



AUDI OF NOVI JSP21-34

JSP21-34 AUDI OF NOVI

Public Hearing at the request of Lithia Motors, Inc. for approval of the Preliminary Site Plan, Special Land Use Permit, and Stormwater Management Plan. The subject property is approximately 3.91 acres and is located at the northwest corner of Ten Mile Road and Haggerty Road in the B-3, General Business Zoning District. The applicant is proposing to demolish a former Jaguar Car Dealership and redevelop the site in order to build an approximately 11,935 square foot two-story car dealership building to be used by Audi of Novi along with associated parking, vehicle inventory, and site improvements.

Required Action

Approve/Deny the Special Land Use Permit, Preliminary Site Plan, Stormwater Management Plan, and any applicable Landscape Waivers.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	4-7-22	<ul style="list-style-type: none"> • Zoning Board of Appeals Variance from Section 3.10.3.A for an overhead door on the south elevation facing a major thoroughfare (Ten Mile Road). • Parking Setback Waiver of 5.72 feet (10 feet required, 4.28 feet proposed) along the north property line. • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	4-4-22	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended	3-23-22	<ul style="list-style-type: none"> • Landscape waiver for the lack of a greenbelt berm along Ten Mile Road. • Landscape waiver for the lack of street trees along Ten Mile Road. • Landscape waiver for the lack of greenbelt trees along Haggerty Road. • Landscape waiver for the lack of street trees along Haggerty Road. • Landscape waiver for the lack of a berm or alternate screening for the parking lot along Haggerty Road. • Landscape waiver for a deficiency in building foundation landscaping contingent upon landscaping area provided elsewhere on the site. • Items to be addressed by the applicant prior to Final Site Plan approval

Traffic	Approval recommended	4-1-22	<ul style="list-style-type: none">• Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	3-31-22	<ul style="list-style-type: none">• Section 9 Façade Waiver for underage of brick on the south elevation.• Items to be addressed by the applicant prior to Final Site Plan approval
Fire	Approval recommended	8-25-21	<ul style="list-style-type: none">• Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Audi of Novi, JSP21-34, motion to **approve** the Special Land Use Permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service *because the proposed use is compatible with the surrounding area and no new driveways are proposed on Ten Mile Road or Haggerty Road;*
 - ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area *because the use of the site is not changing substantially from its previous use;*
 - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses, and wildlife habitats *because the proposed use does not impact any regulated natural features;*
 - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *because the proposed use is similar to the surrounding commercial and industrial uses;*
 - v. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use *because the proposed use is a compatible commercial development that provides economic value to the community;*
 - vi. The proposed use will promote the use of land in a socially and economically desirable manner *because the proposed use is similar to the previous use and will add another dealership option to the surrounding area;*
 - vii. The proposed use is listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this ordinance, and is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. *(additional comments here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Preliminary Site Plan

In the matter of Audi of Novi, JSP21-34, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Zoning Board of Appeals Variance from Section 3.10.3.A of the Zoning Ordinance for an overhead door on the south elevation of the building facing a major thoroughfare (Ten Mile Road) as recommended by staff *because the overhead door is properly screened and does not have a detrimental impact on ingress/egress to Ten Mile Road;*
- b. Parking Setback Waiver of 5.72 feet (10 feet required, 4.28 feet required) along the north property line based on the Planning Commission finding that such modification will result in an improved use of the site provided that the proposed parking setback area of 34,279 square feet as calculated by the applicant exceeds the required parking setback area of 26,430 square feet, *which is hereby granted;*
- c. Landscape waiver for the lack of a greenbelt berm along Ten Mile Road contingent upon the existing hedge along the parking lot being maintained or replaced *because the existing hedge provides proper screening, which is hereby granted;*
- d. Landscape waiver for the lack of street trees along Ten Mile Road *because of utility conflicts, which is hereby granted;*
- e. Landscape waiver for the lack of greenbelt trees along Haggerty Road *because of the conflict with the underground Buckeye Pipeline utility corridor, which is hereby granted;*
- f. Landscape waiver for the lack of street trees along Haggerty Road *because of utility conflicts, which is hereby granted;*
- g. Landscape waiver for the lack of a berm or alternate screening for the parking lot along Haggerty Road contingent upon a hedge being provided *because of the conflict with the underground Buckeye Pipeline utility corridor, which is hereby granted;*
- h. Landscape waiver for a deficiency in building foundation landscaping contingent upon landscaping area being provided elsewhere on the site *because the footprint of the building does not provide enough space for the required foundation landscaping, which is hereby granted;*
- i. Section 9 Façade Waiver for an underage of brick on the south elevation (30% required, 0% provided) as determined by the City's Façade Consultant *because the lack of brick on the south elevation is offset by the predominate use of brick on all other elevations and does not adversely affect the overall design of the building, which is hereby granted;*
- j. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- k. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Audi of Novi, JSP21-34, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Audi of Novi, JSP21-34, motion to **deny** the Special Land Use Permit...*(because the plan is not in compliance with Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

Denial – Preliminary Site Plan

In the matter of Audi of Novi, JSP21-34, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

- AND -

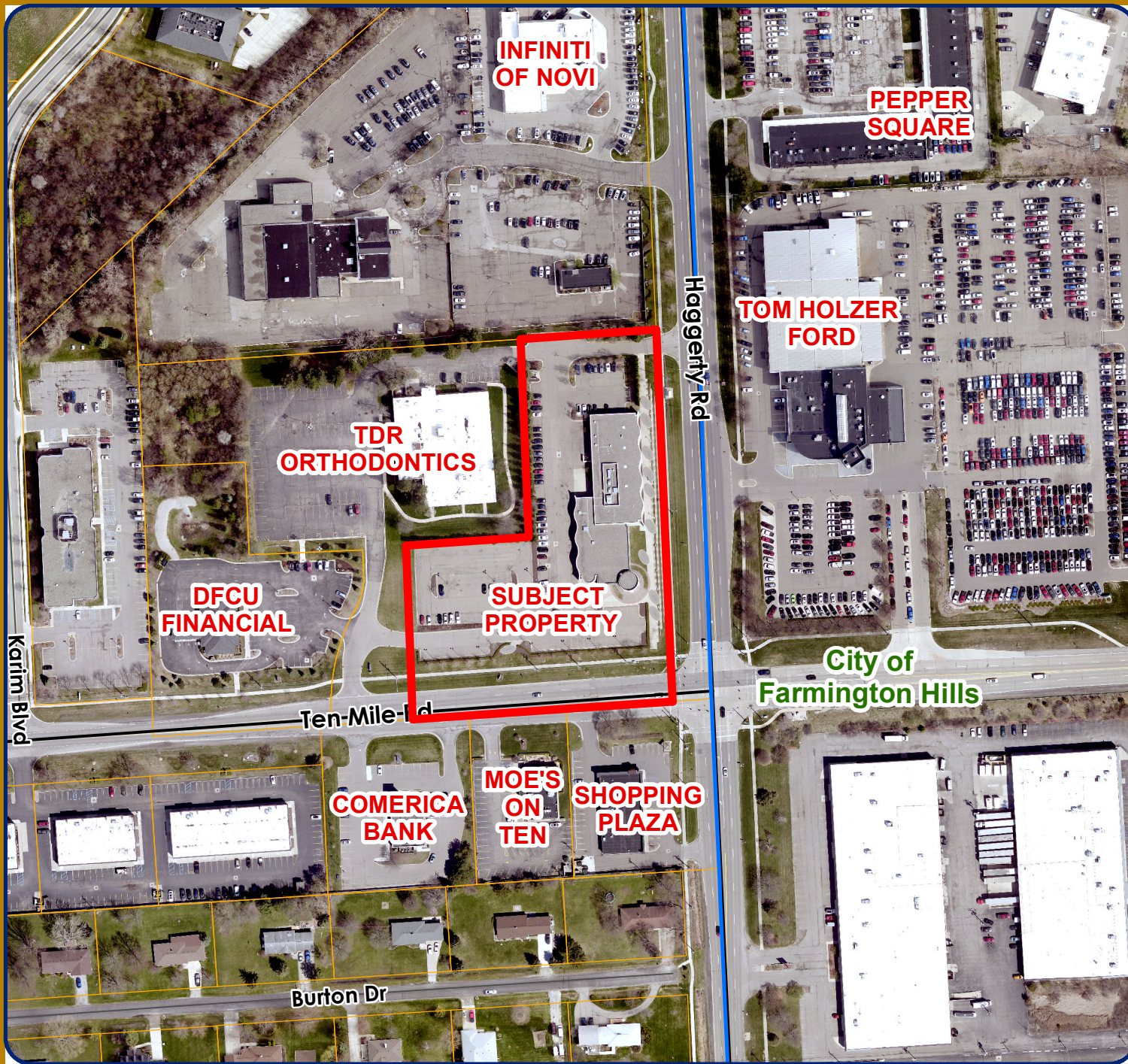
Denial – Stormwater Management Plan

In the matter of Audi of Novi, JSP21-34, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS
Location
Zoning
Future Land Use
Natural Features


JSP21-34 AUDI OF NOVI

LOCATION



City of Farmington Hills

LEGEND

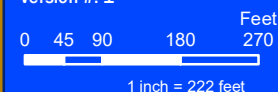
 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

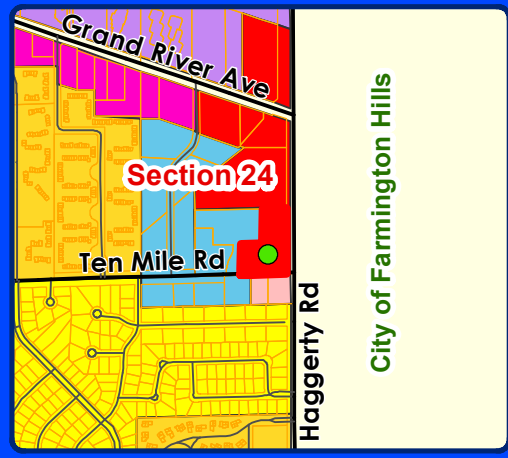
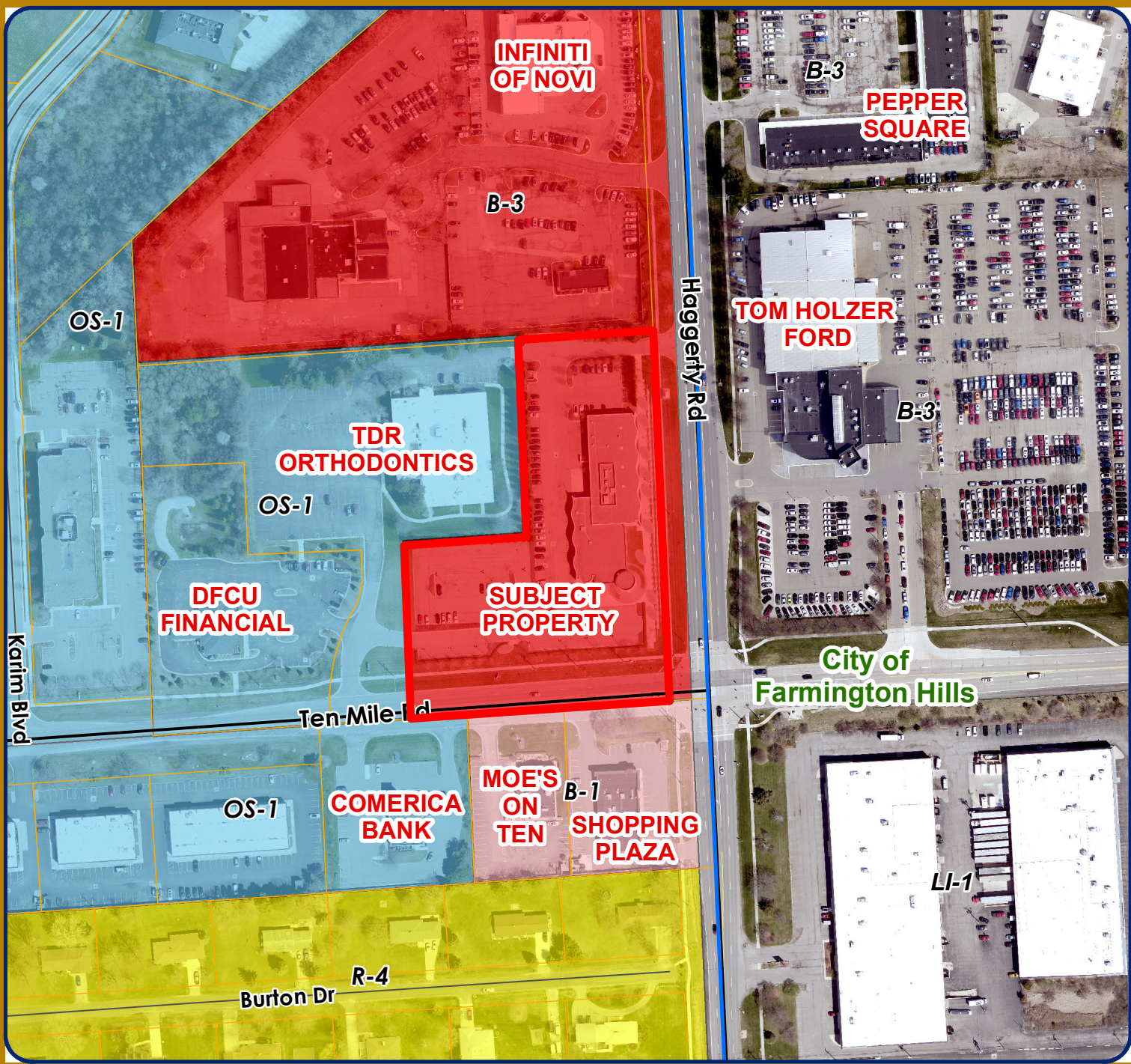
Map Author: Christian Carroll
Date: 5/3/22
Project: JSP21-34 AUDI OF NOVI
Version #: 1



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP21-34 AUDI OF NOVI ZONING



LEGEND

- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- Subject Property

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

Map Author: Christian Carroll
 Date: 5/3/22
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Feet
 0 45 90 180 270

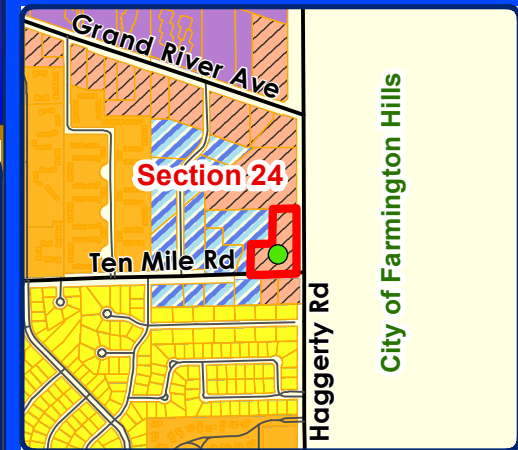
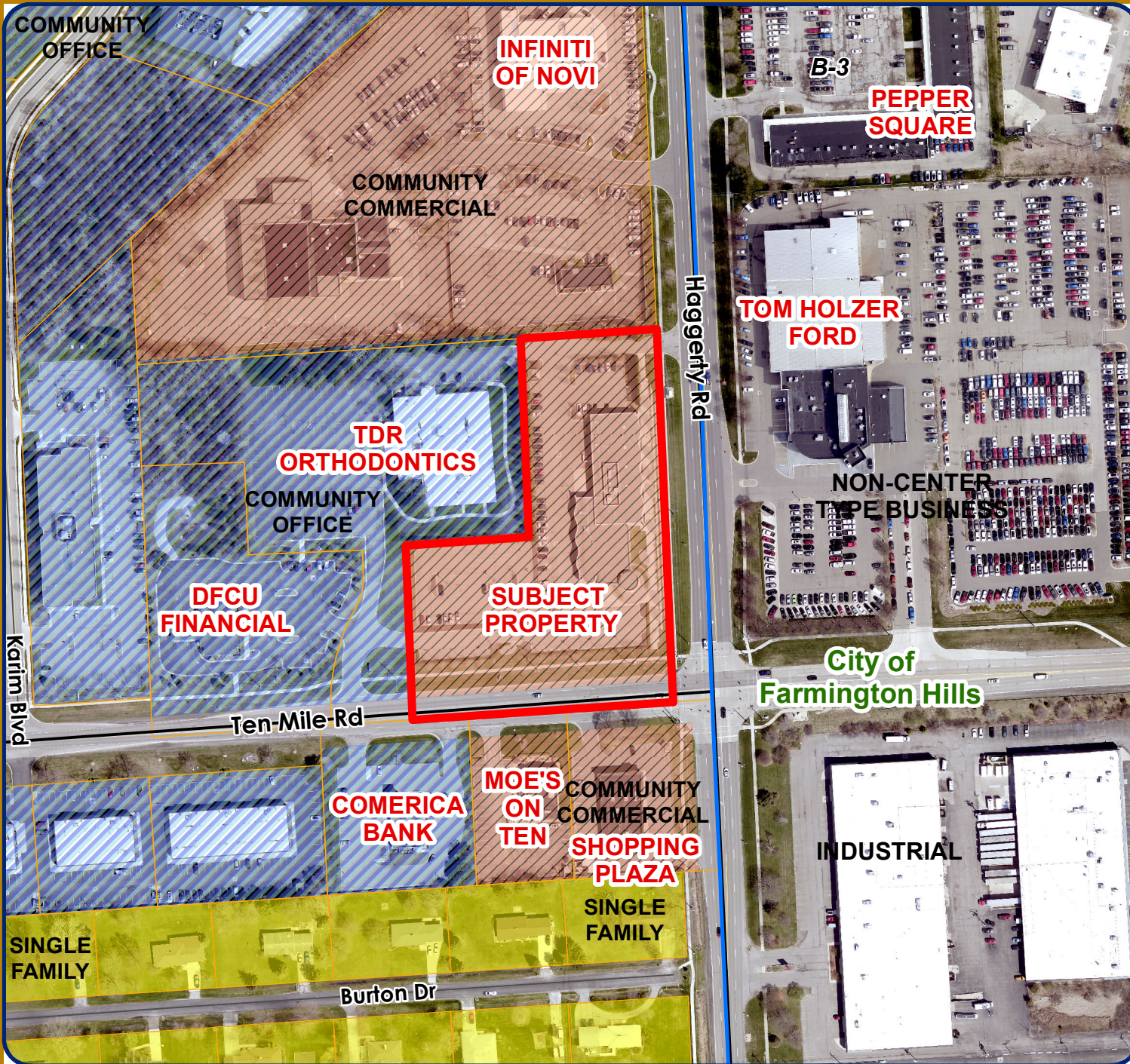
1 inch = 222 feet

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JSP21-34 AUDI OF NOVI

FUTURE LAND USE



City of Farmington Hills

LEGEND

- Single Family
- Multiple Family
- Community Office
- Industrial Research Development Technology
- Community Commercial
- Subject Property

City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

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Feet
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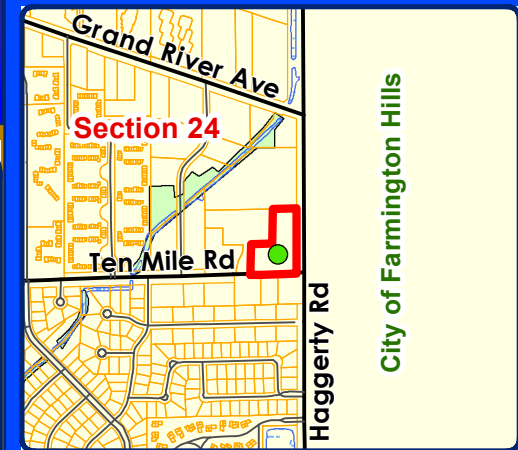
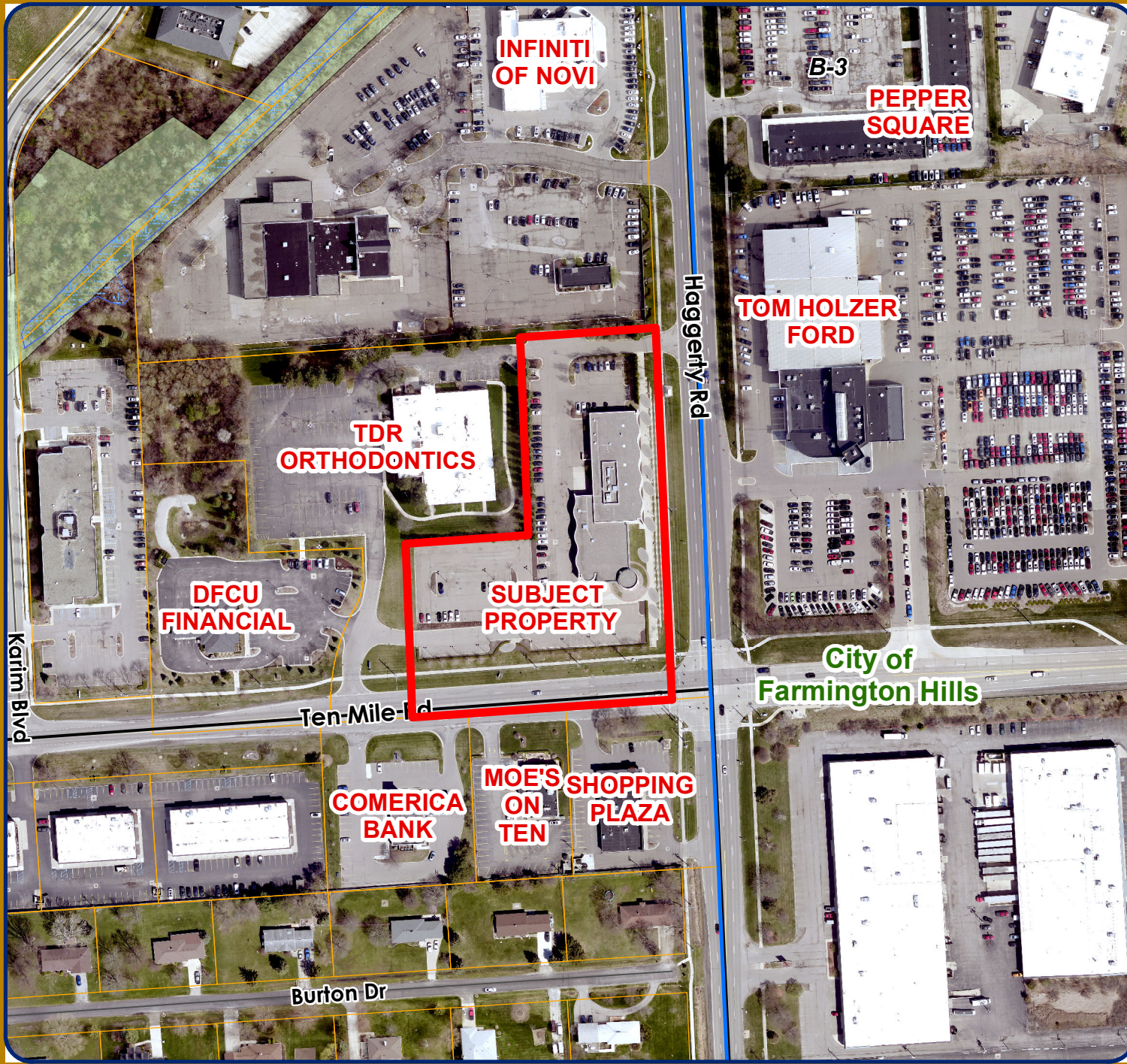
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JSP21-34 AUDI OF NOVI

NATURAL FEATURES



City of Farmington Hills

LEGEND

- WETLANDS
- WOODLANDS
- Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

ADJACENT LAND ZONING AND USE

Table with 3 columns: ADJACENT LAND ZONING, USE, and DISTANCE TO PROPERTY LINE. Includes entries for WEST, SOUTH, and EAST.

CITY OF NOVI SIGNING AND STRIPING NOTES

ALL SIGNAGE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE SIGN... TRAFFIC CONTROL SIGNS SHALL HAVE HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.

LOADING SPACE NOTE

PROPOSED LOADING SPACE 10'x7'5" PROVIDED IN AREA OF INVENTORY PARKING... CITY OF NOVI NOTE: NO MAJOR AUTOMOBILE REPAIR OR REFINISHING WILL BE DONE ON THE LOT.

CITY OF NOVI FIRE DEPARTMENT NOTE

ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY COMMERCIAL INSTALLATION BEING BROUGHT ON SITE... 3' OF CLEARANCE AROUND ALL FIRE HYDRANTS IS REQUIRED.

PROPERTY FRONTAGE NOTE

10 MILE ROAD PROPERTY FRONTAGE IS 400.00 FEET... HAGGERTY ROAD PROPERTY FRONTAGE IS 571.73 FEET.

SITE INFORMATION

EXISTING ZONING: B-3 GENERAL BUSINESS DISTRICT... SITE AREA: 171,214 SF OR 3.93 ACRES (TOTAL) AREA EXCLUDING ROW: 147,168 SF OR 3.38 ACRES

MAN. VEHICLE TRACKS: 30 REQUIRED, 30 PROVIDED... MAN. PARKING SPACES: 40 SPACES, 40 PROVIDED

VEHICLE PARKING: MOTOR VEHICLE SALES AND SERVICE... REQUIRED: ONE (1) FOR EACH TWO HUNDRED (200) SQUARE FEET OF USABLE FLOOR AREA OF SALES ROOM

PROVIDED: 30 CUSTOMER PARKING SPACES, 1 HANDICAP STALL, 11 EMPLOYEE PARKING SPACES, 178 INVENTORY PARKING SPACES

VEHICLE PARKING: MOTOR VEHICLE SALES... REQUIRED: 2 SPACES, 2 PROVIDED

LOT COVERAGE: AREA 100%... BUILDING: 17,030 SF, 8.1%... IMPERVIOUS: 92,128 SF, 54%... LANDSCAPING: 44,070 SF, 25.8%

POINT OF OBSERVATION: MAIN ROAD & WALK SURFACE... MAIN ROAD GRADE SURFACE: 200' TO 250' FROM THE FACE OF THE CURB

FRONT YARD: CITY OF NOVI STANDARD DETAIL GUIDE FOR CORNER... CITY OF NOVI BICYCLE PARKING LAYOUT

FRONT YARD: CITY OF NOVI STANDARD DETAIL GUIDE FOR CORNER... CITY OF NOVI BICYCLE PARKING LAYOUT

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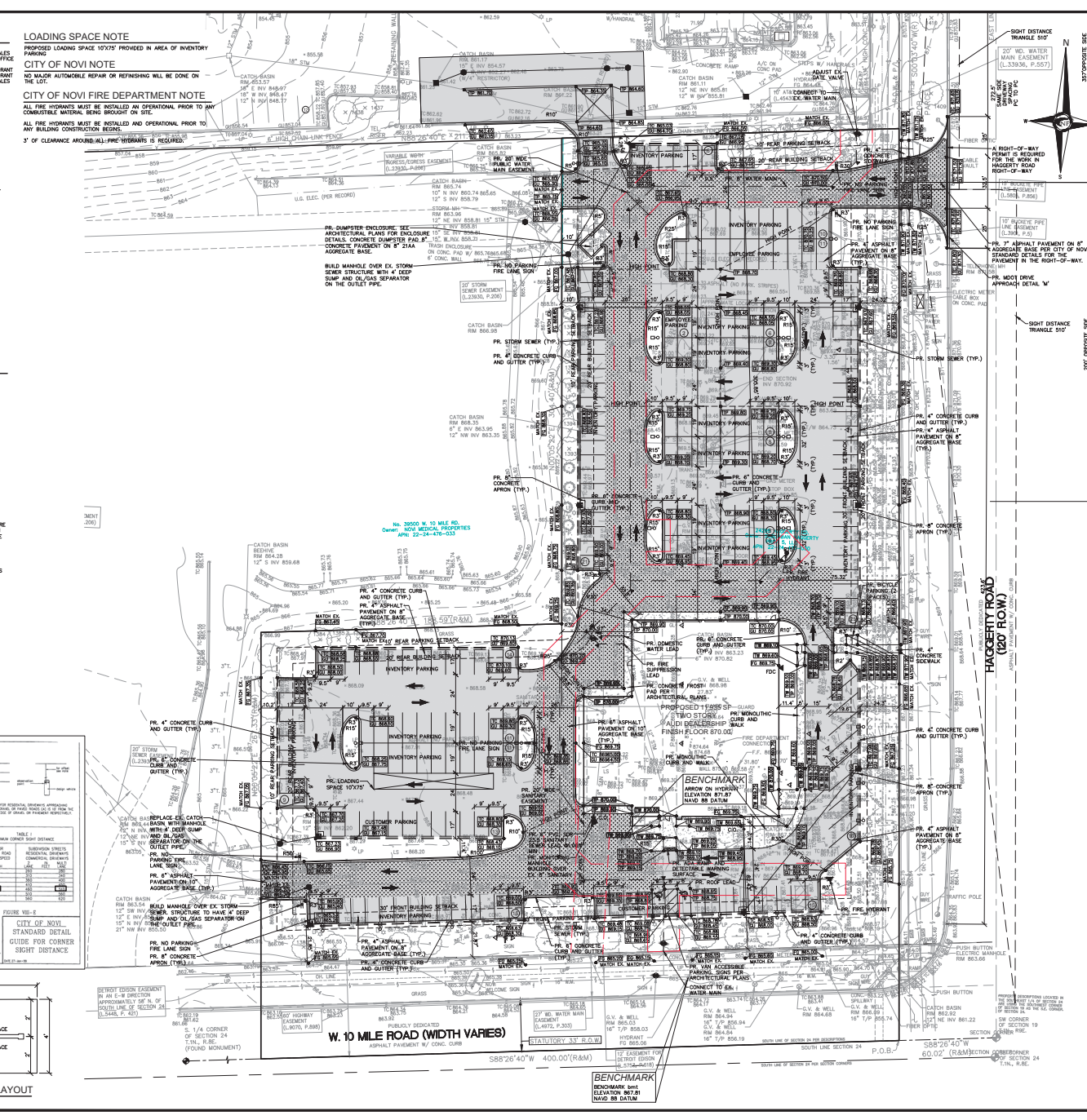
FRONT YARD: CITY OF NOVI STANDARD DETAIL GUIDE FOR CORNER... CITY OF NOVI BICYCLE PARKING LAYOUT

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FRONT YARD: CITY OF NOVI STANDARD DETAIL GUIDE FOR CORNER... CITY OF NOVI BICYCLE PARKING LAYOUT



GENERAL PAVING NOTES: PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS... CONCRETE: PORTLAND CEMENT TYPE I (AIR-ENTRAINED) IN SIX BATCHES FOR EACH YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 5000 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ESTIMATED QUANTITIES table with columns: SIGNS, DESCRIPTION, QUANTITY, UNITS, LIMITS. Includes items like NO PARKING FREE LANE SIGN, HANDICAPPED PARKING SIGN, etc.

PAVING LEGEND table with symbols for PROPOSED CONCRETE PAVEMENT, PROPOSED ASPHALT PAVEMENT ON 8\"/>

LEGEND table with symbols for MANHOLE, EXISTING SANITARY SEWER, SAN CLEAN OUT, GATE VALVE, EXISTING WATERMAIN, etc.



PROJECT: Lithia Motors, Inc. - Audi of Novi... CLIENT: Lithia Motors, Inc., 150 N. Bartlett Street, Medford, Oregon 97501

Contact: Anne Breck, Tel: 541-734-3043, email: abreck@lithia.com

PROJECT LOCATION: Part of the Southeast 1/4 of Section 24, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan

811 logo with text: Know what's Below Call before you dig.

DATE ISSUED/REVISED: 2023-09-09 ISSUED FOR SITE PLAN REVIEW

DRAWN BY: T. Wood, DESIGNED BY: T. Wood, APPROVED BY: J. Longhurst, DATE: March 9, 2022, SCALE: 1" = 30', SHEET NO.: 1921-03, C2



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
4677 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL 248-332-7931
FAX 248-332-8257
WWW.NOWAKFRAUS.COM



PROJECT
Lithia Motors, Inc.
- Audi of Novi

CLIENT
Lithia Motors, Inc.
150 N. Bartlett Street
Medford, Oregon 97501

Contact:
Anne Breck
Tel: 541-734-3043
email: abreck@lithia.com

PROJECT LOCATION
Part of the Eastern 1/2 of
Section 24, Town 1 North,
Range 5 East, City of Novi,
Oakland County, Michigan

SHEET
Storm Water Management
Plan



Know what's Below
Call before you dig.

DATE ISSUED/REVISED
2022-01-09 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
T. Wood

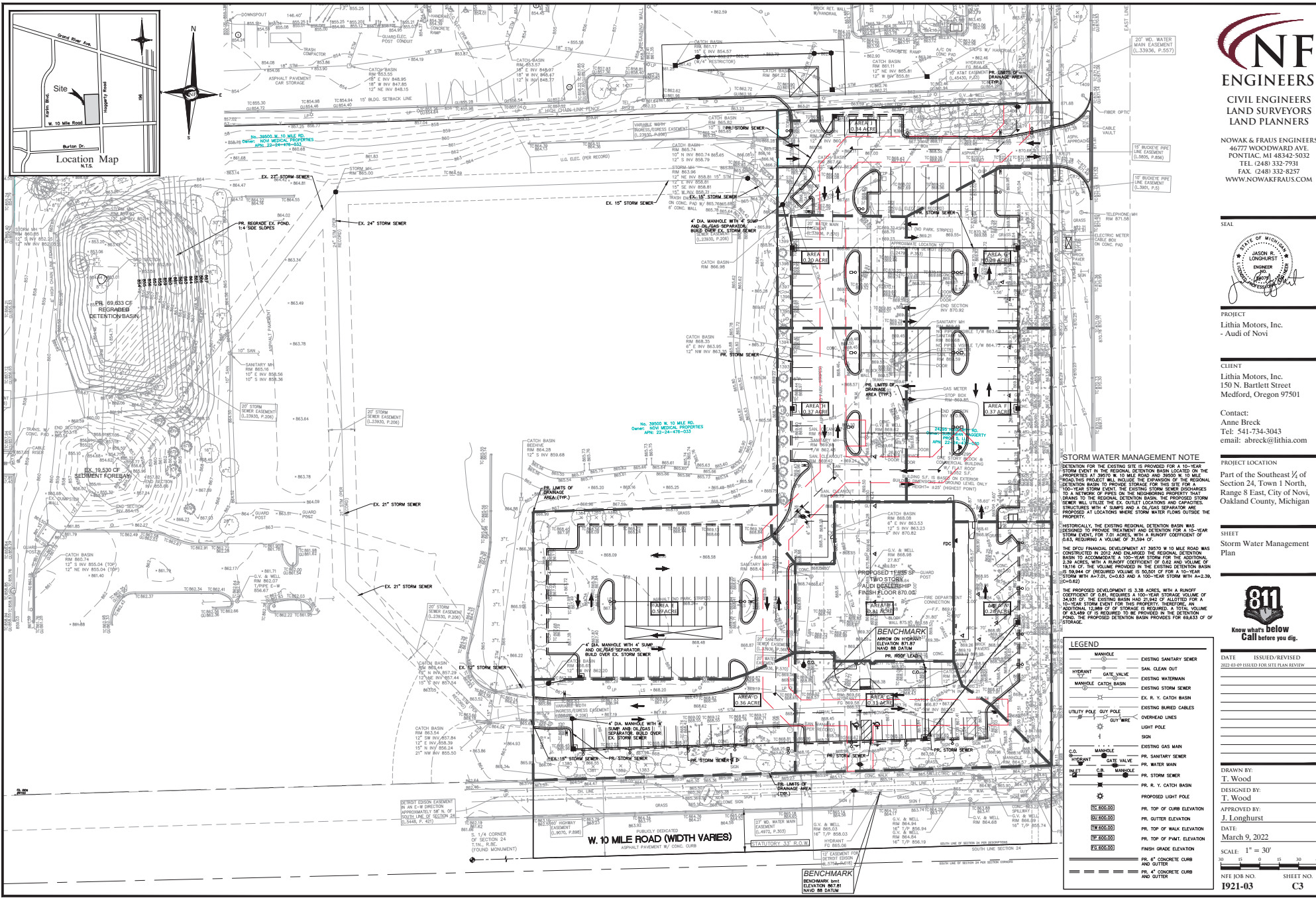
DESIGNED BY:
T. Wood

APPROVED BY:
J. Longhurst

DATE
March 9, 2022

SCALE: 1" = 30'

N/E JOB NO. SHEET NO.
1921-03 C3



STORM WATER MANAGEMENT NOTE

DETENTION FOR THE EXISTING SITE IS PROVIDED FOR A 10-YEAR STORM EVENT IN THE REGIONAL SEDIMENT BASIN LOCATED ON THE PROPERTIES AT 3870 W 10 MILE ROAD AND 3850 W 10 MILE ROAD. THIS PROJECT WILL INCREASE THE SPREAD OF THE REGIONAL DETENTION BASIN TO PROVIDE STORAGE FOR THIS SITE FOR A 10-YEAR STORM EVENT. THE EXISTING SEDIMENT STORAGE VOLUME IS 59,844 CF (REQUIRED VOLUME IS 50,504 CF FOR A 10-YEAR STORM WITH A=1.51, C=0.83 AND A 100-YEAR STORM WITH A=2.39, C=0.82).

HISTORICALLY, THE EXISTING REGIONAL DETENTION BASIN WAS CONSTRUCTED IN 2002 AND DEDICATED THE REGIONAL DETENTION BASIN TO ACCOMMODATE A 100-YEAR STORM FOR THE ADDITIONAL 0.38 ACRES WITH A MINOR COEFFICIENT OF LOSS AND VOLUME OF 59,844 CF (REQUIRED VOLUME IS 50,504 CF FOR A 10-YEAR STORM WITH A=1.51, C=0.83 AND A 100-YEAR STORM WITH A=2.39, C=0.82).

THE PROPOSED DEVELOPMENT IS 0.38 ACRES WITH A MINOR COEFFICIENT OF LOSS. THIS DEVELOPMENT WILL PROVIDE STORAGE VOLUME OF 54,000 CF OF STORAGE IS REQUIRED. THEREFORE, AN ADDITIONAL 12,480 CF OF STORAGE IS REQUIRED. THE TOTAL VOLUME OF 66,480 CF IS REQUIRED TO BE PROVIDED IN THE DETENTION FOND. THE PROPOSED DETENTION BASIN PROVIDES FOR 66,480 CF OF STORAGE.

LEGEND

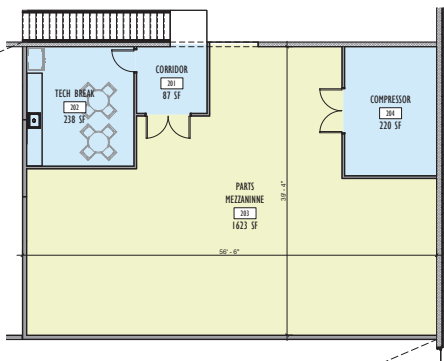
	EXISTING SANITARY SEWER
	SAN CLEAN OUT
	EXISTING WATERMAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD CABLES
	PROPOSED LIGHT POLE
	EXISTING GAS MAIN
	PR. SANITARY SEWER
	PR. WATER MAIN
	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE
	PR. TOP OF CURB ELEVATION
	PR. OUTER ELEVATION
	PR. TOP OF WALK ELEVATION
	PR. TOP OF PAINT ELEVATION
	FINISH GRADE ELEVATION
	PR. 6" CONCRETE CURB AND GUTTER
	PR. 4" CONCRETE CURB AND GUTTER

W. 10 MILE ROAD (WIDTH VARIES)
ASPHALT PAVEMENT W/ CONC. CURB

BENCHMARK
BENCHMARK POINT
ELEVATION 871.87
NAD 83 DATUM



FIRST FLOOR PLAN - COMPOSITE
1/8" = 1'-0"



SECOND FLOOR PLAN - COMPOSITE
1/8" = 1'-0"

- DEALERSHIP ZONES**
- BACK OF HOUSE
 - PARTS
 - SALES
 - SERVICE
 - SERVICE RECEPTION

DEPARTMENT AREA BY FLOOR		
DEPARTMENT	LEVEL	AREA (NSF)
BACK OF HOUSE	FIRST FLOOR	998 SF
BACK OF HOUSE	SECOND FLOOR	945 SF
PARTS	SECOND FLOOR	1,623 SF
SALES	FIRST FLOOR	5,863 SF
SERVICE	FIRST FLOOR	3,028 SF
SERVICE RECEPTION	FIRST FLOOR	2,756 SF
TOTAL (NSF)		14,780 SF

DO NOT SCALE DRAWINGS

ISSUED
03.09.22 SPA

DRAWN ATC
CHECKED SHF



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CLIENT
LITHIA MOTORS

PROJECT 2038

**AUDI OF NOVI
PROPOSED NEW
FACILITY**
24295 HAGGERTY ROAD, NOVI,
MI 48375

COMPOSITE PLAN
TS1.4

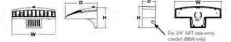


D-Series Size 1 LED Wall Luminaire

Color:	White
Finish:	White
Type:	Recessed

Specifications

Width:	13.24"	Height:	7.12"
Depth:	2.00"	Weight:	1.75 lbs
Height:	6.50"	Beam Angle:	30°



Introduction

The D-Series Wall Luminaire is a stylish, fully integrated LED solution for building modern applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance. With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

EXAMPLE: DSXW1 LED 20C 1000 40K 3M MVOLT DBD82

Ordering Information													
Model:	DSXW1	SKU:	DSXW1	Order Part:	DSXW1	Manufacturer Part:	DSXW1	Part Number:	DSXW1	Part Name:	DSXW1	Part Description:	DSXW1

Options							
Display Method:	DSXW1	Display Method:	DSXW1	Display Method:	DSXW1	Display Method:	DSXW1

Accessories							
DSXW1	DSXW1	DSXW1	DSXW1	DSXW1	DSXW1	DSXW1	DSXW1



D-Series Size 2 LED Area Luminaire

Color:	White
Finish:	White
Type:	Recessed

Specifications

Width:	13.24"	Height:	7.12"
Depth:	2.00"	Weight:	1.75 lbs
Height:	6.50"	Beam Angle:	30°

Introduction

The modern styling of the D-Series is making yet another advance - making a bold, progressive statement across all its clients seamlessly with its environment. The D-Series details the benefits of the latest in LED technology into high-performance, high efficiency, long-life luminaires. The outstanding geometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. The Size 2 is ideal for replacing 400-1000W metal halide in area lighting applications with energy savings of up to 80% and expected service life of over 100,000 hours.

EXAMPLE: DSX2 LED P7 40K 3M MVOLT 5PA NLTAR2 P19PH DBD82

Ordering Information													
Model:	DSX2	SKU:	DSX2	Order Part:	DSX2	Manufacturer Part:	DSX2	Part Number:	DSX2	Part Name:	DSX2	Part Description:	DSX2

Options							
Display Method:	DSX2	Display Method:	DSX2	Display Method:	DSX2	Display Method:	DSX2



- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDELES AT 0° - 0°
 - HOURS OF OPERATION: 24 HOURS PER DAY & 7 DAYS A WEEK.
 - ELECTRICAL SERVICE TO LIGHT FIXTURES SHALL BE PLACED UNDERGROUND.
 - FLASHING LIGHT SHALL NOT BE PERMITTED.
 - ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES & LIMITED OPERATIONS SHALL BE PERMITTED AFTER A SITE'S HOURS OF OPERATION.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROL'S GROUP AT AS@GASSERBUSH.COM OR 734-266-6705.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

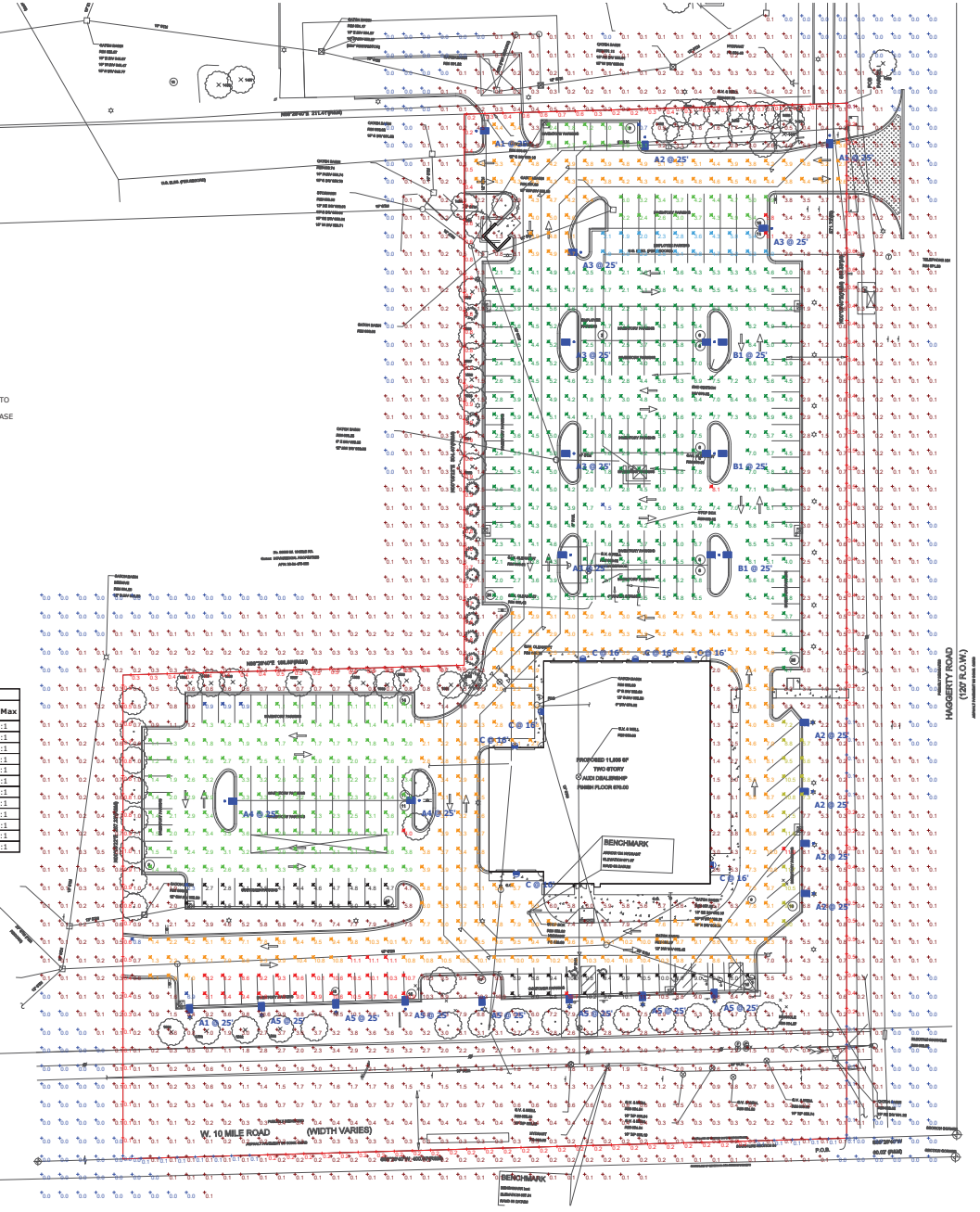
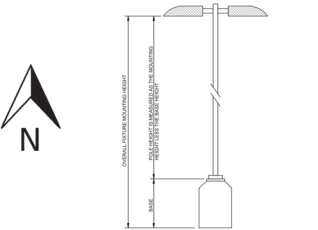
Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	Quantity	Manufacturer	Description	Lamp	Mounting Height
A1	A1	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	25'-0"
A2	A2	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	25'-0"
A3	A3	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	25'-0"
A4	A4	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	25'-0"
A5	A5	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	25'-0"
B1	B1	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	25'-0"
C	C	3	Universal Lighting	DSX2 LED AREA LIGHT, 4000K	LED	18'-0"

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
CUSTOMER PARKING AREA	X	6.6 fc	10.7 fc	2.3 fc	4.7:1	2.9:1	0.6:1
DISPLAY AREA #1	X	9.5 fc	10.9 fc	6.9 fc	1.6:1	1.4:1	0.9:1
DISPLAY AREA #2	X	9.1 fc	11.9 fc	4.7 fc	2.5:1	1.9:1	0.8:1
EMPLOYEE PARKING	X	3.4 fc	6.1 fc	1.7 fc	3.6:1	2.0:1	0.6:1
PROPERTY LINE - HAGGERTY ROAD	+	0.3 fc	0.7 fc	0.1 fc	7.0:1	3.0:1	0.4:1
PROPERTY LINE - NON R.O.W. AREA	+	0.6 fc	1.0 fc	0.0 fc	N/A	N/A	0.6:1
NORTH INVENTORY LOTS	X	3.2 fc	5.8 fc	0.7 fc	8.3:1	4.5:1	0.5:1
OVERALL	+	2.3 fc	11.9 fc	0.0 fc	N/A	N/A	0.2:1
REAR STORAGE LOT	X	4.4 fc	8.4 fc	1.5 fc	5.4:1	2.9:1	0.5:1
SITE CIRCULATION	X	4.7 fc	11.1 fc	0.8 fc	13.3:1	5.9:1	0.4:1
PROPERTY LINE - WEST 10 MILE ROAD	+	0.2 fc	0.2 fc	0.1 fc	2.0:1	2.0:1	1.0:1
WEST INVENTORY LOT	X	2.4 fc	4.0 fc	0.9 fc	4.4:1	2.7:1	0.6:1

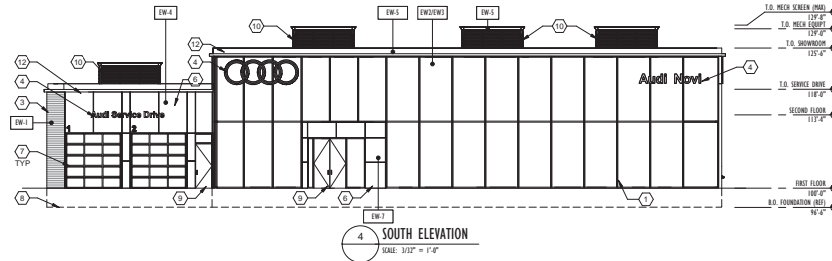


Plan View
Scale - 1" = 30ft

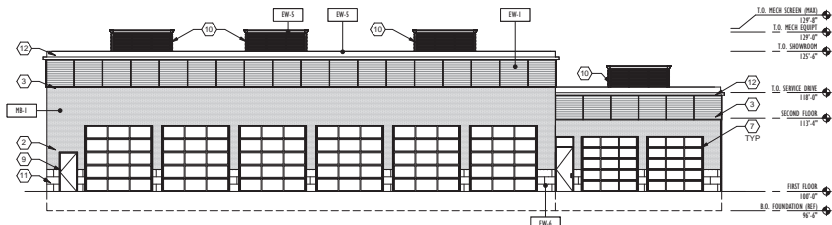
FACADE MATERIALS AND ELEVATIONS

**EXTERIOR ELEVATION KEY NOTES:
(TYPICAL THIS SHEET ONLY)**

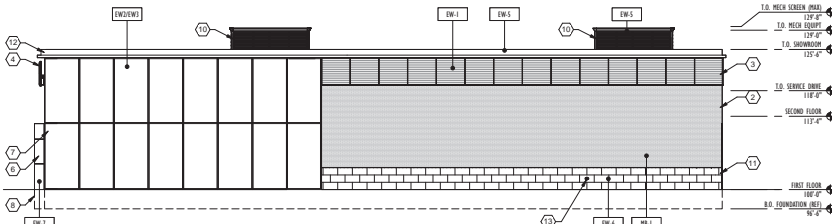
- ① GLASS AND ALUMINUM STOREFRONT CURTAINWALL
- ② BRICK VENEER
- ③ PERFORATED METAL PANEL OVER ALUMINUM COMPOSITE PANEL SYSTEM (ACM)
- ④ BUILDING MOUNTED SIGNAGE
- ⑤ 6" CONC. FILLED STL PIPE BOLLARD w/ PLASTIC COVER
- ⑥ ALUMINUM COMPOSITE PANEL SYSTEM (ACM)
- ⑦ GLASS & ALUMINUM OVERHEAD DOOR
- ⑧ INDICATES NEW REINF. CONC. FOOTING/ FOUNDATION WALL
- ⑨ DOOR & FRAME
- ⑩ FLUSH METAL PANEL MECHANICAL SCREEN
- ⑪ CAST STONE
- ⑫ FORMED ACM COPING
- ⑬ FIRE DEPARTMENT CONNECTION



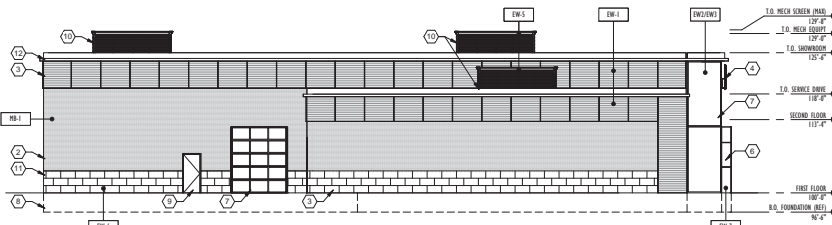
4 SOUTH ELEVATION
SCALE: 3/32" = 1'-0"



3 NORTH ELEVATION
SCALE: 3/32" = 1'-0"



2 EAST ELEVATION
SCALE: 3/32" = 1'-0"



1 WEST ELEVATION
SCALE: 3/32" = 1'-0"

EXTERIOR MATERIALS			
PATTERN	TAG	MATERIAL	FINISH
	MB-1	BRICK VENEER	CLAY BRICK MASONRY, 4"x12" (LUMBO OR LITLTY SIZED) ON WALL SYSTEM AS SPECIFIED, COLOR MERRIDIAN, SLATE
	EW-1	ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	PERFORATED METAL PANEL OVER ACM RAINSCREEN w/ FINISHED REVEALS
	EW-2	CURTAINWALL / EXTERIOR GLAZING	STOREFRONT CURTAINWALL FRAMING AS SPECIFIED, SOLARBAN 70XL CLEAR GLASS
	EW-4	ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	ACM RAINSCREEN w/ FINISHED REVEALS
	EW-5	FLUSH METAL PANEL	PREFINISHED FLUSH METAL PANEL MECHANICAL SCREEN
	EW-6	CAST STONE	16"x24" CAST STONE PANEL
	EW-7	ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	ACM RAINSCREEN w/ FINISHED REVEALS

SOUTH FAÇADE EXTERIOR MATERIAL CALCULATIONS - TOTAL AREA 690 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	0 S.F.	0%
CAST STONE	25% MAX	0 S.F.	0%
PERFORATED METAL PANEL ON ACM		58 S.F.	8.4%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	506 S.F.	73.3%
MECHANICAL SCREEN		126 S.F.	18.3%

NORTH FAÇADE EXTERIOR MATERIAL CALCULATIONS - TOTAL AREA 1,902 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	909 S.F.	47.8%
CAST STONE	25% MAX	83 S.F.	4.4%
PERFORATED METAL PANEL ON ACM		600 S.F.	31.5%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	184 S.F.	9.7%
MECHANICAL SCREEN		126 S.F.	6.6%

EAST FAÇADE EXTERIOR MATERIAL CALCULATIONS - TOTAL AREA 2,021 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	1,094 S.F.	54.2%
CAST STONE	25% MAX	292 S.F.	14.4%
PERFORATED METAL PANEL ON ACM		385 S.F.	18.1%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	207 S.F.	10.2%
MECHANICAL SCREEN		63 S.F.	3.1%

WEST FAÇADE EXTERIOR MATERIAL CALCULATIONS - TOTAL AREA 2,924 S.F.

MATERIAL	% MAX	MATERIAL AREA	% PROPOSED
BRICK VENEER	100% MAX / 30% MIN	1,198 S.F.	41.0%
CAST STONE	25% MAX	392 S.F.	13.4%
PERFORATED METAL PANEL ON ACM		928 S.F.	31.7%
ALUMINUM COMPOSITE PANEL SYSTEM (ACM)	50% MAX	311 S.F.	10.6%
MECHANICAL SCREEN		95 S.F.	3.3%

DO NOT SCALE DRAWINGS

ISSUED
03.09.21 SPA

DRAWN SHF
CHECKED SMB

SEAL



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CLIENT

LITHIA MOTORS

PROJECT 2038

AUDI OF NOVI
PROPOSED NEW FACILITY
24295 HAGGERTY ROAD, NOVI, MI 48375

BUILDING ELEVATIONS

A2.1









Audi Service Drive

1

2

Audi Novi

STUDIO DETROIT ARCHITECTS







PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Planning Review

Audi of Novi

JSP 21-34

April 7, 2022

PETITIONER

Lithia Motors, Inc.

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	24	
Site Location	24295 Haggerty Rd; West of Haggerty Rd, North of Ten Mile Rd, 22-24-476-030	
Site School	Novi Community School District	
Site Zoning	B-3 General Business District	
Adjoining Zoning	North	B-3 General Business District
	East	B-3 General Business District (City of Farmington Hills)
	West	OS-1 Office Service District
	South	B-1 Local Business (Northville Township)
Current Site Use	Vacant (Former Jaguar Dealership)	
Adjoining Uses	North	Suburban Infiniti of Novi (Commercial)
	East	Tom Holzer Ford Dealership (Commercial – Farmington Hills)
	West	TDR Orthodontics (Medical Office), DFCU Financial (Bank)
	South	Multi-Tenant Commercial
Site Size	3.91 acres	
Plan Date	March 9, 2022	

PROJECT SUMMARY

The subject property is currently zoned B-3, General Business, and approximately 3.91 acres. The site is located north of Ten Mile Road and west of Haggerty Road in Section 24. The applicant is proposing to demolish a former Jaguar Car Dealership and redevelop the site in order to build an approximately 11,935 square foot two-story building to be used by Lithia Motors, Inc. – Audi of Novi along with associated parking, vehicle inventory, and site improvements. The second story of the building is primarily to be used for parts storage. The existing curb cuts on Ten Mile Road and Haggerty Road will remain in their existing locations. A new driveway connection is proposed to a parking lot to the north to provide ease of access to the adjacent site, which is also owned by Lithia Motors, Inc.

RECOMMENDATION

Approval of the Preliminary Site Plan is recommended by Planning staff. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few matters to be addressed on the Final Site Plan and Zoning Board of Appeals variances requested. All reviewers recommend approval of the Preliminary Site Plan with items to be addressed prior to Final Site Plan Submittal. A Traffic Impact Statement and Noise Impact Statement have been provided. Based on the new layout of the building, a Traffic Impact Statement is no longer required.

Planning Commission approval of the Special Land Use Permit, Preliminary Site Plan and Storm Water Management Plan is required.

SPECIAL LAND USE CONSIDERATIONS

In the B-3 District, a Car Dealership with outdoor space for sale of new or used automobiles falls under the Special Land Use Requirements (Section 6.2.C). Section 6.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

1. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, accel/decel lanes off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
2. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal, and police and fire protection to serve existing and planned uses in the area.
3. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
4. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
5. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
6. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
7. Whether, relative to other feasible uses of the site, the proposed use is:
 - a. Listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and
 - b. Is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

ORDINANCE REQUIREMENTS

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Uses Permitted (Sec. 3.1.12.B & C): Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles is a Special Land Use in the B-3, General Business, District. **The Planning Commission approval of the Special Land use is required as the plan proposes vehicle inventory to be stored outside.**
2. Noise Impact Statement (Sec. 4.36): A Noise Impact Statement is required per the Special Land Use requirements and has been submitted. The provided Noise Impact Statement indicates that the proposed dealership will comply with ordinance requirements with maximum sound levels of

30-35 dBA projected in residential areas from rooftop equipment, and 45-50 dBA maximum from delivery trucks.

3. Overhead doors (Sec. 3.10.3.A) No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. **Overhead doors are proposed on the north and south elevations, with the south overhead doors facing a major thoroughfare, which are screened by landscaping. The applicant has indicated that they will be seeking a Zoning Board of Appeals variance for the overhead door along the south elevation.**
4. Parking Space Setbacks (Sec. 3.1.12.D): The proposed parking space setbacks along the north property lines do not currently meet the ordinance requirements. **Please revise the parking setback dimensions or seek a variance. The Planning Commission may also modify the parking setback requirements at the time of Preliminary Site Plan review by the Planning Commission. If you wish to seek this modification, please provide a parking setback area calculation and justification for the reduced setbacks, which has not been provided with this submittal.**
 - a. Per Section 3.6.2.Q of the Zoning Ordinance, "The Planning Commission may modify setback requirements in those instances where it determines that such modification may result in improved use of the site and/ or in improved landscaping; provided, however, that such modification of the setback requirements does not reduce the total area of setback on a site below the minimum setback area requirements of this Section."
5. PEV Charging Stations (Sec. 5.2.15): As noted on the Economic Impact Letter, 4 PEV parking spaces are proposed. However, these spaces have not been indicated on the site plan. **Please indicate the location of the spaces and the charging station(s).** Refer to Section 5.2.15 of the Zoning Ordinance for the required standards.
6. Bicycle Parking Facilities (Sec. 5.16.1): A minimum of 2 spaces and 6 foot clear path are required. **Please revise the width of the sidewalk to a minimum of 6 feet.**
7. Loading Area (Sec. 5.4.2): Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district. The Landscape review has indicated that sufficient screening has been provided. In addition, the proposed loading area does not appear to have a disruptive effect on the safe and efficient flow of pedestrian and vehicular traffic within the site. **A loading area located in a side yard is subject to City approval and in this case recommended by staff, and will be a condition of the Preliminary Site Plan.**
8. Average Light Levels (Sec. 5.7.3.E): The ratio of the average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4 foot candles to 1 foot candle. **The overall average/minimum light level calculation has not been provided (currently listed as N/A). Please provide this calculation. In addition, the North Inventory Lots and Site Circulation appear to exceed the 4:1 requirement. Please revise, as necessary.**
9. Traffic Impact Statement: A Traffic Impact statement has been submitted. The City's Traffic Engineer has indicated that a Traffic Impact Statement is no longer required due to the reduced size of the building. Please see the Traffic Review for more information.
10. Signage: For sign permit information please contact Maureen Underhill at 248-347-0438 or munderhill@cityofnovi.org in the Code Compliance Division for more information.
11. Site Addressing: If a new address is required for the project, please contact Brian Riley at 248-347-0438 or briley@cityofnovi.org in the Code Compliance Division for more information.

12. Planning Chart: Please refer to the attached Planning Chart for additional comments to address in the next submittal.

OTHER REVIEWS

- a. Engineering Review: Engineering is recommending **approval** of the Preliminary Site Plan the Stormwater Management Plan with comments to be addressed on the Final Site Plan Submittal.
- b. Landscape Review: Landscape is recommending **approval** of the Preliminary Site Plan contingent upon unsupported landscape waivers being resolved in a revised submittal and response letter.
- c. Traffic Review: Traffic is recommending **approval** of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal. **A Traffic Impact Statement is no longer required due to the reduced size of the building.**
- d. Façade Review: Façade is recommending approval of the Preliminary Site Plan and a Section 9 Façade Waiver.
- e. Fire Review: Fire is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan submittal.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan will be tentatively scheduled to go before the Planning Commission **on May 11, 2022**, as a Public Hearing for review of the Special Land Use, Preliminary Site Plan, and Stormwater Management Plan. Please indicate by **April 11, 2022**, if you wish to move forward with the public hearing on this date. Please provide the following via email by **May 4, 2022, at 5pm**:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan.
4. A sample board of building materials has been provided. The City's Façade Consultant will reach out if additional information is needed.

ZONING BOARD OF APPEALS

After receiving Planning Commission's approval of the Preliminary Site Plan and Special Land Use Permit, at least one requested variance from the Zoning Board of Appeals will be necessary prior to the approval of the Final Site Plan. Please submit this application to Anita Wagner to go before the Zoning Board of Appeals. The deadline for Zoning Board of Appeals applications is typically the first of the month.

FINAL SITE PLAN SUBMITTAL

After receiving Planning Commission's approval of the Preliminary Site Plan, please follow the Final Site Plan Checklist and submit for approval:

1. **Six** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. Final Site Plan Application
4. No Revision Façade Affidavit (only if no façade changes have been made)
5. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
6. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
7. A Hazardous Chemical Survey
8. A ROW Permit Application

9. A [Soil Erosion Permit Application](#)
10. An [Other Agencies Checklist](#)

ELECTRONIC STAMPING SET SUBMITAL AND RESPONSE LETTER

After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected**. *If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

STAMPING SET APPROVAL

Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **9 size 24" x 36" copies, folded, with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

PRE-CONSTRUCTION MEETING

At this time, **a Pre-Construction meeting is required for this project**. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni (248.347.0430 or smarchioni@cityofnovi.org) once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or ccarroll@cityofnovi.org.



Christian Carroll, Planner



PLANNING REVIEW CHART: B-3 General Business District

Review Date: April 7, 2022
Review Type: Revised Preliminary Site Plan
Project Name: **JSP 21-34 Audi of Novi**
Plan Date: March 9, 2022
Prepared by: Christian Carroll
Contact: E-mail: ccarroll@cityofnovi.org Phone: 248.735.5607

Items in **Bold** need to be addressed by the applicant in the next submittal. Items underlined need to be reviewed by the Zoning Board of Appeals. Items *italicized* should be noted.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Community Commercial	No change to existing zoning	Yes	
Area Study	The site does not fall under any special category		NA	
Zoning <i>(Effective Jan 8, 2015)</i>	B-3: General Business District	No change to existing zoning	Yes	
Uses Permitted <i>(Sec 3.1.12.B & C)</i>	Sec 3.1.12.B Principal Uses Permitted. Sec 3.1.12.C Special Land Uses	New and used car salesroom, showroom, or office Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles	Yes	Special Land Use Permit required for outdoor space for sale of vehicles. See Special Land Use provisions below.
B-3 Special Land Use Provisions				
Outdoor space for exclusive sale of new or used automobiles, campers, recreation vehicles, mobile homes, or rental of trailers or automobiles (Sec. 4.36)	The lot or area shall be paved and shall be graded and drained as to dispose of all surface water accumulated within the area	Complies	Yes	<i>See Engineering Review.</i>
	Access to the outdoor sales area shall be at least 60 feet from the intersection of any 2 streets.	Inventory parking more than 60 ft. from intersection	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	A 10-foot-wide greenbelt planting strip shall be maintained between the street right-of-way line and any area used for customer parking or vehicle display.	20 ft planting strip proposed between the right of way and areas used for customer parking and vehicle display	Yes	
	No major repair or major refinishing shall be done on the lot.	Service area included inside proposed building.	Yes	<i>Note provided.</i>
	All lighting shall be shielded from adjacent residential districts.	No adjacent residential district.	Yes	
	Noise Impact Statement required	Submitted	Yes	
B-3 Business District Required Conditions (Sec. 3.10.3)				
Truck Well and Overhead Doors (Sec. 3.10.3.A)	No truck well, loading dock, overhead door or other type of service bay door shall face a major thoroughfare, nor an abutting residential district. Pedestrian exits or emergency doors are permitted on such building facades.	Overhead doors on south elevation faces a Major Thoroughfare. North overhead doors do not.	No	<u>Applicant is seeking a Zoning Board of Appeals Variance for two overhead doors facing Ten Mile Road.</u>
Height, bulk, density, and area limitations (Sec 3.1.12)				
Frontage on a Public Street. (Sec. 5.12)	Frontage on a Public Street is required	Frontage on Ten Mile and Haggerty Roads	Yes	
Access to Major Thoroughfare (Sec. 5.13)	Direct access to Major Thoroughfare is required unless noted in Section 5.13	Direct access to Ten Mile and Haggerty Roads	Yes	
Minimum Zoning Lot Size and Lot width (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space.	Lot area and dimension are consistent	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	Building coverage: 8.11%	Yes	
Building Height (Sec. 3.1.12.D)	30 ft.	29.5 ft with rooftop equipment	Yes	
Building Setbacks (Sec 3.1.12.D)				
Front (south)	30 ft.	82.43 ft	Yes	
Exterior Side (east)	30 ft. * see 3.6.2.C	75.32 ft	Yes	
Side (west)	15 ft.	43.97 ft	Yes	
Rear (north)	20 ft.	305.85 ft	Yes	
Parking Setback (Sec 3.1.12.D)				
Front (south)	20 ft.	22.85 ft	Yes	Please modify the plans to provide the minimum parking lot setback on the north side or demonstrate that such modification may result in improved use of the site; and provide calculations that the modification of the setback requirements shall not reduce the total area of setback on a site below the minimum setback area requirements. (Sec 3.6.2.Q)
Exterior Side (east)	20 ft. * see 3.6.2.C	24.32 ft	Yes	
Side (west)	10 ft.	10 ft	Yes	
Rear (north)	10 ft.	4.28 ft	No	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to the front yard setback requirement of the district in which located.	Exterior side yard abutting Haggerty Road in conformance.	Yes	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking shall be permitted in the front yard, except that said parking shall observe the minimum off-street parking setback requirements in Sec. 3.1 and 5.5.3	Parking setback observed, landscaping height observed	Yes	
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking shall be permitted within the side and rear yards, however, not if a property abuts a	Property not abutting residential district	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	residential district and is not separated by a major thoroughfare.			
Wetland/ Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details.	No wetland/ watercourse on site	Yes	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	Waiver needed, supported by staff	Yes	<i>Please see Landscape Letter for requirements.</i>
Parking, Loading, and Dumpster Requirements				
Motor vehicle sales and service establishments (5.2.12.C.)	1 for each 200 sf of useable floor space area of sales room and 1 for each service stall 6,650 SF/200 SF +6 service bays = 40 spaces	30 customer parking stalls 2 handicap stalls 11 employee parking stalls 178 inventory parking stalls Total: 221 spaces	Yes	Please indicate the location of the 4 proposed PEV spaces as listed on the Economic Impact Letter.
Total Square Footage for interior landscape islands (Sec. 5.5.3.C.ii.p.5)	If the use is primarily vehicular storage (i.e. automobile dealer vehicle inventory areas, vehicle stockpile areas, semitrailer storage areas), bays of twenty-five (25) spaces will be allowed but the required interior landscape area must be provided.	No more than 25 spaces in a row		
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9ft. x 17 ft. with 4 in. curb	Yes	
	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two-way drives	Employee lot 9 ft. x 19 ft. Inventory lot 9 ft. x 19 ft.	Yes	
	- 45° Parking: 9 ft. x 18 ft. - 15 ft. drive aisle	9 ft. x 18 ft. (45°) with 4 in. curb	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than 25 feet from the street right-of-way line, street easement or sidewalk, whichever is closer		Yes	
End Islands (Sec. 5.3.12)	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance 	Complies	Yes	<i>Please see Landscape Letter for requirements.</i>
Barrier Free Spaces <i>Barrier Free Code (2012 Michigan Building Code)</i>	- Every 6 or fraction of six accessible parking spaces, at least one shall be van-accessible	2 barrier free spaces proposed	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code (2012 Michigan Building Code)</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	2 van accessible spaces	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Two signs per plan notes	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1)	Minimum 2 spaces	2 spaces per notes	Yes	
Bicycle Parking General requirements (Sec. 5.16)	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	Bicycle parking shown, sidewalk is 4 feet wide	Yes	6 foot wide sidewalk/clear path required to building and to sidewalk system along Haggerty Road.

Item	Required Code	Proposed	Meets Code	Comments
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	6 ft. parking width 11 ft. one tier 4 ft maneuvering lane 2 ft. parking space depth	Yes	
Loading Spaces (Sec. 5.4.2)	<ul style="list-style-type: none"> - Loading, unloading space shall be provided in the rear yard at a ratio of 10 sq. ft. for each front foot of building - Except in the case of a double frontage lot, loading-unloading, as well as trash receptacles may be located in an interior side yard beyond the minimum side yard setback requirement of the district; location subject to approval by the City. 	Loading space in interior side yard 10'x75' Loading is proposed in the interior side yard, and subject to city approval	TBD	Location subject to Planning Commission approval.
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard or interior side yard in case of double frontage - Attached to the building OR - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Complies with all requirements listed	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or 	-screened -refuse bin height unknown -6 ft. high -concrete filled steel pipe -6' reinforced concrete pad -CMU	Yes	<i>Please see Façade Review for more information.</i>

Item	Required Code	Proposed	Meets Code	Comments
	evergreen shrubbery			
Lighting and Other Equipment Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	Provided	Yes	
Roof top appurtenances Screening (Sec. 4.19.2.E.i)	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road, or adjacent property	Screening shown	Yes	See Façade letter for details.
Roof top appurtenances height (Sec. 4.19.2.E.ii)	Roof top appurtenances, including mechanical and electrical equipment, shall not exceed the maximum permitted building height limits, unless the following conditions are met. For every one foot that a roof top appurtenance exceeds the maximum district building height, it shall be setback five feet from any and all building faces. No roof top appurtenance shall exceed five feet above the maximum district building height	Height is 29.5 ft	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened, and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Screening shown	Yes	See façade letter for details.
Sidewalk Requirements				
Sidewalks (Sec. 7.4.2 of the Engineering Design Manual)	- 6-foot sidewalk required	Existing 5 ft. sidewalk	NA	
Pedestrian Connectivity	Whether the traffic circulation features within	Concrete sidewalk proposed to site (east).	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Connectivity proposed to building		
Building Code and Other Design Standard Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).		Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in sq. ft.), location of proposed parking and parking layout, streets and drives, and indicate sq. ft. of pavement area (indicate public or private).		Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied) 	<ul style="list-style-type: none"> - \$9.5 million - 150 temporary jobs (construction), 28 current employees, expected to grow by 53% 	Yes	
Other Permits and Approvals				
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Maureen Underhill at 248-347-0438.</u>
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Project name and street names does not require approval.	NA	<u>For approval of project and street naming contact Ben Peacock at 248-735-0579</u>

Item	Required Code	Proposed	Meets Code	Comments
Property Split	The proposed property split must be submitted to the Assessing Department for approval.	A split or combination is not proposed at this time. The area is proposed to be leased	NA	
Traffic Impact Statement	Traffic review indicated a TIS is required for exceeding the threshold for total daily trips.	Submitted	Yes	<i>Please see Traffic Impact Statement Review.</i>
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Photometric plan is provided at this time	Yes	
Lighting Plan (Sec. 5.7.A.1)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Complies	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Complies	Yes	
Lighting Plan (Sec.5.7.2A.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	
	Photometric data	Provided	Yes	
	Fixture height	25 ft. max proposed	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices	Appears to be glare control	Yes	
	Type & color rendition of lamps	LED	Yes	
	Hours of operation	24 hours/7 days a week – dimmed when not in operation	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties		Yes	
Standard Notes (Sec. 5.7.3.B)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 	Notes provided	Yes	
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred 	Note provided	Yes	
Average light levels (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit; not exceed 4:1	Not listed	No	Please provide the overall average/minimum light level calculation for the entire site (currently listed as N/A). In addition, the North Inventory Lots and Site Circulation appear to exceed the 4:1 requirement. Please revise, as necessary.
Type of Fixtures (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Appears to be compliant.	Yes	
Min. Illumination (Sec. 5.7.3.k)	Parking areas: 0.2 min	2.3 fc, 1.7 fc, 0.7 fc	Yes	
	Loading & unloading areas: 0.4 min	2.7 fc	Yes	
	Walkways: 0.2 min	1.9 fc	Yes	
	Building entrances, frequent use: 1.0 min	3.6 fc	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	Building entrances, infrequent use: 0.2 min	2.2 fc	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	1.0 fc	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

04/04/2022

Engineering Review

Audi of Novi

JSP21-0034

Applicant

Nowak & Fraus

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: West of Haggerty Road and North of Ten Mile Road
- Site Size: 3.91 acres
- Plan Date: 3/09/2022
- Design Engineer: Jason R. Longhurst

Project Summary

- Construction of an approximately 11,935 square-foot two-story building and associated parking. Site access would be provided via public roadways.
- Water service would be provided by an extension from the existing 10-inch water main along the North side of 10 Mile Road. A 6-inch domestic lead and 6-inch fire lead would be provided to serve the building, along with 3 additional hydrants.
- Sanitary sewer service would be provided by an extension from the existing 8-inch sanitary sewer along the North side of 10 Mile Road. An 8-inch lead would be provided to serve the building, along with a monitoring manhole.
- Storm water would continue to be collected by a single storm sewer collection system and discharged to an off-site regional detention basin.

Recommendation

Approval of the Revised Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan Set submittal.

Comments:

The Revised Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
2. Provide at least two reference benchmarks at intervals no greater than 1,200 feet. At least one referenced benchmark must be a City-established benchmark, which can be found on the City's website at this location: <https://novi.maps.arcgis.com/apps/webappviewer/index.html?id=5ce841f86197461c9f146e1330330bcf>
3. A right-of-way permit will be required from the City of Novi and Oakland County for work done in Haggerty Road right-of-way.
4. Provide a traffic control plan for the proposed road work activity.
5. Provide a note that compacted sand backfill (MDOT sand Class II) shall be provided for all utilities within the influence of paved areas, and illustrate and label on the profiles.
6. Confirm Liber and Page numbers for existing easements, liber number should be 5 digits, page number should be 3.
7. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
8. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
9. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
10. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
11. Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom

of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).

Water Main

12. A tapping sleeve, valve and well is required at the connection to the existing water main.
13. Provide water main modeling calculations demonstrating that the required water supply will be available.
14. Provide additional valves to limit pipe runs to a maximum of 800 feet between valves.
15. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length.
16. Label all hydrant lead lengths.
17. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
18. Provide a separate domestic lead and, if required by the Fire Marshal, a minimum 6-inch fire lead for each building with a unique shut-off valve for each.
19. All gate valves 6" or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6".
20. Provide irrigation plan.
21. Three (3) sealed sets of revised utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application for water main construction, the Streamlined Water Main Permit Checklist, and electronic utility plan should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Sanitary Sewer

22. Provide a sanitary sewer monitoring manhole, unique to this site, within a dedicated access easement or within the road right-of-way. If not in the

- right-of-way, provide a 20-foot-wide access easement to the monitoring manhole from the right-of-way (rather than a public sanitary sewer easement).
23. Provide a sanitary sewer basis of design for the development on the utility plan sheet (Calculations should use peaking factor of 4.0 and 3.2 REU).
 24. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
 25. Provide a note on the Utility Plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
 26. Illustrate all pipes intersecting with manholes on the sanitary profiles.
 27. Three (3) sealed sets of revised utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application, electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

Storm Sewer

28. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
29. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
30. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
31. An easement is required over the storm sewer accepting and conveying off-site drainage.
32. Provide profiles for all storm sewer 12-inch and larger.
33. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
34. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
35. Show and label all roof conductors and show where they tie into the storm sewer.
36. Illustrate all pipes intersecting storm structures on the storm profiles.
37. An easement is required over the storm sewer accepting and conveying off-site drainage.

Storm Water Management Plan

38. LSG as-builts on record show Existing Regional Pond Volume required as 50,710 cu. Ft. (as-built plans emailed with review)
39. The Storm Water Management Plan (SWMP) for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
40. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
41. Off-site discharge agreement needed with neighboring properties to the west.
42. Access-easement needed from property owners to the west for work being done in forebay and detention basin.
43. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
44. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
45. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high-water elevation of the groundwater table. Note the bottom of the detention facility must be a minimum of three (3) feet above the groundwater elevation.
46. Basin side slopes may not exceed 1 foot vertical to 4 feet horizontal for a dry basin unless fencing is provided.
47. When there is no permanent pool of water, the bottom of all detention basins shall be graded in such a manner as to provide positive flow to the outlet. Use berms or swales to provide positive flow to outlet.
48. A permanent buffer strip of natural vegetation extending at least 15 feet in width beyond the freeboard elevation be maintained or restored around the perimeter of all stormwater storage facilities.
49. Any volume provided bellow the invert of the outflow pipe is considered as a permanent pool of water and not included in storage volume
50. One foot of freeboard shall be provided above the 100-year stormwater elevation. A vertical distance of 0.5' shall be provided between the 100 year storage elevation and the emergency overflow spillway.

Paving & Grading

51. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
52. Specify the product proposed and provide a detail for the detectable warning surface for barrier free ramps. The product shall be the concrete-

embedded detectable warning plates, or equal, and shall be approved by the Engineering Division. Stamped concrete will not be acceptable.

Soil Erosion and Sediment Control

53. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter. Please address the comments below and submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements

54. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.
55. Approval from the neighboring property owners for the work associated with the off-site detention basin and forebay shall be forwarded to the Engineering Division **prior to Stamping Set approval**.

The following must be submitted with the Final Site Plan:

56. A letter from either the applicant or the applicant's engineer must be submitted with the Stamping Set highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
57. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pre-treatment structure and restoration).

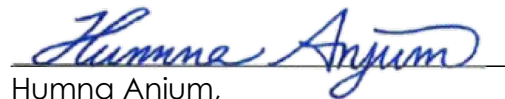
The following must be submitted with the Stamping Set:

(Please note that all documents must be submitted together as a package with the Stamping Set submittal with a legal review transmittal form that can be found on the City's website. Partial submittals will not be accepted.)

58. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this

- agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
59. Terminate existing water main and sanitary sewer easements that are no longer required.
 60. A draft copy of the 20-foot wide easement for the water main to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
 61. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
 62. A draft copy of the 20-foot wide easement for the sanitary sewer monitoring manhole access to be constructed onsite must be submitted to the Community Development Department. This document is available on our website.
 63. A draft copy of the ingress/egress easement for shared use of the must be submitted to the Community Development Department. This document is available on our website.
 64. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
 65. Vacate all easements that are no longer needed.
 66. Executed copies of approved off-site utility easements must be submitted.

Please contact Humna Anjum at (248) 735-5632 with any questions.



Humna Anjum,
Project Engineer

cc: Christian Caroll, Community Development
Ben Croy, PE; Engineering
Victor Boron, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT
March 23, 2022
Audi of Novi
Revised Preliminary Site Plan - Landscaping

Review Type

Revised Preliminary Landscape Review

Job #

JSP21-0034

Property Characteristics

- Site Location: 24295 Haggerty Road
- Site Acreage: 3.91 ac.
- Site Zoning: B-3
- Adjacent Zoning: North: B-3, OS-1; East: Farmington Hills Commercial; South: B-1, OS-1
West: OS-1
- Plan Date: 3/9/2022

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan and underlined items must be addressed on the Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan, contingent on the applicant revising the landscaping to remove the unsupported waivers.** The applicant should work to increase the building foundation landscaping as described below and add the required detention basin landscaping. Other minor revisions noted below can be addressed on the Final Site Plans.

LANDSCAPE WAIVERS REQUIRED:

- Lack of greenbelt berm along 10 Mile Road. *Supported by staff to preserve existing trees with the condition that the existing hedge along the parking lot must either be maintained or replaced.*
- Lack of greenbelt trees along Haggerty Road. *Supported by staff due to Buckeye utility corridor.*
- Lack of street trees along both Haggerty Road and 10 Mile Road. *Supported by staff due to utility conflicts.*
- Lack of berm or alternate screening for parking lot along Haggerty Road. *Not supported by staff.*
- Deficiency in building foundation landscaping – percent of total building coverage, landscape area provided. *Would be supported by staff if missing landscaping area was provided elsewhere on the site.*
- Lack of detention basin landscaping – *Not supported by staff.*

Please revise the plans to remove the conditions that require unsupported waivers.

Ordinance Considerations

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. The tree survey includes all trees and removals on the Audi site are shown, but the detention basin trees are not identified or included in the tree chart.
2. It appears that there is at least one regulated tree near the pond that will be impacted by the pond's revised grading.
3. **Please include all trees within the areas of work on the tree chart, show all removals on the plans and chart, show any woodland replacements required and add woodland replacement trees to the landscape plan.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to residentially-zoned property so no new screening vegetation or berms are required for this project.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. **A landscape waiver is requested for the lack of the required greenbelt berm along 10 Mile Road.** *It is supported by staff as adding the berm would damage the existing trees but the existing hedge that is shown as being removed must be replaced to provide screening from 10 Mile Road.*
2. **A waiver is also required for the required berm along Haggerty Road which is not proposed.** *Alternative screening such as a continuous hedge along the frontage is also not proposed. Currently this waiver is not supported by staff. If either or both of these is not allowed by the Buckeye pipeline, please provide evidence of that for support of the waiver. Otherwise, provide the required berm or hedge if a berm is not allowed.*
3. **A landscape waiver is also required for the lack of greenbelt trees planted in the Haggerty Road greenbelt.** *As Buckeye Pipeline does not allow them, this waiver is supported by staff, but evidence of this prohibition must be provided to the City.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. The required interior and perimeter trees are provided except along Haggerty Road and 10 Mile Road. A waiver is required for this deficiency. The deficiency along Haggerty Road is supported by staff due to the Buckeye Pipeline conflict, and along 10 Mile road.
2. **Please see the Landscape Chart for a discussion of re-arranging some of the trees.**

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. **A landscape waiver is requested for the deficiency in building foundation landscaping.** *Staff would support the waiver if the missing 577sf of landscape area is planted in the Haggerty Road or 10 Mile Road greenbelt along with the shrubs that are required.*
2. **Only 55% of the building foundation is landscaped instead of the minimum 75%.** *This deficiency would also be supported if the above-mentioned landscape was added to the site.*

Plant List (LDM 4.)

1. 6 of 13 species used (46%) are native to Michigan. **Please add additional native species or switch out some of the non-native species.**
2. The tree diversity meets the requirements of Landscape Design Manual Section 4.

Planting Notations and Details (LDM)

Provided

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

1. Most of the existing detention basin landscaping is being removed to regrade the pond but nothing is shown as being added back. **The current ordinance requirements must be met.**
2. **As proposed, a landscape waiver would be required.** *It would not be supported by staff.*

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. If an irrigation system will be used, a plan for the system must be submitted as part of the Final Site Plans.
2. Follow the requirements on the Landscape Chart.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: March 23, 2022
Project Name: JSP21 – 0034: Audi of Novi
Plan Date: February 22, 2022
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

LANDSCAPE WAIVERS REQUIRED:

- Lack of greenbelt berm along 10 Mile Road. *Supported by staff to preserve existing trees with the condition that the existing hedge along the parking lot be maintained or replaced.*
- Lack of greenbelt trees along Haggerty Road. *Supported by staff due to Buckeye utility corridor.*
- Lack of berm or alternate screening for parking lots along both Haggerty Road and 10 Mile Road. *Not supported by staff.*
- Lack of street trees along both Haggerty Road and 10 Mile Road. *Supported by staff due to utility conflicts.*
- Deficiency in building foundation landscaping – percent of total building coverage, landscape area provided. *Would be supported by staff if missing landscaping area was provided elsewhere on the site.*
- Lack of detention basin landscaping – *Not supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (Landscape Design Manual (LDM) and Zoning Ordinance (Zoning Sec))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2, 10)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1"=30'	Yes	
Project Information <i>(LDM 10)</i>	Name and Address	Location map is provided	Yes	
Owner/Developer Contact Information <i>(LDM 10)</i>	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information <i>(LDM 10)</i>	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Sealed by LA. (LDM 10)	Requires original signature	No	Yes	<u>Live signature is required on stamping sets</u>
Miss Dig Note (800) 482-7171 (LDM 10)	Show on all plan sheets	Yes – in title block	Yes	
Zoning (LDM 10)	Include all adjacent zoning	Shown on L2 <u>Parcel:</u> B-3 <u>North:</u> OS-1, B-3 <u>East:</u> Farmington Hills Commercial <u>South:</u> B-1, OS-1 <u>West:</u> OS-1	Yes	
Survey information (LDM 10)	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	Sheet C1	Yes	
Existing plant material Existing woodlands or wetlands (LDM 10)	<ul style="list-style-type: none"> • Show location type and size. Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Sheet C1 • Removals on Sheet L1 • No regulated trees are shown as being removed 	<ul style="list-style-type: none"> • Yes • Yes • TBD 	<ol style="list-style-type: none"> 1. Please indicate what trees are being removed on the tree chart 2. It appears a 36" tree on the east side of the detention pond will be negatively impacted by the pond's regrading. Based on its size, that is a regulated tree so replacements would be required if the grading impacts a significant part of its critical root zone. 3. Please indicate whether the existing hedgeline along the 10 Mile Road edge of parking lot is being saved or removed.
Soil types (LDM10)	<ul style="list-style-type: none"> • As determined by Soils survey of Oakland county • Show types, boundaries 	<ul style="list-style-type: none"> • On L1 • Marlette Sandy Loam 	Yes	
Existing and proposed improvements (LDM 10)	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 10)	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants 	<ul style="list-style-type: none"> • Yes • Yes 	<ul style="list-style-type: none"> • Yes • Yes 	1. Please show the actual utility lines heavier.

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Show existing and proposed light poles. 			2. Please consider moving the light poles closer to the ends of islands so the trees can be centered better, so they have a more even root spread.
Proposed grading. 2' contour minimum (LDM 10)	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Spot elevations provided on Sheet C2. No berms are indicated. 	Yes	If berms are added along Haggerty Road frontage, please show them on the Grading Plan and Landscape Plan.
Snow deposit (LDM 10)	Show snow deposit areas on plan	One area is indicated	TBD	More than one area is probably needed.
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements (Zoning Sec 5.5.3.C and LDM 5)				
General requirements (LDM 5)	<ul style="list-style-type: none"> Clear sight distance within parking islands No evergreen trees 	No conflicts noted	Yes	
Name, type and number of ground cover (LDM 5)	As proposed on planting islands	Yes	Yes	Seed is indicated on islands.
General (Zoning Sec 5.5.3.C)				
Parking lot Islands	<ul style="list-style-type: none"> A minimum of 200 SF to qualify A minimum of 200sf unpaved area per tree planted in an island 6" curbs Islands minimum width 10' BOC to BOC 	All islands appear to be sufficiently sized.	Yes	
Curbs and Parking stall reduction (Zoning Sec 5.3.12)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Exterior parking spaces are 17 ft long	Yes	
Contiguous space limit (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> Maximum of 15 contiguous spaces Inventory bays can be 25 spaces long 	<ul style="list-style-type: none"> 15 is maximum bay length for employees and customers 25 is maximum bay length for inventory 	Yes	
Plantings around Fire Hydrant (Zoning sec 5.5.3.C)	<ul style="list-style-type: none"> No plantings with matured height greater than 12' within 10 ft. of fire 	No new or existing plantings are shown near existing hydrants.	Yes	To assist contractors, please add a note to the plans stating that all trees are to be at least

Item	Required	Proposed	Meets Code	Comments
	hydrants • Plant trees at least 5 ft from underground utility lines • Plantings near hydrants or FDCs should be no taller than 12"			10 feet from hydrants or utility structures.
Landscaped area (Zoning sec 5.5.3.C)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (Zoning sec 5.5.3.B.ii Footnote 10)	• 25 ft corner clearance required. • Refer to Zoning Section 5.5.9 • Road Commission for Oakland County zone for RCOC jurisdiction roads	• RCOC clear zone is shown for the Haggerty Road entry • As there are no street trees proposed, there are no conflicts.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	• $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $50,000 * 7.5\% = 3750 \text{ sf}$			
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	• $B = x \text{ sf} * 1\% = B \text{ sf}$ • $(89,654 - 50000) * 1\% = 397 \text{ sf}$			
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 6\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	• $C = A + B$ • $C = 3750 + 397 = 4147 \text{ SF}$	7872 sf	Yes	
D = C/200 Number of canopy trees required	• $D = C/200 \text{ trees}$ • $4147/200 = 21 \text{ Trees}$	21 trees	Yes	As noted above, it would be preferable for the trees' health to have them more centered in the interior

Item	Required	Proposed	Meets Code	Comments
				islands. If possible, please shift the tree posts more to the ends of the islands instead of the trees.
Perimeter Trees (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 Canopy tree per 35 lf or 1 per 70lf In front of building: <ul style="list-style-type: none"> • Haggerty Rd: 190/70=3 • 10 Mile Rd: 175/70 = 3 Elsewhere: <ul style="list-style-type: none"> • Haggerty Rd: 245/35=7 • 10 Mile Rd: 238/35=7 	<ul style="list-style-type: none"> • Haggerty Rd: 0 trees • 10 Mile Rd: 15 trees (a bit more than 15 feet but accepted as they are existing) 	<ul style="list-style-type: none"> • No • Yes 	A landscape waiver is required for the lack of perimeter trees along Haggerty Road. It is supported by staff due to the Buckeye pipeline conflict.
Accessway perimeter (Zoning Sec 5.5.3.C)	<ul style="list-style-type: none"> • 1 canopy tree per 35 lf on each side of road, less widths of access drives. • (xx lf)/35 = xx trees 	Perimeter is included with the parking lot perimeter	Yes	
Parking land banked (Zoning Sec 5.2.14.D)	NA	None		
Berms, Walls and ROW Planting Requirements				
Berms (Zoning Sec 5.5.3.A & LDM 1)				
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A & LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site does not abut residential property so this berm is not required.	None	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.3.B and LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 3 feet high with a 2-foot wide crest is required	No berm is proposed along either road	No	<ol style="list-style-type: none"> 1. Landscape waivers are required for the lack of the required berms. 2. Unless the Buckeye pipeline forbids the Haggerty Road berm, it must be added in the greenbelt. If it is forbidden, please provide evidence of that. 3. The waiver for the missing berm along

Item	Required	Proposed	Meets Code	Comments
				10 Mile Road is supported by staff because the existing trees would have to be removed to add a berm.
Cross-Section of Berms (LDM 10)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 3 feet flat horizontal area Minimum 3 feet high Constructed of loam with 6' top layer of topsoil. 	No berm cross section is provided.	TBD	If berms are added, please add a berm cross section with call outs showing the berm requirements.
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	Overhead lines existing along both frontages	Yes	Please call out overhead lines more clearly on the landscape plan (with heavier lines or callout).
Walls (Zoning Sec 5.5.3.A & LDM 10)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	A wall supporting the ramp to the northern property may be required	TBD	
Walls greater than 4 ft. should be designed and sealed by an Engineer				
ROW Landscape Screening Requirements (Zoning Sec 5.5.3.B.ii)				
Greenbelt width	<ul style="list-style-type: none"> Adj to Parking: 20 ft. Not adj to Pkg: 25 ft 	<ul style="list-style-type: none"> Haggerty Rd: 20 ft Ten Mile Rd: 20 ft 	<ul style="list-style-type: none"> Yes Yes 	
Min. berm crest width	<ul style="list-style-type: none"> Adj to Parking: 2 ft. Not adj to Pkg: 0 ft 	<ul style="list-style-type: none"> Haggerty Rd: 0 ft Ten Mile Rd: 0 ft A hedge currently screens the 10 Mile Road parking lots. It appears to be removed as part of this project. 	<ul style="list-style-type: none"> No No No 	<u>Haggerty Road:</u> 1. As noted above, the berm along Haggerty Road must be added unless prohibited by the Buckeye pipeline 2. If it cannot be added, please add a screening hedge as exists along the 10 Mile Road frontage now. <u>10 Mile Road:</u> 1. As noted above, the

Item	Required	Proposed	Meets Code	Comments
				<p>waiver for a lack of berm is supported to preserve the existing trees.</p> <p>2. However, either the existing hedge must be preserved during construction or replaced at the completion of construction.</p>
Minimum berm height	Adj to Parking: 3 ft. Not adj to Pkg: 0 ft	Haggerty Rd: 0 ft Ten Mile Rd: 0 ft		See above
3.5' wall	(2)(3)(4)	A supporting wall for the northern ramp may be taller than 3.5 feet in places.	TBD	If the wall is taller than 3.5 feet, it must be designed by a qualified engineer.
Canopy deciduous or large evergreen trees	<ul style="list-style-type: none"> • Parking: 1 tree per 35 lf • Parking w/bldg. 1 tree per 70 lf • No Pkg: 1 per 60 lf <p>Haggerty Road</p> <ul style="list-style-type: none"> • (125)/70 = 2 trees • (305-24+82)/35 = 10 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 122/70 = 2 trees • (206+50)/35 = 7 trees 	<p>Haggerty Road</p> <ul style="list-style-type: none"> • 2 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 15 trees 	<ul style="list-style-type: none"> • No • Yes 	<p>Haggerty Road:</p> <p>1. A waiver is required for the missing Haggerty Road trees.</p> <p>2. It is supported by staff due to the Buckeye pipeline.</p>
Sub-canopy deciduous trees)	<ul style="list-style-type: none"> • Parking: 1 tree per 20 lf • Parking w/bldg. 1 tree per 40 lf plus 3 shrubs per 40 lf • No Pkg: 1 per 40 lf <p>Haggerty Road</p> <ul style="list-style-type: none"> • (125)/40 = 3 trees + • 125*3/40 = 9 shrubs • (305-24+82)/20 = 18 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 122/40 = 3 trees PLUS • 122*3/40 = 9 shrubs • (206+50)/20 = 13 trees 	<p>Haggerty Road</p> <ul style="list-style-type: none"> • 2 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 18 trees 	<ul style="list-style-type: none"> • No • Yes 	<p>1. See above.</p> <p>2. If desired, the number of trees proposed along 10 Mile Road can be reduced to the number required.</p>
Canopy deciduous trees in area between sidewalk and curb	<ul style="list-style-type: none"> ▪ Parking & No Parking: 1 tree per 35 lf ▪ xx/35 = x trees <p>Haggerty Road</p> <ul style="list-style-type: none"> ▪ 420 (est) /35 = 12 trees <p>Ten Mile Road Road</p> <ul style="list-style-type: none"> ▪ 350 (est) /35 = 10 trees <p>Subcanopy trees may</p>	<p>Haggerty Road</p> <ul style="list-style-type: none"> • 0 trees <p>Ten Mile Road</p> <ul style="list-style-type: none"> • 0 trees 	<ul style="list-style-type: none"> • No • No 	<p>1. A landscape waiver is required for the lack of street trees provided on both Haggerty and Ten Mile Roads.</p> <p>2. It is supported by staff due to the numerous utility</p>

Item	Required	Proposed	Meets Code	Comments
	be used at a rate of 1.5 trees per required canopy tree if overhead lines would conflict with canopy trees.			<i>conflicts in both rights-of-way.</i>
Non-Residential Projects (Zoning Sec 5.5.3.F.iii) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		<ul style="list-style-type: none"> The loading area is located in the west parking lot. It is screened from view from 10 Mile Road by three rows of trees and the hedge along the front of the parking lot. 	Yes	
Transformers/Utility boxes <i>(LDM 6)</i>	<ul style="list-style-type: none"> A minimum of 2ft. separation between box and the plants Ground cover below 4" is allowed up to pad. No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> Not shown The screening detail is included on the details sheet. 	<ul style="list-style-type: none"> TBD Yes 	<ol style="list-style-type: none"> When transformer locations are finalized, screening shrubs per standard detail are required. Add a note to this effect to the plans. Add a line for the required screening shrubs to the plant list
Building Foundation Landscape Requirements (Zoning Sec 5.5.3.D)				
Interior site landscaping SF <i>(Zoning Sec 5.5.3.D)</i>	<ul style="list-style-type: none"> Equals to entire perimeter of the building less door widths x 8 with a minimum width of 4 A: $x \text{ lf} \times 8\text{ft} = x \text{ SF}$ At least 75% of the building should be landscaped. <p>Required (minimum): $(498-151) \times 8 = 2776 \text{ sf}$</p>	<p>Provided:</p> <ul style="list-style-type: none"> 2199 sf (577sf less than required) 55% of the building foundation has landscaping. 	<ul style="list-style-type: none"> No No 	<ol style="list-style-type: none"> A landscape waiver is required for the deficiency in building foundation landscaping. As proposed, it would not be supported by staff. If the remaining 577sf of landscape was planted somewhere across the parking lot from the building, on the east or south side, the waiver for the location of the landscaping missing from the base of the building would be supported by staff.
<i>Building Frontage Landscaping (Zoning Sec 5.5.3.D)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be	<ul style="list-style-type: none"> 90% of the Haggerty Road building frontage is landscaped 	<ul style="list-style-type: none"> Yes Yes 	

Item	Required	Proposed	Meets Code	Comments
	covered in green space	<ul style="list-style-type: none"> 70% of the 10 Mile Road building frontage is landscaped. 		
Detention/Retention Basin Requirements (Zoning Sec. 5.5.3.E & LDM 3)				
Planting requirements (Zoning Sec 5.5.3.E & LDM 3)	<ul style="list-style-type: none"> Clusters of large native shrubs shall cover 70-75% of the basin rim area at 10 lf from permanent water level 10" to 14" tall grass along sides of basin Refer to wetland for basin mix Deciduous canopy tree 1/35 of east, south and west sides of pond at 10 feet from permanent water level 	<ul style="list-style-type: none"> The existing pond will be regraded and almost all of the pond's existing landscaping will be removed. No replacement landscaping is proposed 	No	<ol style="list-style-type: none"> A landscape waiver would be required for the current proposed situation. It would not be supported by staff. Please show all required detention pond landscaping, including shrubs, trees and seed mix, provided around the reconfigured pond.
Phragmites and Japanese Knotweed Control (Zoning Sec 5.5.6.B)	<ul style="list-style-type: none"> Any and all populations of Phragmites australis and/or Japanese Knotweed on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	<ol style="list-style-type: none"> Please survey the site for any populations of Phragmites australis and Japanese Knotweed If any is found, show it on the topo survey and add plans for its removal. If none is found, please indicate that on the survey.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 10)	Provide intended date – must be between March 15-November 15	Yes	Yes	
Maintenance & Statement of intent (Zoning Sec 5.5.6 & LDM 10)	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	General landscape note has warranty period as one year. No maintenance note is included.	<ul style="list-style-type: none"> No No 	<ol style="list-style-type: none"> Please revise <u>General Landscape Note #6 to read 2 years, not 1.</u> Please add note regarding <u>maintenance.</u>
Plant source (LDM 10 & 11)	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 10)	<ul style="list-style-type: none"> A fully automatic irrigation system or a method of providing sufficient water for 	A note indicates that an irrigation system will be used		<ol style="list-style-type: none"> Please add irrigation plan or information as to how plants will be watered

Item	Required	Proposed	Meets Code	Comments
	plant establishment and survival is required on Final Site Plans. • If irrigation won't be used, note how trees will get sufficient water for establishment and long-term survival			sufficiently for establishment and long-term survival. 2. An automatic irrigation system noted must meet the requirements listed at the bottom of this chart.
Other information (LDM 10)	Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6 & LDM 10)	2 yr. Guarantee	Only 1 year is noted	No	Please revise note #6 as stated above
Approval of substitutions. (Zoning Sec 5.5.5 & LDM 10)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 4, 10 & 11) – Include all cost estimates				
Quantities and sizes	<ul style="list-style-type: none"> Refer to LDM suggested plant list At least 50% of species used shall be native to Michigan Tree diversity shall follow guidelines of LDM Section 4 	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names (LDM 4 & 11)		<ul style="list-style-type: none"> 6 of 13 species (46%) are native to Michigan The tree diversity meets the standard of LDM 4 	<ul style="list-style-type: none"> No Yes 	Please add more native species or replace non-native species with native species
Type and amount of lawn		Seed and Sod	Yes	
Cost estimate (LDM 10)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM Part III) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		No		Not necessary
Multi-stem Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	1. Please copy the tree fencing lines to the Demolition Plan when one is provided.

Item	Required	Proposed	Meets Code	Comments
				2. <u>Please show the fence at 1 foot outside the trees' actual driplines, not the tree symbol's edge.</u>
Other Plant Material Requirements (LDM 11)				
General Conditions	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 11)	Clearly show trees to be removed and trees to be saved.	<ul style="list-style-type: none"> Site trees are shown as being removed. Detention pond trees only show proposed contours running through them. 	<ul style="list-style-type: none"> Yes No 	Please mark the trees to be removed at the detention pond, and on the tree chart.
Landscape tree credit (LDM 11)	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	None taken		
Plant Sizes for ROW, Woodland replacement and others (LDM 11)	<ul style="list-style-type: none"> Size determined by use detailed in LDM Table 11.b.(2)a.i Indicate on plant list 	Yes		
Plant size credit (LDM 11)	NA	No		
Prohibited Plants (LDM 11.b)	No plants on City Invasive Species List			
Recommended trees for planting under overhead utilities (LDM 11)	Label the distance from the overhead utilities			1. Please clearly show all overhead and underground lines on the landscape plans (make lines darker). 2. If none exist, please add a note to landscape plan stating this.
Collected or Transplanted trees (LDM 11)		No		
Nonliving Durable Material: Mulch (LDM 12)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" 	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	depth • Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. • Refer to section for additional information			

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

Irrigation System Requirements

- Any booster pump installed to connect the project’s irrigation system to an existing irrigation system must be downstream of the RPZ.
- The RPZ must be installed in accordance with the 2015 Michigan Plumbing Code.
- The RPZ must be installed in accordance with the manufacture installation instructions for winterization that includes drain ports and blowout ports.
- The RPZ must be installed a minimum of 12-inches above FINISHED grade.
- Attached is a handout that addresses winterization installation requirements to assist with this.
- A plumbing permit is required.
- The assembly must be tested after installation with results recorded on the City of Novi test report form.

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP21-34 – Audi of Novi Revised Preliminary
 Site Plan Traffic Review

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

From:
 AECOM

Date:
 April 1, 2022

CC:
 Lindsay Bell, Madeleine Daniels, Victor Boron,
 Christian Carroll, Humna Anjum

Memo

Subject: JSP21-34 – Audi of Novi Revised Preliminary Site Plan Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward as long as the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Lithia Real Estate Inc, is proposing a 11,935 SF car dealership.
2. The development is located on the northwest corner of the 10 Mile Road and Haggerty Road intersection. 10 Mile Road and Haggerty Road are both under the jurisdiction of Oakland County.
3. The site is currently zoned B-3 (General Business).
4. The following traffic-related deviations may be required if plans are not changed:
 - a. Sidewalk offset along drive lanes.
 - b. The applicant has requested a variance for the north parking setback.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 11th Edition, as follows.

ITE Code: 840 (Automobile Sales (New))
 Development-specific Quantity: 11,935 SF
 Zoning Change: No Change

	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	22	16	100	No
PM Peak-Hour Trips	29	17	100	No
Daily (One-Directional) Trips	332	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
-	Change in building footprint reduced trips so a TIS is no longer required. A TIS has been submitted and is reviewed in a separate letter.

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information is provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.3	25’	Met	
2	Driveway Width O Figure IX.3	30’	Met	
3	Driveway Taper O Figure IX.11			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access O 11-194.a.19	2 access points	Met	
5	Driveway sight distance O Figure VIII-E	510’	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	272.47’	Met	
6b	Opposite side O 11.216.d.1.e	357’	Met	
7	External coordination (Road agency)	Note indicated	Met	
8	External Sidewalk Master Plan & EDM	N/A	-	No changes proposed
9	Sidewalk Ramps EDM 7.4 & R-28-J	None indicated at driveway, level ground indicated	Met	
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	In rear yard	Met	
12	Trash receptacle ZO 5.4.4	In rear yard	Met	
13	Emergency Vehicle Access	Turning movements included	Met	
14	Maneuvering Lane ZO 5.3.2	24'	Met	
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	3' shorter	Met	
15b	Internal to parking bays	3' shorter	Met	May be extended to match space length.
16	Parking spaces ZO 5.2.12	43 employee/customer, 178 inventory	Met	
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	25 or less for inventory, 15 or less for customer/employee	Met	
18	Parking space length ZO 5.3.2	17' and 19' for perpendicular, 18' for angled	Met	
19	Parking space Width ZO 5.3.2	9'	Met	
20	Parking space front curb height ZO 5.3.2	4"	Met	
21	Accessible parking – number ADA	2 spaces	Met	
22	Accessible parking – size ADA	8' wide, with 8' aisle	Met	
23	Number of Van-accessible space ADA	2	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	2 spaces	Met	
24b	Location ZO 5.16.1	104' direct line from entrance	Met	
24c	Clear path from Street ZO 5.16.1	5' sidewalk	Not met	Increase the width of the sidewalk to Haggergy Road to 6'.
24d	Height of rack ZO 5.16.5.B	3'	Met	
24e	Other (Covered / Layout) ZO 5.16.1	Layout provided	Met	
25	Sidewalk – min 5' wide Master Plan	5' to 7'	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	1 indicated near ADA spaces	Met	
27	Sidewalk – distance back of curb EDM 7.4	0' offset	Not Met	Where sidewalk is adjacent to travel lane, offset should be provided.
28	Cul-De-Sac O Figure VIII-F	N/A	-	
29	EyeBrow O Figure VIII-G	N/A	-	
30	Minor/Major Drives ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Met	
33	Signing table: quantities and sizes	Included	Met	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Included	Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Included	Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Included	Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Included	Met	
40	Parking space striping notes	Included	Met	
41	The international symbol for accessibility pavement markings ADA	Not included	Not Met	
42	Crosswalk pavement marking detail	N/A	-	
43	Any Other Comments:	The applicant should indicate the color of the pavement marking arrows on the details. One Way/Do Not Enter signs should be added so traffic does not travel north on the east side of the building.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP21-34 – Audi of Novi Traffic Impact Study

From:
AECOM

Date:
April 1, 2022

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Lindsay Bell, Madeleine Daniels, Victor Boron,
Christian Carroll, Humna Anjum

Memo

Subject: JSP21-34 – Audi of Novi Traffic Impact Study Review

The traffic impact study was reviewed to the level of detail provided. The floorplan of the proposed development changed since the PSP stage and **a TIS is no longer required for the projected trips.**

GENERAL COMMENTS

1. **The Traffic impact study scope - ‘methodology document’ including all the study assumptions has never been submitted to and approved by AECOM before submission of this traffic study.**
2. **Traffic study and Methodology are required to be submitted to RCOC for their review and approval as both the accesses of the subject site are falling on the road under the jurisdiction of Oakland County.**
3. The applicant, Lithia Real Estate Inc, is proposing 11,935 SF car dealership.
4. The development is located on the northwest corner of 10 Mile Road and Haggerty Road intersection. 10 Mile Road and Haggerty Road are both under the jurisdiction of Oakland County.
5. The site is currently zoned B-3 (General Business).
6. The floorplan of the proposed development changed since the PSP stage and a TIS is no longer required for the projected trips.

PROJECT BACKGROUND

1. The study examined the signalized intersection at the intersection of 10 Mile Road and Haggerty Road as well as the intersection at Grand River Avenue and Haggerty Road. Site driveways with 10 Mile Road and Haggerty Road were also included.
2. The completion date for the project is 2022.
3. Automobile Sales (New) with a total of 11,900 SF was used.
 - a. This is an acceptable rounding of the site plan 11,935 SF.
4. Both site driveways are shared with existing uses.

DATA COLLECTION

1. The applicant provided a summary of the existing roadway conditions.
 - a. All roads are 4 or 5 lane roadways.
 - b. Haggerty Road and 10 Mile Road are both under the jurisdiction of RCOC.

- c. Grand River Avenue changes jurisdiction at the Haggerty Road intersection and is under the jurisdiction of RCOC west of Haggerty Road and the City of Farmington Hills east of Haggerty Road.
2. The study preparer collected peak hour traffic count data at the intersections between 7 am and 9 am and 4 pm and 6 pm between October 5th and October 7th, 2021. - **No COVID adjustment factor or comparison of counts to pre-pandemic were included in the study.**
3. A growth rate of 0.50% was used to grow the existing counts from 2021 to 2022 for the future No Build traffic volume. – **No rationale or calculation behind the assumption of the growth rate is shown in the report. Such calculations and rationale should get reviewed and approved during the methodology stage.**

SITE ANALYSIS

1. The study preparer used the 10th edition of the ITE Trip Generation Manual to calculate the trips expected during the AM and PM peak periods.
 - a. The applicant rounded the expected AM peak trips up, calculated using the average rate.
 - b. While a **regression equation is available for the PM peak period with sufficient sites its use would be recommended.**
2. The study preparer distributed the trips to the two access roads (Haggerty Road and 10 Mile Road) using the ratio of the local traffic on those two roads. Trips were then distributed to the site driveways.
3. The study preparer includes the assumption that no traffic will take Haggerty Road to the eastbound leg of Grand River Avenue, as eastbound 10 Mile Road intersects with it just east of the study area.
4. The projected site trips were added to the 2022 No Build volumes to create the 2022 Build volumes.

TRAFFIC ANALYSIS

1. The study preparer indicates HCM2000 methodology was used. However, a table indicates HCM2010 for the unsignalized intersections.
2. A comparison of the existing 2021, 2022 no build, and 2022 build conditions shows no significant difference in LOS between the three scenarios.
 - a. Westbound left turns at the Haggerty Road and 10 Mile Road intersection are LOS F for all scenarios.
 - b. Northbound thru/right at the Haggerty Road and Grand River Avenue intersection is LOS E for all scenarios.
 - c. Southbound movements at the Site Drive 1 and 10 Mile Road intersection are LOS F for all scenarios.
3. The study preparer proposes signal timing updates to mitigate the LOS E and F movements. – **However, these recommendations have not been coordinated with RCOC.**
 - a. Reduction from LOS F to LOS D, southbound thru/right from LOS C to LOS D.
 - b. Reduction from LOS E to LOS D, no worsening LOS.
 - c. No mitigation is possible at Stop controlled Site Driveway.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



March 31, 2022

Façade Review Status:
Section 9 Waiver Recommended

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Revised Preliminary Site Plan**
Audi of Novi, JSP21-34,
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Studio Detroit Architects, dated 3/9/21. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Façade Ordinance are shown in the right-hand column. Materials in non-compliance are highlighted in bold.

	North (Front)	South	East	West	Ordinance Maximum (Minimum)
Brick	30%	0%	56%	44%	100% (30%)
Stone	6%	0%	16%	14%	50%
Flat Metal (ACM)	0%	40%	0%	1%	50%
Flat Metal (Perforated)	49%	13%	22%	37%	50%
Roof Screens	15%	47%	6%	4%	50%

As shown above the minimum percentage of Brick is not provided on the south (front) façade. In this case the underage of brick on the south façade is offset by the predominate use of brick on all other facades and does not adversely affect the overall design of be building. The façade material sample board together with the colored renderings provided by the applicant indicated carefully coordinated colors and textures.

Recommendation - For that reason stated above, we recommend that he design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted of the underage of Brick on the south façade.

Dumpster Enclosure – The drawings (SP1.2) indicates that the dumpster enclosure is constructed of “8” CMU Grouted Solid”. The façade Ordinance requires that the dumpster enclosure match the Brick (or cast stone) used on the primary building. The drawing should be revised accordingly.

Notes to the Applicant:

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant’s responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC

A handwritten signature in blue ink, appearing to read 'Douglas R. Necci', written over a light blue circular stamp.

Douglas R. Necci, AIA

FIRE REVIEW



August 25, 2021

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Madeleine Daniels – Plan Review Center
Ben Peacock – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Laura Marie Casey

Hugh Crawford

Justin Fischer

Julie Maday

City Manager
Peter E. Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

RE: Audi of Novi

PSP# 21-0075

Project Description:

Demolish existing building and erect a 32,000 square foot 2-story building at the corner of Ten Mile and Haggerty Roads.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons. (D.C.S. Sec 11-239(b)(5))
- Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. (International Fire Code 912.2.1)
- Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. (Fire Prevention Ord. Sec. 15-17 912.2.3)
- Shall provide water main sizes on plans for review.

Recommendation:

Approved with conditions

Sincerely,

Tim Krajnovich-Acting Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



Civil Engineers
Land Surveyors
Land Planners

OFFICES

Oakland County

46777 Woodward Avenue
Pontiac, MI 48342
248.332.7931

Wayne County

28 W. Adams, Suite 210
Detroit, MI 48226
313.965.2444

Macomb County

43279 Schoenherr Road
Sterling Heights, MI 48313
586.739.0939

MANAGING PARTNERS

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George A. Ostrowski, Jr., LLA
Paul A. Tulikangas, PE

WEBSITE

www.nfe-engr.com

April 25, 2022

City of Novi

Community Development Department

45175 West Ten Mile Road
Novi, MI 48375

**Attn: Mr. Christian Carroll
Planner**

**Re: Lithia, Audi of Novi
Preliminary Site Plan Review
JSP 21-34**

Dear Mr. Carroll,

We are in receipt of the Preliminary Site Plan Review dated April 7, 2022, for the referenced property. Additionally, we have reviewed the comments and recommendations noted in that letter and offer the following responses on how those items will be addressed on the final site plan package.

Planning Review

Ordinance Requirements

1. We will be seeking special land use approval from the planning commission for this project, as requested.
2. As requested, we have had a noise impact statement prepared for this project and have previously submitted for review.
3. We will be seeking a variance from the Zoning Board of Appeals for the overhead doors on the south side of the building.
4. The parking encroaching on the north parking setback is an existing condition and will be duplicated with the proposed improvements. A variance will be requested for this. The required parking setback area is 26,340 SF, the provided parking area setback with the north parking encroachment as shown is 34,279 SF.
5. As requested, the 4 PEV parking spaces and charging stations will be indicated on the revised plans.
6. The width of the sidewalk will be revised to 6' adjacent to the bike rack, as requested.
7. The requirement for city approval of the loading space is noted.
8. As requested, the overall average/minimum light level calculations will be provided on the revised photometric plan.
9. The plans will comply with the traffic review, as requested.
10. The signs will be submitted as a part of the sign permit submittal, any requested waivers will be included in that submittal.
11. If a new address is required, we will contact Brian Riley, as requested.

Engineering Review

General

1. As requested, the standard details will only be printed with the plan set when submitted for Stamping set submittal.
2. Two benchmarks will be provided on the final site plans, as requested.
3. A right-of-way permit will be obtained prior to construction.
4. A traffic control plan will be provided for review with the final site plan submittal, as requested.
5. Sand backfill class II will be provided for all utilities within the influence of paved areas and will be indicated on the plans and profiles.
6. The liber and page numbers will be provided for existing easements on the final site plan set, as requested.
7. Quantities and materials will be provided on the final site plan set, as requested.
8. As requested, a utility crossing schedule will be provided on the final site plan set.
9. Plan sheet L2 indicates the location of proposed and existing utilities, as requested.
10. As requested, the proposed light pole locations have been indicated on the landscape plan.
11. The RPZ will be provided on the irrigation plan as required with the final site plan set.

Water Main

12. As requested, the plans have been revised to provide a tapping sleeve and gate valve at both connections to the existing water main.
13. We will work with the engineering department to address this comment once preliminary site plan approval has been granted.
14. As requested, gate valves have been proposed to limit the pipe runs to a maximum of 800 feet.
15. Hydrant leads will be sized as 8 inch where the hydrant lead is longer than 25 feet, as requested.
16. As requested, the proposed length of hydrant leads will be labeled on the final site plans.
17. A water main profile will be provided with the final site plan set, as requested.
18. As requested, the plans have been revised to provide a separate water service and fire suppression line to the building.
19. All gate valves 6 inches and larger will be placed in a well except for hydrant shut off valves and valves smaller than 6 inches will be placed in a box, as requested.
20. An irrigation plan will be provided with the final site plan set, as requested.
21. Once we receive approval of the water main, we will provide the required sets and application to be submitted to EGLE, as requested.

Sanitary Sewer

22. The plans will be revised to provide sanitary sewer monitoring manhole with a 20-foot-wide access easement, as requested.
23. A sanitary sewer basis of design will be provided with the final site plan set, as requested.
24. As requested, the sanitary lead material has been revised to PVC SDR 23.5 on plan sheet C2.
25. A note will be added to the utility on the final site plan set concerning the required bury depth, as requested.
26. As requested, the final site plan package will include sanitary sewer profiles.
27. Once we receive approval of the sanitary sewer configuration, we will provide the required sets and application to be submitted to EGLE, as requested.

Storm Sewer

28. Details regarding the cover provided for the proposed storm sewer will be provided with the final site plan set, as requested.
29. Proposed pipe inverts will be provided with the final site plan set, as requested.
30. The requirements for plunge pools are noted.
31. There is an existing easement for the storm sewer that is conveyed across the neighbors property.
32. Storm sewer profiles will be provided with the final site plan set, as requested.
33. As requested, storm inlets will be labeled on the profile plan.
34. The HGL will be indicated on the storm sewer profiles on the final site plan set, as requested.
35. The final site plan package will label the roof conductors.
36. Storm sewer profiles will be provided illustrating all pipes intersecting storm structures.
37. The required easements for the storm sewer system will be provided on the final site plan set.

Storm Water Management Plan

38. The existing regional pond volume required will be revised appropriately along with any associated stormwater calculations on the final site plan set.
39. As requested, the storm water management plan will be designed in accordance with chapter 5 of the engineering design manual.
40. The final site plans will provide a redesigned outlet control structure to verify the receiving drainage course does not exceed the pre-development runoff rate for the site.
41. There is an existing storm sewer easement on the neighboring property over the existing storm sewer. This is depicted on plan sheet C3 and can be found at liber 23930, page 206.
42. An access easement for the detention basin regrading will be provided, as requested.
43. The design for the outlet control structure will be provided with the final site plan set, as requested.
44. access easement for the storm water detention system and pretreatment structure will be provided. An access easement will be provided to the detention area from the public road ROW.
45. As requested, soil borings have been performed near the detention basin. We have previously submitted the soil borings report.
46. The proposed basin side slopes do not exceed a 1:4 slope, as requested.
47. As requested, the bottom of the basin will be designed to provide positive flow.
48. A permanent buffer strip will be restored or maintained around the freeboard elevation, as requested.
49. It is noted that any volume provided below the invert of the outflow pipe is considered a permanent pool.
50. A one-foot freeboard will be provided with the emergency overflow spillway 0.5 feet above the freeboard.

Paving and Grading

51. A paving quantity table will be provided with the final site plan set, as requested.
52. Plan sheet C8 provides a detail for armor tile ADA detectable warning surface.

Soil Erosion and Sediment Control

53. We will submit for a soil erosion control permit when we submit for final site plan review.

Off-site Easements

54. As requested, off-site utility easements will be executed prior to approval of plans.
55. Approval from the neighboring property owners will be provided prior to stamping set approval, as requested.

The following must be submitted with the final site plan

56. A letter will be provided with the final site plan indicating any plan changes.
57. As requested, an itemized engineer's estimate will be prepared and submitted at the time of final site plan review.

The following must be submitted with the stamping set

58. A draft copy of the storm drainage facility maintenance easement agreement will be submitted to the community development department.
59. Water main and sanitary sewer easements that are no longer needed will be vacated.
60. A draft copy of the 20-foot-wide water main easement will be submitted to the community development department.
61. A draft copy of the 20-foot-wide sanitary sewer easement will be submitted to the community development department.
62. A draft copy of the 20-foot-wide access easement to the monitoring manhole will be provided to the community development community.
63. A draft copy of the ingress/egress easement will be submitted to the community development department for the shared drive approach.
64. A 20-foot-wide storm sewer easement will be shown where storm sewer or surface drainage crosses lot boundaries on the master deed.
65. All existing easements that can be vacated will be vacated.
66. Required easements for off-site utilities will be executed and submitted.

Landscape Review

- The existing hedge along Ten Mile Road will be preserved or replaced along the parking lot.
- The berm along Haggerty cannot be provided. In lieu of the berm, a hedge will be provided, if permitted by Buckeye Pipeline, that complies with the screening requirements.
- The deficiency in building foundation landscape (577 s.f.) will be accommodated in the parking lot island opposite the building along Ten Mile Road.
- The existing detention basin to be expanded will be included in the calculations and landscaped in accordance with the ordinance.
- The tree list will be revised to include the trees located in and around the detention basin.
- Provided the light pole placement doesn't affect the distribution of light, we can most likely shift the proposed placement of trees and light poles.
- Additional native species will be provided in the next submittal.

We believe the changes outlined herein will bring the plans into compliance with all applicable Township requirements. We look forward to discussing this matter at the next available Planning Commission. Please do not hesitate to call should there be any questions regarding this matter.

Traffic Review

- 24C - The sidewalk adjacent to the bike rack will be increased to 6' in width, as requested.
- 27 - We are requesting a waiver from the Planning Commission for the requirement of an offset for the sidewalk from the drive aisle. The site layout has been configured to maximize the foundation landscaping to meet the city ordinance as closely as possible. Providing an offset for the sidewalk from the drive aisle would negatively impact the foundation landscaping provided.
- The color of the pavement markings will be indicated on the final site plan, as requested. One Way/Do Not Enter signs will be added on the final site plan set.

Traffic Impact Study Review

We are noting that the traffic impact statement is no longer required due to the reduced size of the building.

Façade Review

We are requesting a waiver from the Planning Commission for the underage of brick on the south façade.

The dumpster detail on plan sheet SP1.2 will be revised to match the brick of the building.

The requirement for inspection of brick and awning materials prior to installation is noted.

Collectively we are seeking the following variances through the ZBA.

1. Sec 3.10.3.A – A variance will be requested to allow overhead doors facing 10 Mile Road.
2. Sec 3.1.12.D – A variance will be requested for the north parking setback to be reduced from 10 feet to 4 feet. The total parking setback area required is 26,430 SF. The proposed parking setback area is 34,279 SF.

We are seeking waivers from the planning commission on the following items


1. A waiver is being requested for the requirement for a green belt berm along 10 Mile Road due to topographical limitations of the site and preservation of the existing trees and hedge.
2. A waiver is being requested for the requirement of greenbelt trees along Haggerty Road due to the existing Buckeye pipelines and easements located along the frontage of Haggerty Road. The Buckeye easement does not allow berms or trees to be planted within the easement.
3. A waiver is being requested for the requirement of street trees along Haggerty Road and 10 Mile Road due to conflicts with existing utilities.
4. A waiver is being requested for the requirement of a berm or alternate screening along Haggerty Road due to a conflict with the Buckeye pipeline easement along the Haggerty Road frontage.
5. A waiver is being requested for the deficiency of 577 SF of foundation landscaping. This landscaping area will be accommodated in the parking lot island opposite of the building.
6. A waiver is being requested to allow the sidewalk immediately adjacent to the drive aisle. The site layout has been arranged to maximize the foundation landscaping area to meet the ordinance requirements. Providing a buffer for the sidewalk would negatively impact the required foundation landscaping.
7. A waiver is being requested for the underage of Brick on the south façade.

Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments.

Mr. Christian Carroll
April 25, 2022
RE: Lithia, Audi of Novi
Page 6 of 6

Sincerely,

NOWAK & FRAUS ENGINEERS



Handwritten signature of Jason R. Longhurst in black ink, written over a horizontal line.

Jason R. Longhurst, P.E.
Principal



CITY OF NOVI
RESPONSE FORM

JSP21-34: AUDI OF NOVI, FOR SPECIAL LAND USE, PRELIMINARY SITE PLAN, AND STORMWATER MANAGEMENT PLAN APPROVAL.

You are invited to attend the meeting and voice your support or objection. If you are unable to attend, you may use this form to reply by mail, email, or fax. Returning this form by mail, email, or fax has as much validity as verbal comments. Should you choose to email this form, please send to bpeacock@cityofnovi.org.

Information regarding the project is available the Saturday before the meeting date at: <https://www.cityofnovi.org/Agendas-Minutes/Planning-Commission/2021.aspx>. Participants may also choose to submit comments that can be read into the record. Comments shall be sent prior to 7 p.m. on the day of the meeting.

Plans are available for viewing during the City's regular business hours, Monday thru Friday, from 8:00 A.M. to 5:00 P.M., at the Community Development Department and also by contacting bmcbeth@cityofnovi.org. Signed comments will be added to the record of the meeting. Unsigned or anonymous comments **WILL NOT** be considered. Please return this form prior to 4:00 PM on the day of the meeting to:

Community Development Department
45175 W. Ten Mile, Novi, Michigan 48375
248-347-0475 (Main) 248-735-5633 (Fax)

I SUPPORT I OBJECT

TO THE ABOVE REQUEST FOR THE FOLLOWING REASONS:

Great utilization of property that will refine
demographic change in a positive and influential way.

SIGNATURE: *Cheri Szaydak*

PRINT NAME: Cheri Szaydak

ADDRESS: 37911 Grand River Ave. Farmington Hills, MI 48335

IN ACCORDANCE WITH MCL 125.3103, THE MANAGER OR OWNER OF A SINGLE STRUCTURE CONTAINING MORE THAN 4 DWELLING UNITS OR OTHER DISTINCT SPATIAL AREAS OWNED OR LEASED BY DIFFERENT PERSONS, IS HEREBY REQUESTED TO POST THE NOTICE AT A PRIMARY ENTRANCE TO THE STRUCTURE(S).

RECEIVED
MAY 04 2022
CITY OF NOVI
COMMUNITY DEVELOPMENT