



IXL LEARNING CENTER OF NOVI JSP21-03

IXL LEARNING CENTER OF NOVI JSP21-03

Public Hearing at the request of IXL Learning Center for a request to amend the Planned Unit Development (PUD) Agreement & Area Plan for the Maples of Novi. The subject property contains 30.32 acres and is located in Section 2, on the south side of Fourteen Mile Road, east of Novi Road. The applicant is proposing to repurpose the entire clubhouse into an education center for children and will, at a minimum, maintain the existing golf course as open space.

Required Action

Recommend approval/Denial/Postpone the request to Amend the Planned Unit Development Agreement & Area Plan for the Maples of Novi.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval not recommended at this time	5-7-21	<ul style="list-style-type: none"> • A request for amendment has been made in writing to the Planning Commission and shall clearly state the reasons therefor, as required by the ordinance. If the Planning Commission finds such reasons and requests reasonable and valid, shall so notify the applicant in writing. • The request should be considered a major change to the PUD Agreement & Area Plan as the project proposes a change in use, character, and concept of the development and will be forwarded to the City Council for consideration. • The response letter provided by the applicant did not provide the requested additional information regarding how the open space will be used and maintained, draft PUD Amendment language, and any representations or documentation showing any agreements with the homeowner's associations on the use and maintenance of the golf course and clubhouse property. • A formal amendment document shall be provided with the next submittal. • Items to be addressed on the Preliminary Site Plan submittal
Engineering	Approval recommended	4-26-21	<ul style="list-style-type: none"> • Items to be addressed on the Preliminary Site Plan submittal
Landscaping	Approval recommended	4-26-21	<ul style="list-style-type: none"> • Items to be addressed on the Preliminary Site Plan submittal
Traffic	Approval recommended	4-26-21	<ul style="list-style-type: none"> • Items to be addressed on the Preliminary Site Plan submittal
Fire	Approval recommended	4-14-21	<ul style="list-style-type: none"> • Items to be addressed on the Preliminary Site Plan submittal

MOTION SHEET

Motion to Postpone the Recommendation on the Request to Amend the Maples of Novi PUD Agreement & Area Plan

In the matter of IXL Learning Center of Novi, JSP19-22, motion to **postpone** the request to amend the Maples of Novi Planned Unit Development Agreement and Area Plan to allow the applicant the opportunity to address the comments and concerns received at the Planning Commission's public hearing, and the remaining items that staff had requested.

-OR-

Recommendation for Approval as a Major Change to Amend the Maples of Novi PUD Agreement & Area Plan

In the matter of IXL Learning Center of Novi, JSP 21-03, motion to **recommend approval** to the City Council to amend the Maples of Novi Planned Unit Development Agreement and Area Plan as a **major change** based on and subject to the following:

- a. The requested amendment constitutes a **major change** to the PUD Agreement & Area Plan *because the modification proposed includes a change in use and character of the development as indicated by Article 27, Section 9, Subheading C, specifically, as a*
 - a. *Change in the concept of the development, since the applicant is changing the use from a golf course and clubhouse to open space and a learning center facility, and*
 - b. *Change in use and character of the development since the applicant is proposing a change in use from a golf course and clubhouse to open space and a learning center facility.*
- b. The application **does not constitute a minor change** as described in the ordinance to the PUD Agreement and Area plan *since it does not meet the following criteria: Modifications to be considered minor changes, for which approved plans may be revised rather than amended, shall include, among other similar modifications, the following:*
 - a. *A change in residential floor area;*
 - b. *A change in nonresidential floor area of five (5) percent or less;*
 - c. *Minor variations in layout which do not constitute major changes; and or*
 - d. *A change in lot coverage and FAR of the entire PUD of one (1) percent or less*
- c. The proposed use of the site as a learning center and open/green space is recommended for approval to the City Council as an amendment to the PUD Agreement and Area Plan as a reasonable alternative to the uses provided in the PUD Agreement and *because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.*
- d. Applicant shall comply with the findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Preliminary Site Plan; and
- e. (additional conditions here if any)

- OR -

Denial – Request to Amend the Maples of Novi PUD Agreement & Area Plan

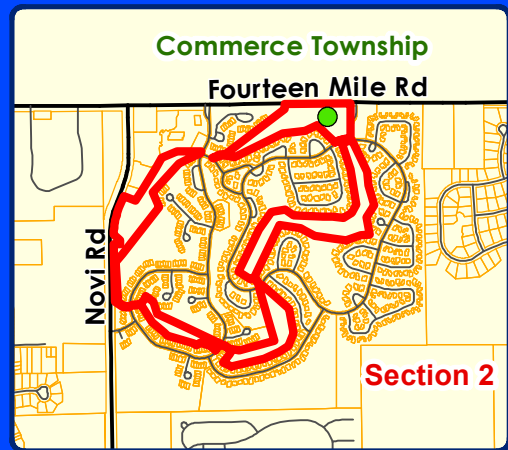
In the matter of IXL Learning Center of Novi, JSP19-22, motion to **recommend denial** to the City Council to amend the Maples of Novi Planned Unit Development Agreement and Area Plan as follows:

- a. The requested amendment constitutes a **major change** to the PUD Agreement & Area Plan *because the modification proposed includes a change in use and character of the development as indicated by Article 27, Section 9, Subheading C, specifically, as a*
 - i. *Change in the concept of the development, since the applicant is changing the use from a golf course and clubhouse to open space and a learning center facility, and*
 - ii. *Change in use and character of the development since the applicant is proposing a change in use from a golf course and clubhouse to open space and a learning center facility.*
- b. The application **does not constitute a minor change** as described in the ordinance to the PUD Agreement and Area plan *since it does not meet the following criteria: Modifications to be considered minor changes, for which approved plans may be revised rather than amended, shall include, among other similar modifications, the following:*
 - i. *A change in residential floor area;*
 - ii. *A change in nonresidential floor area of five (5) percent or less;*
 - iii. *Minor variations in layout which do not constitute major changes; and or*
 - iv. *A change in lot coverage and FAR of the entire PUD of one (1) percent or less*
- c. The Planning Commission recommends denial of the amendment to the PUD Agreement and Area Plan because:
 - i. *The request for amendment does not clearly state the reasons or conditions for the requested change, such as the following: changing social or economic conditions, potential improvements in layout or design features, unforeseen difficulties, or reasons mutually affecting the interests of the City and developer, such as technical causes, site conditions, state or Federal projects and installations, and statutory revisions.*
 - ii. *The Planning Commission is not able to make a finding such that the submitted reasons and requests reasonable and valid.*
 - iii. *The location, extent, and purpose of all common areas and facilities have not been clearly identified on the area plan, as the applicant's description as green space does not fully describe the intent of the reuse of the golf course.*


MAPS
Location
Zoning
Future Land Use
Natural Features


JSP21-03 IXL LEARNING CENTER OF NOVI

LOCATION



LEGEND

 Subject Property



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
Date: 6/4/21
Project: IXL LEARNING CENTER OF NOVI
Version #: 1

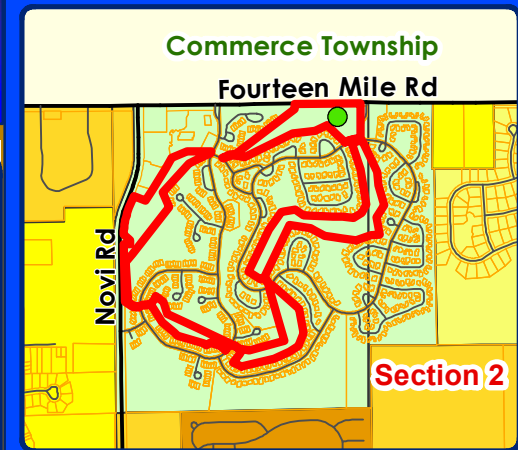
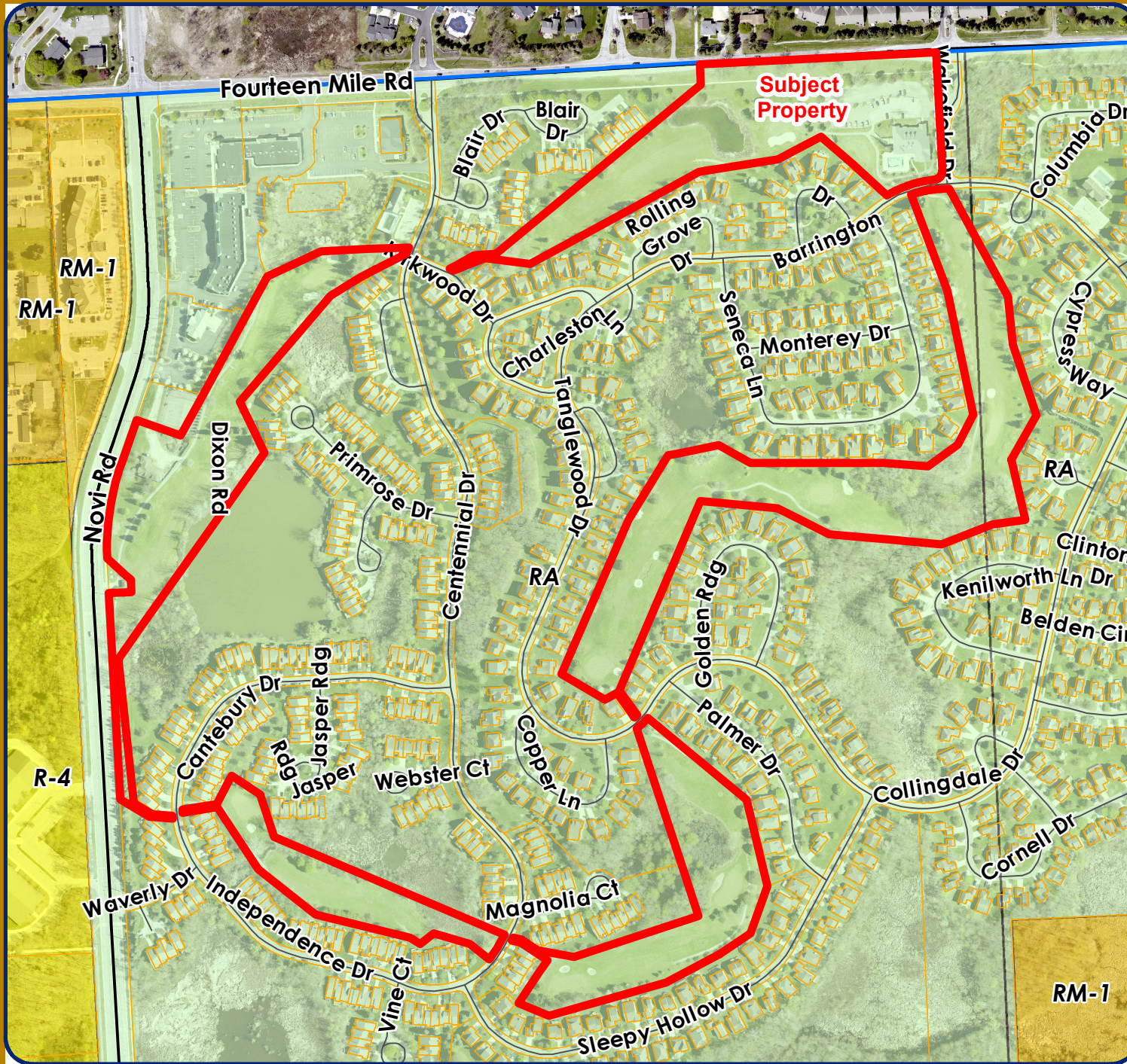
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1 inch = 420 feet

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP21-03 IXL LEARNING CENTER OF NOVI

ZONING



LEGEND

- R-A: Residential Acreage
- R-2: One-Family Residential
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- MH: Mobile Home District
- Subject Property

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 Dept. of Community Development
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 Novi, MI 48375
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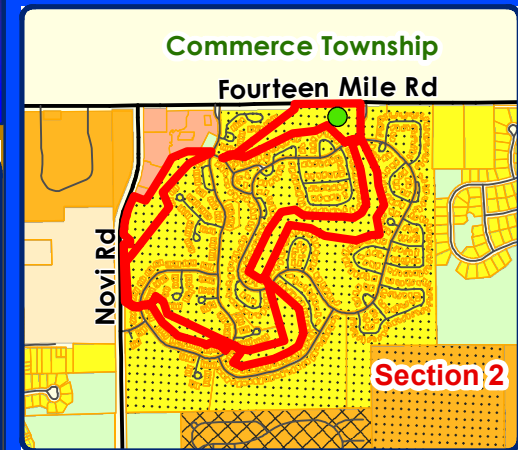
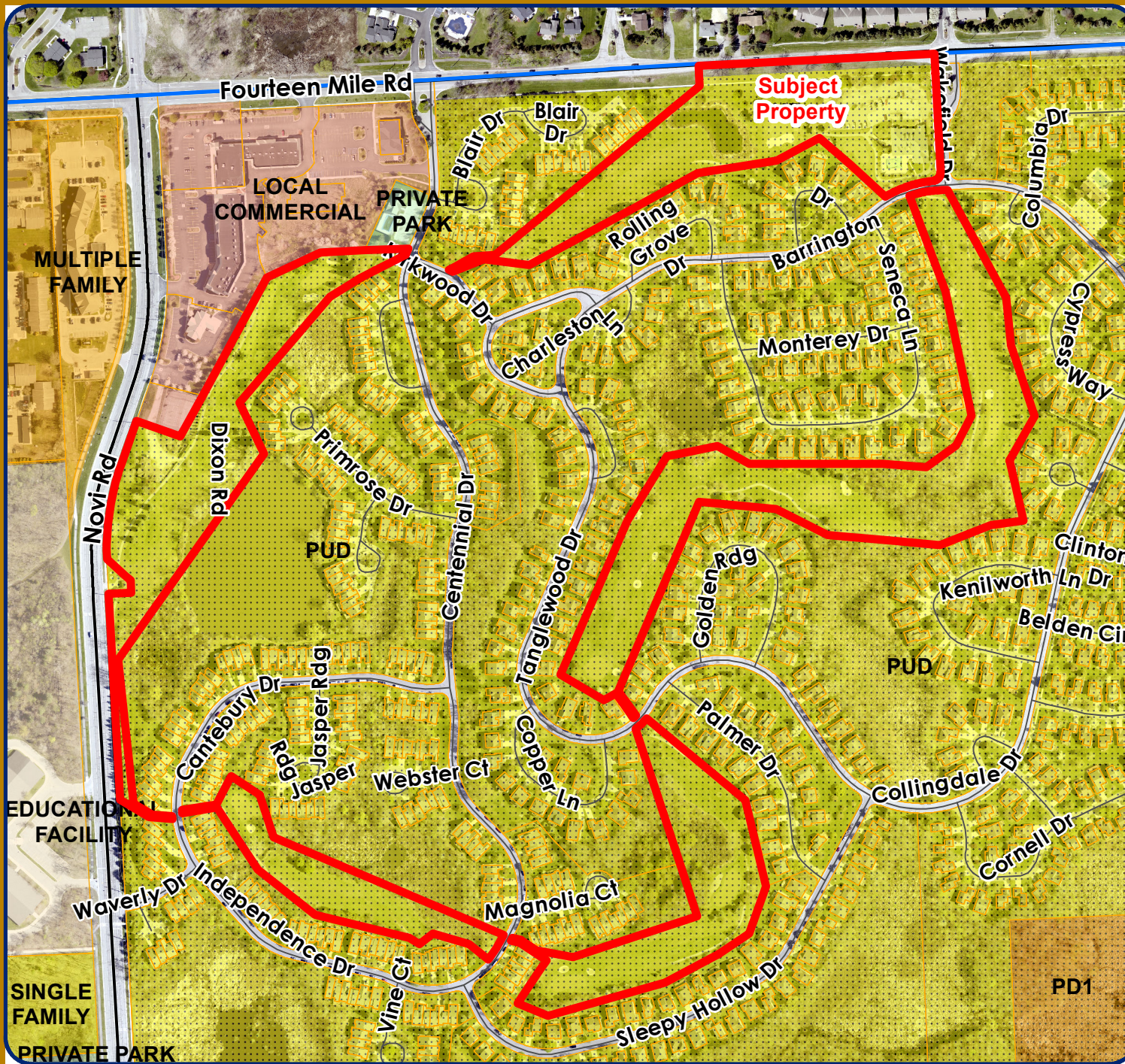
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JSP21-03 IXL LEARNING CENTER OF NOVI

FUTURE LAND USE



LEGEND

- Single Family
- PUD
- Multiple Family
- PD1
- Mobile Home Park
- Local Commercial
- Educational Facility
- Private Park
- Subject Property

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 Dept. of Community Development
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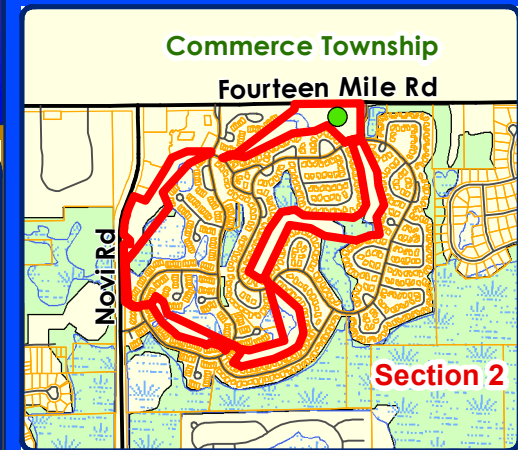
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JSP21-03 IXL LEARNING CENTER OF NOVI

NATURAL FEATURES



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property

City of Novi
Dept. of Community Development
City Hall / Civic Center
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

PLANNING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

Planning Review

IXL LEARNING CENTER OF NOVI

JSP 21-03

May 7, 2021

PETITIONER

IXL Learning Center

REVIEW TYPE

Request for Amendment to a Planned Unit Development (PUD)

PROPERTY CHARACTERISTICS

Section	2	
Site Location	East of Novi Road, South of Fourteen Mile Road; 22-02-200-039	
Site School District	Walled Lake Consolidated School District	
Current Site Zoning	RA: Residential Acreage (with PUD)	
Adjoining Zoning	North	R-2: Attached Residential, R-1B: One Family Residential, RM*: Multiple Family Residential (*conditional)(Commerce Township)
	East	RA: Residential Acreage (with PUD)
	West	RA: Residential Acreage (with PUD)
	South	RA: Residential Acreage (with PUD)
Current Site Use	Restaurant/Clubhouse	
Adjoining Uses	North	Residential
	East	Single-Family Residential
	West	Single-Family Residential, Commercial
	South	Single-Family Residential
Site Size	30.32 acres	
Plan Date	April 1, 2021	

PROJECT SUMMARY

The subject property, referred to as the Maples of Novi Golf Course and Clubhouse, is located east of Novi Road and south of Fourteen Mile Road in Section 2 of the City of Novi. The property totals approximately 30.32 acres and includes the current golf clubhouse, the current golf course, and the clubhouse pool. The applicant is proposing to repurpose the entire clubhouse into an education center for children. The proposed development will not impact any of the open space that is currently used as a golf course, but it will no longer have space for any type of clubhouse use associated with the golf course. The plan for this development indicates that the hours of operation will be from 7am to 6pm and will serve 67 children on a daily basis with the capacity to serve up to 210 children. Some improvements to the parking, landscape screening, and an outdoor play area are proposed with this development. The development will continue to be accessed off Wakefield Drive (private street) and is part of the Maples of Novi Planned Unit Development. The applicant is requesting an amendment the Maples of Novi Planned Unit Development (PUD) Agreement to seek the necessary approvals to allow this change in use.

SITE HISTORY

The Maples of Novi was developed in the early 1990s with the structure proposed for redevelopment becoming the clubhouse for the golf course and events. This use has continued to be in existence with the addition of a restaurant use ancillary to the primary use being introduced in the mid-2010s. The PUD Area Plan, which was originally approved on July 20, 1989, designates this parcel as part of Phase 1.

CONDITIONS OF REQUEST FOR PUD AMENDMENT

Although the City Council removed the Planned Unit Development Section of the Zoning Ordinance in 1997 (Ordinance 97-18), the ordinance remains in place to address any proposed changes to the existing PUDs within the City. Per Article 27, Section 9, "a developer may request an amendment to an approved area plan [...]." Also, "any amendment to an approved preliminary or final site plan which results in a major change in the approved area plan, as defined in this Section, shall require an amendment to the approved area plan." The procedure and conditions for requesting an amendment to the PUD is as follows:

- A request for amendment shall be made in writing to the Planning Commission and shall clearly state the reasons therefor.

The applicant has provided a written request for amendment with clearly stated reasoning. The reasoning provided by the applicant is listed below.

- "The proposed use would be less intense in terms of hours of operation, days of operation and no more intense than a bar/restaurant/banquet facility."

Staff agrees with the applicant that the proposed use of the site would be no more intense than the current use of the site. The hours of operation on a daily basis will be reduced and the site will be better screened to accommodate nearby residents.

- "The Area Plan, Paragraph 13, page 26, specifically provides that one of the approved uses is childcare. Therefore, childcare is an approved use in the existing PUD."

Staff notes that paragraph 13, page 26 of the PUD Area Plan refers to the commercial development portion of the PUD (at the corner of Fourteen Mile Road and Novi Road) and that childcare could potentially be considered an approved use within that specific area. However, childcare is not currently an approved use for this subject site.

- The Planning Commission, upon finding such reasons and requests reasonable and valid, shall so notify the applicant in writing.

The applicant shall present this item to the Planning Commission and has provided a narrative, which is included in this packet.

- The applicant has indicated that "none of the items included in the definition of major change are included in this PUD amendment request." Therefore, the applicant requests a minor change as defined as "minor variations in layout, which do not constitute major changes."

While staff agrees that there will only be minor impacts to the layout of the site, staff is of the opinion that this request should be considered a major change as it proposes a change in use and character of the development.

- If the approved plan is to be amended, the Planning Commission shall immediately notify City Council.

Following review by the Planning Commission, the amended plan shall go before the City Council.

MODIFICATIONS CONSIDERED TO BE MAJOR/MINOR

Per Article 27, Section 9, Subheading G, "the Planning Commission shall have the authority to determine whether a requested change is major or minor, in accordance with this Section." Listed below are the conditions that constitute an amendment to be considered major or minor:

- **Minor Amendment**
 - A change in residential floor area;
 - A change in nonresidential floor area of five (5) percent or less;
 - Minor variations in layout which do not constitute major changes; and or
 - A change in lot coverage and FAR of the entire PUD of one (1) percent or less
- **Major Amendment**
 - Change in concept of the development;
 - **Change in use or character of the development;**
 - Change in type of dwelling unit as identified on the approved area plan;
 - Change in the number of dwelling units;
 - Change in nonresidential floor area of over five (5) percent;
 - Change in lot coverage and FAR of the entire PUD of more than one (1) percent;
 - Rearrangement of lots, blocks, and building tracts;
 - Change in character or function of any street;
 - Reduction in land area set aside for common open space or the relocation of such area(s); or
 - Increase in building height.

RECOMMENDATION

Planning recommends approval of the Request to Amend the Maples of Novi Planned Unit Development Agreement & Area Plan as the request mostly conforms to the requirements of the Zoning Ordinance, and the proposed change in use from a clubhouse to a daycare center proposes a reasonable alternative to the existing building and parking lot, subject to a number of conditions, and with any deviations noted below. **Staff's reading of the ordinance is that the request would be considered a major amendment to the PUD given that it would change the use from a golf course clubhouse to a daycare center, and although there are only a few changes to the proposed site, it would change the character of the development, and the request shall be presented to the Planning Commission for review and recommendation to the City Council.** All reviewers recommend approval of the Request to Amend the Maples of Novi Planned Unit Development Agreement & Area Plan.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), Article 27 (Planned Unit Development) (Retracted – only applicable for this site since it is existing) and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal and any *italicized* items as part of the Preliminary Site Plan Submittal.

1. Uses Permitted (Sec. 3.1.1. & PUD Agreement): A child day care center is currently not a permitted use in the Maples of Novi PUD Area Plan for this site. **A minor or major amendment**

to the PUD Agreement & Area Plan shall be requested and approved by the Planning Commission and City Council to allow this proposed change in use.

a. The applicant is of the position that the requested change is a minor change for the following reasons:

i. "The Area Plan, Paragraph 13, page 26, specifically provides that one of the approved uses is childcare. Therefore, childcare is an approved use in the existing PUD."

Paragraph 13, page 26 of the PUD Area Plan refers to the commercial development portion of the PUD (at the corner of Fourteen Mile Road and Novi Road) and that childcare could potentially be considered an approved use within that specific area. However, childcare is not currently an approved use for this subject site.

ii. "None of the items included in the definition of major change are included in this PUD amendment request."

Staff is of the opinion that this request should be considered a major change as it proposes a change in use and character of the development.

iii. Section 2700.9.e defines "minor change" as "minor variations in layout which do not constitute major changes." No changes are requested with respect to the golf course, open space, wetland, or woodland. No change in size or dimensions of the use at this location as requested.

While staff agrees that there will only be minor impacts to the layout of the site, staff is still of the opinion that this request should be considered a major change as it proposes a change in use and character of the development.

2. Abutting Zoning Districts (Sec. 4.12.1.C.ii): Currently, the site does not abut any of the required zoning districts that would normally be required for a commercial daycare of this capacity.

a. Per Section 4.12.1.C.ii, "In the RA, R-1, R-2, R-3, and R-4 districts, group day care homes, day care centers, and adult day care centers are permitted as a special land use, as follows: day care centers exceeding 50 children, but not more than 120 children, and adult day care centers exceeding 25 persons, but not more than 60 persons, providing the following conditions are met: [...] the parcel must abut land zoned only NCC, EXPO, OS-1, OSC, TC, TC-1, RC, FS, I-1, P-1, C, and OST." **Even though the use may not meet the ordinance as far as location, under the PUD ordinance, a mixing of uses is allowed, even where the approval would allow a change of use from the underlying zoning or would not meet all the requirements of the ordinance as to location.**

b. The proposed daycare use will not generate any additional noise as compared to the current clubhouse use of the site. Also, the applicant has provided additional landscape screening on the southwest portion of the site to provide a buffer for the nearby residents. In addition to the proposed screening, the applicant has indicated that they have been in contact with some Homeowner Associations as well as residents that live near the clubhouse. **The Planning Commission should consider these aspects upon review of the proposed change in use.**

3. Golf Course & Green Space: The applicant has indicated that the existing open space consisting of a nine hole golf course will not be developed and will remain as open space available to the residents of the Maples of Novi. **Additional information and any agreements with the homeowner's association are requested to be provided.**
4. Noise Impact Statement (Sec. 4.12.C.v): A noise impact statement shall be provided with the Preliminary Site Plan Submittal.
5. Curb Height (Sec. 5.3): Please indicate the curb height to verify parking space dimension compliance. *This item may be addressed as part of the Preliminary Site Plan Submittal.*
6. Barrier Free Signs (Barrier Free Design Graphics Manual): Barrier free parking signs have not been indicated on the site plan. *Please provide this signage with the Preliminary Site Plan Submittal.*
7. Dumpster Requirements (City Code Sec. 21-145): Details of the dumpster enclosure on-site have not been provided. *Please provide these details as part of the Preliminary Site Plan Submittal.*
8. Bicycle Parking Facilities (Sec. 5.16.1): Currently, no bicycle parking spaces have been indicated. *Please provide a bicycle parking facility with a minimum of two spaces as part of the Preliminary Site Plan Submittal.*
9. Project & Street Naming Committee: A project name will be required for this project. *Please submit a project name application at the time of Preliminary Site Plan Submittal.*
10. Site Lighting (Sec. 5.7): *If any changes are proposed to the current lighting of the site, please provide a photometric plan at the time of Preliminary Site Plan Submittal.*
11. Planning Chart: Please refer to the attached **Planning Chart** for additional comments to address in this submittal.

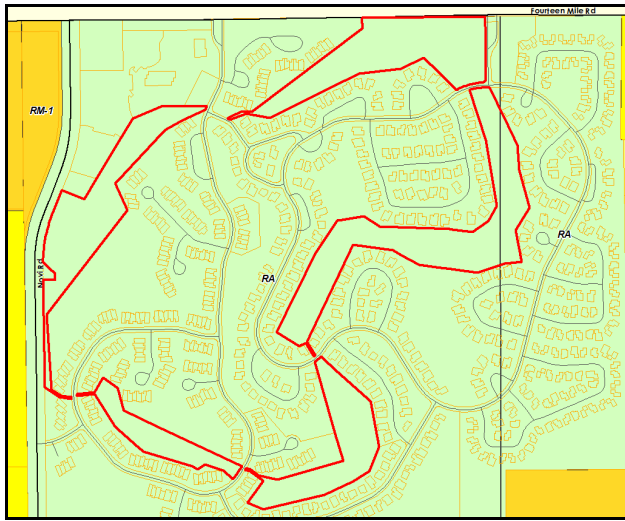
OTHER REVIEWS

- a. Engineering Review: Engineering is recommending **approval** of the Request to Amend the Maples of Novi PUD Agreement and Area Plan with comments to be addressed as part of the Preliminary Site Plan Submittal.
- b. Landscape Review: Landscape is recommending **approval** of the Request to Amend the Maples of Novi PUD Agreement and Area Plan with comments to be addressed as part of the Preliminary Site Plan Submittal.
- c. Traffic Review: Traffic is recommending **approval** of the Request to Amend the Maples of Novi PUD Agreement and Area Plan with comments to be addressed as part of the Preliminary Site Plan Submittal.
- d. Fire Review: Fire is recommending **approval** of the Request to Amend the Maples of Novi PUD Agreement and Area Plan.

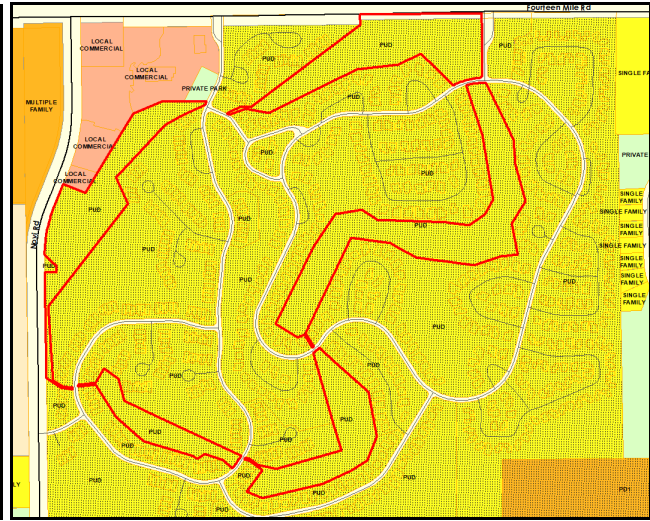
LAND USE AND ZONING: FOR SUBJECT PROPERTY AND ADJACENT PROPERTIES

The following table summarizes the zoning and land use status for the subject property and surrounding properties.

EXISTING ZONING



FUTURE LAND USE



	Existing Zoning	Existing Land Use	Master Plan Land Use Designation
Subject Property	RA: Residential Acreage (with PUD)	Clubhouse/Restaurant	Single Family Residential with Planned Unit Development (PUD)
Northern Parcels (Commerce Twp.)	R-2: Attached Residential, R-1B: One Family Residential, RM*: Multiple Family Residential (*conditional)	Single Family & Multiple Family Residential	Single Family & Multiple Family Residential
Eastern Parcels	RA: Residential Acreage (with PUD)	Single-Family Residential	Single Family Residential with Planned Unit Development (PUD)
Western Parcels	RA: Residential Acreage (with PUD)	Single-Family Residential	Local Commercial
Southern Parcels	RA: Residential Acreage (with PUD)	Single-Family Residential	Single Family Residential with Planned Unit Development (PUD)

Compatibility with Surrounding Land Use

The subject property is located along the northern boundary of the City of Novi, east of Novi Road, and south of Fourteen Mile Road. The Township of Commerce is located north of the property. This property is surrounded by single-family residential development and current serves as a golf course, clubhouse, and restaurant. The current use of the site was approved with the original PUD Agreement and Area Plan. The majority of the surrounding properties have been developed. The applicant has proposed redeveloping this clubhouse as a learning center for children. Staff is of the opinion that the proposed use would be consistent with the surrounding existing uses.

2016 MASTER PLAN FOR LAND USE: GOALS AND OBJECTIVES

The proposed use is recommended by the 2016 Master Plan for Land Use. The following objectives as listed in the Master Plan are applicable for the proposed development.

1. General Goal: Quality and Variety of Housing

- a. Provide residential developments that support healthy lifestyles.** Ensure the provision of neighborhood open space within residential developments. The applicant has indicated that the open space will be maintained as "the applicant is not seeking to develop any portion of the golf course, wetland, or woodland area." Also, the change in use from a clubhouse to a learning center for children will provide the surrounding residents with a resource for education nearby.

2. General Goal: Environmental Stewardship

- a. Protect and maintain the City's woodlands, wetlands, natural water features, and open space.** The applicant has indicated that the open space will be maintained as "the applicant is not seeking to develop any portion of the golf course, wetland, or woodland area."

3. General Goal: Economic Development/Community Identity

- a. Retain and support the growth of existing businesses and attract new businesses to the City of Novi.** The applicant has provided Economic Impact Information indicating that the project will employ an estimated 45 full-time/part-time caregivers and is anticipated to cost \$1.2 million and create an estimated 20-30 construction jobs.
- b. Compatible Development.** Ensure compatible development between residential and non-residential developments. The applicant is proposing additional landscape screening on the southwestern portion of the site and has been in communication with the residents of the community.

NEXT STEP: PLANNING COMMISSION MEETING

This Request for Amendment to a PUD will be tentatively scheduled to go before the **Planning Commission on June 9, 2021** as a Public Hearing. Please indicate by **May 10, 2021** if you would like to proceed with the Public Hearing. Please provide the following via email by **June 2, 2021**:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters.
3. A color rendering of the Site Plan (optional, to be used for Planning Commission presentation).
4. A list of names, emails, phone numbers, and titles for those planning on attending the Planning Commission Meeting on behalf of the project.

CITY COUNCIL MEETING

If the Request for Amendment to the PUD is approved by the Planning Commission, the materials shall be submitted to the City Council for review and approval. Additional documentation and materials will be requested if necessary.

SITE PLAN PROCESS

If the Request for Amendment to the PUD is approved by the Planning Commission and City Council, the project may be reviewed as part of the typical site plan review process. Please refer to the [Site Plan & Development Manual](#) for additional information.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or ccarroll@cityofnovi.org.



Christian Carroll, Planner



PLANNING REVIEW CHART: PUD (Planned Unit Development) w/ RA (Residential Acreage)

Review Date: May 7, 2021
Review Type: Request for Amendment to PUD Review
Project Name: JSP 21-03 IXL Learning Center of Novi
 31260 Wakefield Drive, East of Novi Rd, South of 14 Mile Rd
Plan Date: April 7, 2021
Prepared by: Christian Carroll, Planner
E-mail: ccarroll@cityofnovi.org **Phone:** (248) 735-5607

Items in **bold** need to be addressed by the applicant with next submittal. Underlined items need to be addressed as part of the Preliminary Site Plan Submittal. *Italicized* items are to be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan	Planned Unit Development	No change		
Zoning	Residential Acreage	No change		
Uses Permitted (Sec 3.1.1, PUD Agreement)	Uses permitted listed in Section 3.1.1 and listed in PUD Agreement. Special Land Use in RA.	Child day care center	TBD	Planning Commission and City Council approval needed for minor/major amendment to PUD Agreement
RA District Required Conditions (Sec. 3.7)				
Off-Street Parking (Sec. 3.7.4)	All off-street parking shall be arranged so as to minimize any impact on adjacent residential properties.	Complies	Yes	
Max. Building Height (Sec. 3.1.1, PUD Ordinance 27-2, g)	35 ft. or 2.5 stories, whichever is less	Complies	Yes	
Max Lot Coverage % (Sec. 3.1.1)	25% (by all buildings)	Complies	Yes	
Min. Building Setbacks (Sec. 3.1.1, Sec. 3.6.2, PUD Ordinance)				
Front (North)	45 ft	~170 ft	Yes	
Exterior Side (East)	45 ft	~31 ft	No	<i>Existing Building. No revisions necessary.</i>
Interior Side (West)	20 ft	~146 ft	Yes	
Rear (South)	50 ft	~55 ft	Yes	
Min. Parking Setbacks (Sec. 3.1.1)				
Front (North)	-		NA	
Exterior Side (East)	-		NA	
Interior Side (West)	-		NA	
Rear (South)	-		NA	
Day Care Center (50-120 Children) Use Standards (Sec. 4.12.1.C) – 67 children expected as indicated in plan				
Minimum Parcel Size (Sec. 4.12.B.ii)	The minimum parcel size for a Day Care Center or Adult Day Care Center shall be one (1) acre.	2.35 acres proposed, 30.32 acres currently	Yes	
Abutting Zoning Districts (Sec. 4.12.C.ii)	The parcel must abut land zoned only	Does not comply	TBD	If the change of use is approved as part of the Request for

	NCC, EXPO, OS-1, OSC, TC, TC-1, RC, FS, I-1, P-1, C, and OST.			Amendment, this condition will be satisfied.
Hours of Operation (Sec. 4.12.C.iii)	The hours of operation shall be limited to the period between 6 a.m. and 7 p.m.	7am to 6pm	Yes	
Façade Combability with Surrounding Residential (Sec. 4.12.C.iv)	The exterior building facades shall comply with Section 5.15. Additionally, the City's Façade Consultant shall review the proposed architectural style of the structure to insure the residential character of the neighborhood is maintained with regard to design and facade elements. The following materials shall be allowed up to a maximum of twenty five (25) percent of the building facade, with a finding that these materials will be compatible with the adjacent residential areas: wood siding, painted siding, tongue and groove siding, batten siding, vinyl siding and aluminum siding. These materials are subject to footnote 11 of the Schedule Regulating Façade Materials, in Section 5.15.	Complies – no changes to the façade are proposed.	Yes	
Noise Impact Statement (Sec. 4.12.C.v)	A noise impact statement is required subject to the standards of Section 5.14.10.B.	Not required for this review.	NA	<u>Provide with Preliminary Site Plan Submittal.</u>
PUD Regulations (formerly Article 27) (Attached) – Only applicable sections noted				
District Regulations (Sec. 27-2, a)	All uses, structures, and properties shall comply with all regulations in Article 24 (former), Schedule of Regulations, and requirements of Ordinance No. 84-18, as amended, except as provided in this Section.	Complies	Yes	
Minimum PUD Area (Sec. 27-2, b)	The minimum PUD area to be developed under the regulations of this Section shall be 20 acres, unless waived by the City Council	Complies	Yes	
Mixing of Uses (Sec. 27-2, c)	See ordinance	Complies	Yes	

Density Regulations (Sec. 27-2, d)	See ordinance	Complies	Yes	<i>Maximum Floor Area Ratio for Entire PUD. May apply for any future developments.</i>
Yard Setbacks (Sec. 27-2, e)	<ul style="list-style-type: none"> - 50 ft setback along perimeter of the PUD district fronting on a public street - 40 ft wide yard shall be provided along the perimeter of the PUD district not fronting on a public street. Such yard shall be designed and landscaped as a buffer strip; parking lots and driveways shall not be permitted in such yard, except that drives may cross such yard - 35 ft wide yard shall be provided along ROW of a collector street within the PUD & 50 ft wide yard shall be provided along ROW of major throughfare within the PUD - A landscaped yard at least 10 ft wide shall be provided between a parking lot of 5 or more spaces and a property line within the PUD & 20 ft from the perimeter property line of the PUD, except when adjacent to a public street ROW line, existing or proposed, in which case the preceding setbacks shall apply. - A transition strip at least 40 ft wide shall be required on any commercial or office site when adjacent to a residential area [...] shall be landscaped. The distance between any residential building and nonresidential building shall not be less than 150 ft unless waived by the City Council after recommendation by the Planning Commission. - The preceding yard requirements [...] may be modified or waived when approved by the City Council 	<p>Complies</p> <p>Complies</p> <p>Complies</p> <p>Complies</p>	<p>Yes</p>	

	upon recommendation of the Planning Commission. - Common areas shall be maintained	Complies – may apply for any future commercial development		
Distances between Buildings (Sec. 27-2, f)	See ordinance	~121 ft - complies	Yes	
Circulation and Access (Sec. 27-2, h)	See ordinance	Complies	Yes	
Utilities (Sec. 27-2, i)	See ordinance	Complies	Yes	
Open Space Regulations (Sec. 27-2, j)	See ordinance	Complies	Yes	
Phasing (Sec. 27-2, k)	See ordinance	Complies	Yes	
Off-Street Parking and Loading/Unloading Requirements (Sec. 27-2, l)	[...] The number of spaces required may be reduced in a PUD if approved by the City Council upon recommendation of the Planning Commission, as part of the area plan.		NA	
Compliance with Area Plan and Site Plans (Sec. 27-2, m)	A parcel of land that has been subject of PUD approval shall not thereafter be developed or used except in accordance with the approved area plan and all preliminary and final site plans approved subsequent thereto [...]	Will comply, if approved	TBD	
Construction (Sec. 27-2, n)	See ordinance	Will comply	Yes	
Amendment and Revisions (Sec. 27-9, a)	A developer may request an amendment to an approved area plan, an approved preliminary site plan, or an approved final site plan. Any amendment to an approved preliminary or final site plan which results in a major change in the approved area plan, as defined in this section, shall require an amendment to the approved area plan. All amendments shall follow the procedures and conditions herein required for original submittal and review, in full.		NA	
Request for Amendment (Sec. 27-9, b)	A request for amendment shall be mad in writing to the Planning Commission and	Provided	Yes	

	<p>shall clearly state the reasons therefor. Such reasons may be based upon such considerations as changing social or economic conditions, potential improvements in layout of design features, unforeseen difficulties, or reasons mutually affecting the interests of the City and developer, such as technical causes, site conditions, state or Federal projects or installations, and statutory revisions. The Planning Commission, upon finding such reasons and requests reasonable and valid, shall so notify the applicant in writing. Following payment of the appropriate fee as required for the original submittal, the developer shall submit the required information to the Planning Commission for review. If the approved plan is to be amended, the Planning Commission shall immediately notify the City Council.</p>			
<p>Major Amendment Conditions (Sec. 27-9, c)</p>	<p>Modifications to be considered major changes, for which amendment is required, shall include one or more of the following:</p> <ol style="list-style-type: none"> 1. Change in concept of the development; 2. Change in use or character of the development; 3. Change in type of dwelling unit as identified on the approved area plan; 4. Change in the number of dwelling units; 5. Change in nonresidential floor area of over 5%; 6. Change in lot coverage and FAR of the entire PUD of more than 1%; 	<p>This project will be determined a major or minor amendment by the Planning Commission.</p>		

	<ol style="list-style-type: none"> 7. Rearrangement of lots, blocks, and building tracts; 8. Change in the character or function of any street; 9. Reduction in land area set aside for common open space or the relocation of such area(s); or 10. Increase in building height. 			
<p>Minor Amendment Conditions (Sec. 27-9, e)</p>	<p>Modifications to be considered minor changes, for which approved plans may be revised rather than amended, shall include, among similar modifications, the following:</p> <ol style="list-style-type: none"> 1. A change in residential floor area; 2. A change in nonresidential floor area of 5% or less; 3. Minor variations in layout which do not constitute major changes; and/or 4. A change in lot coverage and FAR of the entire PUD of 1% or less. 	<p>This project will be determined a major or minor amendment by the Planning Commission.</p>		
<p>Planning Commission Role (Sec. 27-9, d, g)</p>	<p>[...] The Planning Commission shall have the authority to determine whether a requested change is major or minor, in accordance with this section. The burden shall be on the applicant to show the reasons for any requested change owing to changed physical or economic factors, or consumer demand.</p> <p>This project will be determined a major or minor amendment by the Planning Commission.</p>	<p>The applicant is of the position that the requested change is a minor change for the following reasons:</p> <ul style="list-style-type: none"> - The Area Plan, Paragraph 13, page 26, specifically provides that one of the approved uses is "childcare." Therefore, childcare is an approved use in the existing PUD. - None of the items included in the definition of "major change" are included in this PUD amendment request. 	<p>TBD</p>	<p>Staff is of the opinion that the request would be considered a major amendment to the PUD given that it would change the character of the development.</p>

		-Section 2700.9.e defines "minor change" as "minor variations in layout which do not constitute major changes." No changes are requested with respect to the golf course, open space, wetland, or woodland. No change in size or dimensions of the use at this location as requested.		
Note to District Standards (Sec. 3.6.2)				
Area Requirements (Sec 3.6.2.A)	Pursuant to the definition contained in Section 2.2, lot width shall be measured between the two points where the front setback line intersects the side lot lines. Within the residential districts, where a main building is placed behind the front setback line, the distance between the side lot lines shall not be reduced below ninety (90) percent of the required minimum lot width at any point between the front setback line and such main building. The purpose of this amendment is to protect against the creation within the city of irregularly-shaped flag lots.	Complies/No change	Yes	
Building Setback (Sec. 3.6.2.B)	For all uses permitted other than single-family or two-family residential, the building or structure setback shall at least equal to: (1) the height of the main building; (2) seventy-five (75) feet; or (3) the setback required in the Development Standards of Section 3.1 of this Ordinance, whichever is greater. However, the minimum building setback from access streets may be reduced to	Complies/No change	Yes	

	fifty (50) feet for fire department structures where quick access to the street network is required.			
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.		NA	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained		NA	
Parking & Loading Standards				
Number of Parking Spaces (Sec. 5.2.12.B)	Nursery schools, day nurseries or childcare centers: 1 space for each 350 sf of useable floor area (UFA) + 1 for each employee 12,330 sf UFA/350 sf = 35 spaces 28 employees = 28 spaces Total required: 63 spaces	95 spaces proposed (11 drop-off spaces, 4 barrier-free spaces), 63 required	Yes	
Parking Space & Maneuvering Lane Dimensions (Sec. 5.3)	90° spaces: 9 ft. x 19 ft. parking spaces with 24 ft. drives 9 ft. x 17 ft. parking spaces along 7 ft. interior sidewalks, provided a 4 in. curb at these locations & along landscaping	9 ft x 17 ft and 9 ft x 19 ft spaces with 24' access aisles. Curb height not indicated.	Yes?	<u>Please provide curb height with the Preliminary Site Plan Submittal.</u>
Barrier Free Spaces (ADA standard)	4 barrier free spaces required (1 van accessible)	Complies	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8 ft. wide with 5 ft. wide access aisle for standard accessible; 8 ft. wide with 8 ft. wide access aisle for van accessible	8 ft wide with 5 ft wide access aisle	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	1 barrier free sign per space	Not provided	No	<u>To be provided as part of the Preliminary Site Plan Submittal.</u>

Loading Spaces (Sec. 5.4)	No standards in the RA Zoning District	NA	NA	
Sidewalks (City Code Sec. 11-256 & 11-276 & Non-Motorized Plan)	5 ft sidewalk required along 14 Mile Rd Building exits must be connected to sidewalk system or parking lot	Existing sidewalk along 14 Mile Rd. All building exits appear to be connected.	Yes	
Dumpster Requirements (City Code Sec. 21-145)	Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown Screening should be 1 foot taller than dumpster	Dumpster enclosure proposed, details not provided.	No	<u>To be provided as part of the Preliminary Site Plan Submittal.</u>
Accessory Structure Setback- Dumpster (Sec. 4.19.2.F)	Located in the rear or interior side yard Min. 10 ft. from any building unless structurally attached & setback the same as parking from all property lines	Complies	Yes	
Bicycle Parking Facilities (Sec. 5.16.1)	Minimum 2 spaces	Not provided - provide a bicycle parking facility with a minimum of 2 spaces.	No	<u>To be provided as part of the Preliminary Site Plan Submittal.</u>
Bicycle Parking Facilities (Sec. 5.16)	Located along the building approach line & easily accessible from the building entrance Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance Be accessible via a paved 6 ft. route & separated from auto facilities 4 ft. maneuvering lane with a 6 ft. parking space width & a depth of 2 ft. for single spaces & 2.5 ft. for double spaces	Not provided	No	<i>Comply with these requirements when designing the bicycle parking facility.</i>
Woodlands (City Code Ch. 37)	Replacement of removed trees	No regulated woodlands appear to be impacted by this proposed project.		

Wetlands (City Code Ch. 12, Art. V)	Mitigation of removed wetlands at ratio of 1.5:1 emergent wetland, 2:1 for forested wetlands	No regulated wetlands appear to be impacted by this proposed project.		
Economic Impact	Total cost of the proposed building & site improvements Number of anticipated jobs created (during construction & after building is occupied, if known)	Provided	Yes	IXL Learning Center of Novi will employ an estimated 45 full-time/part-time caregivers. The anticipated cost of the project is \$1.2 million and will create an estimated 20-30 construction jobs.
Development/ Business Sign	Signs are not regulated by the Planning Division or Planning Commission	Not indicated		Contact Maureen Underhill at 248.735.5602 or munderhill@cityofnovi.org for information
Project and Street Naming Committee	Some projects may need approval from the Street & Project Naming Committee	<u>Required with Preliminary Site Plan Submittal.</u>		Contact Madeleine Daniels at 248.347.0579 or mdaniels@cityofnovi.org for more information
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is not provided	NA	<u>Provide Lighting and Photometric Plan with the Preliminary Site Plan Submittal if site lighting is proposed. Requirements are listed below.</u>
Lighting Plan (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures			
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			
Lighting Plan (Sec.5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures			
	Photometric data			
	Fixture height			
	Mounting & design			
	Glare control devices (Also see Sec. 5.7.3.D)			
	Type & color rendition of lamps			

	Hours of operation			
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties			
Required Conditions (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses			
Required Conditions (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 			
Required Conditions (Sec. 5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1			
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps			
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min			
	Loading & unloading areas: 0.4 min			
	Walkways: 0.2 min			
	Building entrances, frequent use: 1.0 min			
	Building entrances, infrequent use: 0.2 min			
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle			

<p>Cut off Angles (Sec. 5.7.3.L)</p>	<p>When adjacent to residential districts:</p> <ul style="list-style-type: none"> - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle - No direct light source shall be visible at the property line (adjacent to residential) at ground level 			
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NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

April 26, 2021

Engineering Review

IXL Learning Center
JSP21-0003

Applicant

IXL Learning Center

Review Type

PUD Amendment with Concept Plan

Property Characteristics

- Site Location: South of Fourteen Mile Road, West of Wakefield Drive
- Site Size: 2.35 acres redeveloped (30.32 acres total)
- Plan Date: 04/01/2021
- Design Engineer: TBD (Wah Yee Associates – Architect)

Project Summary

- Remodel of an existing 9,951 square-foot building and reconstruction of existing parking lot. Site access would be provided via Wakefield Drive (private drive).
- No modifications to the existing water and sanitary sewer services are currently proposed.
- No modifications to the current storm water management plan are currently proposed.

Recommendation

Approval of the PUD Amendment with Concept Plan is recommended for approval with additional comments to be addressed with the Preliminary Site Plan submittal.

Comments:

The Concept Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Preliminary Site Plan submittal:

General

1. Provide a note on the plans stating that all work shall conform to the current City of Novi standards and specifications.
2. Provide a minimum of two ties to established section or quarter section corners.
3. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
4. Show and label the master planned 60-foot half width right-of-way for Fourteen Mile Road. The dedication of the master-planned half width right-of-way is requested for this project.
5. A set of engineering plans (designed by a PE) is required with the Preliminary/Final Site Plan. The plan set shall include demolition, grading, utility/survey, and paving plan sheets.
6. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan submittal highlighting the changes made to the plans and addressing each of the comments in this review.

Utilities

7. Show the existing utilities on the plans and any proposed connections or adjustments necessary.
8. Provide the original development's storm water management plan that indicates the ultimate outlet of the existing storm sewer.

Paving & Grading

9. Provide existing topography and 2-foot contours extending at least 100 feet past the site boundary. Any off-site drainage entering this site shall be identified.
10. Specify the surface material for the playground and provide a legend for different shading/layers.
11. The end islands shall conform to the City standard island design, or variations of the standard design, while still conforming to the standards as outlined in Section 2506 of Appendix A of the Zoning ordinance (i.e. 2' minor radius, 15' major radius, minimum 8' wide, 3' shorter than adjacent 19' stall).
12. Specify the height of the concrete curbs on the site plan and a grading plan.
 - a. 17-foot parking stalls shall have 4-inch curb with a 2-foot vehicle overhang and 19-foot parking stalls shall have 6-inch curb.


13. Dimension the width of the relocated asphalt walking path.

The following must be provided at the time of Preliminary Site Plan resubmittal:

14. A letter from either the applicant or the applicant's engineer must be submitted with the Preliminary Site Plan, highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
15. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



Kate Richardson, EIT
Project Engineer

cc: Christian Carroll, Community Development
Ben Croy, PE; Engineering
Victor Boron, Engineering
Humna Anjum, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
April 26, 2021
IXL Learning Center of Novi
PUD Amendment Request - Landscaping

Review Type

PUD Amendment Landscape Review

Job #

JSP21-0003

Property Characteristics

- Site Location: 31260 Wakefield Dr.
- Site Acreage: 2.35 ac.
- Site Zoning: RA
- Adjacent Zoning: North: Commerce Twp, East, South, West: RA
- Plan Date: 4/1/2021

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal, and underlined items must be addressed no later than the Final Site Plan submittal. Please follow guidelines of the current Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for the PUD amendment request**. The revisions noted need to be addressed on the Preliminary and Final Site Plans.

When the Preliminary and Final Site Plans are developed (by a professional landscape architect), please use the most current landscape ordinance and landscape design manual. They can be found here:

Landscape Ordinance:

<https://www.cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/Ordinance-18-293.aspx>

Landscape Design Manual:

<https://www.cityofnovi.org/Reference/Code-of-Ordinances-and-City-Charter/LandscapeDesignManual.aspx>

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. Not provided
2. **Please show all existing and preliminary overhead and underground utility lines, utility structures and light poles, on the landscape plan.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. All existing trees appear to be shown on the plan and a tree chart is provided.
2. Six existing interior parking lot trees appear to be slated for removal, and some others scattered around the site.
3. There are no regulated woodlands or wetlands on the site.
4. **Please indicate on the tree chart which trees will be removed.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.A.ii and iii)

1. The project is adjacent to residentially-zoned property. As such, the ordinance requires a 4.5-6 ft high landscaped berm between the uses. No berm is provided.
2. A mix of large deciduous shrubs and evergreen trees and shrubs have been provided between the residences to the west of the site. It appears that that should be sufficient screening, especially since there won't be much noise except during weekdays. **The species may need to be changed to work with the space provided, and a screening fence may need to be added, but that can be worked out during Preliminary and Final Site Plans.**
3. *This deviation from the ordinance would be supported by staff as significant visual buffering is proposed and the noise from the proposed use will be less than the use as a swimming pool.*

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. Based on the proposed commercial use of the property, a 20-foot wide greenbelt, a berm in front of the parking areas, and a combination of canopy/large evergreen trees and subcanopy trees are required in each of the three greenbelts the site has, as well as street trees. Significant existing landscaping exists along all three frontages.
2. **Please provide calculations for the required landscaping on all three frontages and counts of what exists and will remain.**
3. **If there are any shortages, the required trees berms and need to be provided. If the applicant desires to not completely meet the requirements, a landscape waiver will be required for any deficiencies and justification for the waiver(s) must be provided.**
4. *The existing landscaping is sufficient to have staff support for the PUD amendment request.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. One interior canopy tree must be provided per 200 sf of required interior landscape area, and all islands and corners must have a deciduous canopy tree.
2. **One deciduous canopy tree per 35 lf of parking lot perimeter must be provided. Greenbelt trees within 15 feet of the parking lot may be double-counted toward the perimeter requirement.**
3. **Please provide calculations for the interior and perimeter required trees.**
4. **If there are any shortages, the required trees need to be provided. If the applicant desires to not completely meet the requirements, a landscape waiver will be required for any deficiencies and justification for the waiver(s) must be provided.**
5. *The existing landscaping is sufficient to have staff support for the PUD amendment request. Additions may be required.*

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. The building should have foundation landscaping equal to 8 x the building perimeter, and at least 60% of each frontage facing a road must be landscaped.
2. **Please provide calculations for the building and provide the required landscaping. Existing foundation can count toward the requirement.**
3. **If there are any shortages, the required trees need to be provided. If the applicant desires to not completely meet the requirements, a landscape waiver will be required for any deficiencies and justification for the waiver(s) must be provided.**

4. *The existing landscaping is sufficient to have staff support for the PUD amendment request but may require a landscape waiver if all requirements aren't met.*

Plant List (LDM 4)

1. Not provided.
2. **Please provide a plant list on the Preliminary Site Plans.**
3. **At least 50% of the species provided must be native to Michigan, and the tree diversity must meet the requirement of Landscape Design Manual section 4.**

Planting Notations and Details (LDM)

1. Not provided
2. **Please provide all planting details and notes as required for the proposed landscaping. Standard City of Novi details and notes are available upon request.**

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

If the site's storm water detention system does not need to be modified for this project, then no detention basin landscaping is required. If it does, please add the required landscaping for the modified portions of the pond.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**
2. **Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP21-03 – IXL Novi PUD Amendment with
 Concept Site Plan Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 April 26, 2021

CC:
 Lindsay Bell, Madeleine Kopko, Kate Richardson,
 Victor Boron, Christian Carroll

Memo

Subject: JSP21-03 – IXL Novi PUD Amendment with Concept Site Plan Traffic Review

The concept site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant is proposing repurposing an existing 2 story building into a day care center.
2. The site is located on the southwest corner of 14 Mile Road and Wakefield Drive. 14 Mile Road is under the jurisdiction of Oakland County and Wakefield Drive is a private road.
3. The site is currently zoned RA (Residential Agerage).
4. There are no traffic-related waivers/variances required at this time.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 10th Edition, as follows.

ITE Code: – 565 (Day Care Center)
 Development-specific Quantity: 12,330 SF
 Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	136	72	100	No
PM Peak-Hour Trips	137	73	100	No
Daily (One-Directional) Trips	587	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	No changes indicated	N/A	Indicate if changes to existing are to be made.
2	Driveway Width O Figure IX.3	No changes indicated	N/A	Indicate if changes to existing are to be made.
3	Driveway Taper O Figure IX.11			
3a	Taper length	No changes indicated	N/A	Indicate if changes to existing are to be made.
3b	Tangent	No changes indicated	N/A	Indicate if changes to existing are to be made.
4	Emergency Access O 11-194.a.19	No changes indicated	N/A	Indicate if changes to existing are to be made.
5	Driveway sight distance O Figure VIII-E	No changes indicated	N/A	Indicate if changes to existing are to be made.
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	No changes indicated	N/A	Indicate if changes to existing are to be made.
6b	Opposite side O 11.216.d.1.e	No changes indicated	N/A	Indicate if changes to existing are to be made.
7	External coordination (Road agency)	No changes indicated	N/A	Indicate if changes to existing are to be made.
8	External Sidewalk Master Plan & EDM	No changes indicated	N/A	Indicate if changes to existing are to be made.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
9	Sidewalk Ramps EDM 7.4 & R-28-J	No changes indicated	N/A	Indicate if changes to existing are to be made.
10	Any Other Comments:	No changes to external access appear to be proposed. The applicant should provide demolition plans to show changes.		

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	Not indicated	Met	Not required for RA Zoning.
12	Trash receptacle ZO 5.4.4	No change	N/A	
13	Emergency Vehicle Access	Not indicated	Inconclusive	As internal parking lot changes proposed, emergency vehicle turning movements should be provided.
14	Maneuvering Lane ZO 5.3.2	24' and 22'	Met	The applicant could consider widening the 22' lanes to 24'.
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	Not indicated	Not met	End islands should be 3' shorter than adjacent parking spaces. Islands appear shorter, but length is not dimensioned.
15b	Internal to parking bays	Not indicated	Inconclusive	Provide dimensions for length. Internal islands do not have to be 3' shorter than spaces.
16	Parking spaces ZO 5.2.12	20'10" setback to curb	Met	RA Zoning does not have a setback requirement.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	<=15 spaces adjacent without an island	Met	
18	Parking space length ZO 5.3.2	17' and 19'	Met	Applicant should ensure that curb heights are included. 19' spaces require 6" curb, 17' spaces require 4" curb and 2' clear overhang, which should be indicated.
19	Parking space Width ZO 5.3.2	Not indicated	Inconclusive	Provide dimensions in future submittals.
20	Parking space front curb height ZO 5.3.2	Not indicated	Inconclusive	Provide dimensions in future submittals.
21	Accessible parking – number ADA	4 spaces	Met	
22	Accessible parking – size ADA	No dimensions provided	Inconclusive	Dimensions not shown for accessible spaces.
23	Number of Van-accessible space ADA	Not indicated	Inconclusive	Include signage to indicate van accessible spaces.
24	Bicycle parking			
24a	Requirement ZO 5.16.1	Not indicated	Inconclusive	2 spaces required for day care center.
24b	Location ZO 5.16.1	Not indicated	Inconclusive	

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
24c	Clear path from Street ZO 5.16.1	Not indicated	Inconclusive	Applicant should note the 6' clear path may not include the 2' clear overhang for 17' parking spaces.
24d	Height of rack ZO 5.16.5.B	Not indicated	Inconclusive	
24e	Other (Covered / Layout) ZO 5.16.1	Not indicated	Inconclusive	
25	Sidewalk – min 5' wide Master Plan	7'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Ramp not indicated	Not met	
27	Sidewalk – distance back of curb EDM 7.4	Flush to curb along parking lot	Inconclusive	Integrated along parking lot, provide offset for non-parking lot sidewalks.
28	Cul-De-Sac O Figure VIII-F	N/A		
29	EyeBrow O Figure VIII-G	N/A		
30	Minor/Major Drives ZO 5.10	N/A		
31	Any Other Comments:	Applicant should provide additional dimensions in PSP.		

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Not included	Not Met	
33	Signing table: quantities and sizes	Not included	Not Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Not included	Not Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Not included	Not Met	
36	Sign bottom height of 7' from final grade MMUTCD	Not included	Not Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Not included	Not Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Not included	Not Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Not included	Not Met	
40	Parking space striping notes	Not included	Not Met	
41	The international symbol for accessibility pavement markings ADA	Not included	Not Met	
42	Crosswalk pavement marking detail	N/A	N/A	
43	Maintenance of Traffic Plans	N/A	N/A	
44	Any Other Comments:			

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

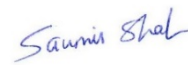
AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

FIRE REVIEW



April 14, 2021

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Madeleine Daniels - Planning Assistant

CITY COUNCIL

Mayor

Bob Gatt

Mayor Pro Tem

Dave Staudt

Andrew Mutch

Laura Marie Casey

Hugh Crawford

Justin Fischer

Julie Maday

City Manager

Peter E. Auger

Director of Public Safety

Chief of Police

David E. Molloy

Fire Chief

Jeffery R. Johnson

Assistant Chief of Police

Erick W. Zinser

Assistant Chief of Police

Scott R. Baetens

Assistant Fire Chief

John B. Martin

RE: IXL Learning Center

PSP# 21-0023

Project Description:

Remodel an existing building at 31260 Wakefield Dr.

Comments:

Meets fire department standards.

Recommendation:

Approved

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration

45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

PUD ORDINANCE

See Ord. 91-18,100

**ARTICLE 27. PLANNED UNIT
DEVELOPMENT (PUD)**

Sec. 2700. PUD regulations.

1. *Purpose and Location of a PUD.* The general purpose of a PUD development is to allow innovative and efficient-land use development which will protect the natural environment conserve natural resources and energy, and insure compatibility of proposed PUD development with adjacent uses of land and to promote the use of land in a socially and economically desirable manner. A PUD shall be located in areas of the City designated on the City's Master Plan as suitable and desirable for such development. An application for a PUD district in all other locations shall either follow or proceed simultaneously with an amendment to the Master Plan. If the PUD request is not approved, the underlying zoning district remains in place and the property can be developed pursuant to existing zoning requirements.

2. *District Regulations.*

- a. *General.* All uses, structures, and properties shall comply with all regulations in Section 2400, Schedule of Regulations and with all other regulations and requirements of Ordinance No. 84-18, as amended, except as provided in this Section.
- b. *Minimum PUD Area.* The minimum PUD area to be developed under the regulations of this Section shall be twenty (20) acres, provided, however, that the minimum PUD area may be waived by the City Council if the parcel in question has unique characteristics such as, but not limited to, significant topographic change, significant trees or wooded areas, wet lands or poor soil conditions on portions of the property, water courses or utility easements crossing the parcel, unusual shape or proportions, and isolation from other undeveloped or developable lands. In such case, the applicant shall submit information to the City Council to support the request for a waiver of the minimum PUD size requirements. The City Council shall consider the request and act thereon, and shall inform the applicant of the action in writing. The request for a

waiver and the City Council's action shall be made prior to the applicant's submittal of application for a PUD district classification. The City Council shall not consider any request for a waiver in the twenty (20) acre minimum until it has received a recommendation from the Planning Commission on said request.

c. *Mixing of Uses.*

- (1) A residential area, designated on a proposed site plan, may contain one or more types of dwelling units, provided that such combination of dwelling unit types will not interfere with orderly and reasonable platting of an area, if such area is to be platted.
- (2) Single family detached dwelling units shall comprise not less than twenty (20) percent of all dwelling units in a PUD.
- (3) Multiple-family dwelling units may be located in buildings containing, or intended to contain, commercial and/or office activities, provided that commercial uses shall be permitted only on the first, ground, or main floor, however defined. Dwelling units shall not be permitted on any floor on which commercial and/or offices are located or intended to be located.
- (4) Home occupations shall not be permitted in any dwelling unit, including a manufactured housing unit, other than a single-family detached dwelling unit.
- (5) Commercial and/or office uses shall be permitted in such areas and size as are necessary or desirable to serve the residential development of the same PUD district provided such district is at least two hundred (200) acres in size.

d. *Density Regulations.*

- (1) The maximum permitted residential density for a PUD district shall not exceed the average residential density for the area included in the PUD as shown on the City's Master Plan.
- (2) The maximum lot coverage of all uses in the PUD district including accessory buildings shall not exceed twenty-five

- (25) percent. For example, the total "foot print" of all buildings, structures and accessory buildings and structures in a PUD development of one hundred (100) acres could not exceed one million eighty-nine thousand (1,089,000) square feet.
- (3) The maximum floor area ratio (FAR) for all uses in the PUD district shall not exceed 0.35. For example, in an one hundred (100) acre PUD development the maximum floor area for all floors in residential and non-residential buildings could not exceed one million five hundred twenty-four thousand six hundred (1,524,600) square feet.
 - (4) Land areas to be used in calculating gross densities, ground floor coverages, and floor areas as provided in this Section shall each be delineated on the preliminary site plan, the phasing plan and the final site plan, so that the acreage and density computations can be confirmed.
 - (5) The land area used for calculating gross residential density shall include the total residential land area designated on the preliminary site plan or final site plan, less any area within existing public street rights-of-way.
 - (6) The horizontal surface area of lakes, streams, ponds (natural, man-made, or storm water retention), marshlands, and similar areas may be included in the acreage used for calculating gross residential density if fifty (50) percent of the frontage of such areas are part of lands devoted to parks and open space used for and accessible by residents of the PUD.
 - (7) Lot coverage and FAR calculations for residential structures shall be based upon the acreage designated for gross residential density, lot coverage and FAR calculations for nonresidential uses shall be based upon land areas including acreage for private drives, parking and loading areas, open spaces around structures, landscape areas, and similar areas, but not including acreage in existing public street right-of-ways.
 - (8) Land once used to provide acreage sufficient to meet density regulations in a project within a PUD shall not again be used to compute density in another project unless the gross and net densities, lot coverage, and FAR of the subject project and all previous projects are maintained at or less than the limits established in the approved area plan.
 - (9) Top decks of underground parking structures may be included in the land area used in density calculations if such area is fully landscaped and is not used for circulation and parking of vehicles.
 - (10) The lot coverage and FAR for the PUD shall include estimated ground floor area and total floor area for the single-family detached dwelling units proposed in the PUD. The applicant shall list such estimated floor areas, and shall provide backup information to justify those estimates.
- e. *Yard Setbacks.*
- (1) A yard setback fifty (50) feet wide shall be provided along the perimeter of the PUD district fronting on a public street.
 - (2) A yard forty (40) feet wide shall be provided along the perimeter of the PUD district not fronting on a public street. Such yard shall be designed and landscaped as a buffer strip; parking lots and driveways shall not be permitted in such yard, except that drives may cross such yard.
 - (3) A yard at least thirty-five (35) feet wide shall be provided along the right-of-way of a collector street proposed within the PUD, and a yard fifty (50) feet wide shall be provided along the right-of-way of a major thorofare proposed within the PUD.
 - (4) A landscaped yard at least ten (10) feet wide shall be provided between a parking lot of five (5) or more spaces and a property line within the PUD, and

twenty (20) feet from the perimeter property line of the PUD, except when adjacent to a public street right-of-way line, existing or proposed, in which case the preceding setbacks shall apply.

- (5) A transition strip at least forty (40) feet wide shall be required on any commercial or office site when adjacent to a residential area, school site, park, and similar areas. Such strips shall be landscaped with trees, shrubs, mounds, ground covers, and other materials. The distance between any residential building and a nonresidential building shall not be less than one hundred fifty (150) feet unless waived by the City Council after recommendation by the Planning Commission.
- (6) The preceding yard requirements, except those in Section 2700,2,3 (1) and (2), herein, may be modified or waived when approved by the City Council upon recommendation of the Planning Commission. The modification or waiver shall be justified by the applicant and shall be based upon findings that topographic conditions, existing trees and other vegetation, proposed land grading and plant materials, or other site conditions perform the same functions as the required yards. Such modifications or waivers shall be clearly shown on the approved area plan.
- (7) All required yards shall be landscaped and adequately and permanently maintained by the property owner, tenant, or organization responsible for maintaining common areas as provided in Section 2509.

f. *Distances Between Buildings.*

- (1) Any single-family dwelling structure shall be located at least twenty (20) feet from any other single-family dwelling structure unless structurally attached thereto.
- (2) The location of buildings and uses and the distances between buildings shall be clearly shown on the area plan and

shall control the development and continued use of the property.

- (3) Distances between the buildings other than single family dwelling structures shall conform to the requirements for such uses where first permitted in Ordinance No. 84-18, as specified in Section 2400.
- g. *Height.* Maximum height of buildings in the PUD district shall be thirty-five (35) feet or three (3) stories or as regulated by the FAR, whichever is lower.
- h. *Circulation and Access.*
- (1) Each lot, principal building and principal use within a PUD district shall have vehicular access from a public street. All such streets shall be designed and constructed in accordance with the City of Novi Design and Construction Standards.
 - (2) The City Council, upon Planning Commission recommendation, may permit certain lots, principal buildings or principal uses to maintain vehicular access solely to a private street, provided that (a) such private street is constructed in accordance with the City of Novi Design and Construction Standards and (b) the continued maintenance of such private streets as common areas is provided for in accordance with Subsection 2700-8.
 - (3) The standards for the design and construction of private streets may be modified where strict application of the provisions would result in practical difficulties or undue hardship to the developer, provided that the City Engineers determine that the proposed modification will adequately provide the anticipated service required. Where such modification is permitted, the City of Novi may, as a condition to subsequently proposed dedication of such streets, require the owner to bear the full expense of reconstruction or other action necessary to bring the streets into compliance with the design and construction standards.

- (4) Where deemed necessary by the City Council upon recommendation of the Planning Commission, each lot or principal building in a PUD district shall have pedestrian access from a public or private sidewalk as part of the area plan. All parts of the PUD shall be interconnected by a nonmotorized safety path which will provide for the necessary safe, and convenient movement of the pedestrians. A bicycle path system shall also be provided in the PUD which may be part of the nonmotorized safety path system.
- (5) An individual dwelling unit in any single-family, two-family, townhouse, manufactured housing unit, or similar residential structure shall not have direct access to a major thoroughfare or collector street.
- i. *Utilities.*
- (1) Each principal building in a PUD district shall be connected to public water and sanitary sewer lines.
- (2) Each site in a PUD district shall be provided with adequate storm drainage. Open drainage courses and storm water retention ponds may be permitted by the City Council upon recommendation by the City Engineering Consultant consistent with the City's Stormwater Management Plan.
- (3) Electrical, telephone, and cable television lines shall be underground. Surface-mounted transformers and similar equipment for the underground wires shall be shown on the final site plan and shall be landscaped and screened from view.
Location should be flexible and shall impose minimum environmental impact.
- j. *Open Space Regulations.*
- (1) Buildings, parking lots, drives, and similar improvements may be permitted in open space areas if related and necessary to the functions of the open space. Other buildings and improvements shall be prohibited therefrom. Any permitted uses shall be designated as being available to the public or Property Owners Association.
- (2) Open space areas shall be conveniently and equitably located throughout the PUD in relation to the location of dwelling units and natural features.
- (3) Open space areas shall have minimum dimensions which, in the Planning Commission's opinion, are usable for the functions intended and which will be maintainable.
- (4) There shall be a concerted effort to create focal points of interest in entry points to the PUD through use of art, civic design, enhancement of natural landscape, and vistas.
- (5) The City Council may require, upon recommendation of the Planning Commission, that natural amenities such as ravines, rock outcrops, wooded areas, tree or shrub specimens, unique wildlife habitats, ponds, streams, and marshes be preserved as part of the open space system of the PUD.
- k. *Phasing.* Development within a PUD district may be phased as delineated on the approved area plan. Phasing shall be subject to the following requirements:
- (1) Any phase containing commercial and/or office uses shall have a residential land area containing at least one hundred (100) dwelling units.
- (2) A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, off-street parking, adequate utility services, and open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development of that phase.
- (3) The City Council, upon recommendation of the Planning Commission, may require that development be phased so that City, school districts, and County property tax revenues resulting from such development will generally balance the expenditures required by pub-

lic agencies to properly service that development so that serious overloading of utility services and community facilities will not result, so that the various amenities and services necessary to provide a safe, convenient, and healthful residential environment will be available upon completion of any one phase. The Planning Commission may require the applicant to provide housing and commercial market analyses, traffic studies, and other information necessary for the Commission to properly and adequately analyze a PUD project for recommendation to the City Council with respect to this requirement.

- (4) The Planning Commission may require, as part of a final site plan review of a development phase, that land shown as common open space on the approved area plan be held in reserve as part of a phase to be developed, in order to guarantee that density limits for the entire PUD as shown on the approved area plan will not be exceeded when the subject phase is completed. Such reserved land may be included in subsequent phases if the density regulations will not be exceeded upon completion of that phase or if other land is similarly held in reserve.
- (5) No building permits shall be issued for any commercial or office use in a PUD until building permits have been issued for at least fifty (50) dwelling units or one-quarter ($\frac{1}{4}$) of the total number of units in the approved area plan, whichever is less.

1. *Off-Street Parking and Loading/Unloading Requirements.* Off-street parking and loading/unloading requirements set forth in Section 2505, shall apply except that the number of spaces required may be reduced in a PUD if approved by the City Council, upon recommendation of the Planning Commission, as part of the area plan. Such reduction shall be justified by the applicant and shall be based upon a finding that sufficient parking will be available through

sharing of spaces by different uses, that the parking requirement is excessive for the type of use proposed, that walk-in trade for commercial centers will reduce parking demand, or similar factors.

- m. *Compliance with Area Plan and Site Plans.* A parcel of land that has been the subject of PUD approval shall not thereafter be developed or used except in accordance with the approved area plan and all preliminary and final site plans approved subsequent thereto, absent amendment in accordance with Sec. 2700-9. The approved area plan, preliminary site plans and final site plans shall be binding upon all subsequent owners of the parcel or portions thereof.

- n. *Construction.* No construction, grading, tree removal, soil stripping, or other site improvements or changes shall commence, and no permit shall be issued therefor, on a lot with or under application for a PUD classification, until the requirements of this Section have been met.

3. *Pre-Application Conference.*

- a. A potential applicant for a PUD district classification shall request a pre-application conference with City officials prior to filing an application. The request shall be made to the Department of Planning and Community Development which shall set a date and shall inform the Mayor, the City Council and Planning Commission members of the conference and invite their attendance. The Department shall also invite other officials who might have an interest in the proposed development, or who might assist the City in the review process.
- b. The purpose of the meeting is to inform City and other officials of the concept of the proposed development and to provide the potential applicant with information regarding land development policies, procedures, standards, and requirements of the City and other agencies in terms of the proposed development. To this end, the applicant is encouraged to present schematic plans, site data, and other information that will explain the proposed development.

- c. Statements made in the conference shall not be legally binding commitments.

4. *Area Plan Requirements.*

a. *Procedure for Petition and Area Plan Approvals; Public Hearing Requirement.*

- (1) Application for a PUD district classification shall be for an amendment to the City Zoning Map and approval of an area plan. An application for a PUD district classification for a parcel of land may be made by the owner(s) of record or by any person(s) acting on behalf of the owner(s) of record of the subject parcel. The applicant shall have a substantial interest in the subject property prior to filing for a PUD district classification; said filing shall be in the name of and signed by all owners. The applicant shall provide evidence of full ownership of all land in a PUD, such as legal title or execution of a binding sales agreement, prior to approval of the petition and area plan by the City Council.
- (2) The application shall be filed with the City Clerk who shall transmit the petition and the area plan to the Department of Planning and Community Development. The application must be filed at least three (3) weeks prior to the Planning Commission meeting at which it is first to be considered. Fees shall be paid to the City Treasurer; no transmittals shall be made unless the required fees have been paid in full.
- (3) Upon receipt of the petition and plan from the City Clerk, the Planning Commission shall undertake a study of the same and shall complete said study within ninety (90) days of receipt by the Planning Commission. The Planning Commission shall advise the applicant in writing of any recommended changes in the area plan as are needed to conform to the regulations and standards of Ordinance No. 84-18.
- (4) The Planning Commission shall, at the meeting at which it receives the petition and area plan from the Clerk, establish a public hearing on the petition and area plan, said hearing to be held within thirty-one (31) days of the date received by the Planning Commission. The Planning Commission shall give notice of the public hearing as required in Section 3006.
- (5) At the public hearing the applicant shall present evidence regarding the following characteristics of the proposed development:
 - (a) general character and substance;
 - (b) objectives and purpose to be served;
 - (c) compliance with regulations and standards;
 - (d) scale and scope of development proposed;
 - (e) development schedules;
 - (f) compliance with the City's Master Plan;
 - (g) demonstration that the proposed PUD represents a recognizable and substantial benefit to the residents and users of the PUD and to the City which would not be feasible or likely occur without the PUD being developed;
 - (h) demonstration that there would be no significant or material adverse effect by the PUD on the City's Master Plan;
 - (i) a showing that there would be no unreasonable impacts by the PUD on public utilities, facilities or services, on surrounding properties, or on the natural environment;
 - (j) a showing that there would be no unreasonable negative economic impact on surrounding property values or for City as a whole;
 - (k) evidence that the basic integrity of required open space, and existing woodlands and wetlands on site are substantially preserved; and
 - (l) status of single ownership or control of PUD such that there is a single person or entity hearing responsibility for completing the PUD

in conformity with the approved plan.

To this end, factual evidence and expert opinion shall be submitted by the applicant in the form of maps, charts, reports, models, and other tangible materials, and in the form of testimony by experts such as lawyers, architects, engineers, landscape architects, realtors, professional community planners, and economists as will clearly state for the record the full nature and extent of the proposal. Tangible materials shall be submitted in sufficient quantity for review by the Planning Commission and other officials.

- (6) At the public hearing or within a reasonable time following the public hearing, the Planning Commission shall make its final consideration of the request, and shall recommend to the City Council denial, approval, or approval with conditions, of the request. The Planning Commission shall have prepared a report stating its conclusions on the PUD request, the basis for its recommendations, its recommendations, and any conditions relating to an affirmative recommendation. If an amendment to the zoning ordinance is necessary to permit the proposed PUD, the Planning Commission shall also make a recommendation on the proposed zoning amendment. The public hearing held pursuant to this subsection shall also serve as the public hearing for the proposed zoning amendment.
 - (7) The City Council shall be provided with a copy of the Planning Commission's report, a summary of comments received at the public hearing, minutes of all proceedings, and all documents related to the PUD request. Within a reasonable time of the action of the Planning Commission, the City Council shall deny, approve or approve with conditions, the request.
 - (8) If the petition and area plan are approved by the City Council, the applicant shall review the petition and area plan in their approved form. The applicant and all owner(s) of record or the legal representative of the owner(s) of record of all property included within the PUD shall then sign an agreement that the approved petition and area plan, and the conditions of approval, shall be binding upon the applicant and owner(s) of record and upon their heirs, successors, and assigns. The petition and area plan shall not be officially approved nor may the applicant submit a preliminary site plan, where applicable, or a final site plan for the lot or any part thereof, until said agreement has been signed as required herein and has been received by the City Clerk.
 - (9) Within three (3) days of the official approval of the petition and the area plan by the City Council, the City Clerk shall attest the PUD district designation for the lot in question on the Zoning Map.
 - (10) The approved area plan and signed agreement shall be recorded by the petitioner with the Oakland County Register of Deeds within ten (10) days of the date of approval of the petition and the area plan by the City Clerk. The petitioner shall immediately provide a certified copy of the recorded documents to the City Clerk.
 - (11) The City Council may enforce any or all provisions of the approved area plan and agreement, and conditions of approval, against the petitioners, owners, successors, assigns, or agents.
 - (12) Performance guarantees to assure compliance with the approved area plan and conditions of approval may be required by the City Council at the time of approval of the area plan. Guarantee to assure completion of site improvements shall be provided in accordance with Section 3005,8,c.
- b. (1) An area plan for a PUD consisting of eighty (80) acres or less shall contain all the information required for a preliminary site plan as set forth in Sec-

- tion 2516a and the City's Site Plan Manual, and the following information:
- (a) density of use for each use area of the site;
 - (b) location, size, and uses of common open space and recreation areas;
 - (c) general description of the organization to be established to own and maintain common open space;
 - (d) general description of covenants, grants, easements, or other restrictions to be imposed upon land or buildings, including easements for public utilities, by-laws, and articles of incorporation for any home owners' association or cooperative association;
 - (e) description of applicant's intentions regarding selling or leasing of all or portions of land in the PUD and of dwelling units;
 - (f) description of all proposed nonresidential uses, including types of stores and offices;
 - (g) general landscape concept showing woodlands and vegetation to be preserved or added, topography, and similar features;
 - (h) recognition of existing wetlands;
 - (i) delineation of areas to be subdivided; and
 - (j) average initial sales prices of dwelling units for sale and/or average initial rents of rental dwelling units.
- (2) An area plan for a PUD consisting of more than eighty (80) acres shall contain the information as required in Section 2700,4,b(1)(a) through (j), preceding, and the following information:
- (a) location, type, and land area of each land use; density of dwelling units (dwelling units per acre); type of dwelling units;
 - (b) general location and right-of-way width of proposed public streets; general location and surface width of major private streets/drives;
 - (c) general location of proposed parking areas and approximate number of spaces to be provided in each area;
 - (d) general delineation of areas of intended cutting or filling; existing natural features to be preserved or removed; location of existing structures, streets, and drives; location and purpose of existing easements;
 - (e) adjacent land uses;
 - (f) location and area of each development phase; summary of land use information as required in Subsection (a) preceding for each phase; and
 - (g) general description of proposed water, sanitary sewer, and storm drainage systems.
- c. *Standards for Petition and Area Plan Review.* The Planning Commission's report to City Council shall include its determination as to whether the petition and area plan meet the following standards:
- (1) The proposed development shall conform to the City Master Plan or any part thereof, or represents land use policy which, in the Planning Commission's opinion, is a logical and acceptable change in the Master Plan.
 - (2) The proposed development shall conform to the intent and to all regulations and standards of the PUD district and of Ordinance No. 84.18.
 - (3) The proposed development shall be adequately served by public facilities and services such as: highways, streets, police and fire protection, drainage courses, water and sanitary sewer facilities, refuse disposal, or that the persons or agencies responsible for the proposed development shall be able to provide in a manner acceptable to the City Council, any such facilities and services.
 - (4) The common open space, any other common properties, individual properties, and all other elements of the PUD are so planned that they will achieve a unified open and recreation area sys-

- tem with open space and all other elements in appropriate locations, suitably related to each other, the site, and the surrounding land.
- (5) The applicant shall have made provision, satisfactory to the City Council, to assure that those areas shown on the plan for use by the public or by occupants of the development will be or have been irrevocably committed for that purpose. Provision, satisfactory to the City Council, shall have been made to provide for the financing of any improvements shown on the plan for open space area, and common use areas which are to be included within the development, and that maintenance of such improvements is assured by a means satisfactory to the City Council.
 - (6) The location of the proposed uses, layout of the site, and its relation to streets giving access to it, shall be such that traffic to, from, and within the site and assembly of persons in connection therewith, will not be hazardous or inconvenient to the project or the neighborhood. In applying this standard the Planning Commission shall consider, among other things, convenient routes for pedestrian traffic, particularly of children, relationship of the proposed project to major thoroughfares and street intersections, and the general character and intensity of the existing and potential development of the neighborhood.
 - (7) The mix of housing unit types and densities, and the mix of residential and nonresidential uses shall be acceptable in terms of convenience, privacy, compatibility, and similar measures.
 - (8) Where applicable, the Planning Commission shall determine that noise, odor, light, or other external effects from any source whatsoever, which is connected with the proposed use, will not adversely affect adjacent and neighboring lands and uses.
 - (9) The proposed development shall create a minimum disturbance to natural features and land forms.
 - (10) Streets shall follow topography, be properly spaced, and be located and aligned in accordance with the intended function of each street. The property shall have adequate access to public streets. The plans shall provide for logical extensions of public streets and shall provide suitable street connections to adjacent parcels, where applicable.
 - (11) Major pedestrian circulation shall be provided for within the site, and shall interconnect all residential areas, community areas, and commercial and other services where applicable. The pedestrian system shall provide a logical extension of pedestrian ways from outside the site and shall provide pedestrian connections to the edges of the site, where appropriate.
- d. *Effect of Approval of Petition and Area Plan.* Approval of the petition and area plan by the City Council shall have the following effects:
- (1) Approval shall confer a right to the applicant, for a period of three (3) years from the date of approval, that existing zoning regulations as they apply to the land included in the petition, and the area plan, shall remain unchanged, provided that required subsequent planning and/or construction are diligently pursued in accordance with the approved area plan within this time period.
 - (2) Approval of an area plan shall indicate the City Council's and Planning Commission's acceptance of uses, building location in the case of a PUD of eighty (80) acres or less in area, layout of streets, dwelling unit count and type, floor areas, densities, and all other elements of the area plan.
 - (3) Approval of an area plan of eighty (80) acres or less in area shall authorize the applicant to file an application for

final site plan approval for all or any phase of the development shown on the approved area plan. Final site plans shall not be required of any area which is to be platted for single-family detached residential use. Such approval shall also authorize construction to begin onsite improvements such as streets and drives, parking lots, grading, installation of utilities, and building foundations, provided the City Council gives permission for such construction after recommendation by the Planning Commission. Grading, tree removal, and other changes in the existing topography and natural features shall be limited to the minimum required to permit construction as authorized in this Sub-Section. Construction shall be limited to those elements whose location, size, alignment, and similar characteristics will not require review as part of a final site plan or any plat. Engineering plans and specifications shall be approved, and performance guarantees shall be provided as required by Section 3005,8,c before such construction may commence.

- (4) Approval of an area plan of more than eighty (80) acres shall authorize the applicant to file a preliminary site plan on each phase of the proposed development as delineated on the approved area plan and phasing plan. No construction shall begin within any phase until after a preliminary site plan is approved.
- (5) Approval of an area plan by the City Council shall authorize the applicant to file a preliminary plat for tentative approval in accordance with the Subdivision Control Act (Act 288, P.A. 1967, as amended), and the City's Subdivision Control Ordinance No. 77-45 [Code of Ordinances, Chapter 32, Article II], as amended, for all or parts of the areas included within the PUD which are to be platted.
- (6) No deviations for the area plan approved by the City Council shall be permitted except as provided in this Section.

5. *Preliminary Site Plan Requirements.* A preliminary site plan shall be submitted for approval for each phase of development as delineated on the approved area plan only for PUDs consisting of more than eighty (80) acres of land area. The preliminary site plan shall be submitted and reviewed, and shall meet all provisions of Section 2516. In addition to these provisions, the preliminary site plans shall conform to the approved area plan.

6. *Final Site Plan Requirements.* A final site plan shall be approved for each phase of a PUD as delineated on the approved area plan. Each final site plan shall be submitted and reviewed, and shall meet all provisions of Section 2516. Landscaping plans shall be submitted and be in accordance with the standards set forth in Section 2509. Landscaping within a given phase shall conform to those requirements applicable to the type of development within that phase, i.e., detached single-family development shall conform to the requirements applicable to subdivisions, etc. The Planning Commission shall transmit the approved final site plan to the city Council for its information.

7. *Subdivision Plats.*

- a. A preliminary plat for all or part of a PUD may be submitted for review and approval following approval of the PUD area plan by the City Council.
- b. The City Council shall have the authority to deny or table an application for tentative approval of a preliminary plat if, in its opinion and after a report thereon from the Planning Commission, such plat will result in premature development of the area involved or will result in improper scheduling of various public improvements such as, but not limited to, roads, utilities, and schools.
- c. A preliminary or final site plan shall not be required for any parts of a PUD which are to be platted for single-family detached residential development.
- d. Plats in a PUD shall conform to the Act 288, P.A. 1967, as amended, the City Ord-

nance No. 77-45 [Code of Ordinances, Chapter 32, Article III], as amended, the regulations of the PUD district, and the approved area plan.

8. *Common Areas and Facilities.*

- a. The location, extent, and purpose of all common areas and facilities shall be clearly identified on the area plan, on the preliminary site plan where applicable, and on each final site plan. All such areas and facilities which are to be conveyed to any agency if accepted by said agency, shall be clearly identified accordingly on the final site plan(s).
- b. All public areas and facilities which are to be dedicated to and occupied by a public agency shall be so dedicated and accepted by said agency of a final site plan, unless a binding agreement for dedication is provided in lieu of dedication.
- c. Legal instruments setting forth a plan or manner of permanent care and maintenance of common areas and facilities shall be submitted to the City Attorney for review as to legal form and effect, and to the City Council or Planning Commission, whichever is applicable, for review, as to the suitability of such areas and facilities for the proposed use. Said legal instrument shall become a part of the approved plat or final site plan, whichever is applicable.
- d. Where Property Owners Associations (POA) are to be used to maintain and preserve common areas and facilities, the developer shall file a declaration of covenants and restrictions that will govern the POA(s), same to be filed with the area plan application. The provisions shall include, but shall not be limited to the following:
 - (1) A POA shall be established before any homes or businesses in the PUD are sold or leased.
 - (2) Membership in the POA shall be mandatory for each buyer and for any successive buyer and shall be so specified in the covenants.
 - (3) Restrictions shall be permanent.

- (4) The POA shall be made responsible for liability insurance, local taxes, and maintenance of common areas and facilities.
- (5) Property owners shall pay their pro rated share of the costs and it shall be so specified in the covenants. Assessments levied by the POA can become a lien on the property.
- (6) A POA shall have authority to adjust the assessment to meet changed needs.
- (7) The City Council shall review the proposed by-laws and articles of incorporation of any POA prior to approval of the area plan.

- e. The permanence and integrity of common open space may be secured by conveyance of development rights of such areas to a public agency if accepted by said public agency. Such rights shall not include those needed to improve the common open space areas in accordance with an approved area plan, approved preliminary site plan, where applicable, phasing plan, and final site plan.
- f. Common areas and facilities may be deeded to a trustee who shall be responsible for the collection and disbursement of funds, and who shall account to the individual owners as to the use of their monies. If a trustee is utilized, the trustee shall employ a professional manager. The trustee may be a home owners' association, a trust company, or similar organization.
- g. Easements shall be given to each individual owner for the use of such areas and facilities.
- h. Where facilities are to be constructed as part of the common area open space system performance guarantees shall be provided as required by Section 3005,8,5.

9. *Amendment and Revisions.*

- a. A developer may request an amendment to an approved area plan, an approved preliminary site plan, or an approved final site plan. Any amendment to an approved preliminary or final site plan which results

- in a major change in the approved area plan, as defined in this Section, shall require an amendment to the approved area plan. All amendments shall follow the procedures and conditions herein required for original submittal and review, in full.
- b. A request for amendment shall be made in writing to the Planning Commission and shall clearly state the reasons therefor. Such reasons may be based upon such considerations as changing social or economic conditions, potential improvements in layout or design features, unforeseen difficulties, or reasons mutually affecting the interests of the City and developer, such as technical causes, site conditions, state or Federal projects and installations, and statutory revisions. The Planning Commission, upon finding such reasons and requests reasonable and valid, shall so notify the applicant in writing. Following payment of the appropriate fee as required for original submittal, the developer shall submit the required information to the Planning Commission for review. If the approved plan is to be amended, the Planning Commission shall immediately notify the City Council.
- c. Modifications to be considered major changes, for which amendment is required, shall include one or more of the following:
- (1) change in concept of the development;
 - (2) change in use or character of the development;
 - (3) change in type of dwelling unit as identified on the approved area plan;
 - (4) change in the number of dwelling units;
 - (5) change in nonresidential floor area of over five (5) percent;
 - (6) change in lot coverage and FAR of the entire PUD of more than one (1) percent;
 - (7) rearrangement of lots, blocks, and building tracts;
 - (8) change in the character or function of any street;
 - (9) reduction in land area set aside for common open space or the relocation of such area(s); or
 - (10) increase in building height.
- d. A developer may request Planning Commission approval of modifications which constitute minor changes, as defined in this Section, in an approved area plan, in an approved preliminary site plan, where applicable, or in an approved final site plan. The Planning Commission shall notify the City Council and any other applicable agency of its approval of such minor changes. The revised drawings as approved shall each be signed by the applicant and the owner(s) of record or the legal representative(s) of said owner(s).
- e. Modifications to be considered minor changes, for which approved plans may be revised rather than amended, shall include, among other similar modifications, the following:
- (1) a change in residential floor area;
 - (2) a change in nonresidential floor area of five (5) percent or less;
 - (3) minor variations in layout which do not constitute major changes; and/or
 - (4) a change in lot coverage and FAR of the entire PUD of one (1) percent or less.
- [f. Reserved.]
- g. The Planning Commission shall have the authority to determine whether a requested change is major or minor, in accordance with this Section. The burden shall be on the applicant to show the reasons for any requested change owing to changed physical or economic factors, or consumer demand.
10. *Expiration of Plan Approvals.*
- a. An area plan shall expire eighteen (18) months after approval by the City Council unless a final site plan for the first phase of the project, or the entire property in the PUD if development is not to occur in phases, is submitted to the Planning Commission for review and approval. Thereafter the final site plan for each subsequent phase shall be submitted to the Planning Commission for review and approval within two (2) years of the date of approval of the immediately preceding final site plan.

- b. A final site plan for the entire area classified as a PUD, or all final site plans for all phases thereof, shall have received approval of the Planning Commission within three (3) years, in the case of PUD of eighty (80) acres or less in area, or within five (5) years for a PUD of more than eighty (80) acres in area, of the date to City Council approval of the area plan. All final plats in the PUD shall have been approved and recorded within the preceding time periods.
- c. Expiration of an approved area plan as set forth in Section 2700,10,a, preceding and failure to obtain approval of final site plans and final plats as provided in Sections 2700,10, a and b, shall authorize the City Council to revoke the right to develop under the approved area plan, after a hearing, unless the developer has requested, and the City Council has approved an extension of time. (See SEC 2700,11.) Where the plan has been revoked the City Council may require that a new area plan be filed and reviewed in accordance with the requirements for the original application. Said expiration shall also authorize the City Council to initiate a zoning amendment to place the subject property into one or more zoning districts deemed by the City Council to be appropriate. Expiration of an approved area plan shall be duly noted on the Official Zoning Map, and shall be signed by the Mayor and attested by the City Clerk. The Building Inspector [Official] shall notify the City of the expiration of an approved area plan.
- d. Approval of a final site plan in a PUD shall expire and be of no effect one hundred eighty (180) days after the date of approval of the Planning Commission unless the Building Inspector [Official] shall have issued a building permit for the development authorized by said approved plan. A final site plan in a PUD shall expire and be of no effect five hundred forty-five (545) days after the date of approval by the Planning Commission unless construction is begun and is diligently pursued in accordance with the approved final site plan. Expiration of an approved final site plan shall authorize the Planning Commission to require filing and review of a new final site plan in accordance with the provisions of this Section.
- e. Development shall be completed within two (2) years of the date of approval of a final site plan. If said development is not so completed, the Planning Commission shall not review or approve final site plans for any subsequent phases of the PUD unless the developer has requested and the Planning Commission has approved an extension of time. (See SEC. 2700,11.)
- f. If an approved area plan or an approved final site plan has expired as set forth in this Section, no permits for any development or use of the property included in the PUD shall be issued until the applicable requirements of this Section have been met.
11. *Extension of Time Limits.* Time limits set forth in this Section may be extended upon showing by the developer that changed physical or economic factors, or consumer demand require a time extension, and by written agreement, between the applicant and the City Council, in the case of area plans, and between the applicant and the Planning Commission, in the case of final site plans.
12. *Modifications During Construction.* All site improvements and building construction shall conform to all approved plans required in this Section which authorizes such improvements and construction, and to all approved engineering and architectural plans related thereto. If the applicant or developer makes any changes in the improvements and buildings during construction in relation to such approved plans he shall do so at his own risk, without assurance that the City Council, Planning Commission, or City Official, whichever is applicable, will approve such changes. Where field changes are necessary, the applicant or developer shall, if reasonably possible, first obtain approval from the appropriate body or official. If such prior approval cannot be obtained, and the changes are made, the applicant shall immediately notify the appropriate body or official of such changes and shall, as soon thereafter as is reasonable, submit as-built drawings of all

such changes. The City Council, Planning Commission, Building Director, or City Consulting Engineer, whichever is applicable, may require the applicant to correct any change made in the field without prior approval so as to conform to the approved plans.

13. *Performance Guarantees.* Performance guarantees to assure compliance with the approved area plan and conditions of approval may be required by the City Council at the time of approval of the area plan. Guarantees to assure completion of site improvements shall be provided in accordance with Section 3005,8,c.

14. *Violations.*

- a. An area plan, preliminary plan, or final site plan approved under the provisions of this Section shall have the full force of the Zoning Ordinance. Any violation of such approved plan shall be grounds for the City Council to order that all construction be stopped, and to order that building permits and certificates of occupancy be withheld until the violation is removed or adequate guarantee of such removal is provided to the City Council.
- b. Violations of any plan approved under this Section, or failure to comply with any requirements of this Section, including any agreements and conditions attached to any approved plan, shall be considered a violation of this Ordinance as provided in Section 3800.

(Ord. No. 86-18.28, Pt. I, 11-3-86; Ord. No. 88-18.63, Pt. II, 12-12-88; Ord. No. 90-18.94, Pt. IV, 10-1-90)

ARTICLE 28. RESERVED*

Secs. 2800—2803. Reserved.

*Editor's note—Ord. No. 88-18.59, Pt. I, adopted Sept. 12, 1988, repealed former App. A, Art. 28, §§ 2800—2803, relative to senior citizen housing, which derived from Ord. No. 87-18.41, Pt. I, adopted July 6, 1987, and Ord. No. 88-18.54, Pt. II, adopted April 18, 1988.

Supp. No. 14

ARTICLE 29. GENERAL EXCEPTIONS

Sec. 2900. Area, Height and Use Exceptions.

The regulations in this Ordinance shall be subject to the following interpretations and exceptions.

Sec. 2901. Essential Services.

Essential services serving the City of Novi shall be permitted as authorized and regulated by law and other ordinances of the Municipality. Overhead or underground lines and necessary poles and towers to be erected to service primarily those areas beyond the Municipality shall receive the review and recommendation of the Planning Commission to the City Council, and the review and approval, after public hearing, of the City Council. Such a review of the City Council shall consider abutting property and uses as they relate to easements, rights-of-way, overhead lines, poles and towers and further, shall consider injurious effects on property abutting or adjacent thereto and on the orderly appearance of the City.

Sec. 2902. Voting Place.

The provisions of this Ordinance shall not be so construed as to interfere with the temporary use of any property as a voting place in connection with a municipal or other public election.

Sec. 2903. Height Limit.

The height limitations of this Ordinance shall not apply to farm buildings, chimneys, church spires, flagpoles, public monuments or commercial wireless transmission towers; provided, however, that the Board of Appeals may specify a height limit for any such structure requires authorization as a conditional use and provided further that the height of any such structure shall not be greater than the distance to the nearest property line.

Sec. 2904. Lot Area.

Any lot existing and of record on the effective date of this Ordinance may be used for any principal use permitted in the district [in] which such lot is located, other than conditional uses for which

PUD AGREEMENT & AREA PLAN

PLANNED UNIT DEVELOPMENT AGREEMENT 92 113168

125907755

THIS AGREEMENT is made and entered into this 10th

day of July, 1989, by and between the CITY OF NOVI, a Michigan municipal corporation ("CITY") whose address is 45175 West Ten Mile Road, Novi, Michigan 48050, and the undersigned Property Owners ("PROPERTY OWNERS"), represented collectively by Classic Construction Corporation, a Michigan corporation whose address is 7001 Orchard Lake Road, Suite 130, West Bloomfield Township, Michigan 48322.

A#36 REG/DEEDS PAID
0001 MAY.08'92 11:52AM
9480 MISC 321.00

RECITALS

A. The Property Owners are the owners of property located in Sections 1 and 2 of the City of Novi, Oakland County, State of Michigan, described in Exhibit A attached hereto ("PROPERTY").

A#36 REG/DEEDS PAID
0001 MAY.08'92 10:52AM
9480 RMT FEE 2.00

B. Article 27 of the City's Ordinance No. 84-18, as amended, the City of Novi Zoning Ordinance, provides for the Planned Unit Development as a method of development designed to allow a combination of single-family residential, multiple-family dwellings, commercial and office uses in a manner which is innovative, efficient and which will protect and conserve natural resources and be compatible with adjacent uses of land.

#4 Ent

C. The Property Owners wish to develop the Property as a Planned Unit Development pursuant to Article 27 of the City of Novi Zoning Ordinance.

D. The Property Owners have applied to the City for permission to develop the Property as a Planned Unit Development by submission of a petition and area plan. The petition and area plan were approved by the Novi City Council on January 9, 1989.

Success P4

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NOW, THEREFORE, in consideration of the mutual covenants provided herein, the parties agree as follows:

1. That the Property Owners shall have the right to development of the Property as a Planned Unit Development in accordance with the approved petition and area plan, attached hereto as Exhibit B, and made a part hereof, and those conditions imposed by the City at the time of approval of the petition and area plan, as contained in the minutes of the meeting of the Novi City Council of January 9, 1989, and in accordance with all applicable statutes, ordinances, rules and regulations, including but not limited to

O.K. - LM DP per [unclear]

125902756

Article 27 of the City of Novi Zoning Ordinance. The Property shall not be developed or used except in accordance with the approved area plan, the conditions set forth in the minutes of the meeting of the Novi City Council held on January 9, 1989, and all preliminary and final site plans subsequently approved, absent amendment as permitted under Article 27 of the City of Novi Zoning Ordinance.

2. By approval of the petition and area plan, the City accepts the proposed uses, the layout of streets, the dwelling units count and type, and all other elements of the petition and area plan. The Property Owners are authorized to submit a preliminary site plan as to each phase of the development. No construction or any phase shall commence until approval by the City of a preliminary site plan and final site plan for that phase. The City may, pursuant to City ordinances, require the Property Owners to provide financial guarantees for the completion of road, water mains, sanitary sewers, and storm drains for the entire planned unit development. Where such guarantees are required, no construction of any phase shall commence until such guarantees have been provided. For those areas of the development to be platted, the Property Owners are authorized to submit a preliminary plat for tentative approval in accordance with Act 288 of the Public Acts of 1967, as amended, the Subdivision Control Act, and City of Novi Ordinance No. 77-45, as amended, the City of Novi Subdivision Ordinance. The approved petition and area plan shall expire on July 9, 1990, eighteen (18) months after approval, unless the Property Owners have submitted to the City of Novi Planning Commission for review and approval of a final site plan for the first phase of the development. Thereafter, the site plans for subsequent phases shall be submitted in accordance with Section 2700-10b of City of Novi Ordinance No. 84-18, as amended, the City of Novi Zoning Ordinance.

3. The Property Owners designate Classic Construction Corporation, a Michigan corporation, as their representative for purposes of dealing with the City relative to this Agreement and development of the Planned Unit Development.

4. This Agreement shall be deemed to run with the land and shall bind the heirs, successors and assigns of the parties hereto and all subsequent owners of the land within the development.

REF 12590757

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first written above.

WITNESSES:

Nancy Beutter
Nancy Keatter
Monique M. Skinner
Monique M. Skinner

CITY OF NOVI, a Michigan municipal corporation

BY: Matthew Quinn
MATTHEW QUINN - Mayor

BY: Geraldine Stipp
GERALDINE STIPP - City Clerk

Thomas S. Lydick
THOMAS S. LYDICK
James E. Beyer
JAMES E. BEYER

THE MAPLE GROUP, a Michigan co-partnership

BY: Sam Blumenstein
Sam Blumenstein

Its: Preston

Thomas S. Lydick
THOMAS S. LYDICK
James E. Beyer
JAMES E. BEYER

CLASSIC CONSTRUCTION CORPORATION, a Michigan corporation,

BY: Sam Blumenstein
Sam Blumenstein

Its: 1225. 05. 17

Renee Szymaniowski
Renee Szymaniowski
Melissa A. Sundquist
Melissa A. Sundquist

MANUFACTURERS NATIONAL BANK OF DETROIT, a Michigan corporation (Mortgage Holder only)

BY: James D. Preston
James D. Preston

Its: Vice President

STATE OF MICHIGAN)
) SS:
COUNTY OF Oakland)

On this 10th day of July, 1989, before me a Notary Public personally appeared MATTHEW QUINN and GERALDINE STIPP, Mayor and City Clerk, and who, after being first duly sworn, did say they executed this Agreement on behalf of the City of Novi and acknowledged the same to be the free act and deed of the City of Novi, made and executed by them on the City's behalf by the authority of Novi City Council.

Agnes C. Durbin
Notary Public
Oakland, County, Michigan
My Commission Expires: 8/19/92

AGNES C. DURBIN
NOTARY PUBLIC STATE OF MICHIGAN
OAKLAND COUNTY
MY COMMISSION EXP. AUG. 19, 1992

STATE OF MICHIGAN)
) SS:
COUNTY OF OAKLAND)

LIBER 12590758

On this 4th day of May, 1989, before me a Notary Public personally appeared James D. Preston, Vice President, and who, after being first duly sworn, did say they executed this Agreement on behalf of the Manufacturers National Bank of Detroit, a Michigan corporation, and acknowledged the same to be the free act and deed of the Manufacturers National Bank of Detroit, made and executed by him/her on the Bank's behalf by the authority of Manufacturers National Bank of Detroit.

Brenda Ann Tait
Notary Public
Wayne, County, Michigan
My Commission Expires: _____

BRENDA ANN TAIT
Notary Public, Wayne County, MI
My Commission Expires June 17, 1991
Acting in Oakland County, MI

STATE OF MICHIGAN)
) SS:
COUNTY OF Dublin)

On this 26th day of April, 1989, before me a Notary Public, personally appeared Sam Blumenstein
partner of The Maple Group AND President of
Classic Construction Corp.

who are the representatives of the Property Owners and who did say that they executed this Agreement on behalf of said Property Owners.

ARLEEN R. BLUMENSTEIN
Notary Public, Oakland County, MI
My Commission Expires 8-18-91

Arleen Blumenstein
Notary Public
Oakland County, Michigan
My Commission Expires: 8-18-91

~~DRAFTED BY AND WHEN~~
~~RECORDED RETURN TO:~~

DENNIS WATSON, ESQ.
FRIED & LEVITT, P.C.
30700 Telegraph Road, Suite 3655
Birmingham, MI 48010-3979

GREW PICK UP

12590759

EXHIBIT APARCEL I AND II:

Land situated in the Township of Novi, Oakland County, State of Michigan, described as the West half of the Northeast fractional quarter of Section 2, Town 1 North, Range 8 East, EXCEPT: A parcel of land situated in the West 1/2 of the Northeast fractional 1/4 of Section 2, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, more particularly described as follows: Beginning at a point on the North line of the Northeast fractional 1/4 of Section 2, said point being located South 88 degrees 44 minutes 36 seconds East 220.19 feet from the North 1/4 corner of said Section; thence parallel to the North and South 1/4 line of said Section, South 00 degrees 54 minutes 00 seconds West 500.27 feet to a point of curve; thence along the arc of a curve to the right, 304.54 feet to a point of tangent, said curve having a radius of 775.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance, South 12 degrees 09 minutes 00 seconds West 302.59; thence South 23 degrees 24 minutes 00 seconds West 249.74 feet to a point of curve; thence along a arc of a curve to the left 338.31 feet to a point of tangent, said curve having a radius of 861.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance, South 12 degrees 09 minutes 00 seconds West 336.14 feet; thence along the North and South 1/4 line of said Section, South 00 degrees 54 minutes 00 seconds West 1845.17 feet to the center of Section 2; thence along the East and West 1/4 line of said Section, South 89 degrees 33 minutes 08 seconds East 86.00 feet; thence parallel to the North and South line of said Section, North 00 degrees 54 minutes 00 seconds East 1844.49 feet to a point of curve; thence along the arc of a curve to the right 304.54 feet to a point of tangent, said curve having a radius of 775.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance North 12 degrees 09 minutes 00 seconds East 302.59 feet; thence North 23 degrees 24 minutes 00 seconds East 249.74 feet to a point of curve; thence along the arc of a curve to the left 338.31 feet to a point of tangent, said curve having a radius of 861.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance North 12 degrees 09 minutes 00 seconds East 336.14 feet; thence parallel to the North and South 1/4 line of said Section, North 00 degrees 54 minutes 00 seconds East 499.92 feet to the North line of the Northeast fractional 1/4 of Section 2; thence along said North line, North 88 degrees 59 minutes 36 seconds West 43.00 feet to the South 1/4 corner of Section 35, Town 2 North, Range 8 East, thence along the North line of the Northeast fractional 1/4 of Section 2, North 88 degrees 44 minutes 36 seconds West 43.00 feet to the point of beginning. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. 22-02-201-001.
22-02-200-004.

PARCEL III:

Beginning the East 18 1/2 acres of the Southeast 1/4 of the Northeast fractional 1/4 of Section 2, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. 22-02-200-003.

PARCEL IV:

Being the West 40 acres of the North 160 acres of the Northwest fractional 1/4 of Section 1, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. 22-01-200-001.

PARCEL V:

125903760

The East 1/2 of the Northeast fractional 1/4, except the East 18.5 acres of the Southeast 1/4 of said Northeast fractional 1/4 of Section 2, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. 22-02-200-002.

LIBER 12590761

EXHIBIT A (RESTATED)

The legal descriptions on the prior pages are now described as:

LEGAL DESCRIPTION:

Land in the City of Novi, Oakland County, Michigan, described as:

PARCEL A: Part of the Northeast 1/4 of Section 2, Town 1 North, Range 8 East, Novi Township, now City of Novi, Oakland County, Michigan, described as beginning at the North 1/4 corner of said Section 2 and proceeding thence South 88 degrees 44 minutes 36 seconds East 220.16 feet along the North line of Section 2 to the West right of way of Decker Road (86 feet wide); thence thence following four (4) courses and distances along said right of way line South 00 degrees 54 minutes 00 seconds West 500.09 feet and 304.54 feet along an arc of a curve to the right, radius 775.51 feet, central angle 22 degrees 29 minutes 59 seconds, chord length 302.59 feet and a chord bearing of South 12 degrees 09 minutes 00 seconds West and South 23 degrees 24 minutes 00 seconds West 249.74 feet and 338.31 feet along an arc of a curve to the left, radius 861.51 feet, central angle 22 degrees 29 minutes 59 seconds chord length 336.14 feet and a chord bearing of South 12 degrees 09 minutes 00 seconds West to the North and South 1/4 line of Section 2; thence North 00 degrees 54 minutes 00 seconds East 1358.82 feet along said 1/4 line to the point of beginning.

22-02-201-001

PARCEL B1: ALL OF THE MAPLES OF NOVI, MAPLE HILLS CONDOMINIUM, according to the Master Deed recorded in liber 11034, pages 593 through 635, both inclusive, and First Amendment to the Master Deed recorded in liber 11315, pages 681 through 688, both inclusive, Oakland County Records, and Second Amendment to the Master Deed recorded in liber 11522, pages 526 and 527, and Third Amendment to the Master Deed recorded in liber 11550, pages 354 through 363, both inclusive, and Fourth Amendment to the Master Deed recorded in liber 11597, pages 861 through 862, both inclusive, and Fifth Amendment to the Master Deed recorded in liber 11724, pages 783 through 795, both inclusive, Oakland County Records and designated as Oakland County Condominium Subdivision Plan No. 627 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

22-01-101-000 9000 627

PARCEL B2: ALL OF THE MAPLES OF NOVI, MAPLE GREENS CONDOMINIUM, according to the Master Deed recorded in liber 11034, pages 636 through 677, both inclusive, and amended by First Amendment recorded in liber 11478, pages 891 through 901, both inclusive, and Second Amendment recorded in liber 11607, page 465 through 474, both inclusive, and Third Amendment to the Master Deed recorded in liber 11635, pages 778 through 798, both inclusive, and Fourth Amendment to the Master Deed recorded in liber 11666, pages 755 through 759, both inclusive, and Fifth Amendment to the Master Deed recorded in liber 12179, pages 156 through 167, both inclusive, and Sixth Amendment to Master Deed recorded in liber 12246, pages 058, through 066, both inclusive, Oakland County Records, and designated as Oakland County Condominium Subdivision Plan No. 628 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

22-02-226-000 95006 28

PARCEL B3: ALL OF THE MAPLES OF NOVI, MAPLE POINTE CONDOMINIUM, according to the Master Deed recorded in liber 11664, pages 616 through 675, both inclusive, and First Amendment to the Master Deed recorded in liber 11737, pages 626 through 632, both inclusive, and Second Amendment to the Master Deed recorded in liber 12038, pages 338 through 348, both inclusive, and Third Amendment to the Master Deed recorded in liber 12115, pages 428 through 440, both inclusive, Oakland County Records, and designated as Oakland County Condominium

Continued on next page

LIBER 12590762

LEGAL DESCRIPTION 'CONTINUED':

Subdivision Plan No. 709 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

22-02-202-000

9080709

PARCEL B4: ALL OF THE MAPLES OF NOVI, MAPLE HEIGHTS, according to the Master Deed recorded in liber 12350, pages 545 through 514, both inclusive, Oakland County Records, and designated as Oakland County Condominium Subdivision Plan No. 750 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

PT OF 22-02-200-017 (INDIVIDUAL SIDWELLS ^{unit 0} NOT YET ASSIGNED)

PARCEL B5: Part of the Northwest 1/4 of Section 1 and part of the Northeast 1/4 of Section 2, beginning at the Northwest corner of Section 1, thence South 88 degrees 38 minutes 01 seconds East 649.63 feet; thence South 02 degrees 05 minutes 07 seconds West 691.80 feet; thence South 87 degrees 46 minutes 02 seconds East 17 feet; thence South 00 degrees 49 minutes 18 seconds West 1835.59 feet; thence North 88 degrees 39 minutes 42 seconds West 682.52 feet; thence South 01 degrees 32 minutes 29 seconds West 649.34 feet; thence North 89 degrees 33 minutes 08 seconds West 2570.63 feet; thence North 00 degrees 54 minutes 00 seconds East 1844.49 feet; thence along curve to the right, radius 775.51 feet, chord bears North 12 degrees 09 minutes 00 seconds East 302.59 feet, distant of 304.54 feet; thence North 23 degrees 24 minutes 00 seconds East 249.74 feet; thence along curve to the left, radius 861.51 feet, chord bears North 12 degrees 09 minutes 00 seconds East 336.14 feet, distant of 338.31 feet; thence North 00 degrees 54 minutes 00 seconds East 499.75 feet; thence South 89 degrees 00 minutes 02 seconds East 2385.96 feet to beginning, except that part taken for THE MAPLES OF NOVI, MAPLE GREENS, Oakland County Condominium Plan No. 628, and THE MAPLES OF NOVI, MAPLE HILLS, Oakland County Condominium Plan No. 627 and THE MAPLES OF NOVI, MAPLE POINTE, Oakland County Condominium Plan No. 709, and THE MAPLES OF NOVI, MAPLE HEIGHTS, Oakland County Condominium Plan No. 750.

22-02-200-017

not

LIBER 12590763

X-FILE

Classic
CONSTRUCTION
CORPORATION

Proposed
Maples of Novi

AREA PLAN

LIBER 12590764

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LIBER 12590768

III. PROJECTION DESCRIPTION

The Maples of Novi

1. INTRODUCTION

Since June, 1985, The Maple Group, owners of land in Section 2, Novi, Michigan encompassing 228 acres, have worked with the City of Novi and its consultants in an effort to create a land use Master Plan. This working relationship was important in that Section 2 in Novi is a unique parcel of land, both due to its location as an entrance to the city and natural site characteristics.

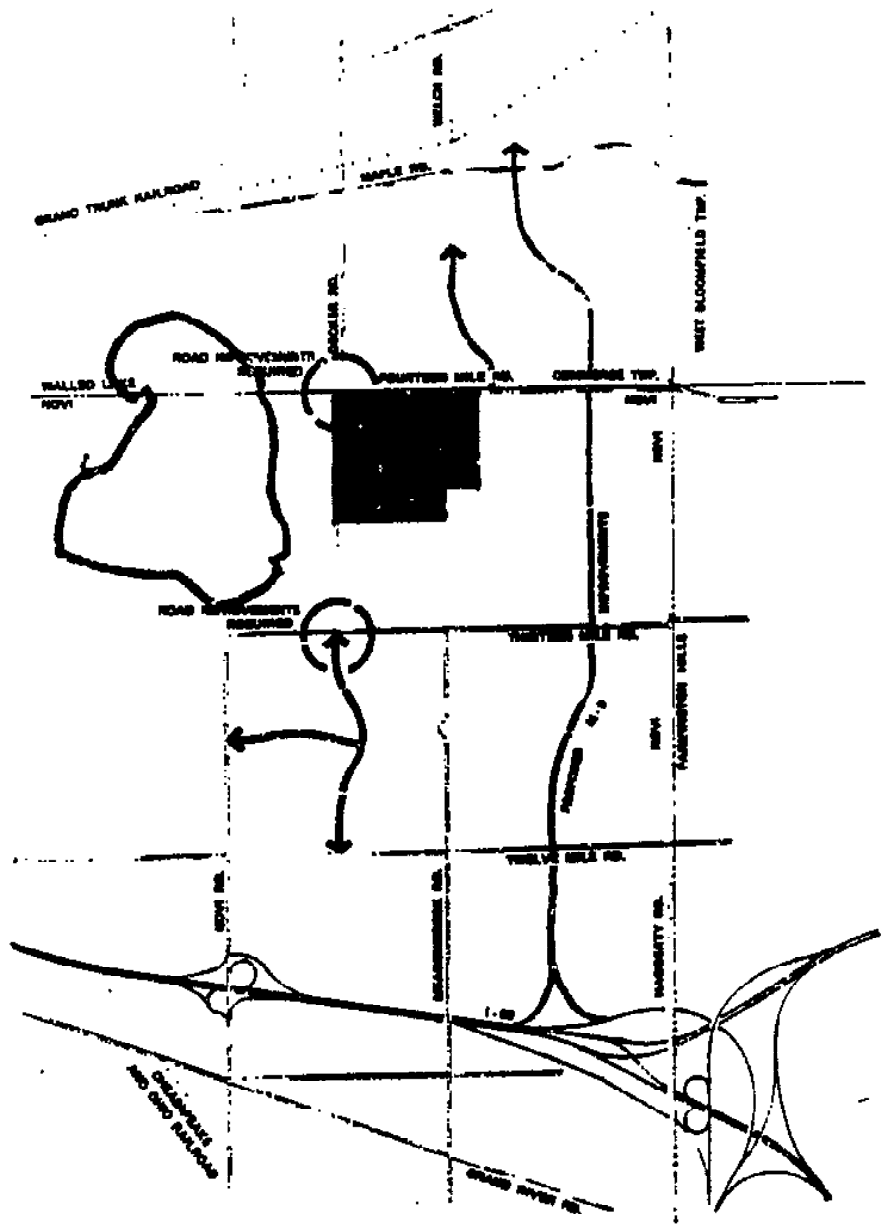
2. LOCATION

The site is situated in the northeast quadrant bordered by Decker and Haggerty Roads west and east, Thirteen and Fourteen Mile Roads south and north.

The site is 2 miles north of the designated City's town center which includes the Twelve Oaks Regional Mall, Sheraton Oaks Hotel, Novi Hilton, West Oaks Shopping Center and the proposed Midwest Fashion and Convention Exposition Complexes.

188R 125907769

City of Novi, Proposed P.U.D., 228 acres located at the S.E. corner of 14 Mile and Decker Roads. Section #2



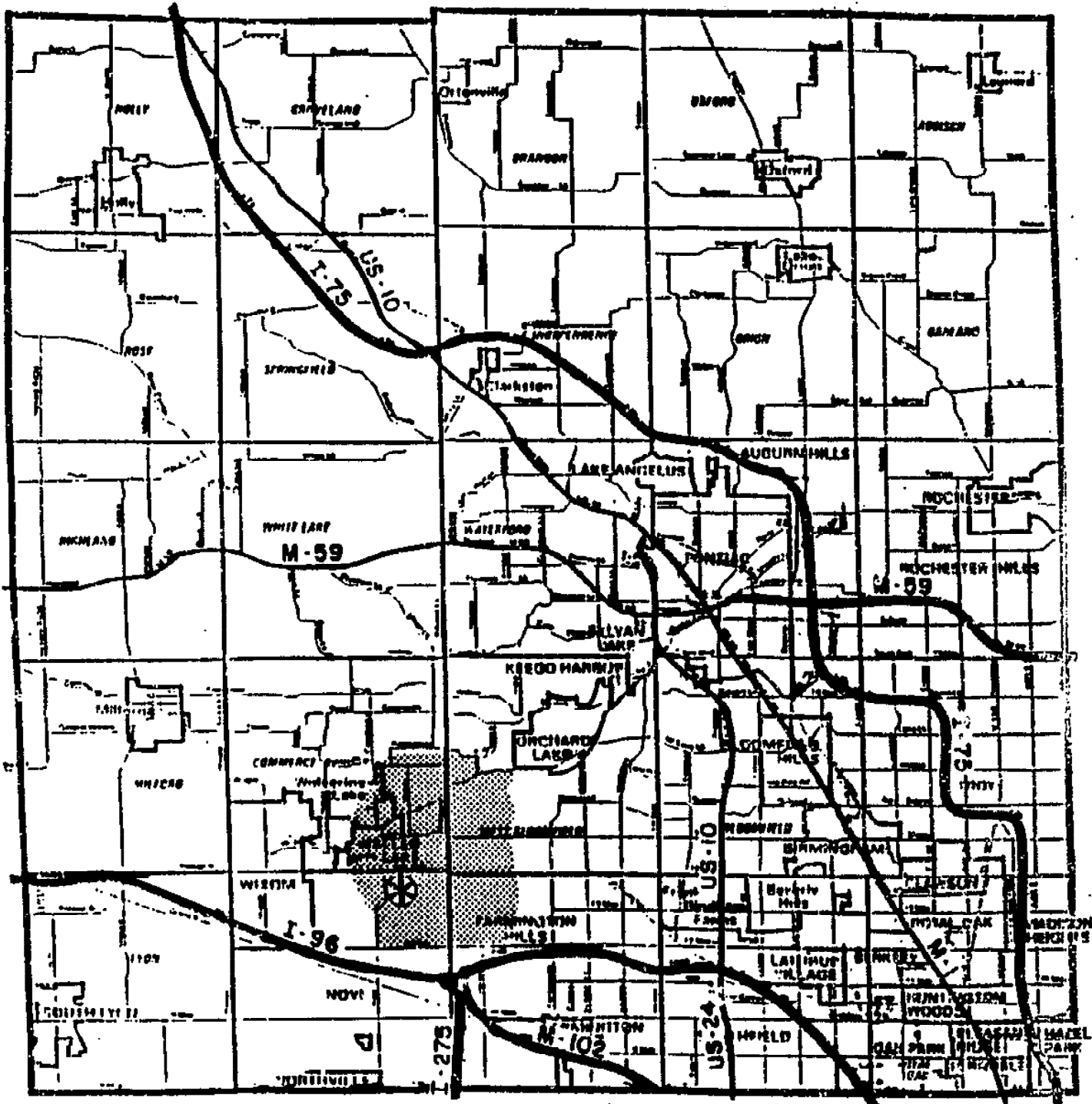
SITE LOCATION MAP

NOVI, MICHIGAN	
DEVELOPER:	CLARIC CONST. WEST BLOOMFIELD TWP., MI.
PLANNER:	ROBERT LEVITON, ASSOC. AND ASSOC., MI.
ARCHITECT:	PROGRESSIVE ARCHT. BLOOMFIELD HILLS, MI.
ENGINEER:	ZIMET - WERNER SOUTHFIELD, MI.

OAKLAND COUNTY

MICHIGAN

HEC 12590770



 CLASSIC CONSTRUCTION SITE

LIBR 12590771

Adjacent Land

The site size is 228 acres located on the north east corner of Fourteen Mile and Decker Roads. Surrounding our site are existing and planned developments.

Northwest- On the corner is the older Pulte Development with a density of 8 per acre.

North- Directly north will be a community of 1800 apartments and 300 homes with an overall density of 15 per acre. There is industrial, office and commercial at 14 and Haggerty, 1-1/2 miles from our site.

East- Due east is the Haverhill Farm with the potential M9 expressway extension at its easterly boundary. It's master planned at .8 units per acre.

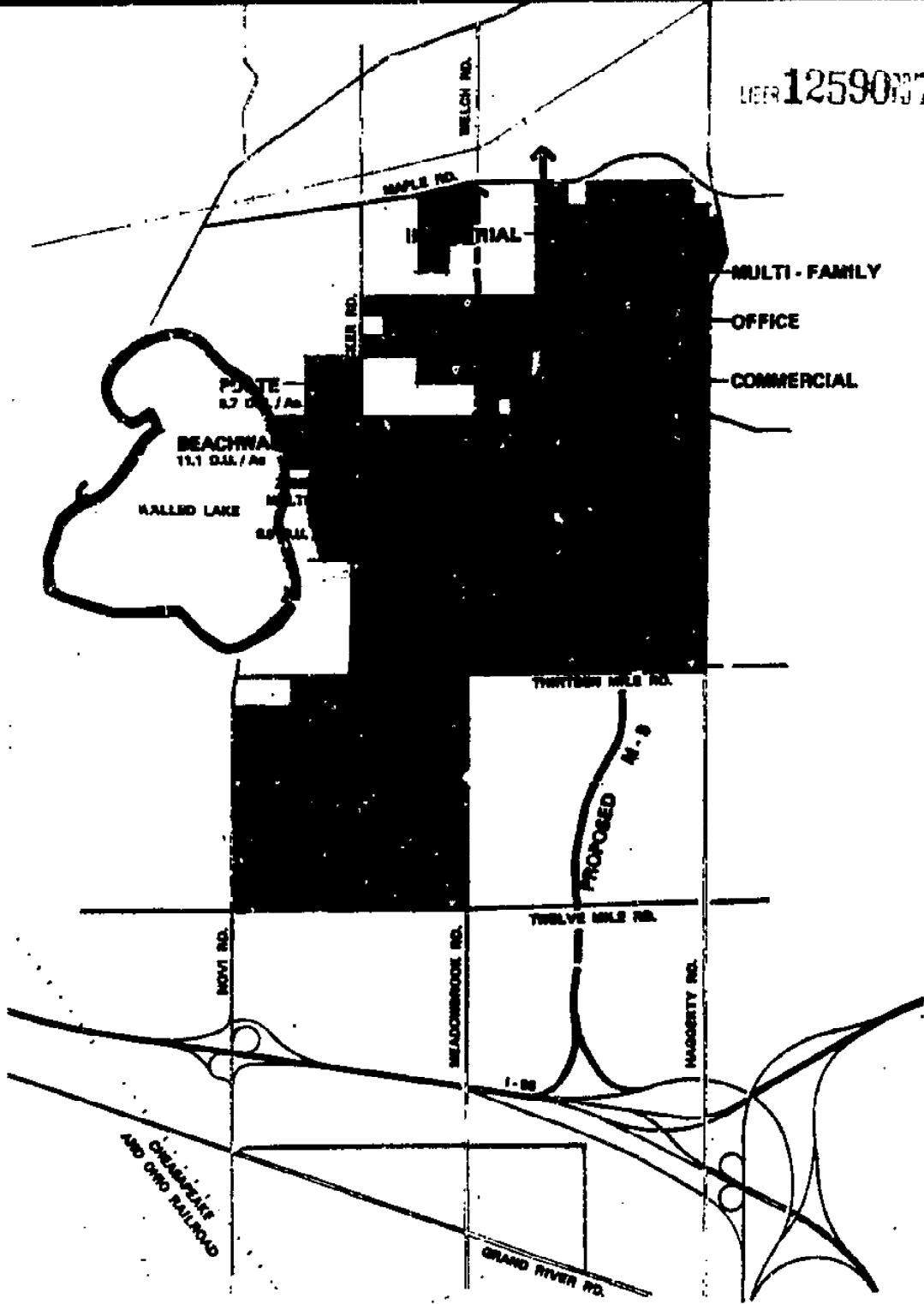
South- South is the Chateau Estates Mobile home park with a density of 7.3 per acre.

South West- Southwest of Chateau Estates is the planned Sandstone community P.U.D with a density of 5 unit per acre plus commercial and office.

West- To planned Woods of Novi development with a density of 5 per acre, a designated multiple site 9 units per acre, a congregate care facility and the existing Beachwalk apartments with a density of 11 units per acre. The average D. U. Density surrounding the site is 7.4 units per acre.

The average D. U. Density surrounding the site, in Novi alone is 6.4.

UGR 12590772



SURROUNDING DENSITIES

NOVI, MICHIGAN

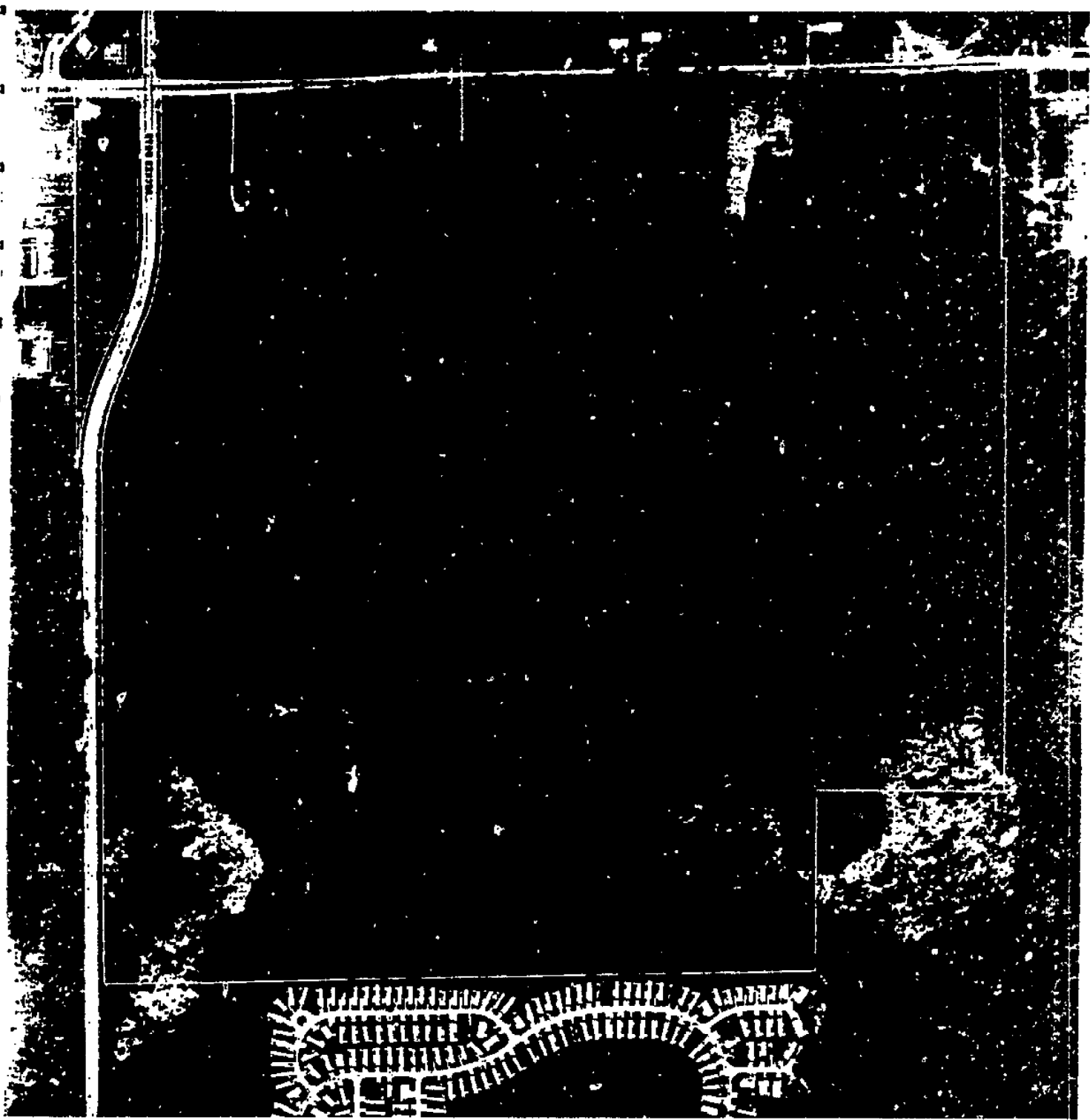
- DEVELOPER: CLASSIC COMBT. WEST BLOOMFIELD TWP., MI.
- PLANNER: ROBERT LEHNTON, ASSOC. ANN ARBOR, MI.
- ARCHITECT: PROGRESSIVE ASSOC. BLOOMFIELD HILLS, MI.
- ENGINEER: ZIEMET - WOZNIAK SOUTHFIELD, MI.



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3. DUE DILIGENCE

USFR 12590774



Site Aerial
8

LIBER 1259073775



NEYER, TISEO & HINDO, LTD.

Consulting Engineers and Geologists

REPORT ON PRELIMINARY GEOTECHNICAL INVESTIGATION

PROJECT NO: 87366 OG
DESIGNATION: Proposed Commercial and Residential Development
LOCATION: Fourteen Mile and Decker Roads
Novi, Michigan
DEVELOPER: Classic Construction Corporation
DATE: August 17, 1987

1259078776



NEYER, TISEO & HINDO, LTD.

Consulting Engineers and Geologists

38955 Hills Tech Drive, Farmington Hills, Michigan 48018 313 553-6300

August 17, 1987
Project No. 87366 OG

Classic Construction Corporation
21177 Hilltop
Southfield, Michigan 48034

Attn: Mr. William Bronson

Re: Preliminary Geotechnical Investigation
Proposed Commercial and Residential Development
Fourteen Mile and Decker Roads
Novi, Michigan

Dear Mr. Bronson:

We have performed a preliminary geotechnical investigation at the site of the proposed commercial and residential development in Novi, Michigan. The purpose of our investigation was to determine the general subsurface conditions at the site to help evaluate the feasibility of developing the site for commercial and residential use.

The results of our investigation indicate that site subsoils generally consist of topsoil underlain by deposits of loose silty sand, which in turn are underlain by strata of stiff to hard silty clay. Deposits of medium compact to very compact sand and gravel are generally present beneath these cohesive soils. Groundwater is present in some areas of the site at depths varying from about 4 to 12 feet below the surface. Additionally, in some areas of the site the groundwater appears to be under hydrostatic pressure.

Based on preliminary evaluations, the proposed structures can be supported on conventional shallow foundations. If basements are planned for these structures, provisions for controlling groundwater during and following construction will be required in most areas of the site. The data obtained during this investigation along with our evaluations, analyses and recommendations are presented in the subsequent portions of this report.

Proposed Development

Development plans for the site have not yet been finalized; however, we understand that both residential and commercial structures are under consideration. Building types and locations have not been established, but most buildings are expected to be 2 to 3 stories in height, with possible basements. Site development will include earthwork operations, constructing roadways and installing utilities to service the proposed buildings.

NH

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August 17, 1987
Page 2

Site Conditions

The site is located southeast of the intersection of Fourteen Mile and Decker Roads in Novi, Michigan. The site is rectangular in shape, and contains approximately 190 acres of mostly vacant land. The topography of the site is characterized by rolling hills and scattered low areas, with an overall slope towards the south. Based upon a topographic map of the site prepared by Kucera & Associates, elevations at the site range from 995 to 933.

Vegetation at the site consists of dense woods in the southeast portion, and heavy grasses, ranging in height from 3 to 7 feet, in the remaining portions. Drainage at the site appears to be towards several scattered low areas or wetlands. The approximate locations of the low areas are shown on Plate 1. An existing house is located in the northwest corner of the site. Additionally, the remains of a foundation were noted adjacent to Decker Road in the southwest corner of the site.

Previous Soil Investigation

The subsurface conditions at the project site were previously investigated by McDowell & Associates. The results of this study were presented in a report dated January 24, 1986. The locations of the borings drilled during this previous investigation are shown on the Test Boring Location Plan, Plate 1. We have reviewed the information contained in the previous report with respect to the data developed during the present investigation.

Present Field Investigation

We investigated subsurface conditions at the accessible parts of the site, drilling 10 test borings designated TB-1A through TB-10A. Soil conditions within the low swampy and wetland portions of the site were not investigated as part of this study. We understand that these low areas are being evaluated as part of a separate study. The borings were drilled by American Drilling Company under the full time supervision of a senior engineering technician with our firm. These borings were made at the locations shown on Plate 1, and extended to depths ranging from 15 to 20 feet. The test borings were located approximately in the field by pacing from existing surface features. Ground surface elevations at the boring locations were interpolated from elevations shown on a map of the site prepared by Kucera & Associates.

Within each test boring, soil samples were taken at intervals of generally 2.5 feet within the upper 10 feet and at intervals of 5 feet below that depth. These samples were taken by the Standard Penetration Test method (ASTM D-1586) which involves driving a 2-inch diameter split-spoon sampler into the soil with a 140-pound weight falling 30 inches.

The sampler is generally driven three successive 6-inch increments, with the number of blows for each increment recorded. The number of blows required to advance the sampler the last 12 inches is termed the Standard Penetration Resistance (N). The blow counts for each six-inch increment and the resulting

Mr. William Bronson
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N-values are presented on the individual Logs of Test Boring. The soil samples obtained with the split-barrel sampler were sealed in containers and transported to our laboratory for further classification and testing. We will retain these soil samples for 60 days after the date of this report. At that time, we will dispose of the samples unless we are otherwise instructed.

We have evaluated the soil and groundwater conditions encountered in the test borings and have presented these conditions in the form of individual Logs of Test Boring on Figure Nos. 1 through 10. General Notes defining the nomenclature used on the boring logs and elsewhere in this report are presented on Plate 2. The stratification shown on the test boring logs represents the soil conditions at the actual boring locations. Variations may occur between the borings. Additionally, the stratigraphic lines represent the approximate boundary between the soil types; however, the transition may be more gradual than what is shown. We have prepared the logs included with this report on the basis of laboratory classification and testing as well as field logs of the soils encountered.

Laboratory Testing

Representative soil samples were subjected to laboratory testing to determinate pertinent soil parameters. The testing included the determination of the natural moisture content, in-situ dry density, grain size distribution and unconfined compressive strength. The results of these laboratory tests are presented on Figure Nos. 11 and 12. The natural moisture content, in-situ dry density and unconfined compressive strength values are also presented on the respective Logs of Test Boring.

Subsoil Conditions

On the basis of the information developed during the course of this investigation, it appears that subsoil conditions vary considerably throughout the site. However, the subsoils can be generalized into a soil profile consisting of topsoil underlain by loose silty sand, which is in turn underlain by strata of stiff to hard silty clay. These subsoils are then underlain by deposits of medium compact to very compact silty sand and gravelly sand that are water-bearing in some locations.

The topsoil consists of dark brown clayey silt and sandy silt with a trace of roots, and varies in thickness from about 4 to 15 inches at the boring locations. The topsoil is generally underlain by a deposit of loose brown silty sand which extends to depths ranging from approximately 1.4 to 5.5 feet.

The silty sand deposit is generally underlain by strata of brown and gray silty clay. The consistency of the clay is generally in the very stiff to hard range; however, in the areas of borings TB-4A and TB-6A, a stratum of medium to stiff clay is present between the approximate depths of 3 and 5.5 feet. The clay soils contain streaks of sand and extend to depths ranging from approximately 8 to 19 feet, and to the maximum depth explored in boring TB-3A.



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 Page 4

The silty clay cohesive soils are generally underlain by deposits of water-bearing medium compact brown silty sand and compact to very compact brown gravelly sand. These granular soils extend to depths of about 17 and 18.5 feet in borings TB-1A and TB-2A, respectively, and to the maximum depths explored in borings TB-4A through TB-10A. In borings TB-1A and TB-2A, these granular soils are underlain by a layer of very stiff gray silty clay. These cohesive soils extend to the 20-foot maximum depth of these borings.

Boring TB-3A and TB-4A vary slightly from this generalized profile in that a stratum of very stiff to hard silty clay is present between the topsoil and upper loose silty sand deposit.

Borings TB-9A and TB-10A also vary from the generalized profile in that no upper sand deposit is present. In these borings, clay soils are present directly beneath the topsoil and extend to the lower granular deposits.

Subsoil Evaluations

Based on visual classification, the surface topsoil layer on this site is moderately to highly organic. Therefore, we do not consider the topsoil suitable for the support of building foundations, floor slabs or pavements, or for use as engineered fill material. However, this material could be used for landscaping in nonstructural areas.

We consider the upper loose sand deposit, in its present condition, to be somewhat susceptible to densification and compression when subjected to moderately heavy loads and, particularly vibratory loads. Accordingly, we recommend that this layer be densified in proposed building and pavement areas. This procedure will be discussed in more detail in the "Site Preparation" section of this report.

We consider the very stiff to hard silty clay to be suitable for the support of light to moderate structural loads. The medium to stiff clay layer present in borings TB-4A and TB-6A is considered to be weaker and somewhat more compressible than the surrounding more competent clays.

When undisturbed by groundwater effects, the lower granular stratum is considered to be suitable for the support of light to moderate structural loads. However, with improper groundwater controls, these granular soils could present significant difficulties for the support of foundations. These adverse groundwater conditions and our recommendations for controlling groundwater in construction excavations are discussed in the following section.

Groundwater Conditions and Control

Groundwater level observations were made at each of the test borings during and following the completion of drilling operations. Groundwater was initially encountered at most of the borings at depths of approximately 4 to 12 feet below the ground surface. Upon completion and up to 4 hours following

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LIBER 12590780

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completion, the water levels in the test borings were noted to be at depths of about 5 to 10 feet below the ground surface. The observed water levels in the borings range from approximately Elevation 969 to 926. A comparison of water level readings taken in borings drilled during the winter months verses borings drilled during the summer, indicates as much as a 2 to 3 foot decrease in groundwater level readings in some areas of the site. Therefore, fluctuations in groundwater levels should be anticipated due to seasonal variations and following periods of prolonged precipitation.

In boring TB-2A, the final water level was noted to have risen above the encountered water level. This may be indicative of a hydrostatic pressure head (i.e. an artesian condition) within the lower granular deposits in this area.

It should be noted that groundwater observations during drilling operations in predominantly cohesive soils are not necessarily indicative of the static groundwater level. This is due to the low permeability of such soils and the tendency of drilling operations to seal off the natural paths of groundwater flow.

No significant groundwater problems are anticipated for excavations within the upper cohesive soil strata. Seepage of water perched above the clay or from sand seams within the clay should be controllable with properly constructed sump pumps.

However, we anticipate that moderate to heavy volumes of groundwater will be encountered if excavations are extended below the groundwater table within the more pervious granular soil deposits. In addition, a "quick" condition may develop as groundwater migrates toward the excavation, resulting in the disturbance of the soils and in a reduction of their supporting capability. Based on these considerations, it is recommended that groundwater control measures be employed before making excavations extending below the groundwater table within the granular soils. If excavations extend only 1 to 2 feet below the groundwater table, it may be feasible to control groundwater by pumping from properly constructed sumps. If excavations extend to greater depths below the groundwater table, such as those required for basement construction in some areas of the site, or for utility installation, positive methods of groundwater control such as pumping from construction sumps extending into the underlying clay or wellpoints in the sand may be required for effective groundwater control. In addition, the excavation of drainage ditches around the construction area and the early installation of the storm sewer system can help to depress the groundwater level at the site, and facilitate construction operations.

If excavations terminate in the cohesive soil just above the underlying water bearing granular formations, care should be taken to prevent a blow out or heave of the excavation base caused by hydrostatic pressure. This can be achieved by maintaining an adequate thickness of clay below the bottom of the excavation to resist the upward hydrostatic pressure. However, if the thickness of the clay base is inadequate, relief wells should be provided at the bottom of the excavation to allow water to come into the excavation where it can be pumped from specially constructed sumps.



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LIBER 12590781

To prevent the development of hydrostatic pressures on the basement floor and walls, a subdrainage system should be installed at the foundation level. The perforated or slotted subdrains should be protected with coarse aggregates and wrapped with a suitable filter fabric to prevent the migration of natural soil fines into the subdrains. The subdrains should then be connected to a suitable sump pump or drained by a gravity discharge system. All exterior walls and floors below grade should be damp-proofed at the minimum. Waterproofing measures will be required in place of damp-proofing measures if the basement walls and floor are expected to be watertight.

Foundation Recommendations

Based on an overall evaluation of the subsurface data developed during the course of this investigation, and following satisfactory site preparation operations as outlined in the following section, we recommend that the proposed buildings be supported on shallow spread and/or strip footings. The footings should extend through the loose upper sands and medium to stiff silty clays and be founded on the underlying very stiff and hard silty clay or on engineered fill. For buildings with basement levels, we recommend that the depth of excavation be minimized as much as possible to avoid groundwater related difficulties. In the low areas of the site, this could be achieved by raising basement level above the groundwater level.

Exterior footings should be extended to a depth of at least 3.5 feet below the exposed finished grade for protection against frost penetration. Interior footings not exposed to frost penetration during or after construction can be installed at shallower depths provided that suitable bearing soils are present.

In general, net allowable soil bearing pressures on the order of 4000 to 5000 pounds per square foot (psf) may be used for the design of footings founded on the very stiff to hard clay or engineered fill. If footings have to be supported in the upper loose sand and medium clay deposits the allowable soil bearing pressure should be limited to about 2500 psf. We recommend that strip footings be at least 12 inches in width and isolated spread footings should be at least 18 inches in their least dimension regardless of the resulting bearing pressure.

All foundation excavations should be observed and tested to verify that adequate in-situ soil bearing pressures, compatible with the design value, are achieved.

Site Preparation

As previously discussed, the locations and finished grades for the buildings are not presently available. Accordingly, the amount of required earthwork to achieve finished grades is uncertain. Regardless of the amount, we recommend that all earthwork be performed under adequate specifications and properly monitored in the field. At the start of earthwork operations, any surface



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vegetation should be cleared and the existing topsoil and any other organic soils should be removed in their entirety from below the proposed building and pavement areas.

After rough grade has been achieved in cut areas and prior to fill placement in fill areas, the subgrade should be thoroughly proof-rolled with a 10 ton vibratory roller by making a minimum of 10 passes in each of two perpendicular directions covering the proposed development area. Any areas that exhibit excessive pumping and yielding during proof-rolling should be stabilized by aeration, drying and compaction if weather conditions are favorable, or removal and replacement with engineered fill. If the instability exhibited during proofrolling is attributed to groundwater effects, the proofrolling operation should be halted and water control measures provided. In addition to detecting unstable areas, the proof-compaction operation should serve to densify the shallow loose sand deposits that overlie the site.

Water retained in the upper sand deposits may result in some pumping and instability of the subgrade during earthwork operations. Accordingly, it may be necessary to provide drainage ditches and/or sumps around the construction area to facilitate subsurface drainage and help stabilize the subgrade.

Material for backfill or engineered fill required to achieve design grades should consist of non-organic soils. The on-site soils that are free of organic matter and debris may be used for engineered fill provided that they are at approximately the optimum moisture content.

The fill should be placed in uniform horizontal layers, that are not more than 12 inches in loose thickness. Within building areas and the upper 18 inches of pavement subgrades, the fill should be compacted to achieve a density of at least 95 percent of the maximum dry density as determined by the Modified Proctor compaction test (ASTM D-1557). Below the 18-inch depth of pavement subgrade, the fill compaction requirement may be reduced to 90 percent of the same standard. All fill material should be placed and compacted at approximately the optimum moisture content. Frozen material should not be used as fill, nor should fill be placed on a frozen subgrade.

In general, the site conditioning procedures discussed above are expected to result in fairly stable subgrade conditions throughout most of the site. However, the on-site silt, fine sand and silty clay soils could become sensitive to softening when wet or when disturbed by construction traffic. Therefore, depending on weather conditions, the type of equipment and construction procedures used, surface instability may develop in parts of the site. If this occurs, additional corrective procedures may be required, such as in-place stabilization or undercutting.

If site conditioning and earthwork operations are to be performed during wet or cold weather, significant difficulty should be anticipated in drying or stabilizing the on-site silty clay soils. Under such circumstances, it may become necessary to undercut the wet soils and backfill with clean granular



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soils to achieve proper stabilization. However, if site preparation operations are performed during the summer months, it should be possible to stabilize wet soils in place and to use cohesive soils as fill with proper moisture control in the field.

Floor Slabs and Pavements

The subgrade resulting from the satisfactory completion of site preparation operations can be used for the support of concrete floor slabs and asphalt pavements. We recommend that all concrete floor slabs be suitably reinforced and separated from the foundation system to allow for independent movement.

For pavements, we recommend that "stub" or "finger" drains be provided around catch basins and other low parts of the site to minimize the accumulation of water above and within the frost susceptible subgrade soils. The pavement should be properly sloped to promote effective surface drainage and prevent water ponding.

Supplemental Studies

The evaluations and recommendations presented in this report are based on 10 widely spaced test borings, and with no specific information relating to the location, structural loading, or finished grades for the proposed developments. As such, these evaluations and recommendations are considered to be general and preliminary in nature and should be verified with a more detailed supplemental investigation once development plans are finalized.

We recommend that additional borings or test pits be performed in the area of major buildings with basements and particularly in the area of TB-2A to better predict the construction and post construction groundwater control measures which will be required as a result of the possible artesian groundwater conditions in the area. The additional borings should also help to locate other areas containing layers of medium to stiff soils which could adversely affect building foundations. Furthermore, if any developments are proposed for the low wetland areas, we recommend that they be further investigated prior to construction.

General Comments

This preliminary geotechnical investigation was performed in accordance with generally accepted soil and foundation engineering principles and practices. This warranty is in lieu of all other warranties, either expressed or implied. The scope of this investigation was primarily to aid in evaluating the feasibility of developing the site rather than to provide specific design recommendations for foundations and site preparations of a specific project. No environmental, hydrogeological or chemical investigations were included as part of the scope of work for this investigation.



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If you have any questions about this report or if we may be of further assistance to you in any respect, please call. We appreciate the opportunity to have been of service to you, and we look forward to participating in future phases of this project.

Very truly yours,

NEYER, TISEO & HINDO, LTD.

Christopher J. Cruickshank
Christopher J. Cruickshank

D. Nona
D. Nona, P.E.

CJC/DII/jm
Attachments

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APPENDIX

TEST BORING LOCATION PLAN	PLATE 1
GENERAL NOTES	PLATE 2
LOGS OF TEST BORING NOS. TB-1A THROUGH TB-10A	FIGURES 1 - 10
TABULATION OF TEST DATA	FIGURES 11 - 12

NEYER, TISEO & HINDO, LTD.

GENERAL NOTES

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TERMINOLOGY

Unless otherwise noted, all terms utilized herein refer to the Standard Definitions presented in ASTM D 653.

PARTICLE SIZES

Boulders	-	Greater than 12 inches (305mm)
Cobbles	-	3 inches (76.2mm) to 12 inches (305mm)
Gravel - Coarse	-	3/4 inches (19.05mm) to 3 inches (76.2mm)
Fine	-	No. 4 - 3/16 inches (4.75mm) to 3/4 inches (19.05mm)
Sand - Coarse	-	No. 10 (2.00mm) to No. 4 (4.75mm)
Medium	-	No. 40 (0.425mm) to No. 10 (2.00mm)
Fine	-	No. 200 (0.074mm) to No. 40 (0.425mm)
Silt	-	0.005mm to 0.074mm
Clay	-	Less than 0.005mm

COHESIONLESS SOILS

Classification	Density Classification	Relative Density %	Approximate Range of (N)
The major soil constituent is the principal noun, i.e. sand, silt, gravel. The second major soil constituent and other minor constituents are reported as follows:	Very Loose	0-15	0-4
	Loose	16-35	5-10
	Medium Compact	36-65	11-30
	Compact	66-85	31-50
Very Compact	86-100	Over 50	
Second Major Constituent (percent by weight)	Minor Constituents (percent by weight)	Relative Density of Cohesionless Soils is based upon the evaluation of the Standard Penetration Resistance (N), modified as required for depth effects, sampling effects, etc.	
Trace - 1 to 12%	Trace - 1 to 12%		
Adjective - 12 to 35% (clayey, silty, etc.)	Little - 12 to 23%		
And - Over 35%	Some - 24 to 33%		

COHESIVE SOILS

If clay content is sufficient so that clay dominates soil properties, clay becomes the principal noun with the other major soil constituent as modifier; i.e., silty clay. Other minor soil constituents may be included in accordance with the classification breakdown for cohesionless soils; i.e., silty clay, trace of sand, little gravel.

Consistency	Unconfined Compressive Strength (psf)	Approximate Range of (N)
Very Soft	Below 500	0-2
Soft	500-1000	3-4
Medium	1000-2000	5-8
Stiff	2000-4000	9-15
Very Stiff	4000-8000	16-30
Hard	8000-16000	31-50
Very Hard	Over 16000	Over 50

Consistency of cohesive soils is based upon an evaluation of the observed resistance to deformation under load and not upon the Standard Penetration Resistance (N).

SAMPLE DESIGNATIONS

- AS - Auger Sample - Directly from auger flight
- BS - Miscellaneous Samples - Bottle or Bag
- S - Split Spoon Sample with Liner Insert - ASTM D 1586
- LS - Liner Sample S with liner insert 3 inches in length.
- ST - Shelby Tube Sample - 3 inch diameter unless otherwise noted.
- PS - Piston Sample - 3 inch diameter unless otherwise noted.
- RC - Rock Core - NX core unless otherwise noted.

STANDARD PENETRATION TEST (ASTM D 1586) - A 2.0" outside-diameter, 1-3/8" inside-diameter split barrel sampler is driven into undisturbed soil by means of a 140-pound weight falling freely through a vertical distance of 30 inches. The sampler is normally driven three successive 8-inch increments. The total number of blows required for the final 12 inches of penetration is the Standard Penetration Resistance (N).

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NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-1A

Project Name: CLASSIC CONSTRUCTION SITE
 Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87366 0G
 Chk. By: *ajc*

SUBSURFACE PROFILE			SOIL SAMPLE DATA						
ELEV. (FT)	PROF. (FT)	GROUND SURFACE ELEVATION: 954.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/6-INCHES	STD. PEN. RESISTANCE (PS)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSI)
		TOPSOIL: DARK BROWN SANDY SILT WITH LITTLE CLAY	1.0						
		LOOSE BROWN SILTY FINE SAND WITH TRACE OF CLAY AND GRAVEL	3.0	LS-1	2	6	-	-	-
950		VERY STIFF TO HARD BROWN AND GRAY SILTY CLAY WITH TRACE TO LITTLE SAND AND GRAVEL AND OCCASIONAL FINE SAND STREAKS	5	LS-2	5 6 8	14	12.7	125	6200
			8.0	LS-3	5 8 12	20	-	-	8200*
945		VERY STIFF TO HARD GRAY SILTY CLAY WITH TRACE OF SAND AND GRAVEL	10	LS-4	4 7 10	17	-	-	7900*
940			15	LS-5	5 7 9	16	11.1	129	8240
		MEDIUM COMPACT BROWN GRAVELLY SAND	17.0						
			18.5						
935		VERY STIFF GRAY SILTY CLAY WITH LITTLE FINE SAND AND TRACE OF GRAVEL	20	LS-6	5 7 9	16	-	-	7200*
		END OF BORING	20.0						

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 20.0 FT
 DRILLING DATE: 7-28-87
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS
 DRILLING METHOD: HOLE ADVANCED USING A 4-INCH OUTSIDE DIAMETER SOLID STEM AUGER
 PLUGGING PROCEDURE: HOLE PLUGGED WITH SOIL.

WATER LEVEL OBSERVATION:
 8.0 FEET DURING DRILLING.
 12.0 FEET AT COMPLETION.
 10.8 FEET 1 HOUR FOLLOWING COMPLETION.
 10.2 FEET 4 HOURS FOLLOWING COMPLETION.

FIGURE NO. 1

12590788

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-2A

Project Name: CLASSIC CONSTRUCTION SITE
Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87366 03
Chk. By: *CJC*

SUBSURFACE PROFILE		SOIL SAMPLE DATA							
ELEV. (FT)	PROF. (FT)	GROUND SURFACE ELEVATION: 938.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/6-INCHES	STD. PEN. RESISTANCE (q)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSF)
	0.7	TOPSOIL: DARK BROWN SANDY SILT WITH TRACE OF CLAY							
	2.5	LOOSE LIGHT BROWN AND GRAY SILTY FINE SAND WITH SOME CLAY		S-1	1 2 4	6	-	-	-
935	4.5	VERY STIFF MOTTLED BROWN AND GRAY SILTY CLAY	5	LS-1	4 6 10	16	19.2	110	6480
	7.9	VERY STIFF TO HARD BROWN AND GRAY SILTY CLAY WITH SOME SAND, TRACE OF GRAVEL AND SANDY STREAKS		S-2	5 7 8	15	-	-	-
930	12.5	MEDIUM COMPACT TO LOOSE GRAY CLAYEY SAND WITH TRACE OF GRAVEL	10	LS-2	3 3 4	7	-	-	-
	17.0	MEDIUM COMPACT GRAY SILTY FINE SAND	15	S-3	4 3 6	11	-	-	-
925	20.0	VERY STIFF GRAY SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL	20	S-4	2 3 7	12	-	-	4200*
920	20.0	END OF BORING							

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 20.0 FT
 DRILLING DATE: 7-28-87
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS

DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE
 DIAMETER SOLID STEM AUGER

PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

WATER LEVEL OBSERVATION:
 12.5 FEET DURING DRILLING.
 8.8 FEET AT COMPLETION.

FIGURE NO. 2

LOG 12590790

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-4A

Project Name: CLASSIC CONSTRUCTION SITE
 Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87366 0G
 Chk. By: *CAC*

SUBSURFACE PROFILE			SOIL SAMPLE DATA						
ELEV. (FT)	PROF. FILE	GROUND SURFACE ELEVATION: 980.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/6-INCHES	STD. PEN. RESISTANCE (q)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSF)
980		TOPSOIL: DARK BROWN CLAYEY SILT WITH LITTLE FINE SAND	0.9						
		HARD BROWN SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL	3.0	LS-1	4 4 8	10	-	-	9000*
975		STIFF BROWN SANDY CLAY WITH LITTLE GRAVEL	5	LS-2	3 4 4	8	11.6	122	3000* 1060
		VERY STIFF BROWN SILTY CLAY WITH LITTLE SAND AND SOME GRAVEL	8.0	LS-3	17 11 13	24	-	-	6700*
970		VERY STIFF TO HARD BROWN SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL	10	LS-4	6 12 12	24	12.4	129	8610
		VERY COMPACT BROWN SAND AND GRAVEL	13.0						
965		END OF BORING	15.0	LS-5	19 27 34	61	-	-	-
960			20						

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 15.0 FT
 DRILLING DATE: 7-28-87
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS

WATER LEVEL OBSERVATION:
 BORING DRY AT COMPLETION.

DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE
 DIAMETER SOLID STEM AUGER
 PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

FIGURE NO. 4

LOG 12590791

NEYER, TISEO & HINDO, LTD.											
LOG OF TEST BORING NO. TB-5A											
Project Name: CLASSIC CONSTRUCTION SITE					NTH Proj. No: 87368 0G						
Project Location: 14 MILE & DECKER ROADS; NOVI, MI					Chk. By: <i>CX</i>						
SUBSURFACE PROFILE					SOIL SAMPLE DATA						
ELEV. (FT)	PROF. FILE	GROUND SURFACE ELEVATION: 968.0 FT			DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/8-INCHES	STD. PEN. RESISTANCE (q)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSF)
		TOPSOIL: DARK BROWN SANDY SILT			1.3						
965		LOOSE BROWN SILTY FINE SAND WITH LITTLE CLAY			5	LS-1	2	4	9.6	-	-
		VERY STIFF BROWN SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL			8.0	LS-2	5	13	-	-	7700*
960		VERY STIFF TO HARD GRAY SILTY CLAY WITH TRACE OF SAND AND GRAVEL WITH SOME SEAMS OF BROWN SAND			10	LS-3	6	13	11.8	129	8330
955		HARD BROWN SANDY CLAY WITH LITTLE GRAVEL			17.0	S-2	4 11 24	35	-	-	-
950		VERY COMPACT BROWN FINE GRAVELLY SAND			20	LS-4	30 34 38	72	-	-	-
		END OF BORING			20.0						
* POCKET PENETROMETER VALUE.											
TOTAL DEPTH: 20.0 FT DRILLING DATE: 7-28-87 INSPECTOR: D. VENSEL CONTR. CTOR: AMERICAN DRILLING CO. DRILLER: B. MILLS DRILLING METHOD: HOLE ADVANCED USING A 4-INCH OUTSIDE DIAMETER SOLID STEM AUGER PLUGGING PROCEDURE: HOLE PLUGGED WITH SOIL.					WATER LEVEL OBSERVATION: 4.3 FEET DURING DRILLING. 3.0 FEET AT COMPLETION.						

FIGURE NO. 5

LIBR 12590792

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-6A

Project Name: CLASSIC CONSTRUCTION SITE
Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87386 GG
Chk. By: *JAC*

SUBSURFACE PROFILE				SOIL SAMPLE DATA					
ELEV. (FT)	PROF. FILE	GROUND SURFACE ELEVATION: 975.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/6-INCHES	STD. PEN. RESISTANCE (PSF)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSF)
975		TOPSOIL: DARK BROWN SANDY SILT	0.8						
		LOOSE BROWN SILTY FINE SAND WITH LITTLE CLAY	1.4	LS-1	4	10	-	-	9000*
		VERY STIFF BROWN SANDY CLAY WITH LITTLE GRAVEL	3.0						
970		MEDIUM TO STIFF BROWN SANDY CLAY WITH LITTLE GRAVEL	4.5	LS-2	2	5	15.8	114	2650
		STIFF TO VERY STIFF BROWN SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL	5.9	LS-3	3	13	-	-	3200*
965		HARD BROWN SILTY CLAY WITH LITTLE GRAVEL AND GRAVELLY STREAKS	10	LS-4	6 21 13	34	-	-	-
		COMPACT BROWN FINE GRAVELLY SAND	12.9						
960		END OF BORING	15.0	LS-5	15 25 22	47	-	-	-
955			20						

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 15.0 FT
DRILLING DATE: 7-29-87
INSPECTOR: D. VENSEL
CONTRACTOR: AMERICAN DRILLING CO.
DRILLER: B. MILLS
DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE DIAMETER SOLID STEM AUGER
PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

WATER LEVEL OBSERVATION:
 BORING DRY AT COMPLETION.

FIGURE NO. 6

LIBR 12590 793

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-7A

Project Name: CLASSIC CONSTRUCTION SITE
 Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87386 0G
 Chk. By: CAC

SUBSURFACE PROFILE			SOIL SAMPLE DATA						
ELIV. (FT)	PRO-FILE	GROUND SURFACE ELEVATION: 076.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/6-INCHES	STD. PEN. RESISTANCE (Q)	MOISTURE CONTENT (PERCENT)	GRY DENSITY (PCF)	UNCONS. COMP. ST. (PSF)
975		TOPSOIL: DARK BROWN SANDY SILT	0.9						
		VERY STIFF TO HARD BROWN SANDY CLAY WITH LITTLE GRAVEL AND OCCASIONAL SAND STREAKS	3.0	LS-1	3 4	8	12.3	117	9710
		MEDIUM COMPACT BROWN FINE SAND WITH TRACE OF GRAVEL AND CLAY	5	LS-2	3 7	12	7.4	-	-
971		MEDIUM COMPACT BROWN GRAVELLY SAND WITH LITTLE CLAY (STREAKS OF HARD BROWN CLAY FROM 8 TO 9.8 FEET)	6.0	LS-3	7 8 9	17	-	-	-
		VERY STIFF GRAY SILTY CLAY WITH TRACE OF SAND AND GRAVEL	9.8	10	LS-4	7 9 9	18	-	-
965									
			15	S-1	6 9 11	20	-	-	7900*
960									
			18.0						
		COMPACT BROWN FINE GRAVELLY SAND	20.0	20	LS-5	5 12 35	47	-	-
955		END OF BORING							

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 20.0 FT
 DRILLING DATE: 7-28-87
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS
 DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE
 DIAMETER SOLID STEM AUGER
 PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

WATER LEVEL OBSERVATION:
 6.5 FEET DURING DRILLING.
 6.5 FEET AT COMPLETION.

FIGURE NO. 7

USER 12590794

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-8A

Project Name: CLASSIC CONSTRUCTION SITE
 Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87366 0G
 Chk. By: CAC

SUBSURFACE PROFILE			SOIL SAMPLE DATA						
ELEV. (FT)	PROF. FILE	GROUND SURFACE ELEVATION: 976.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/6-INCHES	STD. PEN. RESISTANCE (q)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (pcf)	UNCONF. COMP. ST. (psf)
975		TOPSOIL: DARK BROWN CLAYEY SILT WITH LITTLE FINE SAND	1.2						
		LOOSE BROWN SILTY FINE SAND WITH TRACE OF CLAY	2.3	S-1	3	7	-	-	-
			5	LS-1	4	9	13.4	-	-
970		VERY STIFF BROWN AND GRAY SANDY CLAY WITH LITTLE TO SOME GRAVEL AND FEW SAND STREAKS		LS-2	6	15	-	-	-
			10	LS-3	4	13	12.2	128	-
965		VERY STIFF GRAY SILTY CLAY WITH TRACE OF SAND AND GRAVEL	11.5						
		MEDIUM COMPACT BROWN GRAVELLY SAND	13.5						
		END OF BORING	15.0	LS-4	10	16	-	-	-
960			20						
955									

TOTAL DEPTH: 15.0 FT
 DRILLING DATE: 7-29-87
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS
 DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE
 DIAMETER SOLID STEM AUGER
 PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

WATER-LEVEL OBSERVATION:
 8.0 FEET DURING DRILLING.
 14.0 FEET AT COMPLETION.
 11.7 FEET 2 HOURS FOLLOWING COMPLETION.

FIGURE NO. 8

12590795

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-9A

Project Name: CLASSIC CONSTRUCTION SITE
Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87366 0G
Chk. By: *CAC*

SUBSURFACE PROFILE			SOIL SAMPLE DATA						
ELEV. (FT)	PRO-FILE	GROUND SURFACE ELEVATION: 975.0 FT	DEPTH (FT)	SAMPLE TYPE/NO.	BLOWS/8-INCHES	STD. PEN. RESISTANCE (Q)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSF)
975		TOPSOIL: DARK BROWN FINE SANDY SILT	0.9						
		HARD BROWN SILTY CLAY WITH TRACE OF FINE SAND AND GRAVEL	2.5	LS-1	5 8 12	20	-	-	9000*
970		HARD BROWN AND GRAY SILTY CLAY WITH TRACE OF SAND AND GRAVEL	5	LS-2	7 12 12	24	11.5	123	9900
		VERY STIFF TO HARD BROWN SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL	6.0	LS-3	5 8 10	18	-	-	9000*
965		VERY STIFF GRAY SILTY CLAY	10.5	LS-4	7 10 13	23	-	-	7200*
		COMPACT BROWN FINE GRAVELLY SAND	12.0						
960		END OF BORING	15.0	LS-5	16 24 22	46	-	-	-
955			20						

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 15.0 FT
 DRILLING DATE: 7-29-57
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS

DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE
 DIAMETER SOLID STEM AUGER

PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

WATER LEVEL OBSERVATION:
BORING DRY AT COMPLETION.

FIGURE NO. 9

12590796

NEYER, TISEO & HINDO, LTD.

LOG OF TEST BORING NO. TB-10A

Project Name: CLASSIC CONSTRUCTION SITE
 Project Location: 14 MILE & DECKER ROADS; NOVI, MI

NTH Proj. No: 87366 0G
 Chk. By:

SUBSURFACE PROFILE

SOIL SAMPLE DATA

ELEV. (FT)	PRO-FILE	GROUND SURFACE ELEVATION: 965.0 FT	DEPTH (FT)	SOIL SAMPLE DATA						
				SAMPLE TYPE/NO.	BLOWS/8-INCHES	STD. PEN. RESISTANCE (PS)	MOISTURE CONTENT (PERCENT)	DRY DENSITY (PCF)	UNCONF. COMP. ST. (PSF)	
965		TOPSOIL: DARK BROWN FINE SANDY SILT	1.0							
		HARD LIGHT BROWN CLAYEY SILT	2.3	LS-1	5 7 8	15	-	-	-	
960		VERY STIFF BROWN SILTY CLAY WITH LITTLE SAND AND TRACE OF GRAVEL	5	LS-2	3 4 6	10	-	-	7000*	
		STIFF BROWN SILTY CLAY WITH LITTLE SAND, GRAVEL AND SANDY STREAKS	8.5	LS-3	3 4 4	8	10.8	-	-	
955		MEDIUM COMPACT BROWN SILTY FINE SAND WITH TRACE OF CLAY AND GRAVEL [CLAY STREAKS FROM 12 FEET]	10	LS-4	3 5 6	11	3.9	-	-	
950		END OF BORING	15.0	LS-5	4 8 11	19	14.2	-	-	
945										

* POCKET PENETROMETER VALUE.

TOTAL DEPTH: 15.0 FT
 DRILLING DATE: 7-29-87
 INSPECTOR: D. VENSEL
 CONTRACTOR: AMERICAN DRILLING CO.
 DRILLER: B. MILLS
 DRILLING METHOD:
 HOLE ADVANCED USING A 4-INCH OUTSIDE
 DIAMETER SOLID STEM AUGER
 PLUGGING PROCEDURE:
 HOLE PLUGGED WITH SOIL.

WATER LEVEL OBSERVATION:
 BORING DRY AT COMPLETION.

FIGURE NO. 10

USDA 12590-797

PROJECT NO. 87366 OG		NEYER, TISEO & HINDO, LTD.										SHEET 1 OF 2								
TABULATION OF LABORATORY TEST DATA																				
Test Boring or Test Pit Number	Sample Number	Depth of Sample Tip	Elevation of Sample Tip	Unconfined Compressive Strength (PSF)	Failure Strain (Percent)	Natural Water Content (Percent of Dry Weight)	In-Place Dry Density (Pounds per Cubic Foot)	Particle Size Distribution							Atterberg Limits			Apparent Specific Gravity	Loss on Ignition (Percent)	
								Clay (Percent)	Silt (Percent)	Fine Sand (Percent)	Medium Sand (Percent)	Coarse Sand (Percent)	Gravel (Percent)	Liquid Limit (Percent)	Plastic Limit (Percent)	Plasticity Index (Percent)				
TB-1A	LS-2	5.0	949.0	6200	12.7	12.7	124.7	-	-	-	-	-	-	-	-	-	-	-	-	-
	LS-5	15.0	939.0	8240	20.0	11.1	128.9	-	-	-	-	-	-	-	-	-	-	-	-	-
TB-2A	LS-1	5.0	933.0	6480	12.7	19.2	110.4	-	-	-	-	-	-	-	-	-	-	-	-	-
	LS-1	2.5	953.5	5260	7.2	14.6	114.0	-	-	-	-	-	-	-	-	-	-	-	-	-
TB-3A	LS-4	10.0	946.0	3770	17.7	13.1	125.4	-	-	-	-	-	-	-	-	-	-	-	-	-
	LS-2	5.0	975.0	1060	6.4	11.6	121.7	-	-	-	-	-	-	-	-	-	-	-	-	-
TB-4A	LS-4	10.0	870.0	8610	18.8	12.4	129.1	-	-	-	-	-	-	-	-	-	-	-	-	-
	LS-1	2.5	965.5	-	-	9.6	-	-	-	62	13	5	5	-	-	-	-	-	-	-
TB-5A	LS-3	10.0	958.0	8330	20.0	11.8	129.4	19	↑	-	-	-	-	-	-	-	-	-	-	-
	LS-2	5.0	970.0	2650	20.0	15.8	113.8	-	-	-	-	-	-	-	-	-	-	-	-	-
TB-7A	LS-1	2.5	973.5	9710	5.5	12.3	117.4	-	↑	-	-	-	-	-	-	-	-	-	-	-
	LS-2	5.0	971.0	-	-	7.4	-	-	↓	55	18	4	6	-	-	-	-	-	-	-

125907798

PROJECT NO. 87366 OG		NEYER, TISEO & HINDO, LTD.				SHEET 2 OF 2														
TABULATION OF LABORATORY TEST DATA																				
Test Pit Number	Sample Number	Depth of Sample Tip	Elevation of Sample Tip	Unconfined Compressive Strength (PSF)	Failure Strain (Percent)	Natural Water Content (Percent of Dry Weight)	In-Place Dry Density (Pounds per Cubic Foot)	Particle Size Distribution			Atterberg Limits			Apparent Specific Gravity	Loss on Ignition (Percent)					
								Colloids (Percent)	Clay (Percent)	Silt (Percent)	Fine Sand (Percent)	Medium Sand (Percent)	Coarse Sand (Percent)	Gravel (Percent)	Liquid Limit (Percent)	Plastic Limit (Percent)	Plasticity Index (Percent)			
TB-8A	LS-1	5.0	971.0	-	-	13.4	-	-	-	-	-	-	-	-	-	-	-	-	-	-
	LS-3	10.0	966.0	-	-	12.2	127.7	-	-	-	-	-	-	-	-	-	-	-	-	-
TB-9A	LS-2	5.0	970.0	9900	7.3	11.5	123.4	-	-	-	-	-	-	-	-	-	-	-	-	-
	LS-3	7.5	957.5	-	-	10.8	-	-	-	-	-	-	-	-	-	-	-	-	-	-
TB-10A	LS-4	10.0	955.0	-	-	3.9	-	-	16	↑	66	14	-	-	-	-	-	-	-	-
	LS-5	15.0	950.0	-	-	14.2	-	-	65	↑	32	3	-	-	-	-	-	-	-	-

LIBR 125907799

ZEIMET WOZNIAK
& ASSOCIATES, INC

28450 FRANKLIN ROAD
SOUTHFIELD, MICHIGAN 48034

(313) 352-8950

CONSULTING CIVIL ENGINEERS

LAND SURVEYORS

Eugene F. Zemet, PE, RLS
Thaddeus A. Wozniak, PE, RLS
Gary W. Peterson, PE
Richard A. Hofsess, PE
Wendell E. Peterson, PE, RLS
John J. Emg, RLS

November 2, 1988

Maples of Novi
Section 1 & 2
Novi, Michigan

SITE UTILITIES

Storm Water Management

The existing site slopes generally from northeast to southwest with north-south ridge lines on the central portion of the site. This configuration directs runoff to two major wetlands along the south property line except where smaller "pocketed" wetlands intercept overland flow holding it on-site.

The southeast corner of the site outlets to the enclosed storm sewer system of the Chateau Estates mobile home park and then to the wetlands at the southwest corner of the site. All runoff eventually crosses Decker Road through four parallel culverts approximately 350' north of the southwest corner.

The existing wetlands have been mapped and will be used for temporary holding of storm water runoff to provide sedimentation and attenuation of peak discharge, limiting the maximum discharge to 0.2 cfs per acre. Storage for the 10-year storm will be provided in the wetland areas.

Except for outlet pipes from the enclosed on-site storm system, culverts for road crossings and outflow control structures, the wetlands are to remain undisturbed.

During construction, appropriate soil erosion control measures will be used to prevent excessive accumulation of sediment in the wetlands.

Sanitary Sewer

The site is in the Walled Lake District North sanitary sewer district which flows to the Walled Lake Wastewater Treatment Plant. The treatment plant has a current capacity of 2.1 million

Maples of Novi
Sections 1 & 2
Page 2

USER 125903800

Sanitary Sewer Cont.'d

gallons per day (MGD) and although the City of Novi is not using its entire allocated capacity, combined development proposed in the district will exceed the current capacity of the plant. For this reason, the Oakland County DPW is negotiating a contract for design of a plant expansion to 3.5 MGD which will provide adequate capacity for this and other proposed developments. No firm dates for completion of the plant expansion are available at this writing. If a contract for construction can be let in Spring of 1989, the expansion could be completed in 1990. On November 18, 1988 the DPW anticipates finalizing the design contract. At that time, projected "on-line" dates for the expanded plant can be more accurately projected.

Until the expanded plant is operational, sanitary sewer extensions are limited to the unused capacity. However, given the time required for this and other projects to develop the land and construct buildings, taps to the system should be available on an "as-needed" basis.

Because of the topography of the sewer district, a lift station will be required to serve this project. On-site sewers for the area of the site east of Decker Road will flow to a pump station located midway along the Decker Road Right-of-Way (R.O.W.). A force main from the pump station is proposed to run northerly to 14 Mile Road and in the 14 Mile Road R.O.W. westerly to the existing 18" gravity sewer running around the lake to the treatment plant.

The proposed Congregate Care facility west of Decker Road will run to the 8" gravity sewer in 14 Mile Road.

Projected Sanitary Sewer flows for this development are as follows:

TYPE	DWELLING UNITS	UNIT FACTOR	EQUIVALENT UNITS
Congregate	100	0.60	60
Adult Village	300	0.60	180
Golf & Family	500	1.0	500
Commercial	60,000 S.F.	1.1/1000 S.F.	66
Office	20,000 S.F.	0.40/1000 S.F.	8
Total			814

814 x 3.5 = 2,849 persons

Average Flow: 2,849 x 100 gal/day = 284,900 gal/day = 0.44 cfs

Peak Flow: 2,849 x 400 gal/day = 1,139,600 gal/day = 1.76 cfs

All proposed facilities will be designed to accommodate anticipated sewer flows.

LIBER 12599 PG 801

Maple of Novi
Section 1 & 2
Page 3

Water Mains

There is an existing 42" DWSB Transmission Main in 14 Mile Road and a metered 36" main on the west side of Decker Road. A 16" stub was provided downstream of the meter. The proposed development will connect to the stub and distribute water throughout the development and provide stubs for future connection at the northeast and southwest corners.

Using projected population units as calculated for the sanitary sewer system, water demand will be as follows:

Average Flow: 2,849 persons x 100 gal./day = 284,900 gal./day

Maximum Daily Demand: 284,900 x 2.5 = 712,250 gal./day

The water distribution system will be designed to provide for the required maximum and average daily flows as well as required fire protection demands and will not have any adverse effect on the system.

1102s2t

LIBR 125907802

Existing Easements and Structures

As indicated previously, generally the site topography has dictated the foundation of our site plan design and layout. The effect is to minimize areas of heavy cuts. The primary areas of fill will occur along golf course fairways and greens, with the exception of those areas that abut wetlands. The purpose of these berms are twofold; one is to create an attractive and challenging golf course, as well as to provide a measure of privacy and safety for those homes and homeowners along the golf course.

Along with contouring of the golf course, areas of fill will occur in berming of site perimeters and entrances to serve as both community buffers and creation of the community identity. In as much as these criteria are discussed at length in the area treating the general landscape concept for this site, earlier in this area plan, any further discussion here would be redundant.

To identify any other areas of cut and fill on this site beyond the general perimeters discussed thus far, would require a complete engineering review and design, including a site grading and storm drainage plan. An obvious prerequisite to a fully detailed engineering plan would be approval of our P.U.D. request and preliminary site plan approval, any further discussion of site grading details would be premature at this point. As the planning and approval process proceeds, an engineering review and design will take place, and more information will become available.

The property as it exists today could best be described as old farm field. With exception of an old foundation from the farm house that used to stand just east of the corner of Decker and 14 Mile and the gravel drive that serviced the previous home and a vacant, boarded up house at the eastern property edge, the only other structure on the site is an underground water meter station on the southwest corner of 14 Mile and Decker Roads.

Oakland County records indicate that there are presently four existing easements on the property. One easement is held by Oakland County for the purpose of sanitary sewer.

Two easements are in the name of the City of Novi. One of these is a temporary easement for the purpose of slope and grading which apparently were executed for road improvements and drainage along Decker Road. The other easement in favor of Novi is for the water supply system, likely pertaining to the installation of the water meter station on the southwest corner of Decker and Fourteen Mile Roads. The fourth easement of record runs parallel to Fourteen Mile Road for the purpose of communication facilities. For your reference, those easements have been indicated on the attached boundary survey of the property.

LIBERS 125908803

Maples of Novi - Existing Easements

- L. 6655 P. 262 30' Permanent easement for water supply system & 20' Permanent easement for water supply system.
- L. 5315 P. 718 27' Permanent easement for sanitary sewer.
- L. 8408 P. 700 27' Permanent easement to Michigan Bell Telephone.
- L. 8845 P. 282 27' Permanent easement to Michigan Bell Telephone.
- L. 8845 P. 284 27' Permanent easement to Michigan Bell Telephone.
- L. 7870 P. 592 Grading rights easement for improvement of Decker. This easement was to expire upon completion of the improvement of Decker Road.

Note: These easements are listed here by the liber and page number of the first page only where there is more than one page.

1108s2n

LIBER 125900804

4. SITE CHARACTERISTICS

- 1.) Rolling topography;
- 2.) Natural wetland areas;
- 3.) Wooded;
- 4.) Sloping terrain; and
- 5.) Wide open space.

In creating a Master land use concept, the following criteria are used as standards.

- 1) Self contained single family attached and detached home ownership community.
- 2) Preservation of site qualities.
- 3) Existing trees, significant topography, drainage patterns, significant views, wetlands, habitat, etc.
- 4) To develop a community-wide open space system that allows for the creation of an inter-connecting park system golf course throughout the community.
- 5) To develop a roadway system which allows for the creation of collector roads linking to the overall roadway network in the City of Novi.
- 6) Establish design and development standards of architecture materials, landscape design and all other site-related elements.
- 7) Provide a broad range of housing values to serve the widest possible spectrum of consumers in the Novi market, such as:
 - a) Empty nesters
 - b) Young urban professionals
 - c) First time home buyers
 - d) Retirees

Our goal is to use Classic's traditional standards for a single family condominium home ownership community living, emphasizing the natural environment and preservation of the existing.

125901805

Landscape Concepts

The general landscape concept envisioned for this site will generally reinforce the existing indigenous plant materials found on site. The streetscape of both collector and cul de sac roads will be planted primarily with shade trees and some evergreen material. The unit typical plantings will consist of a creative mix of ornamental shrubs near the home with large herbaceous trees spread around the homes.

The wetlands will remain in tact as they are today. Wherever crossing of a wetland is required it will be done at the narrowest point to minimize any impact. There will be no grading or disturbance in wetland areas.

This site contains areas of wetlands and ridges of steep grades. The topography of the site has primarily dictated patterns and flows of both the main collector and secondary cul de sac roads. Using the existing topography of the site as the dominant design criteria assures minimal cut and fill activities, as well as minimal resultant environmental impact while at the same time affording unit orientations with impressive views of site amenities.

The heaviest areas of fill activities will be confined to contouring of the golf course, as well as berming to be installed around the site perimeters for the sake of privacy and screening. Berming and landscaping will be heavy in the area of the three development entrances to create a unique identity with key focal points for this development. As well as the site entries, there will be substantial berms created on the southeast and southwest corners of Decker and Fourteen Mile Roads for the purpose of screening of the commercial center. These berms also serve to create the City of Novi entrances with inviting fountains and landscape treatments which lend both esteem and an identity, linking this corridor as the northeast entrance to the City of Novi.

The foundation of the landscape concept for this development rests upon creation of an on-site nursery from existing trees. Prior to our clearing and land balance activities it is our intention to selectively choose trees of appropriate size and shape to transplant into a nursery and later replant in our landscaping operations. This again will reinforce the indigenous plant life on site and help to create a harmonious blend between the large tracts of woodlands and wetlands with the more manicured golf course, green belts and open space. It has been our experience on an existing development that this concept works and become a valuable asset in the design and presentation of an attractive and creative landscape plan.

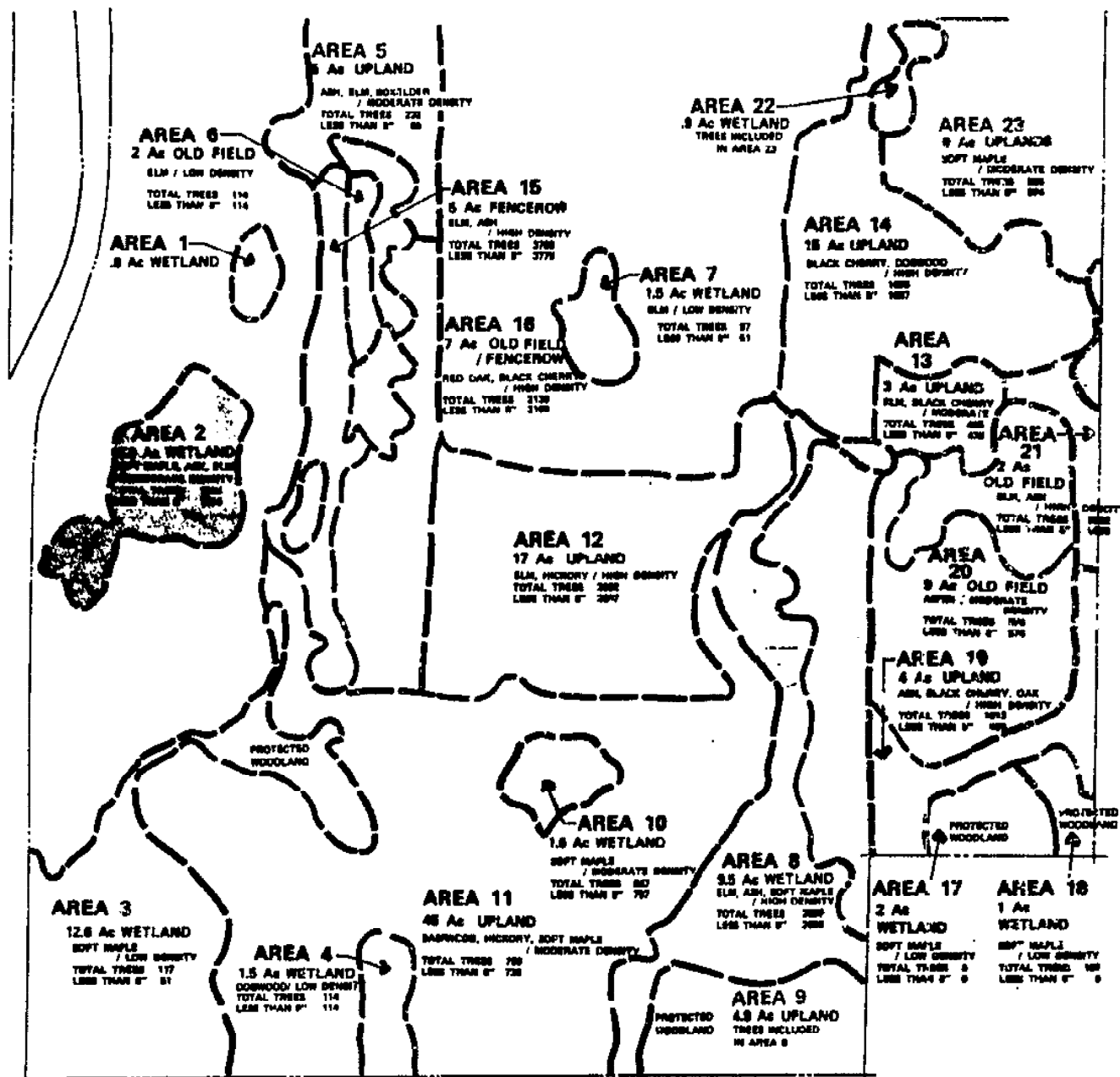
125907806

Through the process of numerous conceptual meetings with city planning officials and consultants, various wetlands and woodlands have been identified and mapped. The most substantial and high quality woodland tract runs from east to west at the southern-most property line. It has been agreed that Classic Construction will preserve this woodland tract in its' present state. This area of wooded wetlands and woodlands approximates forty acres. The benefits of this preservation are obvious. While it provides a very substantial on-site amenity, it also affords the City of Novi with the first leg of the "Farm Trails" portion of the "Rhythms" trail concept.

As well as this area, the other various wooded-wetlands and wetlands on site will be preserved. While it has been generally agreed between Classic Construction, Classics' Woodland consultant, and Novi Woodland Consultants, that the balance of vegetation on-site is of a much lower quality woodlands and, in fact does not even qualify as an emergent woodlands by U.S. Department of Forestry standards, Classic will preserve existing stands of trees wherever possible on the balance of the site. Throughout the process of our existing developments where woodland/wetland ordinances similar to Novi's exist, Classic Construction is very environmentally conscience, to which our track record and reputation will attest.

Incorporated into this document for your review is the Wetland report and mapping prepared on this property. In it you will see the primary criteria of wetland identification spelled out; plant material, insect and wildlife, soils, etc.... These wetlands will be preserved and serve as amenities and hazards to the golf course and as well, will be incorporated into the Maples of Novi storm water management and retention system. The woodlands report is also incorporated into this document for your review. This report defines woodlands by d.b.h., the primary criteria employed by the U.S. Department of Forestry. Also included for your review is the Soil Survey taken from the Soil Survey of Oakland County and the U.S. Department of Agriculture, Soil Conservation Service in cooperation, with the Michigan Agricultural Experiment Station.

12590807



JJR/

303 N. Main Street
Ann Arbor, Michigan 48104
313 632 4457

2828 Routh Street, Suite 600
Dallas, Texas 75201
214 871 9220

Planning
Landscape Architecture
Urban Design Civil Engineering

USER 125907808

Johnson, Johnson & Roy, Inc.

12 March 1988

Mr. Larry DePriest
7001 Orchard Lake Road, Suite 130
West Bloomfield, MI 48322

Re: Classic Construction - Novi
JJR No. 14554A

Dear Mr. DePriest:

Wetland boundaries for the site located at 14 Mile and Decker were identified on 18 February 1988. These boundaries are located on the enclosed copies of the aerial photograph of the site. There are 14 wetland areas on the site. Five of these wetland areas fall under jurisdiction of the City of Novi and four of these five fall under jurisdiction of the Michigan Department of Natural Resources. Three of the 14 wetlands are less than 0.1 acre, six of the 14 are less than 2 acres, and 5 are greater than 2 acres. The wetland acreage on site totals approximately 31 acres. Wetland boundaries were flagged in the field, and more accurate area calculations are being processed. Of the total 205 acres of the site, the wetlands exist on approximately 15 percent.

Soils within wetland areas on site are classified by the USDA Soil Conservation Service as Houghton and Adrian mucks and as hydric soils. All field soil samples taken within wetland boundaries tested as hydric soils.

The two major wetland areas contain a variety of hydrological conditions including open water and stream systems. The remaining smaller wetland areas are, for the most part, low-lying areas of scrub/shrub wetland with very few areas of open water.

A wide variety of wetland vegetation types exist on the site. Approximately 13 acres of the total wetlands consist of forested wetlands. These forests are primarily ash, elm, maple, and poplar. The smaller wetland areas within the agricultural fields are primarily scrub/shrub and comprise approximately 12 acres of the total wetlands on the site. These areas consist primarily of scrub willow, red osier dogwood, gray dogwood, and reed canarygrass. Cattails and sedges occupy the emergent wetland areas on approximately 6 acres of the total wetland area.

Supplement-B

MSR 12590809

Mr. Larry DePriest
12 March 1988
Page 2

The wetland numbered 8 is regulated by the City of Novi, and wetlands numbered 1, 2, 7, 11, and 17 are regulated by MDNR and the City of Novi because of their size. The current language of the Wetland Protection Act calls for preserving wetlands or maintaining no net loss of wetland areas. The proposed activity must be dependent on being on the wetland. Should you propose any type of mitigation, it is most likely that wetlands created would have to be done on a ratio of two acres per every acre of wetland filled. These observations and boundaries are based on our current understanding of Michigan Department of Natural Resources (MDNR) methods and policy. The MDNR has final decision on all wetland matters.

Sincerely,

JOHNSON JOHNSON & ROY/inc



Kevin F. Noon

KFN/wjf

Encl.

LIBR 12590810

WETLAND DESCRIPTIONS

Maples of Novi

Wetland #1- Largely a forested wetland with patches of shrub-scrub wetlands. Considerable standing water 2 - 8" deep. Open water covered with Duckweeds. Mallard ducks observed. Vegetation mostly Red Maple, along with American Elm and Red Ash. Understory of Carex sedge, Spikerush, Beggar-tick (Bidens sp.), Willow and saplings. Ditch outlet on southwest margin. Sandy soil. Moderate to high value. DNR regulated.

Wetland #2- A shrub-scrub wetland dominated by Button bush which applies permanent water. Other plant species include Wild Grape, Wild Rose, Nightshade, Canary Grass, as well as Red Maple and Red Ash along the shoreline. Swale leading upland on east side; more Dogwood there. Soils indicate 6-10" clay over mucky peat. Moderate value; stormwater storage especially. Not DNR regulated.

Wetland #3- Basically a Carex sedge wet meadow, surrounded by patches of Grey Dogwood and fringe of forested wetland. In addition to sedges, emergent marsh has Sensitive Fern, Joe Pye Weed, Jewel Weed and Arrow Arrowhead. No standing water. This wetland drains south and is hydrologically connected to Wetland #4 and to #5. Soils consist of gray, dense clay. Wetland of moderate value. DNR regulated because connected to other wetlands.

Wetland #4- Primarily a Red Maple swamp or forested wetland. Also some American Elm, Red Ash, and Silver Maple, with an understory of Jewel Weed, Sensitive Fern, and False Nettle. Although widespread standing water covered by Duckweed, may dry out in late summer. Ditch drains south into Chateau Mobile Home Park; rather stagnant water flows through. Wetland #15 flows into Wetland #4. Some logging of trees. Wetland of low to moderate value. Soils consist of 1-2 feet of black muck over sand. DNR regulated.

Wetland #5- Trail cuts off this wetland from Wetland #3. Black Walnut trees on boundary between them. Vegetation consists of Red Ash and American Elm trees, along with understory of Grey Dogwood, Wild Grape, and Black Raspberry.

12590811

Wetland #5 Cont.- Some standing water in places, especially along dirt trail where sedges occur. Soil not checked. Value is low to moderate. Not DNR regulated, unless hydrologic connection to Wetland #3 is established.

Wetland #6- Seasonally wet emergent marsh. Vegetation mostly Swamp Goldenrod, along with canary Grass, Swamp Dock, and a few patches of Willow-Dogwood, especially on east side. A few large Eastern Cottonwood trees on north and south margins. No standing water at time of field survey. Soils are clayey mucks at surface, with more clay at depth. Value is low; mostly runoff water storage. not DNR regulated.

Wetland #7- Mixed shrub-scrub, forested and emergent wetlands. Much Willow brush and Grey Dogwood in center. On south and east margins, more Tussock Sedge and Canary Grass marsh. No standing water now, but evidence of standing water in Spring as shrubs have water marks. No outlets or inflow ditches. Soils are clayey muck. Could be a groundwater recharge area. Value is low to moderate. Not DNR regulated.

Wetland #8- Part of deciduous woodland near Decker Road. Seasonally flooded swamp. Contained 6-10" of standing water at time of field survey. Numerous tadpoles, frogs, and mosquito larvae observed. Open water surrounded by Red Ash, with some Red Maple and American Elm 4 - 18" in diameter. Evidence of higher water levels. No hydrologic connection to Wetland #7. No outlet. Relatively high value. Not DNR regulated.

Wetland #9- Mere pothole adjacent to a Red Ash tree and large Swamp Oak, located south of Wetland #8, along Decker Road. Depression colonized by Brome Grass, as well as Smartweed, Swamp Dock, and Canary Grass. Soils are mucky. No standing water. No inlets or outlets. Low value. Not DNR regulated.

Wetland #10- This wetland is a large, drowned swamp. Located along Decker Road, this wetland receives drainage from Wetland #1, and in turn drains across Decker Road via a quadruple culvert. Construction of Decker Road the placement of the culverts probably resulted in the slight increase in water depths in this wetland. Standing water is widespread and colonized by Duckweeds. Most of the partially drowned trees are Red Maple, with an understory of Buttonbush, Sparganium, Canary Grass, various sedges, and Jewel Weed.

UGER 125907812

Wetland #10 Cont.- Numerous Bullfrogs and Red Winged Blackbirds. Two sets of four 24" oval culverts drain this wetland. Soils were not checked. Value is moderate to high. DNR regulated.

Wetland #11- A mixed shrub-scrub, open water, forested wetland, and sedge marsh. Much of the vegetation consists of Black Willow trees, Buttonbush shrubs, as well as Grey Dogwood, Willow brush, Wild Rose and swamp tree saplings. The southern end had more open water, and Mallard ducks were observed. The north end ended in lowland hardwoods and a dry ditch leading northward. Hydrologically, the wetland is isolated. The soils were mucky. Value is moderate to high. Not DNR regulated.

Wetland #12- Basically a small depression in which a seasonally wet, forested wetland occurs at about 200 feet northeast of Wetland #11. Most of the trees are Box Elder with Wild Grape intertwined. About the upland edge is Black Cherry and Black Walnut. Unfortunately, this wetland is currently being utilized as a garbage dump by a nearby resident. Rats were observed climbing over the household garbage which is a health hazard. The soils were not checked. Because of impacts, the value is very low. Not DNR regulated, but a violation has occurred.

Wetland #13- Located 250 feet south of 14 Mile Road, this forested wetland is oval-shaped. Standing water 6 - 12" deep prevailed at the time of analysis. Eastern Cottonwood trees 12 - 24" in diameter occur around the edges. Tadpoles and mosquito larvae colonize the brown, leaf-ridden pools. A slight swale leads toward Wetland #14. Otherwise no hydrologic connections. Soils are sandy with high water table. Value appears moderate. Not DNR regulated.

Wetland #14- Adjacent to 14 Mile Road, north of Wetland #13. Is a seasonally wet forested wetland. Vegetation consists mostly of Box Elder along with American Elm, Red Ash, and Red Maple. Very little understory. No standing water, but evidence of previous ponded water. Sandy clay soil. Possible subsurface connection with Wetland #13. Some road drainage into this wetland from the east. Value appears low. Not DNR regulated.

Wetland #15- A large forested wetland located northeast of the Mobile Home Park. Largely a Red Maple swamp, slightly drowned as evidenced by dead trees. Also some logging and tree tops.

DEP 12590813

Wetland #15 Cont.- Widespread standing water covered by dense Duckweeds. Vegetation is mostly Red and Silver Maples with an understory of Swamp Goldenrod, Jewel Weed, various sedges, and Beggar Ticks. In places where previous logging occurred, it was very brushy. Soil consists of 12" of clayey muck, then black & gray clay, and finally gray sand at -24". No moderate. DNR regulated.

Wetland #16- A forested wetland that has less standing water than Wetlands #10 and #15. Also does not appear to be drowned. Basically a Red Maple swamp, with an understory of Jewel Weed, Sensitive Fern, and False Nettle on dead logs and slight knolls. Numerous tadpoles, frogs and mosquito larvae in pools, which were drying up. Soils were mucks over gray sand. Far east side of this wetland not mapped. Hydrologically connected to Wetland #15, with flow probably into Wetland #15. Value appears low to moderate. Could be a groundwater recharge area. DNR regulated.

Wetland #17- Isolated forested wetland. Some standing water, but drying up. Red and Silver Maple swamp, seasonally wet, with understory of Sensitive Fern, Forest Nettle, and saplings of Red Maple and American Elm. Southern end had more open water, Buttonbush, and perhaps ducks in it. Saw two Woodcock. A dry ditch on northern edge leading toward Wetland #15 was mapped; no flow at this time. Soils not checked. Value appears moderate to high. Not DNR regulated unless connection to Wetland #15 is established.

Wetland #18- Basically a Buttonbush shrub swamp with permanent open water. Buttonbush was dense, appeared very healthy, and 6-8' tall. Frogs were heard. Along wetland edges observed Nightshade, Grey Dogwood, Sensitive Fern, and Smartweed. Generally, 2 to 4' of relief about the edges. Soils consist of a surficial muck, then gray clay, followed by black peat at -20". Water depths averaged 12 - 18". Value is probably moderated. Not DNR regulated.

Wetland #19- Located about 50 feet southeast of Wetland #18, but no direct hydrologic connection. Is a Button bush shrub swamp like Wetland #18. Widespread standing water. Croaking frogs heard. Along margins are Grey Dogwood, along with Red Maple, Red Ash, and Swamp Oak. Soils exhibit 6" of mucky peat over sandy gray clay. No inlets or outlets. Does not appear to be connected to Wetland #18. Less Duckweed in this wetland, perhaps due to Ducks feeding. Value is probably moderate to high. Not DNR regulated, even if connected to Wetland #18.

125908814

ENVIRONMENTAL DATA FORM - WETLANDS PRIORITY STUDY

I. LOCATION

SITE# A - Sec. 2
 SIDWELL# 22-01-100-001
 22-02-200-002
 22-02-200-003
 22-02-201-001
 22-02-200-004

MAJOR CROSSROADS East of Decker Rd. bet. 13 & 14 Mile Rds.

II. STORM WATER CLASSIFICATION

EASEMENT NEEDED 20' SIZE

III. ZONING CLASSIFICATION (S)

R-A Residential agricultural
Master Planned 3.3/.08, P.U.D. Planned 5.0.

IV. HYDROLOGY

GROUND WATER DEPRESSION, Drains into Walled Lake.

V. SOIL DESCRIPTION

1. Adrian muck

2. Soil inspection

If site is inundated average water depth: 6-12"

3. Soil Classification

A. Organic (greater than 20% organic matter and deeper than 12")

Muck (highly decomposed, original plant parts not recognizable)

B. MINERAL (less than 20% organic matter or if greater than 20%, shallower than 12").

1. Describe the soil horizons, from the surface down.

12590815

DEPTH	TEXTURE	COLOR

TEXTURE

S-Sand
 SL-Sandy Loam
 LS-Loamy Sand
 L-Loam
 SIL-Silt Loam
 CL-Clay Loam
 C-Clay
 RC-Rock/Cobbles
 CS-Cobbly Sand
 note other

COLOR

R-Red
 BR-Brown
 B-Black
 Y-Yellow
 G-Gray
 RB-Reddish Brown
 GB-Grayish Brown
 RY-Reddish Yellow
 note other

4. Soil drainage class

Poorly Drained

VI. VEGETATION

Open water & Emergent (70-80%)
 Shrub-scrub & forest (20-30%)

Species of trees, flowers, etc. observed and rank on abundance scale.

<u>NAME</u>	<u>SCIENTIFIC NAME</u>	<u>ABUNDANCE RATING</u>
Marsh Fern	<i>Thelypteris palustris</i>	MA
Cut Grass	<i>Leersia oryzoides</i>	A
White Aster	<i>Aster vimineus</i>	UC
Nedding Smartweed	<i>Polygonum</i>	UC-MA
U K Sedge (Beak Rush)	<i>Rynchospora alba</i>	A
Common Chicory	<i>Cichorium intybus</i>	MA
Common Ragweed	<i>Ambrosia artemisiifolia</i>	MA
Common Dandelion	<i>Taraxacum officinale</i>	UC
Curled Dock	<i>Rumex crispus</i>	MA
Canary Reed Grass	Phalaun App.	A
Buttonbush	<i>Cephalanthus occidentalis</i>	A
Goldenrod	<i>Solidage spp.</i>	A
Red Maple	<i>Acer rubrum</i>	A

US 125908816

<u>NAME</u>	<u>SCIENTIFIC NAME</u>	<u>ABUNDANCE RATING</u>
Wild Carrot	<i>Daucus carota</i>	A
Sandbar Willow	<i>Salix interior</i>	A
Shrub Willows	<i>Salix spp.</i>	A
Lance-leaved Goldenrod	<i>Solidago graminifolia</i>	A
Eastern Cottonwood	<i>Populus deltoides</i>	A
Prickly Lettuce	<i>Lactuca scariola</i>	MA
Poison Ivy	<i>Rhus radicans</i>	MA
Yarrow	<i>Achillea millefolium</i>	UC
Bittersweet Nightshade	<i>Solanum dulcamara</i>	A
Swamp Fly Honeysuckle	<i>Lonicera oblongifolia</i>	UC
Common Cattail	<i>Typha latifolia</i>	A
Clearweed	<i>Pilea pumila</i>	MA-A
Peachleaf Willow	<i>Salix amygdaloides</i>	MA
Duckweed	<i>Lemna spp.</i>	A
Misc. Swamp Mosses		A
Beggar Ticks	<i>Bidens connata</i>	MA
Water Horehound	<i>Lycopus americana</i>	A
Spotted Touch Me Not	<i>Impatiens capensis</i>	A
Evening Primrose	<i>Oenothera Biennis</i>	MA
Misc. Mushrooms		A
Giant Bur-reed	<i>Sparganium eurycarpum</i>	A
White Ash	<i>Fraxinus americana</i>	MA
False Nettle	<i>Boeheria cylindrica</i>	A
Nodding Bur Marigold	<i>Bidens cernua</i>	UC
American Elm	<i>Ulmus americana</i>	A
Wild Grape	<i>Vitus spp.</i>	A
Hog Peanut	<i>Amphicarpa bracteata</i>	MA
Turtlehead	<i>Clelone glabra</i>	UC
Great Lobelia	<i>Lobelia Siphilitica</i>	UC
Wild Mint	<i>Mentha arvensis</i>	MA
American Basswood	<i>Tilia americana</i>	UC
Boneset	<i>Eupatorium perfoliatum</i>	MA
Virginia Creeper	<i>Parthenocissus quinquefolia</i>	A
Crack Willow	<i>Salix fagilis</i>	UC
Black Ash	<i>Faxinus nigra</i>	UC-MA
Gray Dogwood	<i>Cornus racemosa</i>	MA
Swamp White Oak	<i>Quercus bicolor</i>	MA
Common Winterberry	<i>Ilex verticillata</i>	UC
Coontail	<i>Ceratophyllum demersum</i>	A
Swamp Rose	<i>Rosa polustris</i>	A
Blue Vervain	<i>Verbena hastata</i>	UC
Staghorn Sumge	<i>Rhus typhina</i>	MA
Highbush Cranberry	<i>Viburnum trilobum</i>	UC
Shining Rose	<i>Rosa nitida</i>	A

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Abundance rating

- A-abundant
- MA-moderately abundant
- UC-uncommon
- R-rare

Ecological system according to the National Wetlands Inventory Maps.
PFOY.

Approximate number of trees greater than 2 1/2" >100 .

VII. WILDLIFE

SPECIES	EVIDENCE OF	SPECIES EXPECTED
<u>OBSERVED</u>	<u>REPRODUCTION</u>	<u>BUT NOT OBSERVED</u>
1. MAMMALS		
Raccoon	X	No tracks
Whitetail Deer		X
Opossum		X
Chipmunk		X
2. BIRDS		
Red-winged Blackbird	X	Yes nest found
Wood Duck		good habitat
European Starlings	X	flock
Downy Woodpecker	X	picking
Eastern Wood Pewee	X	No
Green-backed Heron	X	No common
Mallard	X	No several
Blue Jay	X	abundant
B C Chickadees	X	abundant
Common Grackle	X	flew over
Black Duck		X
Great Blue Heron		X
Common Egret		X
3. REPTILES/ AMPHIBIANS		
Green Frog	X	No heard
Tree Frog		X
Leopard Frog	X	No
Wood Frog		X
Water Snakes		X
Snapping Turtle		X

USFWS 125900318

SPECIES		EVIDENCE OF	SPECIES EXPECTED
OBSERVED		REPRODUCTION	BUT NOT OBSERVED
4. FISH			
Minnows			X
Bluegills			X
5. INSECTS			
Short-horned			
Grasshoppers	X	Yes	mating
Long-horned			
Grasshoppers	X	Yes	singing
Snowy Tree Cricket	X	Yes	calling
Viceroy Butterfly	X	No	abundant
Damselflies	X	No	"
Carpenter Ants	X	No	dead stump
Water Bugs	X	No	abundant
Red Skimmer			
Dragonfly	X	No	
Misc. Dragonflies	X	Yes	mating
Skippers	X	No	
Drone Fly	X	No	
Craneflies	X	No	abundant
Leafhoppers	X	No	abundant
Bush Katydid	X	No	woodsedge
(scudderia)			
Ctenuchis Moths	X	No	
Fishflies			eggs maybe
Bark Beetles	X	Yes	dead wood
Wood-borin Beetles	X	Yes	" "
Aphids	X	Yes	" "
Paper Wasps	X	No	abundant
Greenbottle Fly	X	No	
Marsh Flies	X	Yes	mating
Mound-building			
ants	X	Yes	mounds
6. OTHER			
INVERTEBRATES			
Shamrock Spider	X	No	
Banded Garden			
Spider	X	No	
Funnel Web Spider	X	No	

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6. OTHER
INVERTEBRATES (CONT)

Pond Snails	X	No	
Sac Spiders (clubionid)	X	No	on bur-reed

SPECIES <u>OBSERVED</u>	EVIDENCE OF <u>REPRODUCTION</u>	<u>OBSERVED</u>	SPECIES EXPECTED <u>BUT NOT OBSERVED</u>
----------------------------	------------------------------------	-----------------	---

6. OTHER
INVERTEBRATES (Cont.)

Daddy-long-legs	X	No	woods
Orb Weavers	X	No	common
Fishing Spiders	X	No	watersurface
Misc. Snails	X	No	on cattails

7. RARE OR
ENDANGERED
SPECIES

None

VIII. USE AND USE POTENTIAL

1. Site is not currently being used by the public.
2. Site has potential for use in:
 - Nature study/birdwatching
 - Hunting
3. Classification of the wetland is common within the city.

LIBER 12590820



WILLIAM
NEWCOMB
Associates

November 7, 1988

Mr. Sam Blumenstein, Pres.
Classic Construction Corp.
21177 Hilltop
Southfield, MI 48034

RE: THE MAPLES

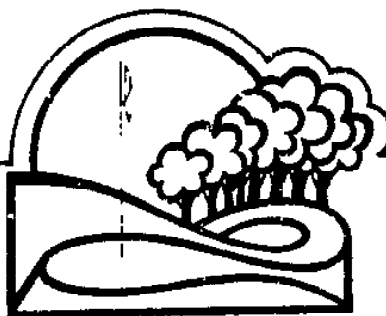
Dear Mr. Blumenstein,

The Maples Executive Golf Course is routed through the residential areas and represents the highest quality executive course. The holes are designed to meld with the topography of the site to create an interesting golfing challenge.

The course is routed adjacent to several wetlands areas to provide a "double wide" greenbelt running throughout the development. Locating golf holes adjacent to wetlands calls for special design construction and maintenance techniques to preserve the wetlands. These special concerns require special solutions which will be enacted from the point of beginning construction to, eventually, maintaining the course on a daily basis.

First, the wetlands are protected during the construction phase by protective soils erosion and sedimentation control methods. In its natural state, the site runoff often goes toward these wetlands. In many instances, this flow direction will be reversed, by regrading; allowing the increased flow, created by a lower runoff coefficient, to be directed away from the isolated wetlands and directed into the storm water system.

This reverse flow grading will also provide an additional buffer for normal golf course maintenance practices such as fertilizer and fungicide application. And, as a final measure of executing safeguards, there



LIBR 125908821

Mr. Sam Blumenstsein, Pres.
November 7, 1988
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will be specific turf maintenance practices which will minimize any potential problems.

First, fertilizer application will be light and frequent. This will allow for all of the material to be absorbed and avoid runoff of excess fertilizer which occurs in applications which are infrequent and heavy.

Second, strict water use controls will be practiced. To help accomplish this control, the golf course irrigation system will be fully automated. This will allow for individual irrigation sprinkler control to within one minute increments. By careful observation of the golf course terrain and water needs, the irrigation program is controlled by a central computer panel. This master control system has additional built in ground sensors to shut down the system automatically when the moisture level is adequate or in the event it is raining during a normal irrigation cycle.

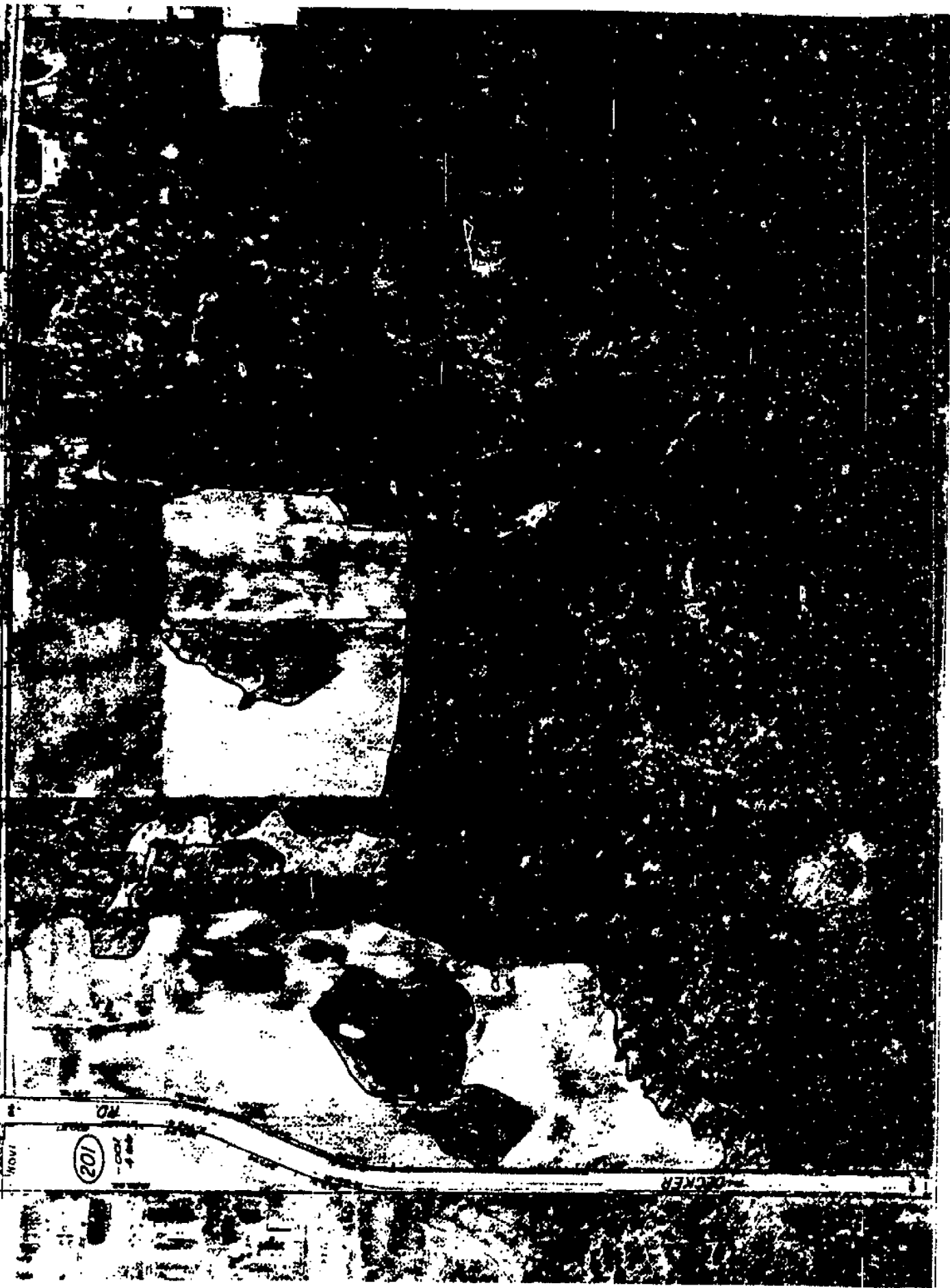
These special construction and maintenance practices will allow for the course to become part of the overall landscape without disrupting the natural wetlands features of the site.

Sincerely,

William K. Newcomb, M.L.A.

WKN/tls

REF 125901822



Woodland Map
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125907823



Metropolitan Forestry Consultants, Inc.

WOODLANDS STUDY
BY INDIVIDUAL
TIMBER TYPE
(DETERMINATION OF
MAJORITY TREE SIZE)

ON

CLASSIC CONSTRUCTION CORP.

PROPERTY LOCATED AT
THE SOUTHEAST CORNER
OF FOURTEEN MILE ROAD
AND DECKER ROAD

(CONTAINING APPROXIMATELY
230 ACRES)

IN THE CITY OF
NOVI, MICHIGAN

MARCH 11, 1982

BY METROPOLITAN FORESTRY CONSULTANTS, INC.

Robert A. Cool, R.F. #310, M.A.C.F. #16

12590824

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14 Mile and Decker
Novi, MI
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DETERMINATION OF MAJORITY TREE SIZE

Table of Contents

- 1. Purpose of Study
- 2. Majority of Tree Size Data by Timber Type and Description
(23 Timber Type Areas defined on property)
- 3. Aerial Photographs of Property Showing Numbered Timber Types
- 4. Request for Determination of Actual Woodlands
- 5. Appendix

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DETERMINATION OF MAJORITY TREE SIZE

Purpose of Study

The City of Novi, Michigan has adopted an ordinance which was established to help preserve existing woodlands. The developer must gather and present data showing timber types and majority tree size to the City of Novi. This data will be used to delineate the actual woodlands for locating, rating, tagging and mapping. The ordinance states * that a group of trees is considered an official woodlands whenever the majority of the trees are eight (8) inches diameter or greater. Conversely, whenever the majority of the trees are less than eight (8) inches diameter, the group of trees are not considered official woodlands.

* ORDINANCE NO. 86-125

Section 4.01. Lands to Which Ordinance Applies

sub 3) "All large or small tracts of land which have a canopy cover of at least 10,000 square feet formed by trees, a majority of which have a d.b.h. of 8" or greater."

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 1

Description - Major species/ Density: Ash/Moderate
 Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	857	
2"	458	857	
3"	0	409	
4"	0	409	sum 1"-7" = 672
5"	0	409	
6"	102	409	
7"	112	307	
<hr/>			
8"	29	195	
9"	68	166	
10"	18	98	sum 8"+ = 195
11"	45	80	
12"	13	35	
13"	22	22	

Timber Type Area # 2

Description - Major species/ Density: Soft maple, Elm/Moderate
 Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	938	
2"	458	938	
3"	407	480	sum 1"-7" = 938
4"	0	73	
5"	73	73	

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 3

Description - Major species/Density: Soft maple/Low
 Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	117	
2"	0	117	
3"	0	117	
4"	0	117	sum 1"-3" = 51
5"	0	117	
6"	51	117	
7"	0	66	
8"	29	66	
9"	0	37	sum 8"+ = 66
10"	37	37	

Timber Type Area # 4

Description - Major species/Density: Dead trees/Low
 Site: Wetland

No live trees found in this area.

Timber Type Area # 5

Description - Major species/Density: Logwood/Low
 Site: Old field

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	114	
2"	0	114	
3"	0	114	sum 1"-3" = 114
4"	114	114	

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 6

Description - Major species/Density: Ash, Elm, Boxelder/Moderate
 Site: Upland

d.b.h.	N.O.T./acre	sum in reverse order	
1"	0	232	
2"	0	232	
3"	102	232	
4"	0	130	sum 1"-3" = 172
5"	0	130	
6"	51	130	
7"	19	79	
8"	43	60	
9"	0	17	
10"	0	17	
11"	0	17	
12"	13	17	sum 8"+ = 60
13"	0	1	
14"	0	1	
15"	0	1	
16"	4	1	

Timber Type Area # 7

Description - Major species/Density: Elm/Low
 Site: Old field

d.b.h.	N.O.T./acre	sum in reverse order	
1"	0	114	
2"	0	114	
3"	0	114	sum 1"-3" = 114
4"	114	114	

LIBR 12590 PG 829

Robert A. Cool

Page 2

PROFESSIONAL ASSOCIATIONS: American Forestry Association, member
 Arboreal Research and Education Committee, member
 Ontario Shade Tree Commission, member
 Michigan Christmas Tree Growers Association, member
 National Christmas Tree Growers Association, member
 Michigan Recreation and Park Association, member
 Michigan Safety Conference-Forestry Section, chairperson
 Michigan Chapter, American Planning Association,
 1987 Annual Conference and Professional Development
 Program, speaker

CERTIFICATIONS: State of Michigan certified pesticide applicator
 State of Michigan licensed pesticide applicator
 State of Michigan registered forester, #310
 Michigan Association of Consulting Foresters, #16
 Michigan Certified Nurseryman, #1305
 Grounds Management Specialist (MCN - GM--9)
 Licensed Nursery Stock dealer

AWARDS: Recipient, The American Society of Landscape
 Architects, Merit Award. Participation as Grounds
 Maintenance Expert in Michigan State Housing Development
 Authority's Landscape Maintenance Guide.

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LECR 125902830

DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 8

Description - Major species/Density: Elm/Low
Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	87	
2"	0	87	
3"	0	87	
4"	0	87	sum 1"-3" = 51
5"	0	87	
6"	51	87	
7"	0	36	
8"	0	36	
9"	23	36	sum 8"+ = 36
10"	0	13	
11"	0	13	
12"	13	13	

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DETERMINATION OF MAJORITY TREE SIZE:

Majority Tree Siz. Data

Timber Type Area # 9

Description - Major species/Density: Soft Maple/Low
 Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	120	
2"	0	120	
3"	0	120	
4"	0	120	sum 1"-7" = 0
5"	0	120	
6"	0	120	
7"	0	120	
<hr/>			
8"	43	120	
9"	0	77	
10"	28	77	
11"	0	49	
12"	25	49	
13"	5	24	
14"	5	19	
15"	4	14	
16"	7	10	sum 8"-26" = 120
17"	0	3	
18"	0	3	
19"	0	3	
20"	0	3	
21"	0	3	
22"	0	3	
23"	0	3	
24"	2	3	
25"	0	1	
26"	1	1	

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 10

Description - Major species/Density: Soft maple/Moderate
Site: Wetland

d.b.h.	N.O.T./acre	sum in reverse order	
1"	0	947	
2"	455	947	
3"	0	389	
4"	229	389	sum 1"-4" = 707
5"	73	160	
6"	0	87	
7"	37	87	
<hr/>			
8"	29	50	
9"	0	21	
10"	0	21	
11"	0	21	sum 8"+ = 50
12"	13	21	
13"	0	0	
14"	0	0	
15"	0	0	

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12590/833

DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 11

Description - Major species/Density: Basswood, Hickory, Soft maple/Moderate
 Site: Upland

d.b.h.	N.O.T./acre	sum in Reverse order	
1"	458	796.5	
2"	115	349.5	
3"	102	225.5	
4"	10	123.5	sum 1"-7" = 733
5"	24	113.5	
6"	5	89.5	
7"	16	81.5	
8"	12	65.5	
9"	9	53.5	
10"	11	44.5	
11"	14	33.5	
12"	7	19.5	
13"	4	12.5	
14"	3	8.5	
15"	4	5.5	
16"	1	1.5	
17"	0	0.5	
18"	0	0.5	
19"	0.1	0.5	
20"	0	0.1	sum 9"+ = 65.5
21"	0	0.1	
22"	0	0.1	
23"	0	0.1	
24"	0	0.1	
25"	0	0.1	
26"	0	0.1	
27"	0	0.1	
28"	0	0.1	
29"	0	0.1	
30"	0	0.1	
31"	0	0.1	
32"	0	0.1	
33"	0.1	0.1	

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 14 Mile and Decker
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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 12

Description - Major species/Density: Elm, Hickory/High
 Site: Upland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	sum in <u>reverse order</u>	
1"	1833	2592	
2"	458	859	
3"	136	401	
4"	76	265	sum 1"-7" = 2,667
5"	147	189	
6"	17	42	
7"	0	25	
<hr/>			
8"	10	25	
9"	0	15	
10"	6	15	sum 8"+ = 25
11"	5	9	
12"	0	4	
13"	4	4	

Timber Type Area # 13

Description - Major species/Density: Elm, Ash/High
 Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	sum in <u>reverse order</u>	
1"	1833	2710	
2"	458	877	
3"	204	419	
4"	0	215	sum 1"-7" = 2,656
5"	73	215	
6"	51	142	
7"	37	91	
<hr/>			
8"	0	54	
9"	23	54	
10"	18	31	sum 8"+ = 54
11"	0	13	
12"	13	13	

LIBR 125902835

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 14

Description - Major species/Density: Elm, Black cherry/Moderate
 Site: Upland

d.b.h.	N.O.T./acre	sum in reverse order	
1"	0	485	
2"	0	485	
3"	204	485	
4"	229	281	sum 1"-7" = 433
5"	0	52	
6"	0	52	
7"	0	52	
8"	29	52	
9"	23	23	sum 8"+ = 52

Timber Type Area # 15

Description - Major species/Density: Black Cherry, Dogwood/High
 Site: Upland

d.b.h.	N.O.T./acre	sum in reverse order	
1"	1375	1635	
2"	115	320	
3"	51	205	
4"	29	154	sum 1"-7" = 1,657
5"	55	125	
6"	13	70	
7"	19	57	
8"	29	38	
9"	6	9	
10"	0	3	
11"	0	3	sum 8"+ = 38
12"	0	3	
13"	3	3	

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 16

Description - Major species/Density: Elm, Ash/High
Site: Fencerow

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	2750	3793	
2"	688	1043	
3"	102	355	
4"	115	253	sum 1"-2" = 3,779
5"	73	138	
6"	51	65	
7"	0	14	
8"	14	14	sum 8"+ = 14

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 17

Description - Major species/Density: Red oak, Black cherry/High
Site: Old field, fencerow

d.b.h.	N.O.T./acre	sum in reverse order	
1"	917	2131	
2"	917	1213	
3"	0	296	
4"	229	296	sum 1"-7" = 2,100
5"	37	67	
6"	0	30	
7"	0	30	
8"	0	30	
9"	11	30	
10"	9	19	
11"	9	10	
12"	0	2	
13"	0	2	
14"	0	2	
15"	0	2	
16"	0	2	
17"	0	2	
18"	0	2	
19"	0	2	
20"	0	2	sum 8"+ = 30
21"	0	2	
22"	0	2	
23"	0	2	
24"	0	2	
25"	0	2	
26"	1	2	
27"	0	1	
28"	0	1	
29"	0	1	
30"	0	1	
31"	0	1	
32"	0	1	
33"	0	1	
34"	1	1	

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UBER 125907838

DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 19

Description - Major species/Density: Soft maple/Low
Site: Wetland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	107	
2"	0	107	
3"	0	107	
4"	0	107	sum 1"-7" = 0
5"	0	107	
6"	0	107	
7"	0	107	
<hr/>			
8"	0	107	
9"	23	107	
10"	0	94	
11"	30	34	
12"	25	5	
13"	0	20	
14"	0	20	
15"	0	20	
16"	0	20	
17"	13	20	
18"	5	16	sum 8"+ = 107
19"	0	10	
20"	5	10	
21"	0	5	
22"	0	5	
23"	0	5	
24"	3	5	
25"	0	2	
26"	0	2	
27"	0	2	
28"	2	2	

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 20

Description - Major species/Density: Ash, Black cherry, Oak/High
 Site: Upland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	1013	
2"	688	1013	
3"	0	325	
4"	57	325	sum 1"-7" = 906
5"	73	268	
6"	51	195	
7"	37	144	
<hr/>			
8"	29	107	
9"	23	78	
10"	18	55	
11"	15	37	
12"	5	22	
13"	11	16	
14"	0	5	
15"	4	2	
16"	0	1	
17"	0	1	
18"	0	1	
19"	0	1	sum 8"+ = 107
20"	0	1	
21"	0	1	
22"	0	1	
23"	0	1	
24"	0	1	
25"	0	1	
26"	0	1	
27"	0	1	
28"	0	1	
29"	0	1	
30"	0	1	
31"	1	1	

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DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 21

Description - Major species/Density: Aspen/Moderate
 Site: Old field

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	0	576	
2"	0	576	
3"	204	576	
4"	115	372	sum 1"-7" = 576
5"	220	357	
6"	0	37	
7"	37	37	

Timber Type Area # 22

Description - Major Species/Density: Elm, Ash/High
 Site: Old field, fencerow

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	5500	5502	
2"	0	2	
3"	0	2	
4"	0	2	sum 1"-7" = 5,500
5"	0	2	
6"	0	2	
7"	0	2	
8"	0	2	
9"	0	2	
10"	0	2	
11"	0	2	
12"	0	2	
13"	0	2	
14"	0	2	
15"	0	2	
16"	0	2	
17"	0	2	
18"	0	2	sum 8"+ = 2
19"	0	2	
20"	0	2	
21"	0	2	
22"	0	2	
23"	0	2	
24"	0	2	
25"	0	2	
26"	0	2	
27"	0	2	
28"	0	2	
29"	0	2	
30"	2	2	

Cassals Construction Corp.
 14 Mile and Ducker
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125907841

DETERMINATION OF MAJORITY TREE SIZE

Majority Tree Size Data

Timber Type Area # 23

Description - Major species/Density: Soft Maple/Moderate
 Site: Upland

<u>d.b.h.</u>	<u>N.O.T./acre</u>	<u>sum in reverse order</u>	
1"	917	985	
2"	0	68	
3"	0	68	
4"	57	68	sum 1"-3" = 974
5"	0	11	
6"	0	11	
7"	0	11	
8"	0	11	
9"	11	11	sum 8"+ = 11

Aerial Photographs of Property Showing Numbered Timber Types

See aerial photographs.

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LIBER 125903842

DETERMINATION OF MAJORITY TREE SIZE

Request for Determination of Actual Woodlands

The data presented is a request for determining the actual woodlands, according to the City of Novi ordinance, and dismissal of non-qualifying woodlands.

QUALIFYING WOODLANDS AREAS

(Majority of tree sizes are eight (8) inches diameter or larger).

<u>Timber Type Area</u>	<u>Acres</u>	<u>Majority Tree Size</u>	<u>Site</u>
3	2	8"	Wetland
9	7	12"	Wetland
18	2	18"	Wetland
19	1	12"	Wetland

Classic Construction Corporation requests that because these areas lay totally in wetlands, and are undevelopable, the locating, tagging and mapping the trees will serve no purpose and therefore should be excused.

NON-QUALIFYING WOODLAND AREAS

(Majority of tree sizes are less than eight (8) inches diameter).

<u>Timber Type Area</u>	<u>Acres</u>	<u>Majority Tree Size</u>	<u>Site</u>
1	2	5"	Wetland
2	4	3"	Wetland
4	9	0	Wetland
5	3	4"	Old field
5	5	6"	Upland
7	2	4"	Old field
8	3	7"	Wetland
10	1.5	5"	Wetland
11	4.5	2"	Upland
12	17	2"	Upland
13	3	2"	Wetland
14	3	4"	Upland
15	15	2"	Upland
16	5	2"	Fencerow
17	7	2"	Old field/Fencerow
20	4	4"	Upland
21	0	5"	Old field
22	2	1"	Old field/Fencerow
23	9	1"	Uplands

Classic Construction Corporation requests that because these areas contain a majority of tree sizes less than eight (8) inches diameter, they should be officially removed from the woodland map, and locating, tagging and mapping requirements should be dismissed.

Appendix

USIA 12590 Pgs 843

Robert A. Cool
1608 Kingswood Drive
Lansing, MI 48912
Off. 482-4202
Bus. 485-4245
H. 482-2232

D.O.B. 10/31/43

WORK EXPERIENCE: 1970 to present - assistant city forester, Lansing, MI
1970 to present - president, Metropolitan Forestry Consultants, Inc.
1973-1985 - owner, Arbor Lawn, Inc.
1975 to present - owner, Robert Cool Tree Farm; joint owner, three choose and cut Christmas tree farms; volunteer, tree farm inspector; past instructor, Lansing Community College.
1967-1969 - technical control forester, ITT-Rayonier, Inc., S.E. Timber Division, Florida.

EDUCATION: 1971 - M.S. Forestry, Michigan State University
1967 - B.S. Forestry, Michigan State University
1964 - A.B.S. Civil Engineering Technology, Lansing Community College.

COMMUNITY: Boy Scouts of America, assistant scout master, troop 130; chairperson, properties committee, Chief Okemos Council.
Asbury United Methodist Church, chairperson of council board.
P.T.A., past member
Jaycees, past member
United Way Campaign, Volunteer Leader

PROFESSIONAL ASSOCIATIONS: Society of American Foresters, member Michigan Chapter, Society of American Foresters, Lower-Michigan Section. 2nd Vice-Chairperson Michigan Association of Consulting Foresters, member Michigan Forestry and Parks Association, secretary-treasurer, editor and past committee chairperson Michigan Academy of Science, Arts and Letters, member and past chairperson Society of Municipal Arborists, member, past president, vice-president and board member.
International Society of Arboriculture, member
Society of Commercial Arborists, Member
Utility Arborists Association, member
Municipal Arborists and Urban Foresters Society, member
Professional Grounds Maintenance Society, member
S.E. Branch, Professional Grounds Management Society, member
National Institute on Parks and Grounds Management, member



Metropolitan Forestry Consultants, Inc.

12590814

May 5, 1988

Mr. Larry DePriest
Classic Construction Corp.
7001 Orchard Lake Road, Suite 130
West Bloomfield, MI 48322

Dear Mr. DePriest:

I am including this letter as the beginning of my report on the possible woodland impact of a golf course construction on your Decker Road/Fourteen Mile Road property.

The task is particularly difficult due to the fact that the majority of the acreage is not a woodlands. In fact it is non-productive land with very early plant successional stages composed of grasses, herbaceous plants, woody shrubs and pioneer trees. This type of plant growth is so new that it will take 80-100 years before the area will be covered with what is considered as true woodland or forest. Such a woodland is characterized by either the sub-climax oak-hickory stand type or the climax maple-beech stand type.

This land which was predominantly agricultural 20- 25 years ago, then abandoned to become old field in nature with areas of young elm and ash trees. It is safe to say that virtually none of the present trees in the old fields will be present or alive when the woodland finally develops decades into the future. Further, this land is so young in the successional stages in becoming a woodland that grasses are still prevalent on the land, a tell tale sign that reproduction, or the natural regeneration process of a woodland is totally absent on the majority of the land where the new trees exist. The absence of other components of a woodland such as herbaceous plants as part of the understory, natural duff and woods produced humus is also lacking.

It is my opinion that these lands fail in the most critical ways to be classified as woodlands, and not from a forestry management viewpoint but from an ecological viewpoint. I believe that a woodlands determination should be based on scientific facts and not on an empirical wish.

I am enclosing my study of the proposed golf course with this letter. Each group of trees in the old fields which fell near a fairway was examined for impact. Three things were evident: 1) the size, type, age and species of trees were such that impact would be minimal even if the trees occurred in a real woodlands; 2) fairways can be narrowed when passing low areas to reduce impact and create a unique golfing hazard; 3) normal landscaping following golf course construction would easily recreate a treed setting which would be superior to the short lived tree species present.

Please contact me if I can be of further assistance.

Sincerely,
Robert A. Cool

Robert A. Cool, R.F. #310, M.A.C.F. #16
Box 2502, Lansing, Michigan 48909

517 485-4245



Metropolitan Forestry Consultants, Inc.

LIBER 125903845

May 5, 1986

This study refers to the Woodlands Study by Individual Timber Type (Determination of Majority Tree Size) for Classic Construction Corp., compiled on March 11, 1985, and presented to the City of Novi, Michigan by Robert A. Cool, Metropolitan Forestry Consultants, Inc.

Fairway 1: Agriculture field - no trees present.

Fairway 2: Partially in Timber Type Areas:

6 - Upland site with mixed elm and ash; 6" diameter majority tree size.

17 - Old field site with black cherry dominant; 2" diameter majority tree size.

There will be no woodland impact because these Timber Type Areas are not woodlands (less than 8" diameter majority tree size).

Fairway 3: Partially in Timber Type Areas:

1 - Wetland site with ash dominant; 6" diameter majority tree size.

2 - Wetland site with mixed elm and soft maple; 3" diameter majority tree size.

There will be no woodland impact because these Timber Type Areas are not woodlands (less than 8" diameter majority tree size).

Fairway 4: Partially in Timber Type Areas:

3 - Wetland site with soft maple dominant; 8" diameter majority tree size.

Fairway should be narrowed through this site to minimize woodland impact.

11 - Upland site with mixed basswood/hickory; 2" diameter majority tree size.

There will be no woodland impact because this Timber Type Area is not a woodland (less than 8" diameter majority tree size).

Fairway 5: Partially in Timber Type Areas:

5 - Old field with few trees; Dogwood dominant; 4" diameter majority tree size.

11 - Upland site with mixed basswood/hickory; 2" diameter majority tree size.

There will be no woodland impact because these Timber Type Areas are not woodlands (less than 8" diameter majority tree size).

May 5, 1988
page two

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Fairway 6: Partially in Timber Type Areas:

- 10 - Wetland site with soft maple dominant; 5" diameter majority tree size.
- 11 - Upland site with mixed basswood/hickory; 2" diameter majority tree size.
- 12 - Upland site with mixed elm and ash; 2" diameter majority tree size.

There will be no woodland impact because these Timber Type Areas are not woodlands (less than 8" diameter majority tree size).

Fairway 7: Partially in Timber Type Area 12 - Upland site with mixed elm/ash; 2" diameter majority tree size.

There will be no woodland impact because this Timber Type Area is not a woodland (less than 8" diameter majority tree size).

Fairway 8: Partially in Timber Type Areas:

- 11 - Upland site with mixed basswood/hickory; 2" diameter majority tree size.
- 12 - Upland site with mixed elm/ash; 2" diameter majority tree size.
- 13 - Wetland site with mixed elm/ash; 2" diameter majority tree size.

There will be no woodland impact because these Timber Type Areas are not woodlands (less than 8" diameter majority tree size).

Fairway 9: Partially in Timber Type Areas:

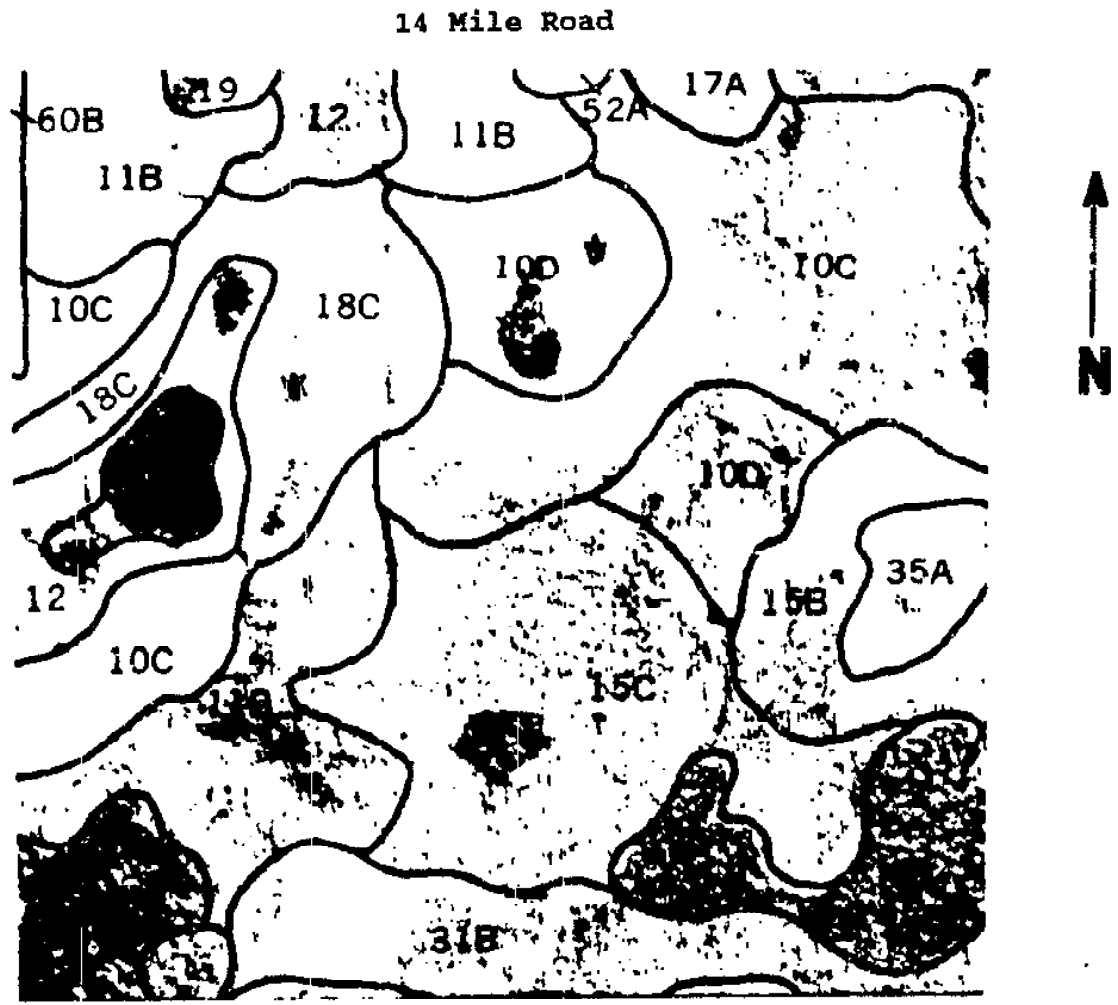
- 11 - Upland site with mixed basswood/hickory; 2" diameter majority tree size.
- 13 - Wetland site with mixed elm/ash; 2" diameter majority tree size.
- 14 - Upland site with mixed elm/black cherry; 4" diameter majority tree size.
- 15 - Upland site with black cherry dominant; 2" diameter majority tree size.
- 21 - Old field with aspen dominant; 5" diameter majority tree size.

There will be no woodland impact because these Timber Type Areas are not woodlands (less than 8" diameter majority tree size).

12590847

Soils

The Oakland County U.S. Soil Conservation Service Soil Survey indicates that there are 16 soil types within the property.



U.S. SOILS CONSERVATION SERVICE
SOIL SURVEY MAP

Supplement - E

LCE: 12590848

60B- Urban land-Marlette complex, 0 to 8 percent slopes. This complex consists of Urban land and nearly level to gently rolling, moderately well drained Marlette soils on knolls, ridges, and side slopes. Areas of this complex are 10 to 500 or more acres and contain 40 to 75 percent Urban land and 20 to 30 percent Marlette soils. The areas of Urban land and Marlette soils are so intermingled or so small that mapping them separately is not practical at the scales used.

The Urban land is covered by streets, sidewalks, driveways, parking lots, houses, and other structures that so obscure or alter the soils that identification of the soils is not feasible.

Typically, the Marlette soils have a surface layer of dark grayish brown sand loam about 7 inches thick. The subsoil is firm clay loam about 30 inches thick. In the upper part it is dark yellowish brown, and in the lower part it is yellowish brown and mottled. The substratum to a depth of about 60 inches is brown, mottled, calcareous loam. In some places, the soil has been radically altered. Some of the higher areas have been levelled, and some of the lower areas have been filled. Other small areas have been built up or smoothed.

Included in mapping are small areas of the somewhat poorly drained Capac, Metamore, Kibbie, and Selfridge soils that are on low-lying positions and in drainageways. These included soils make up 2 to 10 percent of this complex.

Permeability of the Marlette soils is moderately slow, and the available water capacity is high. Surface runoff is medium. The seasonal high water table is at a depth of 2 1/2 to 6 feet in winter and spring.

Most areas of this complex are used for residential, commercial, and light industrial development. Some areas are used for schools. The Marlette soils, which make up the open parts of the complex, are used for lawns, gardens, and environmental plantings and to a lesser extent for parks and woodland. They are well suited to use as sites for lawns, vegetable and flower gardens, trees, and shrubs and fairly to poorly suited to use as sites for playgrounds. They are fairly suited to use as sites for buildings.

If grasses, flowers, vegetables, trees, and shrubs are grown, the main concern is controlling erosion. Mulching, grass seeding or sodding with fertilization, and the use of diversions, erosion control structures, and grassed waterways help to prevent erosion. In areas where the subsoil is exposed, topsoil should be added.

USDA 125907849

The Marlette soils are suited to building site development, but wetness is a limitation. Raising the site with well compacted fill material and installing subsurface drains can help to overcome this limitation. The Marlette soils are poorly suited to use as septic tank absorption fields because of moderately slow permeability. Sanitary facilities should be connected to public sewers and sewage treatment facilities.

This complex is not assigned to interpretive groupings.

11B-Marlette loam, 18 to 35 percent slopes. This hilly and steep, well drained soil is on knolls and ridgetops and on short side slopes next to streams, drainageways, depressions, and lakes. Slopes vary considerably in gradient within short distances. They are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 160 acres in size.

Typically, the surface layer is dark brown loam about 6 inches thick. The subsoil is firm and is about 20 inches thick. In the upper part it is dark yellowish brown clay loam, and in the lower part it is yellowish brown clay loam. The substratum to a depth of about 60 inches is brown, mottled, calcareous loam. In some places the depth to calcareous loam is less than 30 inches.

Included in mapping are small areas of Arkport and Spinks soils that are on landscape positions similar to those of the Marlette soil. These soils are more droughty than the Marlette soil. The included soils make up 1 to 5 percent of the map unit.

Permeability is moderately slow in the Marlette soil, and the available water capacity is high. Runoff is very rapid.

In most areas this soil is used as woodland and pasture or is idle land. It is well suited to use as woodland. It is poorly suited to use as cropland and pasture and to recreation uses.

This soil generally is not suited to building site development because of slope. It generally is not suited to use as septic tank absorption fields because of slope and moderately slow permeability.

If this soil is used as woodland, the major management concerns are slope and erosion. The erosion hazard and slope limitation necessitate locating roads, skid trails, and landings on gentle grades and providing for water removal with water bars, out-sloping road surfaces, culverts, and drop structures.

This soil is in capability subclass Vile and Michigan soil management group 2.5a.

LDBR 12590850

19-Sebewa loam. This nearly level, poorly drained soil is in depressions and drainageways. It is subject to frequent ponding. Areas are irregular in shape and are 2 to 100 acres or more in size.

Typically, the surface layer is very dark gray loam about 11 inches thick. The subsoil is gray, mottled, firm clay loam about 21 inches thick. The substratum to a depth of about 60 inches is grayish brown, mottled calcareous gravelly sand. In some places the subsoil has more clay.

Included in mapping are small areas of the very poorly drained Houghton and Adrian soils that are in small depressions. Also included are somewhat poorly drained Wasepi and Matherton soils that are on low knolls. The included soils make up 2 to 10 percent of the map unit.

Permeability is moderate in the subsoil of this Sebewa soil and very rapid in the substratum. The available water capacity is moderate. Runoff is very slow to ponded. The high water table is at or above the surface from September to May.

In most areas this soil is used as woodland or pasture or is idle land. It is well suited to use as cropland and pasture and is poorly suited to most recreation uses and to woodland use.

This soil is generally not suited to building site development because of wetness. It should not be used as a site for buildings with basements. If this soil is used as a site for buildings without basements, the use of well compacted fill to raise the site and the use of surface or subsurface drains to lower the water table can help to overcome the wetness limitation. This soil is generally not suited to use as conventional septic tank absorption fields because of its wetness and poor filtering capacity. Sanitary facilities should be connected to public sewers and sewage treatment facilities.

If this soil is used as cropland, the main management concerns are overcoming wetness and maintaining good tilth. Providing adequate surface and subsurface drainage helps to overcome wetness. Tilling only when the soil is not wet and using conservation tillage, which does not invert the soil and leaves all or part of the crop does not invert the soil and leaves all or part of the crop residue on the surface, improve soil tilth.

If this soil is used as woodland, the major management concerns are equipment limitations, seedling mortality, and windthrow. The use of heavy equipment for planting, tending, and harvesting trees is restricted during wet periods. Woodland operations can be timed to seasons of the year when the soil is relatively dry or frozen. Seedling loss is high because of wetness.

LIBER 125903851

Special site preparation, such as bedding, can be used in some areas to reduce seedling loss. Selecting harvest methods that do not leave trees standing alone or widely spaced helps to control windthrow.

This soil is in capability subclass 11w and Michigan soil management group 3/5c.

12-Brookston and Colwood loams. This map unit consists of nearly level, very poorly drained soils in broad, flat areas and in drainageways. These soils are subject to frequent ponding. Areas are irregular in shape and are 2 to 200 acres or more in size. In many areas of this map unit, the Brookston soil is the only major soil. In other areas the Colwood soil is the only major soil. Both soils are present in some areas.

Typically, the surface layer of the Brookston soil is very dark gray loam about 11 inches thick. The subsurface layer is very dark gray, mottled, friable loam about 5 inches thick. The mottled subsoil is about 20 inches thick. In the upper part it is grayish brown, firm clay loam; in the middle part it is grayish brown, friable clay loam; and in the lower part it is grayish brown, firm silty clay loam. The substratum to a depth of about 60 inches is mottled gray, calcareous loam. In some places the surface layer is lighter in color and is less than 10 inches thick.

Typically, the surface layer of the Colwood soil is very dark brown loam about 11 inches thick. The mottled, friable subsoil is about 26 inches thick. In the upper part it is dark grayish brown loam, in the middle part it is light olive gray loam and silty clay loam, and in the lower part it is light brownish gray silt loam. The substratum to a depth of about 60 inches is gray, mottled, calcareous, stratified silt loam and very fine sand. In some places the surface layer is lighter in color and is less than 10 inches thick.

Included in mapping are small areas of Sebewa and Gilford soils that are more droughty than the Brookston soil and are on landscape positions similar to those of the Brookston soil. Also included are small areas of somewhat poorly drained Capac, Kibbie, Metamore, and Selfridge soils that are on low knolls and ridges. The included soils make up 5 to 15 percent of the map unit.

Permeability is moderate in the Brookston and Colwood soils, and available water capacity is high. Runoff is very slow or ponded. Both soils have a high water table that is at or above the surface from October to May.

USDA 125901852

In most areas these soils are used as woodland or pasture or are idle land. In a few areas they are used for crops. They are well suited to use as cropland and pasture if excess water is removed. They are poorly suited to use as woodland or pasture and to recreation uses because of wetness.

These soils are poorly suited to building site development and generally are not suited to use as septic tank absorption fields because of wetness. They should not be used as sites for buildings with basements. If they are used as sites for building without basements, the use of surface or subsurface drainage to lower the water table and the use of well compacted fill to raise the site help to overcome the wetness limitation. Sanitary facilities should be connected to public sewers and sewage treatment facilities.

If these soils are used as cropland, the main management concerns are removing excess water and maintaining good tilth. Surface and subsurface drains are not wet and using tillage practices that do not invert the soil and that leave all or part of the crop residue on the surface help to improve tilth.

If these soils are used as woodland, the major limitation is wetness. The main management concerns are equipment restrictions, seedling mortality, and windthrow. The use of heavy equipment for planting, tending, and harvesting trees is restricted during wet periods. Woodland operations should be timed to seasons of the year when the soils are relatively dry or frozen. Seedling loss can be high because of wetness. In some areas special site preparation, such as bedding, helps to reduce seedling mortality. The use of harvesting methods that do not leave trees standing alone or widely spaced helps to control windthrow.

These soils are in capability subclass 11w and Michigan soil management groups 2.5c and 2.5c-s.

52A-Selfridge loamy sand, 0 to 3 percent slopes. This nearly level, somewhat poorly drained soil is on broadly, flat areas of low knolls. Slopes are slightly convex and are less than 50 feet long. Areas are irregular in shape and are 2 to 80 acres in size.

Typically, the surface layer is very dark grayish brown loamy sand about 9 inches thick. The subsurface layer is brown loamy sand or light yellowish brown sand about 23 inches thick. The subsoil is brown, mottled, friable loam about 9 inches thick. The substratum to a depth of about 60 inches is grayish brown, mottled, calcareous loam. In the southern part of the county, this soil is clayey below a depth of 40 inches.

LRR 125907853

Included in mapping are small areas of Capac and Metamore soils on landscape positions similar to those of the Selfridge soil. These soils are not as droughty as the Selfridge soil. Also included are small areas of the very poorly drained Brookston, Houghton, and Thomas soils that are in depressions and drainageways and small areas of the well drained Metea soils that are on higher knolls and ridges. The included soils make up 5 to 10 percent of the map unit.

Permeability is rapid in the sand surface soil and moderately slow in the loamy subsoil and substratum. The available water capacity is moderate. Runoff is slow. The seasonal high water table is at a depth of 1 to 2 feet from November through May.

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used as cropland. This soil is well suited to use as pasture. It is fairly suited to use as cropland and woodland and to recreation uses.

This soil is poorly suited to building site development because of wetness and is poorly suited to use as septic tank absorption fields because of wetness and moderately slow permeability. If the soil is used as a site for buildings, the use of surface or subsurface drains to lower the water table and the use of well compacted fill to raise the site can help to overcome the wetness limitation. For septic tank absorption fields, special construction, such as filling or mounding the absorption field site with suitable soil material, may be needed to raise the field above the water table and into more permeable soil material.

If this soil is used as cropland, the major management concerns are wetness, water erosion and soil blowing, droughtiness, and organic matter content. Subsurface drainage helps to reduce the wetness limitation. Cover crops, such as rye, protect fields from water erosion and soil blowing. The use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, helps to conserve moisture. The use of crop rotations that include grasses and legumes and the use of crop residue management can help to maintain organic matter content.

If this soil is used as woodland, the major management concern is seedling mortality. Some seedling loss can be expected due to droughtiness during dry summer months. Exposing soil just prior to the production of the seed crop can help desirable tree seedlings become established quickly and get a head start on competing vegetation.

This soil is in capability subclass 11lw and Michigan soil management group 4/2b.

125907854

17A-Wasepi sandy loam, 0 to 3 percent slopes. This nearly level, somewhat poorly drained soil is in broad flat areas on low knolls. Slopes are slightly convex and are less than 100 feet long. Areas are irregular in shape and are 2 to 80 acres in size.

Typically, the surface layer is very dark gray sandy loam about 8 inches thick. The subsurface layer is brown, friable sandy loam about 7 inches thick. The subsoil is brown, mottled, friable sandy loam about 15 inches thick. The substratum to a depth of about 60 inches is grayish brown, calcareous gravelly sand. In some places the substratum is sand. In places the soil is moderately well drained.

Included in mapping are small areas of Matherton soils. These soils are on landscape positions similar to those of the Wasepi soil. They are not as droughty as the Wasepi soil. Also included are small areas of poorly drained Granby soils and very poorly drained Gilford soils that are in depressions. The included soils make up 2 to 8 percent of the map unit.

Permeability is moderately rapid in the subsoil of this Wasepi soil and very rapid in the substratum. The available water capacity is low. Runoff is slow. The seasonal high water table is at a depth of 1/2 foot to 2 feet from November to May.

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used for crops. This soil is suited to use as cropland. It is well suited to use as pasture and woodland. It is poorly suited to most recreation uses.

This soil is poorly suited to building site development because of wetness and is poorly suited to use as septic tank absorption field because of wetness and poor filtering capacity. If this soil is used as a site for buildings, the use of surface or subsurface drains to lower the water table and the use of well compacted fill to raise the site help to overcome the wetness limitation. Special construction measures, such as elevating the systems, are needed for sewage disposal to overcome the wetness and poor filtering capacity.

If this soil is used as cropland, the main management concerns are overcoming wetness, conserving soil moisture during dry periods, maintaining organic matter content, and preventing soil blowing. The use of surface and subsurface drainage reduces wetness. Cover crops, such as rye, protect fields from soil blowing. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, help to maintain organic matter content and to overcome droughtiness.

This soil is in capability subclass 111w and Michigan soil management group 4b.

USGS 125907855

10C-Marlette sandy loam, 6 to 12 percent slopes. This moderately sloping and gently rolling, well drained soil is on low knolls and ridges and on short, uneven side slopes. Most areas are dissected by shallow drainageways. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 140 acres in size.

Typically, the surface layer is dark grayish brown sandy loam about 8 inches thick. The subsoil is firm and is about 23 inches thick. In the upper part it is dark yellowish brown clay loam, and in the lower part it is yellowish brown clay loam. The substratum to a depth of about 60 inches is yellowish brown and pale brown, mottled, calcareous loam. In some places the depth to calcareous loam is less than 30 inches.

Including in mapping are small areas of the well drained Fox and Oshtemo soils that are on landscape positions similar to those of the Marlette soil. These soils are more droughty than the Marlette soil. Also included are the somewhat poorly drained Blount, Capac, and Metamore soils that are on lower landscape positions. The included soils make up 5 to 15 percent of the map unit.

Permeability is moderately slow in this Marlette soil and the available water capacity is high. Runoff is medium or rapid.

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used for crops. It is well suited to use as woodland and pasture and to recreation uses. It is fairly suited to cropland use.

This soil is suited to building site development. Slope is a limitation to this use. Land shaping and installing retaining walls help to overcome this limitation. This soil is poorly suited to use as septic tank absorption fields because of moderately slow permeability and slope. Special construction measures, such as enlarging or alternating the absorption fields, are needed to overcome the permeability limitation. Installing the absorption field across the slope helps to overcome the slope limitation.

If this soil is used as cropland, the major management concerns are controlling runoff and erosion, maintaining organic matter content, and keeping the soil in good tilth. Practices that help prevent erosion and control runoff are the use of a crop rotation that includes hay or cover crops, The use of grassed waterways, and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface. Crop residue or green manure helps to maintain the organic matter content and improve tilth.

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This soil is in capability subclass 111e and Michigan soil management group 2.5a.

10D-Marlette loam, 12 to 18 percent slopes. This strongly sloping and rolling, well drained soil is on knolls and ridgetops and on short side slopes that are adjacent to drainageways, depressions, and swales. Some areas are dissected by small gullied drainageways. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 160 acres in size.

Typically, the surface layer is dark brown loam about 6 inches thick. The subsoil is firm and is about 21 inches thick. In the upper part it is dark yellowish brown clay loam and pale brown loam, and in the low part it is yellowish brown clay loam. The substratum to a dept of about 60 inches is brown, mottled, calcareous loam. In some places the depth to calcareous loam is less than 30 inches.

Included in mapping are small areas of the well drained Oshtemo soils that are on landscape position similar to those of the Marlette soil. These soils are more droughty than the Marlette soil. Also included are the somewhat poorly drained Blount, Capac, and Metamora soils that are on foot slopes. The included soils make up 5 to 15 percent of the map unit.

Permeability is moderately slow in this Marlette soil, and the available water capacity is high. Runoff is rapid to very rapid.

In most areas this soil is used as woodland or pasture or is idle land. It is well suited to use as woodland. It is fairly suited to use as pasture. It is poorly suited to use as cropland and to recreation uses.

This soil is poorly suited to building site development because of slope and generally is not suited to use as septic tank absorption fields because of slope and moderately slow permeability.

This soil is in capability subclass 1Vc and Michigan soil management group 2.5a.

18C-Fox sandy loam, 6 to 12 percent slopes. This moderately sloping or gently rolling, well drained soil is on side slopes, knolls, and ridges. Most areas of this soil are dissected by shallow drainageways. Slopes are smooth and convex and are less than 100 feet long. Areas are irregular in shape and are 2 to 200 acres in size.

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Typically, the surface layer is dark grayish brown sandy loam about 9 inches thick. The subsoil is firm and is about 24 inches thick. In the upper part it is dark brown gravelly sandy clay loam, and in the lower part it is dark yellowish brown gravelly clay loam. The substratum to a depth of about 60 inches is brown, calcareous, stratified sand and gravelly sand. In spots the soil is severely eroded.

Included in mapping are small areas of well drained Spinks, Boyer, and Marlette soils that are on landscape positions similar to those of the Fox soil. These soils, except the Marlette soils, are more droughty. The Marlette soils are less droughty and have a slower permeability rate. Also included are the somewhat poorly drained Matherton soils that are on low knolls, ridges and narrow drainageways at lower elevations. Also included are the poorly drained Sebewa soils and very poorly drained Gilford soils that are in small depressions or narrow drainageways. The included soils make up 4 to 15 percent of the map unit.

Permeability is moderate in the subsoil of this Fox soil and very rapid in the substratum. The available water capacity is moderate. Runoff is medium. The shrink-swell potential is moderate.

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used for crops. This soil is well suited to use as woodland and pasture and to recreation uses. It is fairly suited to cropland use.

This soil is suited to building site development, but slope is a limitation. Land shaping and installing retaining walls help to overcome the slope limitation. This soil is suited to use as septic tank absorption fields, but slope and poor filtering capacity are limitations. Land shaping and installing the absorption field across the slope help to overcome the slope limitation. The effluent drains satisfactorily, but there is a danger of ground water pollution.

If this soil is used as cropland, the major management concerns are controlling runoff and erosion, maintaining organic matter content, and keeping the soil in good tilth. Among the practices that help to prevent erosion and runoff are the use of a crop rotation that includes hay, the use of cover crops and grassed waterways, and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface. Crop residue and green manure help to maintain the organic matter content and improve the tilth of the soil.

This soil is in capability subclass 111e and Michigan soil management group 3/5a.

LIBR 12590858

27-Houghton and Adrian mucks. These nearly level, very poorly drained soils are in bogs or upland depressions. They are subject to ponding. Areas are irregular in shape and are 2 to 200 acres in size. Many areas of this map unit are predominantly Houghton soil; other areas are predominantly Adrian soil. Both soils are present in some areas.

Typically, the surface layer of the Houghton soil is black muck about 8 inches thick. The material below that, to a depth of about 60 inches, is black muck also.

Typically, the surface layer of the Adrian soil is black muck about 10 inches thick. The subsurface layer is black, friable muck about 20 inches thick. The substratum, to a depth of 16 to 50 inches. In some places there is a soil similar to the Houghton soil except it has thicker layers of mucky peat or sedimentary peat.

Included in mapping are small areas of Brookston and Granby soils that are on narrow areas along the outer edges of the map unit. The Brookston soils have slower permeability and Granby soils are more droughty than the Houghton soil. The included soils make up 3 to 8 percent of the map unit.

Permeability is moderately slow to moderately rapid in the muck and rapid in the underlying material. The available water capacity is high. Runoff is very slow. These soils have a high water table at or above the surface from November to May.

In most areas these soils are used as woodland or are idle land. In a few areas they are used for unimproved pasture, crops, or sod production. They are poorly suited to use as woodland and pasture and to recreation uses. These soils are not suited to building site development or to use as septic tank absorption fields because of ponding.

If suitable drainage outlets are available and these soils are drained and protected from soil blowing, they are suited to corn or to specialty crops, such as potatoes, carrots, onions, and mint.

If these soils are used as woodland, the major management concerns are seedling mortality, equipment limitations, and windthrow. The use of heavy equipment for planting, tending, and harvesting trees is restricted during wet periods. Woodland operations can be timed to seasons of the year when the soils are relatively dry or frozen.

These soils are in capability subclass Vw and Michigan soil management groups Mc and M/4c.

125903859

15B-Spinks loamy sand, 0 to 6 percent slopes. This nearly level and undulating, well drained soil is in broad nearly level areas and on low knolls and ridges. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 100 acres in size.

Typically, the surface layer is dark brown loamy sand about 9 inches thick. The substance layer is pale brown sand about 17 inches thick. The next layer, to a depth of about 60 inches, consists of brown, loose sand and thin strata of reddish brown, very friable loamy sand. In some areas gravelly sand is below a depth of about 40 inches, and in places loamy or clayey material is below a depth of 50 inches. Also, some areas are moderately well drained.

Included in mapping are small areas of Arkport and Oshtemo soils that are on landscape positions similar to those of the Spinks soil. These soils are not as droughty as the Spinks soil. Also included are small areas of somewhat poorly drained Tedrow and Thetford soils that are on lower landscape positions that the Spinks soil and areas of the poorly drained Granby soils and very poorly drained Gilford and Houghton soils that are in depressions and drainageways. The included soils make up 5 to 15 percent of the map unit.

Permeability is moderately rapid in the Spinks soil, and the available water capacity is low. Runoff is slow.

In most areas this soil is used as pasture or woodland or is idle land. In a few areas it is used for crops and for apple orchards and nursery stock. It is fairly suited to use as cropland, pasture and woodland. This soil is well suited to building site development and to use as septic tank absorption fields.

If this soil is used as cropland, the major management concerns are controlling soil blowing, overcoming droughtiness, and maintaining organic matter content. Cover crops, such as rye, protect fields from soil blowing. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the organic matter content and to overcome droughtiness.

If this soil is used as woodland, the major management concern is seeding mortality. Some seedling loss can be expected during dry summer months. Special site preparation, such as furrowing, helps to overcome this problem.

This soil is in capability subclass 111s and Michigan soil management group 4a.

125907860

15C-Spinks loamy sand, 6 to 12 percent slopes. This moderately sloping or gently rolling, well drained soil is on knolls and ridgetops. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 200 acres in size.

Typically, the surface layer is dark brown loamy sand about 8 inches thick. The subsurface layer is pale brown sand about 17 inches thick. The next layer to a depth of about 60 inches consists of yellowish brown, loose sand and thin strata of dark reddish brown, very friable loamy sand. In some areas gravelly sand is below a depth of about 35 inches. In some areas loamy or clayey material is below a depth of 50 inches.

Included in mapping are small areas of Arkport and Oshtemo soils that are on landscape positions similar to those of the Spinks soil. These soils are not as droughty as the Spinks soil. Also included are small areas of the somewhat poorly drained Tedrow and Thetford soils that are on low foot slopes and in drainageways and the very poorly drained Gilford soils and the poorly drained Granby soils that are in narrow drainageways. The included soils make up 2 to 8 percent of the map unit.

Permeability is moderately rapid in the Spinks soil, and the available water capacity is low. Runoff is medium to slow.

In most areas this soil is used as pasture or woodland or is idle land. In a few areas it is used as cropland. It is fairly suited to use as pasture, woodland, and cropland and to recreation uses.

This soil is suited to building site development and to use as septic tank absorption fields. Slope is a limitation to these uses. For buildings, land shaping and the use of retaining walls help to overcome the slope limitation. For septic tank absorption fields, land shaping and installing the absorption field across the slope help to overcome this limitation.

If this soil is used as cropland, the major management concerns are controlling water erosion and soil blowing, overcoming droughtiness, and maintaining organic matter content. Cover crops, such as rye, protect fields from water erosion and soil blowing. The uses of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the organic matter content and to overcome droughtiness.

If this soil is used as woodland, the major management concern is seedling mortality. Some seedling loss can be expected during dry summer months. Special site preparation, such as furrowing, helps to overcome this problem.

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This soil is in capability subclass 11e and Michigan soil management group 4a.

35A-Thetford loamy fine sand, 0 to 3 percent slopes. This nearly level, somewhat poorly drained soil is on broad plains characterized by slight rises. Slopes are slightly convex. Areas are irregular in shape and are 2 to 100 acres in size.

Typically, the surface layer is very dark grayish brown loamy fine sand about 9 inches thick. The subsurface layer is light yellowish brown loamy fine sand about 11 inches thick. The subsoil consists of pale brown, mottled fine sand and thin, discontinuous strata of dark brown, very friable loamy sand about 25 inches thick. The substratum to a depth of about 60 inches is pale brown and light brownish gray, mottled, calcareous fine sand and sand. In some places the surface layer contains pebbles or is lighter colored. In some places the subsoil contains layers of gravelly sand or contains thicker, discontinuous layers of finer textured material.

Included in mapping are small areas of the Metamora, Dixboro, and Kibbie soils that are on landscape positions similar to those of the Thetford soil. These soils are not as droughty as the Thetford soil. Also included are small areas of poorly drained Gilford and Thomas soils that are in depressions and drainageways. The included soils make up 2 to 9 percent of the map unit.

Permeability is moderately rapid in this Thetford soil. The available water capacity is low. Runoff is slow. The seasonal high water table is at a depth of 1 to 2 feet from February through May.

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used as cropland. This soil is well suited to pasture. It is fairly suited to use as cropland and woodland and to recreation uses.

This soil is poorly suited to building site development and to use as septic tank absorption fields because of wetness. If this soil is used as a site for buildings, the use of surface or subsurface drainage to lower the water table and the use of well compacted fill to raise the site help to overcome the wetness limitation. For septic tank absorption fields, special construction, such as filling or mounding the absorption field site with suitable soil material, may be needed to raise the field above the water table.

LIBR 12590862

If this soil is used as cropland, the main management concerns are overcoming wetness and droughtiness, preventing soil blowing, and maintaining the organic matter content. Subsurface drains reduce the wetness limitation. Cover crops, such as rye, protect fields from soil blowing. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, help to maintain the organic matter content and conserve moisture.

If this soil is used as woodland, the major management concern is seedling mortality. Some seedling loss can be expected because of droughtiness during dry summer months. Special site preparation, such as furrowing, helps to overcome the seedling mortality.

This soil is in capability subclass 111w and Michigan soil management group 4b.

31B-Metea loamy sand, 0 to 6 percent slopes. This nearly level and undulating, well drained soil is on flat plains, knolls, and ridges. Slopes are smooth and convex and are less than 100 feet long. Areas are irregular in shape and are 2 to 200 acres in size.

Typically, the surface layer is dark brown loamy sand about 10 inches thick. The subsurface layer consists of brown sand and yellowish brown loamy sand and is about 20 inches thick. The subsoil is brown loam about 8 inches thick. The substratum to a depth of 60 inches is brown, calcareous loam.

Included in mapping are small areas of Arkport, Owosso, Marlette, and Spinks soils that are on landscape positions similar to those of the Metea soil. The Owosso and Marlette soils are less droughty and the Spinks soils are more droughty than the Metea soil. Arkport soils are more permeable. Also included in mapping are the somewhat poorly drained Selfridge soils that are on low knolls below the Metea soil and the poorly drained Sebewa soils that are in depressions and drainageways. The included soils make up 2 to 10 percent of the map unit.

Permeability is very rapid in the upper part of this Metea soil and moderate in the subsoil and in the substratum. The available water capacity is moderate. Surface runoff is slow.

In most areas this soil is used as pasture or woodland or is idle land. In a few areas it is used for crops. This soil is well suited to use as pasture. It is fairly suited to use as cropland and woodland and to recreation uses.

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This soil is well suited to building site development. It is suited to use as septic tank absorption fields, but moderate permeability is a limitation to this use. Special construction measures, such as enlarging or alternating the absorption fields, may be needed to overcome the permeability limitation.

If this soil is used as cropland, the major management concerns are controlling soil blowing, overcoming droughtiness, and maintaining the organic matter content. Cover crops, such as rye, protect field from soil blowing. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the organic matter content and overcome droughtiness.

If this soil is used as woodland, the major management concern is seedling mortality. Seedling loss can be high because of the droughtiness of the soil. Special site preparation, such as furrowing, help to overcome this problem.

This soil is in capability subclass iiie and Michigan soil management group 4/2a.

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5. SCOPE OF DEVELOPMENT

This Section 2 Planned Unit Development concept encompasses an area of 228 acres. The development as proposed would provide for a total open space system comprising 120 acres, or approximately 55% (excluding open spaces surrounding units) of the total land area. The development area comprises 118 acres, or approximately 45% of the land. Within these proportions of the 228 acres, a planned unit development will take form. This plan will focus towards affordable single family detached condominium home ownership, as well as attached affordable rental units.

The plan will result in an open space system which will have amenities such as wetlands, bike, jogging, exercise and nature trails tied to the city rhythms trails system, and major areas of undisturbed natural habitat. This open space system will be the major focus for the residential units within the community.

6. PARKS AND OPEN SPACES

184 acres, or 80.6% of the Maples of Novi community will be landscaped park, golf course and open space.

Similar to the roadway system, the Maples of Novi park system also has a hierarchical organization. The hierarchy is divided into three classifications; General public, Semi-private and Private.

The general public park system begins with the community-wide park/golf course. This area includes a 9-hole golf course which winds around the wetland and wooded areas and will provide a visual amenity for a large percentage of the housing in the community.

The following table lists the specifications for each golf hole:

<u>Golf Hole</u>	<u>Length</u>	<u>Par</u>
1	344	4
2	160	3
3	320	4
4	167	3
5	174	3
6	314	3
7	317	4
8	154	3
9	320	4

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Woodlands and wetlands encompass 72.5 acres or 32½ of the total site. Included in this number is a 40 acre tract of woodlands and wetlands which will remain in a natural, undisturbed state. Intertwined throughout the site are nature trails, jogging trails and bike paths. Also included in the nature trails system is the City's proposed Rhythms Trails system which winds through the south end of the Maples of Novi. Other park/open space amenities include steep slopes, rolling topography and even the availability for cross-country skiing during the winter season.

The overall park/open space system will be regulated and subject to the community wide rules. These will all be addressed in the condominium by-laws which will evolve with each phase of development.

The semi-private parks/open spaces include the specialized clubhouses and facilities. There will be a total of three clubhouses. The first clubhouse will service the Golf Villas and also the golf course. This specialized clubhouse will provide meeting rooms, locker rooms, a kitchen, and will include an exterior swimming pool. This area of the clubhouse will service only those residents of the Golf Villas. Attached to this clubhouse, but separate, is the facilities to manage the golf course. This area would include a small pro shop and golf course offices.

The second clubhouse will service the needs of the starter families only. This clubhouse will include such facilities as game rooms, card rooms, an exercise room, lock rooms and a kitchen. An exterior swimming pool is also planned, as well as some park areas.

The third clubhouse has been specially designed for the adult community. This specialty clubhouse includes amenities such as an indoor exercise room, pool, locker rooms, card room, a kitchen and a large meeting room which can be divided into smaller rooms. This clubhouse will service those residents of the adult community and also the residents of the congregate type facility. Other amenities of this clubhouse being considered includes a shuttle bus transporting residents to and from the clubhouse and also an enclosed walkway from the clubhouse to the convenience commercial/office center.

Lastly, all homes will have adjacent areas of open space such as patios and courtyards which will serve as private green spaces.

The Maples of Novi community, excluding the commercial/office, rentals, golf course space and part of the Golf Villa clubhouse will be held in common ownership and maintained by the community association.

LIBR 125908866

7. PROGRAMS & ACTIVITIES

In addition to the physical amenities of the clubhouses, we are also investigating several programs to augment and improve the quality of life for the residents of The Maples of Novi. Included are programs such as a day care center for the starter family community which would be placed in their clubhouse. Likewise, programs and activities are being considered for the adult/congregate residents which might include programs such as, films, guest speakers, and even a shuttle bus which would service both communities. This shuttle system would allow for easy transportation to the clubhouse and commercial center from the residents home. Therefore, providing for an independent adult community.

8. COVENANTS AND BY-LAWS

As previously indicated in this document and elsewhere, the Maples of Novi represents a P.U.D. development consisting of four relatively distinct residential communities; each with their own identity and general common open space and limited common space relegated to individual homes. Simultaneously, the general common space of each community is intertwined with the general common space of the other communities to form a network of open space and green belts that comprise the total site amenities and recreation areas.

It is intended that each community will have to set and administer policy (within limitations) and handle any issues specific to that community by means of a Board of Directors nominated and elected from the general population of that community. The power and scope of these Board of Directors will be defined in the by-laws of the Master Deed. From each Village Board of Directors, the President of each Board of Director will sit on the General, Maples of Novi Board of Directors. This Board of Directors will deal with all issues relating to the general public lands of the open, general common space.

For purposes of simplicity and clarity, as expressed before, the open space of the Maples of Novi can be divided and identified according to three classifications. The general public open space pertains to the golf course and all jogging and nature paths in the development, as well as all wetlands and woodlands. The general Board of Directors, made up of the President of each community Board of Directors, will address any and all issues relating to those general public open spaces.

The semi-private open space will consist primarily of the three different clubhouses and facilities. Each of the communities' Board of Directors will deal with all issues relating to the maintenance of and expenditures relating to these clubhouses and facilities.

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As well, a third classification of land exists and that is private or limited common. This land is set aside for each individual homeowners use. Rules regarding appropriate use of this private land will be spelled out in the condominium by-laws of the Master Deed. Any use of this land outside of the rules established in the Master Deed will require the owner in question to petition his/her community association for its' approval of this non-specified use.

In summation, it can be stated generally that each individual community Board of Directors will handle issues relating to exterior improvements and architectural continuity, landscape, decks and individual homeowner requests within that community.

The general Maples of Novi Board of Directors will deal in issues pertaining to golf course, jogging and nature trails, maintenance and snow removal of roads, maintenance of landscape, etc. In as much as there are economies of scale to be achieved by issuance of one landscape maintenance contract, one snow plow contract, versus three snow plow contacts relating to roads within each village, the only sensible approach is to allow one common Board of Directors to handle these issues.

As well as addressing the administration and maintenance of above ground facilities the Master Deed for the Maples of Novi will allow for the creation of and assignment to the Board of Directors, all necessary easements to the utility companies for maintenance and repair of underground facilities. These would include, gas electric, phone and cable service. As well, the Master Deed will allow for easements to the City of Novi regarding repair and maintenance of water and sewer systems upon dedication by the developer of the city. Likewise, an easement to Oakland County will be reserved in the Master Deed regarding the storm water drainage system.

Provisions in the Master Deed will allow for other, more specific easements which benefit either to the City of Novi or the Maples of Novi. These types of easements relate to bike paths, sidewalks, road rights of way, etc...

9. TRAFFIC STUDIES

In our normal course of site development it is important to study our development and its market. At the same time the impact of the development must be studied as to its impact on the surrounding communities as a whole. The traffic studies by Reid Cool and Michalski that follow are based on our site plan plus sites planned and/or submitted to Novi, Walled Lake and Commerce Township. In order to present the development at the price ranges we anticipate, we are requesting help from the city in this area.

125901888
MAPLES OF NOVI

Introduction

A proposal has been made to develop a combination residential/retail/office complex, known as Maples of Novi, on currently vacant land located basically east of Decker Road (a smaller area is also located west of Decker Road) and south of 14 Mile Road. The complex is planned to consist of 700 dwelling units (the majority will be detached) as well as 100,000 square feet of retail and 35,000 square feet of office development. The available area is approximately 228 acres. Maples of Novi is expected to be built in five phases (approximately 1989 - 1993). Plans call for two major access points to/from 14 Mile Road with approximately four access locations for Decker Road.

Data Collection

The factual data utilized in our analysis was obtained through field studies at the site. Traffic counts and turning movements were collected through the use manual (human) counts techniques. This information can be found in the Appendix. Additionally, field measurements and observations were made to obtain roadway and traffic signal information on traffic flow distributions and roadway volumes.

Study Procedure

Roadway operations are examined and analyzed by traffic flow and delay characteristics. This concept, and the methods of study, are detailed in the Transportation Research Board publication entitled Highway Capacity Manual. This manual formed the basis of our study on this project. We further utilized the City of Novi design and construction standards to identify if right turn lanes/tapers and left turn by-pass lanes were necessary to assist the ingress movements to the site.

Analysis

A) Existing Traffic - Figures 1 through 6 identify the existing A.M. and P.M. peak hour traffic volumes for the three intersections studied: 14 Mile and Haggerty, 14 Mile and Decker, and 13 Mile and Decker.

B) Background Growth and Other Development Traffic - This item is intended to provide an estimate of traffic increases in the area due to factors other than the subject project itself. Generally, this code B traffic can be rather easily identified. In this particular situation, four features have been identified as having an influence on existing traffic volumes at one or more of the three key

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intersections being studied. The four areas are as follows;

- 1) general growth of traffic volumes in the area - 10 percent;
- 2) traffic pattern modification resulting from the proposed closure of East Lake Drive at 14 Mile Road - diversions in traffic data from Barton - Aschman;
- 3) traffic pattern modification resulting from the proposed extension of Decker Road between 13 Mile and 12 Mile Roads - diversion in traffic volumes based on knowledge of traffic in area; and,
- 4) growth in traffic volumes due to proposed project north of 14 Mile Road opposite the subject project - incremental increase utilized is similar to incremental increase in traffic volume due to Maples of Novi project.

Each of the above factors were applied (as appropriate) to develop code B traffic volumes as shown in Figures 1 through 6.

C) Project Traffic - The number of new trips expected to be generated was developed from information provided in the Institute of Transportation Engineers publication entitled Trip Generation (Fourth Edition). This data was then applied for the type and size of development proposed. Based on this, the following table was then developed:

Use	A.M. Peak Trips		P.M. Peak Trips	
	Enter	Exit	Enter	Exit
Single Family Detached Housing - Code 210	109	216	354	208
Office - Code 710	70	11	13	69
Retail - Code 820	122	52	291	302
Totals	301	279	658	579

These trip total were then assigned to the public road network as follows:

- 40 percent to/from the east;
- 5 percent to/from the west;
- 15 percent to/from the north; and,
- 40 percent to/from the south.

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These trip assignments were then carried to, and through, the three intersections under study as shown in Figure 7 (residential) and Figure 8 (office/commercial). Those trips which will pass through the intersections were then added to the code B trips to produce the final volumes shown as code C traffic (see Figures 1-6). These final volumes represent the input data utilized in our analysis.

The highway capacity study results for the total traffic scenario is summarized in the following table with the full analysis provided in the Appendix.

Level of Service - 14 Mile/Haggerty Roads Intersection

<u>Approach</u>	<u>A.M. Peak Delay (Sec/Veh)-LOS</u>	<u>P.M. Peak Delay (Sec/Veh)-LOS</u>
Northbound	8.9 - B	*
Southbound	28.6 - D	22.4 - C
Eastbound	*	*
Westbound	23.8 - C	*
Average	*	*

* results are not meaningful

Level of Service - 14 Mile/Decker Roads Intersection

<u>Approach</u>	<u>A.M. Peak Delay (Sec/Veh)-LOS</u>	<u>P.M. Peak Delay (Sec/Veh)-LOS</u>
Northbound	14.9 - B	*
Southbound	*	*
Eastbound	11.7 - B	18.6 - B
Westbound	45.5 - E	43.1 - E
Average	*	*

* results are not meaningful

Level of Service - 13 Mile/Decker Roads Intersection

<u>Approach</u>	<u>A.M. Peak Delay (Sec/Veh)-LOS</u>	<u>P.M. Peak Delay (Sec/Veh)-LOS</u>
Northbound	(NOT APPLICABLE WITH CURRENT GEOMETRY AND RIGHT OF WAY CONTROL)	
Southbound		
Eastbound		
Westbound		
Average		

City of Novi standards require that LOS C or better be maintained during peak hour traffic operations. Results from the above analysis indicate that the first two intersections

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fall below this level. Therefore, an analysis of these two intersections was performed utilizing code B traffic volumes as input data. This would reflect the projected traffic operations with all traffic except the Maples of Novi new volumes. Results indicate that the intersections continue to operate below LOS C under those conditions. It can be concluded that the subject development will add new traffic to the public roadway network, and these traffic demands will warrant certain road improvements. However, not all of the operational problems result solely from the Maples of Novi project.

To achieve the required LOS C rating during the peak hour, the following modifications were made to the intersection geometry (see analysis in Appendix):

14 Mile/Haggerty - The intersection was improved from a three lane cross-section to a five lane cross-section on all four legs. This provides one additional approach lane and one additional departure lane.

14 Mile/Decker - For eastbound traffic an exclusive right turn lane was added. The left / through lane was changed to an exclusive left turn lane. For westbound traffic the northerly most eastbound lane was converted to an exclusive westbound left turn lane. This was done to create opposing left turn lanes. For northbound traffic a lane was added to the easterly side to provide for through / right movements. This lane shall be extended north of the intersection also. No improvements are necessary on the southbound approach.

13 Mile/Decker - Decker Road is currently planned to be extended to the south. As part of that project other improvements will take place including signalized control of traffic movements. Laneage assumed in our capacity analysis is as follows. Exclusive left turn and a single through / right turn lane for eastbound traffic. West, north and southbound approaches will consist of one of each of the following lane types - exclusive left, exclusive through, and exclusive right.

D) Newly projected driveway movements for the A.M. and P.M. peak hours (based on trip assignments as shown in Figures 7 and 8) are shown in the table below.

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Driveway Movements - A.M. Peak

<u>Driveway</u>	<u>Left In</u>	<u>Right In</u>	<u>Left Out</u>	<u>Right Out</u>
14 Mile (east)	35	19	39	69
14 Mile (west)	54	11	21	45
Decker Road				
a) North Drive east side	39	39	13	13
b) North Drive west side	38	38	12	12
c) South Drive east side	0	27	54	0

Driveway Movements - P.M. Peak

<u>Driveway</u>	<u>Left In</u>	<u>Right In</u>	<u>Left Out</u>	<u>Right Out</u>
14 Mile (east)	113	64	37	67
14 Mile (west)	114	35	21	105
Decker Road				
a) North Drive east side	61	61	74	75
b) North Drive west side	61	60	74	74
c) South Drive east side	0	88	52	0

E) Recommended Improvements - The intersection capacity analysis results indicate that the intersections studied can achieve peak hour operations at LOS C with the improvements cited above.

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Information related to driveway movements presented in item E) above, and average daily traffic of 9,798 on Decker Road and 7,636 on 14 Mile Road, were applied to the warrant graphs to determine if a right turn deceleration lane/taper or a left turn by-pass lane are required at the project driveway. This analysis (attached) indicates that right turn entry tapers are warranted at each driveway to allow easier ingress movements. Additionally, both 14 Mile Road access points warrant a by-pass lane to allow westbound through movement to continue unimpeded around left turning ingress vehicles. The two northerly Decker Road driveway pair (opposite each other) also warrant by-pass lanes. Consideration should be given to continuing these lanes at full twelve foot width northerly to the intersection. Ideally, a five lane cross-section on Decker Road should be used in this area to assist in left turn movements and benefit the intersection capacity.

A field review of driveway sight distance was performed utilizing a 3.5 foot eye height (located 15 feet from the near pavement edge) viewing an object 3.5 feet in height. This test determined available sight distances as follows:

- a) 14 Mile Road (east) - greater than 750 feet to the east and 565 feet to the west;
- b) 14 Mile Road (west) - greater than 750 feet to the east and clear to the intersection to the west; and,
- c) Decker Road (northerly pair) - clear to the intersection to the north and greater than 600 feet to the south.

All of the above are acceptable except for driveway a) where the view to the west falls below acceptable standards.

Summary

It is concluded that, with improvements to the three intersections and with the use of deceleration tapers and by-pass lanes as identified above, the public roadway system will operate at a desirable Level of Service after development of the Maples of Novi project.

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10. ROADWAY SYSTEM

The roadway system is based on a hierarchy of scale. All roadways in this development will be private. The hierarchy begins with the major collector road, consisting of a loop system which internalizes the development. The major collector road will be constructed 24' wide and will include curbing and gutters. The developer proposes a design speed of 25 mph on the major collector road. In addition, parallel parking will not be allowed.

The secondary collector roadway is the individual cluster drive or cul de sac. A roadway in this category is proposed to be constructed (20' in width) with a rolled asphalt curb and is designed for 15 mph speeds.

All roadway systems were designed with the natural site amenities in mind. Therefore, there is minimal cutting and filling necessary in developing the road systems. Also, all wetland crossings have been designed at the narrowest points in an effort to minimize disturbance. All of these considerations allow for minimal disruption of the natural site topography and amenities.

11. PARKING

The developer proposes that all major and secondary roads be free of parking. Parking will be provided as follows:

Starter Family Detached= two-car attached garage and a two-car apron outside garage for each unit

Golf Villas Detached= two-car attached garage and a two-car apron outside garage for each unit.

Adult Attached= one-car attached garage and a one-car apron outside garage for each unit.

All residential (two-car) aprons will be 16' wide. All residential one-car aprons will be 8' wide. All parking spaces will be 9' wide except for barrier free parking, which will be 12' wide. All parking areas of the clubhouses and non-residential areas will be landscaped or screened and will meet or exceed the requirements established by the ordinance.

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12. RESIDENTIAL NEIGHBORHOODS

It is the intent of the developers of Maples of Novi to provide a range of single-family condominium ownership housing units. The developers also intend to control the architecture and strive for coordinated continuity and balance with controller interest. The result of this careful control will be a community with a "Classic identity". The community will have a strong image much like Hilton Head, Boca West and other similar golf course communities around the country. Similar to the open space, the architecture will be regulated by the developer in concert with the development of the condominium by-laws.

The developer is proposing four basic unit types: (Zone map, site plan and some examples of units floor plans and elevations follow)

- 1.) Congregate Type Facility rental units only.
- 2.) Single Family Attached (Adult) rentals and for sale units.
- 3.) Single Family Detached (Golf Villa) for sale units only.
- 4.) Single Family Detached (Starter Family) for sale units only.

The Proposed Adult Congregate Type Facility (Zone G) This adult congregate type facility will include 100 units on 4.66 acres. (21.45 D.U./Ac). The initial proposed rental rate will be \$400.00/month including all utilities. The size of the base unit will be approximately 550'. This will include 1 bedroom, living room, galley kitchen, dining-nook and 1 bathroom. This facility will not include the normal food preparation facilities, but will include only minimal core facilities.

The Proposed Single Family Attached (Adult) Rental Units (Zones B, C & D) These adult rental and for sale units will include 300 units on 60.7 acres (4.9 D.U./Ac). The initial proposed rental rate will be \$600/month including all utilities. Our marketing analysis has not specifically defined whether these units should also be considered as "for sale" units. We will reserve this option and let our customers dictate the need for units for sale. The sizes of the units will range from 750' to 900'. The location of this Village was selected to provide easy access to the commercial and office, using the natural topography of the site to maintain the individuality and security for the proposed elderly units. Separate, yet part of the community as a whole.

The Proposed Single Family Detached Golf Unit (Zone E) The Golf Village will include 350 units on 98.3 acres (3.56) D.U./Ac.). Generally located in the central part of the development, the Golf Village is oriented to the golf course and natural amenities. The initial price of the Golf Villas units will start at \$110,000. The size of the units will range from 1450' to 2000'. All units will be architecturally related and the exterior materials will blend with the established community standards.

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The Proposed Single Family Detached Starter Units (Zone F) The Family Starter Village will include 150 units on 53.9 acres (2.78 D.U./Ac.). Located along the eastern and southern boundaries of the site, this village is adjacent to several natural amenities which include woodlands and wetlands. The initial price of the Family Starter home will start in the low \$70,000 range. The size of the units will range from 1100' to 1500'.

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FOURTEEN MILE RD.

POTENTIAL ACCESS

POTENTIAL ACCESS



LEGEND



- EXISTING WETLAND
- RIDGE LINE
- DRAINAGE SWALE
- STEEP SLOPES
- EDGE OF WOODLAND
- EDGE OF BUILDING ZONE

SITE CALCULATIONS

TOTAL SITE AREA	228.18 Ac
TOTAL STEEP SLOPES	6.8 Ac
TOTAL WETLAND	34.0 Ac
PROTECTED WOODLAND	
IN WETLAND AREA	(8.5 Ac)
PROTECTED WOODLAND	
IN UPLAND AREA	4.8 Ac
NET BUILDING AREA	182.40 Ac

1
NORTH
1/4"=100'

SITE ANALYSIS

**THE MAPLES OF NOVI
NOVI, MICHIGAN**

DEVELOPER: CLARIC CONSTRUCTION CORP.
2000 OAKLAND LAKE, SUITE 100
WEST BLOOMFIELD TWP, MI 48306
(248) 771-8888

PLANNER: FOREST LEVITON ASSOC. INC.
1217 ADVEN DRIVE
42175-1022
CANTON, MI 48106
(313) 999-8888

ARCHITECT: PROGRESSIVE ARCH., INC.
636 W. LUNA LAKE ROAD
SUITE 200
BLOOMFIELD HILLS, MI 48304
(248) 366-8888

ENGINEER: REDMET - O'NEAL & ASSOC.
2040 FRANCHISE BLVD.
SOUTHFIELD, MI 48064
(248) 352-8888

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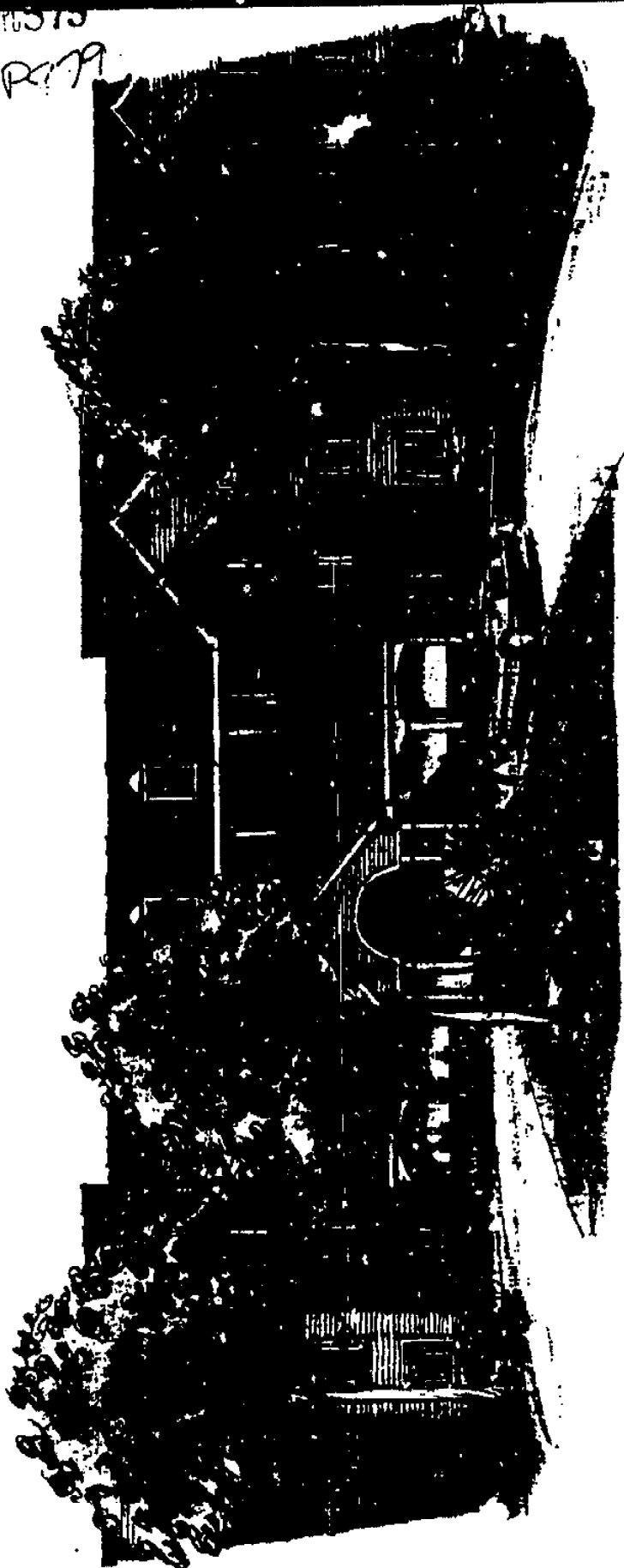


**ILLUSTRATIVE
SITE PLAN**

**THE MAPLES OF NOVI
NOVI, MICHIGAN**

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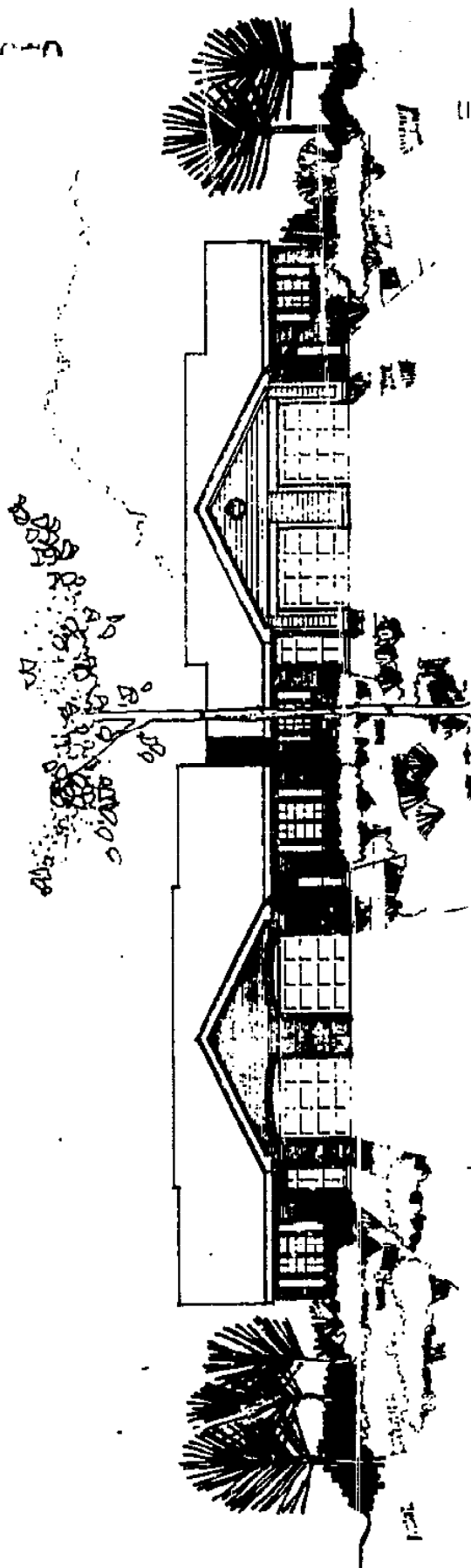
UBR 125907575
L12590R79



A.C.L.F. Type
Elevation

00500000

LIBR 125908860

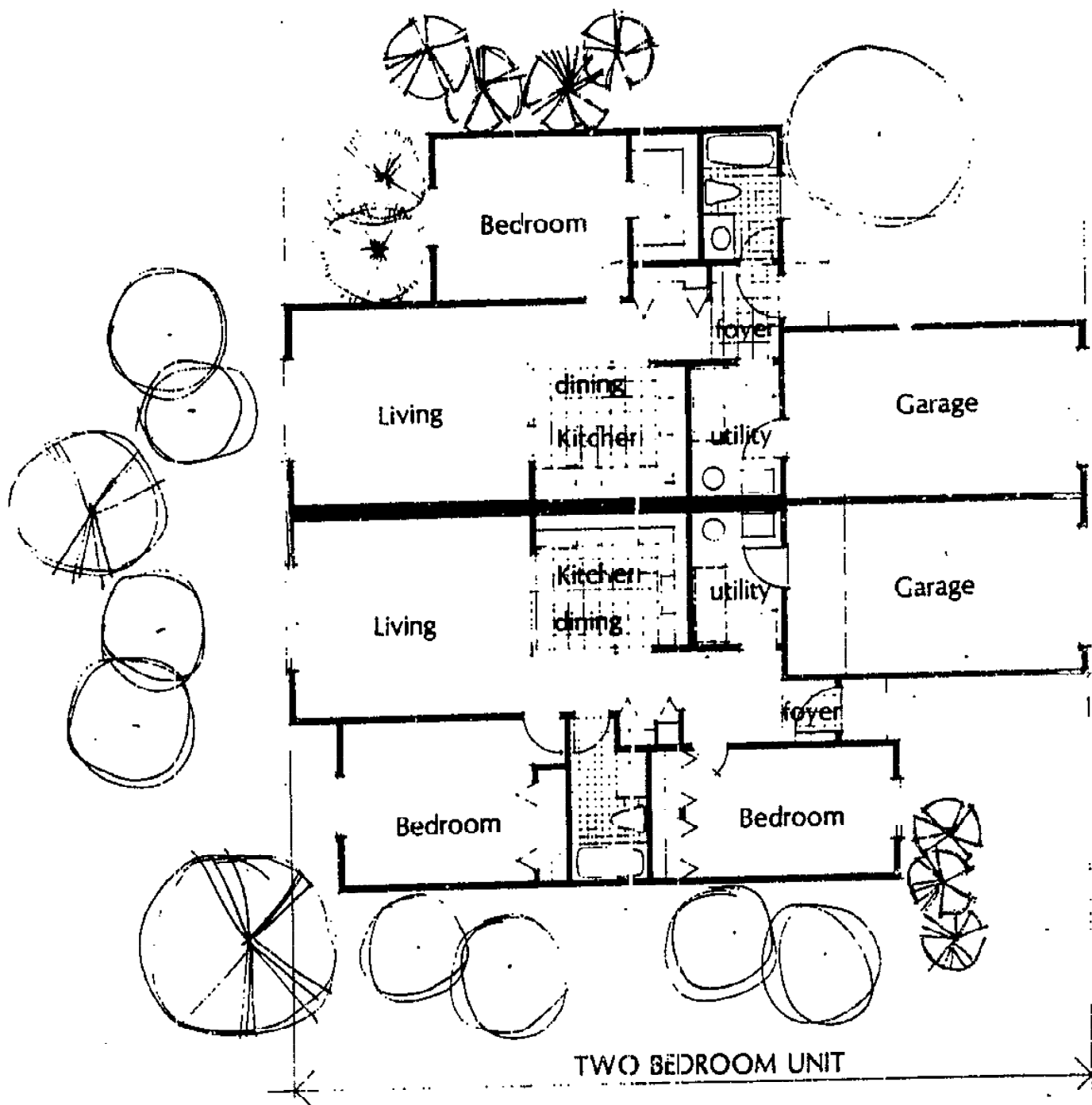


ELEVATION CONCEPT
ADULT UNIT

Typical Adult Elevation

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ONE BEDROOM UNIT



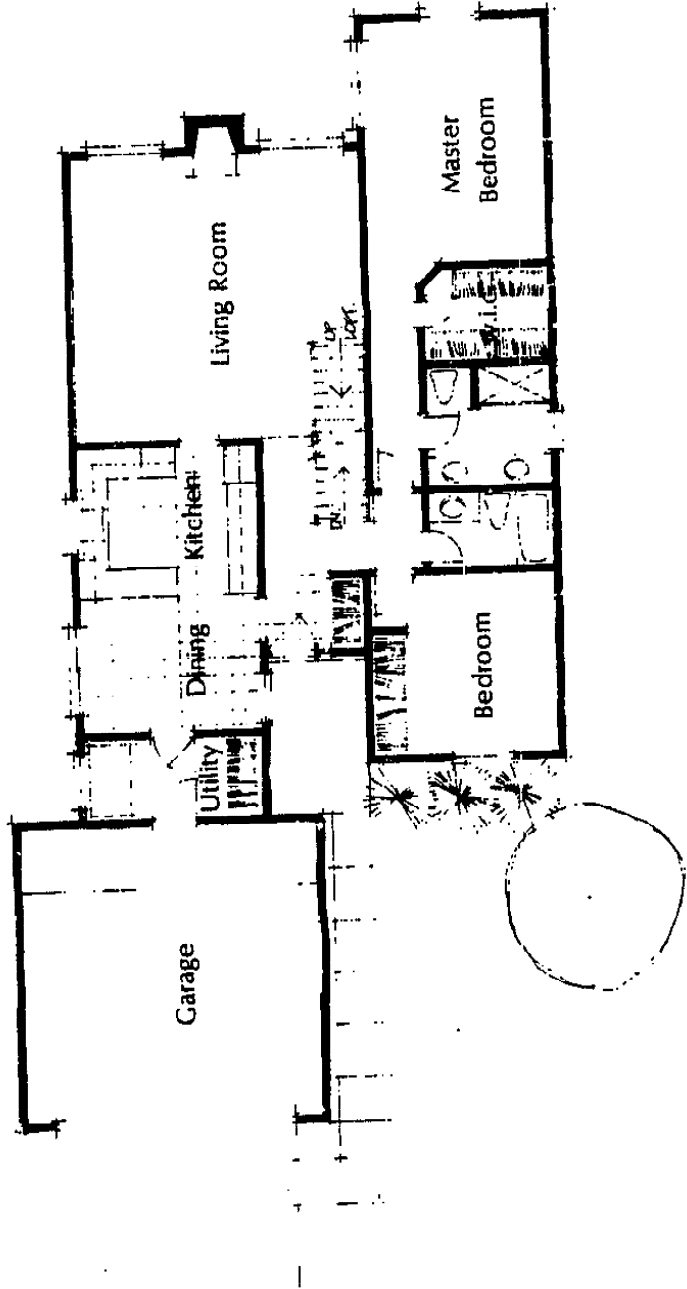
Typical Adult Floor Plan

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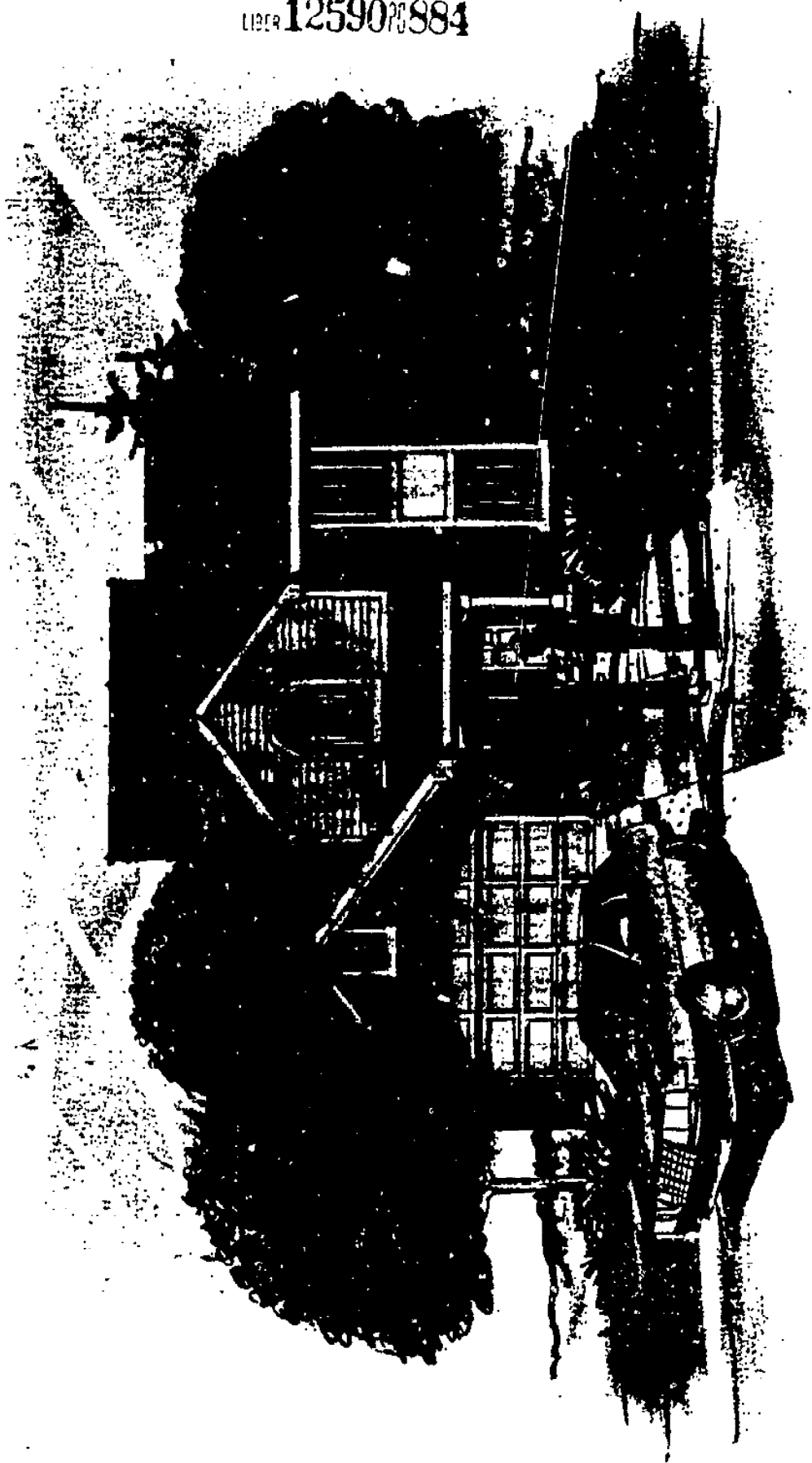
Typical Golf Villa
Unit Elevation

UNIT 125907883



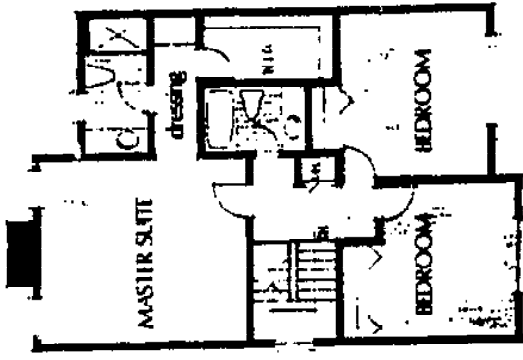
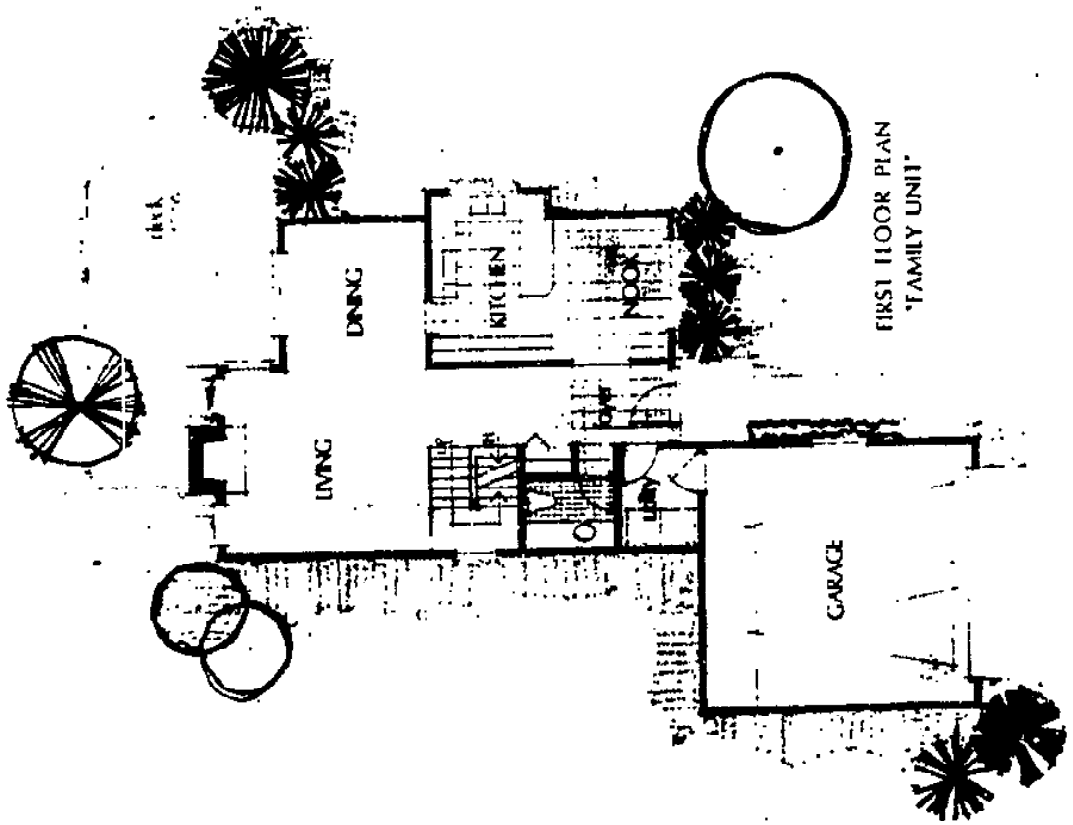
Typical Golf Villa
Unit Floor Plan

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Typical Family Starter Unit
Elevation

12590885



Typical Family Starter Unit Floor Plan

125908886

13. NON-RESIDENTIAL (Zone A)

The development of the non-residential areas will be coordinated with that of the housing areas and their immediate environs. The development will include 60,000 sq.ft. of convenience commercial, 20,000 sq.ft. of office, health and fitness, adult and child care functions necessary to service the needs of the community.

Convenience Commercial/Office

The type of convenience commercial and office envisioned is basically listed on all reports as required by an adult community and are in order of preference; Beauty shop, Barber shop, Drug store, Supermarket, Variety store, Restaurant, Bank, Department store, Gift shop. We were reminded that this is an entrance to the City of Novi. Please note our planned heavy green belts and entrance treatments. Offices on the second floor are intended for Doctors, Dentists and professional needs. Note the bridge from the adult clubhouse. In foul weather an adult can take the internal bus to the clubhouse, access the shopping and office by crossing the security card accessed bridge. An elevator is planned to the office area.

An adult community requires convenience commercial within a maximum 1500'. Mishta & H.U.D. require convenience commercial as a prerequisite for an adult development. A mentally and physically healthy adult is one that has the ability to be as independent as possible. The ability to shop and take care of ones personal needs is the key to the desired independence.

Following are the uses noted below, along with the typical square footage of each area. These are the normal group of use projections for this type of project.

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14. PROPOSED STORE SIZES, TENANT MIX AND PHASING

Based on the total sales potential projected for 1991 and 1996, the resultant gross leasable area shown Classic Construction has proposed opening the service center in two phases. The first phase would contain 25,000 square feet. The second phase would contain 35,000 square feet, resulting in a total center size, at full build-out of 60,000 square feet.

The proposed center size envisions space for a 3,000 square foot specialty hardware store and a small appliance store. A grocery store of approximately 14,000 square feet with 20,000 square feet of eating, drinking and entertainment establishments. A drug store of 6,000 square feet and other food outlets totalling 3,000 square feet. Personal service and miscellaneous other convenience stores of 4,500 square feet and comparison type stores of 11,000 square feet. Miscellaneous other uses could total 14,000 square feet.

The proximity of the subject site to a high concentration of apartments and condominium units - many of which are anticipated to contain either young singles or married, offers a unique opportunity to create a form of food-based specialty center, rather than a traditional neighborhood center.

For the singles and young married generally in two earner households with no children, proximity to a mix of dining establishments and specialty food outlets, featuring a mix of snack, desert and main meal options offers a time-saving convenience so important to this busy age group.

Of special significance is the subject site's proximity to the complex proposed to cater to the housing needs of persons in or near their retirement years. Dining out creates continuing opportunities for social interaction - so important to those no longer working - and especially those who have relocated from neighborhoods containing concentrations of long term neighbors and friends. Additionally, convenient, potentially walking, access to a source of fresh meats, produce, and other perishables, as well as specialized food products - both as carry-out items and as dining-out opportunities - is especially important to this age group.

Thus, in lieu of a major supermarket or drug superstore anchor at the proposed center, a moderately sized grocery store, and a mix of smaller scale food stores and dining establishments is envisioned.

The center is also proposed to contain a mix of comparison goods and services in addition to its convenience stores. Given the concentration of residential development either existing or anticipated in the area, the site offers a great opportunity to be the most convenient location for special purpose comparison shopping trips.

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Such trips, in addition to being food and dining oriented, may be focused toward a mix of specialty apparel and home furnishings shops offering a rapidly changing mix of specialty items, not readily found elsewhere without the major parking-walking-time involvement characteristic of the area's regional malls.

As a major supermarket or department store provides an anchor draw for a neighborhood or community shopping center, the wide mix of specialty food, dining and entertainment establishments proposed could act as a draw for specialty comparison stores. Coupled with ongoing, coordinated direct mail campaigns, coordinated media advertising efforts by all tenants, and frequent special event sales and activities, much as take place at regional malls - and the more successful specialty centers in the Detroit area, successful high levels of occupancy are anticipated.

In addition to the shopping facilities noted above, space is being allocated for a separate area for the development of professional office space. This would occur as an elevator-served second story to the retail complex.

Provision of space for medical and other offices would enable convenient access to same for the immediate residents of the area. Convenient access to medical services is a factor often important to elderly residents of housing developments.

As the general market area of the proposed center becomes more completely residentially developed, unless convenient neighborhood level shopping and support services are provided, even greater demands on the existing and proposed road network will be created. Specifically, to the extent to which long trips on major roadways can be avoided for daily and weekly shopping and personal service needs by area residents, the burden created by such residential developments on area roads will be lessened.

An additional benefit to be gained by the provision on a conveniently located cluster of shopping and service facilities will be the linked planned pedestrian and bicycle paths to surrounding residential developments and nearby recreational facilities, a greater sense of community for area residents will be created. This is of special importance for prospective older residents of the area who move into various developments which are designed to appeal to their changing housing needs. The more ready creation of "community" would assist such new residents to become more immediately comfortable in their surrounds, facilitating their adjustment to the area - and thus enhancing their quality of life.

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Convenience Facility

Food Store	14,000 sf
Drug Store	6,000 sf
Hardware/Appliance	4,000 sf
Hair/Beauty Salon	7,500 sf
Misc. Eatery/Entertainment	20,000 sf
Misc. Clothing/Apparel	4,000 sf
Misc. Personal Service	<u>4,500 sf</u>
TOTAL	<u>60,000 sf</u>

Office Facility

Legal Offices	2,400 sf
Dental Facilities	2,000 sf
Clinic/Medical Offices	5,000 sf
Health Club/Aerobics	5,000 sf
Accounting	2,000 sf
Insurance	2,000 sf
Financial Services	<u>1,600 sf</u>
TOTAL	<u>20,000 sf</u>

UBCR 12590MS90

**HOUSING THE ELDERLY
DETERMINING THE NEED FOR PROXIMATE COMMERCIAL
FACILITIES AND SERVICES**

Prepared For
Classic Construction Corporation
2177 Hilltop
Southfield, Michigan 48034

Prepared By
Vilican-Leman & Associates, Inc.
28318 Franklin Road
Southfield, Michigan 48034

LEIS 125907891

**HOUSING THE ELDERLY: DETERMINING THE NEED FOR
PROXIMATE COMMERCIAL FACILITIES AND SERVICES**

Villican-Leman and Associates, Inc. was retained by Classic Construction Corporation to conduct an inquiry into whether there was academic as well as other less formal support for Classic's position concerning the need for proximity between elderly housing and retail support facilities. Classic Construction is interested in developing a shopping center in Novi, Michigan adjacent to a planned residential community in which a large portion of the housing is oriented to the elderly - specifically to persons in their pre-retirement and retirement years (55+ years of age).

Accordingly, over a two month period, Villican-Leman and Associates, Inc. researchers contacted state and federal housing officials as well as Michigan-based experts in elderly housing. Further, the experience of elderly housing activists in Novi itself was drawn upon. Additionally, we conducted an extensive review of literature on this topic.

The general conclusion which can be drawn from our interviews and review of literature is that there is a need, if not outright necessity for commercial services and facilities to be located in close proximity to housing complexes containing large concentrations of elderly households. Preferably, such facilities would be located in a place of convenient access to the majority of the elderly residents.

In most instances, the scale of a specific elderly housing development is insufficient to create sufficient economic justification for an internal shopping facility. When this is the case, it is recommended by almost all consulted sources dealing with this issue, that the shopping and personal service facilities in high demand by the elderly be located within convenient walking or short, safe driving distances.

A safe driving distance for the older, possibly partially disabled driver, is considered to be along a route which crosses no major thoroughfares, railroads, freeways or large expanses of undeveloped land.

Interviews

A series of interviews was conducted to determine if various "experts" or persons extensively involved with the elderly and their housing needs had any comments or opinions concerning the need for proximity between commercial facilities and housing designed to be attractive to the elderly. Their comments are summarized below.

REF 125907592

1. Dr. James Morgan, economist and specialist in the economics of the aging, University of Michigan, Institute of Social Research. Date interviewed: 3/8/1988. His direct comments on this issue:

"While people believe they'll drive their cars forever, friendship networks are facilitated by having a variety of facilities and opportunities nearby. Walking is a very important activity to the elderly - both in terms of physical health and in terms of perception of their own mental health. Nearby facilities and activity opportunities give the well-elderly destination goals, important to their well-being. Such facilities as restaurants, drugstores, groceries as well as formal activity rooms offer opportunities for casual interaction."

Dr. Morgan referred to a recent paper he presented ("Designing Environments for Older People In Order to Facilitate Productive Activities." August, 1986, University of Michigan.) He provided a copy of said paper to our researchers. Key comments from this paper are as follows: Dr. Morgan asks: "What are the desirable characteristics of optimal communities for older people?" and lists:

"Privacy and independence and freedom of choice are clearly important.
Easy access to a wider community and community activities including shopping and recreation..."

2. Dr. Robert Marans, architect and specialist in design of retirement communities, urban planner, and researcher at University of Michigan Institute of Social Research. Interview date: 3/8/1988.

Dr. Marans indicated that his various research projects supports the desirability of proximity between elderly housing and such community support services as shopping.

3. Mr. Douglas Mernitz, Director of Home Ownership and Development, Michigan State Housing Development Authority. Interview date: 2/22/1988.

Mr. Mernitz states that it is both a strongly enforced MSHDA policy as well as his own personal opinion that housing for the independent and dependent elderly should have shopping nearby. This MSHDA requirement for proximate shopping has been recently reviewed and reaffirmed with respect to MSHDA involvement in non-subsidized housing projects. Previously, it had been a requirement for subsidized projects. MSHDA elderly housing location standards are as follows:

Mandatory Services

Supermarket or Food Store
 Drug Store

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 1,500 feet
 1,500 feet

Desirable Services

Department Store or Clothing Store 2,000 feet
 Bank 2,000 feet
 Medical Services 2,500 feet
 Beauty Parlor 2,500 feet
 Barber Shop 2,500 feet
 Restaurant 3,000 feet
 Post Office 3,000 feet

As recently as January, 1988, MSHDA turned down financing for an independent elderly complex proposed in Novi, on Haggerty Road between Nine and Ten Mile Roads. This denial was primarily because the proposed complex lacked the required proximity to a grocery store. The decision by MSHDA was appealed by Ms. Cathy Crawford of the City, on behalf of the Senior Citizen Housing Needs Study Committee, and by the City Manager, Mr. Ed Kriewald. Mr. Mernitz has stated to our researchers that the lack of proximate commercial of the type and character required by MSHDA was critical to the financing review process.

While other projects have been approved by MSHDA for financing which also lack convenient shopping, apparently other factors, such as site uniqueness or the availability of other proximate support factors such as adjacent nursing care and medical offices, lakes, etc., have sufficiently added to the site's merits and have, thereby, won MSHDA's approval.

4. Ms. Cathy Crawford, Novi Parks and Recreation Department and liaison to the Novi Senior Citizen Housing Needs Study Committee. Interview date: 2/23/1988.

As a follow-up to the petition of Ms. Crawford's committee, our researchers contacted her at the City's Parks and Recreation offices. She provided us with a copy of the recently completed Senior Citizen Housing Needs Study Committee Survey administered by her organization.

This questionnaire was administered to 394 seniors in Novi. Among questions concerning their housing preferences with respect to a prospective senior complex in Novi, 99% (390 of the 394 respondents) indicated that they felt such housing should be within walking distance to shopping. No other preference was as strongly indicated. This extremely strong response is significant given that 90% of those surveyed indicated that they had a car and drive.

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- 5. Ms. Sherry Forbear of the U.S. Department of Housing and Urban Development, Housing Development Programs, Detroit Office. Interview date 3/7/1988.

Ms. Forbear was asked if HUD had in effect any specific locational standards for HUD financed or coinsured elderly housing. She indicated that no specific distance standards were in place. However, for at least assisted housing (Section 8), more points were given to projects which were accessible to commercial and other community services, as part of the competitive ranking process. With respect to coinsured market rate projects, the availability of off-site features is not a required element of the market evaluation performed by HUD. Ms. Forbear indicated she was of the opinion that proximate retail services would aid the marketability of such projects, and, as such, may be indirectly considered by HUD reviewers in their market reviews.

Literature Search

A review of available academic and planning studies concerning the potential link between elderly housing and proximate shopping was conducted. While extensive data is not available on this topic, that which was identified is summarized below.

- 1. Ontario Ministry of Municipal Affairs, Research and Special Projects Branch, Community Development Wing, 1988: Planned Retirement Communities.

"Commercial facilities such as a bank or variety store are often present in a retirement community. These services are important to residents who otherwise would have to drive up to several kilometers to the nearest service center to meet their every day needs."

- 2. Elizabeth D. Huttman, Housing and Social Services for the Elderly, Social Policy Trends. Praeger Publishers, New York, New York, 1977. The chapter on "Special Issues in Housing the Elderly" offered the following findings.

"Location of housing for the elderly is a major decision that will affect the elderly's satisfaction with the housing and, in fact, their desire and ability to stay in this type of housing. Their physical limitations, as well as lack of a car in many cases, mean a decreased mobility; their social world and their spatial orientation will be mainly in terms of the development and its immediate neighborhood of a five-to-ten block radius."

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Additional text comments indicate that accessibility by foot to grocery store and medical services are very much desired by the elderly. Elderly living in "residential area" locations (typical suburban locales) complained considerably of facility inaccessibility and, as a result, were less likely to get out and about from their homes on a daily basis.

In her comparisons of the elderly living in downtown type environments versus those in suburban locations, those living downtown indicated a greater ease of access to important facilities - often by walking. This was in comparison to locations in the suburbs which typically were not within walking distance to desired facilities. The few suburban projects in which the elderly residents made relatively few complaints about facility inaccessibility were those which provided transportation for their residents.

Additionally, one development had high ratings on questions of accessibility for the reason that it was next door to a shopping center. For this development, two-thirds of the residents surveyed by Huttman got out daily for one or more hours.

Huttman's research indicates a major difference in the activity levels of elderly residents living in downtown areas or in projects proximate to a wide range of community facilities compared to the activities of those in more remote living environments. The number of trips and duration of travel outside the home increased when there were more proximate activities and facilities. Involvement in community organizations also increased.

When elderly residents of various projects were queried concerning satisfaction with location, the most predominant answers given on reasons for satisfaction were: "close to everything" or "close to shopping." At least one open-ended response given to Huttman concerning locational dissatisfaction was "too far to store".

Huttman found that the elderly do not necessarily want all possible services accessible to them, though service accessibility is highly important. The most important proximate services according to Huttman's research, are groceries and medical clinics or medical offices.

Huttman also cites a HUD-sponsored survey of elderly subsidized housing. That survey indicated that services most important to the elderly in terms of proximity to their homes were convenient shopping.

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3. Irene K. Malozemoff, John G. Anderson and Lidia V. Rosenbaum, Housing for the Elderly, Evaluation of the Effectiveness of Congregate Residences, Westview Press, Boulder, Colorado, 1978. While this source placed its greatest focus on congregate housing, and, as a result, the more dependant elderly, attention was also paid to the locational desires of the well-elderly who are often also occupants of congregate housing.

"...as the frequency of activity outside the facility increases (i.e., frequency of shopping...), the proportion of residents citing accessibility as a key choice factor increases." In other words, for relatively independent elderly residents of congregate facilities who would be active regardless of the location of their residence, the complex's accessible location facilitates residents' pursuit of various interests, encouraging them to maintain high levels of activity.

4. Irwin Altman, M. Powell Lawton, Joachim F. Wohlwill (eds), Elderly People and the Environment, Plenum Press, New York, New York, 1984.

Chapter 3, "Retirement Communities," is written by Robert W. Marans, Michael E. Hunt, and Kathleen L. Vakalo. This chapter describes several different living environments specifically developed for the older (50 years+) person. Of the several discussed, that of the retirement village and retirement subdivision appears to have the most similarity to the development proposed by Classic Construction Corporation.

Retirement villages are medium-sized communities, distinct from the self-contained retirement new-towns. Retirement villages emphasize a wide selection of outdoor recreational facilities and programs. However, they contain only limited amounts of internal, resident-oriented commercial and medical care facilities. They are not planned to be self-contained, often housing too few residents to adequately and economically support internal commercial and health care facilities. Thus, they rely heavily on the availability of nearby facilities.

Retirement subdivisions, like retirement villages, are planned for a predominately independent and healthy older population. Generally smaller in scale, they have usually have more limited outdoor and indoor recreational facilities and support services. They are intentionally planned to be integral parts of the surrounding community.

Retirement subdivisions and the smaller villages represent the "least supportive" form of retirement lifestyles. In

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such situations, where the interaction between the elderly resident population and the exterior community is great, the match between resident need and available supporting infrastructure is of great importance in terms of providing a high quality of life. "For example, where shopping is inconveniently located and residents either do not have automobiles or are no longer able to drive, the level of person-environment congruence will be low".

Chapter 8, "The Effects of Residential and Activity Behaviors on Old People's Environmental Experiences," by Stephen M. Golant, also had some pertinent findings as well as citations of other research.

Golant indicates various studies confirm that as persons age, their activity levels can be expected to decrease. Additionally, the extent of vehicle use declines with age. As people age, behavior becomes more restricted, resulting in an increase of dwelling-centered activities. "...facilities intended for use by the elderly should be within certain critical walking distances of their residence; otherwise, dissatisfaction is expressed." Golant cites studies which have documented the importance of walking as an important mode of transportation for elderly people.

Frances M. Carp and Abraham Carp, in Chapter 9, "A Complementary/Congruence Model of Well-Being or Mental Health for the Community Elderly," cite conclusions of a special committee of the Gerontological Society as follows:

"...immediate neighborhood may be more important to well-being than the residence. For some older people, economic, physical, and social limitations may restrict movement to a point where their neighborhoods are the only salient supraperson environments."

5. Victor Regnier and Jon Pynoos (eds) Housing the Aged, Design Directives and Policy Considerations, Elsevier, New York, New York, 1987.

Chapter 5, by David Christensen and Galen Cranz, "Examining the Physical and Managerial Aspects of Urban Housing for the Elderly," offers the following:

In a study of frequency of facility use, the three most frequently used facilities having a social orientation were restaurants, churches and beauty/barber shops. Elderly residents surveyed indicated that these facilities were visited at least monthly by near or over 80% of those sampled.

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Chapter 9, by Victor Regnier, concerns "Programming Congregate Housing: The Preferences of Upper Income Elderly." While not 100% appropriate to the proposed independent living housing project, findings of this article may have application.

The study surveyed potential in-movers to a hypothetical congregate facility and asked them to state the type of facilities and services most important to them at such a place. Included in the list of items were housing - particular items as well as support services and facilities. "All convenient retail neighborhood facilities, with the exception of the dry cleaner, are located in the upper half of the positively rated services." (Emphasis added). The study found that on an index of 0 to 100, beauty/barber shop, pharmacy, and small convenience grocery had ratings in excess of 90%. Restaurants were rated 89.7% with gift shops and dry cleaners at 64.7 and 60 % respectively.

In Regnier's study of potential in-movers into an age segregated retirement housing community in Atlanta, Georgia, middle- to higher-income respondents were interviewed. Such prospective in-movers preferred services and amenities in the following order: protective, convenience (shopping), health, transportation, common spaces and supportive (home and medical assistance).

In Regnier's summary of the above survey, as well as other surveys of the elderly also conducted by Regnier, he offers the following design directives:

"Security from personal assault, street robbery, and burglary is a major concern and should be a major consideration in the design of the facility and the selection of the site." This is Design Directive One.

"Neighborhood service facilities such as a pharmacy and grocery should be conveniently located nearby." This is Design Directive Two. Regnier's additional comments on this directive are that it is of critical importance to both lower-income elderly and upper-income elderly.

- 6. M. Powell Lawton, Sally L. Hoover (eds) Community Housing Choices for Older Americans, Springer Publishing Company, New York, New York, 1981.

Chapter 13, by Victor Regnier, "Neighborhood Images and Use: A Case Study," offers the following findings:

While a variety of other research suggest that convenient access to such neighborhood type facilities as drug stores, small groceries, supermarkets, banks and variety stores is

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highly important to the elderly. Regnier attempts to measure the differences between the objective physical environment, the perceived environment and the use of that environment. To do this, he examines an older, urban neighborhood and interviews its elderly residents to establish the frequency of their various trips and the distance they travel.

The total number of monthly trips to 32 various types of services was inventoried. Eight services appeared among the top 12 services, both in the percentage using the service and the intensity of the use. These were: supermarket, variety store, small grocery, bank, department store, pharmacy, restaurant, and park. While less than half of the physically closest 12 services were among the most used, five of the closest were among the most used: liquor store, small grocery, luncheonette, bar, and park. While not among the closest facilities to most residents, supermarkets, at an average distance of 5.4 city blocks, were used by 88% of the respondents who averaged 7.8 trips per month.

Regnier concludes that the best criteria for importance appears to be those that are used by a large percentage of people and also have a high overall use index. In his study, the eight services meeting these criteria are, in order of importance: supermarket, variety store, small grocery, bank, department store, pharmacy, restaurant and park.

- 7. Victor Regnier and Louis E. Gelwicks, "Preferred Supportive Services for Middle to Higher Income Retirement Housing," in *The Gerontologist*, Vol. 21, No. 1, February, 1981.

This research was based on interviews by the above cited authors with older, higher income persons, living in either single-family or multiple-family homes. The interviews concerned the respondents' preferences for services, features and facilities in or near newly constructed middle- to higher-income housing. For potential in-movers, the general response categories of security, convenience shopping, health, transportation services, common spaces and supportive services (maid, etc.) were the most highly preferred - and in the order of preference listed.

Specifically, 70.3% felt a pharmacy was a "must-have" item, 84.9% said grocery stores were necessary, 54% indicated high preference for dry cleaners and 50% said restaurants were "must-haves". Security, the top rated item at 73%, scored only 2.7 percentage points over the desire for a pharmacy.

- 8. Maurice B. Hamovitch, James E. Peterson, "Housing Needs and Satisfaction of the Elderly," in *The Gerontologist*, Vol 9, No.1 Spring, 1969.

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This research focused on what older people want in housing, compared to what they have, and their general level of satisfaction or dissatisfaction with their present environment. Interviewees were queried concerning how important a specific characteristic was to them, whether or not their present housing provided it and their satisfaction with it.

Among the characteristics surveyed were accessibility to desired facilities and professional personnel. Key findings are as follows:

The facilities that those interviewed believed important to be close to were shopping and laundry facilities. Respondents also attached a great importance in being near professional personnel, specifically medical, with religious personnel next in importance.

The importance of these facilities and personnel were even greater than the expressed preference for a good climate and location - 60% designating that shopping, laundry and professional personnel were very important and 20% indicating that they were somewhat important. Climate and location were rated as very important by one half and somewhat important by one quarter of the respondents, all of whom lived, at the time of the interview in southern California.

- 9. Southeast Michigan Council of Governments, Housing the Elderly in Southeast Michigan, June, 1978.

Among site selection goals stated by SEMCOG with respect to assisted elderly housing are the following:

"To ensure provision of sites and development considerations recognizing the limited mobility of the region's elderly and handicapped households." Goal-related considerations were:

"Priority shall be given to those sites and developments which provide for safe convenient pedestrianways linking the site to site-internal facilities. Priority shall be given those sites and developments which are not separated from social/commercial services and facilities by expressways, industry, thoroughfares, railroad rights-of-way, or large expanses of undeveloped land."

- 10. M. Powell Lawton, A. Thomas, O. Byerts, M. Arch (eds), Community Planning for the Elderly, prepared for the Department of Housing and Urban Development, distributed by National Technical Information Service, U.S. Department of

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Commerce, 1971. The report is a compendium and summary of previously written papers. Key findings are as follows:

A listing of community services considered essential aspects of the community fabric to support elderly housing are shopping facilities. Of preventative, supportive, rehabilitative and sheltered care services, those labeled as preventative were determined to be most relevant to the healthiest segment of the older population and essential to maintaining their independence. Shopping facilities were considered a preventative service.

The report also states that ability to use private or even public transportation is a key ingredient in evaluating elderly housing needs. Like other age groups, the elderly prefer the private car as the most satisfactory means of transport. However, often for economic as well as biological reasons, the elderly are less likely to either own, or if own, drive cars. The authors conclude that walking (and public transportation) are the most frequent forms of transportation for the older person.

Pleasure walking is popular among the elderly as it is for the population at large. However, for all age groups, but particularly the elderly, it can be burdensome when done by necessity. This research source indicates that the well-elderly report the typical length of an average daily walk to be around 15 to 20 minutes. Roughly two-thirds experience no difficulty in walking one-half mile. The conclusion drawn is that facilities located within six blocks will, therefore be accessible to the majority of older persons. However, those carrying heavy bundles or making the walk in bad weather may experience problems.

The concept of an "ideal" distance was explored by Paul Noll, community planner, and, as cited in this reference, listed, in descending order of importance, the following critical distances:

Grocery store	-	1 block
Bus stop	-	adjacent to site
House of worship	-	1/4 mile
Drug store	-	1 block
Clinic or hospital	-	1 mile
Bank	-	1/4 mile
Social center	-	on-site
Library	-	1/4 mile

Noll developed this set of criteria based on his interviews with public housing managers.

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The report summarizes site selection criteria recommended for consideration by developers of elderly housing. Among major site qualities to be considered are the site's accessibility to services.

- 11. John Zeisel, Gayle Epp, Stephen Demos, Low Rise Housing for Older People, Behavioral Criteria for Design, prepared for the U.S. Department of Housing and Urban Development, U. S. Government Printing Office, 1977.

This report suggests various performance criteria for facilitating getting on and off the site of elderly housing developments. Relevant comments are:

"...moving off their housing site to run errands, visit friends and relatives, exercise, or for a change of environment is an essential part of [the elderly's] lives. Most enjoy walking in their neighborhood; some are picked up and dropped off by family or friends; others rely on public transportation; and a few still own and operate their own cars. It is essential for resident's well-being that site design accommodate, if not encourage, movement between the housing site and the amenities in town. (Emphasis added).

- 12. U.S. Department of Housing and Urban Development, Housing for the Elderly and Handicapped, The Experience of the Section 202 Program from 1959 to 1977.

This report indicates that a few Section 202 elderly oriented projects experienced rent-up difficulties as a result of the lack of services and neighborhood facilities. Specifically cited is a project which was built in a relatively rural area with few commercial or other facilities in close proximity. The project depended upon the plans of a private bus company to provide service. During the construction period, the bus company canceled its service plans. Of the 150 persons who were on the project's reservations list, only five actually moved in. Even with the addition of tenant subsidies, the 100-unit project was only able to attract 39 people during the first six months of occupancy.

The conclusion drawn in the report is that unless public transportation is available, elderly oriented housing developments should be within walking distance from supportive commercial services and facilities.

- 13. Urban land Institute, Housing for a Maturing Population, 1983 Chapter 1, "Demographics and Housing" by Katharine P. Warner. This report cites locational criteria developed in the 1960's by the Philadelphia Housing Authority from a survey of its public housing managers.

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The survey was to determine "ideal" distances between site and support facility as follows:

Grocery Store	2 to 3 blocks
Bus Stop	1 to 2 blocks
Religious Institution	1/4 to 1/2 mile
Drugstore	3 blocks
Clinic or Hospital	1/4 to 1/2 mile
Bank	1/4 mile
Library	1 mile
News-Cigar Store	1/4 mile
Restaurant	1/4 to 1/2 mile
Movie House	1 mile

Warner recommends that housing designs, public programs and policies must be developed to work more effectively with the trend toward an aging population. Among her recommendations is the following:

"Increased housing densities in combination with mixed residential, commercial, community service, and recreational land uses."

In Chapter 6, "Neighborhoods as Housing Environments for Maturing People, Warner recommends strategies for neighborhood adaptation to the needs of the elderly. Among the primary goals recommended, indeed, as part of goal 1, she states:

"Establish close-by Service Facilities Through:

- Mixed residential and commercial/office land uses.
- Neighborhood service and recreation centers."

The above goals presume efforts would be made to ensure the provision of needed services and facilities "within a convenient, preferably walkable, distance of residential concentrations of older households."

In sum, the above review of literature and interviews with experts in the field of elderly housing - plus the preferences of the older residents of the City of Novi itself, all indicate the need, if not actual necessity for commercial support services to be part of or adjacent to projects designed to appeal to the elderly. This is a finding that appears independent of whether the elderly are car owners and drivers, reside in independent housing, in congregate care facilities, or are of low or higher income.

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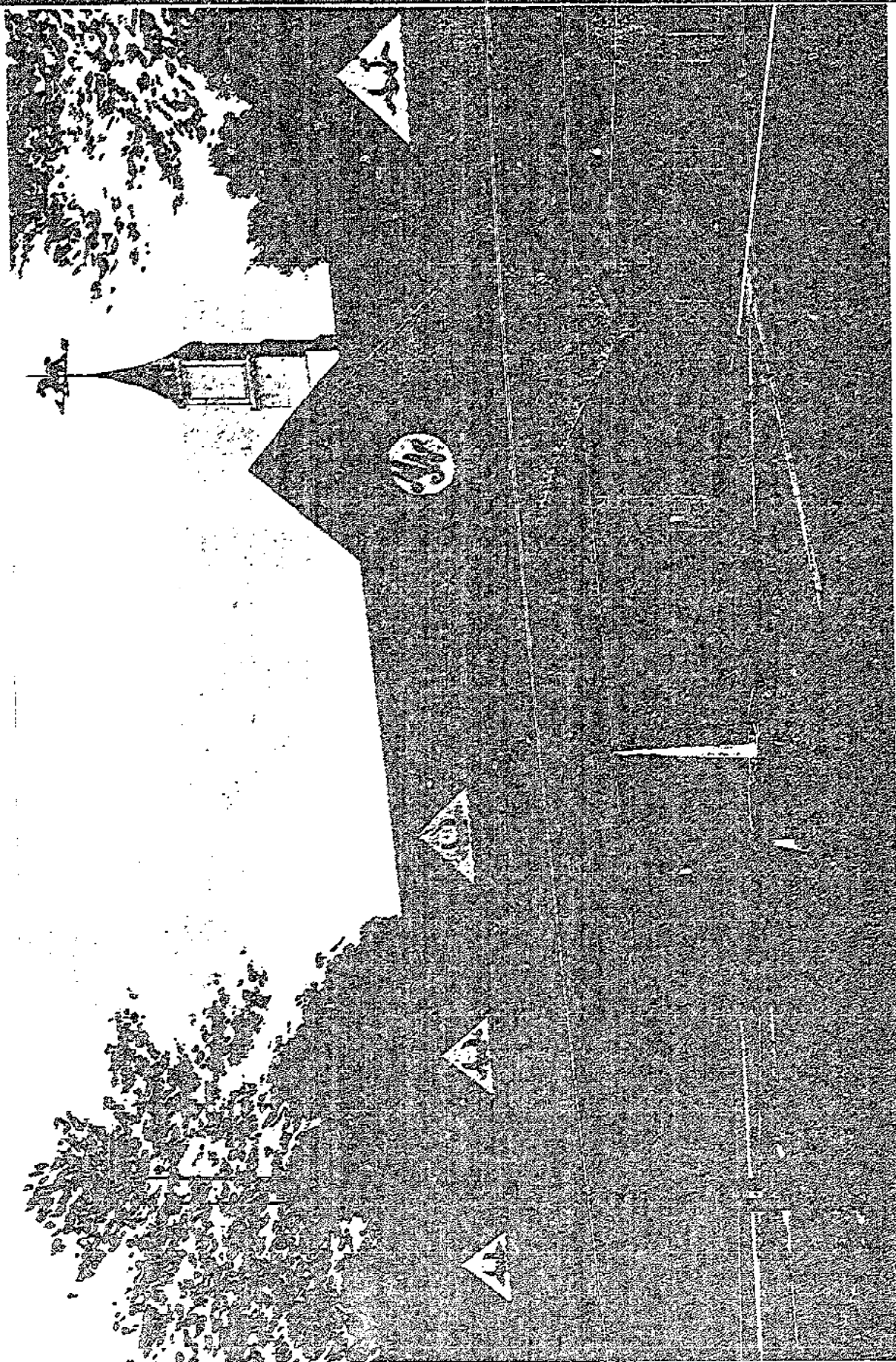
15. PROJECT IMAGE

The image for the proposed retail development on the subject property will correspond to that proposed for the adjacent residential community planned by Classic Construction Corporation. While the anticipated entry level prices for Classic's proposed residential units are modest, the attractively designed residential community, constructed around extensive recreational features, will be fairly upscale in character.

Base construction of the proposed retail center and the associated office will be of a higher quality than the average neighborhood strip center. It will incorporate such amenities as distinctive signs, attractive paving surfaces and extensive landscaping. Additionally, consideration will be given to provision of opportunities for outside, fair weather dining and consuming of snack foods in an attractive, litter-free environment. Inasmuch as substantial walk-in trade is anticipated from adjacent residential units, provision of exterior seating opportunities - both covered and uncovered, may be appropriate.

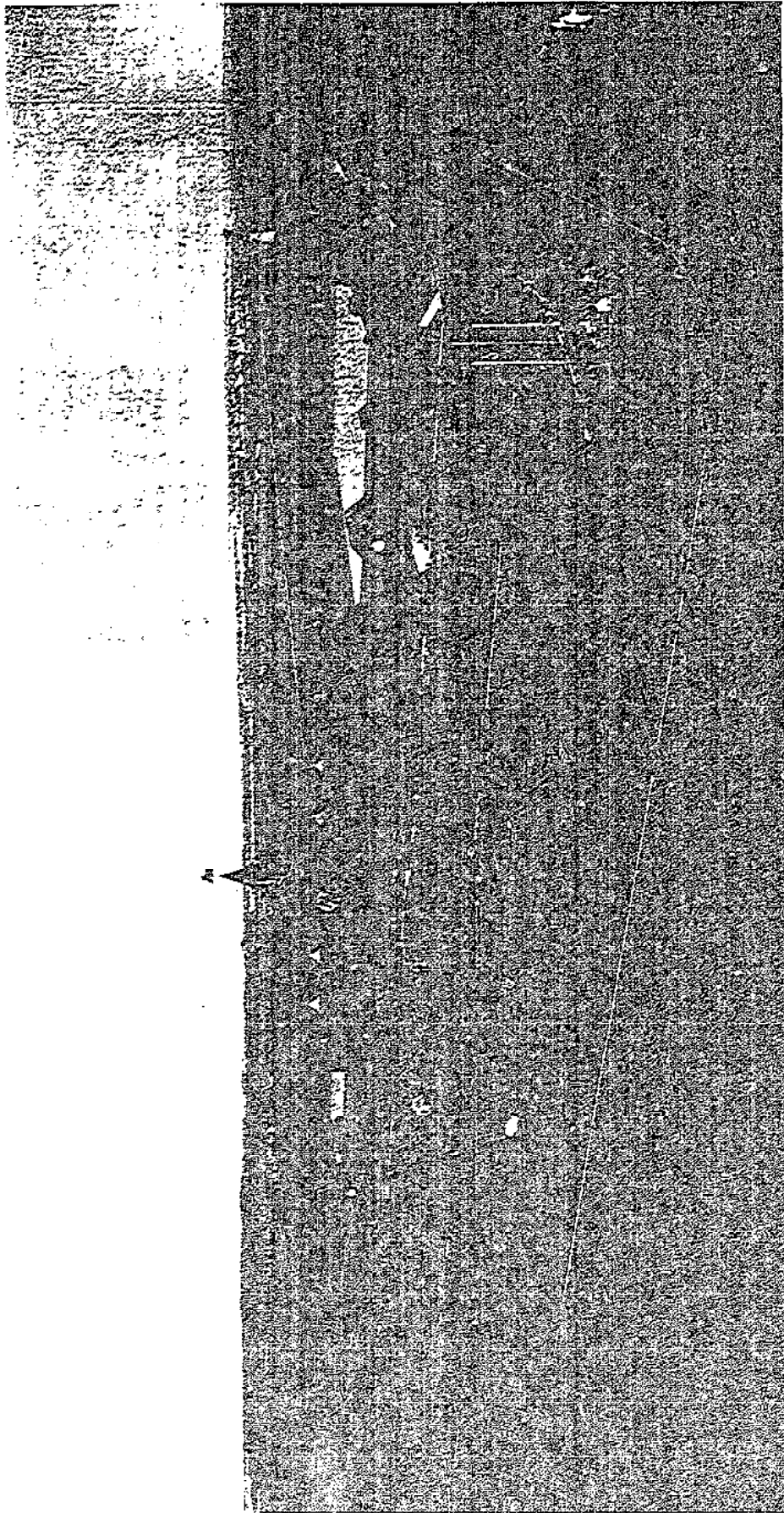
Quality construction and attractive landscaping are key elements distinguishing a high quality shopping facility from an unimpressive strip center. Use of quality materials, creative building facades and attractive landscaping will, like the previously mentioned promotional activities, act to separate the proposed center from its more typical neighboring competitors, and create a unique focus and draw. In turn, the center would complement its residential neighbors and augment the quality of life of adjacent residents.

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Illustrative Convenience Commercial

REF 125908906



Illustrative Convenience Commercial
With City Entrance Enhancements

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16- DEVELOPMENT PHASING

The cornerstone of our phasing plan rests, upon two primary criteria. The most important item is the city's identified need for elderly housing. This dictated to us that the first phase of the Maples of Novi include the construction of the congregate type housing at the northeastern corner of the development. As well, the second most important consideration is construction of the golf course in the first phase.

Due to the fact that the golf course wanders throughout the property, the only efficient means of developing the golf course is to mass grade the site. This will mean that the site land balancing and the golf course construction will occur in phase one. Of course, prior to this mass grading activity, the appropriate environmental measures will take place. The first step will be selectively transplanting trees to a nursery, to be located in the northwest quadrant of the property, in the proposed convenience commercial location. Next, erection of silt fence and erosion control around all wetlands, and snow fencing for protection of woodlands. Once the golf course and land balance is complete, the entire site will be re-seeded. Our objective here is twofold; one is to further reinforce and minimize soil erosion and the secondary objective is cosmetic. Inasmuch as this project will likely take five to six years to complete, Classic Construction would not be content with the unsightly, barren appearance of a stripped site. Revegetation of this large site will change it from something of an eyesore to a very verdant and attractive expanse of green space with intermittent wetlands and woodlands.

The adult clubhouse will be developed in Phase 1. The family starter village clubhouse will be developed in Phase 2. The commercial convenience center will be built in Phases 3 and 4 at the rate of twenty-five thousand square feet in Phase 3 and thirty-five thousand square feet in Phase 4.

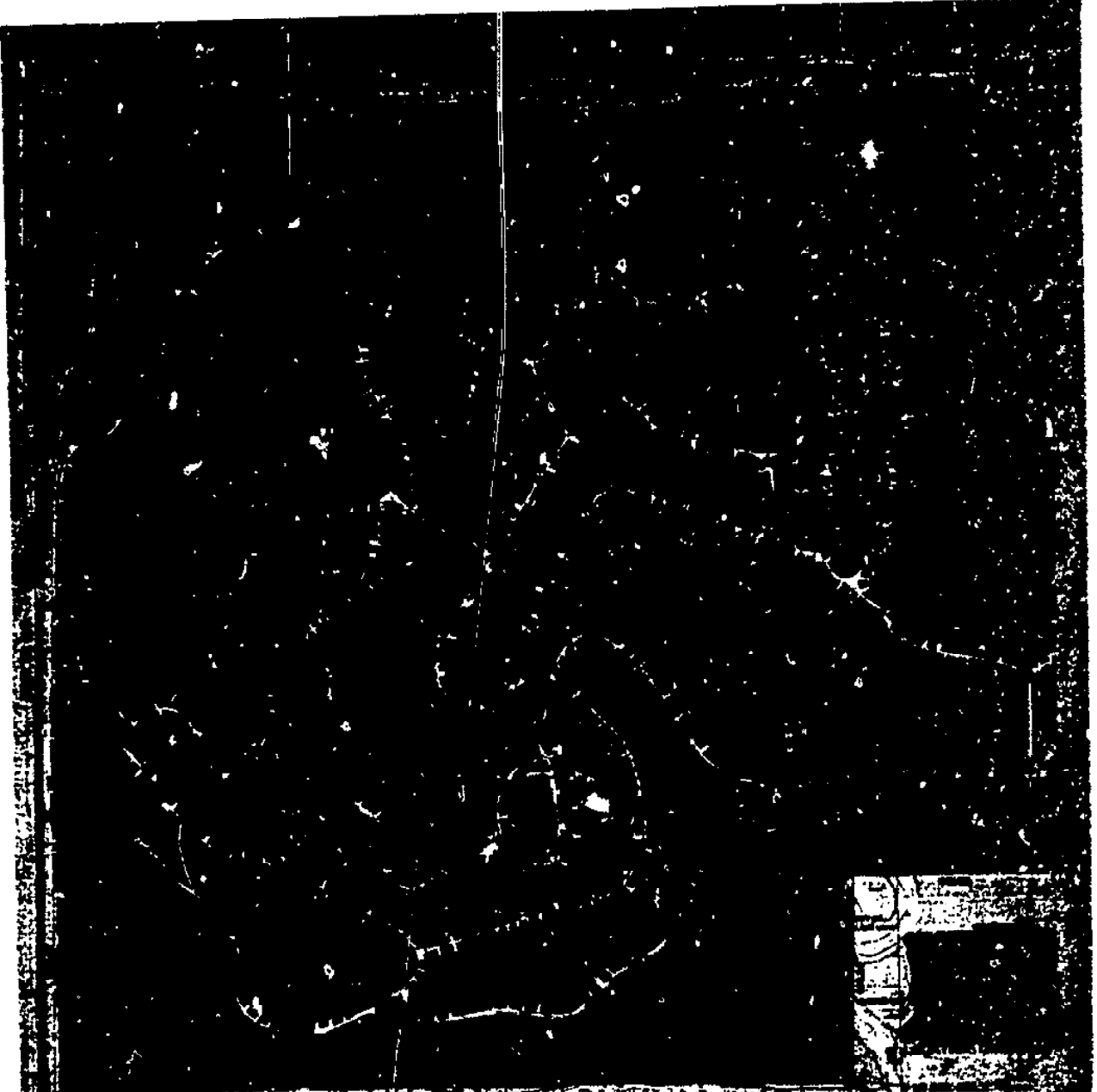
The development of the residential construction can be best summarized graphically in a table which has been included for your review, as well as delineation of the site plan by phase, also attached for your review.

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Phasing Schedule

Unit Type	I	II	III	IV	Totals
Adult	89	101	110		300
Golf	53	121	103	73	350
Family	39	54	57		150
Congregate	100				100
Totals	281	276	270	73	900

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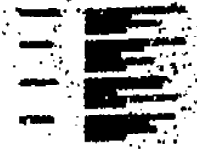


LEGEND

■	PHASE 1
■	PHASE 2
■	PHASE 3
■	PHASE 4



PHASING PLAN
THE MAPLES OF NOVI
 NOVI, MICHIGAN



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17. PHASED SITE CALCULATIONS

<u>Area</u>	<u>Unit Type</u>	<u>#Units</u>	<u>Total Area</u>	<u>Building Coverage</u>	<u>F.A.R.</u>
<u>Phase I</u>					
1	Adult	89	13.4 AC±	1.6 AC±	12%
2	Golf	53	10.8 AC±	2.2 AC±	20%
3	Family	39	6.7 AC±	1.2 AC±	18%
4	Congregate	100	3.5 AC±	.6 AC±	17%
5	Golf Club	—	<u>3.1 AC±</u>	<u>.06 AC±</u>	<u>2%</u>
Sub Total:		281	37.5 AC±	5.66 AC±	19%
<u>Phase II</u>					
6	Adult	101	17.2 AC±	1.9 AC±	11%
7	Golf	121	23.8 AC±	5 AC±	
8	Family	54	8.1 AC±	1.6 AC±	20%
9	Family Club	—	.9 AC±	.06 AC±	15%
10	Elderly Club	—	<u>1.3 AC±</u>	<u>.10 AC±</u>	<u>8%</u>
Sub Total		276	51.3 AC±	8.66 AC±	17%
<u>Phase III</u>					
11	Adult	110	13.8 AC±	2.0 AC±	14%
12	Golf	103	21.0 AC±	4.3 AC±	21%
13	Family	57	8.9 AC±	1.7 AC±	19%
14	Commercial	—	<u>5.9 AC±</u>	<u>.9 AC±</u>	<u>15%</u>
Sub Total:		270	49.6 AC±	8.9 AC±	18%
<u>Phase IV</u>					
15	Golf	73	10.4 AC±	3.0 AC±	30%
16	Commercial	—	<u>3.3 AC±</u>	<u>.5 AC±</u>	<u>15%</u>
Sub Total:		<u>73</u>	<u>13.7 AC±</u>	<u>3.5 AC±</u>	<u>26%</u>
Total Areas		900	152.10 AC±	26.72 AC±	18%
Total Site		900	222.28 AC±	26.72 AC±	<u>12%</u>
Total Net Site Area:			222.28		
Less Total Building Areas:			<u>152.10</u>		
(1-16)					
Unassigned Open Space			<u>70.18</u>		
(Golf Course, Wetlands					
Woodlands Area)					

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18. MASTER PLAN & ECONOMIC IMPACT

The Maples of Novi development concept enhances and reinforces the intent of the Novi Master Plan for zoning. This form of development would serve as a model and guide for the future of the community.

The Maples of Novi project impact when fully completed should have a value in excess of \$100 million. It is projected that this could generate \$3 million in excess general taxes revenue including over \$1.8 million in school taxes.

- a.) Population- We project that there will be approximately 2.0 persons per unit, for a total of 1,800 persons.
- b.) School- Due to the character of the development and the resultant buyer groups, we project there will be fewer school age children per residence than the average family. School age children per residence would be .34 for a total of 307. It is important to note that this project is in the Walled Lake School District. We project 50% of the school children in the development will be of elementary age, or approximately 153; 25% will be of junior high age, or approximately 77; and the remaining 25% will be high school age, approximately 77.
- c.) Phasing- It is expected that the Maples of Novi will be developed in a 4 phased program with total build out to be completed within 5 to 6 years. Phasing will be established by site plan submittals as introduced.

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F.U.D. REQUEST

TOTAL SITE AREA.....227.99 Ac

DENSITY CALCULATIONS

Adult Village.....	60.7 Ac.....	300 Units.....	4.9	DU/Ac
Golf and Family Village.....	152.2 Ac.....	500 Units.....	3.29	DU/Ac
OVERALL VILLAGE DENSITY.....			3.76	DU/Ac
Congregate Facility.....		100 Units		
OVERALL SITE DENSITY.....		900 Units.....	4.1	DU/Ac

OTHER STRUCTURES

Convenience Commercial....	10.5 Ac.....	60,000 Square Feet
Office.....		20,000 Square Feet

SITE OPEN SPACE

Paving & Building Coverage.....	43.5 Ac.....	19.0%
Woodlands & Wetlands to Remain.....	72.5 Ac.....	31.7%
Steep Slopes To Remain.....	6.9 Ac.....	3.0%
Golf Course.....	31.3 Ac.....	13.7%
Remaining Open Space.....	68.08 Ac.....	29.8%

TOTAL OPEN SPACE.....184.01 Ac.....80.6%

APPLICANT NARRATIVE & REQUEST

L A W O F F I C E S
LANDRY, MAZZEO & DEMBINSKI, P.C.
37000 GRAND RIVER AVENUE SUITE 200
FARMINGTON HILLS, MICHIGAN 48335
www.lmdlaw.com

TELEPHONE
(248) 476-6900

FACSIMILE
(248) 476-6564

D. B. LANDRY
dlandry@lmdlaw.com

April 7, 2021

VIA HAND DELIVERY

City of Novi
Attn: Barbara McBeth,
Planning Dept. Director
Planning and Community
Development Department
45175 10 Mile Road
Novi, MI 48375

RECEIVED

APR 07 2021

**CITY OF NOVI
COMMUNITY DEVELOPMENT**

RE: Project Name: JSP 21-03 IXL Novi
Applicant/Property Owner: JMSS Novi, LLC
Property: 31260 Wakefield Dr., East of Novi Road, South of 14 Mile Road

Dear Ms. McBeth:

APPLICATION FOR AMENDMENT OF MAPLES OF NOVI PUD

Please accept this as an Application for Amendment of the Maples of Novi PUD. This request is for what we believe to be a minor change in the PUD. This request merely seeks approval to convert the existing Maples of Novi Golf Course clubhouse/restaurant/bar/banquet facility into an IXL Learning Center – a childcare center. This request does not involve any change to the size of the parcel on which the current clubhouse/bar/restaurant/banquet center sits. No significant changes to the exterior façade of the building is requested. No change in the size of the parking lot is requested. No changes are being requested regarding any of the residential uses that comprise The Maples of Novi, nor are any changes being sought regarding the commercial portions of the PUD along Novi Road. Most importantly, we are not requesting any change to the open space which formally comprised a golf course/wetland and woodlands. The applicant merely seeks to change the use of the golf course clubhouse/bar/restaurant/banquet facility building to a childcare center, which is a use specifically approved in the existing PUD.

I. HISTORY OF THE MAPLES OF NOVI PUD

LANDRY, MAZZEO & DEMBINSKI, P.C.

April 7, 2021

Page 2

The Maples of Novi PUD (Planned Unit Development) was approved by the City of Novi on July 10, 1989. (See attached Exhibit A).¹ The PUD overlays a large parcel of property consisting of approximately 228 acres, east of Novi Road and south of 14 Mile Road which was originally zoned R-A. The PUD can generally be described as being comprised of three types of uses: residential, commercial and open space/nine-hole golf course. By far, the largest components of the PUD are residential, consisting of single-family and multi-family, and the open space golf course, wetlands and woodlands. As part of the golf course component, a golf course clubhouse which also served as a bar/restaurant/banquet facility. The site on which that building was located also contained an outdoor inground swimming pool. The over-the-years that golf course ceased to operate. While it has remained as open space it has not operated as a golf course for many years. Accordingly, there has been no need for a golf course clubhouse in the building constructed for that purpose. The building was also utilized at numerous times over the past decades as a bar/restaurant/banquet facility in various iterations. Like the golf course, it has been vacant for several years.

II. CONTROLLING NOVI ORDINANCE REGARDING THE MAPLES OF NOVI PUD

The Maples of Novi PUD was approved in 1989 under the provisions of the then existing City of Novi Zoning Ordinance, Article 27, which governed the PUD. (See Exhibit B). The PUD itself, provided as follows:

The Property shall not be developed or used, except in accordance with the approved area plan, the conditions set forth in the minutes of the meeting of the Novi City Council held on January 9, 1989, and all preliminary and final site plans subsequently approved, *absent amendment as permitted under Article 27 of the City of Novi Zoning Ordinance*. (Exhibit A).

Accordingly, it is the former Novi Zoning Ordinance, Article 27, which provides the framework for amending this PUD.

III. STATEMENT REGARDING THE PROPOSED USE

The only change being sought with this amendment request is a change from one non-residential use to another. The proposed use of this building is as an IXL

¹ The original 1989 PUD and Area Plan is 158 pages long. Attached as Exhibit A is the PUD agreement and an excerpt of the Area Plan. There was one amendment to PUD dated July 24, 1992 which merely amended the phasing plan period that is also attached as Exhibit A.

LANDRY, MAZZEO & DEMBINSKI, P.C.

April 7, 2021

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Learning Center. Attached hereto as Exhibit C is information regarding IXL Learning Centers. IXL Learning Centers provide pre-kindergarten childcare with an emphasis on social developmental learning. The hours of operation are 7:00 a.m. to 6:00 p.m. Monday through Friday. This is a less intense commercial use than a golf course with a bar/restaurant and banquet center which would operate seven days a week and operate into the late night hours. The IXL Learning Center would have the capacity to accommodate up to 210 children. Part of the proposed use of the building would include removing the outdoor inground swimming pool and converting that space to an outdoor play area. The majority of children would be indoors throughout the day. Outdoor activities would involve approximately 30-40 children at a time and would occur from 10:00 a.m. to noon and from 3:30 p.m. until 6:00 p.m. As can be seen on the attached Concept Plans (attached hereto as Exhibit D) the outdoor play area would be adequately screened from nearby residential areas of The Maples. There is ample parking in the existing parking lot, which will be resurfaced, restriped and landscaped. The proposed use would be less intense in terms of the hours of operation, days of operation and no more intense than a bar/restaurant/banquet facility.

The former golf course, wetlands and woodlands at The Maples comprise 70.18 acres of land. The applicant has purchased the golf course property along with former clubhouse/bar/restaurant building. The applicant is not seeking to develop any portion of the golf course, wetland or woodland area. That will remain open space available to the residents of The Maples.

A key fact to recognize is that while the applicant seeks to amend the PUD, the proposed use is actually a use which is *included* in the original PUD. Page 36 of the PUD Area Plan addresses “non-residential” uses that were approved and include “...office, health and fitness, adult and childcare...” (See Exhibit A). Thus, the anticipated use of an IXL Learning Center childcare facility is actually a use which was *approved as part of the original PUD*.

IV. AMENDMENT OF PUD

The procedure for amending the PUD is set forth in the prior PUD ordinance, Article 27, Section 9. (Exhibit B). That ordinance provides that if the requested change is a “major change” the Novi City Council must approve the amendment but if the requested change is a “minor change” the Planning Commission may approve the amendment. Moreover, Article 27, Section 2700.9.g provides that “the Planning Commission shall have the authority to determine whether a requested change is major or minor...” It is the position of the applicant that the requested change is a “minor change” for the following reasons.

LANDRY, MAZZEO & DEMBINSKI, P.C.

April 7, 2021

Page 4

The original PUD provided that:

“The property shall not be developed or used except in accordance with the approved area plan...”

Attached as Exhibit A is the PUD and portions of the Area Plan. The Area Plan, Paragraph 13, page 26 specifically provides that one of the approved uses is “childcare”. Therefore, childcare is an *approved use in the existing PUD*. The former PUD ordinance, Article 27, Section 2700.9.c defines “major change”. The following is a list of the items defined as “major change” and a recognition that none of those items are included in this amendment request.

<u>Item Constituting Major Change</u>	<u>Whether Included in this Amendment Request</u>
(1) Change in concept of the development.	No.
(2) Change in use or character of the development.	No.
(3) Change in type of dwelling unit as identified in approved area plan.	No, the requested change is still a non-residential use.
(4) Change in number of dwelling units.	No.
(5) Change in non-residential floor area of over 5 percent.	No.
(6) Change in lot coverage and FAR of the entire PUD of more than one (1) percent.	No.
(7) Rearrangement of lots, blocks, and building tracts.	No.
(8) Change in the character or function of any street.	No.
(9) Reduction in land area set aside for common open space or the relocation of such area(s).	No.

LANDRY, MAZZEO & DEMBINSKI, P.C.

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(10) Increase in building height. No.

None of the items included in the definition of “major change” are included in this PUD amendment request. Accordingly, the applicant suggests that the Planning Commission has the authority to approve this amendment request and seeks that approval.

“Minor changes” are also defined in the former PUD ordinance. Article 27, Section 2700.9.e, which defines “minor change” includes “minor variations in layout which do not constitute major changes.” That is exactly what the applicant requests. With childcare included in the PUD as an approved use, the applicant merely wishes to locate that use in an area which for the past 32 years has been the location of a different non-residential, commercial use, i.e., golf course clubhouse, bar/restaurant/banquet center. No changes are requested with respect to the golf course, open space, wetland or woodland. No change in the size, dimensions of the use at this location as requested. The applicant merely wishes to substitute one approved PUD use for another. Indeed, another less intense non-residential use.

V. SPECIAL LAND USE

The underlying zoning of the PUD is R-A. Childcare is an approved use within an R-A zoning area as Special Land Use. However, this property is governed by a PUD which controls over the underlying zoning. That PUD approved childcare as a use. Accordingly, it is the applicant’s position that the R-A zoning ordinance provision no longer controls. Indeed, that is exactly what the PUD says.

However, even analyzing this request under the current Novi Zoning Ordinance Section 6.1.2.c, regarding special land uses, we find the following:

- I. Whether the proposed use will cause any detrimental impact on existing thoroughfares. It will not.
- II. Whether the proposed use will cause any detrimental impact on the capabilities of public services. It will not.
- III. Whether the proposed use is compatible with the natural features and characteristics of the land. It is.
- IV. Whether the proposed use is compatible with adjacent uses of land. It is. The significant residential component of The Maples will clearly benefit by the availability of such premium childcare services at the IXL Learning Center.

LANDRY, MAZZEO & DEMBINSKI, P.C.

April 7, 2021

Page 6

- V. Whether the proposed use is consistent with the goals, objectives, and recommendations of the City's master plan for land use. It is especially in light of the fact that it is an approved use within this PUD.
- VI. Whether the proposed use will promote the use of land in a socially and economically desirable manner. It certainly will. Indeed, the current use is vacant and has been vacant for many years.
- VII. Whether the proposed use is in harmony with the purposes and conforms that applicable size design regulations of the zoning district. In this case, it is specifically in conformity with the provisions of the original PUD which provided childcare as an approved use.

VI. RESPONDING TO CITY'S COMMENTS AFTER THE PRE-APPLICATION MEETING

The applicant met with the city administration in a Pre-Application meeting. Thereafter, the City issued numerous comments. Attached hereto as Exhibit E is the applicant's response to the comments by the city planning, engineering and woodland, traffic and fire department comments.

Attached hereto as Exhibit F are the applicant's response the city administration's landscape comments.

Attached hereto as Exhibit G is an Economic Impact Statement.

VII. CONCLUSION

For all the reasons stated above, the applicant requests approval of an amendment to the 1989 Maples of Novi PUD to allow an IXL Learning Center to be located in the former space of the golf course clubhouse/bar/restaurant/banquet center. If approved, the applicant will move forward to seek Preliminary Site Plan Approval. Thank you for your consideration.

Very truly yours,

LANDRY, MAZZEO & DEMBINSKI, P.C.



David B. Landry

DBL/rhr
Encl.

Exhibit A

REP 125907755

THIS AGREEMENT is made and entered into this 10th day of July, 1989, by and between the CITY OF NOVI, a Michigan municipal corporation ("CITY") whose address is 45175 West Ten Mile Road, Novi, Michigan 48050, and the undersigned Property Owners ("PROPERTY OWNERS"), represented collectively by Classic Construction Corporation, a Michigan corporation whose address is 7001 Orchard Lake Road, Suite 130, West Bloomfield Township, Michigan 48322.

#36 REG/DEEDS PAID
0001 MAY.08.92 11:52AM
9480 MISC 321.00

RECITALS

A. The Property Owners are the owners of property located in Sections 1 and 2 of the City of Novi, Oakland County, State of Michigan, described in Exhibit A attached hereto ("PROPERTY").

#36 REG/DEEDS PAID
0001 MAY.08.92 10:52AM
9480 RMT FEE 2.00

B. Article 27 of the City's Ordinance No. 84-18, as amended, the City of Novi Zoning Ordinance, provides for the Planned Unit Development as a method of development designed to allow a combination of single-family residential, multiple-family dwellings, commercial and office uses in a manner which is innovative, efficient and which will protect and conserve natural resources and be compatible with adjacent uses of land.

#4 Ent

C. The Property Owners wish to develop the Property as a Planned Unit Development pursuant to Article 27 of the City of Novi Zoning Ordinance.

D. The Property Owners have applied to the City for permission to develop the Property as a Planned Unit Development by submission of a petition and area plan. The petition and area plan were approved by the Novi City Council on January 9, 1989.

Deeds P4

NOW, THEREFORE, in consideration of the mutual covenants provided herein, the parties agree as follows:

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GTT

GREEN

1. That the Property Owners shall have the right to development of the Property as a Planned Unit Development in accordance with the approved petition and area plan, attached hereto as Exhibit B, and made a part hereof, and those conditions imposed by the City at the time of approval of the petition and area plan, as contained in the minutes of the meeting of the Novi City Council of January 9, 1989, and in accordance with all applicable statutes, ordinances, rules and regulations, including but not limited to

O.K. - LM for [unclear]

12590756

Article 27 of the City of Novi Zoning Ordinance. The Property shall not be developed or used except in accordance with the approved area plan, the conditions set forth in the minutes of the meeting of the Novi City Council held on January 9, 1989, and all preliminary and final site plans subsequently approved, absent amendment as permitted under Article 27 of the City of Novi Zoning Ordinance.

2. By approval of the petition and area plan, the City accepts the proposed uses, the layout of streets, the dwelling units count and type, and all other elements of the petition and area plan. The Property Owners are authorized to submit a preliminary site plan as to each phase of the development. No construction of any phase shall commence until approval by the City of a preliminary site plan and final site plan for that phase. The City may, pursuant to City ordinances, require the Property Owners to provide financial guarantees for the completion of road, water mains, sanitary sewers, and storm drains for the entire planned unit development. Where such guarantees are required, no construction of any phase shall commence until such guarantees have been provided. For those areas of the development to be platted, the Property Owners are authorized to submit a preliminary plat for tentative approval in accordance with Act 288 of the Public Acts of 1967, as amended, the Subdivision Control Act, and City of Novi Ordinance No. 77-45, as amended, the City of Novi Subdivision Ordinance. The approved petition and area plan shall expire on July 9, 1990, eighteen (18) months after approval, unless the Property Owners have submitted to the City of Novi Planning Commission for review and approval of a final site plan for the first phase of the development. Thereafter, the site plans for subsequent phases shall be submitted in accordance with Section 2700-10b of City of Novi Ordinance No. 84-18, as amended, the City of Novi Zoning Ordinance.

3. The Property Owners designate Classic Construction Corporation, a Michigan corporation, as their representative for purposes of dealing with the City relative to this Agreement and development of the Planned Unit Development.

4. This Agreement shall be deemed to run with the land and shall bind the heirs, successors and assigns of the parties hereto and all subsequent owners of the land within the development.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date first written above.

WITNESSES:

Nancy Beutter
Nancy Beutter
Monique M. Skinner
Monique M. Skinner

CITY OF NOVI, a Michigan municipal corporation

BY: Matthew Quinn
MATTHEW QUINN - Mayor

BY: Geraldine Stipp
GERALDINE STIPP - City Clerk

Thomas S. Lydick
THOMAS S. LYDICK
James E. Beyer
JAMES E. BEYER

THE MAPLE GROUP, a Michigan co-partnership

BY: Sam Blumenstein
Its: President

Thomas S. Lydick
THOMAS S. LYDICK
James E. Beyer
JAMES E. BEYER

CLASSIC CONSTRUCTION CORPORATION, a Michigan corporation,

BY: Sam Blumenstein
Its: President

Renee Szydanowski
Renee Szydanowski
Melissa A. Sundquist
Melissa A. Sundquist

MANUFACTURERS NATIONAL BANK OF DETROIT, a Michigan corporation (Mortgage Holder only)

BY: James D. Preston
Its: Vice President

STATE OF MICHIGAN)
COUNTY OF Oakland) SS:

On this 10th day of July, 1989, before me a Notary Public personally appeared MATTHEW QUINN and GERALDINE STIPP, Mayor and City Clerk, and who, after being first duly sworn, did say they executed this Agreement on behalf of the City of Novi and acknowledged the same to be the free act and deed of the City of Novi, made and executed by them on the City's behalf by the authority of Novi City Council.

Agnes C. Durbin
Notary Public
Oakland, County, Michigan
My Commission Expires: 8/19/92

AGNES C. DURBIN
NOTARY PUBLIC STATE OF MICHIGAN
OAKLAND COUNTY
MY COMMISSION EXP. AUG. 19, 1992

STATE OF MICHIGAN)
COUNTY OF OAKLAND)

SS:

LIBER 12590 758

On this 4th day of May, 1989, before me a Notary Public personally appeared James D. Preston, Vice President, and who, after being first duly sworn, did say they executed this Agreement on behalf of the Manufacturers National Bank of Detroit, a Michigan corporation, and acknowledged the same to be the free act and deed of the Manufacturers National Bank of Detroit, made and executed by him/her on the Bank's behalf by the authority of Manufacturers National Bank of Detroit.

Brenda Ann Tait
Notary Public
_____, County, Michigan
My Commission Expires: _____

BRENDA ANN TAIT
Notary Public, Wayne County, MI
My Commission Expires June 17, 1991
Acting in Oakland County, MI

STATE OF MICHIGAN)
COUNTY OF Oakland)

SS:

On this 26th day of April, 1989, before me a Notary Public, personally appeared Sam Blumenstein, partner of The Maple Group and President of Classic Construction Corp.

who are the representatives of the Property Owners and who did say that they executed this Agreement on behalf of said Property Owners.

ARLEEN R. BLUMENSTEIN
Notary Public, Oakland County, MI
My Commission Expires 8-18-91

Arleen Blumenstein
Notary Public
Oakland County, Michigan
My Commission Expires: 8-18-91

~~DRAFTED BY AND WHEN~~
~~RECORDED RETURN TO:~~

DENNIS WATSON, ESQ.
FRIED & LEVITT, P.C.
30700 Telegraph Road, Suite 3655
Birmingham, MI 48010-3979

✓ Grew Pick Up

LIBR # 12590763

X-FILE

Classic
**CONSTRUCTION
CORPORATION**

**Proposed
Maples of Novi**

AREA PLAN

13. NON-RESIDENTIAL (Zone A)

The development of the non-residential areas will be coordinated with that of the housing areas and their immediate environs. The development will include 60,000 sq.ft. of convenience commercial, 20,000 sq.ft. of office, health and fitness, adult and child care functions necessary to service the needs of the community.

Convenience Commercial/Office

The type of convenience commercial and office envisioned is basically listed on all reports as required by an adult community and are in order of preference; Beauty shop, Barber shop, Drug store, Supermarket, Variety store, Restaurant, Bank, Department store, Gift shop. We were reminded that this is an entrance to the City of Novi. Please note our planned heavy green belts and entrance treatments. Offices on the second floor are intended for Doctors, Dentists and professional needs. Note the bridge from the adult clubhouse. In foul weather an adult can take the internal bus to the clubhouse, access the shopping and office by crossing the security card accessed bridge. An elevator is planned to the office area.

An adult community requires convenience commercial within a maximum 1500'. Mishta & H.U.D. require convenience commercial as a prerequisite for an adult development. A mentally and physically healthy adult is one that has the ability to be as independent as possible. The ability to shop and take care of ones personal needs is the key to the desired independence.

Following are the uses noted below, along with the typical square footage of each area. These are the normal group of use projections for this type of project.

RECEIVED

LIBER 12792 PG 679

92 188780

PLANNED UNIT DEVELOPMENT AGREEMENT

AUG 12 1992

AMENDMENT

CITY CLERK
CITY OF NOVI
July

THIS AGREEMENT made and entered into this 24th day of
July, 1992, by and between the CITY OF NOVI, a Michigan
municipal corporation ("CITY"), whose address is 45175 W. Ten Mile
Road, Novi, Michigan 48375, and CLASSIC CONSTRUCTION CORPORATION,
a Michigan corporation ("CLASSIC CONSTRUCTION"), whose address is
7001 Orchard Lake Road, Suite 130, West Bloomfield, Michigan 48322.

RECITALS

0001 JUL 29 '92 04:14PM
9325 MISC 21.00

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ent/3

WHEREAS, Classic Construction has been designated as the
representative for the owners of the property described in the
attached Exhibit "A" ("the Property"), by a Planned Unit
Development Agreement dated July 10, 1989, and executed by such
property owners and the City, and recorded with the Oakland County
Register of Deeds at Liber 12590, Pages 755 through 912;

WHEREAS, said Planned Unit Development Agreement provides
for the development of the Property as the Maples of Novi Planned
Unit Development pursuant to Article 27 of the City of Novi Zoning
Ordinance;

#36 REG/DEEDS PAID
0001 JUL 29 '92 04:14PM
9325 RMT FEE 2.00

WHEREAS, Classic Construction has requested as
representative of the property owners that the Phasing Plan for the
Maples of Novi Planned Unit Development be amended; and

WHEREAS, the City Council for the City of Novi, upon
recommendation of the City of Novi Planning Commission has approved
such amended phasing plan.

NOW, THEREFORE, in consideration of the mutual covenants
provided herein, the parties agree as follows:

1. The Phasing Plan of the Planned Unit Development
Agreement dated July 10, 1989, and recorded at Liber 12590, pages
755 through 912, shall be amended to conform to the Phasing Plan
attached hereto as Exhibit "B". Said Planned Unit Development
Agreement shall otherwise remain in full force and effect.

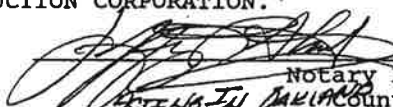
21.00
2.00
JMK

2. This Agreement contains the entire agreement of the
parties, and no statement, promises, or inducements made by either
party that is not contained in this written contract shall be valid

STATE OF MICHIGAN)
COUNTY OF Oakland) SS:

On this 24th day of July, 1992, before me a Notary Public in and for said county appeared SAM BLUMENSTEIN, known to be the person described in and who executed the foregoing instrument and respectively acknowledge that he executed the same on behalf of CLASSIC CONSTRUCTION CORPORATION.

JEFFREY R. STREET
Notary Public, Livingston County, MI
My Commission Expires Sept. 20, 1994


Notary Public
RETIRING TO OAKLAND
County, MI
My Commission Expires:

DRAFTED BY:
DENNIS WATSON
Fried and Levitt, P.C.
Assistant City Attorney
30700 Telegraph Road
Suite 3655
Bingham Farms, MI 48025

WHEN RECORDED RETURN TO:
GERALDINE STIPP
~~City Clerk~~
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Tax Parcel No: _____

EXHIBIT A

PARCEL I AND II:

Land situated in the Township of Novi, Oakland County, State of Michigan, described as the West half of the Northeast fractional quarter of Section 2, Town 1 North, Range 8 East, EXCEPT: A parcel of land situated in the West 1/2 of the Northeast fractional 1/4 of Section 2, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, more particularly described as follows: Beginning at a point on the North line of the Northeast fractional 1/4 of Section 2, said point being located South 88 degrees 44 minutes 36 seconds East 220.19 feet from the North 1/4 corner of said Section; thence parallel to the North and South 1/4 line of said Section, South 00 degrees 54 minutes 00 seconds West 500.27 feet to a point of curve; thence along the arc of a curve to the right, 304.54 feet to a point of tangent, said curve having a radius of 775.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance, South 12 degrees 09 minutes 00 seconds West 302.59; thence South 23 degrees 24 minutes 00 seconds West 249.74 feet to a point of curve; thence along a arc of a curve to the left 338.31 feet to a point of tangent, said curve having a radius of 861.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance, South 12 degrees 09 minutes 00 seconds West 336.14 feet; thence along the North and South 1/4 line of said Section, South 00 degrees 54 minutes 00 seconds West 1845.17 feet to the center of Section 2; thence along the East and West 1/4 line of said Section, South 89 degrees 33 minutes 08 seconds East 86.00 feet; thence parallel to the North and South line of said Section, North 00 degrees 54 minutes 00 seconds East 1844.49 feet to a point of curve; thence along the arc of a curve to the right 304.54 feet to a point of tangent, said curve having a radius of 775.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance North 12 degrees 09 minutes 00 seconds East 302.59 feet; thence North 23 degrees 24 minutes 00 seconds East 249.74 feet to a point of curve; thence along the arc of a curve to the left 338.31 feet to a point of tangent, said curve having a radius of 861.51 feet, central angle 22 degrees 30 minutes 00 seconds and chord bearing and distance North 12 degrees 09 minutes 00 seconds East 336.14 feet; thence parallel to the North and South 1/4 line of said Section, North 00 degrees 54 minutes 00 seconds East 499.92 feet to the North line of the Northeast fractional 1/4 of Section 2; thence along said North line, North 88 degrees 59 minutes 36 seconds West 43.00 feet to the South 1/4 corner of Section 35, Town 2 North, Range 8 East, thence along the North line of the Northeast fractional 1/4 of Section 2, North 88 degrees 44 minutes 36 seconds West 43.00 feet to the point of beginning. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. (22-02-201-001.)
(22-02-200-004.)

PARCEL III:

Beginning the East 18 1/2 acres of the Southeast 1/4 of the Northeast fractional 1/4 of Section 2, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. (22-02-200-003.)

PARCEL IV:

Being the West 40 acres of the North 160 acres of the Northwest fractional 1/4 of Section 1, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes,

Parcel Identification No. (22-01-100-001.)

PARCEL V:

(LIBER 12590/760)

The East 1/2 of the Northeast fractional 1/4, except the East 18.5 acres of the Southeast 1/4 of said Northeast fractional 1/4 of Section 2, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan. Subject to the rights of the public and of any governmental unit in any part thereof taken, used or deeded for street, road or highway purposes.

Parcel Identification No. (22-02-200-002)

EXHIBIT A (RESTATED)

The legal descriptions on the prior pages are now described as:

LEGAL DESCRIPTION:

Land in the City of Novi, Oakland County, Michigan, described as:

PARCEL A: Part of the Northeast 1/4 of Section 2, Town 1 North, Range 8 East, Novi Township, now City of Novi, Oakland County, Michigan, described as beginning at the North 1/4 corner of said Section 2 and proceeding thence South 88 degrees 44 minutes 36 seconds East 220.16 feet along the North line of Section 2 to the West right of way of Decker Road (86 feet wide); thence thence following four (4) courses and distances along said right of way line South 00 degrees 54 minutes 00 seconds West 500.09 feet and 304.54 feet along an arc of a curve to the right, radius 775.51 feet, central angle 22 degrees 29 minutes 59 seconds, chord length 302.59 feet and a chord bearing of South 12 degrees 09 minutes 00 seconds West and South 23 degrees 24 minutes 00 seconds West 249.74 feet and 338.31 feet along an arc of a curve to the left, radius 861.51 feet, central angle 22 degrees 29 minutes 59 seconds chord length 336.14 feet and a chord bearing of South 12 degrees 09 minutes 00 seconds West to the North and South 1/4 line of Section 2; thence North 00 degrees 54 minutes 00 seconds East 1358.82 feet along said 1/4 line to the point of beginning.

ent
 PARCEL B1: ALL OF THE MAPLES OF NOVI, MAPLE HILLS CONDOMINIUM, according to the Master Deed recorded in liber 11034, pages 593 through 635, both inclusive, and First Amendment to the Master Deed recorded in liber 11315, pages 681 through 688, both inclusive, Oakland County Records, and Second Amendment to the Master Deed recorded in liber 11522, pages 526 and 527, and Third Amendment to the Master Deed recorded in liber 11550, pages 354 through 363, both inclusive, and Fourth Amendment to the Master Deed recorded in liber 11597, pages 861 through 862, both inclusive, and Fifth Amendment to the Master Deed recorded in liber 11724, pages 783 through 795, both inclusive, Oakland County Records and designated as Oakland County Condominium Subdivision Plan No. 627 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

ent
 PARCEL B2: ALL OF THE MAPLES OF NOVI, MAPLE GREENS CONDOMINIUM, according to the Master Deed recorded in liber 11034, pages 636 through 677, both inclusive, and amended by First Amendment recorded in liber 11478, pages 891 through 901, both inclusive, and Second Amendment recorded in liber 11607, page 465 through 474, both inclusive, and Third Amendment to the Master Deed recorded in liber 11635, pages 778 through 798, both inclusive, and Fourth Amendment to the Master Deed recorded in liber 11666, pages 755 through 759, both inclusive, and Fifth Amendment to the Master Deed recorded in liber 12179, pages 156 through 167, both inclusive, and Sixth Amendment to Master Deed recorded in liber 12246, pages 058, through 066, both inclusive, Oakland County Records, and designated as Oakland County Condominium Subdivision Plan No. 628 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

PARCEL B3: ALL OF THE MAPLES OF NOVI, MAPLE POINTE CONDOMINIUM, according to the Master Deed recorded in liber 11664, pages 616 through 675, both inclusive, and First Amendment to the Master Deed recorded in liber 11737, pages 626 through 632, both inclusive, and Second Amendment to the Master Deed recorded in liber 12038, pages 338 through 348, both inclusive, and Third Amendment to the Master Deed recorded in liber 12115, pages 428 through 440, both inclusive, Oakland County Records, and designated as Oakland County Condominium

Continued on next page

(LIBER 12590 762)

LEGAL DESCRIPTION 'CONTINUED':

Subdivision Plan No. 709 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

22-02-202-000

9000709

PARCEL B4: ALL OF THE MAPLES OF NOVI, MAPLE HEIGHTS, according to the Master Deed recorded in liber 12350, pages 545 through 614, both inclusive, Oakland County Records, and designated as Oakland County Condominium Subdivision Plan No. 750 together with rights in general common elements and limited common elements, as set forth in the above described Master Deed and as described in Act 59 of the Public Acts of 1978, as amended.

(PT OF 22-02-200-017) (INDIVIDUAL SIDWELLS NOT YET ASSIGNED) 9000750 unit 0 22-02-251-000

PARCEL B5: Part of the Northwest 1/4 of Section 1 and part of the Northeast 1/4 of Section 2, beginning at the Northwest corner of Section 1, thence South 88 degrees 38 minutes 01 seconds East 649.03 feet; thence South 02 degrees 05 minutes 07 seconds West 691.80 feet; thence South 87 degrees 46 minutes 02 seconds East 17 feet; thence South 00 degrees 49 minutes 18 seconds West 1835.59 feet; thence North 88 degrees 39 minutes 42 seconds West 682.52 feet; thence South 01 degrees 32 minutes 29 seconds West 649.34 feet; thence North 89 degrees 33 minutes 08 seconds West 2570.63 feet; thence North 00 degrees 54 minutes 00 seconds East 1844.49 feet; thence along curve to the right, radius 775.51 feet, chord bears North 12 degrees 09 minutes 00 seconds East 302.59 feet, distant of 304.54 feet; thence North 23 degrees 24 minutes 00 seconds East 249.74 feet; thence along curve to the left, radius 861.51 feet, chord bears North 12 degrees 09 minutes 00 seconds East 336.14 feet; distant of 338.31 feet; thence North 00 degrees 54 minutes 00 seconds East 499.75 feet; thence South 89 degrees 00 minutes 02 seconds East 2385.96 feet to beginning, except that part taken for THE MAPLES OF NOVI, MAPLE GREENS, Oakland County Condominium Plan No. 628, and THE MAPLES OF NOVI, MAPLE HILLS, Oakland County Condominium Plan No. 627 and THE MAPLES OF NOVI, MAPLE POINTE, Oakland County Condominium Plan No. 709, and THE MAPLES OF NOVI, MAPLE HEIGHTS, Oakland County Condominium Plan No. 750.

[22-02-200-017]

NOVI

22-02-200-018

GRECO

Exhibit B

See Ord. 91-18,100

**ARTICLE 27. PLANNED UNIT
DEVELOPMENT (PUD)**

Sec. 2700. PUD regulations.

1. *Purpose and Location of a PUD.* The general purpose of a PUD development is to allow innovative and efficient-land use development which will protect the natural environment conserve natural resources and energy, and insure compatibility of proposed PUD development with adjacent uses of land and to promote the use of land in a socially and economically desirable manner. A PUD shall be located in areas of the City designated on the City's Master Plan as suitable and desirable for such development. An application for a PUD district in all other locations shall either follow or proceed simultaneously with an amendment to the Master Plan. If the PUD request is not approved, the underlying zoning district remains in place and the property can be developed pursuant to existing zoning requirements.

2. *District Regulations.*

- a. *General.* All uses, structures, and properties shall comply with all regulations in Section 2400, Schedule of Regulations and with all other regulations and requirements of Ordinance No. 84-18, as amended, except as provided in this Section.
- b. *Minimum PUD Area.* The minimum PUD area to be developed under the regulations of this Section shall be twenty (20) acres, provided, however, that the minimum PUD area may be waived by the City Council if the parcel in question has unique characteristics such as, but not limited to, significant topographic change, significant trees or wooded areas, wet lands or poor soil conditions on portions of the property, water courses or utility easements crossing the parcel, unusual shape or proportions, and isolation from other undeveloped or developable lands. In such case, the applicant shall submit information to the City Council to support the request for a waiver of the minimum PUD size requirements. The City Council shall consider the request and act thereon, and shall inform the applicant of the action in writing. The request for a

waiver and the City Council's action shall be made prior to the applicant's submittal of application for a PUD district classification. The City Council shall not consider any request for a waiver in the twenty (20) acre minimum until it has received a recommendation from the Planning Commission on said request.

c. *Mixing of Uses.*

- (1) A residential area, designated on a proposed site plan, may contain one or more types of dwelling units, provided that such combination of dwelling unit types will not interfere with orderly and reasonable platting of an area, if such area is to be platted.
- (2) Single family detached dwelling units shall comprise not less than twenty (20) percent of all dwelling units in a PUD.
- (3) Multiple-family dwelling units may be located in buildings containing, or intended to contain, commercial and/or office activities, provided that commercial uses shall be permitted only on the first, ground, or main floor, however defined. Dwelling units shall not be permitted on any floor on which commercial and/or offices are located or intended to be located.
- (4) Home occupations shall not be permitted in any dwelling unit, including a manufactured housing unit, other than a single-family detached dwelling unit.
- (5) Commercial and/or office uses shall be permitted in such areas and size as are necessary or desirable to serve the residential development of the same PUD district provided such district is at least two hundred (200) acres in size.

d. *Density Regulations.*

- (1) The maximum permitted residential density for a PUD district shall not exceed the average residential density for the area included in the PUD as shown on the City's Master Plan.
- (2) The maximum lot coverage of all uses in the PUD district including accessory buildings shall not exceed twenty-five

- (25) percent. For example, the total "foot print" of all buildings, structures and accessory buildings and structures in a PUD development of one hundred (100) acres could not exceed one million eighty-nine thousand (1,089,000) square feet.
- (3) The maximum floor area ratio (FAR) for all uses in the PUD district shall not exceed 0.35. For example, in an one hundred (100) acre PUD development the maximum floor area for all floors in residential and non-residential buildings could not exceed one million five hundred twenty-four thousand six hundred (1,524,600) square feet.
 - (4) Land areas to be used in calculating gross densities, ground floor coverages, and floor areas as provided in this Section shall each be delineated on the preliminary site plan, the phasing plan and the final site plan, so that the acreage and density computations can be confirmed.
 - (5) The land area used for calculating gross residential density shall include the total residential land area designated on the preliminary site plan or final site plan, less any area within existing public street rights-of-way.
 - (6) The horizontal surface area of lakes, streams, ponds (natural, man-made, or storm water retention), marshlands, and similar areas may be included in the acreage used for calculating gross residential density if fifty (50) percent of the frontage of such areas are part of lands devoted to parks and open space used for and accessible by residents of the PUD.
 - (7) Lot coverage and FAR calculations for residential structures shall be based upon the acreage designated for gross residential density, lot coverage and FAR calculations for nonresidential uses shall be based upon land areas including acreage for private drives, parking and loading areas, open spaces around structures, landscape areas, and similar areas, but not including acreage in existing public street right-of-ways.
 - (8) Land once used to provide acreage sufficient to meet density regulations in a project within a PUD shall not again be used to compute density in another project unless the gross and net densities, lot coverage, and FAR of the subject project and all previous projects are maintained at or less than the limits established in the approved area plan.
 - (9) Top decks of underground parking structures may be included in the land area used in density calculations if such area is fully landscaped and is not used for circulation and parking of vehicles.
 - (10) The lot coverage and FAR for the PUD shall include estimated ground floor area and total floor area for the single-family detached dwelling units proposed in the PUD. The applicant shall list such estimated floor areas, and shall provide backup information to justify those estimates.
- e. *Yard Setbacks.*
- (1) A yard setback fifty (50) feet wide shall be provided along the perimeter of the PUD district fronting on a public street.
 - (2) A yard forty (40) feet wide shall be provided along the perimeter of the PUD district not fronting on a public street. Such yard shall be designed and landscaped as a buffer strip; parking lots and driveways shall not be permitted in such yard, except that drives may cross such yard.
 - (3) A yard at least thirty-five (35) feet wide shall be provided along the right-of-way of a collector street proposed within the PUD, and a yard fifty (50) feet wide shall be provided along the right-of-way of a major thoroughfare proposed within the PUD.
 - (4) A landscaped yard at least ten (10) feet wide shall be provided between a parking lot of five (5) or more spaces and a property line within the PUD, and

twenty (20) feet from the perimeter property line of the PUD, except when adjacent to a public street right-of-way line, existing or proposed, in which case the preceding setbacks shall apply.

- (5) A transition strip at least forty (40) feet wide shall be required on any commercial or office site when adjacent to a residential area, school site, park, and similar areas. Such strips shall be landscaped with trees, shrubs, mounds, ground covers, and other materials. The distance between any residential building and a nonresidential building shall not be less than one hundred fifty (150) feet unless waived by the City Council after recommendation by the Planning Commission.
- (6) The preceding yard requirements, except those in Section 2700.2,3 (1) and (2), herein, may be modified or waived when approved by the City Council upon recommendation of the Planning Commission. The modification or waiver shall be justified by the applicant and shall be based upon findings that topographic conditions, existing trees and other vegetation, proposed land grading and plant materials, or other site conditions perform the same functions as the required yards. Such modifications or waivers shall be clearly shown on the approved area plan.
- (7) All required yards shall be landscaped and adequately and permanently maintained by the property owner, tenant, or organization responsible for maintaining common areas as provided in Section 2509.

f. *Distances Between Buildings.*

- (1) Any single-family dwelling structure shall be located at least twenty (20) feet from any other single-family dwelling structure unless structurally attached thereto.
- (2) The location of buildings and uses and the distances between buildings shall be clearly shown on the area plan and

shall control the development and continued use of the property.

- (3) Distances between the buildings other than single family dwelling structures shall conform to the requirements for such uses where first permitted in Ordinance No. 84-18, as specified in Section 2400.
- g. *Height.* Maximum height of buildings in the PUD district shall be thirty-five (35) feet or three (3) stories or as regulated by the FAR, whichever is lower.
- h. *Circulation and Access.*
- (1) Each lot, principal building and principal use within a PUD district shall have vehicular access from a public street. All such streets shall be designed and constructed in accordance with the City of Novi Design and Construction Standards.
 - (2) The City Council, upon Planning Commission recommendation, may permit certain lots, principal buildings or principal uses to maintain vehicular access solely to a private street, provided that (a) such private street is constructed in accordance with the City of Novi Design and Construction Standards and (b) the continued maintenance of such private streets as common areas is provided for in accordance with Subsection 2700-8.
 - (3) The standards for the design and construction of private streets may be modified where strict application of the provisions would result in practical difficulties or undue hardship to the developer, provided that the City Engineers determine that the proposed modification will adequately provide the anticipated service required. Where such modification is permitted, the City of Novi may, as a condition to subsequently proposed dedication of such streets, require the owner to bear the full expense of reconstruction or other action necessary to bring the streets into compliance with the design and construction standards.

- (4) Where deemed necessary by the City Council upon recommendation of the Planning Commission, each lot or principal building in a PUD district shall have pedestrian access from a public or private sidewalk as part of the area plan. All parts of the PUD shall be interconnected by a nonmotorized safety path which will provide for the necessary safe, and convenient movement of the pedestrians. A bicycle path system shall also be provided in the PUD which may be part of the nonmotorized safety path system.
- (5) An individual dwelling unit in any single-family, two-family, townhouse, manufactured housing unit, or similar residential structure shall not have direct access to a major thoroughfare or collector street.

i. *Utilities.*

- (1) Each principal building in a PUD district shall be connected to public water and sanitary sewer lines.
- (2) Each site in a PUD district shall be provided with adequate storm drainage. Open drainage courses and storm water retention ponds may be permitted by the City Council upon recommendation by the City Engineering Consultant consistent with the City's Stormwater Management Plan.
- (3) Electrical, telephone, and cable television lines shall be underground. Surface-mounted transformers and similar equipment for the underground wires shall be shown on the final site plan and shall be landscaped and screened from view.
Location should be flexible and shall impose minimum environmental impact.

j. *Open Space Regulations.*

- (1) Buildings, parking lots, drives, and similar improvements may be permitted in open space areas if related and necessary to the functions of the open space. Other buildings and improvements shall be prohibited therefrom. Any permit-

ted uses shall be designated as being available to the public or Property Owners Association.

- (2) Open space areas shall be conveniently and equitably located throughout the PUD in relation to the location of dwelling units and natural features.
- (3) Open space areas shall have minimum dimensions which, in the Planning Commission's opinion, are usable for the functions intended and which will be maintainable.
- (4) There shall be a concerted effort to create focal points of interest in entry points to the PUD through use of art, civic design, enhancement of natural landscape, and vistas.
- (5) The City Council may require, upon recommendation of the Planning Commission, that natural amenities such as ravines, rock outcrops, wooded areas, tree or shrub specimens, unique wildlife habitats, ponds, streams, and marshes be preserved as part of the open space system of the PUD.

k. *Phasing.* Development within a PUD district may be phased as delineated on the approved area plan. Phasing shall be subject to the following requirements:

- (1) Any phase containing commercial and/or office uses shall have a residential land area containing at least one hundred (100) dwelling units.
- (2) A phase shall not be dependent upon subsequent phases for safe and convenient vehicular and pedestrian access, off-street parking, adequate utility services, and open spaces and recreation facilities, and shall be capable of substantial occupancy, operation, and maintenance upon completion of construction and development of that phase.
- (3) The City Council, upon recommendation of the Planning Commission, may require that development be phased so that City, school districts, and County property tax revenues resulting from such development will generally balance the expenditures required by pub-

lic agencies to properly service that development so that serious overloading of utility services and community facilities will not result, so that the various amenities and services necessary to provide a safe, convenient, and healthful residential environment will be available upon completion of any one phase. The Planning Commission may require the applicant to provide housing and commercial market analyses, traffic studies, and other information necessary for the Commission to properly and adequately analyze a PUD project for recommendation to the City Council with respect to this requirement.

- (4) The Planning Commission may require, as part of a final site plan review of a development phase, that land shown as common open space on the approved area plan be held in reserve as part of a phase to be developed, in order to guarantee that density limits for the entire PUD as shown on the approved area plan will not be exceeded when the subject phase is completed. Such reserved land may be included in subsequent phases if the density regulations will not be exceeded upon completion of that phase or if other land is similarly held in reserve.
- (5) No building permits shall be issued for any commercial or office use in a PUD until building permits have been issued for at least fifty (50) dwelling units or one-quarter ($\frac{1}{4}$) of the total number of units in the approved area plan, whichever is less.

1. *Off-Street Parking and Loading/Unloading Requirements.* Off-street parking and loading/unloading requirements set forth in Section 2505, shall apply except that the number of spaces required may be reduced in a PUD if approved by the City Council, upon recommendation of the Planning Commission, as part of the area plan. Such reduction shall be justified by the applicant and shall be based upon a finding that sufficient parking will be available through

sharing of spaces by different uses, that the parking requirement is excessive for the type of use proposed, that walk-in trade for commercial centers will reduce parking demand, or similar factors.

- m. *Compliance with Area Plan and Site Plans.* A parcel of land that has been the subject of PUD approval shall not thereafter be developed or used except in accordance with the approved area plan and all preliminary and final site plans approved subsequent thereto, absent amendment in accordance with Sec. 2700-9. The approved area plan, preliminary site plans and final site plans shall be binding upon all subsequent owners of the parcel or portions thereof.
- n. *Construction.* No construction, grading, tree removal, soil stripping, or other site improvements or changes shall commence, and no permit shall be issued therefor, on a lot with or under application for a PUD classification, until the requirements of this Section have been met.

3. *Pre-Application Conference.*

- a. A potential applicant for a PUD district classification shall request a pre-application conference with City officials prior to filing an application. The request shall be made to the Department of Planning and Community Development which shall set a date and shall inform the Mayor, the City Council and Planning Commission members of the conference and invite their attendance. The Department shall also invite other officials who might have an interest in the proposed development, or who might assist the City in the review process.
- b. The purpose of the meeting is to inform City and other officials of the concept of the proposed development and to provide the potential applicant with information regarding land development policies, procedures, standards, and requirements of the City and other agencies in terms of the proposed development. To this end, the applicant is encouraged to present schematic plans, site data, and other information that will explain the proposed development.

- c. Statements made in the conference shall not be legally binding commitments.
4. *Area Plan Requirements.*
- a. *Procedure for Petition and Area Plan Approvals; Public Hearing Requirement.*
- (1) Application for a PUD district classification shall be for an amendment to the City Zoning Map and approval of an area plan. An application for a PUD district classification for a parcel of land may be made by the owner(s) of record or by any person(s) acting on behalf of the owner(s) of record of the subject parcel. The applicant shall have a substantial interest in the subject property prior to filing for a PUD district classification; said filing shall be in the name of and signed by all owners. The applicant shall provide evidence of full ownership of all land in a PUD, such as legal title or execution of a binding sales agreement, prior to approval of the petition and area plan by the City Council.
 - (2) The application shall be filed with the City Clerk who shall transmit the petition and the area plan to the Department of Planning and Community Development. The application must be filed at least three (3) weeks prior to the Planning Commission meeting at which it is first to be considered. Fees shall be paid to the City Treasurer; no transmittals shall be made unless the required fees have been paid in full.
 - (3) Upon receipt of the petition and plan from the City Clerk, the Planning Commission shall undertake a study of the same and shall complete said study within ninety (90) days of receipt by the Planning Commission. The Planning Commission shall advise the applicant in writing of any recommended changes in the area plan as are needed to conform to the regulations and standards of Ordinance No. 84-18.
 - (4) The Planning Commission shall, at the meeting at which it receives the petition and area plan from the Clerk, establish a public hearing on the petition and area plan, said hearing to be held within thirty-one (31) days of the date received by the Planning Commission. The Planning Commission shall give notice of the public hearing as required in Section 3006.
 - (5) At the public hearing the applicant shall present evidence regarding the following characteristics of the proposed development:
 - (a) general character and substance;
 - (b) objectives and purpose to be served;
 - (c) compliance with regulations and standards;
 - (d) scale and scope of development proposed;
 - (e) development schedules;
 - (f) compliance with the City's Master Plan;
 - (g) demonstration that the proposed PUD represents a recognizable and substantial benefit to the residents and users of the PUD and to the City which would not be feasible or likely occur without the PUD being developed;
 - (h) demonstration that there would be no significant or material adverse effect by the PUD on the City's Master Plan;
 - (i) a showing that there would be no unreasonable impacts by the PUD on public utilities, facilities or services, on surrounding properties, or on the natural environment;
 - (j) a showing that there would be no unreasonable negative economic impact on surrounding property values or for City as a whole;
 - (k) evidence that the basic integrity of required open space, and existing woodlands and wetlands on site are substantially preserved; and
 - (l) status of single ownership or control of PUD such that there is a single person or entity hearing responsibility for completing the PUD

in conformity with the approved plan.

To this end, factual evidence and expert opinion shall be submitted by the applicant in the form of maps, charts, reports, models, and other tangible materials, and in the form of testimony by experts such as lawyers, architects, engineers, landscape architects, realtors, professional community planners, and economists as will clearly state for the record the full nature and extent of the proposal. Tangible materials shall be submitted in sufficient quantity for review by the Planning Commission and other officials.

- (6) At the public hearing or within a reasonable time following the public hearing, the Planning Commission shall make its final consideration of the request, and shall recommend to the City Council denial, approval, or approval with conditions, of the request. The Planning Commission shall have prepared a report stating its conclusions on the PUD request, the basis for its recommendations, its recommendations, and any conditions relating to an affirmative recommendation. If an amendment to the zoning ordinance is necessary to permit the proposed PUD, the Planning Commission shall also make a recommendation on the proposed zoning amendment. The public hearing held pursuant to this subsection shall also serve as the public hearing for the proposed zoning amendment.
 - (7) The City Council shall be provided with a copy of the Planning Commission's report, a summary of comments received at the public hearing, minutes of all proceedings, and all documents related to the PUD request. Within a reasonable time of the action of the Planning Commission, the City Council shall deny, approve or approve with conditions, the request.
 - (8) If the petition and area plan are approved by the City Council, the applicant shall review the petition and area plan in their approved form. The applicant and all owner(s) of record or the legal representative of the owner(s) of record of all property included within the PUD shall then sign an agreement that the approved petition and area plan, and the conditions of approval, shall be binding upon the applicant and owner(s) of record and upon their heirs, successors, and assigns. The petition and area plan shall not be officially approved nor may the applicant submit a preliminary site plan, where applicable, or a final site plan for the lot or any part thereof, until said agreement has been signed as required herein and has been received by the City Clerk.
 - (9) Within three (3) days of the official approval of the petition and the area plan by the City Council, the City Clerk shall attest the PUD district designation for the lot in question on the Zoning Map.
 - (10) The approved area plan and signed agreement shall be recorded by the petitioner with the Oakland County Register of Deeds within ten (10) days of the date of approval of the petition and the area plan by the City Clerk. The petitioner shall immediately provide a certified copy of the recorded documents to the City Clerk.
 - (11) The City Council may enforce any or all provisions of the approved area plan and agreement, and conditions of approval, against the petitioners, owners, successors, assigns, or agents.
 - (12) Performance guarantees to assure compliance with the approved area plan and conditions of approval may be required by the City Council at the time of approval of the area plan. Guarantee to assure completion of site improvements shall be provided in accordance with Section 3005,8,c.
- b. (1) An area plan for a PUD consisting of eighty (80) acres or less shall contain all the information required for a preliminary site plan as set forth in Sec-

- tion 2516a and the City's Site Plan Manual, and the following information:
- (a) density of use for each use area of the site;
 - (b) location, size, and uses of common open space and recreation areas;
 - (c) general description of the organization to be established to own and maintain common open space;
 - (d) general description of covenants, grants, easements, or other restrictions to be imposed upon land or buildings, including easements for public utilities, by-laws, and articles of incorporation for any home owners' association or cooperative association;
 - (e) description of applicant's intentions regarding selling or leasing of all or portions of land in the PUD and of dwelling units;
 - (f) description of all proposed nonresidential uses, including types of stores and offices;
 - (g) general landscape concept showing woodlands and vegetation to be preserved or added, topography, and similar features;
 - (h) recognition of existing wetlands;
 - (i) delineation of areas to be subdivided; and
 - (j) average initial sales prices of dwelling units for sale and/or average initial rents of rental dwelling units.
- (2) An area plan for a PUD consisting of more than eighty (80) acres shall contain the information as required in Section 2700,4,b(1)(a) through (j), preceding, and the following information:
- (a) location, type, and land area of each land use; density of dwelling units (dwelling units per acre); type of dwelling units;
 - (b) general location and right-of-way width of proposed public streets; general location and surface width of major private streets/drives;
 - (c) general location of proposed parking areas and approximate number of spaces to be provided in each area;
 - (d) general delineation of areas of intended cutting or filling; existing natural features to be preserved or removed; location of existing structures, streets, and drives; location and purpose of existing easements;
 - (e) adjacent land uses;
 - (f) location and area of each development phase; summary of land use information as required in Subsection (a) preceding for each phase; and
 - (g) general description of proposed water, sanitary sewer, and storm drainage systems.
- c. *Standards for Petition and Area Plan Review.* The Planning Commission's report to City Council shall include its determination as to whether the petition and area plan meet the following standards:
- (1) The proposed development shall conform to the City Master Plan or any part thereof, or represents land use policy which, in the Planning Commission's opinion, is a logical and acceptable change in the Master Plan.
 - (2) The proposed development shall conform to the intent and to all regulations and standards of the PUD district and of Ordinance No. 84.18.
 - (3) The proposed development shall be adequately served by public facilities and services such as: highways, streets, police and fire protection, drainage courses, water and sanitary sewer facilities, refuse disposal, or that the persons or agencies responsible for the proposed development shall be able to provide in a manner acceptable to the City Council, any such facilities and services.
 - (4) The common open space, any other common properties, individual properties, and all other elements of the PUD are so planned that they will achieve a unified open and recreation area sys-

- tem with open space and all other elements in appropriate locations, suitably related to each other, the site, and the surrounding land.
- (5) The applicant shall have made provision, satisfactory to the City Council, to assure that those areas shown on the plan for use by the public or by occupants of the development will be or have been irrevocably committed for that purpose. Provision, satisfactory to the City Council, shall have been made to provide for the financing of any improvements shown on the plan for open space area, and common use areas which are to be included within the development, and that maintenance of such improvements is assured by a means satisfactory to the City Council.
 - (6) The location of the proposed uses, layout of the site, and its relation to streets giving access to it, shall be such that traffic to, from, and within the site and assembly of persons in connection therewith, will not be hazardous or inconvenient to the project or the neighborhood. In applying this standard the Planning Commission shall consider, among other things, convenient routes for pedestrian traffic, particularly of children, relationship of the proposed project to major thoroughfares and street intersections, and the general character and intensity of the existing and potential development of the neighborhood.
 - (7) The mix of housing unit types and densities, and the mix of residential and nonresidential uses shall be acceptable in terms of convenience, privacy, compatibility, and similar measures.
 - (8) Where applicable, the Planning Commission shall determine that noise, odor, light, or other external effects from any source whatsoever, which is connected with the proposed use, will not adversely affect adjacent and neighboring lands and uses.
 - (9) The proposed development shall create a minimum disturbance to natural features and land forms.
 - (10) Streets shall follow topography, be properly spaced, and be located and aligned in accordance with the intended function of each street. The property shall have adequate access to public streets. The plans shall provide for logical extensions of public streets and shall provide suitable street connections to adjacent parcels, where applicable.
 - (11) Major pedestrian circulation shall be provided for within the site, and shall interconnect all residential areas, community areas, and commercial and other services where applicable. The pedestrian system shall provide a logical extension of pedestrian ways from outside the site and shall provide pedestrian connections to the edges of the site, where appropriate.
- d. *Effect of Approval of Petition and Area Plan.* Approval of the petition and area plan by the City Council shall have the following effects:
- (1) Approval shall confer a right to the applicant, for a period of three (3) years from the date of approval, that existing zoning regulations as they apply to the land included in the petition, and the area plan, shall remain unchanged, provided that required subsequent planning and/or construction are diligently pursued in accordance with the approved area plan within this time period.
 - (2) Approval of an area plan shall indicate the City Council's and Planning Commission's acceptance of uses, building location in the case of a PUD of eighty (80) acres or less in area, layout of streets, dwelling unit count and type, floor areas, densities, and all other elements of the area plan.
 - (3) Approval of an area plan of eighty (80) acres or less in area shall authorize the applicant to file an application for

final site plan approval for all or any phase of the development shown on the approved area plan. Final site plans shall not be required of any area which is to be platted for single-family detached residential use. Such approval shall also authorize construction to begin onsite improvements such as streets and drives, parking lots, grading, installation of utilities, and building foundations, provided the City Council gives permission for such construction after recommendation by the Planning Commission. Grading, tree removal, and other changes in the existing topography and natural features shall be limited to the minimum required to permit construction as authorized in this Sub-Section. Construction shall be limited to those elements whose location, size, alignment, and similar characteristics will not require review as part of a final site plan or any plat. Engineering plans and specifications shall be approved, and performance guarantees shall be provided as required by Section 3005,8,c before such construction may commence.

- (4) Approval of an area plan of more than eighty (80) acres shall authorize the applicant to file a preliminary site plan on each phase of the proposed development as delineated on the approved area plan and phasing plan. No construction shall begin within any phase until after a preliminary site plan is approved.
- (5) Approval of an area plan by the City Council shall authorize the applicant to file a preliminary plat for tentative approval in accordance with the Subdivision Control Act (Act 288, P.A. 1967, as amended), and the City's Subdivision Control Ordinance No. 77-45 [Code of Ordinances, Chapter 32, Article III, as amended, for all or parts of the areas included within the PUD which are to be platted.
- (6) No deviations for the area plan approved by the City Council shall be permitted except as provided in this Section.

5. *Preliminary Site Plan Requirements.* A preliminary site plan shall be submitted for approval for each phase of development as delineated on the approved area plan only for PUDs consisting of more than eighty (80) acres of land area. The preliminary site plan shall be submitted and reviewed, and shall meet all provisions of Section 2516. In addition to these provisions, the preliminary site plans shall conform to the approved area plan.

6. *Final Site Plan Requirements.* A final site plan shall be approved for each phase of a PUD as delineated on the approved area plan. Each final site plan shall be submitted and reviewed, and shall meet all provisions of Section 2516. Landscaping plans shall be submitted and be in accordance with the standards set forth in Section 2509. Landscaping within a given phase shall conform to those requirements applicable to the type of development within that phase, i.e., detached single-family development shall conform to the requirements applicable to subdivisions, etc. The Planning Commission shall transmit the approved final site plan to the city Council for its information.

7. *Subdivision Plats.*

- a. A preliminary plat for all or part of a PUD may be submitted for review and approval following approval of the PUD area plan by the City Council.
- b. The City Council shall have the authority to deny or table an application for tentative approval of a preliminary plat if, in its opinion and after a report thereon from the Planning Commission, such plat will result in premature development of the area involved or will result in improper scheduling of various public improvements such as, but not limited to, roads, utilities, and schools.
- c. A preliminary or final site plan shall not be required for any parts of a PUD which are to be platted for single-family detached residential development.
- d. Plats in a PUD shall conform to the Act 288, P.A. 1967, as amended, the City Ord-

nance No. 77-45 [Code of Ordinances, Chapter 32, Article II], as amended, the regulations of the PUD district, and the approved area plan.

8. *Common Areas and Facilities.*

- a. The location, extent, and purpose of all common areas and facilities shall be clearly identified on the area plan, on the preliminary site plan where applicable, and on each final site plan. All such areas and facilities which are to be conveyed to any agency if accepted by said agency, shall be clearly identified accordingly on the final site plan(s).
 - b. All public areas and facilities which are to be dedicated to and occupied by a public agency shall be so dedicated and accepted by said agency of a final site plan, unless a binding agreement for dedication is provided in lieu of dedication.
 - c. Legal instruments setting forth a plan or manner of permanent care and maintenance of common areas and facilities shall be submitted to the City Attorney for review as to legal form and effect, and to the City Council or Planning Commission, whichever is applicable, for review, as to the suitability of such areas and facilities for the proposed use. Said legal instrument shall become a part of the approved plat or final site plan, whichever is applicable.
 - d. Where Property Owners Associations (POA) are to be used to maintain and preserve common areas and facilities, the developer shall file a declaration of covenants and restrictions that will govern the POA(s), same to be filed with the area plan application. The provisions shall include, but shall not be limited to the following:
 - (1) A POA shall be established before any homes or businesses in the PUD are sold or leased.
 - (2) Membership in the POA shall be mandatory for each buyer and for any successive buyer and shall be so specified in the covenants.
 - (3) Restrictions shall be permanent.
 - (4) The POA shall be made responsible for liability insurance, local taxes, and maintenance of common areas and facilities.
 - (5) Property owners shall pay their pro rated share of the costs and it shall be so specified in the covenants. Assessments levied by the POA can become a lien on the property.
 - (6) A POA shall have authority to adjust the assessment to meet changed needs.
 - (7) The City Council shall review the proposed by-laws and articles of incorporation of any POA prior to approval of the area plan.
 - e. The permanence and integrity of common open space may be secured by conveyance of development rights of such areas to a public agency if accepted by said public agency. Such rights shall not include those needed to improve the common open space areas in accordance with an approved area plan, approved preliminary site plan, where applicable, phasing plan, and final site plan.
 - f. Common areas and facilities may be deeded to a trustee who shall be responsible for the collection and disbursement of funds, and who shall account to the individual owners as to the use of their monies. If a trustee is utilized, the trustee shall employ a professional manager. The trustee may be a home owners' association, a trust company, or similar organization.
 - g. Easements shall be given to each individual owner for the use of such areas and facilities.
 - h. Where facilities are to be constructed as part of the common area open space system performance guarantees shall be provided as required by Section 3005,8,5.
9. *Amendment and Revisions.*
- a. A developer may request an amendment to an approved area plan, an approved preliminary site plan, or an approved final site plan. Any amendment to an approved preliminary or final site plan which results

- in a major change in the approved area plan, as defined in this Section, shall require an amendment to the approved area plan. All amendments shall follow the procedures and conditions herein required for original submittal and review, in full.
- b. A request for amendment shall be made in writing to the Planning Commission and shall clearly state the reasons therefor. Such reasons may be based upon such considerations as changing social or economic conditions, potential improvements in layout or design features, unforeseen difficulties, or reasons mutually affecting the interests of the City and developer, such as technical causes, site conditions, state or Federal projects and installations, and statutory revisions. The Planning Commission, upon finding such reasons and requests reasonable and valid, shall so notify the applicant in writing. Following payment of the appropriate fee as required for original submittal, the developer shall submit the required information to the Planning Commission for review. If the approved plan is to be amended, the Planning Commission shall immediately notify the City Council.
 - c. Modifications to be considered major changes, for which amendment is required, shall include one or more of the following:
 - (1) change in concept of the development;
 - (2) change in use or character of the development;
 - (3) change in type of dwelling unit as identified on the approved area plan;
 - (4) change in the number of dwelling units;
 - (5) change in nonresidential floor area of over five (5) percent;
 - (6) change in lot coverage and FAR of the entire PUD of more than one (1) percent;
 - (7) rearrangement of lots, blocks, and building tracts;
 - (8) change in the character or function of any street;
 - (9) reduction in land area set aside for common open space or the relocation of such area(s); or
 - (10) increase in building height.
 - d. A developer may request Planning Commission approval of modifications which constitute minor changes, as defined in this Section, in an approved area plan, in an approved preliminary site plan, where applicable, or in an approved final site plan. The Planning Commission shall notify the City Council and any other applicable agency of its approval of such minor changes. The revised drawings as approved shall each be signed by the applicant and the owner(s) of record or the legal representative(s) of said owner(s).
 - e. Modifications to be considered minor changes, for which approved plans may be revised rather than amended, shall include, among other similar modifications, the following:
 - (1) a change in residential floor area;
 - (2) a change in nonresidential floor area of five (5) percent or less;
 - (3) minor variations in layout which do not constitute major changes; and/or
 - (4) a change in lot coverage and FAR of the entire PUD of one (1) percent or less.
 - f. Reserved.]
 - g. The Planning Commission shall have the authority to determine whether a requested change is major or minor, in accordance with this Section. The burden shall be on the applicant to show the reasons for any requested change owing to changed physical or economic factors, or consumer demand.
10. *Expiration of Plan Approvals.*
- a. An area plan shall expire eighteen (18) months after approval by the City Council unless a final site plan for the first phase of the project, or the entire property in the PUD if development is not to occur in phases, is submitted to the Planning Commission for review and approval. Thereafter the final site plan for each subsequent phase shall be submitted to the Planning Commission for review and approval within two (2) years of the date of approval of the immediately preceding final site plan.

- b. A final site plan for the entire area classified as a PUD, or all final site plans for all phases thereof, shall have received approval of the Planning Commission within three (3) years, in the case of PUD of eighty (80) acres or less in area, or within five (5) years for a PUD of more than eighty (80) acres in area, of the date to City Council approval of the area plan. All final plats in the PUD shall have been approved and recorded within the preceding time periods.
- c. Expiration of an approved area plan as set forth in Section 2700,10,a, preceding and failure to obtain approval of final site plans and final plats as provided in Sections 2700,10, a and b, shall authorize the City Council to revoke the right to develop under the approved area plan, after a hearing, unless the developer has requested, and the City Council has approved an extension of time. (See SEC 2700,11.) Where the plan has been revoked the City Council may require that a new area plan be filed and reviewed in accordance with the requirements for the original application. Said expiration shall also authorize the City Council to initiate a zoning amendment to place the subject property into one or more zoning districts deemed by the City Council to be appropriate. Expiration of an approved area plan shall be duly noted on the Official Zoning Map, and shall be signed by the Mayor and attested by the City Clerk. The Building Inspector [Official] shall notify the City of the expiration of an approved area plan.
- d. Approval of a final site plan in a PUD shall expire and be of no effect one hundred eighty (180) days after the date of approval of the Planning Commission unless the Building Inspector [Official] shall have issued a building permit for the development authorized by said approved plan. A final site plan in a PUD shall expire and be of no effect five hundred forty-five (545) days after the date of approval by the Planning Commission unless construction is begun and is diligently pursued in accordance with the approved final site plan. Expiration of an approved final site plan shall authorize the Planning Commission to require filing and review of a new final site plan in accordance with the provisions of this Section.
- e. Development shall be completed within two (2) years of the date of approval of a final site plan. If said development is not so completed, the Planning Commission shall not review or approve final site plans for any subsequent phases of the PUD unless the developer has requested and the Planning Commission has approved an extension of time. (See SEC. 2700,11.)
- f. If an approved area plan or an approved final site plan has expired as set forth in this Section, no permits for any development or use of the property included in the PUD shall be issued until the applicable requirements of this Section have been met.
11. *Extension of Time Limits.* Time limits set forth in this Section may be extended upon showing by the developer that changed physical or economic factors, or consumer demand require a time extension, and by written agreement, between the applicant and the City Council, in the case of area plans, and between the applicant and the Planning Commission, in the case of final site plans.
12. *Modifications During Construction.* All site improvements and building construction shall conform to all approved plans required in this Section which authorizes such improvements and construction, and to all approved engineering and architectural plans related thereto. If the applicant or developer makes any changes in the improvements and buildings during construction in relation to such approved plans he shall do so at his own risk, without assurance that the City Council, Planning Commission, or City Official, whichever is applicable, will approve such changes. Where field changes are necessary, the applicant or developer shall, if reasonably possible, first obtain approval from the appropriate body or official. If such prior approval cannot be obtained, and the changes are made, the applicant shall immediately notify the appropriate body or official of such changes and shall, as soon thereafter as is reasonable, submit as-built drawings of all

such changes. The City Council, Planning Commission, Building Director, or City Consulting Engineer, whichever is applicable, may require the applicant to correct any change made in the field without prior approval so as to conform to the approved plans.

13. *Performance Guarantees.* Performance guarantees to assure compliance with the approved area plan and conditions of approval may be required by the City Council at the time of approval of the area plan. Guarantees to assure completion of site improvements shall be provided in accordance with Section 3005,8,c.

14. *Violations.*

- a. An area plan, preliminary plan, or final site plan approved under the provisions of this Section shall have the full force of the Zoning Ordinance. Any violation of such approved plan shall be grounds for the City Council to order that all construction be stopped, and to order that building permits and certificates of occupancy be withheld until the violation is removed or adequate guarantee of such removal is provided to the City Council.
- b. Violations of any plan approved under this Section, or failure to comply with any requirements of this Section, including any agreements and conditions attached to any approved plan, shall be considered a violation of this Ordinance as provided in Section 3800.

(Ord. No. 86-18.28, Pt. I, 11-3-86; Ord. No. 88-18.63, Pt. II, 12-12-88; Ord. No. 90-18.94, Pt. IV, 10-1-90)

ARTICLE 28. RESERVED*

Secs. 2800—2803. Reserved.

*Editor's note—Ord. No. 88-18.59, Pt. I, adopted Sept. 12, 1988, repealed former App. A, Art. 28, §§ 2800—2803, relative to senior citizen housing, which derived from Ord. No. 87-18.41, Pt. I, adopted July 6, 1987, and Ord. No. 88-18.54, Pt. II, adopted April 18, 1988.

Supp. No. 14

ARTICLE 29. GENERAL EXCEPTIONS

Sec. 2900. Area, Height and Use Exceptions.

The regulations in this Ordinance shall be subject to the following interpretations and exceptions.

Sec. 2901. Essential Services.

Essential services serving the City of Novi shall be permitted as authorized and regulated by law and other ordinances of the Municipality. Overhead or underground lines and necessary poles and towers to be erected to service primarily those areas beyond the Municipality shall receive the review and recommendation of the Planning Commission to the City Council, and the review and approval, after public hearing, of the City Council. Such a review of the City Council shall consider abutting property and uses as they relate to easements, rights-of-way, overhead lines, poles and towers and further, shall consider injurious effects on property abutting or adjacent thereto and on the orderly appearance of the City.

Sec. 2902. Voting Place.

The provisions of this Ordinance shall not be so construed as to interfere with the temporary use of any property as a voting place in connection with a municipal or other public election.

Sec. 2903. Height Limit.

The height limitations of this Ordinance shall not apply to farm buildings, chimneys, church spires, flagpoles, public monuments or commercial wireless transmission towers; provided, however, that the Board of Appeals may specify a height limit for any such structure requires authorization as a conditional use and provided further that the height of any such structure shall not be greater than the distance to the nearest property line.

Sec. 2904. Lot Area.

Any lot existing and of record on the effective date of this Ordinance may be used for any principal use permitted in the district [in] which such lot is located, other than conditional uses for which

Exhibit C



Love, Trust & Exceptional Care



IXL Learning Center is an innovative community of childcare centers that embodies love, trust and exceptional care. Our committed team provides children with opportunities for growth and purposeful play through a wide variety of social and developmental experiences. We strive to create strong relationships with our children, families and teachers to build a solid early childhood foundation and a love of learning.

[More About IXL](#)

OUR LOCATIONS

Choose from one of our 7 locations across Southeast Michigan



BERKLEY



HOWELL



BIRMINGHAM



NORTHVILLE



TROY



HAMBURG



SOUTH LYON

IXL's COVID-19 Plan



OUR PURPOSE

IXL Learning Center is an innovative community of childcare centers that embodies love, trust and exceptional care. Our committed team provides children with opportunities for growth and purposeful play through a wide variety of social and developmental experiences. We strive to create strong relationships with our children, families and teachers to build a solid early childhood.



OUR STORY



OUR ADMIN TEAM



IXL

LITTLE SMARTIES

CURRICULUM

CREATING NEW EXPERIENCES FOR CONTINUED GROWTH & DEVELOPMENT OF OUR YOUNGEST LEARNERS

At IXL, we know that no two toddlers are alike. That's why we created our Little Smarties Curriculum, a teacher-developed program characterized by custom care for children in our Toddler classrooms. Built upon the Michigan Standards of Quality and our team's comprehensive knowledge of child development and education, Little Smarties ensures that your little smarty is safe, nurtured, and



MICHIGAN STANDARDS OF QUALITY

The State of Michigan's Standards of Quality are designed to guide the development of a high-quality early childhood education system. These standards are based on the most current research and best practices in the field of early childhood education. They are designed to ensure that all children, regardless of their background or abilities, have the opportunity to learn and grow in a safe, supportive, and stimulating environment. The standards are organized into four strands: Well-Being, Belonging, Exploration, and Contribution.

INFANT/TODDLER STANDARDS OF QUALITY STRANDS AREAS OF DEVELOPMENT:



WELL-BEING



BELONGING



EXPLORATION



CONTRIBUTION



COMMUNICATION

SOCIAL EMOTIONAL CURRICULUM

While safety, love, and compassion all play an important role in our classrooms, it's also crucial that our children feel heard and understood during their time at IXL. To accomplish this, we created our Social Emotional Curriculum. This empowering program supports a child's social emotional health and improves their capacity for self control, self confidence, trust, communication, and empathy. Emotions run wild during childhood, so every classroom provides our kiddos with a safe space for when they're feeling upset, need a moment to themselves, or have a problem to solve.







i am
HELPFUL







We believe that "math" and "fun" should work together. Beginning in our toddler rooms, we encourage the exploration of number recognition and counting skills, structuring each week around a specific number, color, and shape so that our toddlers have exposure to various math skills at an early age.

BUILDING A SENSE OF BELONGING

While every child is unique in their own special way, they all share the same inherent motivation to belong. At IXL, we aim to nurture that need for belongingness by honoring the following concepts:

- 1| Strong parent/teacher relationships & communication**
- 2| Family photos displayed on family bulletin board**
- 3| Name cards with pictures of each child to distinguish ownership in the classroom**
- 4| Child-created art displayed throughout each classroom**
- 5| Stuffed animals & other special nap time items brought in to offer comfort**
- 6| Opportunities for clean up and caring for their environment**
- 7| Special times to share including "show & tell" and "star of the week"**
- 8| Daily conversations incorporating home and family life**

MUSIC & FINGERPLAYS



Our IXL kiddos experience the magic of music daily as they learn new songs, dance to music, recite fingerplays, and become familiar with basic rhythm skills. Children benefit from musical exposure in many ways, but we like to highlight the following:

- 1) Increased development of large and small motor skills
- 2) Exploration of cause and effect
- 3) Improved social skills with teachers and peers
- 4) Positive emotional expression
- 5) Outlet for creativity



EARLY HANDWRITING WITHOUT TEARS

At this young level, the goal of Handwriting Without Tears is to get the children familiar with the basic pieces and terminology of the program. Handwriting Without Tears incorporates many readiness skills, including songs, spacial awareness, body part recognition and letter exposure. Each week, your toddler will focus on a different letter of the alphabet. These letters are broken up into four basic pieces, including big lines, little lines, big curves and little curves. Children at this age will not be able to form these specific pieces, however, they will continue to be introduced to this new terminology and concepts. As they progress through the Smart Start classrooms, they will have a basic familiarity with our handwriting program as well as letter recognition.

We will also give these young children ample fine motor opportunities by using different writing objects to scribble and color.

DISCOVERY & SENSORY



Kids are curious. There's no doubt about it. That's why we're big advocates of fueling their curiosity through sensory play and discovery. From scientific explorations to real world experiments to squishing mud between their fingers, our classrooms and curriculum are intentionally designed to satisfy the growing wonderment of your child and introduce them to the fascinating world around them.

SIGN LANGUAGE

Developing sign language skills as a young child is directly related to early speech development, increased vocabulary and reinforces concepts about the world around them. The main purpose of our sign language program is to give toddlers the tools they need to communicate their needs and wants effectively, without frustration.







**PREPARING YOUR CHILD ON THEIR PATH TO
SCHOOL READINESS AND LIFELONG LEARNING**

Derived from the Michigan Standards of Quality and our team's knowledge of early childhood development, IXL's Smart Start Curriculum was created to support a child's individual needs, reinforce skills needed for school readiness, and expose them to developmentally appropriate content. This curriculum incorporates IXL Phonics, Handwriting Without Tears and Touch Math into our lessons.

An important addition to this program is our Social Emotional Curriculum, an empowering program that supports a child's social emotional health and improves their capacity for self control, self confidence, trust, communication, and empathy.

MICHIGAN STANDARDS OF QUALITY

EARLY LEARNING EXPECTATIONS FOR 3 AND 4 YEAR OLD CHILDREN:



APPROACHES TO LEARNING



SOCIAL, EMOTIONAL & PHYSICAL HEALTH & DEVELOPMENT



EARLY LEARNING IN SCIENCE



EARLY LEARNING IN
SOCIAL STUDIES



CREATIVE ARTS



LANGUAGE & EARLY LITERACY



EARLY LEARNING IN
MATHEMATICS



TECHNOLOGY LITERACY-
EARLY LEARNING & TECHNOLOGY

SOCIAL EMOTIONAL CURRICULUM

While safety, love, and compassion all play an important role in our classrooms, it's also crucial that our children feel heard and understood during their time at IXL. To accomplish this, we created our Social Emotional Curriculum. This empowering program supports a child's social emotional health and improves their capacity for self control, self confidence, trust, communication, and empathy. Emotions run wild during childhood, so every classroom provides our kiddos with a safe space for when they're feeling upset, need a moment to themselves, or have a problem to solve.

Exhibit D



PARCEL #2
 FUTURE COMMERCIAL
 DEVELOPMENT
 ± 2.25 ACRES

PARCEL #1
 IXL LEARNING CENTER
 ± 2.35 ACRES

 FUTURE COMMERCIAL
 DEVELOPMENT
 ± 2.1 ACRES

INDEX OF DRAWINGS

- PAP1.1 AREA PLAN
- P1.1 CONCEPT SITE PLAN
- P2.1 CONCEPT FLOOR PLANS
- P4.1 EXISTING ELEVATIONS
- L-1.0 CONCEPT LANDSCAPE PLAN

IXL LEARNING CENTER

NOVI, MICHIGAN

OWNER/DEVELOPER:
 IXL LEARNING CENTER

PROPERTY USE PLAN
 SCALE: 1" = 200'



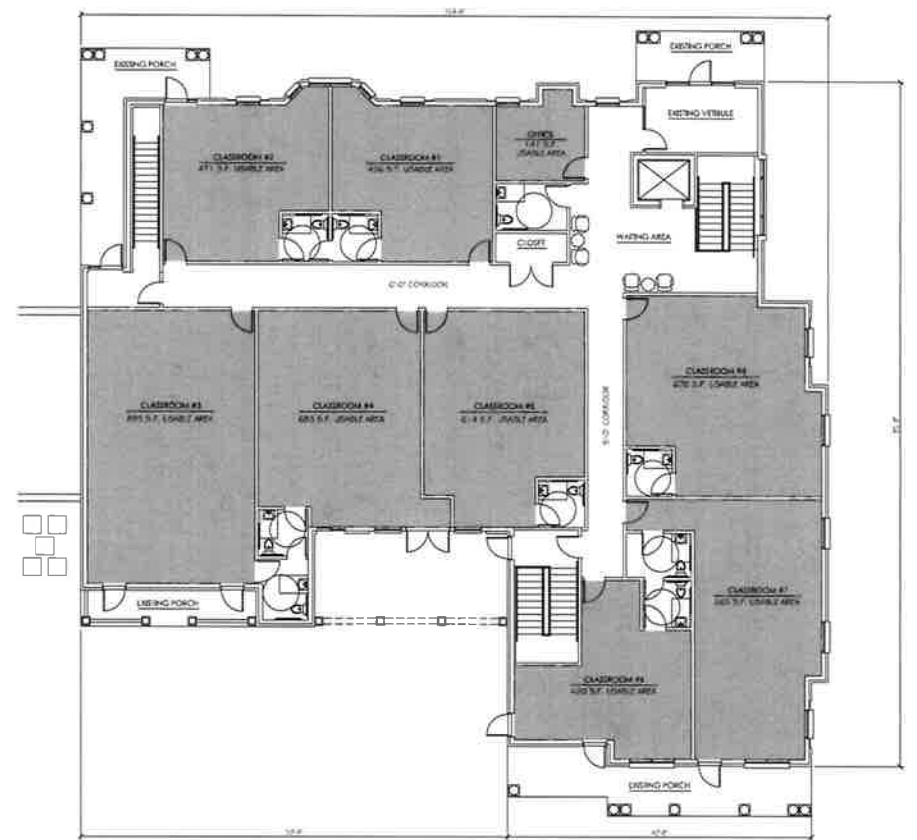
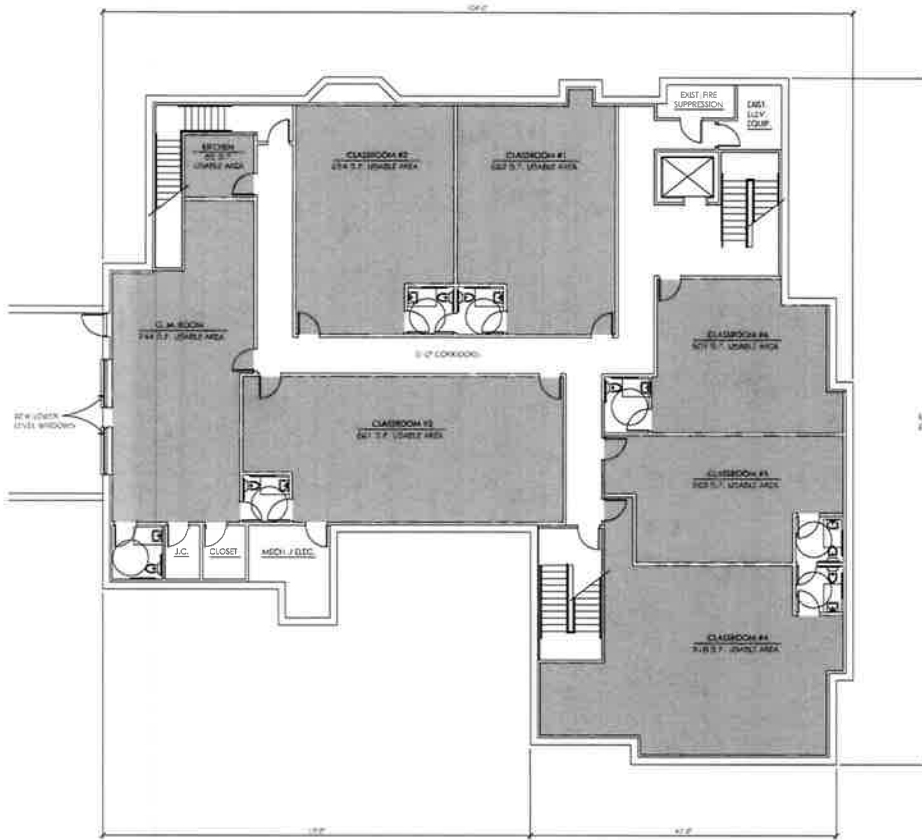
WAH YEE ASSOCIATES
 ARCHITECTS & PLANNERS

 4240 GRAND RIVER AVENUE, SUITE 200
 NOVI, MICHIGAN 48240
 PHONE 248-481-8140
 PROJECT NO. 1134

ISSUED
 PRE-APPLICATION
 SUBMITAL
 JAN. 28, 2021
 PLO AMEND SUB
 APRIL 1, 2021

PRELIMINARY
 NOT FOR CONSTRUCTION
 PAP1.1

CAD DWG PAP1.1 4-1-21.DWG



IXL LEARNING CENTER

NOV1, MICHIGAN

OWNER/DEVELOPER:
IXL LEARNING CENTER

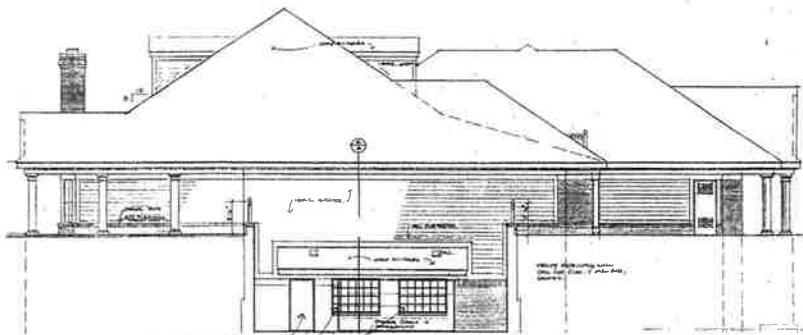


WAH YEE ASSOCIATES
ARCHITECTS & PLANNERS
4340 GRAND RIVER AVENUE, SUITE 200
NOVY, MICHIGAN 48075
PHONE: 248-489-9180
PROJECT NO. 1334

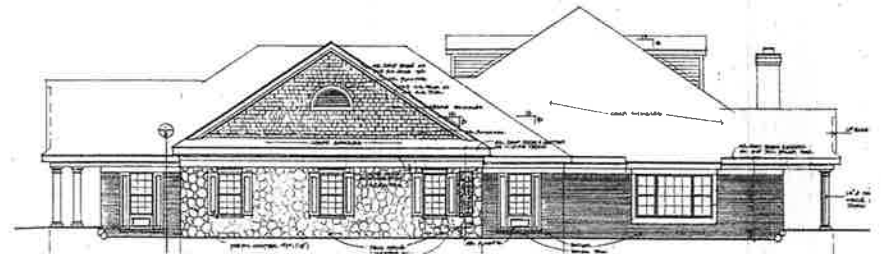
ISSUED: 2/2021
PRE-APPLICATION: 2/18/21
DATE: 2/2021
PLD NUMBER: 518
APRIL 1, 2021

PRELIMINARY
NOT FOR CONSTRUCTION
P2.1

CAD DWG P2.1 - R21.DWG



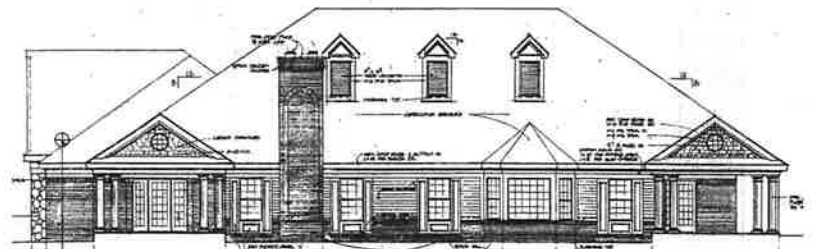
EXISTING WEST ELEVATION
 SCALE: 1/8" = 1'-0"
 NOTE: ALL EXISTING CONDITIONS
 MUST BE FIELD VERIFIED.



EXISTING EAST ELEVATION
 SCALE: 1/8" = 1'-0"
 NOTE: ALL EXISTING CONDITIONS
 MUST BE FIELD VERIFIED.



EXISTING SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"
 NOTE: ALL EXISTING CONDITIONS
 MUST BE FIELD VERIFIED.



EXISTING NORTH ELEVATION
 SCALE: 1/8" = 1'-0"
 NOTE: ALL EXISTING CONDITIONS
 MUST BE FIELD VERIFIED.

IXL LEARNING CENTER

NOVI, MICHIGAN

OWNER/DEVELOPER:
 IXL LEARNING CENTER



WAH YEE ASSOCIATES
 ARCHITECTS & PLANNERS
 4160 GRAND RIVER AVENUE SUITE 200
 NOVI, MICHIGAN 48237
 PHONE 248.489.9100
 PROJECT NO. 1134

ALL DESIGN CONCEPTS AND/OR
 DETAILS ARE SUBJECT TO THE APPROVAL AND
 CONSENT OF THE CLIENT. THE CLIENT
 AGREES TO HOLD THE ARCHITECT
 HARMLESS FOR ANY AND ALL
 DAMAGES OR LOSSES OF ANY KIND
 ARISING OUT OF OR FROM THE USE OF
 THE INFORMATION PROVIDED HEREIN
 BY THE ARCHITECT.

PRELIMINARY
 NOT FOR CONSTRUCTION
 P. 11
 CAD DWG P.1-11-21.DWG

ISSUED:
 PRE-APPLICATION
 SUBMITTAL
 JAN. 28, 2021
 PUD AMEND. SUB
 APRIL 1, 2021

Exhibit E



Wah Yee Associates
Architects & Planners
Since 1961

April 1, 2021 RE: IXL Learning Center, Response to City Staff Review Reports
JSP 21-03 IXL NOVI

Christian Carroll
City of Novi Community Development Department
45175 Ten Mile Road
Novi, MI 483375

Planning and Community Development, Christian Carroll : Feb. 17, 2021

1. Note #5, Hours of operation has been added to sheet P1.1.
2. A noise impact statement will be provided at the time of Site Plan Submittal if determined to be necessary.
3. Yard dimensions have been added to sheet P1.1.
4. Setback dimensions from closest residence to IXL building and playground have been added to sheet P1.1
5. Request for amendment has now been provided with this submittal.
6. Parking space and drive aisle dimensions have been added to sheet P1.1.
7. Barrier free parking space dimensions have been added to sheet P1.1.
8. Barrier free parking space signs will be shown at the time of Site Plan Submittal.
9. All building exits directly access sidewalks as shown on sheet P1.1.
10. Dumpster enclosure wall details will be provided at the time of Site Plan Submittal.
11. Bicycle parking spaces will be shown at the time of Site Plan Submittal.
12. An Economic Impact Statement has now been provided.
13. Project name approval will be obtained if determined to be necessary.
14. A full site photometric plan will be provided at the time of Site Plan Submittal if determined to be necessary.

Engineering, Kate Richardson : Feb. 17, 2021

Engineering items 1 through 14 will be addressed at the time of Site Plan Submittal.

Woodlands Review, Emily Hanson : Feb. 5, 2021

1. This review has determined that no regulated woodlands are impacted by the proposed development.
2. A tree survey has been added to sheet L1.0.





Wah Yee Associates
Architects & Planners
Since 1961

Wetlands Review, Douglas Repen : Feb. 16, 2021

1. This review has determined that regulated wetlands do exist on the overall site, however are not impacted by the proposed development.

Traffic Review, Patricia Thompson : Feb. 12, 2021

2. The Trip Generation Summary indicates that the number of trips at all times are under the number of trips that would require a Traffic Impact Study.
3. Traffic Review Items 1 through 44 will be addressed at the time of Site Plan Submittal.

Fire Department, Kevin Pierce : Feb. 9, 2021

1. This review recommends approval with no items to be addressed at this time.

Prepared by,

A handwritten signature in black ink, appearing to read "Matt Niles". The signature is fluid and cursive.

Matt Niles

Wah Yee Associates Architects & Planners



Exhibit F

PEA GROUP

2430 ROCHESTER COURT, SUITE 100
TROY, MICHIGAN 48083

844.813.2949
PEAGROUP.COM

April 1, 2021
Project No: 2021-0095

City of Novi
45175 Ten Mile Road
Novi, MI 48375

RE: JSP21-0003: IXL Learning Center

To whom it may concern:

This office is in receipt of the city's review letter dated February 3, 2021, regarding the subject development. We have revised the plans accordingly based on PUD submittal.

Please note the following revisions and clarifications in response to the review letter comments:

-LANDSCAPE REVIEW SUMMARY CHART

Landscape Plan Requirements

1. Need an actual landscape plan.
 - *Landscape plan to be provided in site plan submittal once the PUD submittal process is complete.*
2. Please include the site address on the landscape plan.
 - *Site address is provided in title block*
3. Please include owner/developer contact information on the landscape plan.
 - *Owner/developer contact information provided in title block.*
4. The landscape plan must be created by a licensed landscape architect.
 - *Landscape plan has been created by a licensed landscape architect.*
5. Please include Miss Dig information on the landscape plan.
 - *Miss Dig information provided in title block.*
6. Please show zoning of adjacent parcels on landscape plan.
 - *To be provided in site plan submittal once the PUD submittal process is complete.*
7. Please add a topographic survey and legal description to the plan set.
Include existing elements, including trees, to remain on the landscape plan.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
8. Please add a tree survey that accurately shows tree locations with a chart showing all existing trees

8" dbh or larger on the site.

Please indicate which trees will be removed on the survey and chart.

Please indicate other smaller trees and landscaping with clouds on the plan and label them as "landscaping" or "tree" on the plan view

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

9. Please include soil types in plan set and refer to location on Landscape Sheet if not included on that sheet.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

10. Please add a demolition plan to the set.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

11. Please clearly show and call out all existing overhead and underground lines and structures on landscape plan.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

12. Please provide proposed contours and/or spot elevations for entire site.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

13. Please indicate snow deposit areas that won't harm landscaping.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

Landscaping Requirements

1. Please show the required clear vision zone at the entrance to Wakefield on the landscape plan.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

2. Please label SF of individual islands' unpaved area (should not include sidewalks).

Please dimension widths of islands, including long interior islands to at least 10 feet back-to-back. Please increase area of islands as necessary.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

Please dimension the spaces and provide curb details.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

3. Please add an interior landscape island in the 16 space bay at the building. A landscape waiver is required for that bay.

- *Landscape bay is provided in 16 space bay at building. To be addressed in site plan submittal once the PUD submittal process is complete.*

4. Please add all utilities to the landscape plan and space trees appropriately.

To assist contractors, please add a note to the plans stating that all trees are to be at least 10 feet from hydrants or utility structures.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

5. Show the clear vision zone at the entry per the diagram below.

Keep shrubs taller than 30" out of the zone, and all trees.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district

1. Please add calculations for A
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please add calculations for B
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

All Categories

1. Please add calculations.
Please label each island with its area in SF.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please add calculations.
Please provide required trees (existing healthy trees can be used toward the requirement).
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
3. Please add calculations.
Please provide all required trees within 15 feet of edge of curb.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Residential Adjacent to Non-residential

1. Please increase the alternative visual and audible screening provided.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Adjacent to Public Rights-of-Way

1. Please provide the required berms.
A landscape waiver is required for any berm not provided – please provide justification for the waiver.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Cross-Section of Berms

1. Please provide berm cross section if a berm is proposed.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please clearly indicate any overhead lines on the landscape plan
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Walls

1. Please indicate wall elevations and provide construction details if any are proposed.

- *To be addressed in site plan submittal once the PUD submittal process is complete.*

ROW Landscape Screening Requirements

1. Please indicate greenbelt widths on the landscape plan
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please indicate berms provided on landscape plan if any.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
3. See above.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
4. Please add calculations for canopy deciduous or large evergreen trees for both frontages
Please show existing and proposed trees used to meet requirement
A landscape waiver will be required for any deficiencies.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Multi-family/Attached Dwelling Units

1. Please revise calculation.
Please provide additional required trees.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Non-Residential Zoning

1. Effectiveness of screening depends on species used.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. When transformer locations are finalized, screening shrubs per standard detail are required.
Please add detail to plans.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Building Foundation Landscape Requirements

1. Please show all existing foundation landscaping on the landscape plan and enhance if necessary.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Detention/Retention Basin Requirements

1. If the existing detention does need to be increased, the new area must be landscaped per the ordinance.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please survey the site for any populations of *Phragmites australis* and Japanese knotweed and submit plans for its removal.
If none is found, please indicate that on the survey.
 - *No Phragmites australis or Japanese knotweed have been found on site. To be addressed in site plan submittal once the PUD submittal process is complete.*

Landscaping Notes, Details, and General Requirements

1. Please add note (installation date, maintenance and statement of intent, plant source)
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival. If xeriscaping is used, please provide information about plantings included.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
3. Please provide note (establishment period, approval of substitutions).
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Landscaping Notes, Details, and General Requirements

1. Please add plant list and root type/names/lawn type and amount
Please add areas of new lawn in cost table.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Planting Details/Info – Utilize City of Novi Standard Details

1. Please add City of Novi standard details to plan.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please add detail to plan and show fencing for existing trees that need protection during construction.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Other Plant Material Requirements

1. Please add note near property lines stating, "Plant materials shall not be planted within 4 ft. of property line."
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*
2. Please clearly indicate any overhead lines.
If none exist, please add a note to landscape plan stating this.
 - *To be addressed in site plan submittal once the PUD submittal process is complete.*

Davey Resource Group

1. A tree survey should be conducted to identify if there are any regulated trees on site (36-inches DBH or greater).
 - *There are no regulated trees 36" DBH or above. To be addressed in site plan submittal once the PUD submittal process is complete.*

Exhibit G

ECONOMIC IMPACT STATEMENT OF PROPOSED IXL LEARNING CENTER

An IXL Learning Center in Novi, once fully occupied, will provide childcare for families who work or live in the area for up to 210 children. This contributes to the community's overall economy by providing high quality care choices for working families. This specifically helps The Maples of Novi Planned Unit Development Community. This also helps Novi offer services that make living in the community more attractive.

IXL Learning Center Novi will also employ roughly 45 full and part-time caregivers. This contributes to the overall economy through goods and services that are needed to sustain IXL's workforce.

The anticipated cost of the project, including the exterior improvements to the site, would be roughly 1.2 Million Dollars. The number of trade jobs for the construction of the project estimated at between 20 and 30 jobs.

APPLICANT RESPONSE LETTER



Wah Yee Associates
Architects & Planners
Since 1961

June 2, 2021 RE: IXL Learning Center, Response to City Staff Review Reports
JSP 21-03 IXL NOVI

Christian Carroll
City of Novi Community Development Department
45175 Ten Mile Road
Novi, MI 483375

Planning and Community Development, Christian Carroll : May 7, 2021

Planning Review Chart :

Page 2 : Day Care Center Use Standards

A noise impact statement will be provided at the time of Site Plan Submittal if determined to be necessary.

Page 8 : Parking & Loading Standards

1. Curb Heights will be indicated on the civil engineering plan on the Site Plan Submittal.
2. Barrier Free signs will be shown on the civil engineering plan on the Site Plan Submittal.

Page 9 : Parking & Loading Standards

1. Dumpster enclosure details will be provided on the Site Plan Submittal.
2. Bicycle Parking spaces will be indicated on the civil and landscape plans on the site plan submittal.
3. Compliant Bicycle Parking spaces will be indicated on the civil and landscape plans on the Site Plan Submittal.

Page 10 : Parking & Loading Standards

1. Maureen Underhill will be contacted regarding signage when required per owner.
2. Madeleine Daniels will be contacted as required at the time of Site Plan Submittal regarding Project Name.

Engineering, Kate Richardson : April 26, 2021

1. Engineering items 1 through 15 will be addressed at the time of Site Plan Submittal as requested in the review report.

Woodlands Review

1. No new woodlands review has been done due to the determination by the Feb. 2, 2021 review, that no regulated woodlands are impacted by the proposed development.





Wah Yee Associates
Architects & Planners
Since 1961

Wetlands Review

1. No new wetlands review has been done due to the determination by the Feb. 16, 2021 review, that no regulated wetlands are impacted by the proposed development.

Traffic Review, Patricia Thompson : April 26, 2021

1. The Trip Generation Summary indicates that the number of trips at all times are under the number of trips that would require a Traffic Impact Study.
2. Traffic Review Items 1 through 44 will be addressed at the time of Site Plan Submittal as requested in the review report.

Fire Department, Kevin Pierce : April 14, 2021

1. This review recommends approval with no items to be addressed at this time.

Landscape, Rick Meader : April 26, 2021

1. See attached Landscape Response letter by PEA Group for all landscape item responses.

Prepared by,

Matt Niles

Wah Yee Associates Architects & Planners



May 27, 2021
Project No.: 2021-0095

City of Novi
45175 Ten Mile Road
Novi, MI 48375

RE: JSP21-0003: IXL Learning Center

To Whom It May Concern:

This office is in receipt of the city's landscaping review letter dated April 26, 2021 regarding the subject development. We will revise the plans for Preliminary Site Plan submission accordingly based on PUD submittal.

Please note the following revisions and clarifications in response to the review letter comments:

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants.

Please show all existing and preliminary overhead and underground utility lines, utility structures, and light poles on the landscape plan.

Existing and proposed utilities will be provided in preliminary site plan submittal once the PUD amendment process is complete.

Existing Trees

Please indicate on the tree chart which trees will be removed.

Existing trees to be removed will be indicated on the tree chart in preliminary site plan submittal once the PUD amendment process is complete.

Adjacent to Residential – Buffer

A mix of large deciduous shrubs and evergreen trees and shrubs have been provided between the residences to the west of the site. It appears that that should be sufficient screening, especially since there won't be much noise except during weekdays. The species may need to be changed to work with the space provided, and a screening fence may need to be added, but that can be worked out during Preliminary and Final Site Plans.

Vegetative screening species and size will be assessed and determined in preliminary site plan submittal once the PUD amendment process is complete.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees

Please provide calculations for the required landscaping on all three frontages and counts of what exists and will remain.

Existing and remaining landscape calculations shall be provided in preliminary site plan submittal once the PUD amendment process is complete.

If there are any shortages, the required trees berms and need to be provided. If the applicant desires to not completely meet the requirements, a landscape waiver will be required for any deficiencies and justification for the waiver(s) must be provided.

Potential shortages or waivers concerning ROW landscaping will be addressed once existing and to remain landscaping along all three frontages has been calculated in preliminary site plan submittal once the PUD amendment process is complete.

Parking Lot Landscaping

One deciduous canopy tree per 35 lf of parking lot perimeter must be provided. Greenbelt trees within 15 feet of the parking lot may be double-counted toward the perimeter requirement.

Parking lot perimeter landscaping shall be calculated in preliminary site plan submittal once the PUD amendment process is complete.

Please provide calculations for the interior and perimeter required trees.

Interior and perimeter tree requirements shall be calculated in preliminary site plan submittal once the PUD amendment process is complete.

If there are any shortages, the required trees need to be provided. If the applicant desires to not completely meet the requirements, a landscape waiver will be required for any deficiencies and justification for the waiver(s) must be provided.

Potential shortages or waivers concerning parking lot landscaping will be addressed in preliminary site plan submittal once the PUD amendment process is complete.

Building Foundation Landscaping

Please provide calculations for the building and provide the required landscaping. Existing foundation can count toward the requirement.

Foundation plantings shall be calculated in preliminary site plan submittal once the PUD amendment process is complete.

If there are any shortages, the required trees need to be provided. If the applicant desires to not completely meet the requirements, a landscape waiver will be required for any deficiencies and justification for the waiver(s) must be provided.

Potential shortages or waivers concerning foundation landscaping will be addressed in preliminary site plan submittal once the PUD amendment process is complete.

Plant List

Please provide a plant list on the Preliminary Site Plans.

A plant list shall be provided in preliminary site plan submittal once the PUD amendment process is complete.

At least 50% of the species provided must be native to Michigan, and the tree diversity must meet the requirement of Landscape Design Manual section 4.

At least 50% of the plant species used shall be native to Michigan and tree diversity will meet requirements of Landscape Design Manual section 4 in preliminary site plan submittal once the PUD amendment process is complete.

Planting Notations and Details

Please provide all planting details and notes as required for the proposed landscaping. Standard City of Novi details and notes are available upon request.

Standard planting details and notes as required shall be provided in preliminary site plan submittal once the PUD amendment process is complete.

Irrigation (LDM 1.a.(1)(e) and 2.s)

The proposed landscaping must be provided with sufficient water to become established and survive over the long term.

A sufficient water source shall be determined for long term survival in preliminary site plan submittal once the PUD amendment process is complete.

Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.

Either an irrigation plan or a note on how landscaping shall be watered will be provided in preliminary site plan submittal once the PUD amendment process is complete.

Sincerely,

PEA Group

Janet Evans, PLA
Project Coordinator



PUBLIC RESPONSES TO DATE



CITY OF NOVI
RESPONSE FORM

RECEIVED

MAY 25 2021

CITY OF NOVI
COMMUNITY DEVELOPMENT

JSP21-03: IXL LEARNING CENTER OF NOVI, FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN.

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail or fax. Returning this form by mail or fax has as much validity as verbal comments. Information regarding the project is available the Saturday before the meeting date at:

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT

I OBJECT

need more information

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- Will this be a religious education center?*
- What age children will it serve?*
- What days of the week will it operate?*
- What hours of the day will it operate?*
- Will the golf course be repurposed as playground, athletic fields?*
- Will this reduce our maintenance fees?*
- Will they be changing the building exterior, adding security lighting?*

SIGNATURE: *Ruth Fraser*

PRINT NAME: RUTH FRASER

ADDRESS: 31185 ROLLING GROVE, NOVI MI. 48377

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



CITY OF NOVI RESPONSE FORM

RECEIVED
MAY 26 2021
CITY OF NOVI
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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

THIS PROPOSED VARIANCE DRAMATICALLY DEVIATES FROM THE INITIAL PURPOSE OF THIS PROPERTY AND PLAN. FURTHER THE CLUBHOUSE / GOLF COURSE OWNER HAS APPEARED TO PRE-EMPT / COUNTERMAND THE ORIGINAL ZONING PLAN BY ATTEMPTING TO PARTITION / SELL THE CLUBHOUSE PROPERTY SEPARATELY THEREBY ALIENATING AN INTEGRAL PORTION OF PROPERTY THAT NOW EVIDENTLY SEEM TO RETAIN / PROFIT FROM DIFFERENT;

SIGNATURE: [Signature]

PRINT NAME: DANIEL GROSS

ADDRESS: 30839 PALMER DRIVE, NOVI, MI 48377

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From: postmaster@muniweb.com
To: [Daniels, Madeleine](#); [Boulard, Charles](#); [McBeth, Barb](#)
Subject: Planning Commission Meeting - Live Comment
Date: Wednesday, May 26, 2021 12:09:23 PM

Name: Rich Dalley

Address: 41630 Kenilworth Lane, Novi, MI 48377

Feedback: I would support the IXL Learning of Novi if these concerns are addressed: 1. Could a driveway be added to the far end of the existing parking lot directly to 14 mile rd to improve traffic flow during peak times of pickup/drop off? 2. As traffic patterns return to normal post pandemic, can a dedicated left turn lane be added to 14 mile to improve traffic flow? 3. The plan submitted shows both business signs remaining, are two really needed? 4. Will the existing crumbling masonry wall be fully repaired and/or replaced? 5. If the golf course is closed permanently, I would prefer to see the property re-developed to maintain property values.

Date Submitted: 5/26/2021 12:09:58 PM



CITY OF NOVI
RESPONSE FORM

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MAY 27 2021

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COMMUNITY DEVELOPMENT**

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248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Anita L. Tottis

PRINT NAME: ANITA L. TOTTIS

ADDRESS: 31058 SENECA LN

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Gerald J. Lesko Jr.

PRINT NAME: Gerald J. Lesko Jr.

ADDRESS: 41683 Magnolia Ct Novi, MI 48377

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



CITY OF NOVI
RESPONSE FORM

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MAY 27 2021

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I WILL SUPPORT, BUT AM WONDERING HOW/WHO
TO MAINTAIN THE OPEN SPACE (GOLF COURSE).

SIGNATURE: _____
[Handwritten Signature]

PRINT NAME: YASUNORI KOBAYASHI

ADDRESS: 31034 SENECA LANE, NOVI, MI 48377

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



CITY OF NOVI

RECEIVED

RESPONSE FORM

MAY 28 2021

**CITY OF NOVI
COMMUNITY DEVELOPMENT**

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Losing - Value of property goes down.
Losing - Quiet Traffic
Losing - City of Novi loses revenue.
NO Traffic Light for cars & children
Losing - zoning benefits
Losing Enjoyment of outdoor sports in michigan

SIGNATURE: *Mark Morey*
PRINT NAME: *Mark Morey & Nancy Morey*
ADDRESS: *30987 Tangewood Dr. Novi 48377*

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).

From: Larry Watson

Sent: Friday, May 28, 2021 6:53 PM

To: McBeth, Barb <bmcbeth@cityofnovi.org>; ccarroll@cityofnovi.com

Subject: Maples rezoning

As a Novi resident of Maples, I am OPPOSED to the proposed rezoning for "Learning Center". The golf course and restaurant remain viable and should be handled by an established management company. The city of Novi can also use the golf course for senior activities rather than Riverbank (one example).

There are plenty of open locations within the city where a "Learning Center" might be added (more appropriately on Novi Road).

Please don't ruin the value of my property!

Lawrence Watson

30942 Tanglewood Dr

From: Elsa Turk

Sent: Monday, May 31, 2021 6:05 PM

Subject: Request to amend Maples of Novi

Good Day,

We are writing this letter to voice our opposition to the proposal to amend the Maples of Novi Planned Unit Development Agreement and Area Plan.

When we entered this community, we did so as buyers into a senior golf community. We feel this proposal is a betrayal of the trust we put into the original agreement.

We fear our home market value may well decrease and buyers will not be attracted to this community. This alone puts us and our fellow residents into financial jeopardy as many of us are vulnerable senior citizens.

The problems this type of change brings needs to be addressed in detail as they are worrisome: traffic congestion, maintenance of the green space, future land use and development, noise, and security are all concerns for us.

Please do not accept this request to amend. Put yourselves into our place. How would you feel?

William A. Reed and Elsa Turk
30994 Seneca Lane
Novi, MI 48377

May 31, 2021



CITY OF NOVI

RESPONSE FORM

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JUN 01 2021

CITY OF NOVI
COMMUNITY DEVELOPMENT

JSP21-03: IXL LEARNING CENTER OF NOVI, FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN.

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

SUPPORT OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I think that would be a better use for the area than an empty Club house.

SIGNATURE: Marjorie A. Bixby
PRINT NAME: Marjorie A. Bixby
ADDRESS: 71645 Charleston Lane

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I believe this will reduce the property value of my property & the whole residential acreage.

SIGNATURE: *Della Cellios*

PRINT NAME: DELLA CELLIOS

ADDRESS: 3852 Centennial Dr, Novi MI 48377

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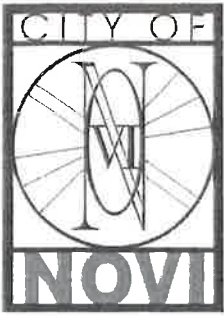
From: postmaster@muniweb.com
To: [Daniels, Madeleine](#); [Boulard, Charles](#); [McBeth, Barb](#)
Subject: Planning Commission Meeting - Live Comment
Date: Tuesday, June 1, 2021 1:22:32 PM

Name: Kimberly Davis

Address: 31197 Barrington Dr novi mi 48377

Feedback: This is to state my objection for the request to amend the Maples of Novi planned unit development agreement and area plan for the Learning Center of Novi. I own a condo right near where the build is requested. I have an adult child with special needs and moved into this neighborhood for the quiet, little traffic and noise it offers. The traffic would make this a very unsafe situation for my child. We also use the pool for his muscle tone issues. Further, I bought this condo knowing that the golf course and pool is important to property values and selling points. As a parent of a special needs adult child, I have so much to deal with already. Please do not make my life even more complicated by allowing this learning center to come in and destroy my peace of mind and my property value. Thank you for your time and for considering my objection Kimberly Davis

Date Submitted: 6/1/2021 1:22:59 PM



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

BETTER USE of PROPERTY

SIGNATURE: Barbara Hanshaw

PRINT NAME: BARBARA HANSHAW

ADDRESS: 41865 CANTERBURY DRIVE

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I SUPPORT

I OBJECT - *No!!!*

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

this is an elderly community and feel it will take away from that aspect.

Most look trashy

SIGNATURE: *Carmen Jones*

PRINT NAME: *Carmen Jones*

ADDRESS: *31135 Rolling Grove, Novi, MI*

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We object because the property is totally in disrepair and is embarrassing to its residents and to the City of Novi. If cleaned up, this could be what it was meant to be - a usable pool and golf course.

SIGNATURE: Rob and Shelley Landaw

PRINT NAME: Rob and Shelley Landaw

ADDRESS: 30971 Tanglewood Dr, Novi, MI 48377

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From: Maimu Looke

Sent: Tuesday, June 1, 2021 9:01 PM

Subject: Rezoning the property at 14 Mile and Wakefield

Dear Council Members of the City of Novi:

I live in the Maple Greens subdivision and would like to strongly object to the rezoning of the property at Wakefield and 14 Mile Rd. One of the big reasons would be the traffic hazard that would be created at the intersection by the PROPOSED APPLICANT. Wakefield is the main entrance to our subdivision. 14 Mile Rd. is already a rather heavily traveled road. Put the two together with extra traffic would put our residents (as well as others) in real danger. Secondly, most of our residents are senior citizens who bought into the community with a SMALL golf course. We certainly do not want a rather large and very active enterprise right at our entrance as well as backing up to many of our units. Would any of you want that in your own back yard?

Sincerely,

Maimu Looke



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I will no longer have a clubhouse to use for private social events.

SIGNATURE: Angela Marin

PRINT NAME: ANGELA MARIN

ADDRESS: 41703 Independence Dr., Novi, MI 48377

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Name: Mark Michalak

Address: 41731 Sleepy Hollow, Novi, Michigan 48377 (Maples of Novi subdivision)

Feedback: I object. I inform the City of Novi of I disapprove of the idea of 31260 Wakefield Dr, Novi, MI 48377 (Parcel Number: 50-22-02-200-039) being used as a daycare center. While it is true that the Maples of Novi golf clubhouse isn't heavily used, there are properties not far away that are *never* used, i.e. abandoned. There two parcels of land just a chip shot away. (Pardon the pun.) They are: (1) 41295 W 14 Mile Rd, Novi, MI, 48377 (Parcel Number: 50-22-01-100-002) (2) 41121 W 14 Mile Rd, Novi, MI 48377 (Parcel Number: 50-22-01-100-003) The 41121 address plot of land is currently zoned as residential with a vacant house on it. It has had residential occupants sporadically. The last resident lived in that house in 2015, six years ago. This property is not attractive to live-in due to the heavy traffic of the busy intersection of Welch Road and 14 Mile Road. Clearly, this is property that is prime for commercial development. Re-zone it to commercial, bulldoze over that house, and start building the new daycare center facility. This plot of land is also quite spacious, with a lot of room to construct not only the new daycare building, but also a play area for kids deep in the back of the lot, far away from traffic. The 41295 address plot of land should be the entrance / exit of this new facility.

Date Submitted: 6/1/2021 12:45:23 PM



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**CITY OF NOVI
COMMUNITY DEVELOPMENT**

**JSP19-22: FOUNTAIN VIEW PROFESSIONAL CENTER, FOR PRELIMINARY SITE PLAN,
WOODLAND USE PERMIT, WETLAND USE PERMIT, AND STORMWATER
MANAGEMENT PLAN APPROVAL.**

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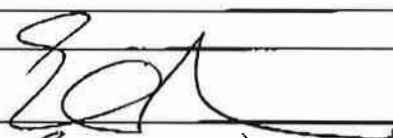
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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

A HAVEN FOR BEAUTIFUL ANIMALS THAT
HAVE MADE THAT WETLAND THEIR HOME.
CRANES, GEESE, DEER, etc.

SIGNATURE: 

PRINT NAME: E. REISIN

ADDRESS: 44050 W. 12 MILE ; NOVI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

IF YOU LOOK AT STREET MAP OF 14 MILE RD. WEST OF WELCH RD, YOU WILL SEE THAT THE ENTRANCE TO THE PRESENT GOLF CLUBHOUSE IS ALSO THE ENTRY TO MAPLES OF NOVI COMPLEX. DIRECTLY ACROSS 14 MILE RD IS THE ENTRY (THE ONE AND ONLY) TO WALDON FOND GOLF COMPLEX. WITH THE PROPOSED CHILD CARE/SCHOOL PLANNED TO HAVE 100+ CHILDREN, THE TRAFFIC SITUATION AT SCHOOL DROP OFF AND PICKUP WOULD BE INTOLERABLE. 14 MILE DOES NOT HAVE CENTER LANE FOR TURNS AND THE COUNTY HAS NO PLAN TO ADD IT IN THE NEAR-TERM. EMERGENCY VEHICLES WOULD HAVE A VERY HARD TIME GETTING IN OR OUT AT THESE TIMES!

SIGNATURE: [Signature]

PRINT NAME: JEROME M. SALESIN

ADDRESS: 206 WINDLOW CIRCLE, WALDON FOND GOLF, COMMERCIAL TRIP, MI 48370

***IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT

Name: Leslie A Saxon and plan

Address: 41636 Charleston Lane

Feedback: IXL Learning Center of Novi, for a Request to amend the Maples of Novi Planned Unit Development Agreement and Area Plan. I object, however, my decision comes with a "caveat" regarding several items, but not all, as conditions proceed. 1) Traffic on entrance and exits on Wakefield Rd - resolution 2) Golf Course - Open Space, maintenance, environmental issues, etc. 3) Noise control from Club House 4) Building of other structures on Golf Course property that is deeded to the owners

Date Submitted: 6/1/2021 6:44:15 PM

Name: Dave Spellich

Address: 41615 Kenilworth Lane

Feedback: We have been informed about a proposed change at the golf course changing it into a learning facility. We are opposed to this change for several reasons. There will be an increase in traffic at the site. The golf course will not be used or properly maintained. The owner of the property can expand into the area bordering the condo community. Property values can go down in value. I hope that the views of the community outweigh the view of the owner of the property. I am sure that there are other properties in the Novi area that can fulfill the learning centers desire to expand into this are. Respectfully submitted Dave and Linda Spellich 41615 Kenilworth Lane Novi, MI 48377

Date Submitted: 6/1/2021 10:52:45 AM

From: Dave and Linda Spellich

Sent: Tuesday, June 1, 2021 11:08 AM

Subject: Proposal to Amend the Maples of Novi Planned Unit Development

We are writing to you in regards to the proposal to amend the Maples of Novi Planned Unit Development Agreement. We purchased our condo in Maple Greens two years ago. A large factor in our decision to move to Novi and live in The Maples was the peaceful, quiet environment in a well-maintained residential community. We feel that the proposed change will destroy that environment and drastically reduce the property value of our property.

The increased traffic resulting from this business would make it difficult to enter and exit our community and could lead to a significant increase in traffic on our streets. The study that was conducted was based on the attendance of 60 children; however, the business has determined that they would need 200 children in attendance to operate profitably. Since we do not have sidewalks, the amount of traffic and speeding cars have been a safety issue for adults, children and pets that live in our community. Additionally, we pay for the maintenance of our roads and having this increase in traffic by non-residents would place an unfair financial burden on the residents of The Maples.

Our original development agreement designated The Maples as a golf community. Approval of this amendment would permanently remove the golf course, pool, and clubhouse, which benefit our community and raise our property values, with a business that would create noise and traffic, providing no benefit to the majority of our residents and decreasing our property values.

We sincerely hope that the well being of hundreds of families will be considered when you are making this decision. Surely there must be many locations that would be far more appropriate for this business endeavor that would not have the negative impact on so many families. Thank you in advance for your consideration of our concerns.

Dave and Linda Spellich
41615 Kenilworth Lane



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

It will decrease the value of my house. THE house was purchased because it had a golfcourse and a club house.

SIGNATURE: Marilyn A. Wallace

PRINT NAME: MARILYN A. WALLACE

ADDRESS: 31061 TANGLEWOOD DRIVE, NOVI, MI 48377

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From: Ross Barranco

Subject: FW: IXL Learning Center Proposal - Part 2

Hello All,

First, I would like to thank City Mayor Bob Gatt, and Mayor Pro Tem Dave Staudt for their responses. What I'm now about to propose directly concerns The Novi City Council. I beg your attention and involvement. This proposed development presents an opportunity for the City of Novi, Parks and Recreation, and the school districts.

In addition to the conversion of the Club House into a school, there are concerns as to what happens to the golf course links and practice putting green; and how they are to be maintained. There is also the matter of a 2.25 acre parcel of land along Novi Road to be considered. I have thoughts on these issues that I would like to share and have you consider. I have several concepts, which requires The City of Novi taking ownership of the golf links, practice putting green, and the 2.25 acre parcel of land.

1. Make it a Municipal Golf Course with a small fee collection station and cart rental in the **2.25 acre parking lot area**, for traditional golfing
2. Make it a traditional City Park, but with a golf theme setting, with a Bathroom/Shelter area, like Pavilion Park, in the 2.25 acre parcel
3. Make it the Novi Golf Handicapped Park for use as an exclusive park for the handicapped
4. Make it the Novi School Co-Op Park and Vocational Learning Center
 - a. Frisbee Golf Course for youth school groups
 - b. Soccer Golf Course for youth school groups
 - c. Vocational Learning for landscaping, lawn care, and business operations, with students running and maintaining the grounds

Or make it any combination of the above. In considering #1 above, an alternative would be to maintain the tennis courts, and have the parking, cart rental, tennis court rental and fee collection taking place in a rented space in the current commercial property at the northeast corner of Novi Road and W. 14 Mile

Road. This property could use a stable tenant.

If not any of the above, then I would encourage the City of Novi to require a grounds maintenance bond to assure the proper grounds maintenance of the greens area. Thank you for your consideration.

Ross Barranco
31247 Barrington Drive
Novi, MI 48377

From: Ross Barranco

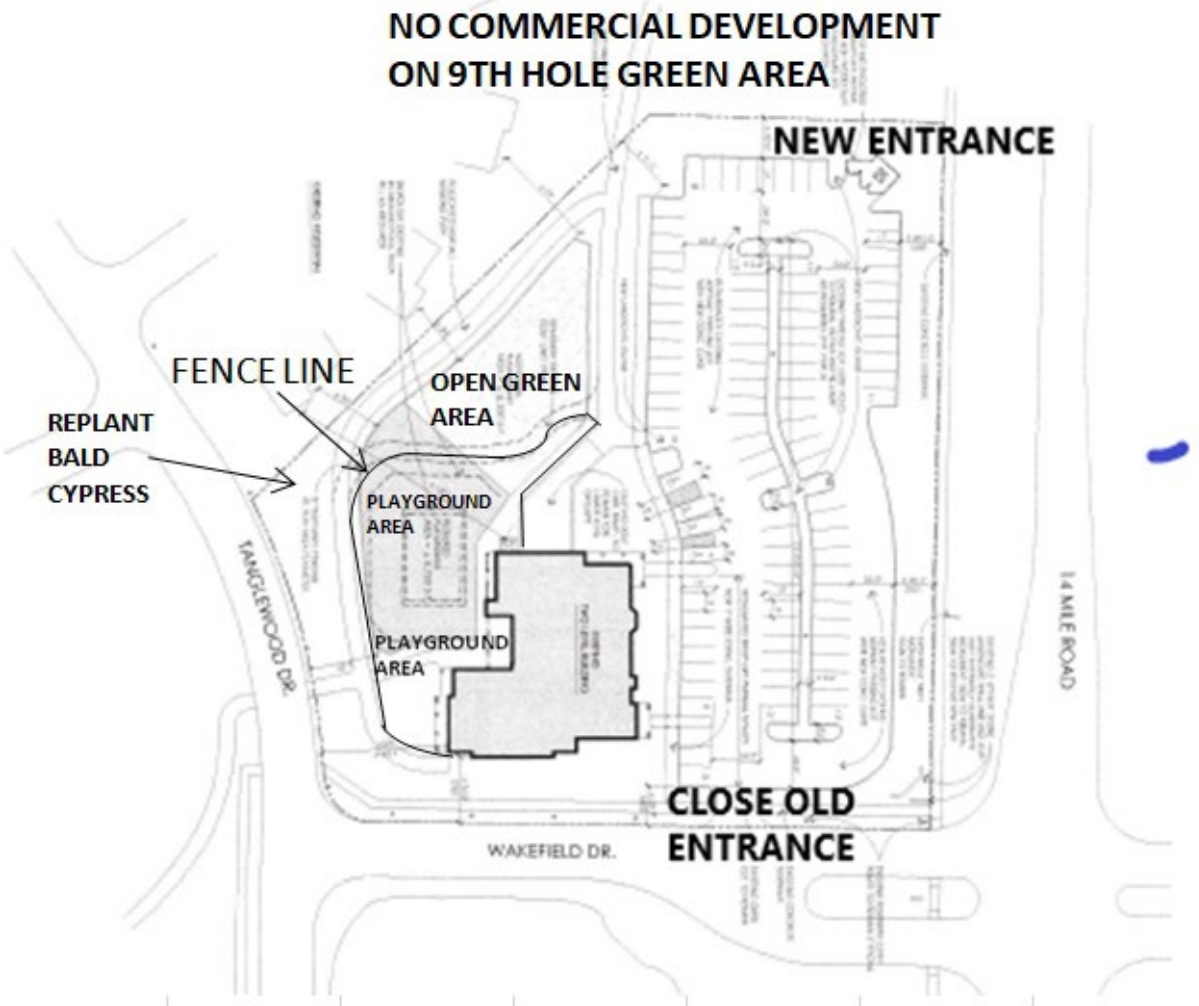
Sent: Sunday, May 30, 2021 11:57 PM

Subject: IXL Learning Center Proposal

Hello All,

The proposed development is literally in my back yard (the words "FENCE LINE" is on my home). I vehemently oppose the proposed plan as submitted.

I make the following counter proposals to the IXL Learning Center Plan (see attachment below):



1. Novi & Commerce work together to convert the W. 14 Mile and Novi Roads and W. 14 Mile and Welch Roads intersections into round-about intersections to facilitate traffic flow on 14 Mile Road, between Walled Lake and the M-5 Corridor.
2. Seal and vegetate the current Golf Club House driveway curb cut on Wakefield Drive, lessening the traffic thereon.
3. Post Office give IXL the address 41651 W. 14 Mile Road, Novi, MI 48377; and make the school Entrance/Exit at the west end of the property, between the west property line and the northwest end of the current parking lot, west of the current dumpster enclosure – there's 20 feet of space for a driveway to the existing parking lot. A school sign can be placed on the east side of the new entrance, and the golf signs removed from along W. 14 Mile Road and the areas of the old signs remediated.
4. Leave the 9th hole alone as open green space, and drop any plans of future commercial development there.
5. Leave the putting practice green as open green space; leave the current golf cart path where it is.
6. Build the 5 foot fence along the eastern edge of the current golf cart path; and along the western side of the current golf cart ramp; and on the north side, along the east/west portion of the existing golf cart path, parallel to Tanglewood Drive; and along the west side of the current path leading from the Club House to Tanglewood Drive. It is believed this counter -proposal for the

fence line will be adequate for the minimum required playground area. If not, then the path from the Club House to Tanglewood Drive should be torn up and added. If additional space should be required, the existing golf path and fence line should be moved southward toward Tanglewood Drive, and/or westward toward Wakefield Drive. There should be no westward movement of the fence line.

7. The bald cypress tree should be moved to the southwest corner of the property, between the fence line and Tanglewood Drive. The "proposed" vegetation screening should be moved to being along the western edge of the existing golf path.

Following all of the above seven counter proposals, I would agree to the plans for the IXL Learning Center, right in my backyard area. As currently planned, I vehemently oppose the plan because:

- 1 It presents a major traffic problem on W. 14 Mile Road
- 2 It presents a major traffic problem at the Wakefield Drive Entrance/Exit
- 3 It provides commercial development of the 9th hole, creating an eye sore and obstruction of the view of the neighbors affected, and would add additional traffic on W. 14 Mile Road
- 4 It destroys the open green area between the homes and the Club House, unnecessarily. The proposer admits it's in excess of the area required for the playground, labeling it "ADDITIONAL" playground area, almost doubling the necessary area required.

I believe that my counter proposals are a fair and reasonable compromise.

I would also suggest a one-way entrance from the west with a deceleration turning lane, and right-turn-only east-bound exit with an acceleration lane, on W. 14 Mile Road, with a traffic island separating entering and exiting vehicles. The traffic island would be an ideal location for a two-side school name sign. All traffic would flow from west to east, into and out of the parking lot. No left turn into the entrance, prevents back-ups of west bound traffic. No U-Turn sign(s) on Wakefield Drive will keep traffic down on Wakefield Drive, and direct it to the Welch Road round-about, where traffic can properly reverse itself back westward, continue eastward, or turn northward. An alternate Entrance/Exit location is just east of the current location of the trash bin enclosure.

Roswell (Ross) K Barranco
31247 Barrington Drive
Novi, MI 48377

From: postmaster@muniweb.com
To: [Daniels, Madeleine](#); [Boulard, Charles](#); [McBeth, Barb](#)
Subject: Planning Commission Meeting - Live Comment
Date: Wednesday, June 2, 2021 5:36:50 PM

Name: William & Sandra Chalmers

Address: 41840 Cantebury Drive Novi, MI. 48377

Feedback: Comments on JSP21-03. I live in the Maple Pointes Sub and live right on the 6th hole of the golf Course. When I bought here 23 years ago I was retired and after much looking we moved from our Farm. Hills home to Novi. I was a golfer and we were lucky enough to find our dream home right on the 6th hole. I was "President" of our association for 10 years. We worked closely with Mayors Clark and Landry. I am writing today with great concern regarding changing zoning from RA to PUD and maintaining the current golf course as open space. Do you know the kind of damage to our home values by leaving the course as open space. What does "OPEN SPACE" mean? Let the grass grow high ? I live here as we often sit on our deck watching many friends golf. I suppose just sitting there and watch the grass grow sounds like fun, but not for us. We have 306 homes in our golf community and about 50% live on the golf course. There are 3 other associations in the Maples of Novi , many living on the golf course and will have the value of their homes reduced. The planning commission is supposed to make decisions that will benefit the community. Changing the zoning from "RA to PUD is not beneficial to a homes community. This is for retaining the value of our property especially Senior Citizens like my wife and I. We have paid our taxes all 23 years on time so we can continue to live here. Please turn down the zoning change for all of us. Thank you Bill & Sandy Chalmers

Date Submitted: 6/2/2021 5:36:43 PM



CITY OF NOVI

RESPONSE FORM

RECEIVED

JUN 02 2021

**CITY OF NOVI
COMMUNITY DEVELOPMENT**

JSP21-03: IXL LEARNING CENTER OF NOVI, FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN.

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail or fax. Returning this form by mail or fax has as much validity as verbal comments. Information regarding the project is available the Saturday before the meeting date at:

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

When I chose "Maples of Novi" to be my permanent retirement home, six years ago, I was drawn to this area due to its quiet, beautiful surroundings, the golf course and use of a community pool.

I live three condos away from the clubhouse and pool. I, therefore am opposed to the development of a learning center with the possibility of two hundred students.

SIGNATURE: *Dorothy A. Mucha*

PRINT NAME: *Dorothy A. Mucha*

ADDRESS: *31163 Seneca Lane #45 Novi*

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



CITY OF NOVI

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

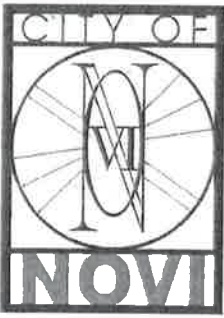
More traffic in subdivision/buses? what will open space be used for? Will there be children on these areas (playground equipment?) Will pool be taken out? who will do mowing of grounds now the golf course? There will be a complete change in our residential community. What has been a quiet residential community will become busy, crowded and noisy.

SIGNATURE: Ann B. Schuur

PRINT NAME: Ann B. Schuur

ADDRESS: 30815 Palmer Drive Novi Mich, 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I object vigorously to the above request to amend the Maples of Novi Planned Unit Agreement/Area Plan. I am very concerned about the potential + likely traffic patterns which will be the result of a "Learning Center" butting up against our subdivisions. Sadly, the details are unclear at this time as well!! There is NO doubt that when posed parking are still families will seek parking near "Private/Paid" streets. Also driving through to avoid lights and the

SIGNATURE: Lisa B. Small

PRINT NAME: Lisa B. Small

ADDRESS: 1138 Canterbury Drive, Novi, MI 48377

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(over)

continued

Other traffic patterns congestion at our Novi Road Entrance from Hickory Woods Elementary School. For the years I have lived here (even though I support education, and have an adult daughter who attended that school) the congestion / traffic and tempers have grown. I have unfortunately experienced a clogged parking situation on my street, in front of my house blocking my driveway, and one parent who felt "entitled" to park on my driveway "barking" that he was told the he could park in my driveway for 15 minutes while he dropped his kid at school. 😡

Imagine what it would be like to have that congestion / traffic ~~flanking~~ flanking our sub on both sides! Additionally, my concerns regarding a zone amendment and what other zoning amendments may unfold in the future, and the value of my ~~the~~ home / subdivision.

Thank you for listening!

Yusef Small
41838 Canterbury Dr.
Novi, MI 48377



CITY OF NOVI
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I SUPPORT I OBJECT

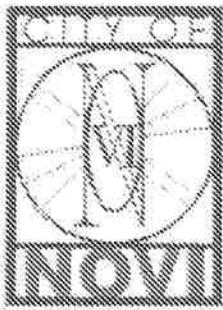
TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: PKW

PRINT NAME: PAUL K WAGNER

ADDRESS: 30863 PALMER DRIVE

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CITY OF NOVI

Received
6/2/2021

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Our community is a golfing community.
Condos are bought & sold as such.
Changing this will be financially detrimental
to all condo owners as well as myself.

SIGNATURE:

PRINT NAME:

Janice Watkins

ADDRESS:

41834 Canterbury Dr, Novi MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Though I understand the problems with covid affecting busenagers, I am extremely unhappy about losing the golf club and pool. Those were really presents to our association and too loose then will affect the value of our homes.

SIGNATURE: Pam Woznick

PRINT NAME: PAM WOZNICK

ADDRESS: 41614 Sleepy Hollow

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From: Thomas Lyons
Sent: Tuesday, June 1, 2021 2:32 PM
To: Carroll, Christian
Subject: IXL Learning Center Proposal
Hi Christian,

I am Tom Lyons a resident of Maples of Novi. Many of the residents are deliberating on the IXL Learning Center Proposal and unsure to support or object to the proposal at this time. I can only speak for myself and a handful of neighbors that are looking for more definition on the proposal stating "maintain the current golf course as open space". If that can be defined prior to the meeting with a landscaping maintenance plan (residents don't want to see the golf course overgrown grass and weeds), rules for use of the open space, etc. that would help significantly. The increase in traffic flow is another key discussion point among neighbors. Many are asking if an entrance can be added off of 14 mile road into the learning center to avoid potential gridlock on Wakefield Rd. Also, there is concern that learning center traffic gridlock could lead to public traffic going through the Maples of Novi to another exit (using the Maples of Novi private roads). So what steps would the learning center take to minimize traffic congestion?

You may have already been contacted by other resident's or HOA's relative to this proposal but getting pertinent information out prior to the meeting will enable residents to be more informed. If they are better informed prior to the meeting it may sway an opinion in support or vice versa. The decision making process will be impacted with lack of detail.

I am not representing any HOA or other residents. I am just looking for details so I can make my final choice on the proposal. If you are already addressing these concerns and the detail will be released prior to the vote deadline that would be great.

Thank You,

Tom Lyons



CITY OF NOVI
RESPONSE FORM

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JUN 03 2021

**CITY OF NOVI
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248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: *Michael Weiss*
PRINT NAME: MICHAEL WEISS
ADDRESS: 41738 SCARPY HOLLOW DR.

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Joanne R Boyd

PRINT NAME: Joanne R Boyd

ADDRESS: 41625 Sleepy Hollow Drive Novi Mi

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CITY OF NOVI
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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

GOOD USE OF AN UNDERUSED PROPERTY.

HOPEFULLY WILL BE GOOD NEIGHBORS & ALLOW USE
OF MEETING ROOMS DURING EVENING OR WEEKEND
HOURS.

SIGNATURE: Faith Freeman

PRINT NAME: FAITH FREEMAN

ADDRESS: 41710 SLEEPY HOLLOW

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CITY OF NOVI RESPONSE FORM

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I bought my Condo back in 2015 because it is on a very nice golf course and the value of the community. Without a golf course our property value would get into the toilet. The property is already getting run down.

SIGNATURE: *Donald L. Jorgensen*
PRINT NAME: DONALD L. JORGENSEN
ADDRESS: 41396 Belden Circle

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RESPONSE FORM

RECEIVED

JUN 04 2021

**CITY OF NOVI
COMMUNITY DEVELOPMENT**

JSP21-03: IXL LEARNING CENTER OF NOVI, FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN.

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail or fax. Returning this form by mail or fax has as much validity as verbal comments. Information regarding the project is available the Saturday before the meeting date at:

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-736-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I feel that if this proposal were to go through it would result in traffic issues and have an adverse effect on our property values.

SIGNATURE: _____

PRINT NAME: Neil Murray

ADDRESS: 30841 Centennial, Novi, MI 48377

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Worried about traffic jams

SIGNATURE: Takashi Nagashima
PRINT NAME: TAKASHI NAGASHIMA
ADDRESS: 30935 SAVANNAH CT NOVI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Virgil A. Ross
PRINT NAME: Virgil A. Ross
ADDRESS: 41477 Cypress Hwy Novi MI 48377-1567

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Strongly disagree! of particular concern is the free opening of the golf course for free access as the windows and deck of our condominium overlook the golf course and this makes it impossible to stay safe. Considering our age and medical problems, we also need peace and quiet !!!

SIGNATURE: Yuriy Shpilband Antonina Shpilband

PRINT NAME: YURIY SHPILBAND ANTONINA SHPILBAND

ADDRESS: 31185 LIVINGSTON DR. NOVI, MI, 48377

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From: postmaster@muniweb.com
To: [Daniels, Madeleine](#); [Boulard, Charles](#); [McBeth, Barb](#)
Subject: Planning Commission Meeting - Live Comment
Date: Friday, June 4, 2021 2:15:32 PM

Name: Curtis R Peck

Address: 41626 Sleepy Hollow Dr, Novi MI (Maples of Novi)

Feedback: JSP21-03: IXL Learning Center of Novi - OBJECT 1) Maples of Novi is a residential community. The clubhouse is part of the community. Rezoning to allow commercial use that is not specific to the community is "spot zoning" and would set a precedence to allow commercial use of any building in any area for commercial use. 2) All Maples of Novi residents I have spoken with object to this proposal. We bought our homes as a golf community. Not as a children's learning center. 3) Wetlands are protected areas. Allowing this rezoning and construction would eliminate protected wetlands and endanger wildlife living in these protected wetlands. 4) Traffic patterns and flows will be significantly increased on and around the residential streets as parents speed through the Mapes of Novi neighborhood trying to avoid red-lights and drop off / pick up. 5) No information has been provided in the mailing what "maintenance of the open area" is. There are many other vacant commercial locations that the requestor can modify to support a children's learning center. Please do not approve the negative impact this proposal brings to Maples of Novi community.

Date Submitted: 6/4/2021 2:16:03 PM



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I live in the Walden Pond Condo association. I have deep concerns about a school being built where the Maples Club house now stands. Reasons are congestion, through road & peaky accidents. Prior to Covid this area was very congested during rush hour. 14 mile is a two lane roadway. No left turn lane to enter Walden Pond or Maples. The entrances to both are directly across from each other. When travelling west on 14 have been close to being rear ended when turning right into sub 2 regulation. Are there plans to widen

SIGNATURE: Rose Quaine

PRINT NAME: Rose Quaine

ADDRESS: 391 Winspa Circle Commerce Township 48397

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*14 mile road. This would help congestion!
I just feel that this is a poor decision to build a school where there is a roadway & congestion!*



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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- ① DEVALUATION OF PROPERTY - REMOVING OR REZONE PROPERTY FROM ^{GOLF COURSE} COMMUNITY
- ② TRAFFIC BACKUPS DRIVING (SHORTCUT) THRU COMMUNITY
ADDITIONAL AMOUNTS OF TRAFFIC 100-200 CARS MORE THAN ONCE/DAY.
- ③ NOISE ASSOCIATED WITH CHILDREN PLAYING CARS ETC...
- ④ APPEARANCE OF VINYL FENCING AND MAINTAINING PROPERTY
- ⑤ OPPOSED TO POSSIBILITY OF FUTURE COMMERCIAL DEVELOPMENT

SIGNATURE: Lorie Liegath

PRINT NAME: LORIE LIEGATH

ADDRESS: 31049 COLLINGDALE DRIVE, NOVI 48377

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⑥ IN APPROPRIATE PLANNING FOR SIGHT
& NOISE BARRIER



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1) Golf Course - We bought our condo because of the golf course and like the convenience of golfing here.
- 2) Golf Course Maintenance - We need to know more specifically how the golf course would be maintained. Just mowing it periodically would affect property values. It needs to be maintained so it isn't an eye sore. It would be easy to make a walking path through it.

SIGNATURE: Barbara Hart Charles Hart (over)

PRINT NAME: Barbara Hart Charles Hart

ADDRESS: 31082 Seneca Lane Novi 48377

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OVER

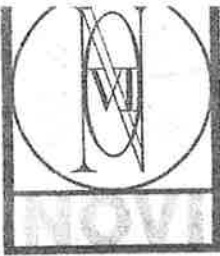
3) Traffic Increase

A day care/learning center would increase the traffic flow at the entrance and throughout the community. Entering the community could take extra time when people are coming to and exiting the day care.

4) Land Usage

Additional structures that might be built could back up to condos on a few streets and decrease property values. This could also cause additional noise. Just kids being outside playing by the original building could cause extra noise for some condos.

~~5~~



Received
June 4, 2021

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We strongly object to rezoning at The Maples. It is unacceptable. Property owners have not been given sufficient information regarding proposed changes to the property. This information is necessary to make an informed decision and, if necessary, circulate a petition against proposed changes or to seek legal counsel. A zoning change will seriously affect property values and makes us question exactly →

SIGNATURE: Ruth R. Fraser

PRINT NAME: Ruth R. Fraser (sr.) Ruth J. Fraser (jr.)

ADDRESS: 31185 Rolling Grove Novi, Mi. 48377

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- who the buyers are and to what extent they actually intend to modify the property. We know our best interests are not being taken into consideration by those managing The Maples and expect the board to block this proposal.



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- Concern for increased traffic especially during peak hours when 14 mile already backs up. If drivers use alternate entrances to subdivision there are concerns of not following speed limit in area.
- Increased noise when children are outside.
- Concerns for property values if golf course/landscaping is not maintained properly.

SIGNATURE: Pamela Paz

PRINT NAME: Pamela Paz

ADDRESS: 41694 Kenilworth Ln.

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* more comments on reverse side *

- concerned for future building that could take place on property that would negatively affect homes that border those areas.
- We moved into a community that was an upscale golf community with club house, pool, restaurant, but by bit this has been taken away. This would not be a total loss with no golf at all. We are worried about our properties and our quality of living in this space. We as an association pay for road/curb repairs and upkeep as well as maintain island plantings + upkeep and street lights.



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

1) Planning done on 67 children, Jennifer Moss told me 200 children need to make project viable therefore Wakefield Entrance not adequate, Traffic study needed. 2) Noise will increase significantly. 3) Residents paid \$10,000 to be on Golf course 30 years ago, this will decrease Property Values. 4) Most Residents are retired and moved here for peace and quiet.

SIGNATURE: Anthony Cipicchio

PRINT NAME: Anthony Cipicchio

ADDRESS: 31138 Seneca Lane, Novi 48377

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Addition on BACK

- 5) No clear idea what open space means, how often will grass be cut, fertilized etc.
- 6) In planning documents it states no development on Golf course yet Plans submitted show future Commercial development West of Clubhouse on Hole 9 of Golf Course.
- 7) In planning document it state Residents were contacted, I was called last fall and asked about potential daycare, I have talked to most of the residents close to Clubhouse, NONE received a call.
- 8) Why did the Planning commission not talk directly with the people affected by this change



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I object to the re-zoning of the Maples of Novi Planned Unit development agreement. I purchased my home to live in a residential area we don't have side walk and we just paid to have our roads re-done. This proposal would create abnormal traffic through our ~~subdivision~~ subdivision, due to traffic backup on 14 mile. The removal of the golf course and commercial business will devalue our property.

SIGNATURE: Jaqueline Hendrick Moore (Jackson)

PRINT NAME: Jaqueline Hendricks-Moore (Jackson)

ADDRESS: 31092 Arlington Circle, Novi, MI 48377

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Back over

This community is comprised of many retired and seniors people, who ~~prop~~ purchased their home in this community because of the peace and quiet, Also, the golf course is added value ~~to~~ to the property. Please don't approve this proposal.



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

This proposal has some very serious implications for the home owners including falling property values with the closing of the golf course, no clubhouse or swimming pool for the Greens Association, increased traffic congestion throughout the day with parents dropping/picking up children, and excessive playground noise in a normally quiet environment. Even →

SIGNATURE: Danira Vaglia
PRINT NAME: Danira Vaglia
ADDRESS: 31178 Seneca Lane

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though the Learning Center will mow the open spaces of a closed golf course, will it be maintained to keep the grass looking healthy by fertilizing and watering the grounds? People bought into this development because of the golf course and its amenities.



CITY OF NOVI
RESPONSE FORM

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45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

PURCHASED CONDO 2019 IN GOLF COMMUNITY. NOISE & TRAFFIC FROM 200 CHILDREN. MAINTENANCE & TRAFFIC ON ROADS IF THEY USE OTHER ENTRANCES, TOO MUCH TRAFFIC. WE PAY FOR OUR ROADS GOLF COURSE IS OUR COMMUNITY NOT OPEN LAND THAT IS MAINTAINED DAILY. UNCERTAINTY OF FUTURE LAND DEVELOPMENT IN CONDO BACKYARDS. THIS IS WRONG, NOT WHAT WE PURCHASED CONDO HERE FOR WHO WILL MAINTAIN THE OPEN LAND DAILY

SIGNATURE: Michael Klotzhuber Jane Klotzhuber

PRINT NAME: MICHAEL KLOTZHUBER JANE KLOTZHUBER

ADDRESS: 31129 ROLLING GROVE

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IF THIS REZONING IS PERMITTED, THEY SHOULD BE MADE TO PUT A GATE ON THE WAKEFIELD DR. ENTRANCE AND BUILD A NEW DRIVEWAY AND ENTRANCE ON 14 MILE. THIS WILL BE THE ONLY ENTRANCE THEY CAN USE

Michael Klotzhuber

MICHAEL KLOTZHUER

31129 ROLLING GROVE

Jane Klotzhuber

JANE KLOTZHUER



Received
June 4, 2021

CITY OF NOVI

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1) I do not agree to the school using the Maple Greens Roads to access the school either the W26 field entrance or the Waverly Entrance. They should build their own entrance to 14 Mile
- 2) I think the new school property should maintain the entire golf property and use it as a

SIGNATURE: [Signature]

PRINT NAME: ALYN R. STEAR

ADDRESS: 30951 SAVANNAH CT Novi, 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

It will change structure of our community totally. Bought property on Golf course to be in quiet residential community. Now we will be like major playground with multitude of children, more traffic and bottleneck at entrance. Unfair to homeowners.

SIGNATURE: Rose Stephens

PRINT NAME: ROSE STEPHENS

ADDRESS: 31042 SENECA LANE

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

WE BOUGHT IN THIS SUB DUE TO THE GOLF COURSE.
WE ARE A SENIOR COMPLEX AND THE NOISE AND
TRAFFIC FROM A DAY CARE WOULD BE UNACCEPTABLE.

SIGNATURE: Limba Amin Ratzel et Donald Ratzel

PRINT NAME: LIMBA AMIN RATZEL DON RATZEL

ADDRESS: 41522 CORNELL DR.

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

BOUGHT BECAUSE OF GOLF COMMUNITY, NO
PLACE FOR DAY CARE IN SENIOR COMMUNITY,
PLUS TRAFFIC AND NOISE CONCERNS

SIGNATURE: _____

Jordan Craddock

PRINT NAME: _____

JORDAN CRADDOCK

ADDRESS: _____

30884 GOLDEN RIDGE

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- Increased traffic from 14 mile onto Wakefield
- Negative affect to property value
- Concern over golf course/common area maintenance
- Against proposed future building on this property

SIGNATURE: Michael Salzenstein

PRINT NAME: Michael Salzenstein

ADDRESS: 30957 Tanglewood Dr., Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We are original owners and bought in this community because of the course. Also, property value is a major concern.

SIGNATURE: *Sandra Volchoff / Dennis Volchoff*

PRINT NAME: *Sandra Volchoff / Dennis Volchoff*

ADDRESS: *30956 Tanglewood Dr. Novi, MI 48377*

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

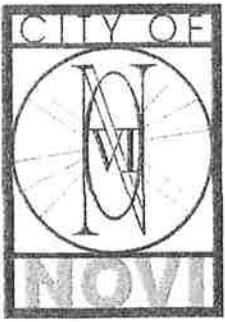
I enjoy the golf course behind my condo because of the open feeling it gives me. I would not want to see it grow out of control and not maintained neatly.

SIGNATURE: Esther Olson

PRINT NAME: ESTHER OLSON

ADDRESS: 30823 PALMER NOVI

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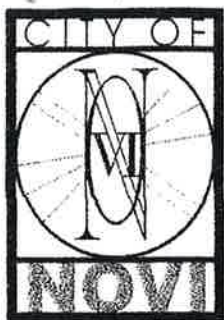
I do not want a day care center, I bought my condo because it is in a golf course community & I want to keep it that way. Putting a day care in will devalue the price of my condo & increase traffic. Absolutely NO.

SIGNATURE: Steven Migdalewicz

PRINT NAME: Steven migdalewicz

ADDRESS: 30750 Tanglewood, Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I have been a homeowner in the maples of Novi for 12 years. We love our serene golf community! Our home values will suffer with the proposed new zone!

SIGNATURE: Christie Capriotti

PRINT NAME: CHRISTIE CAPRIOTTI

ADDRESS: 30927 COPPER LN NOVI MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We will sell our home and move if this is approved- terrible idea for our community.

SIGNATURE: 

PRINT NAME: George Helms

ADDRESS: 30927 Copper Ln Novi MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

This move will decrease the value of my home. I moved here because there is a golf course. I'm not in favor of more traffic.

SIGNATURE: *Sheila R. George*

PRINT NAME: SHEILA R. GEORGE

ADDRESS: 41678 KENILWORTH LANE, NOVI, MI 48377

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Received
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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

This is a golf course community

SIGNATURE:

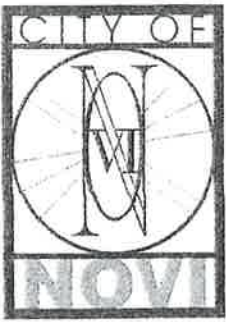
PRINT NAME:

Deborah Palmer

ADDRESS:

30855 Palmer Novi MI 48377

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

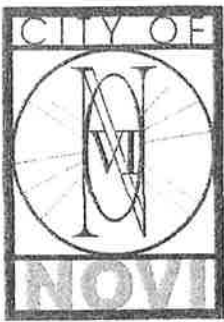
Traffic, Condition of the course/maintenance of Common area

SIGNATURE: Kelly Katus

PRINT NAME: Kelly Katus

ADDRESS: 30842 Palmer Dr.

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We bought here for the golf course community and the school does not fit this idea as well as the traffic will disrupt everything. This is not a good area for a school

SIGNATURE: *Mark A Frawley*

PRINT NAME: *MARK FRAWLEY*

ADDRESS: *30836 Palmer Drive, Novi MI 48377*

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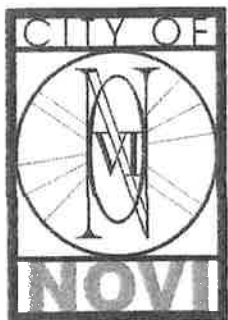
MY CONCERNS ARE NUMEROUS, BUT PRIMARILY I AM SURE THAT TRAFFIC IN AND OUT OF OUR SUB WILL INCREASE SIGNIFICANTLY. ALSO, IT'S NOW JUNE AND "OUR POOL" IS STILL NOT UNCOVERED AND PROBABLY WON'T BE ALL SUMMER. MANY OF US WOULD LIKE TO SEE THE CLUBHOUSE BACK TO WHAT IT WAS DESIGNED TO BE. THE GOLF COURSE WAS A BIG BONUS, WITHOUT IT PROPERTY VALUES WILL DROP!

SIGNATURE: Arthur Vuold, Jr.

PRINT NAME: ARTHUR R. VUOLD, JR.

ADDRESS: 30860 PALMER DR, NOVI, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Additional traffic on association Roads. These are private roads with NO sidewalks.

Traffic back-ups on Warfield from IXL patrons. This facility will need its own entrance off 14 Mile. NOT association Road, Warfield.

SIGNATURE: Janine McKay

PRINT NAME: Janine McKay

ADDRESS: 30742 Tanglewood Dr. Novi, Mi 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1. TRAFFIC
- 2. GOLF COURSE MAINTENANCE
- 3. PROPERTY VALUE AND NOISE
- 4. THIS PROPERTY WAS SOLD TO US AS A SENIOR GOLF COMMUNITY!!!

SIGNATURE: Carole Isner

PRINT NAME: CAROLE ISNER

ADDRESS: 41542 CYPRESS WAY

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I SUPPORT I OBJECT

*** TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:**

Maples of Novi is a quiet, serene, and peaceful semi-retirement bedroom condo community.

I DO NOT WISH to have a daycare center at Maples of Novi.

A daycare center would disrupt our tranquil way of life with unnecessary traffic congestion at the front our complex and unwanted noise.

SIGNATURE: Barbara Knox
PRINT NAME: BARBARA KNOX
ADDRESS: 30978 SENECA LANE, NOVI, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1) Our quiet residential area cannot handle the traffic that would be created. This is our main entrance to our subdivision
- 2) Does the applicant realize the design of the golf course and what the maintenance would entail?

SIGNATURE: Maimu Looke

PRINT NAME: Maimu Looke

ADDRESS: 41526 Cypress Way, Novi 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1) Will increase traffic & noise and discourage prospective buyers.
- 2) Decrease property values.
- 3) Threaten the safety of residents with vehicles traveling in & out of complex.
- 4) Destroy beauty & view for units residing in the clubhouse area.
- 5) Doesn't support vision for senior community where residents can meet others & play golf.

SIGNATURE: Edward Grunert Darlene Grunert
 PRINT NAME: Edward Grunert Darlene Grunert
 ADDRESS: 41686 Kenilworth Lane

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

GIVEN THE LIMITED ACCESS TO THE PROPOSED FACILITY,
I AM EXTREMELY CONCERNED WITH THE PROBABLE
TRAFFIC CONGESTION AND THE SAFETY ISSUES. I AM
ALSO CONCERNED WITH HOW THE OPEN AREA WILL
BE MAINTAINED AND HOW THIS WILL IMPACT PROPERTY
VALUES (WHICH COULD ALSO RESULT IN REDUCED PROPERTY TAXES
FOR THE CITY.)
SIGNATURE: Jeanne Carlson
PRINT NAME: JEANNE CARLSON
ADDRESS: 30847 PALMER ROAD, NOVI, MI 48377

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I SUPPORT

I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

WE NEED TO KEEP THIS AS A GOVT OWNED FACILITY BECAUSE IT HAS
(GET NEW MANAGEMENT) - NOVI CAN UTILIZE COMES FOR CONSOLE COMMERCE
TOO MUCH ZONING ADDITION

SIGNATURE: *Lawrence Watson*

PRINT NAME: LAWRENCE WATSON

ADDRESS: 3194 TAYLOR ROAD

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Traffic issues
Golf Course Maintenance
Proposed Land Usage - "future buildings"
Property Value -
Noise
We like the Golf course being in our Community

SIGNATURE: Karen Wagner

PRINT NAME: Paul & Karen Wagner

ADDRESS: 30863 Palmer Dr.

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

A preschool of the proposed size would greatly change the tone of the neighborhood for this community's residents. The increased noise and traffic is not consistent with the wants and needs of our residential community. change in ownership to a preschool would also likely lead to change in the level of maintenance of common areas of the neighborhood to a level that is not considered acceptable by this community.

SIGNATURE: Ian and Allison Raber

PRINT NAME: Ian and Allison Raber

ADDRESS: 30936 Tanglewood Drive, Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

It will lower the value of our home, and this would no longer be a golf course community.

SIGNATURE: *John A. McKeever*

PRINT NAME: JOHN A. MCKEEVER

ADDRESS: 30831 PALMER DR NOVI, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I am worried about traffic on Wakefield. Also what will happen to the golf course. It could start to look very unkept and our home values would go down. They need a separate entrance/exit to the facility!! I think this decision needs more thought and research.

SIGNATURE: Margery Jablin

PRINT NAME: Margery Jablin

ADDRESS: 30846 Tanglewood Dr, Novi MI 48377

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CITY OF NOVI

RESPONSE FORM

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- my decision comes with a " caveat " regarding several items, but not all, as conditions to proceed;*
- ① *Traffic on entrance and exits on Wakefield Dr - resolution?*
 - ② *Holf course - Open space - maintenance, environmental issues, etc*
 - ③ *Noise control from Club house*
 - ④ *Building of other structures on Holf Course property*

SIGNATURE: Leslie Saxon

PRINT NAME: LESLIE A SAXON

ADDRESS: 41636 CHARLESTON LANE NOVI, MICH 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Traffic on 14 mile Road

Traffic in sub-division

Lower Property Value

SIGNATURE: MW. Sanders

PRINT NAME: MAURICE W. SANDERS

ADDRESS: 41606 Kenilworth Ln Novi MI 48377

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CITY OF NOVI

Received
June 4, 2021

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I am not a fan of the current golf course and the patrons hitting balls onto my deck and damaging my property. Thus loitering around looking for balls and children playing soccer.

SIGNATURE: Candice Crawford
PRINT NAME: Candice Crawford
ADDRESS: 30807 Palmer Drive Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- 1) Property values will decrease
- 2) Traffic issues
- 3) Noise issues
- 4) "Proposed" land use - will make above worse
- 5) There are other areas that are far better suited for daycare

SIGNATURE: Susan Coyle Please see attached →

PRINT NAME: Susan Coyle

ADDRESS: 41700 Charleston Ln, Novi, MI 48377

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City of Novi
Response Form

Objection reasons:

- 1) I purchase my condo four years ago because of the golf course, club house and pool. I have fully utilized and enjoyed the community amenities. I believe this proposal will decrease my property value.**

- 2) Pre-covid the traffic on 14 Mile Road backed up from the light at Welch Road in both directions from M-5 to Wakefield during morning and evening rush hours. Unless 14 Mile Road is improved, I don't think it will be safe. I am also afraid patrons will start using the other entrances to Maples of Novi to get to the day care center. We do not have sidewalks, so residents walk and visit with neighbors in the street. We have enough issues making residents drive the 20-mph speed limit so this increase in traffic will only serve to make matters worse.**

- 3) With the playground located where the existing pool and putting green are will be very noisy for those neighbors that back up to that parcel of land. This is a very quiet community.**

- 4) The notation of "proposed" land usage along 14 Mile Road toward Novi Road only serves to make all of the above issues worse.**

- 5) In conclusion, there are several properties along 14 Mile Road zoned commercial that would be better suited for a day care center. So please do not amend the Maples of Novi Planned Unit Development Agreement and Area Plan.**

Susan Coyle

41700 Charleston Ln

Novi, MI 48377





CITY OF NOVI
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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE:

Vauehat

PRINT NAME:

Chat Nguyen

ADDRESS:

41693 elton lane Novi MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

~~RE-ZONING~~ RE-ZONING of GOLF COURSE etc
CONCERNED about traffic & congestion & cars cutting thru
our sub division
Building behind our unit

SIGNATURE: *Milton Hecker* Barbara Hecker

PRINT NAME: MILTON HECKER BARBARA HECKER

ADDRESS: 31167 ROLLING GROVE DRIVE

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

LOSS OF PROPERTY VALUE IS UNACCEPTABLE. WE BOUGHT INTO A RESIDENTIAL COMMUNITY. THE INCREASE IN TRAFFIC ON 14 MILE LEADING TO THE WAKEFIELD ENTRANCE AND THROUGHOUT OUR SUB-DIVISION WOULD GREATLY INCREASE MOTOR VEHICLES SPEEDING. MAPLES OF NOVI CO-OWNERS WOULD NO LONGER HAVE A POOL, A CLUB HOUSE, OR A GOLF COURSE. ONLY 200 PLUS SCREAMING CHILDREN CANCELLING OUR PEACE AND QUIET RESIDENTIAL EXISTENCE. PLEASE RECONSIDER ANOTHER AREA FOR THIS.

SIGNATURE: Clarence Robinson

PRINT NAME: CLARENCE ROBINSON M. E. ROBINSON

ADDRESS: 31159 ROWLING GROVE DR., NOVI 48377

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*Mailed
5-29-2021*

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248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I am a resident of the Maples of Novi and also a Realtor. Having knowledge of real estate I can assure that amending the planning unit of the Maples area will greatly decrease the property values, bring more traffic of cars and children. There are a lot of seniors here. Maintenance would decrease - ect. I say NO! to this proposal!

SIGNATURE: Marion Tindle

PRINT NAME: Marion Tindle

ADDRESS: 31151 Rolling Grove Dr, Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We bought on a golf course — No Need for a lot of loud children in a very quiet cross setting — too much traffic!

SIGNATURE: *Louie Dorka*

PRINT NAME: *Louie Dorka*

ADDRESS: *30930 Copper Lane*

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I believe that closing the golf course will decrease our property value. If the golf course is not maintained the property will become an eye sore. I support saving the golf course and clubhouse together and keeping it open.

SIGNATURE: *Nancy L. Brown*
PRINT NAME: Nancy L. Brown
ADDRESS: 4702 Kenilworth Ln, Novi 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I purchased a condo in a residential setting and would like to keep it that way.

I object to traffic in our subdivision as well as screaming children nearby.

There is not sufficient explanation of responsibility for maintenance of grounds.

SIGNATURE: *Mary E. Kitz*

PRINT NAME: *MARY E. KITZE*

ADDRESS: *31173 ROLLING GROVE*

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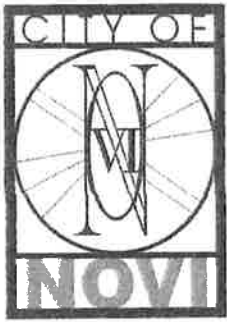
I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

TRAFFIC ON 14 MILE + WAKEFIELD DR -
TRAFFIC IS VERY HEAVY IN THAT AREA NOW

SIGNATURE: Mary M. Brower
PRINT NAME: MARY M. BROWER
ADDRESS: 31115 AUGUSTA CIRCLE NOVI

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I am not in favor of any kind of building on or around the property surrounding the existing building. Also this plan would introduce an influx of traffic on a mile road that is already stressed.

SIGNATURE: _____

Marion Elwart

PRINT NAME: _____

Marion Elwart

ADDRESS: _____

41625 Monterey Dr

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CITY OF NOVI

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*Maple Greens
Unit 6
Parcel ID #
50-22-02-226-164*

Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

① My home would back directly to the Learning Center additional playground. Based on my 30+ years in the mortgage industry, congestion, traffic, noise & the presence of commercial property all have the largest negative affects on property value, my home would be significantly impacted!
② Our entrance is Wakefield Dr, this is a private roadway, maintained by our monthly HOA dues, this roadway is not for sale & is designed for residential use, not a traffic flow of 100-200 additional cars in the AM & PM.
③ I am not a Marijuana user, however there is nothing that would prohibit a future purchaser of my home from personal use 25 feet behind a children's playground!

SIGNATURE: *Susan Silversides*

PRINT NAME: *Susan Silversides*

ADDRESS: *31239 Barrington Dr.*

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25 feet behind a children's playground!



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

In much traffic, too much noise, lead to commercial ~~residents~~ residents will move out which will change the dynamic of the community. Property values will decrease -

SIGNATURE: Alex Goodall

PRINT NAME: ALEX GOODALL

ADDRESS: 41636 MONTEREY DR, NOVI, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Creates heavy traffic + noise

SIGNATURE: *Avis Washington*

PRINT NAME: *Avis Washington (Continue Houston Residence)*

ADDRESS: *41632 Monterey Dr Novi MI 48377*

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

*Disruption of the residential living environment;
Safety; traffic congestion of 14 Mile and the entrance
into Maples*

SIGNATURE: *Vicki Carnes*
PRINT NAME: Vicki Carnes
ADDRESS: 41641 Monterey Dr. Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

MY PRIMARY OBJECTION IS THAT THERE WILL BE A BACKUP OF TRAFFIC ON 14 MILE RD THAT WILL CAUSE PEOPLE TO LOOK FOR OTHER CONVENIENCES TO THE DEVELOPMENT TO PICK UP OR DROP OFF THEIR CHILD.

THERE WILL ALSO BE A DECLINE IN PROPERTY VALUES. WE ADJUT INTO A GOLFING CONDO ASSOCIATION NOT A CITY-OWNED FACILITY.

SIGNATURE: Maria Hornsburg

PRINT NAME: MARIA HORNSBURG

ADDRESS: 3114 SENECA LAKE

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Entrance will be impossible to ENTER OR Exit
Noise level outside
Apperance of outside with playscape
Grass cutting
No Zoning for that structure in our Neighborhood

SIGNATURE: Deborah Sakowski

PRINT NAME: Deborah Sakowski

ADDRESS: 31018 Seneca Lane

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We don't know what the plan plans or traffic problems that will occur during school hours. What will the maples of Novi residents gain for our endurance of daily traffic and ground changes. The paying of association dues will we pay less.

SIGNATURE: Keith and Sonya Futrell

PRINT NAME: Keith and Sonya Futrell

ADDRESS: 31074 SENECA LANE, Novi

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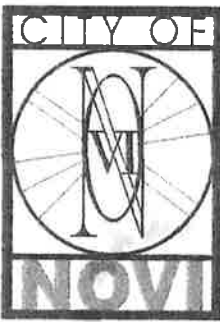
I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

THIS IS A RESIDENTIAL AREA AND A SCHOOL IS NOT PART OF OUR ORIGINAL PLAN DOCUMENTS. THERE WILL BE NOISE FROM CHILDREN IN A QUIET AREA OF OLDER RESIDENTS. THERE WILL BE MORE TRAFFIC PROBLEMS THAN THERE ALREADY ARE AT THE 14 MILE ROAD ENTRANCE AT START AND END OF SCHOOL. PEOPLE MOVED IN HERE BASED ON HAVING GOLF AND SWIMMING POOL AMENITIES.

SIGNATURE: Mary E. Roussey
PRINT NAME: MARY E. ROUSSEY
ADDRESS: 31183 SENECA LN., NOVI, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

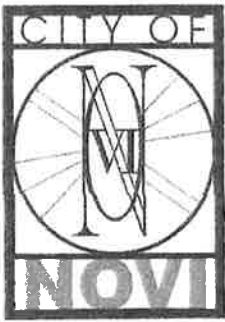
Traffic flow is already not good.
Entrance road will not support increased
flow of vehicles.
Need to lengthen the entrance lane
heading east.

SIGNATURE: Mike Young

PRINT NAME: Mike Young

ADDRESS: 31155 Seneca Ln

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Trails in the Area:
I would like to keep the pool

SIGNATURE:

PRINT NAME:

STEVE TARLETON

ADDRESS:

41660 MONTEREY DRIVE

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- ① Traffic — the road in/out of complex can barely handle current traffic — it can't handle all the parents dropping kids off/picking them up.
- ② Noise from kids out playing. This is a senior community
- ③ Property values — I bought in a golf community and this replacement will make it less desirable

SIGNATURE: Maureen Look

PRINT NAME: Maureen Look

ADDRESS: 31022 Seneca Lane, Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

This plan would adversely affect the property values of our homes. Traffic on 14 mile is justy already. Traffic to all entrances to Maples of Novi would be used to drop children off & pickup them up, increasing the traffic through the community. Losing the golf course, would affect many golfer who bought their homes here. - This is mostly a Senior Community

SIGNATURE: Christina Schiller

PRINT NAME: CHRISTINA SCHILLER

ADDRESS: 41609 MONTEREY DR

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

GOLF COURSE MAINTENANCE

INCREASE IN TRAFFIC

SIGNATURE: *Richard Cywinski*

PRINT NAME: *RICHARD CYWINSKI*

ADDRESS: *31146 SENECA, NOVI, MI 48377*

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

My WIFE & I BOUGHT OUR 1ST CONDO IN THE "MAPLES" (POINTS ASSOCIATION) IN 1997 MAINLY BECAUSE IT HAD A "PLAYABLE" GOLF COURSE, RESTAURANT, & POOL. WE MADE MANY FRIENDS & IN 2004 MOVED INTO THE GREENS SECTION OF THE COMPLEX, WITH THE FEELING IT WOULD BE OUR LAST MOVE. IF THE GOLF COURSE CLOSES AND IS A LEARNING CENTER TAKES ITS PLACE, WE FEEL IT NO LONGER MEETS OUR NEEDS OR WANTS. THE TRAFFIC & CHANGES TO THE AREA WILL NOT BE ACCEPTABLE TO US, & WILL, MORE THAN LIKELY, CAUSE US TO CONSIDER A MOVE TO ANOTHER AREA.

SIGNATURE: Richard A. D'Andrea / Laura M. Low

PRINT NAME: RICHARD A. D'ANDREA / LAURA M. LOW

ADDRESS: 31100 ARLINGTON CIR. NOVI, MI 48377

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CITY OF NOVI

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We Moved to the Maples of Novi in 1991 BECAUSE OF THE GOLF COURSE & CLUBHOUSE. We paid an additional \$5,000 lot premium to be on a fairway of the course. I do not agree with turning the current golf course into an open space. My hope is that the current club house can be returned to a restaurant as it was previously.

SIGNATURE: Jerry Hirst I STRONGLY OPPOSES THIS PROPOSAL AS THIS IS NOT WHAT THIS PUD WAS INTENDED

PRINT NAME: JERRY HIRST

ADDRESS: 41637 Sleepy Hollow NOVI MI. 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I live on the golf course and am very concerned about the so called "open space" being maintained. Possible increased traffic driving through neighborhood to avoid 14 mile. I moved here to enjoy the golf course.

SIGNATURE: Marilyn Spicer

PRINT NAME: Marilyn Spicer

ADDRESS: 41800 Independence Novi 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

TRAFFIC GETTING IN AND OUT OF THE COMPLEX MORNING AND AFTERNOON

NOISE FROM THE KIDS PLAYING OUTSIDE

SIGNATURE: James Hardy Jr

PRINT NAME: JAMES HARDY JR

ADDRESS: 31090 SENECA LN

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I know we would lose peace & quiet. The reason I moved here.

SIGNATURE:

Marianna Harrington

PRINT NAME:

MARIANNA HARRINGTON

ADDRESS:

31098 Seneca Ln.

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

For many reasons, mainly - Traffic, Home Values, and noise. Absolutely against this.

SIGNATURE: Tammi Bachleda

PRINT NAME: Tammi Bachleda

ADDRESS: 31066 Seneca Ln, Novi MI 48377

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I SUPPORT OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Traffic, noise, loss of golf course

SIGNATURE: Madilyn Petersmark
PRINT NAME: Madilyn Petersmark
ADDRESS: 31026 Service Lane

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We feel that this type of business will not add to the neighborhood or community character which we bought into originally. We feel our home market values will decrease, putting many into financial jeopardy as they live out their senior years. Traffic congestion, access to the community, noise and maintenance of the "green area" are also concerns.

SIGNATURE: William A. Reed Elsy Turk

PRINT NAME: William A. Reed Elsy Turk

ADDRESS: 30994 Seneca Lane Novi, Mi 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Too large a development. LOSS OF PEACE/QUIET
Way too much traffic.
TOO NOISY ESPECIALLY FOR THOSE AROUND THAT
AREA
~~ROAD~~ BLOCKS ACCESS TO MAPLES ENTRANCE WITH
ADD'L 300 CARS COMING IN AND OUT.
DESTROYS PROPERTY VALUES

SIGNATURE: Candace H. Booth

PRINT NAME: CANDACE H. BOOTH

ADDRESS: 31053 Tanglewood Dr., Novi, MI 48377

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*No Commercial
Developments
within our !!!
Community !!!*

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

We moved to the Maples of Novi 27 years ago for the golf course. We enjoy the peaceful quiet community. With a "day care center" pending there will be increased traffic in our subdivision, and when Hickory Woods school gets out in the afternoon the Novi Road entrance is jammed. I imagine what will happen to the 17 mile entrances utter chaos!! Please vote NO!

SIGNATURE: Karl Gross

PRINT NAME: Karl Gross

ADDRESS: 36029 Tanglewood Novi

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I bought my condo with a club house and pool.
I object to re-zoning
I object on general principles

SIGNATURE: Marcia R Silverman
PRINT NAME: MARCIA R SILVERMAN
ADDRESS: 41688 CHARLESTON NOVI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

A am opposed to the proposed amendment to the Maples of Novi planned unit development agreement due to the increased traffic and noise it would generate. Also, the lack of specific information on future development of open space and possible expansion.

SIGNATURE: Alice Kourtjian

PRINT NAME: ALICE KOURTJIAN

ADDRESS: 41494 Cypress Way, Novi, MI 48377-1566

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I am very much concerned about the traffic. The noise of the children much louder than golfers. The grass on the open area must be cut every week, and watered, sprayed for weeds the same as now. I am concerned about value of homes also.

SIGNATURE: Loretta M. Knox

PRINT NAME: Loretta M. Knox

ADDRESS: 41510 Cypress Way

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- Traffic to the proposed learning center can cause major backups on 14 mile Rd. both in the morning & evening rush hours.
- Learning Center with 100 or more children on the playground can negatively impact the value of my unit or the ability to sell my unit.

SIGNATURE: Carol S. Tower
PRINT NAME: Carol S. Tower
ADDRESS: 31230 Tanglewood Dr.

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



CITY OF NOVI
RESPONSE FORM

JSP21-03: IXL LEARNING CENTER OF NOVI, FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN.

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail or fax. Returning this form by mail or fax has as much validity as verbal comments. Information regarding the project is available the Saturday before the meeting date at:

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I object to the proposed rezoning in the Maples of Novi. The Golf Course and Pool was to plus in buying my Condo and this will bring down the value of my Condo. Also the traffic and noise will be over bearing and any new buildings along 14 mile road will not add to the beauty of the Maples of Novi.

SIGNATURE: Gloria J. Long

PRINT NAME: G L O R I A J . L O N G

ADDRESS: 31207 BARRINGTON Dr, Novi, MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

we only recently moved to our new home. One of the primary reasons this location was so appealing was the quiet and peacefulness it offered. The ideal that the level of traffic in and out of the complex will increase by amounts quoted is very disturbing. Please do not allow that change.

SIGNATURE: Linda Connolly

PRINT NAME: LINDA CONNOLLY

ADDRESS: 31186 SENECA LANE, Novi, MI, 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Lillie Dorsey-Mckisic
PRINT NAME: LILLIE DORSEY-MCKISIC
ADDRESS: 41502 CYPRESS WAY, NOVI, MI 48377

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Board of Directors, President



Clubhouse&Golf
Course...o 1.pdf



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SUPPORT OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

TRAFFIC PROBLEMS
FURTHER DEVELOPMENT

SIGNATURE: JE Paul
PRINT NAME: JOSEPH E PASI
ADDRESS: 414 78 CYPRESS WAY

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Wanda Morelli

PRINT NAME: Wanda Morelli

ADDRESS: 41660 Sleepy Hollow Novi, Mich

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Drop-off and pick-up traffic issues;
such as congestion, noise

SIGNATURE: Denise C. Savino
PRINT NAME: DENISE C. SAVINO
ADDRESS: 30972 Tanglewood Dr

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Heavy traffic into and around the neighborhood
Type of "maintenance" of the open space
Proposed commercial building along 14 Mile as an unsightly and disruptive property.

SIGNATURE: Christine Sitko

PRINT NAME: Christine Sitko

ADDRESS: 31223 Barrington Drive, Novi

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Thirty one year ago when we bought Condo, the golf course was a selling point as my husband & I were golfers. The golf course is a selling point for many to buy. I firmly object to traffic this would bring into our quiet complex.

SIGNATURE: Emma Morse

PRINT NAME: EMMA MORSE

ADDRESS: 41503 CYPRESSWAY

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I SUPPORT I OBJECT - STRONGLY

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I LIVE IN THE MAPLES OF NOVI, AND THAT WOULD BE AT OUR ENTRANCE. AS IT IS THE ENTRANCE IS CURRENTLY POORLY MAINTAINED. IT WILL AFFECT OUR PROPERTY VALUE TO HAVE A COMMERCIAL BUILDING THERE. WHY WOULD YOU PUT AN EDUCATION CENTER LESS THAN A 1/4 MILE FROM AN EXISTING ELEMENTARY SCHOOL. IT ALSO WOULD BRING EXTREME AMOUNTS OF TRAFFIC TO AN ALREADY CONGESTED AREA.

SIGNATURE: Tamara Salisbury

PRINT NAME: TAMARA SALISBURY

ADDRESS: 41470 CYPRESS WAY

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I don't want the traffic flow coming in and out of the complex. 14 mile Rd and Novi Rd. can not handle that traffic and our streets inside the complex will not handle the excess traffic that will be created.

SIGNATURE: Albert S. Yendick

PRINT NAME: ALBERT S. YENDICK

ADDRESS: 41533 CYPRESS WAY Novi, Mi. 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

People move into areas such as Maple Greens for its aesthetic value to not only enjoy ponds and wetlands; not to mention birds and wildlife. We do not want this tranquility disturbed by any type of re-zoning and we certainly DO NOT want the traffic that this action may be creating. The city seems to be of the opinion that every street corner needs to be commercialized.

SIGNATURE: Frederick L. Abicht / Connie Abicht

PRINT NAME: Frederick L. Abicht / Connie Abicht

ADDRESS: 41509 Cypress Way Novi MI 48377

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

① We bought in a golf community not this.
② Who/How would original golf course be maintained?
③ I have a friend that lives next door to a small daycare, with trees and open separating the properties and it was a night mare, cars, screaming kid and adults, etc.

SIGNATURE: Debra Skora

PRINT NAME: Debra Skora

ADDRESS: 31162 Seneca Ln, Novi

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Should be left as intended, pool, golf course and possibly a restaurant.

SIGNATURE: Catherine A Servo

PRINT NAME: CATHERINE A. SERVO

ADDRESS: 31170 Seneca Ln.

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).

CITY OF NOVI
PUBLIC HEARING NOTICE
ZOOM VIDEO CONFERENCE ELECTRONIC MEETING

Received
June 4, 2021

NOTICE IS HEREBY GIVEN that the Planning Commission for the City of Novi will hold a public hearing on Wednesday, June 9, 2021 at 7:00 P.M. on the Zoom Video Conference electronic meeting platform to consider JSP21-03: IXL LEARNING CENTER OF NOVI FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN. The subject property totals approximately 30.32 acres and is Parcel 50-22-02-200-039, which is located east of Novi Road and south of Fourteen Mile Road (Section 2). The subject property is zoned RA (Residential Acreage) with a PUD (Planned Unit Development) Agreement. The applicant is proposing to repurpose the Maples of Novi clubhouse into an education center for children and will maintain the current golf course as open space.

Plans are available for review by contacting the Community Development Department at the following email address: bmcbeth@cityofnovi.org



submit to
ic form on www.cityofnovi.org
the meeting. The electronic form
Commission members are expected to log in to ZOOM.
June 9, 2021
Secretary

1) Other Locations



CITY OF NOVI

RESPONSE FORM

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Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

The infrastructure in this area will not support additional traffic - on 14 Mile Rd. - It is already congested - only a 2 lane road - The road is already in disrepair and would only get worse.

SIGNATURE: Janice M. Everard
PRINT NAME: JANICE M. EVERARD
ADDRESS: 216 Winslow Circle, Walled Lake MI 48390

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CITY OF NOVI

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I SUPPORT I OBJECT

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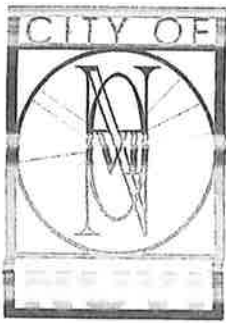
There will be a significant increase in traffic in both directions. There is only one lane of traffic in each direction and it is not safe for children/parents to cross. It will cause unnecessary traffic, congestion and back-ups.

SIGNATURE: *Marsha Levine*

PRINT NAME: *MARSHA LEVINE*

ADDRESS: *224 Winslow Circle, Commerce Twp.*

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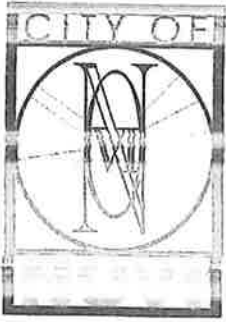
TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

SIGNATURE: Patricia Czach

PRINT NAME: Patricia Czach

ADDRESS: 244 Winslow Circle,

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

- The Waldon Pond condominium community in Commerce Township entry way is directly across 14-mile road from the Wakefield entry way to the Maples of Novi golf course. This is the only entry and exit way to Waldon Pond Community. Because there is no other entry and exit for Waldon Pond any obstruction on 14 mile road will allow residents no way to enter or leave the community. Construction of a school where the current golf course building is located will affect the Waldon community in the following ways: _____
- a. Significantly increase 14 mile traffic on the road which is only two lanes and heavily traveled especially in the morning and evening hours. _____
- b. Emergency vehicles are often present in Waldon Pond because of the majority of residents are senior citizens. _____
- c. Because of the narrow lanes on 14 mile cars cannot line up or park which is the case where schools are located. _____
- d. The noise that surrounds school locations such as fire drills, school buses dropping children off, outside school activities, etc. will create noise and disrupt what is currently a very quiet residential area. _____
- e. The potential for increased accidents on 14 mile road because of the number of cars that resulting from parents, school busses, etc. dropping and picking off children that attend the school. _____
- f. _____

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Signature: *Patricia Munson, Vice President - Waldon Pond Community Association*
Print Name: *PATRICIA MUNSON*
Address: 296 Winslow Circle - Commerce Twp. MI 48390

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ENTRANCE TO THE STRUCTURE(S).***



CITY OF NOVI

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

The amount of traffic at 14 mile + Wakefield would increase significantly during school hours. Traffic could backup onto 14 mile Road. Maples of Novi residents might have to use a different entrance. Walden Pond residents have only one entrance/exit directly across from Wakefield. It is conceivable that they would be unable to enter or exit. Emergency vehicles and deliveries could be blocked.

SIGNATURE: Margaret Jonesku

PRINT NAME: Margaret Jonesku

ADDRESS: 234 Windsor Circle, Commerce Twp. 48390

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Barbara Elson
Barbara Elson
191 Winslow Circle
Commerce Twp. MI 48370

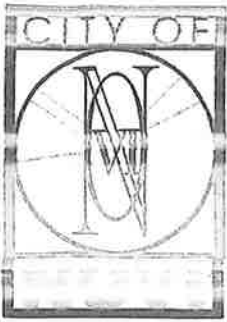
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Lawrence Elson
LAWRENCE ELSON
191 Winslow Circle
Commerce Twp. MI 48370

I SUPPORT I OBJECT

As residents of the Waldon Pond Condominium Community, located directly across the street from the entrance to the Maples of Novi, we strongly oppose the proposal to allow IXL Learning Center to create their facility where the Maples of Novi clubhouse currently is located. Our condominium complex consists of one street (Winslow Circle) that circles our community with only one access to enter and exit on the north side of 14 Mile Road. As it is, 14 Mile is extremely busy, particularly at the start and end of each work-day, making getting in and out of our complex challenging during those times. Creating even more traffic congestion with school arrival and dismissal, along with their proposed midday dismissal for their youngest students, would be unconscionable. The Walled Lake School district currently has a 14 Mile bus stop at the entrance to our complex and I can't even fathom how this would be feasible both from a traffic perspective and from a safety perspective for students boarding and exiting that bus with simultaneous school traffic directly across the street. Additionally, 14 Mile Road is only a two-lane street and school traffic would most likely overflow from the IXL lot to 14 Mile creating even more hazard and congestion. The proposal information shared with us also stated that a traffic study was done and stated that the traffic from a school would be no greater than the current use of the clubhouse for banquets, etc. The clubhouse is actually used to house golf equipment for an online golf equipment business and an office for golfers to come in and pay. We have lived here 16 years and have never known it to be used for banquets. It was a restaurant in the past that wasn't ever busy and subsequently closed. Finally, access for emergency vehicles to either complex would certainly be impacted should the need arise during prime drop off and dismissal times.

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

The traffic will be unsafe for the neighbors and the parents picking up and dropping off

SIGNATURE: *Gail Ramnikur Zisholz*

PRINT NAME: *GAIL RAMNIKUR ZISHOLZ*

ADDRESS: *340 WINSLOW CIRCLE*

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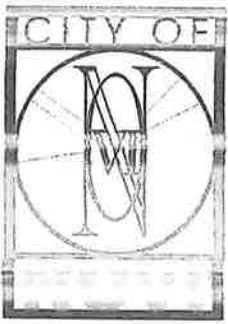
*Walden pond only has one exit which is 14 miles.
14 miles has only one lane going each way.
If the police or fire department have to come, that
would be a disaster with just one lane.
If our complex is told to evacuate, with just one exit,
it would be a disaster at certain times of the day.*

SIGNATURE: Sharyn Mann

PRINT NAME: SHARYN MANN

ADDRESS: 193 WINSLOW CIRCLE

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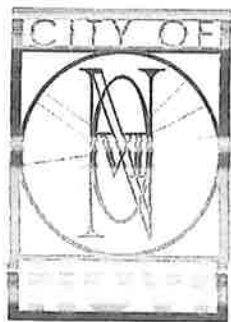
① Walden Pond, across street of proposed changes, has only one entrance - IN & out. Traffic is difficult as it is and close to impossible to make a left turn out of the complex. We have many elderly owners that require EMS often - EMS will have difficulty getting in & out. Property values will adversely be affected. Noise issue! Safety issue! too much traffic for a quiet neighborhood. Object!

SIGNATURE: Marlene Chudnov

PRINT NAME: Marlene Chudnov

ADDRESS: 214 Winslow Circle, Commerce Township, MI, 48390

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

① Waldon Pond, directly across the street, has only one entrance/exit. This proposed change will negatively affect our ability to access our development. ② The volume of cars anticipated will exceed the capacity of 14 Mile Road at the intersection of Wakefield/Winslow Circle/14 Mile. Cars will be backing up onto 14 mile Rd during drop-offs & pick-ups. ③ Access for emergency vehicles into and out of Waldon Pond will be adversely effected. We have several elderly residents who require EMS often. ④ Property values will be negatively impacted with a commercial development just across the road. ⑤ Traffic will create a safety hazard for our community.

SIGNATURE: Marcia N. Persin

PRINT NAME: Marcia N. Persin, Secretary Waldon Pond Homeowners Association

ADDRESS: 331 Winslow Circle, Commerce Township, MI 48390

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Based on the proposed school location, I am very concerned with the increased traffic congestion on 14 Mile Road. The Walden Pond Condominium complex has only one way in and out of the complex which is on 14 Mile Road. The increased traffic on a two-lane road will make it much more difficult for the Walden Pond residents to leave and return home.

SIGNATURE: Debra L. Kirar

PRINT NAME: DEBRA L. KIRAR

ADDRESS: 322 WINSLOW CIRCLE, COMMERCE TWP., MI 48390

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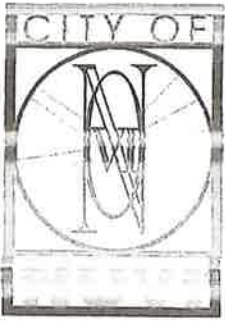
increased traffic - making it harder to
get in & out of our complex. we only have
one entrance.

SIGNATURE:

PRINT NAME: JUDITH WEINSTEIN

ADDRESS: 342 WINSLOW CIRCLE

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JSP21-03: IXL LEARNING CENTER OF NOVI, FOR A REQUEST TO AMEND THE MAPLES OF NOVI PLANNED UNIT DEVELOPMENT AGREEMENT AND AREA PLAN.

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail or fax. Returning this form by mail or fax has as much validity as verbal comments. Information regarding the project is available the Saturday before the meeting date at:

<https://www.cityofnovi.org/Agendas-Minutes/Planning-Commission/2021.aspx>

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Plans are available for viewing during the City's regular business hours, Monday thru Friday, from 8:00 A.M. to 5:00 P.M., at the Community Development Department and also by contacting bmcbeth@cityofnovi.org. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Please return this form prior to 4:00 PM on the day of the meeting to:

Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

This situation could cause numerous problem situations for the home owners on Winslow Circle. I see traffic congestion as becoming a major issue for us on a daily basis. With this amount of increase in traffic we can expect a definite problem with traffic accidents for this area.

SIGNATURE: Glenna White

PRINT NAME: Glenna White

ADDRESS: 160 Winslow Circle, Commerce Twp. MI 48390

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).



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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Bad traffic at a bad entrance very dangerous

SIGNATURE: Walter M Reuter

PRINT NAME: WALTER REUTER

ADDRESS: 320 WINSLOW CIRCLE COMMERCE MI 48390

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

EXTREME TRAFFIC CONCERNS!
THIS PLAN WILL NOT BE
SAFE FOR OUR COMMUNITY!

SIGNATURE: Bethany Stern
PRINT NAME: BETHANY J. STERN
ADDRESS: 162 WINSLOW CIRCLE - CON. TWP MI 48390

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

*This plan will not work for our Community
It will not be safe because of the
congestion. It will be a thorn in our side.*

SIGNATURE:

Sandra Louisa

PRINT NAME:

SANDRA LOUSIA

ADDRESS:

302 Winslow Circle

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

I HAVE MAJOR CONCERNS Re TRAFFIC Flow IN & OUT of
WALDEN POND with a School Across the Street
IT IS DIFFICULT NOW TO MAKE LEFT TURN OUT of WALDEN POND
with School Traffic it will only get worse -
there is ONLY ONE ENTRANCE AND EXIT AVAILABLE TO AND FROM
WALDEN POND

SIGNATURE: W. Hellman

PRINT NAME: WILLIAM R. HELLMAN

ADDRESS: 152 WINDLOW CIRCLE, COMMERCE TWP, MI 48390

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I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Too busy. you cannot get left
when driving is traffic. Accidents
are bound to happen
just too many cars

SIGNATURE:

Gail Bernhardt

PRINT NAME:

GAIL Bernhardt

ADDRESS:

173 Winslow Circle

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Your Name (*) Anthony Cipicchio

Your Street Address (*) 31138 Seneca Lane Novi

Your Feedback/Comment (*) I am president of the Maples Green I am contacting you on behalf of all 700+ residents, we are strongly opposed to changing our clubhouse into a day care. We have many concerns just a few are traffic, noise, safety, reduction of our quality of life, and reduced value of our property, these are just a few of our concerns. Please do not let this change occur this is only golf course in Novi, we are senior community it does not fit the original plan of the Maple.

Submitted 6/4/2021 4:02:30 PM

From: Kevin Goulet

Sent: Thursday, June 3, 2021 12:28 PM

Subject: Rezoning of Maples of Novi clubhouse to IXL Learning Center

City of Novi,

As a resident of the Maples of Novi - Maple Greens we are strongly opposed to the proposed rezoning of the Maple Golf Course Clubhouse to be rezoned for IXL Learning Center.

The golf course, clubhouse and swimming pool have been the center of this community for nearly 30 years and is a major reason for buying into this community. The clubhouse has potential to be developed into a family type restaurant and snackbar for the golfers. The swimming pool is a great asset to the Maples Green community and the surrounding residents.

A major safety concern is the increased traffic from ~ 200 vehicles in the morning and evening dropping off and picking up their children. Even though the traffic study was conducted for ~70 vehicles the owner of IXL stated there will be approximately 200 children in attendance. This traffic will back up from Wakefield Drive to 14 mile creating an unsafe condition. Also there fore sure will be a number of vehicles cutting through the subdivision on Collingdale and Tanglewood drive. There is already a major safety concern with the amount of speeding traffic on these roads which for sure increase with proposed rezoning.

The proposed plan is to fill in the pool and create a large playground. Even though the owner proposes to install a fence and landscaping this will create a noise concern for the number of homes that are adjacent to the clubhouse. There will be a number of children on the playground and this will be a noise disturbance to the adjacent homes all day long. This is mainly an adult community.

The loss of the golf course and the swimming pool will have a major impact on this community. This subdivision was established nearly 30 years ago and many/all the owners bought into this community because of these amenities. The HOA has been working hard to maintain and improve the homes in Maples of Novi and this loss will surely decrease the home values. There are many homes on the golf course that their home values will greatly drop if the golf course is closed.

Overall we feel this is just the wrong location for a Learning Center in the middle of an adult community and it will negatively impact our community. At this time there are many available commercial properties in the surrounding area that are much better suited for a learning center.

Please reject this rezoning proposal.

Kevin Goulet
Best Wishes

From: Janine Mckay

Sent: Wednesday, June 2, 2021 1:24 PM

Subject: Maples of Novi Rezoning

Greetings,

As a 15 year resident of the Maple Greens, within the Maples of Novi, I have appreciated the quiet neighborhood. Our roads, within all 4 associations, are the property of each association with traffic limited to residents and essential services (contractors, etc). There are no sidewalks, with the exception of Collingdale, along association roads. This means walkers, cyclers, and the like, take to the streets for exercise. With this stated, one of my major concerns will be additional traffic within our associations as patrons of the IXL Learning Center look for ways to and from the facility to drop off and pick up their child(ren). The Wakefield entrance off of 14 Mile Road (owned by the Maples of Novi) will be bogged down with traffic entering and exiting. Patrons of the proposed facility will seek alternative routes...OUR association roads. There is another condominium complex on the north side of 14 Mile Rd. just opposite Wakefield. Residents wanting to enter onto 14 Mile Rd. will be delayed, also due to the additional traffic to the proposed facility. So traffic is my major concern.

Secondly is the noise factor. The proposed playground will be very close to condominium units on Barrington, Seneca, and Tanglewood. There is no guarantee the noise level will be tolerable. Also, how will that, and the proximity of the proposed facility to our condo units, affect the ability to sell these units. My guess would be the proposed facility will greatly impact the ability to sell, or will impact the value of these units. Who shall compensate these sellers for that loss of value?

This area was developed as a condominium/golf community. This proposed rezoning for the IXL Learning Center is not an appropriate fit for this property and location. I am vehemently opposed to this proposal and hope the council will take into consideration the negative impact on the Maples of Novi if this action is approved.

Respectfully,

JanineMcKay
MapleGreens
30742 Tanglewood Dr.