



ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department
(248) 347-0415

Case No. PZ14-0037

Location: 25885 Strath Haven

Zoning District: RA, Residential Acreage District

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Section 2400 to allow construction of new single family homes with reduced front setbacks of 40 ft. (45 ft. required) and reduced rear setbacks of 37 ft. (50 ft. required) on existing non-conforming lots. The properties are located east of Beck Road and north of 10 Mile Road.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCES, Section 2400 requires that structures constructed within the RA zoning district have a minimum front yard setback of 45 ft. and a minimum rear setback of 50 ft.

City of Novi Staff Comments:

The petitioner is proposing to construct new single family detached homes on existing non-conforming lot with the RA zoning district. The lot area is significantly less than the current minimum of 1 acre at just over .27 acres. The petitioner is also requesting any approval remain valid for 18 months. Staff supports consideration of the request provided that substantial justice can be provided to the other property owners in the district.

Standards for Granting a Dimensional Variance:

A variance may be granted if a practical difficulty exists due to all of the following:

- There are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape, water, topography or similar physical conditions and the need for the variance is not due to the applicant's personal or economic difficulty because_____.
- The need is not self-created because_____.
- because_____.
- The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district because_____.
- The requested variance will not cause an adverse impact on surrounding property, property values or the use and enjoyment of the property in the neighborhood or zoning district because_____.



COMMUNITY DEVELOPMENT DEPARTMENT

PZ130048 - ACTION SUMMARY

PROJECT SUMMARY:

SETBACK VARIANCE FOR NEW SINGLE FAMILY HOME

APPLICANT/OWNER INFORMATION:

APPLICANT

BOSCO, PAUL & MARY
25805 BECK ROAD
NOVI MI 48374

OWNER

BOSCO, PAUL & MARY
25805 BECK ROAD
NOVI MI 48374

PROPERTY INFORMATION:

LOCATION/ADDRESS: 25885 STRATH HAVEN DR

PARCEL NUMBER: 50-22-21-101-029

ZONING DISTRICT: R-A

SUBDIVISION: PIONEER MEADOWS PH 1

LOT/UNIT #: 61

ACTION SUMMARY:

ZBA MEETING DATE: 09/10/2013

CASE NO. PZ13-0048 LOT 61 PIONEER MEADOWS SUBDIVISION

The applicant is requesting variances from the CITY OF NOVI, CODE OF ORDINANCES, Section 2400 to allow construction of new single family homes with reduced front setbacks of 40 ft. (45 ft. required), reduced rear setbacks of 40 ft. (50 ft. required) and reduced aggregate side yard setbacks of 30 ft. (50 ft. required) on existing non-conforming lots. The applicant is also requesting an exception from Section 3107 which requires issuance of building permits within 12 months of approval of variances. The request is to allow the variances to remain valid for issuance of building permits within 18 months of approval date. The properties are located east of Beck Road and north of 10 Mile Road in the RA Zoning District.

CITY OF NOVI, CODE OF ORDINANCES, Section 2400 requires that structures constructed within the RA zoning district have a minimum front yard setback of 45 ft., a minimum rear setback of 50 ft. and an aggregate side yard setback of 50 ft.

In CASE No. PZ13-0048 Motion to approve the variance requested as there are unique circumstances or physical conditions of the property such as narrowness, shallowness, shape and similar physical conditions and the need for the variance is not due to the applicant's personal or economic difficulty. The need is not self-created due to the size and zoning of the property. The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district. The requested variance is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

Motion carried: 4-0

Motion maker: Gerblick



COMMUNITY DEVELOPMENT DEPARTMENT

PZBA07-020 - ACTION SUMMARY

PROJECT SUMMARY:

Setback Variances for new single family home

APPLICANT/OWNER INFORMATION:

APPLICANT

BEECH BECK PROPERTIES LLC
18416 BEECH DALY ROAD
REDFORD MI 48240

OWNER

PROPERTY INFORMATION:

LOCATION/ADDRESS: 25885 STRATH HAVEN DR

PARCEL NUMBER: 50-22-21-101-029 **ZONING DISTRICT:** R-A

SUBDIVISION: PIONEER MEADOWS PH 1

LOT/UNIT #: 61

ACTION SUMMARY:

ZBA MEETING DATE: 05/08/2007

IN CASE NO.07-020 TO GRANT THE PETITIONER'S REQUEST FOR A FIVE (5) FOOT FRONT YARD SETBACK VARIANCE, A TEN (10) FOOT REAR YARD SETBACK VARIANCE FOR THE HOUSE WITH A NINE FOOT SEVEN INCH (9' 7") REAR YARD SETBACK FOR THE BAY WINDOW, A FIVE (5) FOOT MINIMUM SIDE YARD SETBACK VARIANCE AND A FIVE (5) FOOT AGGREGATE SETBACK VARIANCE FOR THE AGGREGATE OF BOTH SIDE YARDS DUE TO THE LOT CONFIGURATION.



cityofnovi.org
ZBA Case No.

ZONING BOARD OF APPEALS APPLICATION

CITY OF NOVI

Community Development Department

(248) 347-0415

For Official Use Only

P214-0037

ZBA meeting date

Sept

Check# _____ Include payment with cash or check written to "City of Novi"

TO BE COMPLETED BY APPLICANT - PLEASE PRINT

***Please submit one original full set of all documentation relevant to the appeal plus 14 additional complete sets.

Applicant's Name Charlene McHugh Date 7/30/14

Company (if applicable) _____

Address* 8181 Lake Crest Dr. City Ypsilanti

State MI Zip code 48197 *Where all case correspondence is to be mailed

Applicant's E-mail address charlenebabcockmd@gmail.com

Phone number 7342765136 Fax number 7344161905

Request is for:

Residential Vacant property Commercial Signage

Address of subject ZBA case 25885 Strath Haven (5022-21-202-029) lot 61 Zip code 48375

Cross roads of property BEck and Sierra

Sidwell number 50-22- 21-101-029 May be obtained from Assessing Department (248) 347-0485

Is the property within a Homeowner's Association jurisdiction? Yes No

Zoning (Please circle one) MH R-A R-1 R-2 R-3 R-4 RM-1 RM-2 I-1 I-2 RC TC TC-1 Other

Property owner name (if other than applicant) _____

Does your appeal result from a Notice of Violation or Citation issued? Yes No

Indicate Ordinance section(s) and variances requested:

- | | | | | |
|----|---------|-------------|--------------------|---|
| 1. | Section | <u>2400</u> | Variance requested | <u>rear setback extension of 3 feet</u> |
| 2. | Section | _____ | Variance requested | _____ |
| 3. | Section | _____ | Variance requested | _____ |
| 4. | Section | _____ | Variance requested | _____ |

Please submit an accurate, scaled drawing of the property showing:

- All property lines and dimensions correlated with the legal description.
- The location and dimensions of all existing and proposed structures and uses on property.
- Any roads, easements, drains, or waterways which traverse or abut the property and the lot area and setback.
- Dimensions necessary to show compliance with the regulations of this Ordinance.

State the practical difficulties which prevent conformance with the Zoning Ordinance requirements (attach separate sheet if necessary):

Variances currently available allow for a house 40 feet deep. Please see attached house drawing which currently is 43 feet deep. We are requesting an additional 3 feet less set back in rear setback. Current variance allows rear setback of 40 feet. WE respectfully request a rear setback of 37 feet.

Describe any unique circumstances regarding the property (i.e., shape, topography, etc.) which are not common to other properties in the area and which prevent strict compliance with the Zoning Ordinance:

WE also own the lot to the rear (Lot 13) , the only other lot this may affect.

There is a five (5) day hold period before work/action can be taken on variance approvals.

SIGN CASES ONLY:

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten (10) days** before the scheduled ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be the actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

City of Novi Ordinance, Section 3107. - Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one (1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one hundred and eighty (180) days unless such use is established within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one (1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

- Construct new home/building
- Accessory building
- Use
- Addition to existing home/building
- Signage
- Other


Applicants Signature

7/30/14
Date

Property Owners Signature

Date

DECISION ON APPEAL

_____ Granted

_____ Denied

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following items and conditions:

Chairperson, Zoning Board of Appeals

Date

Novi, MI

22-21-101-001;-002;-003,029



Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal



Author:
Date: 5/1/2013

0 95 190 380
Feet
1 inch = 188 feet

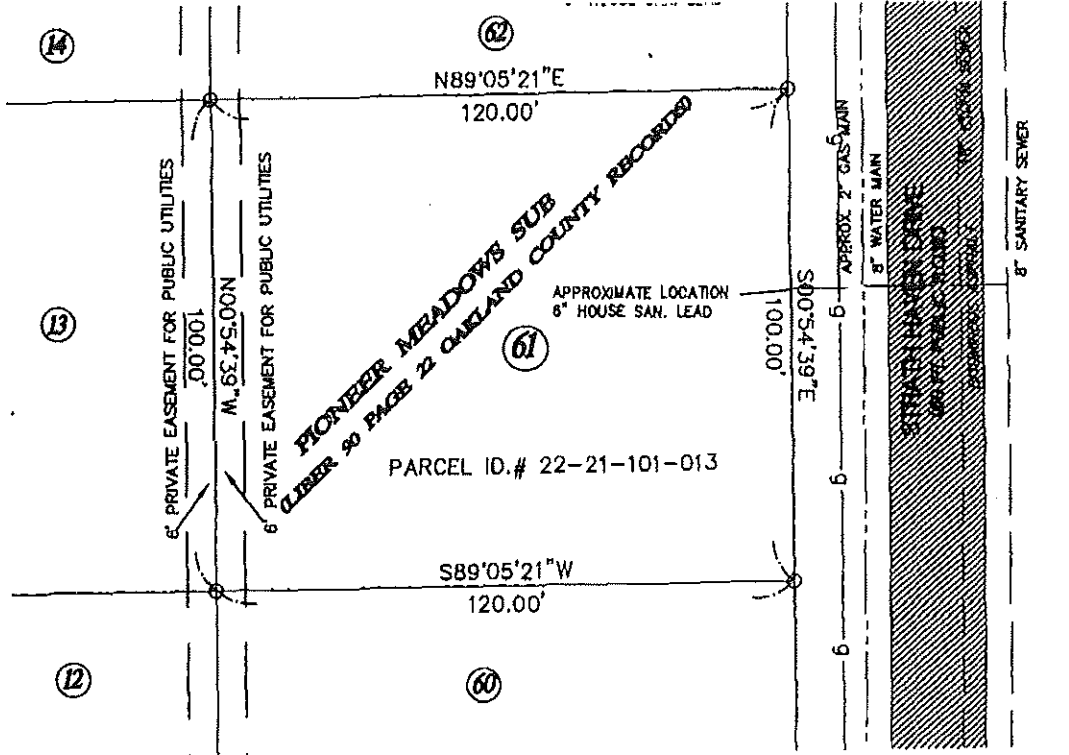
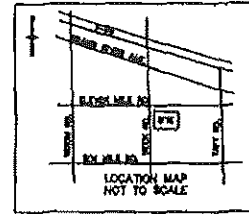
MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager for confirm source and accuracy information related to this map. This map was produced under the terms of the City's Internet Site Use Policy available at <http://cityofnovi.org/Resources/SiteUsePolicy.asp>



CERTIFIED SURVEY

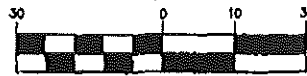
LEGAL DESCRIPTION:
 PART OF PARCEL ID. # 22-21-101-013
 LOT 61, PIONEER MEADOWS SUB., L. 97, P.22 O.C.R.
 SECTION 21, T.1N., R.8E., CITY OF NOVI,
 OAKLAND COUNTY, MICHIGAN
 VACANT LOT, ZONED R-A
 BEARINGS BASED ON PIONEER MEADOWS SUBDIVISION



LEGEND

- EAST CATCH BASIN
- EAST UTILITY POLE
- EAST HYDRANT
- EAST PINE TREE
- EAST SANITARY MANHOLE
- GAS LINE MARKER
- EAST GAS LINE
- PROPOSED SANITARY SEWER
- PROPOSED FABRIC BELT FENCE
- PROPOSED SOIL EROSION CONTROL DEVICE

GRAPHIC SCALE



(IN FEET)
 1 inch = 30 ft.

LEGEND

- FOUND IRON
- FOUND CONC. MONUMENT
- SET CAPPED IRON #24598

©2008 JCK & ASSOCIATES, INC.

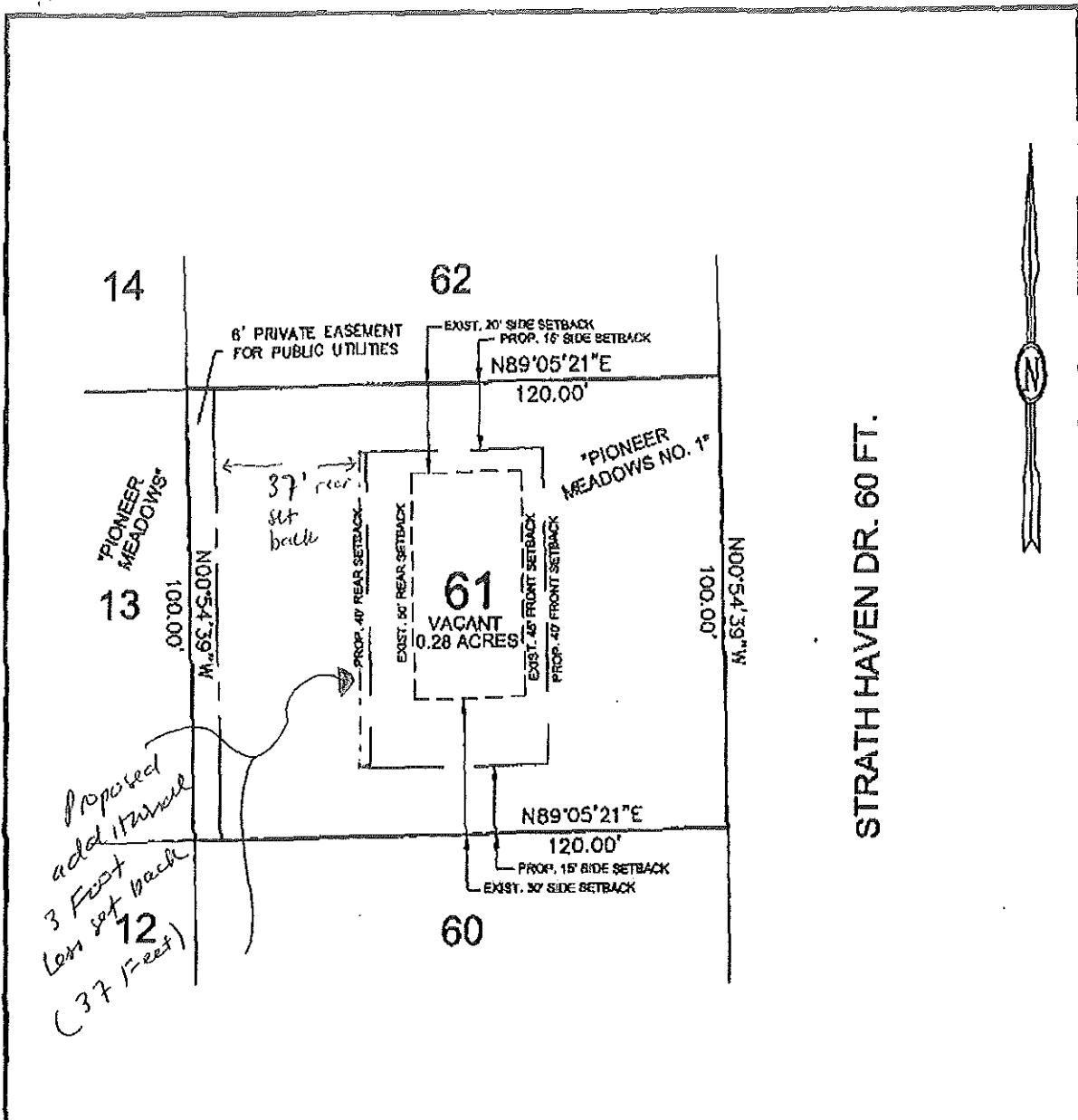
I, *Joseph C. Kappel*, Professional Surveyor No. 24698 hereby certify that I have surveyed the following described parcel of land in accordance with Act 132, P.A. 1970, that the ratio of closure is 1 IN 6800 and that such is within the present acceptable limits:

JCK
 & associates, inc.
 45650 GRAND RIVER AVE.
 P.O. BOX 759
 NOVI, MI. 48376
 PHONE (248) 348-2880

CERTIFIED SURVEY
 PART OF PARCEL ID.# 22-21-101-013
 LOT 61, PIONEER MEADOWS SUB.
 PART OF NW 1/4 SEC. 21, T1N. R8E.
 CITY OF NOVI, OAKLAND CO. MI.

Date	Drawn	Checked	Job No.
5-15-06	VCR	JCK	9623



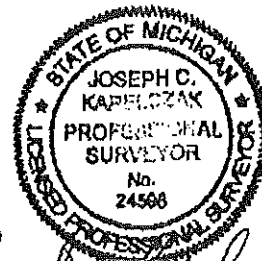


LEGAL DESCRIPTION PARCEL 22-21-101-029
 LOT 61 OF "PIONEER MEADOWS NO. 1" A SUBDIVISION OF PART OF THE NORTHWEST 1/4 OF SECTION 21,
 T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN AS RECORDED IN LIBER 87 OF PLATS, PAGE 22
 OAKLAND COUNTY RECORDS.

EXISTING R-A ZONING

SETBACK REQUIREMENTS

	EXISTING	PROPOSED
FRONT	45'	40'
SIDE	20' MIN - 50' AGG.	30' AGG.
REAR	50'	40'



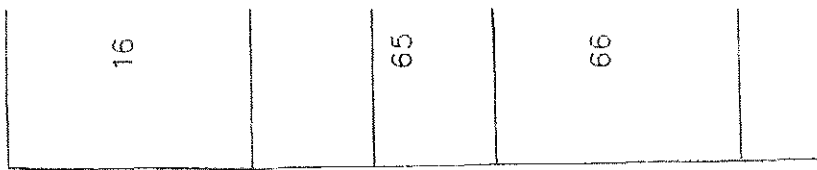
Joseph C. Kapelczak

GRAPHIC SCALE



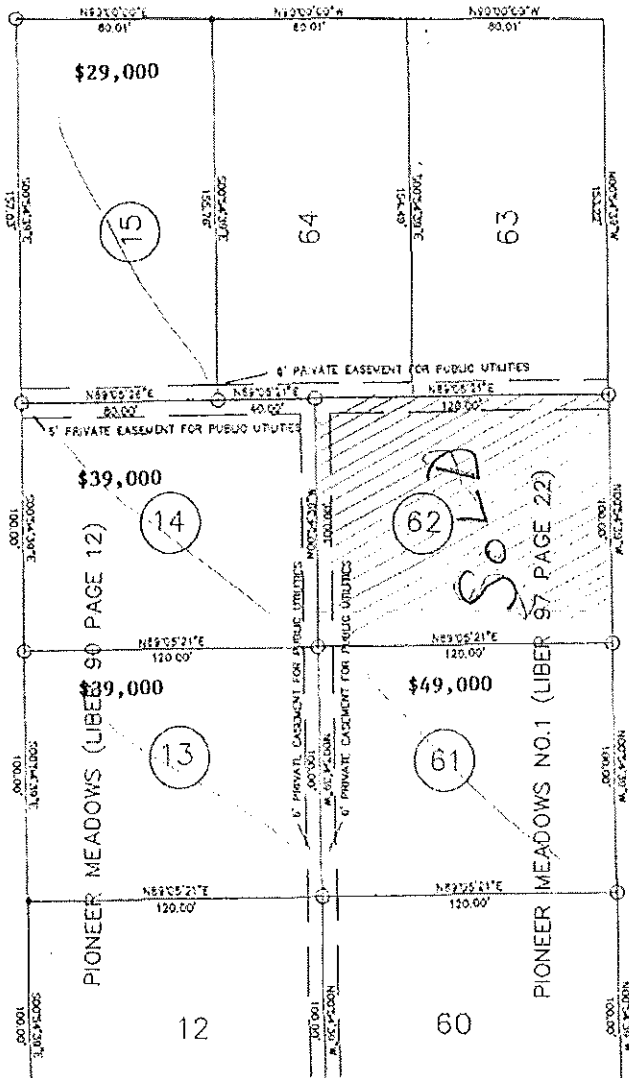
1 inch = 80 ft

Scale 1"=80' Date 7/28/13 Job No. 18178 Sht. No. 10/1	PIONEER MEADOWS SUBDIVISION CITY OF NOVI, MI	LOT 61 SETBACK VARIANCE				8815 RICHARDSON ROAD COMMERCE TWP., MI 48390 PHONE: 248-383-2550 FAX: 248-383-1648
			DATE	ISSUED FOR		



SIERRA DR. 60 FT.

WEST LINE OF SECTION 21
BECK RD. (60 FT. 1/2 RIGHT-OF-WAY)
PUBLIC STREET



STRATH HAVEN DR. 60 FT.

LEGEND

- FOUND IRON
- ⊙ FOUND CONC. MONUMENT
- SET CAPPED IRON #24598

© 2005 JCK & ASSOCIATES
Joseph C. Kapelczak Professional Surveyor No. 24598 hereby
 certify that I have surveyed the following described parcel of land in accordance
 with Act 132, P.A. 1976, that the ratio of closure is 1 BY 5000 and that
 such is within the present acceptable limits:

JCK
 & associates, inc.
 45650 GRAND RIVER AVE.
 P.O. BOX 759
 NOVI, MI 48376
 PHONE (248) 348-2680

STAKING LOT CORNERS
 LOT 13, 14, 15, 61 & 62
 PIONEER MEADOWS SUB.
 PART OF NW 1/4 SEC. 21, T1N. R8E.
 CITY OF NOVI, OAKLAND CO. MI.

Date	Drawn	Checked	Job No.
7-26-05	VCR	JCK	9623

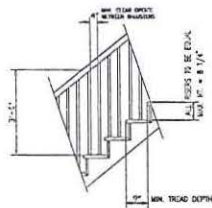


NOTE: BEDROOM DOORETS, ALL BRANCH CIRCUITS THAT SUPPLY LIGHTS, SHALL HAVE 15-AMP 20-MILLI AMPERE QUALITY, INCLUDING LIGHTS, RECEPTACLES AND SWITCHES, INSTALLED IN BEDROOMS SHALL BE PROTECTED BY A CIRCULATION TYPE AND-RATED CIRCUIT INTERRUPTER INSTALLED TO PROVIDE PROTECTION OF THE RATED BRANCH CIRCUIT PER M.E.C. SECTION 4302.11.

NOTE: SINKS AND OTHER SINKS
- SINKS AND OTHER SINKS AND WELLS ABOVE INTERIORS, WITH PROTECTIVE COVER IN PLACE, AND IN SINKS OR COMPARTMENTS SHALL BE FINISHED TO A FINISH SURFACE, SUCH AS GLEAM SURFACE, SHALL BE TO A FINISH OF NOT LESS THAN 6 INCH ABOVE THE FLOOR PER M.E.C. SECTION 4302.2.
- FLOOR-COVERING, FRESH-WATER REINFORCED CONCRETE, SHALL NOT EXCEED 1 1/2 INCHES THICKNESS IN COMPLIANCE WITH ASTM C109, CLASS C-17. FOR CLARITY, ACCURACY, AND INSTALLATION IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS SHALL BE USED AS BACKING FOR WALL TIE IN SUB AND JOISTER AREAS AND SHALL FINISH TO SINKER HEAD PER M.E.C. SECTION 702.4.2.

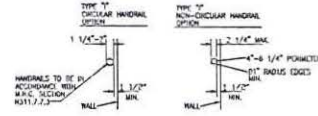
NOTE: BRACKETING SHALL BE IN ACCORDANCE WITH M.E.C. 4312 - REQUIRED CLASSED ON OPEN SCALES OF CHAIRING, INCLINED FLOOR AREAS, WALLS AND PARTS SHALL HAVE INTERSECTING WALLS OR CORNERHEADS, ELEVATIONS SHALL NOT ALLOW PROTRUSION OF A SPHERE 4 INCHES OR MORE IN DIAMETER.

STAIR NOTED:
ALL STAIRWAYS SHALL BE IN ACCORDANCE WITH M.E.C. SECTION 4312.
- STAIRWAY RISE SHALL BE 8 1/4"
- STAIRWAY TREAD DEPTH SHALL BE 11"
- RISES SHALL COMPLY WITH M.E.C. SECTION 4312.4.2
- TREAD WIDTH SHALL BE 10" AT A POINT 12" FROM THE EDGE, THE TREAD AND RISES AND MIN. WIDTH OF ANY TREAD SHALL NOT BE LESS THAN 11"
- MINIMUM HEADROOM SHALL NOT BE LESS THAN 80" MEAS. VERTICALLY FROM TREAD NOSTRUM UP FROM FLOOR SURFACE
- HANDRAILS AND GROUND SHALL BE CONSTRUCTED IN ACCORDANCE WITH M.E.C. SECTIONS 4311.7.2 & 4312
- HANDRAILS SHALL HAVE MINIMUM AND MAXIMUM HEIGHTS OF 34" AND 38" RESPECTIVELY

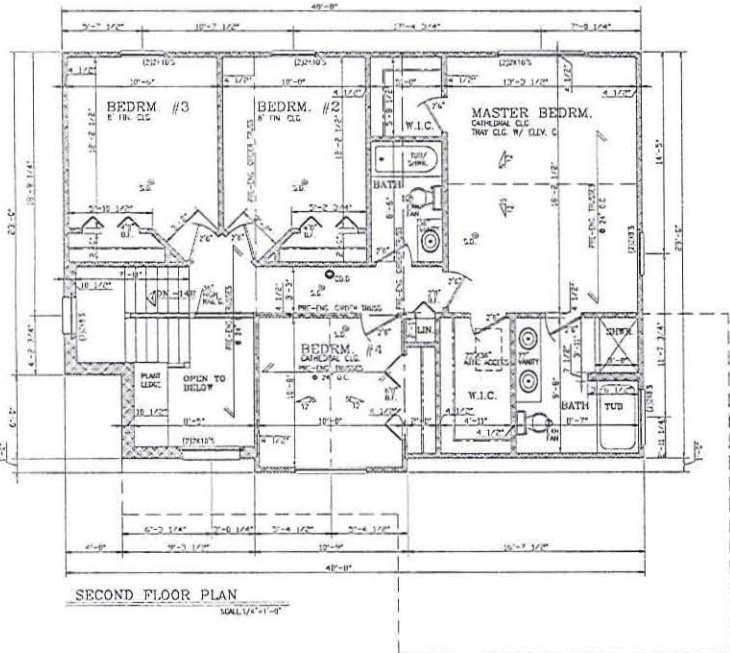


NOTE: UNDER-SOAR PROTECTION SHALL BE PROVIDED IN ACCORDANCE WITH M.E.C. SECTION 4302.2
ENCLOSURE ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS, UNDER-SOAR SURFACE AND ANY LIGHTS PROTECTED ON THE ENCLOSURE SIDE WITH 1/2" GYPSUM BOARD.

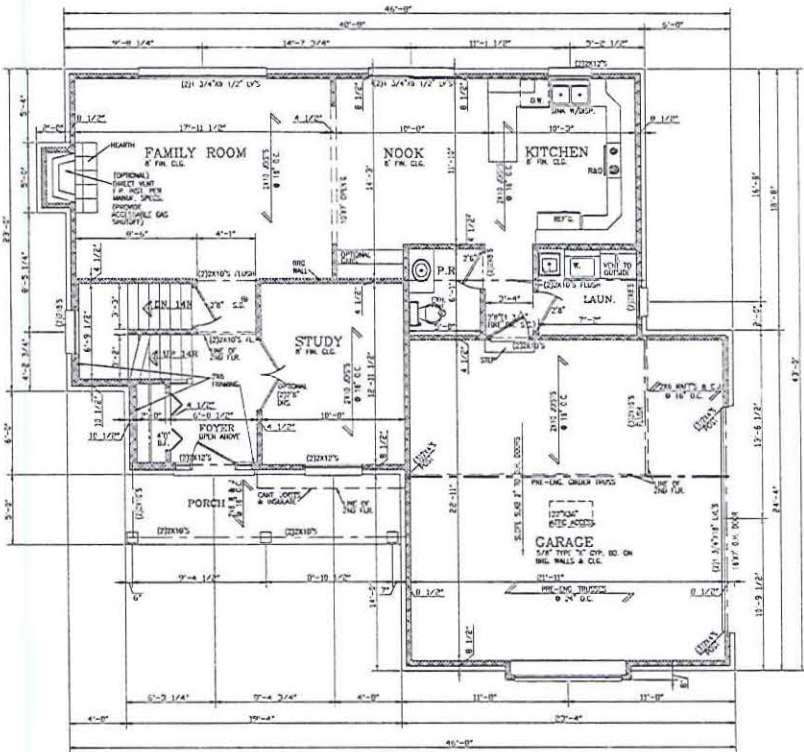
NOTE: TYPE "T" HANDRAILS WITH A POINTERS GREATER THAN 8 1/4" SHALL HAVE A GAUGED FINISH RECESS AREA ON BOTH SIDE OF THE PROFILE IN ACCORDANCE WITH M.E.C. SECTION 4311.7.3 (2).



STAIRWAY & HANDRAIL DETAIL



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

AREA	
FIRST FLOOR	995 SQ. FT.
SECOND FLOOR	1,075 SQ. FT.
LAUN.	255 SQ. FT.
POUCH	111 SQ. FT.
Garage	248 SQ. FT.

The Huron 2000 - Garage Right Elevation - A (Atley Lot #7)

DATE: 11/7/2013
DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES

DIMENSIONAL DESIGN INC.

CONTRACT NO. 2013-001
PROJECT NO. 2013-001

The Huron 2000

Triumph Building C, LLC
1540 W. 5th St. S.W.
Farmington, MN 55025

REVISION:

DATE: 11/7/2013
JOB NO: 2013-001
SHEET NO: 2
TOTAL SHEETS: 3

GENERAL NOTES

ALL CONSTRUCTION TO COMPLY WITH M.I.C. 2006, LOCAL BUILDING CODES AND COMPLIANCE, 2009 MICHIGAN UNIFORM ENERGY CODE.

ALL MANUFACTURED MATERIALS TO BE HANDLED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS UNLESS OTHERWISE NOTED BY THESE DOCUMENTS.

SOL BEARING CAPACITY ASSIGNED TO BE 2,500 P.S.F.

UNLESS NOTED OTHERWISE (H.A.D.) DIMENSIONS ARE FROM FINISH FACE TO FINISH FACE. NOMINAL DIMENSIONS DIMENSIONS ARE USED FOR INSULATION. INTERIOR FINISHES THICKNESS TO BE 1/2" (UNLESS NOTED OTHERWISE).

CONCRETE SHALL BE 3,000 P.S.F. AT 28 DAY TESTING.

ALL STRUCTURAL STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-36.

ALL CONCRETE BLOCK TO BE TYPE N-1, MORTAR SHALL BE TYPE "S". ALL BRICK SHALL BE SF GRAY, ASTM E-718 TYPE FWS. MORTAR SHALL BE TYPE "M". METAL TEES FOR BRICK VENEER SHALL BE CORROSION RESISTANT METAL OR GALVANIZED AND SHALL BE PLACED 1/2" O.C. EACH WAY.

WOOD FRAMING TO BE DONE IN ACCORDANCE TO NATIONAL LUMBER MANUFACTURERS ASSOCIATION RECOMMENDED PRACTICE FOR WOOD FRAMING.

ALL STRUCTURAL LAMBER JOISTS AND HEADERS TO BE MIN. #12026, IN REPEITIVE 1400 UNLESS OTHERWISE NOTED. SEE 14-1000.0200.

ALL STUDS TO BE STUD GRADE OR BETTER, F.S. MIN. #2S.

MEMBER END BEAMS SHALL HAVE AN 18x2400 P.S.F. AS WORK, BY "TRUSS JOIST CORP" OR EQUIV. AND SHALL BE FACED TOGETHER PER MANUF. SPECIFICATIONS.

ALL FLOOR FRAMING CONNECTIONS, JOIST & BEAM HANGERS, POST CAPS, FRAMING AND INTERIOR HEADERS TO BE "TOMSON STRONG 18" OR EQUIV.

TRUSS DESIGN, INSTALLATION AND BRACING SHALL BE PER TRUSS MANUFACTURER SHOP DRAWINGS AND SPECIFICATIONS.

PROVIDE CONTINUOUS ROWS OF BRACING AT FLOOR JOISTS @ 5'-0" O.C. MAX.

ALL SHIL PLANTS SHALL BE SECURED WITH ANCHOR BOLTS OF METAL ANCHOR STRAPS SET INTO CONCRETE @ 5'-0" O.C. MAX OR PER MANUF. SPECIFICATIONS.

ALL BUILT-UP WOOD JOISTS CONSISTING OF 2X12'S OR GREATER TO BE GLED AND SPACED TOGETHER.

DOUBLE FLOOR JOISTS UNDER ALL PARALLEL PARTITIONS.

PROVIDE SCREENED ROOF VENTILATION @ 1/300 OF THE TOTAL ENCLOSED AREA WITH 50% OF THE PROVIDED AREA IN THE UPPER 1/2 OF THE ROOF AND 50% IN THE LOWER 1/2 OF THE ROOF.

PROVIDE A 20" x 30" ATIC ACCESS TO ALL ATIC AREAS HAVING A CLEAR HEIGHT OF OVER 30".

PROVIDE EXHAUST FAN INSTALLATION TO ALL EXHAUST OUTLETS ADJACENT TO WATER SOURCES AS WELL AS ALL OTHER LOCATIONS FIELD BY CODE.

EXHAUST DUCTS TO BE INSULATED.

TRAP VENTILATORS TO BE INSTALLED IN ALL LINING UNITS IN ACCORDANCE WITH M.I.C. AND LOCAL BUILDING AUTHORITY, TO BE NIPED AND INTERCONNECTED WITH BUILTUP WOOD-UP.

CRACKS WITHIN 18" OF JOISTS SHALL BE INSTALLED IN ACCORDANCE WITH M.I.C. AND LOCAL BUILDING AUTHORITY. CRACKS SHALL BE INSTALLED OUTSIDE OF EACH SPAN, SLEEPING AREA IN THE MIDDLE VERTICAL OF THE SPAN. CRACKS SHALL BE INSTALLED AT CORNERS WITH 1/2" JOIST AND SHALL BE INSTALLED IN ACCORDANCE WITH M.I.C. AND LOCAL BUILDING AUTHORITY.

ALL SPACING 18" ON LETS A-F-F TO BE TYPED CODES AS WELL AS ALL OTHER SPECIFIED BY M.I.C. SECTION 3024.4 OR LATEST EDITION, LOCATIONS TO BE MARKED BY BRONZE MANUF.

WINDOWS IN SLEEPING AREAS TO MEET M.I.C. REQUIREMENTS FOR WEATHER PER SECTION 3020 OF LATEST EDITION, MINOR WIND TO VENT.

CONCRETE FANS TO BE WEATHERED EXTERIOR.

TYPE	AREA	ROOF AREA	ROOF VENTILATION (VENTIL. CHANG)
1/2" x 1/2"	100.0	100.0	100.0
1/2" x 1/2"	100.0	100.0	100.0
TOTAL	200.0	200.0	200.0

ALL WINDOWS AND WOOD BORED BY BOR INTO JOISTS, INTERIORS OR BEAMS SHALL COMPLY WITH M.I.C. SECTION 3021.1, P.3021.1.

WINDOWS SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE MEMBER, SHALL NOT BE LONGER THAN ONE-THIRD OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE DEPTH OF THE MEMBER.

HOLE SHALL NOT BE CLOSER THAN 2" TO THE TOP OR BOTTOM OF THE JOIST OR TO ANY OTHER HOLE OF HOLE LOCATED IN THE MEMBER. THE DIAMETER OF THE HOLE IN THE JOIST SHALL NOT EXCEED ONE-THIRD OF THE DEPTH OF THE MEMBER.

DOOR WEARBAR, DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE AT A MINIMUM HEIGHT OF 48" ABOVE THE FINISHED FLOOR.

DRAFTSTOPPING SHALL COMPLY WITH M.I.C. SECTION 3021.7.

DRAFTSTOPPING MATERIAL SHALL NOT BE LESS THAN 1/2" DENSITY BOARD, 3/4" PLYWOOD OR OTHER APPROVED MATERIALS ADEQUATELY SUPPORTED.

FIRESTOPPING SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED.

FLASHING SHALL COMPLY WITH M.I.C. SECTION 3023.2, 3023.

FIREBLOCKING NOTES

FIREBLOCKING SHALL COMPLY WITH M.I.C. SECTION 3021.1.

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A TOP STORY AND THE ROOF SPACE. FIREBLOCKING SHALL BE PROVIDED IN WOOD-FRAME CONSTRUCTION IN THE FOLLOWING LOCATIONS:

- IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS INCLUDING PURSED SPACES, AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:
 - VERTICALLY AT THE CEILING AND FLOOR LEVELS.
 - HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET.
- AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILING AND COVE CEILING.
- IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. CONCEALED SPACES UNDER STAIRS SHALL COMPLY WITH SECTION R302.7.
- AT OPENINGS AROUND VENTS, PIPES, AND DUCTS AT CEILING AND FLOOR LEVEL WITH AN APPROVED MATERIAL TO RESIST THE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
- FOR THE FIREBLOCKING OF CHIMNEYS AND FIREPLACES, SEE SECTION R1003.19.

FIREBLOCKING MATERIALS SHALL COMPLY WITH M.I.C. SECTION P302.1(1).

FIRESTOPPING SHALL NOT BE CONCEALED FROM VIEW UNTIL INSPECTED AND APPROVED.

UNFINISHED VENT AREA REQUIREMENTS

VENT AREA RATIO: 1/300

ATIC AREA = 1431 SQ. FT.

VENT AREA REQUIRED = 4.77 SQ. FT. @ 144-000 SQ. IN. (MIN.)

USE SOFFIT & JOIST BEG. = 244 SQ. IN. EACH (MIN.)

VENT AREA PROVIDED:

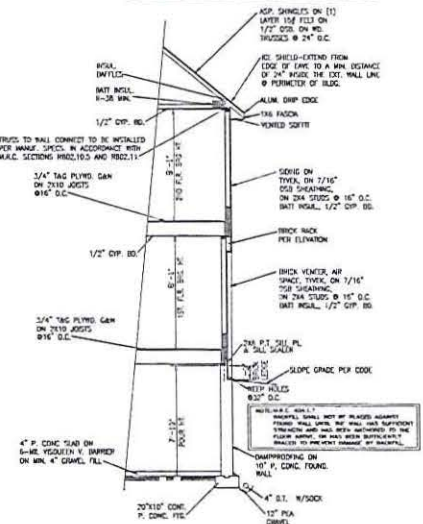
R. LOWER TYPE @ RISE @ 50 SQ. IN. PER VENT

TOTAL VENTING @ RISE = 480 SQ. IN.

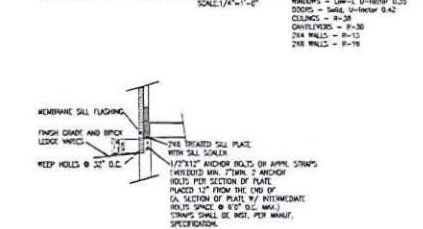
R. UPPER TYPE @ RISE @ 50 SQ. IN. PER VENT

TOTAL VENTING @ SOFFIT = 448 SQ. IN.

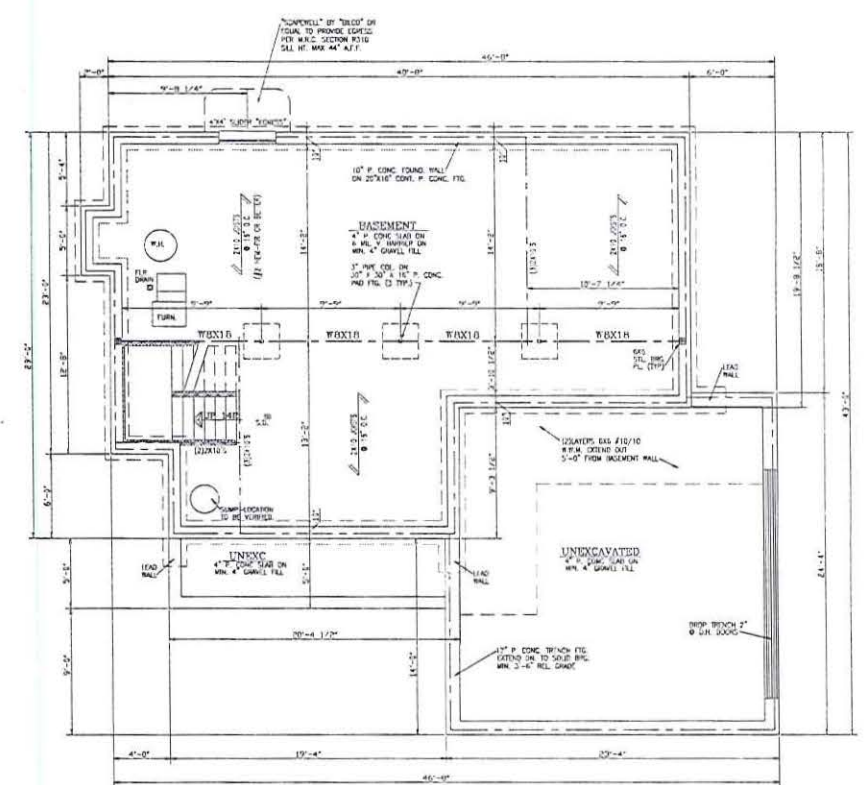
NOTE: VENT CLEARANCE, EDGE OF CORNER VENTS SHALL BE INSTALLED TO COMPLY WITH M.I.C. SECTION 3021.1. INSULATION SHALL NOT BE INSTALLED IN THE SPACE BETWEEN THE VENT AND THE ROOF SHEATHING AT THE LOCATION OF THE VENT.



TYPICAL WALL SECTION SCALE: 1/4\"/>

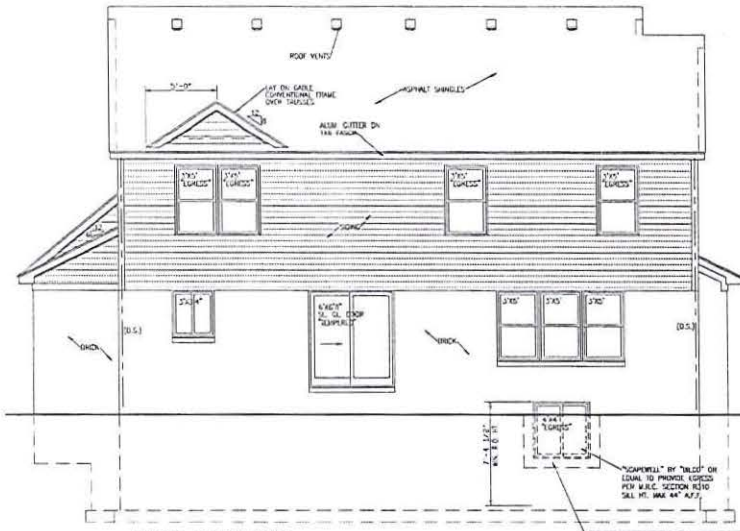


BRICK LEDGE DETAIL SCALE: 1/4\"/>



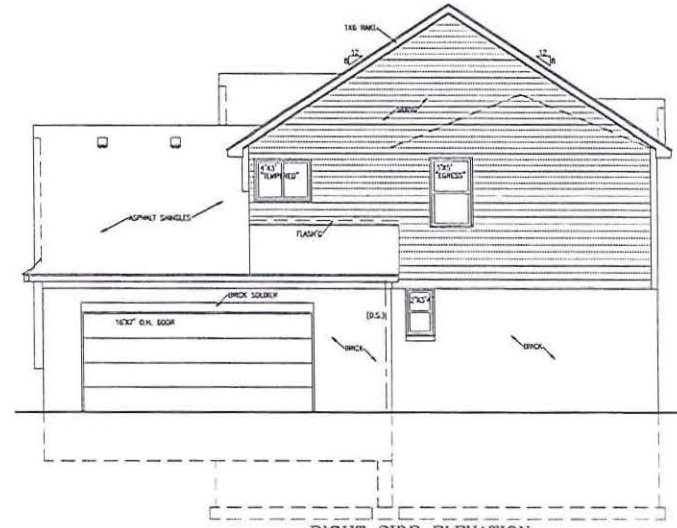
FOUNDATION PLAN SCALE: 1/4\"/>

3041 WOODLARK DRIVE, ANN ARBOR, MI 48106
 DIMENSIONAL DESIGN, INC.
 2019
 The Huron 2929
 Tappan Building C, LLC
 P.O. Box 9, Ann Arbor, MI 48106
 11/22/13
 22107
 1
 3
 The Huron 2000 - Garage Right, Elevation - A (Arley Lot #7)



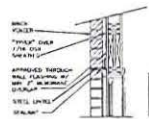
REAR ELEVATION

SCALE 1/4" = 1'-0"



RIGHT SIDE ELEVATION

SCALE 1/4" = 1'-0"



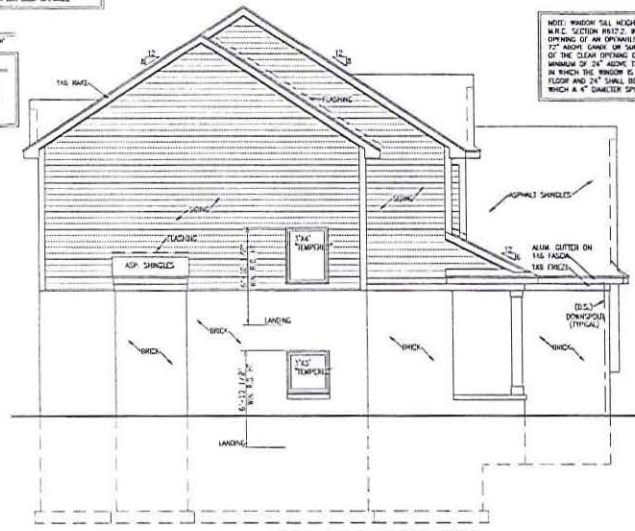
WINDOW FLASHING

NOTE: FLASHING AND WEATHER STRIP TO BE PROVIDED BY SUBCONTRACTOR. SEE SPEC. SECTION 05110.10 FOR DETAILS. ALL FLASHING TO BE INSTALLED AND PULL UP AT TOP OF ALL EXTERIOR WALLS AND CEILING OVERLAPS.

NOTE: WINDOW WILL BE SET WITH 1/2\"/>

STYLED LINTEL REQUIREMENTS

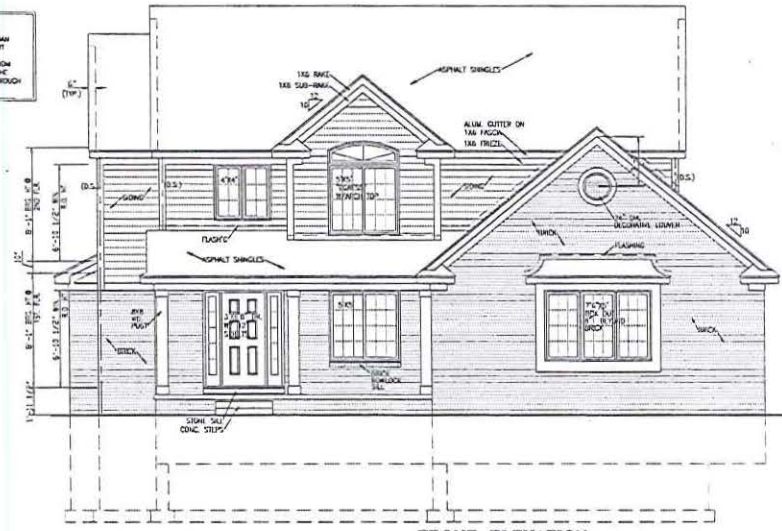
3" OPENING - 1/2\"/>
4" OPENING - 3/4\"/>
5" OPENING - 1\"/>
6" OPENING - 1 1/2\"/>
8\"/>



LEFT SIDE ELEVATION

SCALE 1/4" = 1'-0"

NOTE: WINDOW SILL HEIGHTS SHALL COMPLY WITH M.I.C.C. SECTION 05110.10. IN DETAILING SHEETS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12\"/>



FRONT ELEVATION

SCALE 1/4" = 1'-0"

The Huron 2000 - Garage Right Elevation - A (Arley Lot #7)

2024 AUGUST 28
PROJECT NO. 24-0000

DIVISIONAL
DESIGN INC.

2024
DIVISIONAL
DESIGN INC.

The Huron 2000

Triumph Building Co., LLC
222 N. W. 9th St. #3
P.O. Box 100000

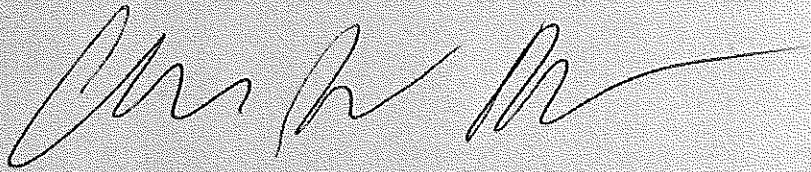
DATE
11/1/2015
BY
2024/08/28
C3

Dear Zoning Board of Novi,

Sept 16, 2014

After careful consideration, we respectfully withdraw our request for the 3 foot rear yard zoning variance for lot 61 of the Pioneer meadows subdivision.

Thank you very much,



Charlene McHugh

734 276 5136

RECEIVED

SEP 16 2014

CITY OF NOVI
COMMUNITY DEVELOPMENT