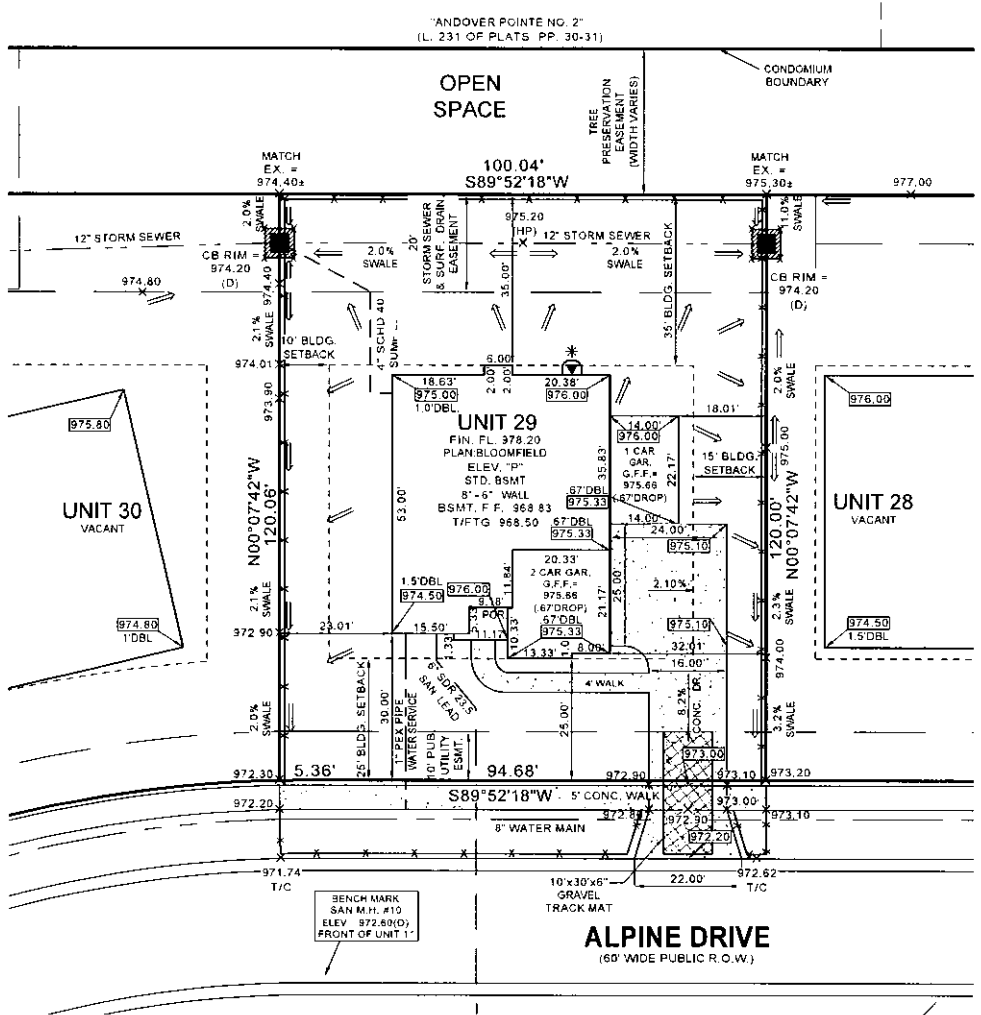
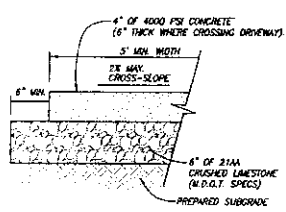
EXTERNAL EMAIL



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Exhibit B

LEGEND			
---	EX. SLUMP LEAD	1081.00	PROP SPOT ELEVATION
---	EX. SANITARY LEAD	1001.00(D)	DESIGNED ELEVATION
---	EX. WATER LEAD	1001.5	PROPOSED GRADE
---	PROP. SLUMP DRAIN	1001.5	AS-BUILT INFORMATION
---	PROP. SANI. SERVICE		
---	PROP. WATER SERVICE		
---	PROP. SILT FENCE		
←	DRAINAGE ARROW		
			YARD INLET FILTER
			MANHOLE
			FOUNDATION CONTRACTOR TO VERIFY THE EGRESS WELL LOCATION(S)



NOTE: DATUM IS NAVD 88

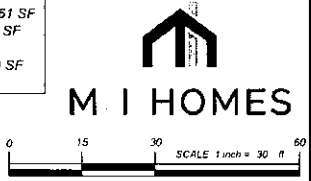
NOTE: A CITY RIGHT-OF-WAY PERMIT IS REQUIRED PRIOR TO CONSTRUCTION.

NOTE: BUILDING CONTRACTOR SHALL INSTALL AND MAINTAIN SOIL EROSION MEASURES PER CITY OF NOVI STANDARDS, THROUGHOUT CONSTRUCTION SILT FENCE SHALL BE PLACED ALONG SIDE YARD LINES, AS NECESSARY, TO PROTECT EXISTING LAWN AND LANDSCAPING ON ADJACENT PROPERTIES.

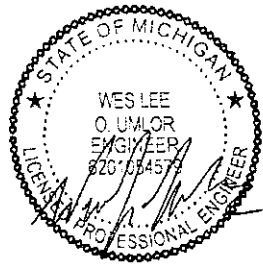
NOTE: DIFFIN - UMLOR & ASSOCIATES ASSUMES NO RESPONSIBILITY FOR DRIVEWAY PLACEMENT. CLIENT MUST VERIFY ALL DIMENSIONS AND DRIVEWAY PLACEMENT PRIOR TO CONSTRUCTION. APPROVAL OF THIS PLOT PLAN DOES NOT RELIEVE THE OWNER/BUILDER OF COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES. BEFORE BEGINNING CONSTRUCTION VERIFY AS-BUILT HOME LEAD LOCATION WITH MUNICIPALITY. NO FIELD WORK HAS BEEN DONE AT THIS TIME.

CONCRETE QUANTITIES	
4" DRIVEWAY CONCRETE	= 1,061 SF
4" APPROACH WALKWAY	= 173 SF
4" CITY WALK	= 420 SF
6" DRIVEWAY CONCRETE	= 270 SF
SOD AREA	= 8,859 SF

BUILDER'S ADDRESS:
 MI HOMES
 1668 S. TELEGRAPH RD., SUITE 200
 BLOOMFIELD HILLS, MI 48302



49287 WEST ROAD, WIXOM, MI 48393
 PH: (248) 773-7656, FAX: (866) 690-4307



PLOT PLAN UNIT 29	
47597 ALPINE DRIVE VALENCIA SOUTH ESTATES SIDWELL#22-29-227-027	
SECTION 20, TOWN 1 NORTH, RANGE 8 EAST CITY OF NOVI OAKLAND COUNTY, MICHIGAN	
Date:	10-9-18
Project No.:	180201



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Exhibit C



Summary of Comparable Listings

This page summarizes the comparable listings contained in this market analysis.

Pending Listings

Address	Price	Bds	Baths	Sqft	Lot Sz	Status Date	\$/Sqft	CDOM	ADOM
			0.						
24472 Pinnacle Circle	\$514,615	2	2.1	2,000		01/02/2019	\$257.31	163	54
24490 Pinnacle Circle	\$561,394	3	3.1	2,060		12/03/2018	\$272.52		0
24545 Pinnacle Circle	\$596,821	2	3.1	2,060		11/09/2018	\$289.72		0
24344 Pinnacle Circle	\$600,775	2	2.1	2,060		11/09/2018	\$291.64		0
24466 Pinnacle Circle	\$601,842	2	2.1	2,000		10/02/2018	\$300.92		0
Averages:	\$575,089	2.2	2.4	2,036			\$282.42	33	11

Sold Listings

Address	Price	Bds	Baths	Sqft	Lot Sz	Status Date	\$/Sqft	CDOM	ADOM
			0.						
24376 Pinnacle Circle	\$465,000	2	2.1	2,000		05/15/2018	\$232.50	226	23
24363 Pinnacle Circle	\$499,000	2	2.1	2,060		05/09/2018	\$242.23	304	37
24557 Pinnacle Circle	\$577,200	3	3.1	2,000		04/24/2018	\$288.60		0
24371 Pinnacle Circle	\$594,535	2	2.1	2,060		02/23/2018	\$288.61		0
24341 Pinnacle Circle	\$616,798	3	3.1	2,060		09/13/2018	\$299.42		0
Averages:	\$550,507	2.4	2.4	2,036			\$270.27	106	12

	Low	Median	Average	High	Count
Comparable Price	\$465,000	\$585,868	\$562,798	\$616,798	10
Adjusted Comparable Price	\$465,000	\$585,868	\$562,798	\$616,798	10

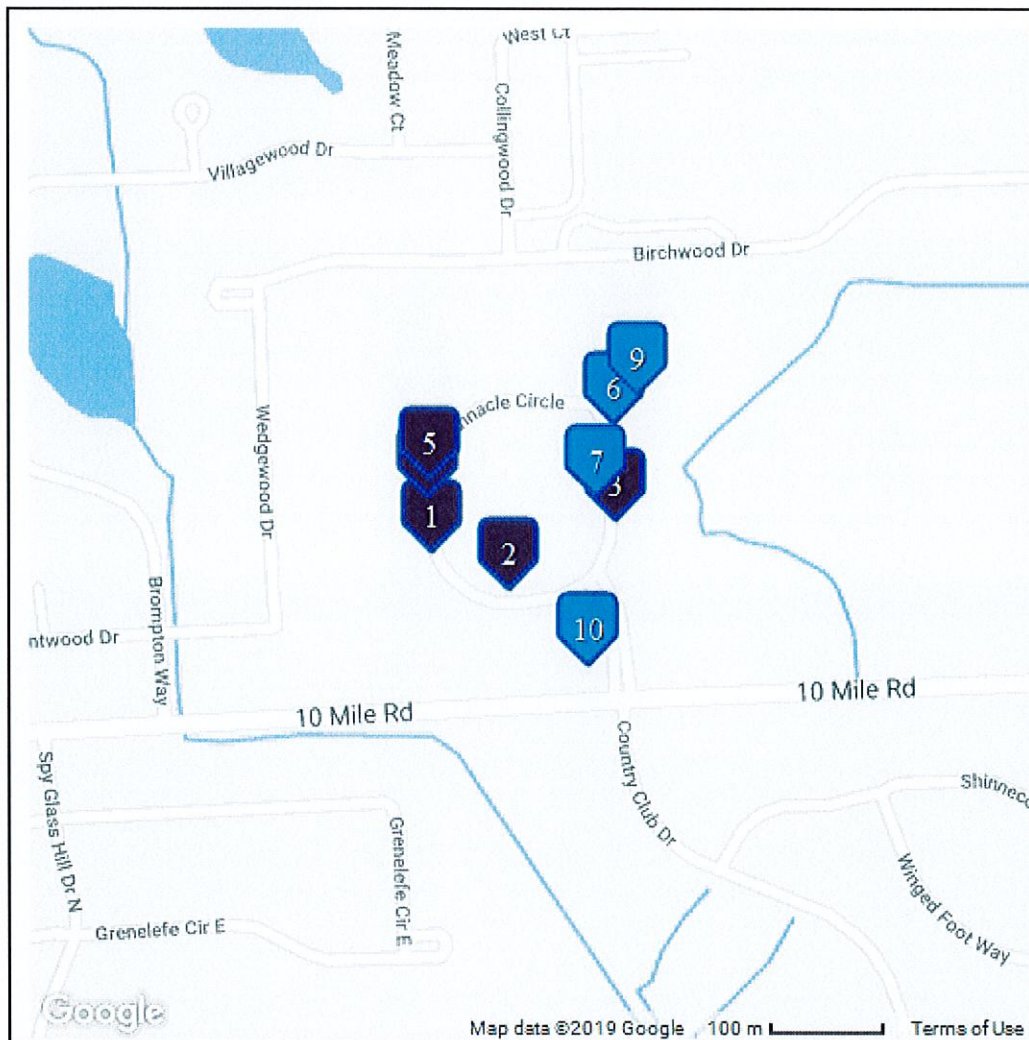
On Average, the 'Sold' status comparable listings sold in 12 days for \$550,507





CMA Map Layout

This page displays the Map for the CMA Subject and your comparables.



- 1 24490 Pinnacle Circle
- 2 24545 Pinnacle Circle
- 3 24344 Pinnacle Circle
- 4 24472 Pinnacle Circle
- 5 24466 Pinnacle Circle
- 6 24376 Pinnacle Circle
- 7 24363 Pinnacle Circle
- 8 24341 Pinnacle Circle
- 9 24557 Pinnacle Circle
- 10 24371 Pinnacle Circle





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Exhibit D



Summary of Comparable Listings

This page summarizes the comparable listings contained in this market analysis.

Pending Listings

Address	Price	Bds	Baths	Sqft	Lot Sz	Status Date	\$/Sqft	CDOM	ADOM
			0.						
18991 Honey Tree Lane	\$612,030	2	2.1	2,000		01/03/2019	\$306.02	164	49
18702 Honey Tree Lane	\$627,120	3	3.1	2,000		01/31/2019	\$313.56	77	77
49014 Honey Tree Lane	\$640,000	3	3.1	2,060		01/14/2019	\$310.68	60	60
18942 Honey Tree Lane	\$640,000	3	3.1	2,060		08/13/2018	\$310.68	21	21
18846 Honey Tree Lane	\$640,000	3	3.1	2,060		11/15/2018	\$310.68	115	115
18767 Honey Tree Lane	\$641,710	3	3.1	2,060		10/24/2018	\$311.51	93	93
Averages:	\$633,477	2.8	2.8	2,040			\$310.52	88	69

Sold Listings

Address	Price	Bds	Baths	Sqft	Lot Sz	Status Date	\$/Sqft	CDOM	ADOM
			0.						
18894 Honey Tree Lane	\$575,649	2	2.1	2,060		04/09/2018	\$279.44	100	100
18926 Honey Tree Lane	\$605,000	3	3.1	2,060		12/27/2018	\$293.69	169	30
18862 Honey Tree Lane	\$620,770	3	3.1	2,060		12/28/2018	\$301.34	9	9
18782 Honey Tree Lane	\$628,980	3	3.1	2,060		04/30/2018	\$305.33	37	37
49062 Honey Tree Lane	\$705,945	3	3.1	2,060		10/23/2018	\$342.69		0
Averages:	\$627,269	2.8	2.8	2,060			\$304.50	63	35

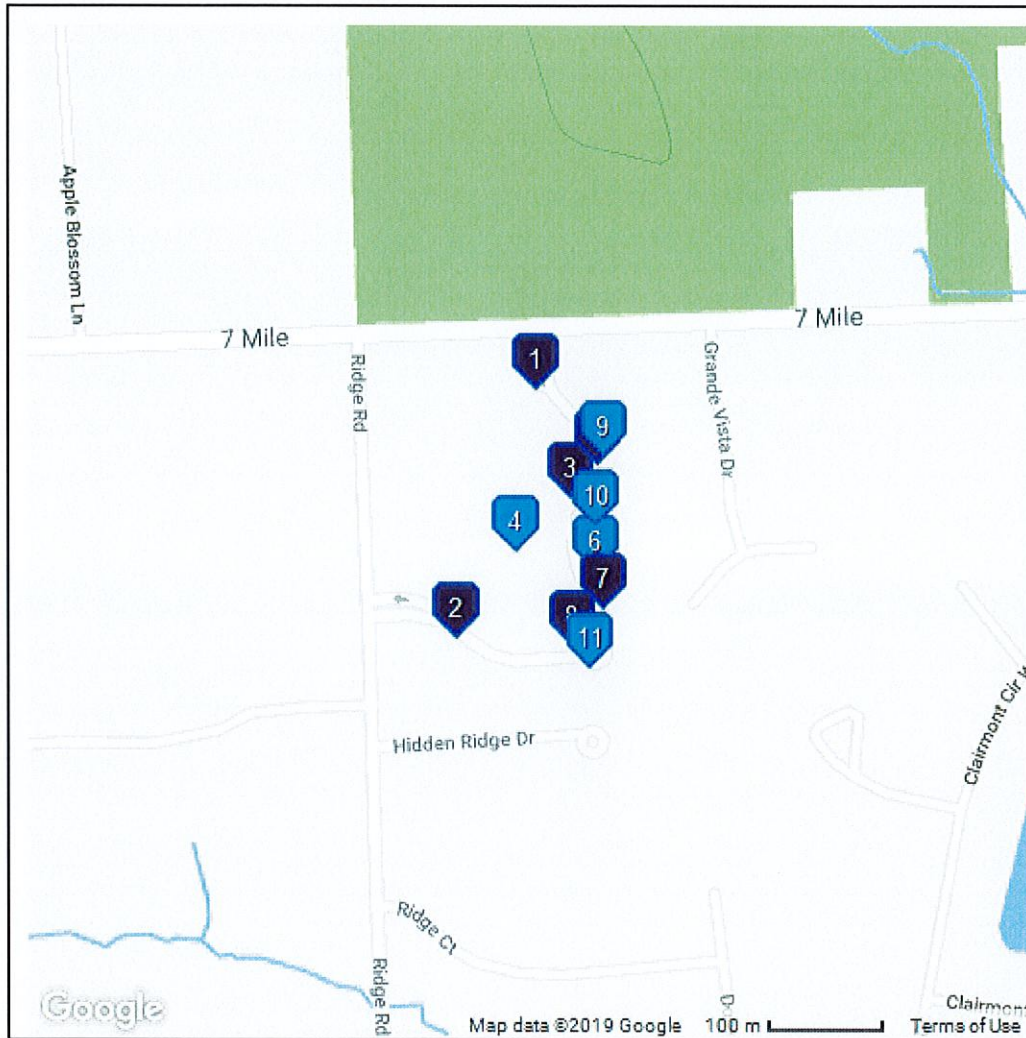
	Low	Median	Average	High	Count
Comparable Price	\$575,649	\$628,980	\$630,655	\$705,945	11
Adjusted Comparable Price	\$575,649	\$628,980	\$630,655	\$705,945	11

On Average, the 'Sold' status comparable listings sold in 35 days for \$627,269



CMA Map Layout

This page displays the Map for the CMA Subject and your comparables.



- 1 18991 Honey Tree Lane
- 2 18702 Honey Tree Lane
- 3 49014 Honey Tree Lane
- 4 49062 Honey Tree Lane
- 5 18942 Honey Tree Lane
- 6 18862 Honey Tree Lane
- 7 18846 Honey Tree Lane
- 8 18767 Honey Tree Lane
- 9 18926 Honey Tree Lane
- 10 18894 Honey Tree Lane
- 11 18782 Honey Tree Lane





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Exhibit E

Summary of Comparable Listings

This page summarizes the comparable listings contained in this market analysis.

Pending Listings

Address	Price	Bds	Baths	Sqft	Lot Sz	Status Date	\$/Sqft	CDOM	ADOM
			0.						
47602 Alpine Drive	\$683,795	5	4.0	3,200		02/01/2019	\$213.69	133	80
47666 Alpine Drive	\$720,558	4	3.1	2,800	0.45	11/13/2018	\$257.34		0
47571 ALPINE Drive	\$725,000	4	3.1	3,750		02/05/2019	\$193.33	7	0
Averages:	\$709,784	4.3	3.3	3,250	0.45		\$221.45	47	27

Sold Listings

Address	Price	Bds	Baths	Sqft	Lot Sz	Status Date	\$/Sqft	CDOM	ADOM
			0.						
47655 Alpine Drive	\$660,000	5	4.0	3,200		08/01/2018	\$206.25	164	123
47673 Alpine Drive	\$862,255	5	4.1	3,750		11/30/2018	\$229.93		0
Averages:	\$761,128	5.0	4.0	3,475			\$218.09	82	62

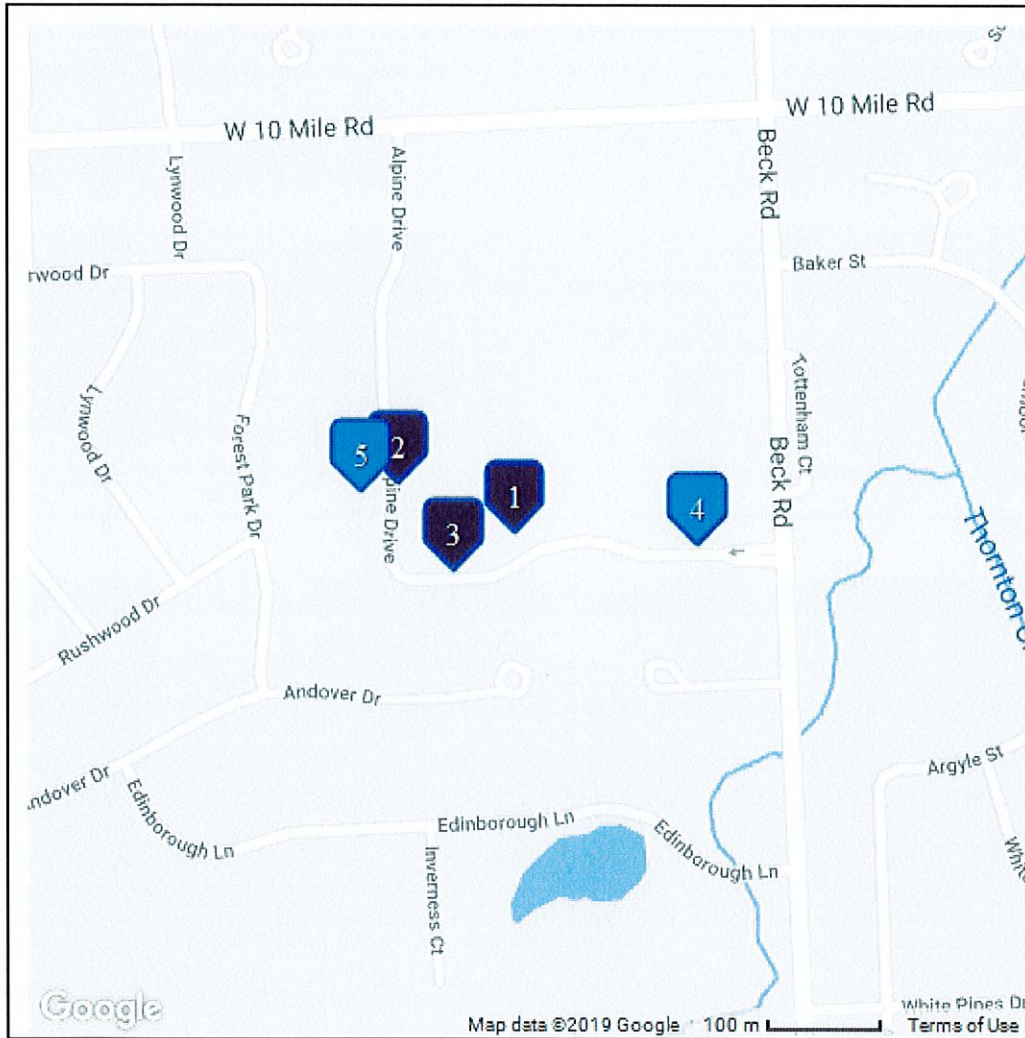
	Low	Median	Average	High	Count
Comparable Price	\$660,000	\$720,558	\$730,322	\$862,255	5
Adjusted Comparable Price	\$660,000	\$720,558	\$730,322	\$862,255	5

On Average, the 'Sold' status comparable listings sold in 62 days for \$761,128



CMA Map Layout

This page displays the Map for the CMA Subject and your comparables.



- 1 47571 Alpine Drive
- 2 47666 Alpine Drive
- 3 47602 Alpine Drive
- 4 47673 Alpine Drive
- 5 47655 Alpine Drive





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Exhibit F





PRO Agreement

PLANNED REZONING OVERLAY (PRO) AGREEMENT
BECK SOUTH LLC

THIS PLANNED REZONING OVERLAY (PRO) AGREEMENT (“**AGREEMENT**”), is by and between Valencia South Land LLC, a Michigan limited liability company whose address is 1668 S. Telegraph Road, Bloomfield Hills, Michigan 48302 (referred to as “**Developer**”); and the City of Novi, 45175 West Ten Mile Road, Novi, MI 48375-3024 (“**City**”).

RECITATIONS:

- I. Developer is the developer of the vacant 41.31 gross acre property located on the southwest corner of Ten Mile Road and Beck Road, herein known as the “Land” described on **Exhibit A**, attached and incorporated herein.
- II. For purposes of improving and using the Land for a 64-unit residential site condominium development with smaller and narrower lots than is permitted in the R-1 Classification, Developer petitioned the City for an amendment of the Zoning Ordinance, as amended, so as to reclassify the Land from R-1, One-Family Residential, to R-3, One-Family Residential. The R-1 classification shall be referred to as the “**Existing Classification**” and R-3 shall be referred to as the “**Proposed Classification.**”
- III. The Proposed Classification would provide the Developer with certain material development options not available under the Existing Classification, and would be a distinct and material benefit and advantage to the Developer.
- IV. The City has reviewed and, on the basis of the findings set forth on the Council record on July 27, 2015, approved the Developer’s proposed petition to amend the zoning district classification of the Land from the Existing Classification to the Proposed Classification under the terms of the Planned Rezoning Overlay (PRO) provisions of the City’s Zoning Ordinance, Section 7.13.2, and has reviewed the Developer’s proposed PRO Plan (including proposed home elevations) attached hereto and incorporated herein as **Exhibit B** (the “PRO Plan”), which is a conceptual or illustrative plan for the potential development of the Land under the Proposed Classification, and not an approval to construct the proposed improvements as shown; and has further reviewed the proposed PRO

conditions offered or accepted by the Developer. **Exhibit B** includes the following pages:

1. Sheet 2 (Planned Rezoning Overlay (PRO) Plan)– Last revised 8/12/2015
 2. Sheet 3 (Storm Water Management Plan) – Last revised 8/12/2015
 3. Sheet L-1 (Landscape Plan) – Last revised 7/15/2015
 4. Sheet L-2 (Entry Plan) – Last revised 7/15/2015
 5. Sheet L-3 (Woodland Plan) – Last revised 7/15/2015
 6. Sheet L-4 (Woodland Plan) – Last revised 7/15/2015
 7. Conceptual Elevations – Torino, Springhaven, Santa Fe and Muirfield models
- V. In proposing the Proposed Classification to the City, Developer has expressed as a firm and unalterable intent that Developer will develop and use the Land in conformance with the following undertakings by Developer, as well as the following forbearances by the Developer (each and every one of such undertakings and forbearances shall together be referred to as the “Undertakings”):
- A. Developer shall develop and use the Land solely for a 64-unit residential site condominium at a maximum density of 1.55 dwelling units per acre, in accordance with the PRO Plan. Developer shall forbear from developing and/or using the Land in any manner other than as authorized and/or limited by this Agreement.
 - B. Developer shall develop the Land in accordance with all applicable laws and regulations, and with all applicable ordinances, including all applicable setback requirements of the Zoning Ordinance with respect to the Proposed Classification, except as expressly authorized herein or as shown on the PRO Plan. The PRO Plan is acknowledged by both the City and Developer to be a conceptual plan for the purpose of depicting the general area contemplated for development. Some deviations from the provisions of the City’s ordinances, rules, or regulations that are depicted in the PRO Plan are approved by virtue of this Agreement; however, except as to such specific deviations enumerated herein, the Developer’s right to develop the 64-unit residential site condominium under the requirements of the Proposed Classification shall be subject to and in accordance with all applications, reviews, review letters,

approvals, permits, and authorizations required under applicable laws, ordinances, and regulations, including, but not limited to, site plan approval, storm water management plan approval, woodlands and wetlands permits, façade approval, landscape approval, dewatering plan approval, and engineering plan approval, except as expressly provided in this Agreement. The home elevations shall be substantially similar (as determined by the City) to that submitted as part of the Developer's final approval request, as depicted in **Exhibit B**.

- C. In addition to any other ordinance requirements, Developer shall comply with all applicable ordinances for storm water and soil erosion requirements and measures throughout the site during the design and construction phases, and subsequent use, of the development contemplated in the Proposed Classification.
- D. The following PRO Conditions shall apply to the Land and/or be undertaken by Developer:
 - 1. The Developer shall provide a pathway connection to Ten Mile Road from the internal loop street as noted under Comment 1 of the engineering review letter dated January 7, 2015;
 - 2. Developer shall comply with all conditions listed in the staff and consultant review letters which are identified on attached **Exhibit C**, as the same may be administratively modified by the City Planning and Engineering department.
 - 3. Prior to commencing any temporary dewatering activities within the Land for the installation of utilities, Developer shall: (i) submit to the City for approval a dewatering plan in accordance with the City's applicable ordinances; and (ii) place in escrow with the City under the terms and conditions of an Escrow Agreement to be prepared by the City, the sum of \$75,000.00 to secure the Developer's obligation to address any temporary or permanent damage which occurs to the existing water wells of any of the thirteen (13) homes that are located within 400 feet of the proposed dewatering limits. If no claims are made against the escrow by the foregoing homeowners within thirty (30) days following the completion of the Developer's dewatering activities, the escrowed funds shall be returned to the Developer.

4. Developer shall provide a 30 foot wide tree preservation and planting easement between the west and south boundaries of the Land and the rear lot lines of the site condominium units located along the west and south property lines, as shown on the site plan and landscape plan which are part of the PRO Plan attached hereto (collectively the "Conservation Area"). The Conservation Area shall be restricted as follows:

- i. The Conservation Area shall be left in its natural state. Except as set forth in subsection (ii) and (iii) below, Developer shall not remove any trees or vegetation in the Conservation Area at any time. In addition, the master deed establishing the condominium project within the Land shall establish the Conservation Area as general common element and shall restrict home owners from cutting, pruning, or otherwise altering the trees and vegetation within the Conservation Area. Notwithstanding the foregoing, the Developer shall plant **additional** trees in the Conservation Area, to provide additional visual screening between the project and neighboring homes to the west and south, in locations as determined and as specifically approved by the City's landscape architect at the time of site plan approval on the final landscape plan. The additional screening shall achieve ninety (90%) percent opacity in the summer and eighty (80%) percent opacity in the winter within two (2) years after planting measured at six (6) to eight (8) feet in height. Tree plantings may be supplemented with shrubs or other approved plantings to achieve the required opacity. All trees meeting the City's standards for woodland replacements that are installed by the Developer within the Conservation Area will be credited towards the Developer's tree replacement obligations.
- ii. The master deed for the project will also prohibit the installation of any structures or improvements within the Conservation Area; provided, however, that the Developer may install catch basins within the Conservation Area where new trees are planted to collect storm water drainage from neighboring properties. The placement of such catch basins shall be approved by the City Engineer, who shall

only approve such placement where and if necessary to prevent flooding or excess drainage on the land.

- iii. As part of the Developer's tree replacement obligations, during the development of the Land, the Developer will, at the City's request, replace dead or dying trees within the Conservation Area with new trees. Any such replacement trees installed by the Developer within the Conservation Area shall be credited towards the Developer's tree replacement obligations. Where the final approved landscape plan shows the planting of oversized trees, Developer shall be responsible to plant the trees as depicted on the Concept Plan, the final approved Landscape Plan, and as directed by the City's Landscape Architect. Where possible to plant without interference with or adverse effect on existing trees, the oversized trees shall be a minimum of 18 feet in height at the time of planting; where not possible, the trees shall be of as great a height possible as determined by the City's Landscape Architect. Developer shall receive woodland replacement credit for the oversizing per the table on page 11 in the Landscape Design Manual in calculating the amount to be placed into the Tree Fund

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

1. Upon the Proposed Classification becoming final following entry into this Agreement:
 - a. The Undertakings and PRO Conditions shall be binding on Developer and the Land;
 - b. Developer shall act in conformance with the Undertakings; and
 - c. The Developer shall forbear from acting in a manner inconsistent with the Undertakings;
2. The following deviations from the standards of the zoning ordinance are hereby authorized pursuant to §7.13.2.D.1.(c).(2) of the City's zoning ordinance:

- a. Reduction in the required 30 foot front yard building setback for Units 19-30 and 37-39 to 25 feet;
 - b. Reduction in the required 30 foot aggregate of the two side yard setbacks for Units 19-30 and 37-39 to an aggregate of 25 feet;
 - c. Waiver of the required berm between the project and the existing church in order to preserve existing mature vegetation;
 - d. Administrative waiver to omit the required stub street connection at 1,300 foot intervals;
 - e. Design and Construction Standards waiver for the lack of paved eyebrows;
 - f. Waiver of the obligation to install the required pathway to the adjacent Andover Pointe No. 2 development with the condition that: (i) an easement is provided for such purpose; and (ii) the Developer escrows with the City the sum of \$25,000 to be used for the installation of such pathway; and
 - g. Approval of additional woodland credits for the planting of upsized woodlands replacement plantings as shown on the final approved landscape plan or as approved by the City's landscape architect.
3. In the event Developer attempts to or proceeds with actions to complete improvement of the Land in any manner other than as 64-unit residential site condominium, as shown on **Exhibit B**, the City shall be authorized to revoke all outstanding building permits and certificates of occupancy issued for such building and use. In addition, a breach of this Agreement shall constitute a nuisance *per se* which shall be abated. Developer and the City therefore agree that, in the event of a breach of this Agreement by Developer, the City, in addition to any other relief to which it may be entitled at law or in equity, shall be entitled under this Agreement to relief in the form of specific performance and an order of the court requiring abatement of the nuisance *per se*. In the event of a breach of this Agreement, the City may notify Developer of the occurrence of the breach and issue a written notice requiring the breach be cured within thirty (30) days; provided, however, that if the breach, by its nature, cannot be cured within thirty (30) days, Developer shall not be in the breach hereunder if Developer commences the cure within the thirty (30) day period and diligently pursues the cure to completion. Failure to comply with such notice shall, in addition to any other relief to which the City may be entitled in equity or at law, render Developer liable to the City in any suit for enforcement for actual costs incurred by the City including, but not limited to, attorneys' fees, expert witness fees, and the like.

4. Developer acknowledges and agrees that the City has not required the Undertakings. The Undertakings have been voluntarily offered by Developer in order to provide an enhanced use and value of the Land, to protect the public safety and welfare, and to induce the City to rezone the Land to the Proposed Classification so as to provide material advantages and development options for the Developer.
5. All of the Undertakings represent actions, improvements, and/or forbearances that are directly beneficial to the Land and/or to the development of and/or marketing of a 64-unit residential site condominium project on the Land. The burden of the Undertakings on the Developer is roughly proportionate to the burdens being created by the development, and to the benefit which will accrue to the Land as a result of the requirements represented in the Undertakings.
6. In addition to the provisions in Paragraph 3, above, in the event the Developer, or its respective successors, assigns, and/or transferees proceed with a proposal for, or other pursuit of, development of the Land in a manner which is in violation of the Undertakings, the City shall, following notice and a reasonable opportunity to cure, have the right and option to take action using the procedure prescribed by law for the amendment of the Master Plan and Zoning Ordinance applicable to the Land to amend the Master Plan and zoning classifications of the Land to a reasonable classification determined appropriate by the City, and neither the Developer nor its respective successors, assigns, and/or transferees, shall have any vested rights in the Proposed Classification and/or use of the Land as permitted under the Proposed Classification, and Developer shall be estopped from objecting to the rezoning and reclassification to such reasonable classifications based upon the argument that such action represents a “downzoning” or based upon any other argument relating to the approval of the Proposed Classification and use of the Land; provided, this provision shall not preclude Developer from otherwise challenging the reasonableness of such rezoning as applied to the Land. In the event the City rezones the Land to a use classification other than the Proposed Classification, this Agreement shall terminate and be null and void.
7. By execution of this Agreement, Developer acknowledges that it has acted in consideration of the City approving the Proposed Classification on the Land, and Developer agrees to be bound by the provisions of this Agreement.
8. After consulting with an attorney, the Developer understands and agrees that this Agreement is authorized by and consistent with all applicable state and federal laws and Constitutions, that the terms of this Agreement are reasonable, that it shall be estopped from taking a contrary position in the future, and, that the City shall be entitled to injunctive relief to prohibit any actions by the Developer inconsistent with the terms of this Agreement.

9. This Agreement shall be binding upon and inure to the benefit of the parties to this Agreement and their respective heirs, successors, assigns and transferees, and an affidavit providing notice of this Agreement may be recorded by either party with the office of the Oakland County Register of Deeds.
10. The Zoning Board of Appeals (ZBA) shall have no jurisdiction over the Land or the application of this Agreement until after site plan approval and construction of the development as approved therein. Upon completion of the development improvements, the ZBA may exercise jurisdiction over the Land in accordance with its authority under the Zoning Ordinance, in a manner not inconsistent with this Agreement.
11. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach. All remedies afforded in this Agreement shall be taken and construed as cumulative, that is, in addition to every other remedy provided by law.
12. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.
13. This Agreement may not be amended except in writing signed by the parties and recorded in the same manner as this Agreement. In the event Developer desires to propose an amendment, an application shall be made to the City's Department of Community Development, which shall process the application in accordance with the procedures set forth in the Zoning Ordinance.
14. Both parties understand and agree that if any part, term, or provision of this Agreement is held by a court of competent jurisdiction, and as a final enforceable judgment, to be illegal or in conflict with any law of the State of Michigan or the United States, the validity of the remaining portions or provisions shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if this Agreement did not contain the particular part, term, or provisions held to be invalid.
15. Developer hereby represents and warrants that it will become the owner in fee simple of the Land described in Exhibit A, and that this Agreement shall not become effective unless and until Developer becomes the owner of the Land.
16. The recitals contained in this Agreement and all exhibits attached to this Agreement and referred to herein shall for all purposes be deemed to be incorporated in this Agreement by this reference and made a part of this Agreement.

17. The parties intend that this Agreement shall create no third-party beneficiary interest except for an assignment pursuant to this Agreement. The parties are not presently aware of any actions by them or any of their authorized representatives which would form the basis for interpretation construing a different intent and in any event expressly disclaim any such acts or actions, particularly in view of the integration of this Agreement.
18. Where there is a question with regard to applicable regulations for a particular aspect of the development, or with regard to clarification, interpretation, or definition of terms or regulations, and there are no apparent express provisions of the PRO Concept Plan and this Agreement that apply, the City, in the reasonable exercise of its discretion, shall determine the regulations of the City's Zoning Ordinance, as that Ordinance may have been amended, or other City Ordinances that shall be applicable, provided that such determination is not inconsistent with the nature and intent of the PRO Documents and does not change or eliminate any development right authorized by the PRO documents. In the event of a conflict or inconsistency between two or more provisions of the PRO Concept Plan and/or this Agreement, or between such documents and applicable City ordinances, the more restrictive provision, as determined in the reasonable discretion of the City, shall apply.
19. This Agreement may be signed in counterparts.

{Signatures begin on following page}

EXHIBIT A

Real property located in the City of Novi, Oakland County, Michigan, more particularly described as follows:

Parcel 1

Part of the Northeast 1/4 of Section 29, Town 1 North, Range 8 East, Michigan, more particularly described as follows: Commencing at the northeast corner of Section 29, Town 1 North, Range 8 East, Michigan; thence along the north line of said Section 29 and the centerline of 10 Mile Road, south 89 degrees 58 minutes 56 seconds west 1057.10 feet (recorded as west 1057.15 feet by Donald W. Ross and Associates, R.L.S. #19005 on a survey having Job #79-1002) to the point of beginning of the land to be described; thence continuing along said north section line and the centerline of 10 Mile Road, south 89 degrees 58 minutes 56 seconds west, 281.18 feet; thence along the east line of Echo Valley Estates, a subdivision as recorded in Liber 92 of Plats, Pages 11 and 12, Oakland County Records, south 00 degrees 23 minutes 29 seconds west 914.00 feet to a set 1/2 inch iron rod; thence south 89 degrees 52 minutes 53 seconds east, 281.57 feet to a found concrete monument; thence along a line previously surveyed and monumented by aforementioned Donald W. Ross and Associates, north 00 degrees 22 minutes 01 seconds east 914.67 feet (recorded as north 00 degrees 24 minutes 33 seconds east, 914.92 feet) to the point of beginning.

Assessed as: Town 1 North, Range 8 East, Section 29, part of the Northeast 1/4 beginning at point distant south 89 degrees 45 minutes 00 seconds west 1057.15 feet from the northeast section corner, thence south 89 degrees 45 minutes 00 seconds west 282 feet, thence south 00 degrees 08 minutes 10 seconds west 914 feet, thence south 89 degrees 15 minutes 32 seconds east 282 feet, thence north 00 degrees 08 minutes 10 seconds east 914 feet to beginning.

Parcel Identification No. 22-29-225-011

Parcel 2

Part of the East 1/2 of the Northeast 1/4 of Section 29, Town 1 North, Range 8 East, beginning at point distant West 860.18 feet from the Northeast section corner; thence West 197.00 feet; thence South 00 degrees 24 minutes 33 seconds West 914.92 feet; thence South 89 degrees 48 minutes 46 seconds East 198.92 feet; thence North 00 degrees 17 minutes 19 seconds East 915.56 feet to beginning.

Parcel Identification No. 22-29-226-028

Parcel 3

Part of the East 1/2 of Northeast 1/4 of Section 29, Town 1 North, Range 8 East, beginning at point distant West 756.15 feet from Northeast section corner; thence West 105.00 feet; thence South 00 degrees 17 minutes 19 seconds West 915.56 feet; thence South 89 degrees 48 minutes 46 seconds East 201.55 feet; thence North 00 degrees 17 minutes 18 seconds East 534.22 feet; thence West 97.31 feet; thence North 00 degrees 24 minutes 33 seconds East 362.00 feet to beginning.

Parcel Identification No. 22-29-226-029

Parcel 4

Parcel 4:

Part of the Northeast 1/4, Town 1 North, Range 8 East, Section 29; beginning at a point distant North 1120.15 feet from East 1/4 corner; thence South 89 degrees 41 minutes 50 seconds West 1341.82 feet; thence North 00 degrees 07 minutes 46 seconds East 153.80 feet; thence North 89 degrees 41 minutes 50 seconds East 1341.47 feet; thence South 153.80 feet to beginning, except South 4.56 feet, also except East 33 feet taken for Beck Road.

Parcel 2:

Part of the Northeast 1/4, Town 1 North, Range 8 East, Section 29; beginning at a point distant North 1273.95 feet from East 1/4 corner; thence South 89 degrees 41 minutes 50 seconds West 1341.47 feet; thence North 00 degrees 07 minutes 46 seconds East 456.79 feet; thence North 89 degrees 16 minutes 04 seconds East 681.88 feet; thence South 276.21 feet; thence North 89 degrees 43 minutes 32 seconds East 658.60 feet; thence South 185.38 feet to beginning except East 33 feet taken for Beck Road.

Parcel Identification Nos.

~~22-20-226-021, as to Parcel 1~~

~~22-20-226-022, as to Parcel 2~~

Parcel 5

That part of the East 1/2 of the Northeast 1/4 of Section 29, Novi Township, Oakland County, Michigan, beginning at a point on the North line of Section 29 distant South 89 degrees 43 minutes West, 640.60 feet from the Northeast corner of Section 29; thence South 264.0 feet; thence South 89 degrees 43 minutes West 18.00 feet; thence South 98.00 feet; thence South 89 degrees 43 minutes West, 97.40 feet; thence North 0 degrees 08 minutes 10 seconds East, 362.00 feet; thence North 89 degrees 43 minutes East, 115.55 feet, along the section line to the point of beginning.

Parcel Identification No. 22-29-226-004

PARCEL 6

PART OF THE NORTHEAST 1/4 OF SECTION 29, T1N-R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 29; THENCE S00°10'28"W 1184.73 FEET ALONG THE CENTERLINE OF BECK ROAD AND THE EAST LINE OF SAID SECTION 29; THENCE S89°54'00"W 60.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S89°54'00"W 600.97 FEET; THENCE N00°17'28"E 269.83 FEET; THENCE N00°32'34"E 190.65 FEET; THENCE N89°59'34"E 254.32 FEET; THENCE S00°10'28"W 392.93 FEET; THENCE S66°03'48"E 36.82 FEET; THENCE N89°54'00"E 311.18 FEET; THENCE S00°10'28"W 52.13 FEET TO THE POINT OF BEGINNING, CONTAINING 3.18 ACRES OF LAND, MORE OR LESS.

Part of Parcel Identification No. 22-29-226-019

Parcel 7

PART OF THE NORTHEAST 1/4 OF SECTION 29, T1N-R8E, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 29; THENCE S00°10'28"W 635.33 FEET ALONG THE CENTERLINE OF BECK ROAD AND THE EAST LINE OF SAID SECTION 29; THENCE S89°59'34"W 404.88 FEET TO THE POINT OF BEGINNING; THENCE S00°10'28"W 90.00 FEET; THENCE S89°59'34"W 254.32 FEET' THENCE N00°32'24"E 90.00 FEET; THENCE N89°59'34"E 253.74 FEET TO THE POINT OF BEGINNING, CONTAINING 0.52 ACRES OF LAND, MORE OR LESS.

Parcel Identification No. (part of) 22-29-226-018

Parcel 8

Part of the Northeast 1/4 of Section 29, Town 1 North, Range 8 East, City of Nowi, Oakland County, Michigan, described as follows: Beginning at Northeast section corner; thence South 03 degrees 00 minutes 13 seconds East 378.89 feet; thence South 86 degrees 48 minutes 56 seconds West, 459.87 feet; thence North 03 degrees 00 minutes 13 seconds West, 378.89 feet; thence North 86 degrees 48 minutes 56 seconds East, 459.87 feet to the beginning, EXCEPT those parts of Ten Mile Road and Beck Road taken or divided in Liber 9229, page 479, Liber 10400, page 785, Liber 10433, page 401 and Liber 39279, page 797, Oakland County Records.

Tax Item No. 22-29-226-030

Parcel 9

Town 1 North, Range 8 East, Section 28, Part of Northeast 1/4 beginning at point distant South 03 degrees 00 minutes 13 seconds East 376.89 feet from the Northeast section corner, thence South 03 degrees 00 minutes 13 seconds East 255.88 feet, thence South 86 degrees 48 minutes 56 seconds West 688.60 feet, thence North 03 degrees 00 minutes 13 seconds West 370.75 feet, thence North 86 degrees 48 minutes 56 seconds East 18 feet, thence North 03 degrees 00 minutes 13 seconds West 264 feet, thence North 86 degrees 48 minutes 56 seconds East 180.73 feet, thence South 03 degrees 00 minutes 13 seconds East 376.89 feet, thence North 86 degrees 48 minutes 56 seconds East 469.87 feet to beginning.

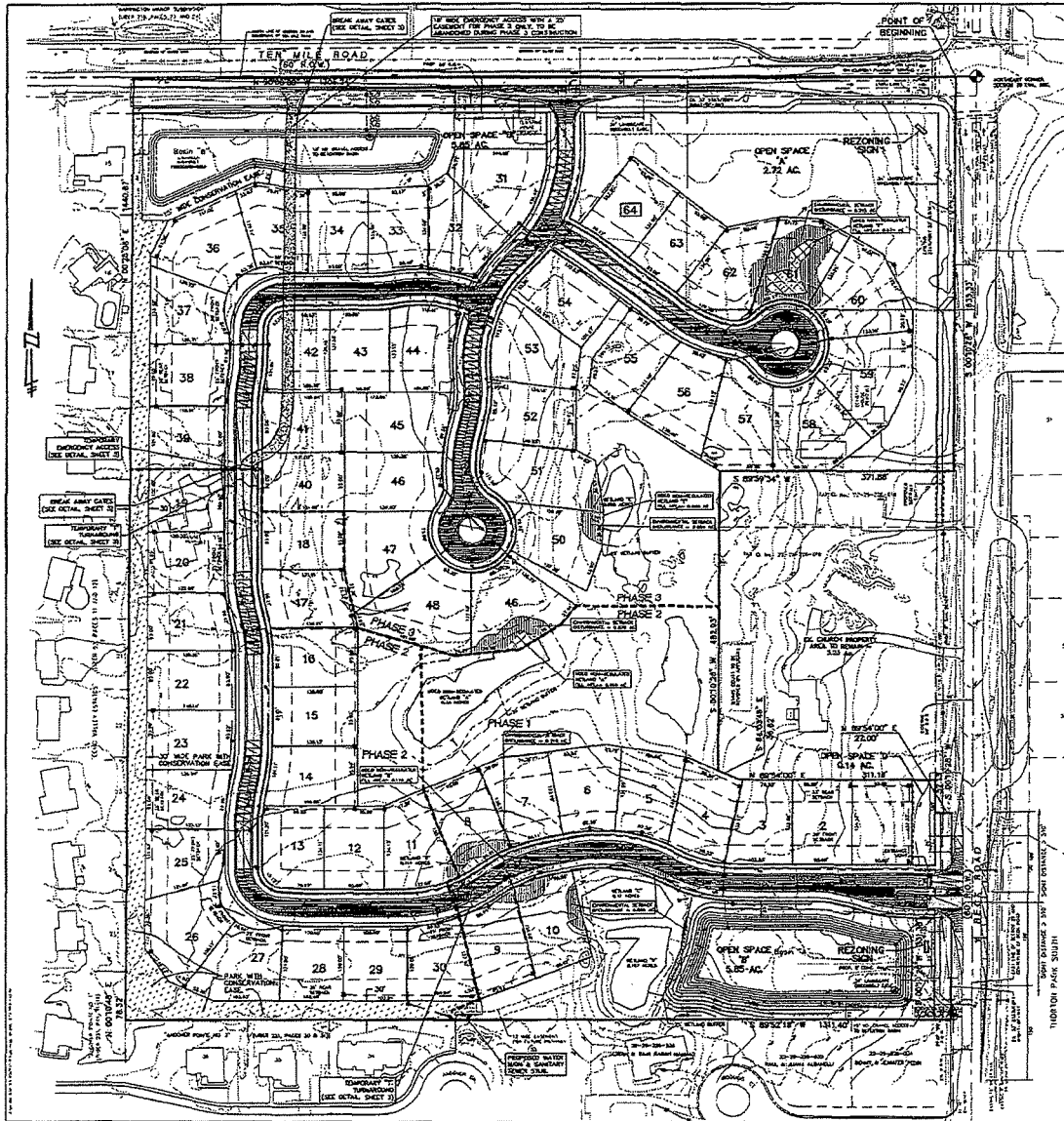
Parcel Identification No. 22-29-226-031

Parcels 1 through 9 are also described as:

Part of the Northeast $\frac{1}{4}$ of Section 29, TIN-R&E, City of Novi, Oakland County, Michigan, described as: Commencing at the Northeast corner of said Section 29; thence N $90^{\circ} 00' 00''$ W 33.00 feet along the centerline of 10 Mile Road and the North line of said Section 29 to the point of beginning; thence S $00^{\circ} 10' 28''$ W 635.33 feet along the West line of Beck Road; thence S $89^{\circ} 59' 34''$ W 371.88 feet; thence S $00^{\circ} 10' 28''$ W 482.93 feet; thence S $66^{\circ} 03' 48''$ E 36.82 feet; thence N $89^{\circ} 54' 00''$ E 311.18 feet; thence S $00^{\circ} 10' 28''$ W 52.13 feet along the West right-of-way line of Beck Road; thence N $89^{\circ} 54' 00''$ E 27.00 feet; thence S $00^{\circ} 10' 28''$ W 331.38 feet along the West right-of-way line of said Beck Road; thence S $89^{\circ} 52' 18''$ W 1311.40 feet along the north line of "Andover Pointe No. 2", a subdivision as recorded in Liber 231 of Plats, Pages 30-31, Oakland County Records, and its easterly extension; thence N $00^{\circ} 10' 48''$ E 78.27 feet along the East line of "Andover Pointe No. 1", a subdivision as recorded in Liber 231 of Plats, Pages 11-16, Oakland County Records to the Northeast corner of said "Andover Pointe No. 1"; thence N $00^{\circ} 25' 08''$ E 1440.87 feet along the East line of "Echo Valley Estates", a subdivision as recorded in Liber 92 of Plats, Pages 11-12, Oakland County Records; thence S $90^{\circ} 00' 00''$ E 1305.24 feet along the North line of Section 29 to the point of beginning, containing 41.31 acres of land, more or less.

EXHIBIT B

PRO PLAN



UNIT TABLE - PHASE 1

UNIT #	AREA (SF)	WIDTH (SF)
1	12,700	115.12
2	12,729	115.02
3	13,407	100.82
4	13,419	100.82
5	13,403	100.82
6	13,429	100.82
7	13,427	100.82
8	13,509	100.82
9	13,520	100.82
10	14,100	100.82

UNIT TABLE - PHASE 2

UNIT #	AREA (SF)	WIDTH (SF)
11	13,630	100.00
12	12,720	100.00
13	12,940	100.00
14	13,274	100.00
15	12,865	100.00
16	12,877	100.00
17	12,879	100.00
18	12,882	100.00
19	12,904	100.00
20	12,915	100.00
21	12,927	100.00
22	12,939	100.00
23	12,951	100.00
24	12,963	100.00
25	12,975	100.00
26	12,987	100.00
27	12,999	100.00
28	13,011	100.00
29	13,023	100.00
30	13,035	100.00

UNIT TABLE - PHASE 3

UNIT #	AREA (SF)	WIDTH (SF)
31	13,387	115.12
32	13,424	115.02
33	13,234	100.82
34	13,423	100.82
35	13,443	100.82
36	13,418	100.82
37	13,237	100.82
38	13,250	100.82
39	13,014	100.00
40	12,417	100.00
41	12,430	100.00
42	12,443	100.00
43	12,456	100.00
44	13,363	100.00
45	13,798	100.00
46	14,234	100.00
47	14,669	100.00
48	15,104	100.00
49	15,539	100.00
50	16,000	100.00
51	16,465	100.00
52	16,930	100.00
53	17,395	100.00
54	17,860	100.00
55	18,325	100.00
56	18,790	100.00
57	19,255	100.00
58	19,720	100.00
59	20,185	100.00
60	20,650	100.00
61	21,115	100.00
62	21,580	100.00
63	22,045	100.00
64	22,510	100.00

ZONING CHANGE PROPOSED FROM (R-1 DISTRICT) TO (R-3 WITH PRO DISTRICT)
 FOR MORE INFORMATION CALL:
 HOH COMMUNITY DEVELOPMENT DEPARTMENT
 248-347-0475

REZONING SIGN DETAIL

WETLAND IMPACT

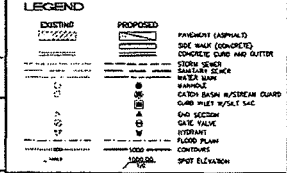
WETLAND TYPE	AREA (AC)	WETLAND IMPACT AREA (AC)	25' WETLAND BUFFER ESTIMATED AREA (AC)
A	0.350	0.019	0.078
B	0.174	0.114	0.210
C	0.170	0	0.064
D	0.197	0	0.059
E	0.096	0.005	0.054
F	0.074	0.074	0.215
TOTAL	1.001	0.212	0.644

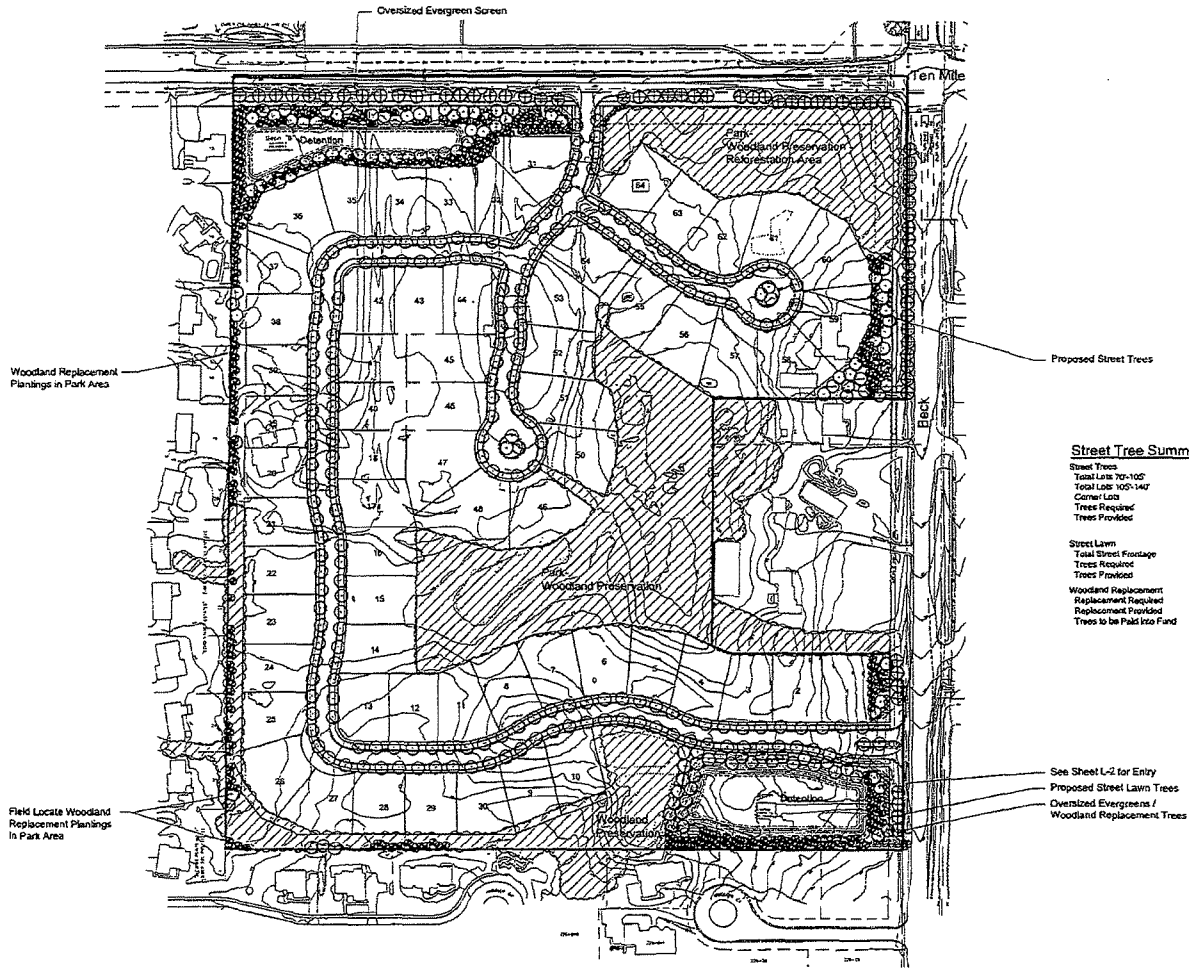
SITE DATA
 PROPOSED ONE-FAMILY RESIDENTIAL SITE CONDOMINIUM
 CURRENT ZONING: "R-1"
 MAXIMUM DENSITY = 1.65 DU/AC/NET ACRE
 AREA CROSS = 41,312 ACRES
 AREA NET = EXCLUDING STATUTORY R.O.W. ON TEN MILE ROAD (252) = 40,252 ACRES
 MAXIMUM DENSITY = 1.65 DU/AC X 40,252 ACRES = 66,513 UNITS
 PROPOSED NUMBER OF UNITS: 64 UNITS

TOTAL OPEN SPACE (GROSS)
 OPEN SPACE "A" = 114,502 SQ.FT. / 2.72 AC.
 OPEN SPACE "B" = 204,560 SQ.FT. / 4.68 AC.
 OPEN SPACE "C" = 181,010 SQ.FT. / 4.13 AC.
 OPEN SPACE "D" = 5,076 SQ.FT. / 0.14 AC.

TOTAL OPEN SPACE = 370,548 SQ.FT. / 13.10 ACRES = 31.71% OF SITE

PROPOSED DESIGN CRITERIA
 (CONSISTENT "R-3 ZONING")
 MINIMUM LOT SIZE = 12,000 SQ.FT.
 MINIMUM LOT WIDTH = 30.00 FEET
 STANDARD LOTS
 FRONT SETBACK = 30 FEET
 REAR SETBACK = 25 FEET
 SIDE YARD SETBACK = 10 FEET (MINIMUM)
 SIDE YARD SETBACK = 30 FEET (AGGREGATE)
 LOTS ALONG WEST AND SOUTH PROPERTY LINE
 FRONT SETBACK = 25 FEET
 REAR SETBACK = 25 FEET
 SIDE YARD SETBACK = 10 FEET (MINIMUM)
 SIDE YARD SETBACK = 25 FEET (AGGREGATE)





Street Tree Summary

Street Trees	
Total Lots 70-105	38 Lots
Total Lots 105-147	5 Lots
Corner Lots	5 Lots
Trees Required	142 Trees (50-5) x 2 Trees = (5 x 3)
Trees Provided	204 Trees (Extra 61 Trees to be Counted Towards Woodland Replacement)
Street Lawn	
Total Street Frontage	2,323 LF
Trees Required	66 Trees (2,323 / 35)
Trees Provided	64 Trees
Woodland Replacement	
Replacement Required	1,297 Trees
Replacement Provided	796 Trees
Trees to be Paid Into Fund	1,101 Trees

Seal: _____



Title: Landscape Plan

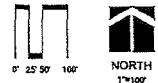
Project: Valencia Estates South
Novi, Michigan

Prepared for: Pinaculo Homes
1535 South Telegraph, Suite 300
Bloomfield Hills, MI 48302

Revision	Issued
Submission	May 1, 2014
Revised	August 18, 2014
Revised	November 14, 2014
Revised	December 12, 2014
Revised	February 16, 2015
Revised	May 8, 2015
Revised	July 15, 2015

Job Number: 14-025

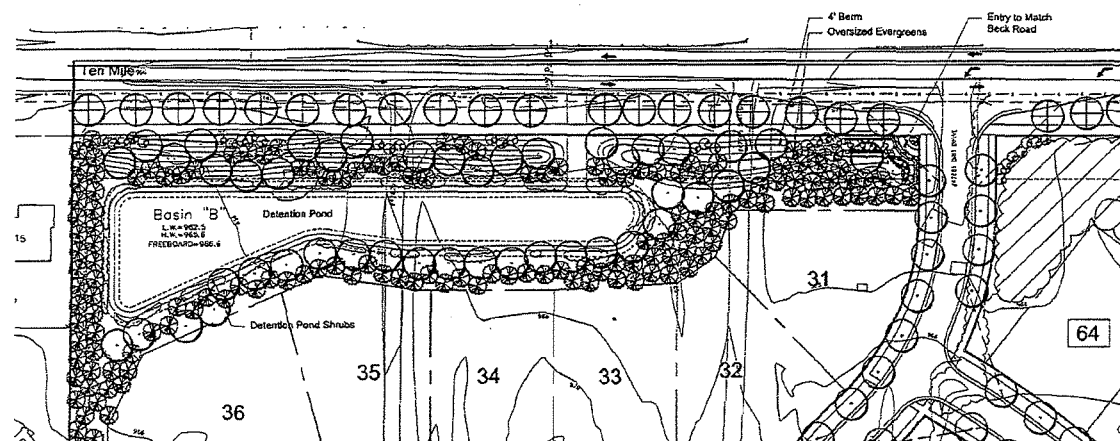
Drawn By: ja Checked By: ja



Sheet No. _____

L-1





Ten Mile Greenbelt - Entry

Landscape Summary

Greenbelt Plantings	
Total Street Frontage	2,323 L.F.
Less Preservation Areas	831 L.F.
Net Frontage	1,492 L.F.
Canopy Trees Required	42 Trees (1,482 / 35)
Canopy Trees Provided	43 Trees
Sub-Canopy Trees Required	75 Trees (1,492 / 20)
Sub-Canopy Trees Provided	75 Trees
Detention Pond Plantings	
High-Water Elevation	1,913 L.F.
Required Planting	1,340 L.F. (70%)
Planting Provided	1,454 L.F. (76%)

Seal:

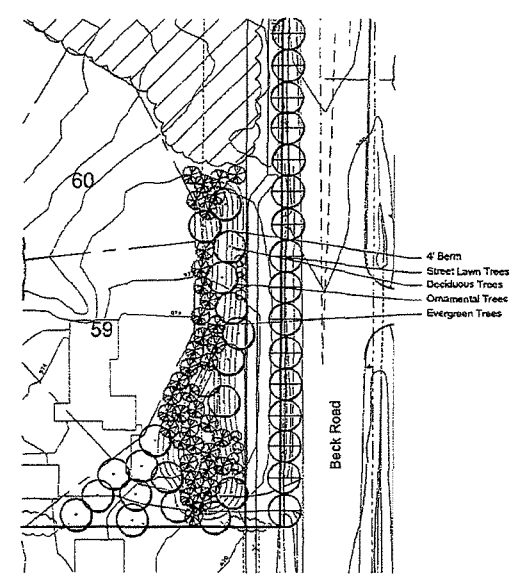


Title:
Entry Plan

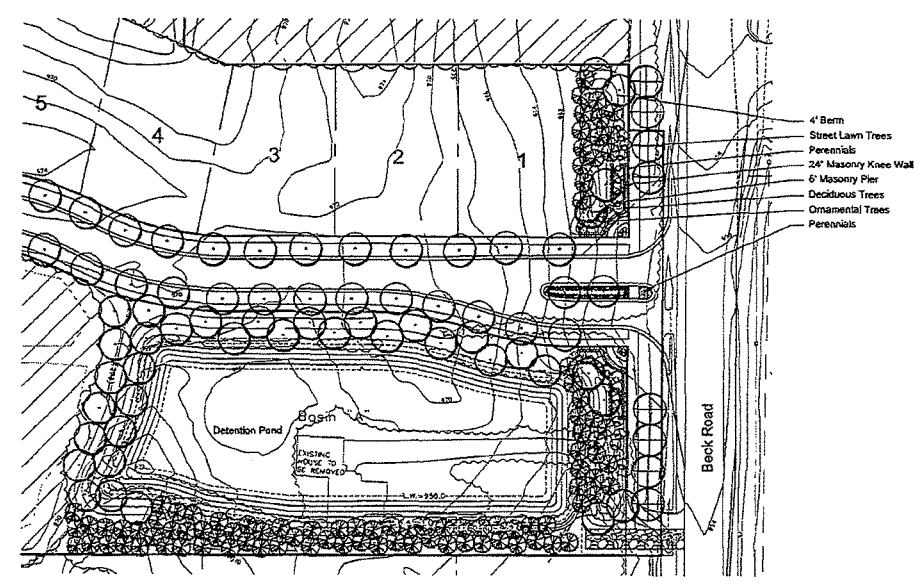
Project:
**Valencia Estates South
 Novi, Michigan**

Prepared for:
 Pinacote Homes
 1658 South Telegraph, Suite 200
 Bloomfield Hills, MI 48302

Revision:	Issued:
Submission	May 1, 2014
Revised	August 18, 2014
Revised	December 12, 2014
Revised	February 16, 2015
Revised	May 4, 2015
Revised	July 13, 2015



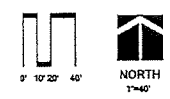
Beck Road Greenbelt



Beck Road Entry

Job Number:
 14-022

Drawn By: Checked By:
 jca jca



Sheet No.



Conceptual Elevations



PINNACLE HOMES



Torino

3,500 Square Feet



Valencia Estates

www.PinnacleHomes.com

248.977.6144



10/14



PINNACLE HOMES

A



Springhaven

3,000 Square Feet

A



B



C



D



E



F



Valencia Estates

www.PinnacleHomes.com

248.977.6144



10/14

PINNACLE HOMES
A Tradition of Luxury

A



Santa Fe

3,520 Square Feet

A



B



C



Valencia Estates

www.PinnacleBuilt.com

248.449.4000





PINNACLE HOMES



Muirfield

3,200 Square Feet



Valencia Estates

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10/14

**City Council Minutes
August 24, 2015 - Excerpt**

explained a number of them. Member Mutch asked if the applicant abuts residential. City Attorney Schultz said he believes the property abuts multiple family residential. Member Mutch had some concerns with the request. He understood the applicant desired something in the ordinance and his alternative would be to go to the ZBA to get a variance. City Attorney Schultz said they did not because this was a use variance and difficult to get. Member Mutch noted the expansion of the storage yard use in the Light Industrial. He would be more comfortable if it was strictly limited for some light industrial users. He was concerned it was open ended with no language that limited it. He didn't want to see I-1 properties being used with significant amount of storage on site. They don't generate tax revenue and thought it shouldn't be encouraged. He also was concerned with allowing it adjacent to residential. He would like to see from City administration something that delineates the I-1 uses that are adjacent to residential and whether it should be allowed adjacent to single-family residential. It is the nature of the uses and he could see some enforcement issues that may arise with this use. He will consider the first reading.

Roll call vote on CM 15-08-118

**Yeas: Markham, Mutch, Poupard, Wrobel,
Gatt, Staudt, Casey,
Nays: None**

2. Approval of the request of Beck South, LLC for JSP13-75 with Zoning Map Amendment 18.706 to rezone property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay, and to approve the corresponding concept plan and PRO Agreement between the City and the applicant. The property totals 41.31 acres and the applicant is proposing a 64-unit single-family residential development.

City Manager Auger said all the items in the PRO that Council had asked for were addressed by the Attorneys.

Member Casey asked City staff to clarify if there were any utility easements in the conservation easement or if there is anything that could negatively impact or encroach what is being planned for the 30 foot buffer. Deputy Community Development Director McBeth said there is a potential for a storm water facility in the area. The intent is to try to preserve the woodlands in the 30 foot easement on the West and South property lines as much as possible but if there is a need to establish positive drainage, then there may be some modification to the grades to accommodate that. Member Casey clarified if it would be a one-time occurrence where what is being planned for one of the lots in the development may cause or potentially cause runoff into one of the back yards of the abutting neighbors and that particular lot would need to be corrected, so that there will not be drainage into the abutting neighborhood. Deputy Director McBeth agreed and the intent is to not have any negative impact or negative drainage into the adjacent properties. City Attorney Schultz said on page 4 of the agreement, they are not to build any structures in the 30 foot easement area with the

exception of a catch basin running between lots, but only if approved by the City and only if necessary to make sure there is proper drainage in either direction. The intention is to limit it to situations where the City engineer has approved it. Member Casey asked if there needs to be a storm or catch basin in the easement, what kind of space around would also need protected planting. She described an example to determine what would be required and asked if there would be a 6 foot buffer where there couldn't have any trees or vegetation near that basin. Deputy Director McBeth said it would be possible to have a zone around that area that would need to be protected. City Engineer Hayes said, in response to the question, it depends on the species of tree, drip line and other factors. Member Casey asked if he could give a range. City Engineer Hayes said conservatively he would determine for a common tree to be 10 feet from the center line of the trunk to where the center line of the structure would be located. Member Casey asked at what point in time in the process would it be determined that there could be an impact of the easement. Director McBeth explained that this is the concept plan stage and there is a lot more to be learned in terms of detail at the preliminary site plan and final site plan stage. The intent, if it is approved, is to have the City landscape architect work with the applicant to determine the spots for the replacement trees. Member Casey said it could be several months in the future by the time that occurs. There would not be much remedy at that point to figure out a different solution to keep the buffer intact. Director McBeth said that would be the point to working closely with the applicant to field-verify where the trees can be preserved and where replacements would be suited. City Attorney Schultz said it is a shared process from approval to the issuance of occupancy permits. The developer is going to look at placing the catch basin in a limited number of areas away from the easement, if at all possible, with a slight intrusion into the easement if the City allows it. There is an Engineer and the Landscape Architect for the City involved in the determination with any remedy or make sure there is no or limited impact to the property adjacent than is required. Unlike the usual project, this agreement contemplates a much more significant involvement of the City staff than normal. Member Casey said what she was seeking to understand was how guaranteed is this 30 foot conservation easement. She wanted to make sure it is a solid agreement in terms of any changes. She suggested instead of the agreement saying there is a goal of opacity of 80-90% year round that it says, "it will be at minimum 80% opacity". She wanted stronger language that doesn't just give a goal, but it states that, "we require opacity at this level." She asked Mr. Howard Fingerroot, Developer of Beck South, if he would be open to the amendment if part of the approval that it states the developer will meet 80% opacity requirement in the conservation easement. Mr. Fingerroot wasn't sure what that meant. He has a fairly good working knowledge of landscaping and didn't know if he looked at something whether it was 75% or 90% opaque. They are trees with leaves and at what point in time would it be measured. There is a common goal because what is good for the neighbor is also for the new residents coming in. A more visual shield is good for both parties. He didn't know practically how it would be defined, how to measure it and if it has to be determined every year. The species and size of trees within ranges can be determined. He said there is not an 18 foot tree store. They go to a farm and bring trees within a range. He agreed with her and was happy to have metrics, but they have to be metrics that are practical. City Attorney Schultz

asked if he was optimistic there was a standard in the agreement that can make sure it is met the same way as the referenced ordinance. There can be language that said 75%-80% opacity as determined by the City staff in accordance with City ordinances in the way the standards are applied. He thought they could do it and Mr. Fingerroot would accept it if it was a requirement. Mr. Fingerroot said he was not challenged by it, but wanted to make sure it is thought through. Member Casey said she would like the language changed without stating it as a goal. Mr. Fingerroot agreed with something like that. Member Casey said there was some feedback with a suggestion there would be some 18 feet evergreens that could be planted. She would like to see it is written into the PRO. She wanted to get the kinds of specificity around trees and height in the PRO and not leave it vague. She didn't want loose language with some words that are not very clear. She asked City Attorney Schultz if it can be written in the PRO. City Attorney Schultz cited a paragraph in the PRO that talks about that subject that oversized trees shall be planted and it gives the credit for them. He said they could make it more specific. The trees could be identified and shown more clearly on the landscape plans. The Landscape Architect can clearly be given some authority to say where else oversized trees should go. Member Casey would like the oversized trees to go specifically in the conservation easement. City Attorney Schultz agreed. Member Casey said within the PRO, there is reference to exhibit C, the City has, as part of the review process, the ability to amend the letters as the process advances. City Attorney Schultz agreed that when it goes from a concept plan to an actual site plan, which has more detail and information, the consultants may look at it and for any potential problems, it would go back to the City and the City can state what the remedy would be. Member Casey asked at what point in time will the transformer and utility boxes be outlined in the plan. City Attorney Schultz said the only thing to be put in the conservation easement, after the agreement is approved, is the catch basin. The language now is that nothing else encroaches. Member Casey asked what happens if the draw on the escrow for sewers and wells goes above \$75,001 and what would be the remedy for those after the escrow caps if there is a problem. City Manager Auger said they do not anticipate any issues with the dewatering. If there are any issues they would have to be resolved before the next stage. All the City staff and Engineers are aware of the concerns of the Council and staff on this issue. Member Casey asked who would pay for any remediation. Manager Auger said there should not be any well issues from the data the developer has presented. He felt that is why the developer put the \$75,000 forward because he didn't think it would be used either. Member Casey asked what would happen if something happened. Mr. Auger said the cost for a well is about \$5-7K and there would have to be quite a few wells before the \$75,000 is reached. City Engineer Hayes said he has experience designing ground water pumping systems for environmental cleanup. The developer would be dewatering at an elevation of about 14 feet. The shallowest spring well that he could find there is about 60 feet deep. If there is a water column of 46 feet that has to be pumped down and the nearest well is a couple hundred feet away, dewatering would have to be 13 million gallons of water to impact that shallow of a well. The chances of a well being impacted are extremely rare. Member Casey said she appreciated the confidence the City has but she still hasn't heard an answer if it happened. City Engineer Hayes said there is enough money for about 15 wells. Member Casey wanted to know what

would happen if there were 16 wells. She asked who would be liable for the repair. City Engineer Hayes said in order for the developer to impact the nearest well, he would have to discharge a high amount of water. Right now, it would be about 20,000 gallons at the most. Member Casey asked if the resident would be liable. City Attorney Schultz said the City has the requirement for a dewatering plan to make sure that it is within the tolerance, but a deposit isn't required for any other development because the general rule is that they own property on that water system and they are entitled to develop the property even if it includes a minor inconvenience to the adjacent property owners. They established the \$75,000 bond because there will be a lot of discretion with the PRO. It was a reasonable number that is very high considering the circumstances. They cannot go as far as to say that the 16th well would be the resident's responsibility just like any other property owner. Member Casey respects the expertise of the staff and didn't think they have a good solution on the chance there is something unexpected happens. City Manager Auger said that \$75,000 is that high number and if they put \$100,000 to \$150,000 the same question would be asked. We don't anticipate any issues. There is no State law that would require a developer to put a bond up like this. The only reason they were able to ask the developer is because it is a PRO process. This is not the first stage and they will have to hook up to sanitary sewers at about 12 feet. If he doesn't get that done right, the rest of the project will not get done and he wouldn't be able to sell homes. The developer and staff understood the criteria and he was confident the \$75,000 will be enough. Member Casey asked if the residents will come to the City if the \$75,000 is not enough. Mr. Fingerroot clarified comments on the catch basins in the conservation easement that it is not the developments property that will cause a flow of water into the neighbors and the only reason for the catch basin was that it is necessary to catch all the flow from the neighboring properties. If they plant a tree and it blocks the flow of the water, they would have to mitigate it.

Member Mutch asked about the PRO language as it is currently written. The residents would be responsible for damage to their wells above the \$75,000 bond and the City would not be responsible and he couldn't understand why it is so difficult to state it. He asked if residents do encounter a situation through the dewatering process, with whom they would file a claim. City Attorney Schultz said they have not prepared that document and the City designed the process according to the agreement. Member Mutch confirmed a resident would not be able to take a greater share than another. City Attorney said there would be a final decision through the City staff and there would be a limit. Member Mutch asked when would the process be developed and put in place. City Attorney Schultz said at the time the permit for the dewatering and site work happens. Member Mutch said the claim process would be handled by the City and has final say. Member Mutch asked if it will be an easement over the property in the provision under D. 4 for the 30 foot wide tree preservation and planting easement and confirmed that the City would enforce any issues with it. In subsection 3, he asked if the language applies for the trees that have been currently identified or if any die in the future. City Attorney Schultz said the intent is that it is a cleanup in making it a buffer. The language allows them to remove some trees and plant new ones to increase the screening. He didn't think it is a perpetual and eternal obligation to replace them unless they are woodland replacement trees that would carry that obligation.

Member Mutch asked if they have identified existing trees that are dead and are getting credits, is it different than if they kill additional trees in the process. He felt they should be replaced also. City Attorney Schultz said if they damage a tree, they would have to replace it. Member Mutch wanted to get back to the specificity and didn't think it was clear that was the intent. He was concerned that the count may not be accurate and it was clear from the site plan, there would be significant impacts along the conservation area. He was concerned about how many of those trees will survive that process and he felt if they are impacted they should be replaced. He would like some clarity in the agreement. He noted it is important for the residents to understand that whatever is approved in the PRO process by Council will be final. He knew they discussed that staff has some authority to make adjustments but this will be the final product. He felt this developer chose to put the smallest lots in the site adjacent to the residential area and has created many of the problems discussed. If the larger lots were adjacent to the residential, there would be fewer lots and would better accommodate the woodlands. If the smaller lots were in the interior of the plan, there would be less of an impact on the core area and the developer may have lost a few more lots. He didn't know the number by making that adjustment, but it would have been a better plan. There will be 982 trees removed on the site and the largest tree removed is almost 4 feet in diameter. There are 36 specimen trees that are larger than baseline for trees of significant size in the community. He said they are sacrificing the trees when the City should be protecting them. He felt what was best for the residents at large was best for the residents of the adjoining subdivisions. He noted fewer lots would be less traffic and more protected woodlands would be valuable. He felt the argument that the tradeoff between the tax base and development with the additional homes somehow accrues to the City is a false choice for the City. He felt it could have been a less dense development and protected more woodland that would be just as economically beneficial as what is being proposed. He appreciated Member Casey's efforts to get the best plan out of the process. He can't support the City ordinances to be cast aside in many areas for this development and not get the best possible development out of the process.

Member Markham appreciated the many comments from the residents, studying the documents, and they have taken this process seriously. She thought with this development they were trying to put too much on this site. She felt 64 homes were too many and slightly less than the maximum number of R-1 homes. It is the maximum number of homes that can be put on the property. The only difference between the R-1 and R-3 is that some of the lot sizes are smaller. This plan still encroaches into the highest quality section of the woodlands which is the southwest portion of the property. She believed there could have been a premier development that protected the woodlands and also valued them as an asset. She saw that they were trying to minimize it. She thought the trees were understood to be pretty but not important. She said the solid contiguous woodlands on the property of 1,700 of high quality trees were very important to the storm water management and habitat. It has been minimized in the overall design of the development.

Member Casey summarized that she asked for change in language regarding opacity as an "is" and not "should". Also, she asked for specificity and height of trees and how that would be incorporated in the agreement. City Attorney Schultz said adding some additional requirements to a motion would be appropriate.

Mr. Fingerroot confirmed that she wanted a certain level of opaqueness. He would agree to. The answer to the metric is already defined in the City ordinances. He said that it would not be a problem. In terms of height, he would use a range rather than a specific height. He said the reason being is when they go to farms to buy the trees, if it is an 18 foot tree they may grow a foot a year and they know how much they grow per year. They also have an idea of what type of trees within their farm that will live from the transplant process itself. It is too difficult if just 18 feet is required, but if they are given plus or minus 2 feet or 3 feet would be more practical. It is not because he wants to save money but because a 16 feet tree may grow a foot a year and would have a much better probability of surviving. He would be amenable to how it is proposed but with a range and not specific.

Member Casey said that within the landscape design on the outer edges, that there is a notation of an 18 foot tree height with no plus or minus or is there within the ordinance there is that kind of range that Mr. Fingerroot mentioned.

Deputy Director McBeth said it is a specific standard as much as it could be and it could say a range of plus or minor two feet or a minimum of 18 feet or taller.

City Attorney Schultz explained that the motion is designed to the way they want. If they want to accept the premise from Mr. Fingerroot, the Planning staff and Landscape Architect would review the plan and ultimately review the plantings to make sure they conform to the general requirement of 18 feet and whether they have met the intent of the language. The more specific directions, they will be clearer in their direction as to what they accept.

Member Casey asked if she would have the opportunity to give him direction and to come for final approval or was this final. She would rather get the language the way she liked it and not do something spontaneously to give direction that says, "I want to see" and "should be on opacity with a minimum of 18 feet trees planted in the buffer with additional specifications."

City Attorney Schultz thought they were not insurmountable language barriers. He understood that if there is a particular tree height and opacity shall be 80%, then it can be written that way. He didn't think those things were insurmountable.

Member Casey asked City Engineer Hayes to remind her what the current ordinance standards are in cases of dewatering where there is impact to wells and sewer outside the development. He explained they require dewatering plans, the size of the pumps to be used, the area of influence the pumps would have, the estimated depth of the groundwater to be impacted, and they have the ability to require monitoring wells

installed. Sometimes the City does it or the developer may take it upon himself. There is the possibility of a third party to oversee the actual dewatering to make sure whether or not there is an impact so it can be verified. She asked what if there is an impact. He said if there is an impact based on verification through the monitoring they gauge the degree to which somebody's property has been damaged. Member Casey asked if the City would take it from there. He said if in the extremely rare chance that there are more than 15 wells impacted then it would be the resident's responsibility. He didn't think there were more than 15 wells there. Member Casey believed that the area to the west is well and sewer. City Engineer Hayes confirmed the area that will be influenced by the minor amount of pumping that the developer will do is minuscule. He considers it a non-issue.

Member Casey felt she hasn't pushed Mr. Fingerroot on the \$75,000 bond. She asked him previously in regards to the buffer. She said she will include language on opacity, a minimum of 18 feet in the conservation easement and she will count on the developer's new watering plan and the confidence of staff. She directed a statement to Mr. Fingerroot that she would hope he would make good a well that a resident is responsible based on the confidence he is advocating and what she is hearing from everyone else. Mr. Fingerroot said he is not challenged by it at all. This development is one of about 120 to 130 subdivisions he has developed in Southeast Michigan and he has never had this issue. He has spent \$25,000 with a hydro-geo person because the City asked him to. He mapped out every well and looked at the soil borings. He figured everything out and said there was nothing there. He said he handed it to the Engineer and said the same thing. He gave \$75,000 just so they can make sure everybody is comfortable. If it goes above and beyond that, he will be a good neighbor and will continue to be a good neighbor. If he damages someone's property he would make good on it. He is concerned they will get into trouble with one thing. He thought they will need to give some discretion to the City landscapers in terms of an absolute height. He is concerned the City landscaper may say if they plant all these trees the likelihood of ten year survival is very low and they should plant in another area because of the soil conditions. He didn't know what it was and he is not a landscape expert. He has a reasonable working knowledge of landscaping and dewatering. He continued there are experts that know a tremendous amount more than he does. He would like them to propose that the City landscaper has some discretion and provide the intent of 18 feet. He said there is a survivability issue when there are larger trees spaded in. He can't quote what it is. It does make a difference what species they are and what the soil conditions are. It is different throughout the site. There may be clay soils in one area, fine sandy soil in another or two feet of topsoil. They have to have a real expert. He said it would be the City landscaper to try to make the City's desires met. He emphasized it is no good if in ten years, if half the trees are dead because they tried to over specify. He said it would be out of his control and will be within the City's experts.

Member Casey said then she will leave it up to the City's experts.

City Attorney Schultz explained that in the agreement, the oversized trees will be planted as depicted and making a reference to that being 18 feet height. As Member Casey pointed out, City staff will do what they do in their normal course to make sure the plan is compliable. Deputy Director McBeth confirmed the plan already has reference to the 18 feet trees.

CM 15-08-119 **Moved by Casey, seconded by Wrobel; MOTION CARRIED: 5-2**

Final approval of the request of Beck South, LLC for JSP13-75 with Zoning Map Amendment 18.706 to rezone property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay Concept Plan and to approve the corresponding concept plan and PRO Agreement between the City and the applicant, subject to the conditions listed in the staff and consultant review letters, for the following reasons, and subject to final review and approval as to form, including any required minor and non-substantive changes, by the City Manager and City Attorney's office:

- a) *The proposed development meets the intent of the Master Plan to provide single family residential uses on the property that are consistent with and comparable to surrounding developments:*
- b) *The proposed density of 1.65 units per acre matches the master planned density for the site:*
- c) *The proposed development is consistent with a listed objective for the southwest quadrant of the City, "Maintain the existing low density residential development and natural features preservation patterns"; and*
- d) *The consolidation of the several parcels affected into an integrated single-family land development project will result in an enhancement of the project area as compared to development of smaller land areas.*
- e) *The final approval document requires the developer meet an 80% or greater opacity and plant a minimum of 18 foot trees in the conservation easement.*

Roll call vote on CM 15-08-119

Yeas: Poupard, Wrobel, Gatt, Staudt, Casey
Nays: Markham, Mutch

3. Approval to purchase three Force America CommandAll regulating controllers and three wing plows for the City's winter maintenance fleet from Truck and Trailer Specialties Inc., the low bidder, in the amount of \$154,188; and approval of a resolution to amend the budget to add \$24,200 to this line item.

**City Council Minutes
July 27, 2015 - Excerpt**

giving tax abatements. Strong infrastructure means good schools and good roads. It means public services and public spaces and raising enough revenue to support our communities that spend it wisely in ways that actually grow the economy and not leave us vulnerable to those tax credits year after year. Instead let's fix the roads and hire more teachers. That is how she would like the \$375 million in State tax dollars spent this year.

Member Mutch said he does not support this request and he has consistently done so. He researched the communities that we were in competition with for this project. He noted Troy with 10.5 mills and Auburn Hills with 10.5602 mills tax rate. Novi has a lower tax rate of 10.2 mills. This property is located within the Walled Lake District and the tax rate for commercial properties is the second lowest tax rate in the City of Novi. This property in this area already has a tax advantage compared to the cities competing with us. With that issue, it was hard to make a case that Novi was not competitive with those communities. We have done it because the City has grown and we have not depended on tax abatements as an economic strategy. He didn't see a reason to change it going forward. Magna is a multi-national, multi-billion dollar corporation and they have a significant investment in Southeast Michigan. They have a significant investment in Novi and are an important part of our Community. Corporations like Magna do not need tax abatements. It didn't make sense to him to support a tax abatement at this time.

Roll call vote on CM 15-07-100

**Yeas: Markham, Poupard, Wrobel, Gatt,
Staudt, Casey**

Nays: Mutch

2. Consideration of the request of Beck South, LLC for JSP13-75 with Zoning Map Amendment 18.706 to rezone property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay. The property totals 41.31 acres and the applicant is proposing a 66-unit single-family residential development.

City Manager Auger explained this PRO has requested changes of an entrance/exit onto 10 Mile and a 30 foot buffer between the residential areas in which trees will be added to help buffer the residential lots in the area. He added if the developer wanted to develop as R-1, then the houses will be 5 feet further than he is offering as a tree preservation area. The homes in the PRO will be 65 feet from the property line. The developer has lost two home sites with fewer trees expected to be removed. The developer was creative and made the 10 Mile entrance to travel west so it will not allow a direct cut through of traffic. It was learned from the developer's woodland consultant that the developer would be taking out fewer trees than the R-1 plan. The developer who develops the second half of the land would remove the trees depending on what kind of development. City staff is recommending this PRO.

Howard Fingerroot, developer, went through the changes to the R-3 PRO. They provided a 30 foot conservation easement along the south and west of the property. There will be 65 feet between the subdivisions. The R-1 standard requires a 35 foot rear setback. The request was for 50 feet, but now they are providing 65 feet from the existing homes to the back of their homes. A big issue was 10 Mile Road access. They were able to create a site plan that avoided cut through. The lot count was reduced to 64 lots. Under the PRO ordinance, they could have 1.65 and this is below the 1.65. They were able to preserve more trees. There will be 982 trees removed under the PRO, but with the R-1 plan they would be removing 1083 trees. It is on the 27 acres. This PRO plan cuts down fewer trees. The reason for the PRO plan is to come up with creative development. Under the new plan they have over 30% of the site that will be open space. It is why the City staff and consultants supported it because it is good planning. With the new plan, the west property lines have equal number of homes abutting each other. On the south property line, Andover Pointe has 7 homes that will be abutting 6 homes in the new development. He tried to incorporate all the comments from the last meeting. He thought they had a good plan.

Mayor Gatt determined the PRO planning in Novi was adopted in the early 2000's through City Attorney Schultz. Mayor Gatt said the reason was for a development like this. The Council determined at that time it would be best to have a say in what would develop. Left with just an R-1 option, more trees would be cut down than if we grant the PRO. The PRO is a device that the Council has at their disposal to resolve problems similar to this. In this case, the citizens are against this development and spoke against it and he didn't understand why. If the PRO is denied, then the developer would go forward and be able to build a subdivision without Council's intervention. There wouldn't be any monies put into escrow to fix any wells. He would be able to cut down any amount of trees on his property. There has been an outcry to target him and he has always voted the way he thought was best for the City of Novi. No petitions sent anonymously will affect his decision. He is in favor of the PRO.

Member Markham addressed Ms. Lauinger's comment. She felt badly that anyone thought she disparaged the church. She explained she knew a lot about the church and watched it being installed on the property with the Cub Scout den the day it was put there. She didn't mean to imply the church didn't belong there. She thought it was unique and a great feature for Novi. She agreed the purpose of the PRO is to facilitate mutual agreement between the City and the developer. She was disappointed that it was not much different than what they saw a month ago. The number of homes was reduced by two but some of the lots were larger than before and she thought he was going in the wrong direction. She believed a single 10 Mile Road entrance and another cul-de-sac would allow 55 to 60 homes on the property. Instead of a road going through the development exiting out Beck, she wanted him to consider a cul-de-sac south of the church rather than a road cutting through the most valuable part of the woodlands. She thought with several cul-de-sacs the developer could maximize the number of lots that back up directly to the natural woodlands with higher lot prices because it would be a premium. Many residents have told her they came here because of the way Novi keeps its green spaces. It seemed counterintuitive to cut

down trees from a quality woodland only to plant street trees and make a big contribution to the tree fund. She wanted to work with him to put enough of the right kind of houses in the development and to protect the woodlands. She thought it could be done and done well.

Member Casey asked City Attorney Schultz if he would refresh everyone's understanding of the process of a tentative approval of a PRO and what would come next in the process. City Attorney Schultz said the way the motion is set up is it will be a tentative indication that Council may approve. It is a two-step process at the Council Meeting. It is productive to let the developer know to bring back a PRO agreement and concept plan. It would go before Council for approval of the agreement and the concept plan. Then it goes back to Planning Commission for Site Plan approval. Member Casey noted she watched the meeting from June 22, 2015 and wanted to clarify the feedback she gave to Mr. Fingerroot. She identified 10 Mile Road as a concern, the buffer, and was still struggling with the conservation easement. Everyone was looking for a larger conservation easement. There were concerns raised about the conservation easement and potential for storm drain or utilities. She asked him to explain where he planned to put storm drains and utilities. Mr. Fingerroot spoke about the easement and the storm sewer and catch basins would run along the property line. If they were going to keep the conservation easement completely intact and not add trees, they would not put any storm sewer within the conservation easement. It is his intent not to put the storm sewer within the conservation easement. They discussed adding trees within the easement to provide visual shielding, but sometimes when trees are added, a catch basin may be added to make sure that there is proper storm runoff from the adjacent subdivision. If, for example, they have water running off their property onto the development's property, because it is an existing condition, he has to accept the runoff. If he plants a tree, perhaps it blocks it and would backup into the neighbor's property they couldn't do it. They would have to build a swale or catch basin and run it into catch basins on their property. The engineering department may tell us to add a catch basin only where trees are added to a section. Member Casey asked about how trees will be planted near the Echo Valley Subdivision. Mr. Fingerroot answered in Andelina Ridge Subdivision; they planted 18 feet tall evergreen trees staggered about 15 feet apart. Member Casey asked about how many trees will be removed near Andover Pointe. Mr. Fingerroot didn't have the specific number. The change allows a bigger buffer at the southwest corner of the property. Member Casey asked where the two lots were taken from. Mr. Fingerroot said the northeast corner was changed. Member Casey asked if there was a particular reason why he didn't shift to the northeast to try to add additional buffer for the residents to the south and west. Mr. Fingerroot said they are pinched in the south. If they pushed to the north, they would have had to push into a wooded area. There are one or two wetlands in there they were trying to avoid. When they do the initial plan, the goal was try to not to cut down trees because those who buy the houses want the trees. It costs money to cut down the trees and it costs to replace the trees. They try to avoid the wetlands and woodlands as much as possible. Member Casey asked what it would take for him to build a 50 foot conservation easement. Mr. Fingerroot said it is unusual to create a buffer from

residential to residential from his experience. He thought they did a good job allowing for a 65 foot setback.

Member Wrobel directed questions to Barb McBeth, Deputy Community Development Director about the 10 Mile Road entrance. He asked if it would create a traffic issue at rush hour east and west on 10 Mile Road. Ms. McBeth asked that the traffic engineer answer the question. Matt Klawon, Traffic Consultant, said the issues seen at that location compared to the original location will be similar. The benefit to the 10 Mile entrance in their opinion is that it is feasible turning out. Member Wrobel asked about how much back up they will get. Mr. Klawon said he would need to see a traffic model on it to get an answer. Member Wrobel noted if the property remained R-1 the developer would not have to come back to City Council and could proceed to build homes. He asked how far he could go clearing trees. Ms. McBeth said that if he built under the R-1 designation it would be approved by the Planning Commission and could remove as many woodland trees as they proposed, provided the Planning Commission saw that it was necessary to remove them. Member Wrobel said potentially the developer could go to the lot line. Ms. McBeth said it is unusual to have a buffer with trees between the property lines. After the subdivision is developed, a lot of times, the homeowners may remove trees and potentially remove all the trees in the back of their property. Member Wrobel asked if there was a 50 foot buffer in any of the subdivisions in Novi. Ms. McBeth stated she could not think of one. Member Wrobel felt he was elected to do what was best for the City of Novi as a whole. The Council members take the job very seriously. He takes the Master Plan very seriously and there are times that it needs to be changed. A planned development that was very well thought out provides a benefit to the City and the residents. It takes care of another problem with the development at Beck and 10 Mile. It is zoned commercial. So by incorporating all the property into one piece and putting 64 homes in a development, it will eliminate unwanted commercial at the corner. It will be more of a park atmosphere which is a benefit to all the subdivisions around it. He wanted everyone to realize there are tradeoffs when there are requests like this. If the battle is won, they can lose a buffer and have unwanted commercial at the corner. He has to take into consideration all the possibilities.

Member Mutch commented that it was interesting listening to Council Members and staff on how the City's ordinances were viewed. We have a woodlands protection ordinance. The intent is to protect the woodlands. They are evaluated by the City consultants. The purpose is to ensure Novi maintains that character that everyone enjoys and is a hallmark of our City. It attracts new residents and helps keep people in Novi. We have many of the woodlands and wetlands today because of previous City Councils, Planning Commissions and staff upheld the woodlands protection ordinance and used it as a method to protect the woodlands. It is not supposed to be cast off when it is inconvenient and dismissed when a developer comes into Novi. It is supposed to protect woodlands first, then development. He was hearing that the woodland ordinance doesn't mean anything. He was hearing that a developer can cut down every tree on a piece of property. Something is seriously wrong with the ordinance, the process or enforcement. He said that is not the intent of the City's

ordinance. He feels it was not the way the City has operated over the last 20 years. He would not base his decisions on fears and speculation. He didn't think it was fair to the residents. The plan doesn't respect the natural resources on the property. He was surprised there were no changes to the southern half of the site. He noted some of the residents' concerns were not addressed. The northern half of the site changes did incorporate concerns from the last meeting and felt they were an improvement to the site. He was perplexed that the northeast corner of the site doesn't have the quality of natural resources as other areas of the site. The plan came back with added green space at the northeast corner. He said it wasn't protecting any of the natural resources in that area of the subdivision. Near the north-south cul-de-sac, the consultants specifically spelled out several lots had the highest quality of natural resources to be impacted. The lots were not removed in the new plan. He said the lots were made larger. The total number of lots should have been reduced to near 60. The new plan saved a few more trees, but overall there will be over 1,000 regulated trees removed. He cited the developer will have to pay into the tree fund. It reduced the tree removal by ½%. He doesn't think the plan worked for the site. He noted the R-1 density couldn't get 1.65 units per acre. He thought the PRO was not a vehicle for circumventing the City's ordinances. It is a vehicle to allow a tradeoff. In this case, he was building smaller lots with more lots than he would be able to build. It can't come at the expense of the natural resources on the site. The tradeoff isn't the developer gets the density and gets cuts down the trees. He said the site preservation is not 32. If some of the lots were removed, it would open up the natural areas in a way they could be integrated into the subdivision. He felt the open spaces were walled off from the residents and not integrated.

Mayor Pro Tem Staudt felt the majority makes the decision on Council. In this case, a law requires a super majority to pass and will allow the minority to make a decision on behalf of City Council. Based on what he has heard the minority is going to prevail. He didn't want the developer to have to come back based on some ambiguous statements. He saw those who didn't support resolutions and made suggestions, then expect the suggestions to be incorporated into plans, but didn't intend to vote on it anyways. He has been on Council for many years and heard a lot of the discussions that fell on deaf ears. There has been preservation when possible and other cases it was not possible. He asked for a 30 foot conservation easement that the developer incorporated. He didn't feel a larger easement would be a realistic goal. This builder has built a lot of homes in Novi and has worked closely with the City on a lot of other developments. Mayor Pro Tem Staudt noted he was not a developer, planner, or anything other than his own work. He has spent a lot of time talking to residents and understands emotion. He thinks what is presented reflects a compromise in the things Council have asked. The last meeting was the time to make suggestions. Presently, closure should be discussed. His responsibility as a Council Member is to serve the taxpayer and make sure there is fairness in all areas. We may save some woodlands for the short term, but someone will come back and build. He felt this was a decent and fair plan.

CM 15-07-101

Moved by Mutch, seconded by Markham; MOTION FAILED: 2-5

To deny the request of Beck South, LLC for JSP13-75 with Zoning Map Amendment 18.706 to rezone property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay Concept Plan for the following reasons:

- 1) The rezoning request with PRO requires numerous deviations from the Zoning Ordinance standards, including the following as indicated on the submitted PRO Concept Plan:
 - a. Reduction in the front yard setback from 30 feet to 25 feet, and reduction in the aggregate of the side yard setbacks from 30 feet to 25 feet,
 - b. Lack of the required berm along the church property line,
 - c. Missing pathway connections from the internal loop road to Ten Mile Road, and the missing pathway stub from the south loop road to the south property line,
 - d. Lack of stub street connections every 1300 feet along the perimeter of the site, and
 - e. Lack of paved eyebrows for the proposed internal road system.

- 2) The City Council finds that the proposed PRO rezoning would not be in the public interest, and the public benefits of the proposed PRO rezoning would not clearly outweigh the detriments of the proposed plan, as provided in Section 7.13.2.D.ii, for the following reasons:
 - a. Two of the eight listed benefits (sidewalk connections and sewer line connection) would be requirements of any residential subdivision development as permitted in the R-1 Zoning District,
 - b. Preservation of natural features as shown on the proposed Concept Plan would be encouraged and could be accomplished in whole or in part as part of a typical development review, and,
 - c. Although not required, the right of way dedication that is proposed as a part of the plan is typical of new developments.
 - d. The remaining listed benefits are not of a sufficiently substantial character to justify use of the overlay option and the increase in developed density.

- 3) The proposed developed density is greater than that which could practically be achieved under the R-1 District regulations when the required infrastructure and other improvements are considered, and as a result the development as proposed would have a greater impact upon the adjacent residential properties.

Mayor Gatt said he would not support the motion. The developer has brought back what Council had asked him to bring back. He will vote the way he feels is in the best interests of the City of Novi. An R-1 development in this location is not in the best interest for Novi.

Roll call vote on CM 15-07-101

Yeas: Mutch, Markham

Nays: Poupard, Wrobel, Gatt, Staudt, Casey

CM 15-07-102

Moved by Wrobel, seconded by Poupard; MOTION CARRIED: 5-2

To approve a tentative indication that the City Council may approve the request of Beck South, LLC for JSP13-75 with Zoning Map Amendment 18.706 to rezone property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay Concept Plan and direction to the City Attorney to prepare a proposed PRO Agreement with the following ordinance deviations:

- a) *Reduction in the required front yard building setback for Lots 19-30 and 37-39 (30 feet required, 25 feet provided);*
- b) *Reduction in the required aggregate of the two side yard setbacks for Lots 19-30 and 37-39 (30 feet required, 25 feet provided);*
- c) *Waiver of the required berm between the project property and the existing church in order to preserve existing mature vegetation;*
- d) *Administrative waiver to omit the required stub street connection at 1,300 foot intervals;*
- e) *Design and Construction Standards waiver for the lack of paved eyebrows;*
- f) *Design and Construction Standards variance for the installation of the required pathway to the adjacent Andover Pointe No. 2 development with the condition that an easement is provided.*

And subject to the following conditions:

- a) *Applicant shall provide a pathway connection to Ten Mile Road from the internal loop street as noted under Comment 1 of the engineering memo dated January 7, 2015;*
- b) *Applicant shall comply with the conditions listed in the staff and consultant review letters: and*
- c) *Acceptance of the applicant's offer to provide a \$75,000 cash bond to be held in escrow during the dewatering operations for the Valencia South sanitary sewer installation, for the benefit of any well-failure claims by the thirteen homes within 400 feet of the proposed dewatering limits, per the provided correspondence, and subject to a dewatering plan submitted by the applicant for review and approval, subject to ordinance standards,*
- d) *Acceptance of the applicant's offer to provide an additional 30 foot wide tree preservation and planting easement on the rear of the lots abutting the west and south property lines, per the attached correspondence.*

This motion is made for the following reasons:

- a) *The proposed development meets the intent of the Master Plan to provide single family residential uses on the property that is consistent with and comparable to surrounding developments;*
- b) *The proposed density of 1.65 units per acre matches the master planned density for the site;*
- c) *The proposed development is consistent with a listed objective for the southwest quadrant of the City, "Maintain the existing low density residential development and natural features preservation patterns"; and*
- d) *The consolidation of the several parcels affected into an integrated single-family land development project will result in an enhancement of the project area as compared to development of smaller land areas.*

Member Casey expressed she didn't believe the R-1 was best suited in the space. She wanted to make sure that a benefit of a PRO isn't to the City as a whole but also to the residents that abut to the development. She pleaded for the best buffer possible. She asked where there would be any potential connection from the development into Andover Pointe. Mr. Fingerroot spoke of staff recommendations. He proposed to give an escrow to the City and not build the connecting path near the backyard of the resident who spoke. Member Casey stated she has spent a lot of time speaking with residents and appreciated the time to share concerns and to listen to feedback. She struggles with putting in an R-1 and not retaining at least some measure of a buffer of both the south and west borders of the development. That is the best of what the PRO offers. With an R-1, there was no opportunity to make sure there was any buffer. This way, there is a measure of protection that can be granted through the PRO. The

language in the motion is that it is tentative. She mentioned staff will review it. She will continue to see what can be done to solidify the buffer and make it as impenetrable as possible. The benefit offered in the PRO serves the residents that about this development.

Member Mutch confirmed he cannot support the motion and felt it was a false choice. It is a choice between this plan and R-1. He didn't think there was basis for that. He didn't think Mr. Fingerroot would ever develop the property in an R-1 manner. The research showed that all his developments are consistent. He felt it was unfair to present this as the only alternative to residents. This plan was supportive of the market and the people would not want an R-1 home. He felt there were ways to make this plan better and thought it has been mischaracterized that the concerns were addressed. Specifically, it was requested to bring the number of lots to 60 and it didn't happen. The developer is tentatively receiving approval to do reduced lots adjacent to the homes in Echo Valley Subdivision and adjacent to Andover Pointe. He could have done the same for interior lots. It could have allowed a favorable reconfiguration. The northeast corner will have more green space that many won't enjoy. He thought it was an overbuilt site. Those supporting the motion could have brought those suggestions forward and given us a better plan.

Mayor Pro Tem Staudt stated this was a long process of 7-8 months talking with residents and reading the issues. It wasn't done overnight. He applauded Member Casey for taking a stance and was a difficult decision for her. He would like to see some changes. It has not been easy to move things forward. Unfortunately, Council determines who the winners and losers are. The winners he thought were the City of Novi taxpayers.

Mayor Gatt didn't think there were any losers. Each member is elected by the City to do what is best for the City. The decision took 8-9 months and many professionals looked at this. It is not perfect, but some wouldn't vote for it if it was. They are elected to make decisions and none of them were in the development field and yet some try to tell a developer what is best. Everything has been done to bring this matter to a conclusion. People against this are not losers. They will be a part of a multimillion dollar tax base increase because of this. The developer will build \$700,000 homes. The reduction of 2 lots means the developer lost \$1.4 million and that was a business decision he made. He is building a quality subdivision across the street. He has given more of a buffer at 50 feet than any subdivision. He believed this would be a quality subdivision that will preserve as many trees as possible and still move the City forward. He wanted people to know for 40 years, he has served this Community and has done so with doing the best he can.

Roll call vote on CM 15-07-102

Yeas: Poupard, Wrobel, Gatt, Staudt, Casey
Nays: Markham, Mutch

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- be required in this Ordinance in relation to the most dominant use in the development;
- g. Each particular proposed use in the development, as well as the size and location of such use, results in and contributes to a reasonable and mutually supportive mix of uses on the site, and a compatibility of uses in harmony with the surrounding area and other downtown areas of the City;
 - h. The proposed development is under single ownership and/or control such that there is a single person or entity having responsibility for completing the project in conformity with this Ordinance;
 - i. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service;
 - j. Relative to other feasible uses of the site, the proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area;
 - k. Relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourse and wildlife habitats;
 - l. Relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood;
 - m. Relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
 - n. Relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner; and
 - o. Relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Motion carried 5-0.

MATTERS FOR CONSIDERATION

1. Valencia South JSP13-0075 with Rezoning 18.706

Consideration of the request of Beck South LLC for Planning Commission's recommendation to City Council for rezoning of property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay. The subject property is approximately 41.31 acres and the applicant is proposing a 66 unit single-family development.

Planner Kapelanski stated that the applicant is proposing a rezoning with PRO to develop 66 single-family homes on a 41 acre site at the southwest corner of Beck Road and Ten Mile Road. The parcels are currently made up of single-family homes and vacant land. Land to the north of the proposed project across Ten Mile Road is under construction for the development of single-family homes very similar to this proposal. Existing single-family developments can be found to the south and west and vacant land, single-family homes and a church are located to the east. The subject property is zoned R-1, One-Family Residential with R-1 zoning surrounding the site with the exception of the property to the north, which is zoned R-3 with a Planned Rezoning Overlay.

The future land use map indicates single-family uses for the subject property and the surrounding properties along with a private park designation to the east. There are significant amounts of natural features on the site. Impacts to natural features have been minimized to the extent practical. Permits for wetland and woodland impacts would be required at the time of site plan review and approval. The City's environmental consultant, Pete Hill of ECT, is here this evening to address any natural features concerns.

The applicant is proposing 66 single-family homes with a density of 1.65 units per acre, consistent with the R-1 zoning district provisions. Proposed lot sizes and widths are consistent with the standards provided in the R-3 district, hence the proposed rezoning. This matter was previously considered by the Planning Commission and a public hearing was held on February 11th. The applicant has revised their plan in response to the comments made by the Planning Commission. Specifically, the applicant has shifted the proposed development to allow for a fifteen foot conservation easement along the west and south property lines bordering the existing residential uses. They have also provided additional information on the proposed drainage patterns and impacts on adjacent septic's and wells. Sanitary sewer and water main stubs extended to the south property line for future connection have also been highlighted. Planning staff continues to recommend approval of the proposed rezoning to R-3 with a PRO as the plan meets the intended master plan density and the objective to maintain low density development and natural features preservation patterns in this area of the City. The engineering staff has reviewed the additional information and concurs with the applicant's response regarding drainage and impacts on adjacent properties. Staff has since changed their stance on the required ordinance deviation for the missing pathway construction to Andover Pointe and supports the deviation with the applicant providing an easement. Staff continues to recommend the increased rear yard setback as shown in the applicant's sketch of an altered building footprint that would increase the rear yard setback but require a five foot deviation for the front yard setback and the aggregate setback of the two side yards. This would only apply to those lots bordering the existing residential developments. The Planning Commission is asked to make a recommendation on the proposed rezoning with PRO this evening.

Chair Pehrson asked the applicant to step forward and address the board.

Howard Fingerroot, managing partner of Pinnacle Homes, stated he is present to answer any questions that anyone may have. At the previous meeting the board requested them to consider pushing the development to the east and the north. They did in both cases and studied the concerns of the neighbors regarding the well and septic. Island Lakes of Novi was a different issue since they were by a lake and there were ground water issues. The soil borings which go down 25 feet show no water that would need to be de-watered. He believes the soils makeup at the proposed location is different than that of Island Lake.

Chair Pehrson turned the matter over to the Planning Commission for discussion.

Member Baratta told the applicant that he saw the engineering study regarding the drainage sewer hookups and his efforts on the buffer. The current zoning is R-1 and the applicant wants to have it changed to R-3 but there needs to be a public benefit. You can build the same numbers of houses on an R-1 as in R-3 zoning and would like to know more reasoning for the change.

The applicant stated that they are requesting the R-3 PRO because he believes it will make them better stewards of the land. They will be preserving close to 30% open space and their density will be lower than Echo Valley to the west of them. They have 12 homes along the western property line which is the same number of homes Echo Valley has on the east property line. In

the south they have six houses that back up to the property line and Andover Pointe, and seven homes backed up to the property line. It is consistent with the surrounding zonings. Technically it is not an R-3, but an R-3 PRO which will allow them to preserve more of the natural features and keep the density to R-1 zoning.

Member Baratta asked the applicant about the 15' buffer to the west and south that was discussed at the last meeting. This buffer seems limited and he is not sure it will provide the existing residents the look, feel and screening they want for their backyards. He would like to know if there is any more room to add depth to the conservation easement.

The applicant stated that when they had met with the neighbors, they asked for the proposed homes to be pushed further away from them. They have figured out a way to give them a 50 foot setback instead of the required 35 foot setback by changing the architecture. Based on the Chairman's request to push the subdivision to the east, they have created more space providing 65 feet from the property line to the back of the proposed homes. Typically there is not a buffer between subdivisions; it is mostly seen in Industrial zoning, so he feels it is generous of them to be providing a buffer at all.

Member Giacometti stated there had previously been discussion about a bond being required to be posted for the project to protect the sewer and septic fields. He asked the applicant if he has any objections to posting the bond for a period of time.

The applicant stated that the city requires financial guarantees that they have to post with any development. They had to post over two million dollars for each of the other subdivisions they developed; it is also part of the subdivision ordinance. If there was an indication that there was going to be some de-watering necessary like in Island Lake, he thinks it could be a request. Looking at the soil boring logs and analysis, the engineers agreed that it does not look like it will be an issue. He strongly prefers not to have to post the bond because he does not feel it makes any sense since there are no engineering facts behind the request, only the concerns of the neighbors.

Member Giacometti stated that he would make a recommendation that there would be a bond considered. He also listened to the concerns of the neighbors and read a number of the letters against the proposal. He is not convinced that changing the zoning from R-1 to R-3 is necessary since the same number of properties can fit under the R-1 zoning.

Member Greco commented that when growing up in a rural area, you will always want the wooded areas to stay, but with development and private land this cannot happen. He understands the concerns of the neighbors and what they presented to the board, but many of the concerns are the same exact concerns that would be present if an R-1 development was proposed. The reason for the PRO overlay is to give the city more control on what the city wants and to respond to issues with respect to the neighbors. The Planning Commission has dealt with this intersection on the west side on the north and the south for at least ten years, and the Planning Commission and the city have denied zoning requests every single year. When Valencia North and South were proposed, they were able to provide a plan and it was very apparent that the developer was trying to make as much money as possible. With respect to the number of homes being built and the number of homes in the development versus what else could be developed, (including larger homes with an increased buffer, moving it to the northwest and creating a conservation easement,) these are all requests made by the city. If it were an R-1 development being proposed, all these requests could not be justified. The development looks to be viable and is acceptable to the area. Looking at the aerial view, the

area is going to increase and grow. With respect to the alternative as to what could potentially be developed in this area, this proposal seems to be a good plan. It provides an additional buffer for the existing neighbors and the Planning Commission can request the City Council add a bond with respect to potential areas regarding septic; this is giving the residents more than they would get under an R-1 development.

Chair Pehrson stated that he is in complete agreement with Member Greco. They have turned down many proposals for the area over the years because it did not fit the community. The argument of Dissimilar-Similar is something that was picked up and carried forward but has no real meaning in this particular situation. You will not find the same kind of architecture that existed twenty years or so ago to meet today's modern standards and what the people in the community want. They have allowed and provided for an ordinance change with this kind of PRO so the board can hold the developer to a higher standard and put constraints around the development. If this were a conventional R-1 development, there could potentially be lot lines and easements/buffers that will be much less. They are not doing the city any good by turning down this particular rezoning request. He feels this is the right application and is appreciative of the changes the developer has been willing to make.

Member Zuchiewski questioned what control the PRO gives them over a project that they do not have in a normal development of this nature.

Attorney Dove stated that with a PRO, it is controlled by a PRO agreement which is a binding contract that runs with the land and is the document stating the commitments of the developer. In traditional zoning with an R-1 proposal, if the lot sizes and density are conforming, there is no option but to approve it and there are not any negotiations.

Moved by Member Greco and seconded by Member Baratta:

In the matter of the request of Beck South LLC for Valencia South JSP13-75 with Zoning Map Amendment 18.706 motion to recommend approval to the City Council to rezone the subject property from R-1 (One-Family Residential) to R-3 (One-Family Residential) with a Planned Rezoning Overlay subject to environmental consultant review of the updated site layout prior to the matter proceeding to the City Council. The recommendation shall include the following ordinance deviations:

- a. Reduction in the required front yard building setback for Lots 19-30 and 43-46 (30 ft. required, 25 ft. provided) to allow for an increased rear yard setback;
- b. Reduction in the required aggregate of the two side yard setbacks for Lots 19-30 and 43-46 (30 ft. required, 25 ft. provided) to allow for an increased rear yard setback;
- c. Waiver of the required berm between the project property and the existing church in order to preserve existing mature vegetation;
- d. Administrative waiver to omit the required stub street connection at 1,300 ft. intervals;
- e. Design and Construction Standards waiver for the lack of paved eyebrows;
- f. Design and Construction Standards variance for the installation of the required pathway to the adjacent Andover Pointe No. 2 development with the condition that an easement is provided.

If the City Council approves the rezoning, the Planning Commission recommends the following conditions be requirements of the Planned Rezoning Overlay Agreement:

- a. Applicant must provide an increased rear yard setback of 50 ft. for Lots 19-30 and 43-46 consistent with the provided sketch;

- b. Applicant must provide a pathway connection to Ten Mile Road from the internal loop street as noted under Comment 1 of the engineering memo dated January 7, 2015;
- c. Applicant complying with the conditions listed in the staff and consultant review letters; and
- d. The City Council should consider a bond requirement with regard to the well and septic issues brought forward by the residents.

This motion is made because:

- a. The proposed development meets the intent of the Master Plan to provide single-family residential uses on the property that are consistent with and comparable to surrounding developments;
- b. The proposed density of 1.65 units per acre matches the master planned density for the site; and
- c. The proposed development is consistent with a listed objective for the southwest quadrant of the City, "Maintain the existing low density residential development and natural features preservation patterns;"

Member Giacometti stated that he agrees with most of what Member Greco has said and it is the responsibility of the Planning Commission to do what they feel is best for the city. He agrees that the new development will be more tax revenue for the city which needs to be considered. There are some aesthetic benefits including the tree line along Ten Mile Road and Beck Road. He understands that the developer can come back with something that is less attractive but is uncertain if this is what is in the best interest of the city as a whole. He is not in support of this motion.

ROLL CALL VOTE ON MOTION RECOMMENDING APPROVAL MADE BY MEMBER GRECO AND SECONDED BY MEMBER BARATTA:

In the matter of the request of Beck South LLC for Valencia South JSP13-75 with Zoning Map Amendment 18.706 motion to recommend approval to the City Council to rezone the subject property from R-1 (One-Family Residential) to R-3 (One-Family Residential) with a Planned Rezoning Overlay subject to environmental consultant review of the updated site layout prior to the matter proceeding to the City Council. The recommendation shall include the following ordinance deviations:

- g. Reduction in the required front yard building setback for Lots 19-30 and 43-46 (30 ft. required, 25 ft. provided) to allow for an increased rear yard setback;
- h. Reduction in the required aggregate of the two side yard setbacks for Lots 19-30 and 43-46 (30 ft. required, 25 ft. provided) to allow for an increased rear yard setback;
- i. Waiver of the required berm between the project property and the existing church in order to preserve existing mature vegetation;
- j. Administrative waiver to omit the required stub street connection at 1,300 ft. intervals;
- k. Design and Construction Standards waiver for the lack of paved eyebrows;
- l. Design and Construction Standards variance for the installation of the required pathway to the adjacent Andover Pointe No. 2 development with the condition that an easement is provided.

If the City Council approves the rezoning, the Planning Commission recommends the following conditions be requirements of the Planned Rezoning Overlay Agreement:

- e. Applicant must provide an increased rear yard setback of 50 ft. for Lots 19-30 and 43-46 consistent with the provided sketch;

- f. Applicant must provide a pathway connection to Ten Mile Road from the internal loop street as noted under Comment 1 of the engineering memo dated January 7, 2015;
- g. Applicant complying with the conditions listed in the staff and consultant review letters; and
- h. The City Council should consider a bond requirement with regard to the well and septic issues brought forward by the residents.

This motion is made because:

- d. The proposed development meets the intent of the Master Plan to provide single-family residential uses on the property that are consistent with and comparable to surrounding developments;
- e. The proposed density of 1.65 units per acre matches the master planned density for the site; and
- f. The proposed development is consistent with a listed objective for the southwest quadrant of the City, "Maintain the existing low density residential development and natural features preservation patterns;"

Motion carried 4-1.

2. APPROVAL OF THE FEBRUARY 11, 2015 PLANNING COMMISSION MINUTES

Moved by Member Greco and seconded by Member Baratta:

VOICE VOTE ON THE FEBRUARY 11, 2015 PLANNING COMMISSION MINUTES APPROVAL MOTION MADE BY MEMBER GRECO AND SECONDED BY MEMBER BARATTA:

Motion to approve the February 11, 2015 Planning Commission Minutes. *Motion carried 5-0.*

SUPPLEMENTAL ISSUES

There were no Supplemental Issues.

AUDIENCE PARTICIPATION

No one in the audience wished to speak.

ADJOURNMENT

Moved by Member Greco and seconded by Member Baratta:

VOICE VOTE ON MOTION TO ADJOURN MADE BY MEMBER GRECO AND SECONDED BY MEMBER BARATTA:

Motion to adjourn the February 25, 2015 Planning Commission meeting. *Motion carried 5-0.*

The meeting was adjourned at 9:20 PM.

Transcribed by Stephanie Ramsay
February 27, 2015
Date Approved: March 25, 2015

**Planning Commission Minutes
February 11, 2015 - Excerpt**

consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

Moved by Member Baratta and seconded by Member Greco:

ROLL CALL VOTE ON THE WOODLAND PERMIT APPROVAL MOTION MADE BY MEMBER BARATTA AND SECONDED BY MEMBER GRECO:

In the matter of Chamberlin Crossings, JSP14-82, motion to approve the Woodland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

Moved by Member Baratta and seconded by Member Greco:

ROLL CALL VOTE ON THE STORMWATER MANAGEMENT PLAN APPROVAL MOTION MADE BY MEMBER BARATTA AND SECONDED BY MEMBER GRECO:

In the matter of Chamberlin Crossings, JSP14-82, motion to approve the Stormwater Management Plan, based on and subject to the findings of compliance with Ordinance standards in the staff and Consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because it is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

2. Valencia South JSP13-0075 with Rezoning 18.706

Public hearing of the request of Beck South LLC for Planning Commission's recommendation to City Council for rezoning of property in Section 29, on the southwest corner of Beck Road and Ten Mile Road from R-1, One-Family Residential to R-3, One-Family Residential with a Planned Rezoning Overlay. The subject property is approximately 41.31 acres.

Planner Kristen Kapelanski stated that the applicant is proposing a rezoning with PRO to develop 66 single-family homes on a 41 acre site at the southwest corner of Beck Road and Ten Mile Road. The parcels are currently made up of single-family homes and vacant land. Land to the north of the proposed project across Ten Mile Road is under construction for the development of single-family homes very similar to this proposal. Existing single-family developments can be found to the south and west and vacant land, single-family homes and a church are located to the east. The subject property is zoned R-1, One-Family Residential with R-1 zoning surrounding the site with the exception of the property to the north, which is zoned R-3 with a Planned Rezoning Overlay. The future land use map indicates single-family uses for the subject property and the surrounding properties along with a private park designation to the east. There are significant amounts of natural features on the site. Impacts to natural features have been minimized to the extent practical. Permits for wetland and woodland impacts would be required at the time of site plan review and approval. The City's environmental consultant is here this evening to address any natural features concerns. The applicant is proposing 66 single-family homes with 28% open space resulting in a density of 1.65 units per acre, consistent with

the R-1 zoning district provisions. Proposed lot sizes and widths are consistent with the standards provided in the R-3 district, hence the proposed rezoning.

Planning staff has recommended approval of the proposed rezoning to R-3 with a PRO as the plan meets the intended master plan density and the objective to maintain low density development and natural features preservation patterns in this area of the City. A PRO requires the applicant propose a public benefit that is above and beyond the activities that would occur as a result of the normal development of the property. The applicant has proposed the following benefits: housing style and size upgrade as demonstrated by the included renderings and similar to what is being constructed to the north; increased frontage open space, 28% open space on the site, dedication of rights-of-way and an off-site sidewalk connection along Beck Road. The applicant has also offered to preserve the remaining on-site natural features with a conservation easement. Ordinance deviations have been requested by the applicant for inclusion in the PRO Agreement for the following items: Lack of berm along the church property line, lack of paved eyebrows and missing pathway connections to Ten Mile Road and to the adjacent Andover Pointe No. 2. Staff supports the waiver of the berm surrounding the church property and the lack of paved eyebrows. Staff does not support the missing pathway connections for the reasons noted in the engineering review letter. The applicant has proposed a creative solution in response to the concerns of residents in the adjacent developments to the west and south for an increased rear yard setback for the proposed homes. The sketch shows an altered building footprint that would increase the rear yard setback but require a five foot deviation for the front yard setback and the aggregate setback of the two side yards. This would only apply to those lots bordering the existing residential developments. Staff supports these deviations. All reviews recommend approval of the concept plan noting items to be addressed on the Preliminary Site Plan submittal. The Planning Commission is asked to make a recommendation on the proposed rezoning with PRO this evening.

Chair Pehrson asked the applicant to come to the front and address the board.

Howard Fingerroot, managing partner with Pinnacle Homes stood before the board. He stated that he wanted to do a review of what they were proposing at Valencia South. The process was started in May of last year and they have had discussions with neighbors and listened to what they had to say. He thinks they have been able to put together a very nice plan. By way of background, Pinnacle Homes has built four communities, making this project the fifth since 2009. In 2009 they bought a project called Provincial Glades. It was a 70 unit development and they completed the development along with the last 67 homes. A few years later they did a smaller project on Eight Mile called Normandy Hills. It was started by another company and they came in, finished the development and built about 12 homes. Two years ago, they started Andelina Ridge at Napier Road and Twelve Mile Road, which is currently under construction. They paved Twelve Mile in front of their site and put together a nice landscape package including the entry way and walls which is being well received. Across the street from the proposed Valencia South is Valencia Estates which was 38 home sites. They have a lot of experience in the City of Novi, they work well with the staff and have lived up to all of the requests and obligations they have made. Before discussing Valencia South, he brought some elevations of homes to show the board to give them an idea of what these homes would look like. The samples are upgraded in elevation, size and materials and range from approximately 2,800 to 4,000 square feet. These are homes they have built in Novi over the last few years with a variety of elevations. He stated that Novi has an ordinance called Similar-Dissimilar which no other city has. When builders come to Novi, it is difficult because you have to look through the entire neighborhood. He appreciates it because it has resulted in them doing a variety of elevations which they have also been able to use in other communities. Ultimately, it has been a positive process. The samples he brought with

him today will be used to a limited degree in the Valencia South development. He also brought pictures with him of other homes they have built in Novi.

The plan for Valencia South is to build 66 luxury home sites as a PRO. The PRO is a good way to develop this site. There are two boulevard entrances off Beck Road with sidewalks throughout, open space (approximately 28%) and a park in the middle. From a planning and environmental perspective, they feel the open space is a good benefit. They have increased the greenbelt primarily along Ten Mile Road and there is a lot of landscaping to make it appealing for the traffic driving back and forth. On the north corner, they took away the concern of having it rezoned, which is also an added benefit. They bought the corner and 70% of it will be left untouched, or they will have additional trees planted in that area so it will be nice for the community. In regards to the rear yard setback, they met last summer with the neighbors. They requested that the homes be pushed back further from theirs. The rear yard setback required is 35 feet and they requested it to be 50 feet. Mr. Fingerroot provided a photo slide to show the potential changes they were going to make to provide a larger rear yard and be able to accommodate the neighbors. The other issue to be addressed is the two paths which were not shown in the site plan. One of the paths would go to the property to the south where there is an existing home, which he was not sure if it would be beneficial to anyone, but if the board wants them to install it they will. The second path goes to the north to Ten Mile Road and goes between two homes. He prefers not to put paths between homes because the people that buy those homes typically do not like people walking within 10 or 15 feet of their house. Again, if the board would like them to install it, they will.

Chair Pehrson opened the case to public hearing and asked anyone that wished to speak to address the board.

John Kuenzel, 23819 Heartwood, President of the Echo Valley Homeowners Association stood before the board. He is concerned about another community being developed next to them. He listed who would be affected and who would gain from Valencia South. Even with a 50' rear setback, the new homes would be very close to their properties and the space would be denuded of trees and wildlife. He is requesting a conservation easement bordering the neighboring subdivisions to be a part of the new development plan. If this easement is not a requirement for the design, the association will be challenging the proposed zoning change request from R-1 to R-3.

Gerald Harris, 23918 Forest Park Drive East, expressed his feelings against the proposal. This is the fourth attempt to make this development. He agrees that they wanted a greater rear setback behind the new homes and the attempt to accommodate from the developer is the only one that they will receive. He does not believe that that developer is complying with R-1 zoning requirements. In addition, there will be 2100 trees removed and only 481 trees will be replaced, resulting in a 78% loss. He is concerned about the loss of the specimen trees which are not accounted for in the tree replacement.

Michelle Brower, 47992 Andover Drive, stated that her house would be where the first path described would end if one was to be required. If Valencia South were already built when they were purchasing a home last summer, they would not have purchased the home that they did because they wanted a home in a less dense area. She feels that selling their home in the future will make it less marketable if R-3 zoned homes are surrounding their R-1 zoned home.

Chris Brower, 47992 Andover Driver, stated that he is against the rezoning. It is not consistent with the look and feel of the surrounding area and does not feel it is in the public's best interest. With

all the trees that would be removed to build the development, only 20% will be replaced. Based on the location of their home, there will be three homes built adjacent to his home, equivalent to his lot.

Jimmy McGuire, 48028 Andover Drive, stated that he has objections to the proposal. He does not think that he and the others in his community would gain anything from the rezoning. The only benefit the city would gain is the tax revenue. He likes the existing wooded buffer which is part of the reason why he chose to purchase a home on Andover Drive 20 years ago.

Bruce Flaherty, 48048 Andover Drive, stated that prior to purchasing his home, he spoke to someone at the city and asked about the possibility of the land going up for rezoning, and was told that it was R-1 and would stay R-1 based on the amount of existing wetlands and woodlands. The community and residents will not benefit and the impact on their property taxes will be substantial.

Marti Anderson, 48360 Burntwood Court, President of Andover Pointe No. 1, was present to represent Andover Pointe No. 1 and No. 2. She has a lot of wooded area behind her home which was a major reason as to why she purchased it. If there was a preserve, she thinks that people will be more receptive. Out of the 39 residents in Andover Pointe 1 and 2, 18 people reached out to her regarding the rezoning stating they wanted to fight it. Traffic is a problem at 10 Mile Road and Beck Road and at Grand River Avenue and Beck Road. They are also concerned about the water table rising since they have wells and septic systems.

Stacey Rose, 23940 Forest Park Drive, says that he has a ranch home and having an R-3 dense subdivision behind him will cause these large homes to be looking down onto his yard. He is strongly against the rezoning.

Chair Pehrson asked the board if there was any correspondence.

Member Greco stated that there is a lot of correspondence. He will read them in two groups, those in support and those that object to the rezoning. He started with those in support of the rezoning.

Reverend Timothy S. White of Oakland Baptist Church, 23893 Beck Road, thinks the addition to more homes and families to the area will bring good change to the community. Jacqueline Bakewell, 42750 Grand River Ave, is happy to see that the number of units proposed is what is permitted under R-1 zoning. If there is no additional impact on traffic and utilities she thinks it will be a positive development. Dan and Mona Poinsett, 23937 Beck Road, are in support because it is the exact same number of units allowed under R-1 zoning. The large open space at the corner of 10 Mile Road and Beck Road will be a good asset. Patricia Heath, 23445 Beck Road, thinks it will be beneficial to Novi. Kimberly Lochos, 42750 Grand River Ave, is in support. She likes the open spaces left at the corner of Ten Mile Road and Beck Road. Dr. Michael and Denise Balon, 47825 W Ten Mile Road, is in support of the development which includes their home and the six acres. They have reviewed the site plan and think the development is a good idea for the area. Krishna Baddam, 24266 Warrington Court, is in support. Jerry and Margo Smith, 23962 Forest Park Drive, are in support if the developer adheres to the 50 foot setback to the west four lots 43-46. Virginia A. Klaserner, 23973 Beck Road, thinks the development would be good for the city. Houston J. Taylor, 47665 W Ten Mile Road, is in support because of the same number of units, reduced lot size and because Novi will get more tax dollars.

Member Greco read the letters from those that are opposed to the development.

- William F. and Sally McInnes, 23830 Forest Park Drive, think the builder is interested in acquiring the R-3 zoning to allow a greater number of homes on smaller lots.
- Patricia Dominick, 47940 Cedarwood Drive, thinks the land should stay zoned R-1 as planned.
- Jeffrey Almoney, 47955 Andover Drive, thinks too many trees will be removed and the boundaries shown overlap Andover Drive properties. He says they need more green space and wetlands need to be preserved.
- Denise Edwards, 23880 Forest Park Drive, says there is already too much congestion. Traffic will be even worse with 66 more residents.
- Wonho Son, 47552 Valencia Circle, says there is already too much traffic at Beck Road.
- Thomas Jones, 47991 Andover Drive, says that the development only benefits Valencia South. There will be a decrease in property values for surrounding homes along with a loss of green space, environmental issues and an increase in traffic.
- Charles and Bonnie Threet, 47911 W Ten Mile Road, are in objection due to congestion and traffic accidents which are already a problem.
- John Nicholson, 47350 Baker Street, objects because traffic is already a problem. He does not want to see a decrease in wildlife.
- Maria Muzzin, 23966 Heartwood Drive, says that large homes backing up to her property will cause loss of property and loss of quality of life.
- James and Lucy McGuire stated that the development will decrease property values, increase traffic, loss of privacy, loss of greenspace, impact wildlife and environmental issues. Andover Pointe 1 and 2 were told by builders that nothing could ever be built on that property due to drainage issues.
- George Mahan, 47961 Cedarwood Court, thinks there will be too many homes in a small area and it will obstruct the nature of the landscape growth.
- Gerald & Susan Harris, think the change and rezoning is excessive. They have issues with the tree removal and replacement proposal. The proposed public open spaces would not be public or open for the citizens.
- Michelle Brower wrote that the proposed development is inconsistent with the city plan, there will be a loss of trees and increased traffic congestion. There was also a letter submitted from
- Chris and Michelle Brower outlining the statements they made at the meeting.
- Stacey & Kathy Rose, 23940 Forest Park Drive, state that the R-1 density around their home was a considered when they purchased their home. The proposed 50 foot setbacks do little to ease the change in density and the large homes would tower over the smaller homes of Echo Valley Subdivision.
- Debra Nikutta objects because of the increase in traffic and potential drainage issues.
- Barry Buha, 48035 Andover Drive, thinks that the number of homes proposed is too dense for the property and will result in a loss of privacy.
- Stacey Gleeson, 23819 Forest Park Drive, thinks the area is already too crowded, the roads are congested, wildlife will be impacted and zoning does not conform for that area.
- Kevin Nikutta, 23714 Forest Park Drive, believes the increased density will cause more traffic, reduced privacy and potential drainage issues. The development will be out of character with the surrounding area.
- Bruce and Mary Flaherty, 48048 Andover Drive, believe there will be an impact on the environment and there is no benefit to the community.
- Marti Anderson, 48360 Burntwood Court, does not believe the development will benefit the current residents and there are concerns on the impact of the wildlife.
- Bruce Bergeson at 48299 Burntwood Court, Laura Yokie at 47700 Edinborough Lane, Robert Gasparotto at 48320 Burntwood Court, Dan Brudzynski at 47699 Edinborough,

Harry Nutile at 48227 Andover Drive and Kelly Esper at 48051 Andover Drive, are all in objection because there is no benefit to the abutting subdivisions and they are concerned about environmental issues, wildlife impact, water table change, increased traffic, loss of privacy and greenspace.

- Mr. and Mrs. Krupic at 48076 Andover Drive, state that the 50 foot setback does not provide privacy and believes it will impact their septic system and existing well, along with increased traffic, loss of wildlife and other listed concerns.
- Daniel Carlson, 48340 Burntwood Court, thinks the area of interest is already over-developed.
- Tim Ruffing at 23733 Heartwood Drive wrote that he was in objection.
- Mr. Kuenzel is objecting because the open spaces are not a natural transition between the new development and existing subdivisions, and it will cause more traffic problems, a loss of privacy and many other issues. He would like to see a conservation easement between the proposed and existing subdivisions along with the 50 foot rear setback requirement.
- Kristen Pietraz, 48380 Burntwood Court, does not see any benefit to the current abutting subdivisions. There will be an impact on wildlife, environmental and drainage issues, decreased property values and loss of privacy.

Chair Pehrson closed the public participation and opened the discussion to the Planning Commission.

Member Baratta asked City Attorney Dove if the public benefit for change of zoning needs to exclusively benefit the neighbors or the city as a whole.

Attorney Dove stated that a public benefit means the city in general, it is not exclusive to the neighbors.

Member Baratta asked Engineer Jeremy Miller if they have looked at water hookups, water table reduction and impact on septic systems in their studies.

Engineer Miller stated that it has not been reviewed entirely but the project would be connecting to the city water main and sanitary and it provides stubs to connect to in the future.

Member Baratta asked if the elevation has been reviewed in comparison to the elevation of surrounding neighborhoods.

Engineer Miller stated that it was detailed on the plans.

Member Baratta asked if someone could confirm that the density allowed in R-1 and R-3 is the same.

Planner Kapalanski stated that the proposal is consistent with R-1 zoning which is 1.65 units per acre. If it were an R-3 zoning district, more would be allowed, which is about 2.7 units per acre.

Member Baratta inquired about the drawing the developer brought in proposing elevations and a smaller garage and asked if it is consistent with city codes.

Planner Kapalanski stated that they would need the reduced setback for the front yard and side yards, otherwise it looks consistent.

Member Greco asked the petitioner if they considered installing an easement or tree line between the properties that abut the subdivision.

Mr. Fingerroot stated that the city has a strict tree ordinance. They are cutting down a lot of trees and will be replacing as many as possible on site. For those they cannot replace on site they can replace off-site or put towards a tree fund. They could put a conservation easement in the rear yard and plant some of the replacement trees in that easement. His concern was whether a conservation easement could be in someone's yard and what would happen if the homeowner were to cut one of the trees down. Another option would be to create the conservation easement and put it in favor of the homeowners association which would make them enforce the trees not to be cut down.

Member Greco stated he thought it would make more sense to have the homeowners association enforce it.

Mr. Fingerroot stated his engineer says there are a lot of drainage considerations. If trees were to be placed in a conservation easement, they may not be placed every 15 feet because of the topography and where the storm sewer is located.

Member Greco asked the staff that with the increased setback from the neighboring properties, if it was left R-1 and someone was coming in with an R-1 project, would it be safe to say that a bigger home on a bigger lot with smaller setbacks, could be imposed on the existing subdivisions?

Planner Kapalanski confirmed that the R-1 district does not require a 50 foot rear yard setback, only 35 feet is required. She also stated that in regards to side entry garages, they are encouraged by the ordinance but are not required.

Member Greco asked the staff if they reviewed and considered the pathways the developer was willing to install and whether it was a requirement. He is generally in favor of pathways but was unsure about the proposed pathways for this particular project.

Engineer Miller stated that a pathway ordinance passed in December 2014 to encourage more pathways and connections to existing and future city facilities and between neighborhoods.

Member Anthony asked the environmental consultants if someone were to come in with an R-1 development for this area, if the state has a process for the wetlands to become buildable.

Matt Carmer, ECT Consultant, stated that the wetlands are not regulated by the State of Michigan due to their small size, but they are regulated under the Novi ordinance.

Member Anthony said that this is a key point that he wanted everyone to be aware of. He stated that more wetland areas and green space will be preserved with the proposed configuration. The corner space that residents were concerned about becoming commercial would no longer be an issue. He asked the applicant if the 50 foot setback would apply to both the southern and western lots along with confirming the tree replacement program being for both the southern and western lots.

The applicant confirmed that the setback and tree replacement program would apply to both sets of lots.

Member Anthony expressed his support on the pathways being installed. The City of Novi is working to continue to create a non-motorized work plan, which ties the communities together and makes it a walkable, bicycle ride-able community. This is beneficial to raising young families.

Chair Pehrson asked the developer if he considered what the plan would look like if it were developed R-1.

Mr. Fingeroot stated that he thinks there would be lots that would back up to Ten Mile Road and the buffering would be different. With larger homes built in an R-1 district there would be a greater impact on the trees. The plan to rezone to R-3 is more environmentally sensitive. It would not affect the neighbors much differently.

Chair Pehrson asked the applicant if the smaller side setbacks may generate a more dense appearance to the neighborhood.

The applicant stated he did not think it would. He believes it would appear denser if the homes were built 65 feet wide as opposed to the proposed 55 feet wide.

Chair Pehrson asked the other board members if they could require the smaller homes to be in a certain area of the subdivision instead of mixed in with the larger homes.

The applicant explained that there would be no visual change if a 2,800 square foot home were next to a 4,000 square foot home because of how they maximize the width of the house.

Chair Pehrson stated that density is the main concern. Echo Valley has a density of 1.94. The proposed subdivision would have a density of 1.6. Looking across the street, there are homes abutting Ten Mile Road. He asked the applicant if he looked at the configuration to possibly mirror what already exists on Ten Mile Road. Homes would be moved to the north and further away from Andover Pointe. He also asked if he had considered removing the first three lots facing Beck Road and moving everything to the east furthering the buffer between the west and the south.

The applicant said they could not move the homes further east without changing the density.

Chair Pehrson stated that he understands that the developer wants to install as many homes as possible on the land. No matter what they decide, there is going to be someone that is not happy with the decision since it is interfering with the existing open land but the board is trying to re-plan the proposed development to make it accessible and comply with the public's requests. He asked the board if the Planning Commission were to suggest a conservation easement be added, do they prepare language to put in front of City Council or table a motion to allow the applicant to consider what was discussed in regards to the conservation easement and pathways?

Attorney Dovre confirmed that the Planning Commission can make recommendations for City Council or they could postpone consideration.

Chair Pehrson stated that he is in favor of the motion for the rezoning because the density is consistent with the best case scenario. He is asking the maker of the motion to consider a review of the configuration of the lots to potentially remove the three lots adjacent to Beck Road and consider moving everything to the north to mirror what is existing on the southeast side of the street. In regards to the number of trees being removed, he would like to see a sufficient number

of trees be replaced on the property or elsewhere in the city.

Planning Director McBeth stated that the wetland and woodland permit are reviewed in more detail at the time of preliminary site plan. If this goes to City Council and it is approved, it will go for an agreement then back to Planning Commission for the woodland and wetland permits.

Chair Pehrson stated that in regards to the paths, he wants staff to sit down with the applicant and determine what the best resolution is.

Mr. Fingerroot commented that he has reviewed the condition of the road pattern with staff multiple times. It is a complicated process and he believes they have come up with what they feel is the best road pattern taking the woodlands, wetlands and the geometry of the roads into account.

Chair Pehrson stated he doesn't know what the solution is or if this is the final product, but he wants them to review it as many more times as needed to see if they happen to think of additional ideas and to make sure nothing has been missed.

Member Baratta said when he originally saw the proposal, he initially thought the homes were close to the existing homes. He is concerned about the septic systems, wells and sewer systems and is interested in the idea of the buffer and tree lines being installed. He would like to see what the plan and engineering study would look like, along with the impact it would have on the adjacent properties before he would be prepared to make a motion.

Moved by Member Baratta and seconded by Member Zuchiewski:

In the matter of the request of Valencia South JSP13-75 with Zoning Map Amendment 18.706 motion to postpone consideration until the February 25, 2015 Planning Commission Meeting agenda in order for the applicant to consider and provide details on the following items:

- a. Elevation and drainage as they relate to adjacent properties;
- b. Impacts on adjacent properties' septic systems and wells;
- c. Applicant consideration of the creation of a conservation easement area bordering the existing developments to the south and west to be planted with woodland replacement plantings;
- d. Applicant consideration or further detail provided on the ability of the neighboring developments to the south and west to connect into the City sewer and water systems.

Mr. Fingerroot stated that in regards to the septic, they are connecting to city water and sewer. It will not affect the resident's wells or septic field when developing 200 feet away. He will be able to make the next meeting to go over the additional details.

Chair Pehrson asked the board if they had any additional comments or questions.

Member Giacometti asked for verification on the specific details that will be discussed at the next meeting.

Chair Pehrson stated that it relates to the neighbors and the buffer, the conservation easement and the trees installed.

Member Giacometti stated that he is not in agreement to table to motion since he is prepared

to make a motion.

ROLL CALL VOTE TO POSTPONE CONSIDERATION UNTIL THE FEBRUARY 25, 2015 MEETING APPROVAL MOTION MADE BY MEMBER BARATTA AND SECONDED BY MEMBER ZUCHIEWSKI:

In the matter of the request of Valencia South JSP13-75 with Zoning Map Amendment 18.706 motion to postpone consideration until the February 25, 2015 Planning Commission Meeting agenda in order for the applicant to consider and provide details on the following items:

- e. Elevation and drainage as they relate to adjacent properties;**
- f. Impacts on adjacent properties' septic systems and wells;**
- g. Applicant consideration of the creation of a conservation easement area bordering the existing developments to the south and west to be planted with woodland replacement plantings;**
- h. Applicant consideration or further detail provided on the ability of the neighboring developments to the south and west to connect into the City sewer and water systems.**

Motion carried 5-1.

MATTERS FOR CONSIDERATION

1. SUNBELT RENTAL BUILDING ADDITION JSP14-0068

Consideration at the request of Ideal Contracting for the approval of the Preliminary Site Plan. The subject property is located in Section 17, south of Grand River Avenue, east of Wixom Road and west of Beck Road in the I-2, General Industrial District. The applicant is proposing to expand the existing 10,353 SF construction equipment rental space by adding 6,250 SF three (3) bay pre-manufactured metal building addition for equipment repair and related parking and landscape improvement. The applicant is not proposing any storm water improvements on site.

Chair Pehrson asked the applicant to stand and address the board.

Kristofer Enlow from Enlow Engineering stated that he is the engineer on the job, and with him is Sam Gill from Ideal Contracting and Dean Cushman with Core Design Group. They are proposing an addition on the existing Sunbelt Rental building. The addition will be on the south side of the site and it is accurate that they are not proposing any storm water improvements. The addition is being placed over an existing parking area and an additional impervious surface is not being created.

Planner Sri Komaragiri stated that the subject property is approximately 5 acres and is located in section 17, south of Grand River Avenue, east of Wixom Road and west of Beck Road. The subject property is zoned I-2, General Industrial district. It is surrounded by I-2 zoning on the east, I-1 Light Industrial on the south and west and Community Business District on the north of Grand River Avenue. The Future Land Use map indicates Office Research Development and Technology uses for the subject property and the surrounding properties. There are no regulated wetlands or woodlands areas on the property. The applicant is proposing to expand the existing 10,353 sq. ft. Sunbelt construction equipment rental space by adding a 6,250 sq. ft. three bay pre-manufactured metal building addition for equipment repair along with required parking and landscaping. This is a permitted use in the I-2 district. The applicant has been actively working with the staff addressing the concerns with the initial and the revised submittals. Planning, engineering, traffic and fire reviews recommend approval for the current site plan with additional comments to be addressed during final submittal. The applicant has agreed to staff