



CITY OF NOVI CITY COUNCIL
AUGUST 8, 2022

SUBJECT: Approval of (1) the request of Sakura Novi Land Development LLC for JSP 22-09 Sakura Novi for Preliminary Site Plan with Site Condominium, Phasing Plan, Wetland Permit, Woodland Permit, and Storm Water Management Plan, and (2) First Addendum to the PRO Agreement. The subject property is zoned TC-1 with a Planned Rezoning Overlay (PRO), which conditions development to the terms of a PRO Plan and Agreement. The site is approximately 15 acres in size and is located north of Grand River Avenue, south of Eleven Mile Road, and east of Town Center Drive (Section 23). The applicant is proposing to develop a mixed-use development including commercial retail, office, and restaurant uses, and multifamily residential units.

SUBMITTING DEPARTMENT: Community Development Department - Planning

BACKGROUND INFORMATION:

The applicant is requesting site plan approval for approximately 15-acres of property located north of Grand River Avenue, south of 11 Mile Road, and east of Town Center Drive. This process began several years ago when the applicant entered into a purchase agreement with the City for the majority of the subject property and with the intention of developing it under the Planned Rezoning Overlay (PRO) process as a mixed use development. The layout, intensity, mix of uses, and design evolved over time, and eventually the City Council approved the PRO Agreement and Plan in May 2021 and completed the sale of the property in August 2021.

“Sakura Novi” has been proposed as a mixed-use development that would highlight the cultural diversity of Novi by bringing together a mix of Asian-themed retail and restaurant tenants and add a vibrant destination in the Town Center area. The project is presented as 2 phases. Phase 1 consists of a commercial area with four buildings that incorporate restaurant, retail, and office uses along the Grand River frontage, along with 118-townhome units on the north and eastern portion of the site accessed via 11 Mile Road. The existing pond on the west side of the site is to be a focal point and public gathering space, to be enhanced with Japanese-style gardens and a walkway around the perimeter. The Phase 2 portion of the project includes an additional 15 townhome units between the eastern residential area and the commercial area. In Phase 1 that area is used for additional parking.

The applicant has submitted the required site plan with building elevations. All reviews are recommending approval or conditional approval of the Preliminary Site Plan, with additional comments to be addressed with the Final Site Plan. The proposed development is generally in conformance with the PRO Agreement and Zoning Ordinance, with two minor waivers requested, which are noted in the suggested motion. One is a landscaping waiver for a deficiency in accessway perimeter trees, and the other would allow lighting levels to exceed the 4:1 average to minimum ratio in some locations due to the more subtle pedestrian-level lighting proposed around the pond walkway, which was previously approved as a deviation to fall below the required 0.2 footcandle standard. Staff has worked with the applicant to achieve a maximum ratio of 6:1 in those locations. The applicant also proposes to plant some of their landscaping on the ECCO Tool property, which will require them to obtain a landscape easement prior to Final Site Plan approval.

The recently submitted unit plan for the condominium shows five units, while the unit plan in the approved PRO Plan and Agreement text mentions only three units. The rearrangement of unit boundaries does not materially impact the layout of the site. The change was made in order to be able to assign unique parcel numbers to each portion of land except the general common elements. Administrative staff has no objection to issuing the First Addendum to the PRO Agreement to acknowledge this minor change.

Wetland and Woodland permits are required, as described in the PRO Agreement. The building facades match what was proposed and Section 9 waivers approved in the PRO Agreement.

Public benefits agreed to at the time of the PRO include a contribution to the Sidewalk Fund for completion of off-site sidewalk on Grand River, adding a multi-generational, multi-use play area and pond platform to be located northwest of the pond, as well as a free little library. A meditation plaza is shown on the eastern side of the site. An easement to the City for the purpose of displaying public art is located on the east side of the site near Grand River. Right of Way along Grand River and 11 Mile roads has been dedicated.

Planning Commission Action

On July 13, 2022, the Planning Commission held a public hearing and made a favorable recommendation to City Council for approval of the Preliminary Site Plan, Wetland Permit and Storm Water Management Plan based on the motion shown in the action summary attached. Meeting minutes are also attached.

The Ordinance requires the Preliminary Site Plan to receive review and recommendation for approval or denial from the Planning Commission with City Council ultimately approving or denying the proposed plan. Following the City Council's approval, the Final Site Plan approval may be granted administratively.

RECOMMENDED ACTION:

Please note the following 2-part motion.

PART 1: Approval of Sakura Novi, JSP22-09, for the Preliminary Site Plan with Site Condominium, Phasing Plan, Wetland Permit and Stormwater Management Plan based on and subject to the following:

1. Lighting waiver from Section 5.7 to allow light levels to exceed the 4:1 average to minimum ratio in some locations, up to a maximum of a 6:1 ratio, in order to allow greater variation in the light levels in certain areas of the property, which is hereby granted;
2. Landscape waiver from Section 5.5.3.C.iii to permit the shortage of 14 access-way perimeter trees in the commercial area, which is hereby granted;
3. As permitted under the terms outlined in the PRO Agreement, the applicant shall mitigate wetland impacts by purchasing credits in an EGLE-approved wetland mitigation bank, and
4. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance, and with Chapters 11, 12, and 37 of the Code of Ordinances, and all other applicable provisions of the Ordinance, as well as the terms of the PRO Agreement.

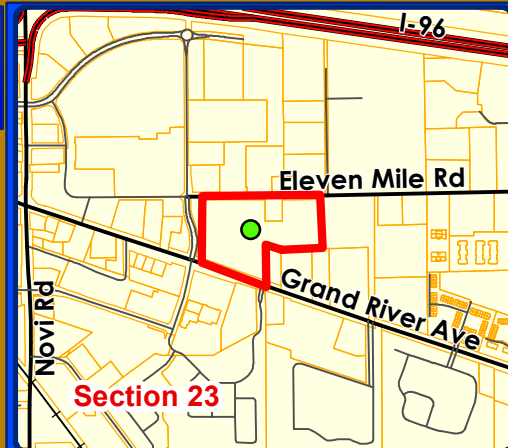
PART 2: Approval of the First Addendum to the Sakura Novi PRO Agreement, JZ19-31, to acknowledge the new numbering of condominium has changed from 3 to 5 units, and incorporating the revised condominium unit plan.

This motion is made because the change does not materially affect the PRO Agreement.


MAPS
Location
Zoning
Future Land Use
Natural Features

SAKURA NOVI: JSP22-09

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 7/8/22
Project: SAKURA NOVI JSP22-09
Version #: 1



1 inch = 375 feet

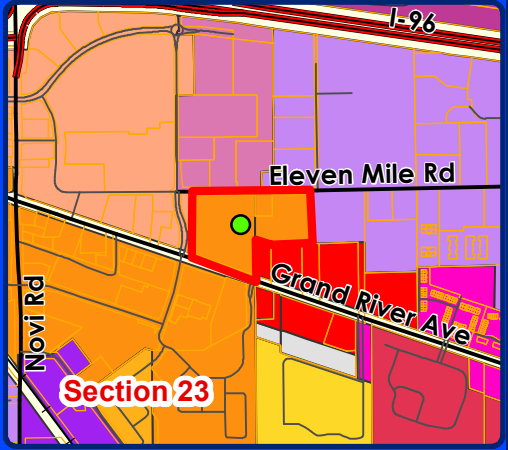
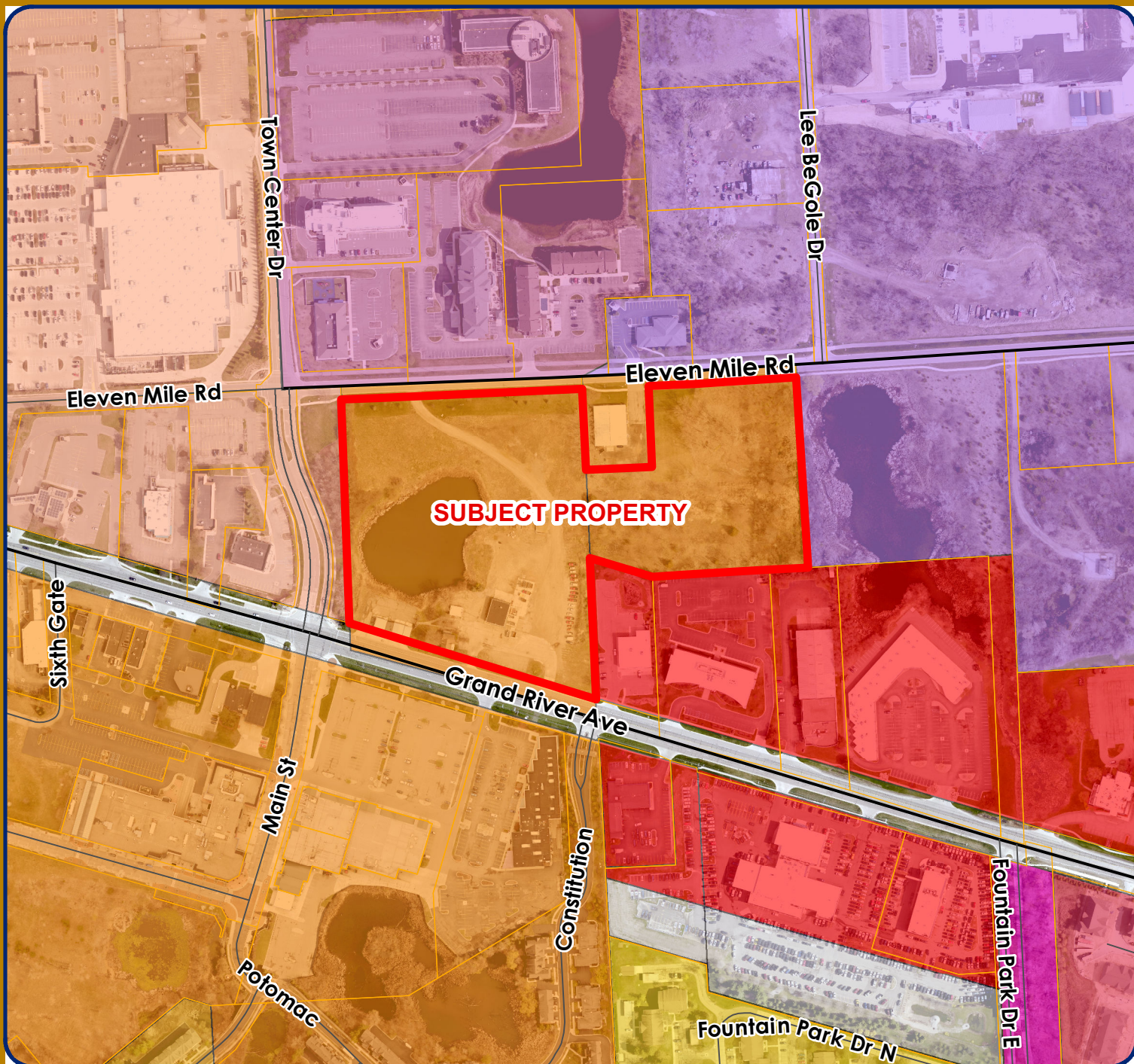


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

SAKURA NOVI: JSP22-09

ZONING



LEGEND

- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- I-2: General Industrial District
- NCC: Non-Center Commercial District
- OSC: Office Service Commercial
- OST: Office Service Technology
- P-1: Vehicular Parking District
- TC: Town Center District
- TC-1: Town Center -1 District
- Subject Property



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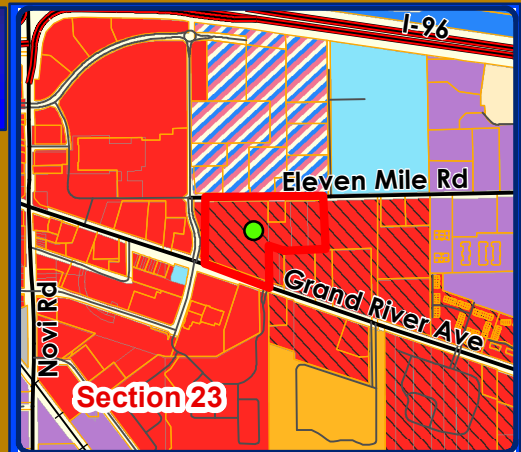
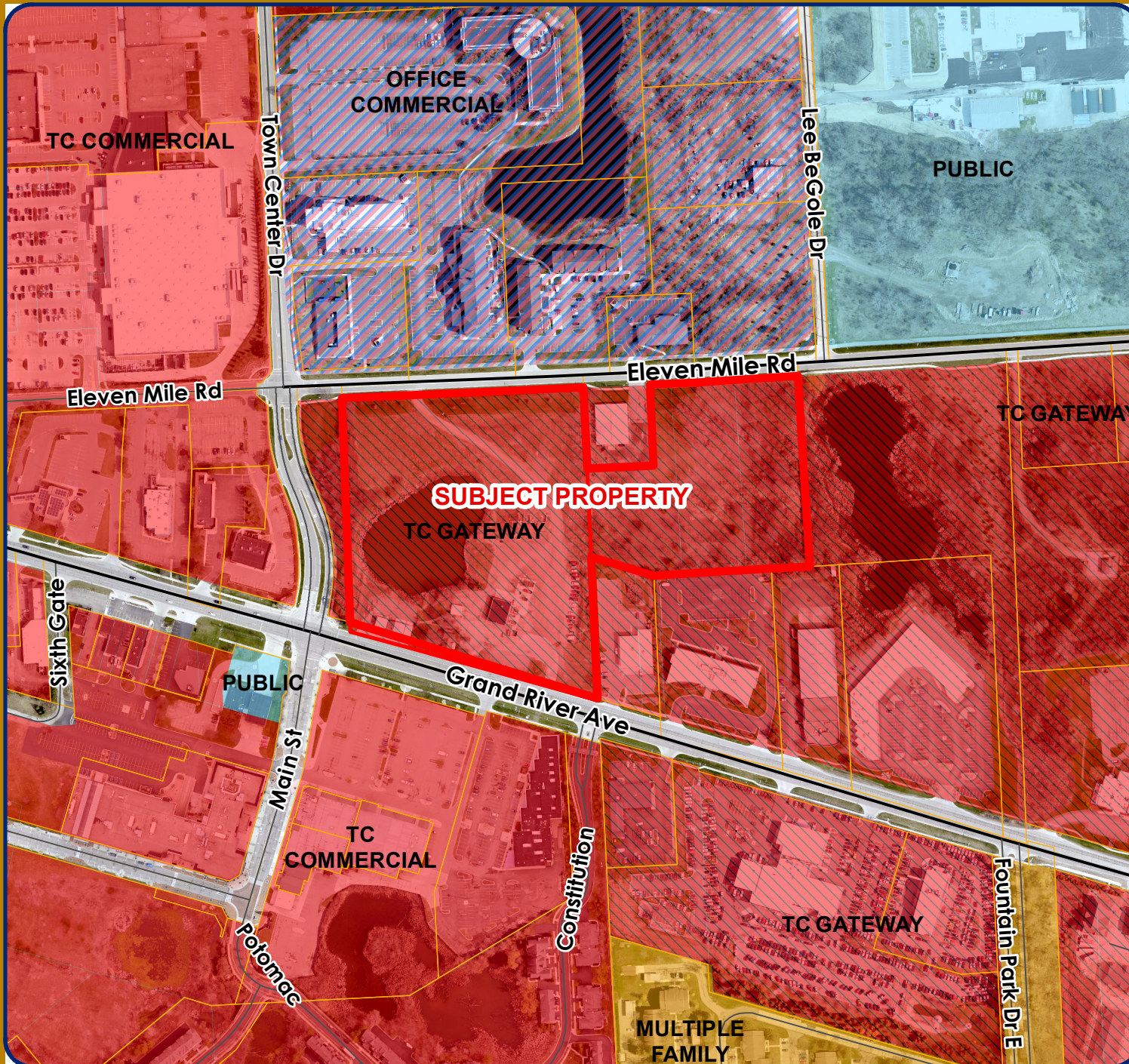


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SAKURA NOVI: JSP22-09

FUTURE LAND USE



LEGEND

- Multiple Family
- Office Research Development Technology
- Office Commercial
- Industrial Research Development Technology
- TC Commercial
- TC Gateway
- Educational Facility
- Public
- Cemetery
- Subject Property



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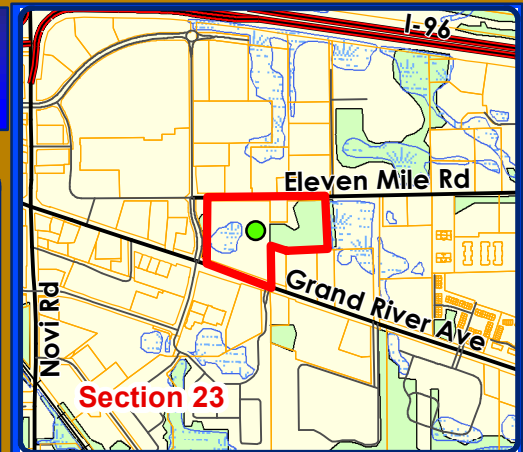
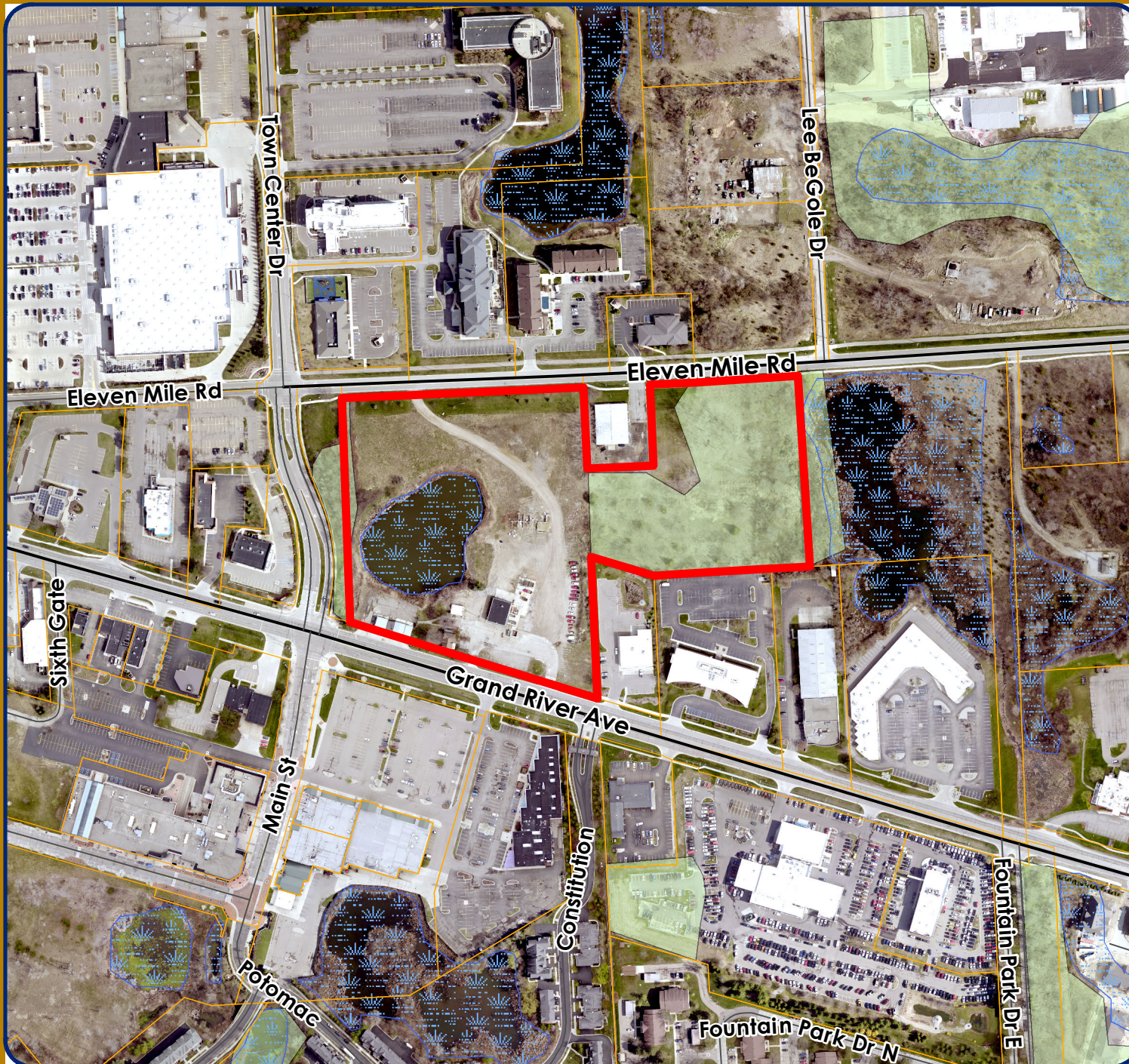


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SAKURA NOVI: JSP22-09

NATURAL FEATURES



- LEGEND**
-  WETLANDS
 -  WOODLANDS
 -  Subject Property



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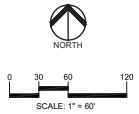
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SITE PLAN
(FULL PLAN SET AVAILABLE AT COMMUNITY DEVELOPMENT DEPARTMENT)



LANDSCAPE PLAN



CLIENT
SAKURA NOVI, LLC
 350 OLD WOODWARD AVE., SUITE 300
 ANN ARBOR, MI 48106

PROJECT TITLE
SAKURA NOVI
 PART OF THE S.W. 1/4 OF SECTION 23, T.1N, R.08 E. OF NOV, MI 48106

REVISIONS

CITY COMMENTS	DATE
S2422	

ORIGINAL ISSUE DATE:
 FEBRUARY 28, 2022

DRAWING TITLE
OVERALL SITE PLAN

PEA JOB NO. 2018-033

P.M.	J.P.E.
D.N.	K.R.D.
D.E.S.	G.M.B.

DRAWING NUMBER: GMB

NOT FOR CONSTRUCTION C-2.0

LEGEND

EXISTING

- IRON FOUND
- STEEL FOUND
- CONCRETE FOUND
- ASPHALT
- GRAVEL
- RETAINMENT WALL
- CONCRETE
- ASPHALT
- GRAVEL
- RETAINMENT WALL

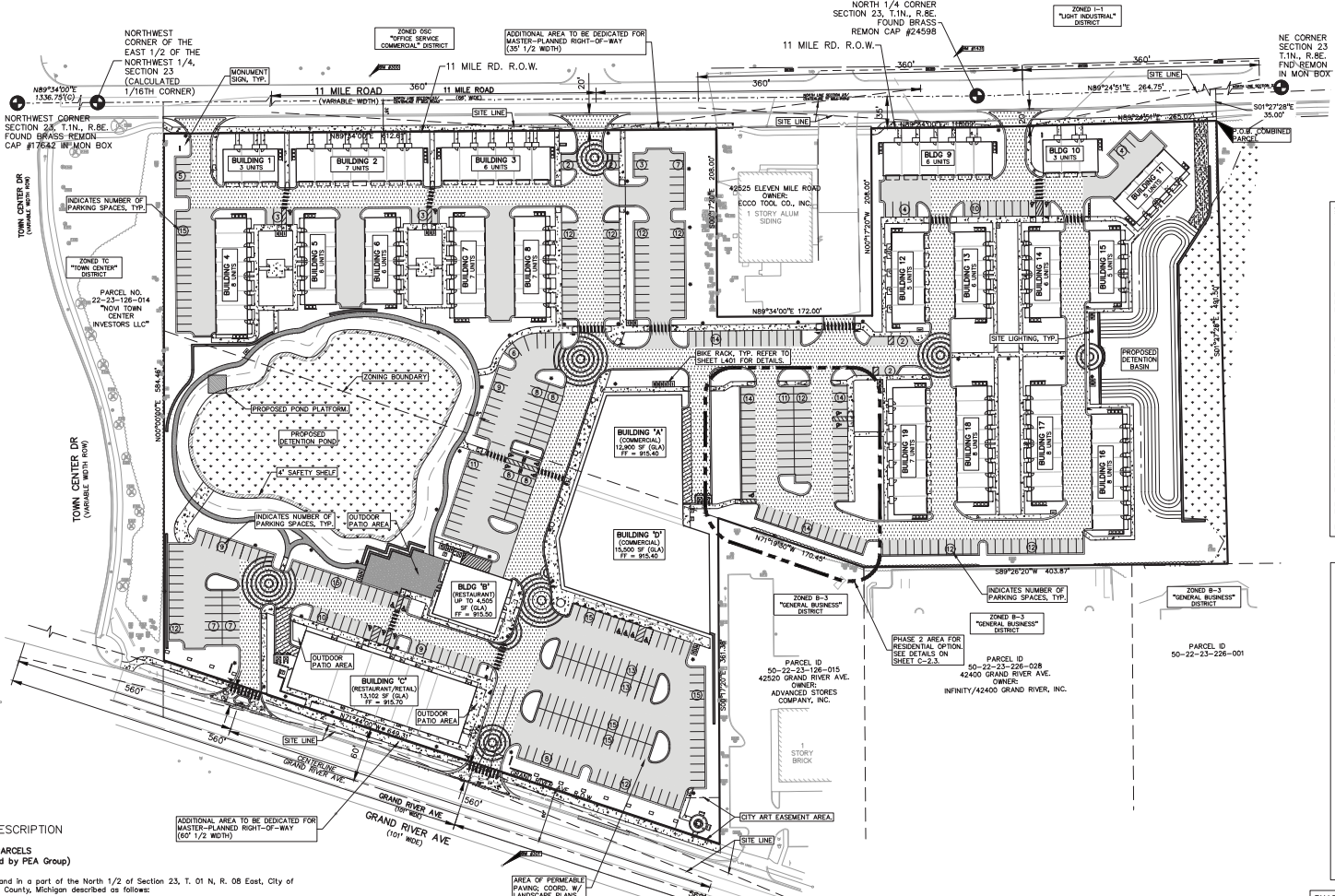
PROPOSED

- CONCRETE
- ASPHALT
- GRAVEL
- RETAINMENT WALL

- CITY OF NOVI FIRE DEPARTMENT NOTES.**
- ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 - ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
 - THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT THE CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON CONTRASTING BACKGROUND.

DEWATERING NOTE:
 DEWATERING IS NOT ANTICIPATED DURING CONSTRUCTION.

- BENCHMARKS**
- BM#300**
 GEAR SPIKE IN A POWER POLE 25 FEET NORTH OF THE CENTERLINE OF 11 MILE ROAD AND 375.4 FEET EAST OF THE EAST CURB OF TOWNE CENTER DRIVE.
 ELEV. 918.48
- BM#301**
 GEAR SPIKE IN A POWER POLE 42 FEET SOUTH OF THE CENTERLINE OF GRAND RIVER 500.4 FEET EAST OF THE EAST CURB OF TOWNE CENTER DRIVE.
 ELEV. 919.00
- BM #1431**
 "X" ON NORTH RIM OF SANITARY MANHOLE LOCATED 25 FEET NORTH BACK OF CURB OF 11 MILE ROAD, 25 FEET WEST OF SOUTH 1/4 POST SECTION 14, AND IN FRONT OF BUILDING #42500 11 MILE ROAD.
 ELEV. 913.51



REFERENCE DRAWINGS

- WATER MAIN
- SEWER MAIN
- STORM SEWER
- UTILITY
- DATE
- CONSIDERED DESIGN MAP # 0108-010, DATED 10-11-18
- DATE
- CONSIDERED DESIGN MAP # 0108-010, DATED 10-11-18
- DATE
- CONSIDERED DESIGN MAP # 0108-010, DATED 10-11-18

SITE DATA TABLE

SITE AREA: 15.59 acres (679,232 SF) GROSS
 15.11 acres (658,104 SF) NET

ZONING: TC-1 W/ PRO-PLANNED REZONING OVERLAY
 -MIXED USE COMMERCIAL (SEE BUILDING USE BELOW FOR BREAKDOWN)
 -MULTI-FAMILY RESIDENTIAL (117 UNITS)

PARKING CALCULATIONS: (SHARED PARKING STUDY PREPARED BY BERGMANN)

BUILDING USE	REQUIRED PEAQ. DEMAND
RESIDENTIAL (271 BEDROOMS)	218
10% EFFECTIVE SUPPLY	22
RESIDENTIAL PARKING REQUIRED	240
RETAIL (11,475 SF)	0
OFFICE (12,000 SF)	0
QUALITY RESTAURANT (10,530 SF)	170
GET-GOAW RESTAURANT (6,000 SF)	62
FAST CASUAL RESTAURANT (7,800 SF)	38
10% EFFECTIVE SUPPLY	2
COMMERCIAL PARKING REQUIRED	327

REQUIRED:
 COMMERCIAL + RESIDENTIAL PARKING = 240 + 327 = 567 SPACES

PROVIDED:
 PHASE 1 = 600 SPACES (154 GARAGE, 446 SURFACE), INC. 19 ADA SPACES
 PHASE 2 = 573 SPACES (169 GARAGE, 404 SURFACE), INC. 19 ADA SPACES
 (9 132 RESI UNITS)

BICYCLE PARKING CALCULATIONS:
 REQUIRED = 2% OF REQUIRED AUTOMOBILE SPACES
 PROVIDED = 16.35 ~ 17 SPACES

MULTI-FAMILY RESIDENTIAL:
 REQUIRED = 117/3 = 23.4 ~ 24 SPACES
 PROVIDED = 28 SPACES (ADDITIONAL BIKE PARKING PROVIDED IN GARAGES)

- GENERAL NOTES:**
- THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.
- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING, PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
 - ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVI CURRENT STANDARDS AND REGULATIONS.
 - THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 3 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
 - ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGIN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
 - IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS, ETC.) WITHIN GRADED AND/OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO JOB AND WILL NOT BE PAID FOR SEPARATELY.
 - ALL PARKING SPACE PAVEMENT MARKINGS SHALL BE 4" WHITE WITH THE EXCEPTION OF THE BARRIER FREE PARKING SPACES.
 - PROVIDE 4" BLUE STRIPING FOR BARRIER FREE PARKING SPACES AND WHITE FOR BARRIER FREE PARKING SPACES. NOTE THAT WHERE A BARRIER FREE PARKING SPACE ABUTS A NON-BARRIER FREE SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
 - SIGNS NOTED TO BE MOUNTED ON BUILDING FACADE SHALL HAVE A MINIMUM MOUNTING HEIGHT OF 5 FEET AND A MAXIMUM MOUNTING HEIGHT OF 7 FEET.

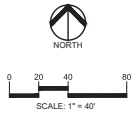
PHASING NOTE:
 THIS PROJECT WILL PHASE THE CONSTRUCTION SEQUENCING OF THE COMMERCIAL BUILDING. LOCAL PHASE WILL BE DESIGNED TO STAND ON ITS OWN AND PROVIDE THE NECESSARY UTILITY EXTENSION, ETC. IN ORDER TO ACCOMMODATE FUTURE CONSTRUCTION. REFER TO THE SUBMITTAL PRELIMINARY SITE PLAN SHEETS FOR ADDITIONAL INFORMATION.

LEGAL DESCRIPTION
COMBINED PARCELS
 (As Surveyed by PEA Group)

A parcel of land in a part of the North 1/2 of Section 23, T. 01 N, R. 08 East, City of Novi, Oakland County, Michigan described as follows:

Commencing at the N 1/4 Corner of said Section 23, T. 01 N, R. 08 East, thence along the North line of said Section 23 N88°24'51"E 284.75 feet; thence S01°27'28"E 35.00 feet to the POINT OF BEGINNING; thence S01°27'28"E 491.50 feet; thence S89°26'20"W, 403.87 feet; thence N71°09'50"W, 170.45 feet; thence S00°17'20"E 361.42 feet to the north line of Grand River Ave. (60 feet wide northerly half); thence along said north line N71°44'00"W, 649.31 feet; thence N00°00'00"E 584.46 feet to the south line of 11 Mile Road (55 feet wide south half); thence along said south line N89°44'00"E 612.61 feet; thence S00°17'20"E, 208.00 feet; thence N89°34'00"E, 172.00 feet; thence N00°17'20"W, 208.00 feet to the south line of said 11 Mile Road; thence along said south line N89°34'00"E, 118.09 feet and N89°24'51"E, 265.02 feet to the POINT OF BEGINNING. Containing 656,386 Sq. Ft. or 15.07± AC.

NOTE:
 REFER TO SHEETS C-2.1 AND C-2.2 FOR SITE DIMENSIONS. REFER TO SHEETS C-2.3 AND C-2.8 FOR SITE BACKS.



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LOCATION MAP

CLIENT
SAKURA NOVI, LLC
 380 OLD WOODWARD AVE., SUITE 300
 NOVIA, MI 48160

PROJECT TITLE
SAKURA NOVI
 PART OF THE N 1/4 OF SECTION 23, T. 01 N., R. 08 E., OF NOVIA, MICHIGAN

REVISIONS

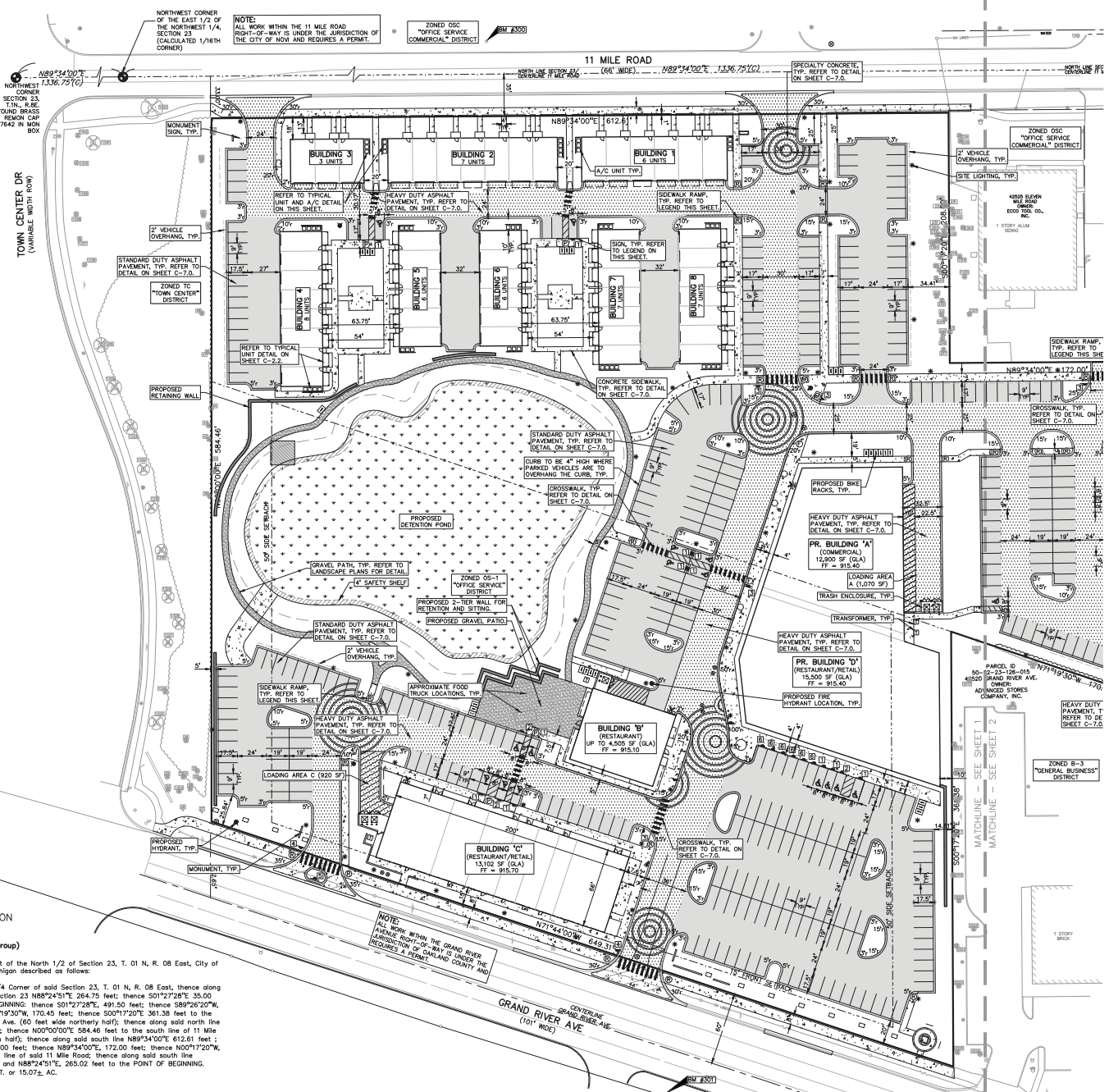
NO.	DATE	DESCRIPTION
1	5/24/22	ISSUED FOR PERMIT

ORIGINAL ISSUE DATE:
 FEBRUARY 28, 2022

DRAWING TITLE
PRELIMINARY SITE PLAN
PHASE 1 - WEST

PEA JOB NO. 2018-033
P.M. JPB
D.N. KRD
DES. GMB
DRAWING NUMBER:

NOT FOR CONSTRUCTION **C-2.1**



LEGEND

EXISTING

- IRON FOUND
- CONCRETE FOUND
- MONUMENT FOUND
- MONUMENT SET
- MONUMENT

PROPOSED

- BASE PLUS SET
- BASE SET
- BASE
- BASE CALCULATED
- REC. CORNER FOUND
- RECORNER FOUND
- RECORNER
- MISPLACED
- CALCULATED

CONSTRUCTION

- 1.5" CONC. CURB
- 4" CONC. CURB
- 6" CONC. CURB
- 8" CONC. CURB
- 10" CONC. CURB
- 12" CONC. CURB
- 14" CONC. CURB
- 16" CONC. CURB
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- 608" CONC. CURB
- 612" CONC. CURB
- 616" CONC. CURB
- 620" CONC. CURB
- 624" CONC. CURB
- 628" CONC. CURB
- 632" CONC. CURB
- 636" CONC. CURB
- 640" CONC. CURB
- 644" CONC. CURB
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- 668" CONC. CURB
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- 688" CONC. CURB
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- 696" CONC. CURB
- 700" CONC. CURB
- 704" CONC. CURB
- 708" CONC. CURB
- 712" CONC. CURB
- 716" CONC. CURB
- 720" CONC. CURB
- 724" CONC. CURB
- 728" CONC. CURB
- 732" CONC. CURB
- 736" CONC. CURB
- 740" CONC. CURB
- 744" CONC. CURB
- 748" CONC. CURB
- 752" CONC. CURB
- 756" CONC. CURB
- 760" CONC. CURB
- 764" CONC. CURB
- 768" CONC. CURB
- 772" CONC. CURB
- 776" CONC. CURB
- 780" CONC. CURB
- 784" CONC. CURB
- 788" CONC. CURB
- 792" CONC. CURB
- 796" CONC. CURB
- 800" CONC. CURB
- 804" CONC. CURB
- 808" CONC. CURB
- 812" CONC. CURB
- 816" CONC. CURB
- 820" CONC. CURB
- 824" CONC. CURB
- 828" CONC. CURB
- 832" CONC. CURB
- 836" CONC. CURB
- 840" CONC. CURB
- 844" CONC. CURB
- 848" CONC. CURB
- 852" CONC. CURB
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- 860" CONC. CURB
- 864" CONC. CURB
- 868" CONC. CURB
- 872" CONC. CURB
- 876" CONC. CURB
- 880" CONC. CURB
- 884" CONC. CURB
- 888" CONC. CURB
- 892" CONC. CURB
- 896" CONC. CURB
- 900" CONC. CURB
- 904" CONC. CURB
- 908" CONC. CURB
- 912" CONC. CURB
- 916" CONC. CURB
- 920" CONC. CURB
- 924" CONC. CURB
- 928" CONC. CURB
- 932" CONC. CURB
- 936" CONC. CURB
- 940" CONC. CURB
- 944" CONC. CURB
- 948" CONC. CURB
- 952" CONC. CURB
- 956" CONC. CURB
- 960" CONC. CURB
- 964" CONC. CURB
- 968" CONC. CURB
- 972" CONC. CURB
- 976" CONC. CURB
- 980" CONC. CURB
- 984" CONC. CURB
- 988" CONC. CURB
- 992" CONC. CURB
- 996" CONC. CURB
- 1000" CONC. CURB

REFERENCE DRAWINGS

- SECTION 23, T. 01 N., R. 08 E., NOVIA, MI
- CITY OF NOVIA ZONING MAP DATED 10-18-18
- CITY OF NOVIA SUBDIVISION MAP DATED 10-18-18
- CONTRACTOR'S SURVEY MAP # 19-08-03, DATED 10-18-18
- PROJECT DATE: 10-18-18

NOTE: NOT ALL FRANCHISE UTILITY MAPS AS OF DECEMBER 10-2018

SIGN LEGEND:

"BARRIER FREE" PARKING SIGN	1	9 EA.
"VAN ACCESSIBLE" SIGN	2	4 EA.
"CROSSWALK" SIGN	3	5 EA.
"STOP" SIGN	4	2 EA.
"NO LEFT TURN" SIGN	5	1 EA.
"NO MIN. PARKING ONLY" SIGN	6	1 EA.
"NO PARKING FIRE LANE" SIGN	7	2 EA.

ALL TRAFFIC SIGNAGE SHALL COMPLY WITH CURRENT MUTCD STANDARDS. REFER TO SHEET C-7.0 FOR SIGN DETAILS.

SIDEWALK RAMP LEGEND:

SIDEWALK RAMP "TYPE 1"	1
SIDEWALK RAMP "TYPE 2"	2
SIDEWALK RAMP "TYPE 3"	3
SIDEWALK RAMP "TYPE 4"	4
SIDEWALK RAMP "TYPE 5"	5

REFER TO LATEST M.D.O.T. R-28 STANDARD RAMP AND DETECTABLE WARNING DETAILS.

LOADING CALCULATIONS:

LOADING AREA	REQUIRED	PROVIDED
A1	1,285 SF	2,370 SF
A2	537 SF	750 SF
B	600 SF	481 SF
C	2,000 SF	930 SF
D	900 SF	1,450 SF

VARIANCE REQUESTED

GENERAL NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT.

- ALL DIMENSIONS SHOWN ARE TO BACK OF CURB, FACE OF SIDEWALK, OUTSIDE FACE OF BUILDING PROPERTY LINE, CENTER OF MANHOLE/CATCH BASIN OR CENTERLINE OF PIPE UNLESS OTHERWISE NOTED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF NOVIA CURRENT STANDARDS AND REGULATIONS.
- THE CONTRACTOR SHALL NOTIFY THE CITY ENGINEER AND/OR THE AUTHORITY HAVING JURISDICTION 4 BUSINESS DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.
- ANY WORK WITHIN THE STREET OR HIGHWAY RIGHT-OF-WAYS SHALL BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THE AGENCIES HAVING JURISDICTION AND SHALL NOT BEGUN UNTIL ALL NECESSARY PERMITS HAVE BEEN ISSUED FOR THE WORK.
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST THE TOP OF ALL EXISTING AND PROPOSED STRUCTURES (MANHOLES, CATCH BASINS, INLETS, GATE WELLS ETC.) WITHIN GRADED AND /OR PAVED AREAS TO FINAL GRADE SHOWN ON THE PLANS. ALL SUCH ADJUSTMENTS SHALL BE INCIDENTAL TO THE JOB AND WILL NOT BE PAID FOR SEPARATELY.
- ALL PARKING SPACE PAVEMENT MARKINGS SHALL BE 4" WHITE WITH THE EXCEPTION OF THE BARRIER FREE PARKING SPACES.
- PROVIDE 4" BLUE STRIPING FOR BARRIER FREE PARKING SPACES AND WHITE FOR BARRIER FREE PARKING SYMBOLS. NOTE THAT WHERE A BARRIER FREE PARKING SPACE ADJUTS A NON-BARRIER FREE SPACE, THE TWO SPACES SHALL BE SEPARATED BY ADJUTING BLUE AND WHITE STRIPES.
- SIGNS NOTED TO BE MOUNTED ON BUILDING FACADE SHALL HAVE A MINIMUM MOUNTING HEIGHT OF 7 FEET AND A MAXIMUM MOUNTING HEIGHT OF 9 FEET.

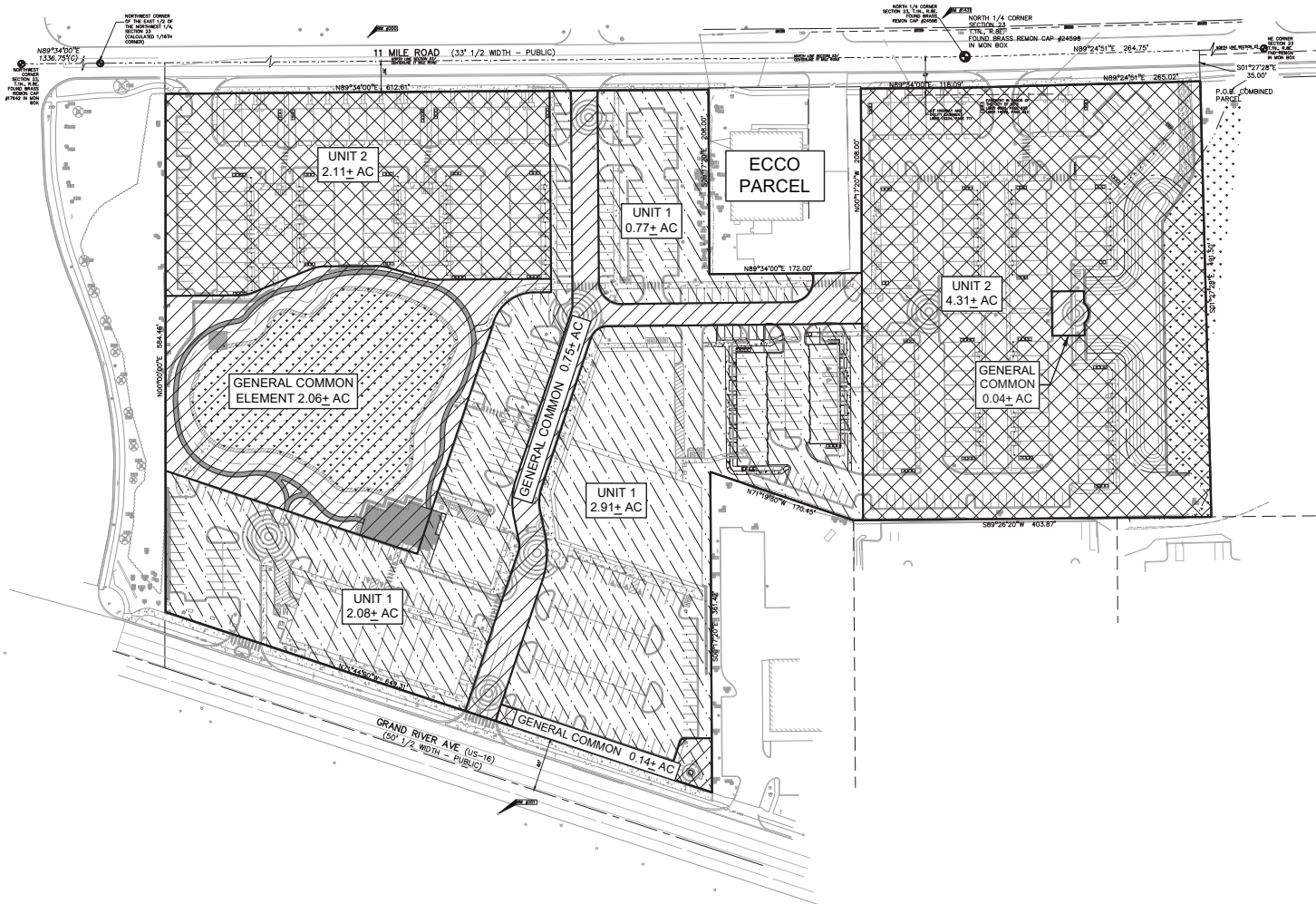
CITY OF NOVIA FIRE DEPARTMENT NOTES:

- ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
- ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION.
- THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET APPROXIMATELY 10 FEET FROM THE ADDRESS IS TO BE AT LEAST 3 INCHES HIGH ON CONTRASTING BACKGROUND.

LEGAL DESCRIPTION
COMBINED PARCELS
(As Surveyed by PEA Group)

A parcel of land in a part of the North 1/2 of Section 23, T. 01 N., R. 08 East, City of Novia, Oakland County, Michigan described as follows:

Commencing at the N 1/4 Corner of said Section 23, T. 01 N., R. 08 East, thence along the North line of said Section 23 N88°24'51"E 264.75 feet; thence S01°27'28"E 35.00 feet to the POINT OF BEGINNING; thence S01°27'28"E, 491.50 feet; thence S89°26'20"W, 403.87 feet; thence N71°19'20"W, 170.45 feet; thence S00°17'02"E, 361.38 feet to the north line of Grand River Ave. (60 feet wide northerly half); thence along said north line N71°44'00"W, 649.31 feet; thence N00°00'00"E, 584.48 feet to the south line of 11 Mile Road (35 feet wide south half); thence along said south line N87°34'00"E, 612.61 feet; thence S00°17'20"E, 208.00 feet; thence N89°34'00"E, 172.00 feet; thence N00°17'20"W, 208.00 feet to the south line of said 11 Mile Road; thence along said south line N89°34'00"E, 118.09 feet and N88°24'51"E, 265.02 feet to the POINT OF BEGINNING. Containing 656,366 SQ. FT. or 15.07± AC.



LEGEND

● IRON FOUND	○ BRASS PLUS SET	○ REC. CORNER FOUND
● IRON SET	○ MONUMENT FOUND	■ MISCELLANEOUS
● NAIL FOUND	○ MONUMENT SET	■ MISMEASURED
● NAIL & COP SET		■ CALCULATED

EXISTING

- ELEC—ELEC— ELEC. PIPING OR CABLE TV/CABLE, POLE & GUY WIRE
- ELEC—ELEC— UNDERGROUND CABLE TV/CABLE/DSL/STREET
- ELEC—ELEC— TELEPHONE CABLE, FIBER OPTIC & MARKER
- ELEC—ELEC— ELECTRIC GUY WIRE, MARKER, METER HANDHOLE
- ELEC—ELEC— GAS, WATER, VALVE & GAS LINE MARKER
- ELEC—ELEC— WATER MAIN, VALVE, GAS VALVE, TAPPING/SHIELD & VALVE
- ELEC—ELEC— STORM SEWER, CLEANOUT & MANHOLE
- ELEC—ELEC— STORM SEWER, CLEANOUT & MANHOLE
- ELEC—ELEC— COMBINED SEWER MANHOLE
- ELEC—ELEC— SQUARE, ROUND & RECT. GUY WIRE, VALVE DRIVE
- ELEC—ELEC— 10" MIN. DIAM. VALVE
- ELEC—ELEC— INTER-VALVE BODY/SHOULDER VALVE, SOL. SERVICE STOP/STOP
- ELEC—ELEC— METRIC VALVE, TRANSFORMER, PENETRATION CONTROL VALVE
- ELEC—ELEC— MISC. REC. STRUCTURE
- ELEC—ELEC— POST ELEVATION

PROPOSED

- ELEC—ELEC— CONDUIT LINE
- ELEC—ELEC— PIPING
- ELEC—ELEC— GUARD RAIL
- ELEC—ELEC— STREET MARK
- ELEC—ELEC— IRON
- ELEC—ELEC— CONCRETE
- ELEC—ELEC— ASPHALT
- ELEC—ELEC— GRAVEL BOLLARD
- ELEC—ELEC— RETLAND

REFERENCE DRAWINGS

- UTILITY MAPS: CITY OF NOVI GIS MAP DATED 10-18-18
- SEWERAGE SYSTEMS: CITY OF NOVI GIS MAP DATED 10-18-18
- GAS: COMMERCE ENERGY MAP #10-08-21-2, DATED 10-18-18
- POLE/CABLE DATED 10-18-18

*HAVE NOT DECIDED ALL FRANCHISE UTILITY MAPS AS OF DECEMBER 17-2018

PEA GROUP

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GREGORY BOND
ENGINEER
10577
STATE OF MICHIGAN
PROFESSIONAL

NORTH

0 30 60 120
SCALE: 1" = 60'

CAUTION!

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LOCATION MAP

CLIENT
SAKURA NOVI, LLC
384 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, AL 35202

PROJECT TITLE
SAKURA NOVI
PART OF THE #1 OF THE 1/4 OF SECTION 23, T1N, R1E, NW 1/4

REVISIONS	
CITY COMMENTS	5/24/22

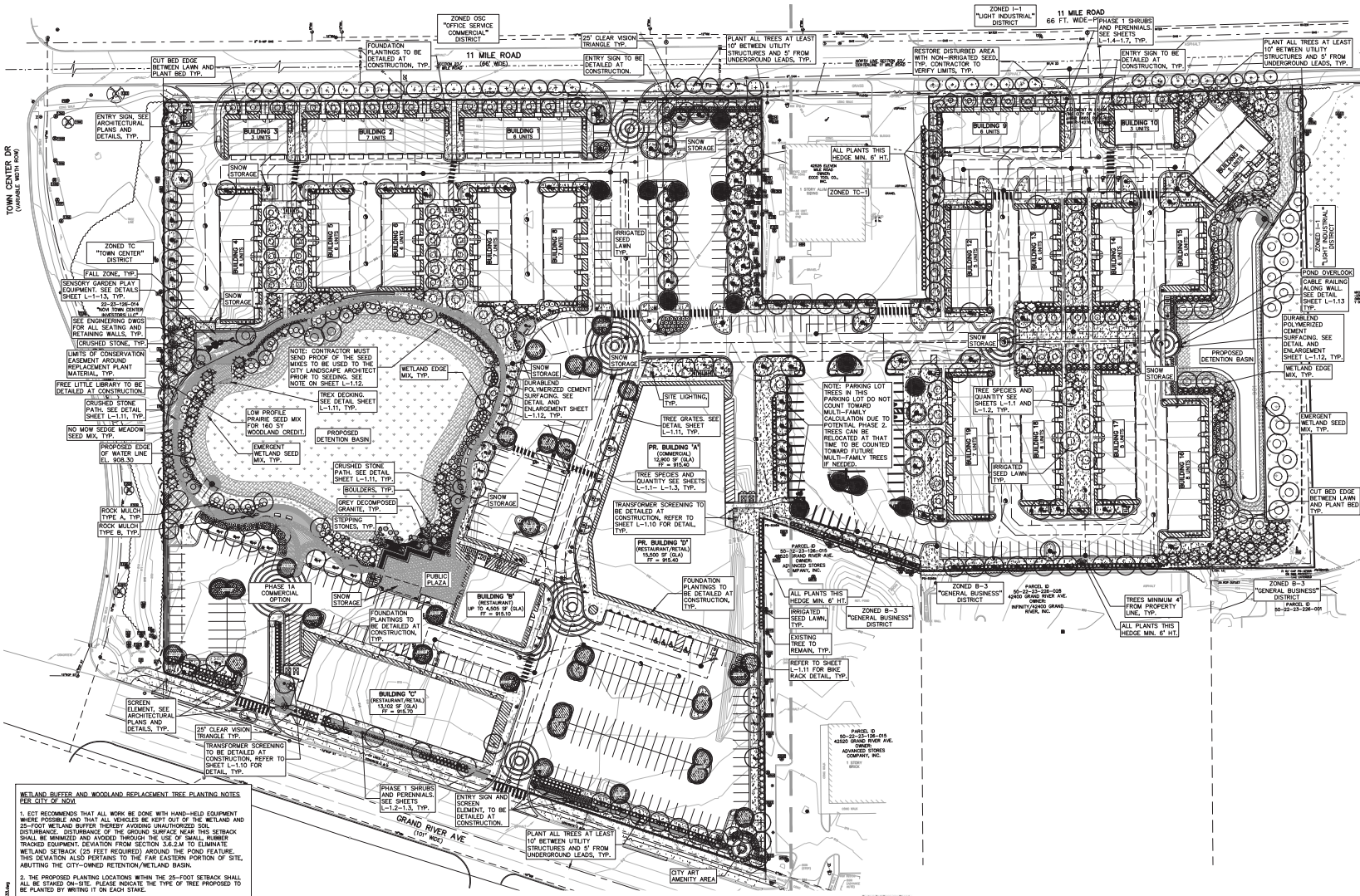
ORIGINAL ISSUE DATE:
FEBRUARY 28, 2022

DRAWING TITLE
UNIT PLAN

PEA JOB NO.	2018-033
P.M.	JPB
D.N.	KRD
DES.	GMB
DRAWING NUMBER:	

NOT FOR CONSTRUCTION **C-2.6**

\\p0100101\work\2018\033_SAKURA_NOVI\PEA\DWG\03-C-2.6-UNIT-PLAN.dwg



- KEY**
- RESIDENTIAL INTERIOR ROADWAY TREES
 - RESIDENTIAL PARKING LOT PERIMETER TREES COUNTING AS MULTI-FAMILY TREES
 - INTERIOR PARKING LOT TREES COUNTING AS MULTI-FAMILY TREES
 - EXISTING TREES COUNTING AS PARKING PERIMETER TREES
 - INTERIOR COMMERCIAL ROADWAY TREES
 - COMMERCIAL PARKING PERIMETER TREES
 - COMMERCIAL PARKING PERIMETER TREES
 - INTERIOR PARKING TREES
 - 4" UNIT TREES
 - BASKIN SHRUBS
 - GREENBELT TREES
 - BUFFER PLANTINGS
 - REPLACEMENT TREES & SHRUBS
 - SHRUBS
 - EMERGENT WETLAND SEED MIX & STAGED CROSSMATT BY CAROLINA NATIVE PLANT NURSERY PHONE 574.586.2412 SEE SHEET L-1.14 FOR SEED MIX LIST
 - WETLAND EDGE SEED MIX & STAGED CROSSMATT BY CAROLINA NATIVE PLANT NURSERY PHONE 574.586.2412 SEE SHEET L-1.14 FOR SEED MIX LIST
 - LOW PROFILE PRAIRIE SEED MIX & STAGED CROSSMATT BY CAROLINA NATIVE PLANT NURSERY PHONE 574.586.2412 SEE SHEET L-1.14 FOR SEED MIX LIST
 - NO MOW SEED MEADOW SEED MIX BY CAROLINA NATIVE PLANT NURSERY PHONE 574.586.2412 SEE SHEET L-1.14 FOR SEED MIX LIST
 - IRRIGATED SEED LAWN
 - NON-IRRIGATED SEED LAWN
 - PERENNIALS
 - 4" DEPTH DECORATIVE STONE MULCH TYPE A OVER NON-NOVEN FILTER FABRIC
 - 4" DEPTH DECORATIVE STONE MULCH TYPE B OVER NON-NOVEN FILTER FABRIC
 - 4" GREY DECOMPOSED GRANITE OVER NON-NOVEN FILTER FABRIC
 - CRUSHED STONE PATH
 - FOUNDATION PLANTINGS TO BE DETAILED AT CONSTRUCTION
 - TREE PROTECTION FENCING
 - EXISTING TREES TO REMAIN

PEA GROUP
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 www.peagroup.com

STATE OF MICHIGAN
LYNN A. WHIPPLE
 LANDSCAPE ARCHITECT
 LICENSED PROFESSIONAL LANDSCAPE ARCHITECT

811

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LOCATION MAP
 12 MILE RD
 11 MILE RD
 GRAND RIVER AVE
 811 SITE

WETLAND BUFFER AND WOODLAND REPLACEMENT TREE PLANTING NOTES
 SEE CITY OF NOVI

1. ECT RECOMMENDS THAT ALL WORK BE DONE WITH HAND-HELD EQUIPMENT WHERE POSSIBLE AND THAT ALL WHEELS BE KEPT OUT OF THE 12-24' WETLAND BUFFER THEREBY AVOIDING UNAUTHORIZED SOIL DISTURBANCE. DISTURBANCE OF THE GROUND SURFACE NEAR THIS SETBACK SHALL BE MINIMIZED AND AVOIDED THROUGH THE USE OF SMALL RUBBER TREADED EQUIPMENT. DEVIATION FROM SECTION 3.6.2.M TO ELIMINATE WETLAND SETBACK (25 FEET REQUIRED) AROUND THE POND FEATURE. THIS DEVIATION ALSO PERTAINS TO THE FAR EASTERN PORTION OF SITE, ABUTTING THE CITY-OWNED RETENTION/WETLAND BASIN.
2. THE PROPOSED PLANTING LOCATIONS WITHIN THE 25-FOOT SETBACK SHALL BE STAKED ON-SITE. PLEASE INDICATE THE TYPE OF TREE PROPOSED TO BE PLANTED BY WRITING IT ON EACH STAKE.
3. THE PROPOSED PLANTING LOCATIONS FOR ALL WOODLAND REPLACEMENT TREES SHOWN AS BEING PLANTED WITHIN THE WETLAND OR EXISTING WOODLAND SHALL BE APPROVED BY THE CITY OF NOVI LANDSCAPE ARCHITECT OR CITY ENVIRONMENTAL CONSULTANT PRIOR TO PLANTING. APPLICANT SHALL CALL FOR AN INSPECTION OF THE STAKED LOCATIONS AT LEAST 48-HOURS PRIOR TO THE PROPOSED PLANTING.

NOTES PER CITY OF NOVI:
 PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 4' OF PROPERTY LINE.
 NO TREES SHALL BE PLANTED CLOSER THAN 15' FROM OVERHEAD UTILITY, 10' FROM FIRE HYDRANT, CATCH BASIN OR MANHOLE, 5' FROM UNDERGROUND UTILITIES AND 3' FROM BACK OF CURB.
 NO TREE TO BE LOCATED IN FRONT OF ANY SIGN OR BLOCK BUILDING ADDRESS. FIELD ADJUST TREES AS NECESSARY.
 ALL TRANSFORMER AND UTILITY BOXES TO BE SCREENED FOR NOVI CITY DATA. AND IN THIS CASE, ADDITIONAL BOXES ARE ADDED TO THE SITE AFTER PLAN APPROVAL.
 SEE LANDSCAPE DETAIL SHT. L-1.10.
 REPLACEMENT TREES SHALL BE FROM CITY OF NOVI'S WETLAND REPLACEMENT CHART FOR ACCEPTABLE NATIVE REPLACEMENT SPECIES.

APPROVED LANDSCAPE ORDINANCE DEVIATIONS

1. DEVIATION FROM SECTION 3.6.2.M TO ELIMINATE WETLAND SETBACK (25 FEET REQUIRED) AROUND THE POND FEATURE. THIS DEVIATION ALSO PERTAINS TO THE FAR EASTERN PORTION OF SITE, ABUTTING THE CITY-OWNED RETENTION/WETLAND BASIN.
2. DEVIATION FROM SECTION 3.5.3.A TO ALLOW A CONTIGUOUS 6-FOOT EMERGENCY HEDGE WITH DENSELY PLANTED DECIDUOUS CANOPY TREES IN LACK OF THE 6-8 FOOT BERM REQUIRED WHEN TC-1 DISTRICT ABUTS A B-3 DISTRICT.
3. DEVIATION FROM SECTION 3.5.3.B.II FOR A DEFICIENCY IN FOUNDATION PLANTINGS ALONG THE BUILDING PERIMETER FACING THE INTERIOR DRIVES OF MULTI-FAMILY RESIDENTIAL BUILDINGS.
4. DEVIATION FROM SECTION 3.5.3.A.II FOOTNOTE 1 FOR NOT PROVIDING A 6-FOOT WALL WHEN NON-RESIDENTIAL USES IN THE TC-1 DISTRICT ADJUT A RESIDENTIAL USE. ALTERNATIVE SCREENING SHALL BE PROVIDED BETWEEN RESIDENTIAL AND NON-RESIDENTIAL USES ON THE SITE.
5. DEVIATION FROM SECTION 3.5.3.C FOR DEFICIENCY OF 3 PARKING LOT PERIMETER TREES PROVIDED IN PHASE 1.

USDA SOILS LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME	ACRES IN AOI	PERCENT OF AOI
10B	MARLETTE SANDY LOAM, 1 TO 6 PERCENT SLOPES	25.9	80.60%
10C	MARLETTE SANDY LOAM, 6 TO 12 PERCENT SLOPES	0.1	0.40%
11B	CAFAC SANDY LOAM, 0 TO 4 PERCENT SLOPES	3.0	9.50%
27	HOUGHTON AND ADRIAN MUCKS	0.5	1.40%
59	USUAL LAND	0.3	1.00%
Bt1uB	BLOUNT LOAM, 0 TO 4 PERCENT SLOPES	0.2	0.60%
W	WATER	2.1	6.40%
TOTALS FOR AREA OF INTEREST		32.1	100.00%



CLIENT
SAKURA NOVI, LLC
 380 OLD WOODWARD AVE. SUITE 300
 BIRMINGHAM, AL 35202

PROJECT TITLE
SAKURA NOVI
 PART OF THE S.W. 1/4 OF SECTION 23, T.1N, R.8E, NOVI, MI 48301

REVISIONS

NO.	DATE	DESCRIPTION
1	02/28/22	ISSUED FOR PERMITS

ORIGINAL ISSUE DATE:
 FEBRUARY 28, 2022

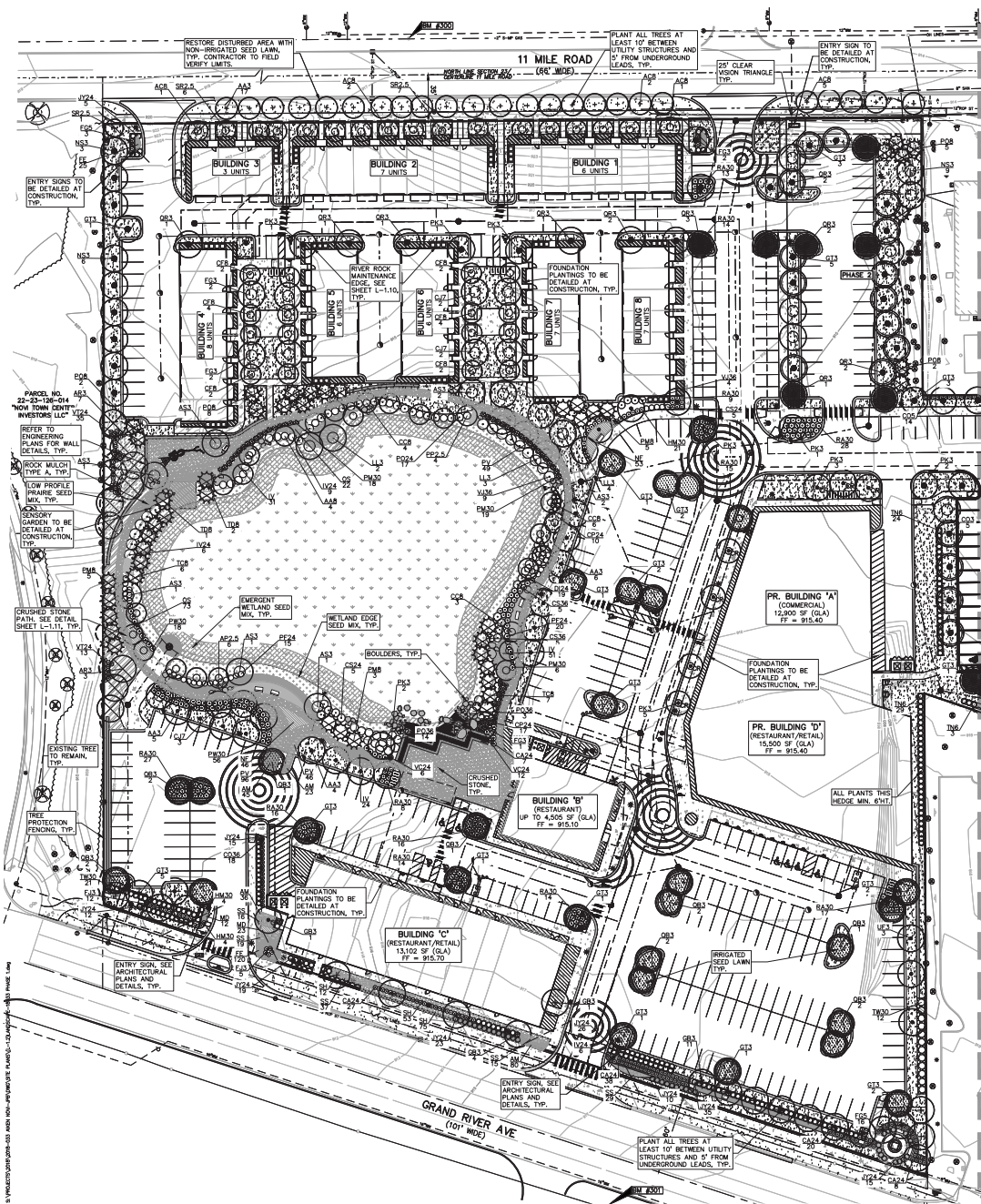
DRAWING TITLE
OVERALL LANDSCAPE PLAN

PEA JOB NO. 2018-033

P.M.	J.P.B.
DN.	LAW
DES.	G.M.C.

DRAWING NUMBER:

NOT FOR CONSTRUCTION **L-1.0**



TREE PLANT LIST: L-1.2

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
32	A43	Autumn Blaze Maple	<i>Acer x freenallii 'Autumn Blaze'</i>	3" Cal.	B&B	Native
9	A83	Sugar Maple	<i>Acer saccharum</i>	3" Cal.	B&B	Native
7	CJ7	Red Fox Kataura Tree	<i>Coreodiphyllum japonicum 'Red Fox'</i>	7" Ht.	B&B	Non-native
5	C03	Hackberry	<i>Celtis occidentalis</i>	3" Cal.	B&B	Native
4	F03	Aspen Birch	<i>Betula glandulosa</i>	3" Cal.	B&B	Native
7	G83	Maidenhair Tree	<i>Gleditsia triacanthos</i>	3" Cal.	B&B	Non-native
34	G73	Skyline Honeylocust	<i>Gleditsia triacanthos f. inermis 'Skyline'</i>	3" Cal.	B&B	Native
9	L13	Tamarack	<i>Larix laricina</i>	3" Cal.	B&B	Native
18	N83	Black Gum	<i>Nyssa sylvatica</i>	3" Cal.	B&B	Native
13	G83	Swamp White Oak	<i>Quercus bicolor</i>	3" Cal.	B&B	Native
5	Q83	Red Oak	<i>Quercus rubra</i>	3" Cal.	B&B	Native
3	U83	Fraxinus Elm	<i>Ulmus fraxinifolius</i>	3" Cal.	B&B	Native
171		TOTAL DECIDUOUS				

SUBCANOPY TREE PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
4	A48	Dwarf Serviceberry	<i>Amelanchier arborea</i>	8-10" Ht.	B&B	Native
11	AC8	Shadbowl Serviceberry	<i>Amelanchier canadensis</i>	8-10" Ht.	B&B	Native
6	AP2.5	Japanese Maple	<i>Acer palmatum 'Bloodgood'</i>	2.5" Cal.	B&B	Non-native
13	CC8	Eastern Redbud	<i>Cercis canadensis</i>	8-10" Ht.	B&B	Native
16	C78	Flowering Dogwood	<i>Cornus florida</i>	8" Ht.	B&B, multi-trunk	Native
16	PK3	Japanese Flowering Cherry Tree	<i>Prunus serrulata 'Kawazans'</i>	3" Cal.	B&B	Non-native
4	PP2.5	Higan Cherry	<i>Prunus subhirtella 'Pendula'</i>	2.5" Cal.	B&B	Non-native
14	SR2.5	Japanese Tree Lilac	<i>Syringa reticulata 'Inuyuki SIB'</i>	2.5" Cal.	B&B	Non-native
84		TOTAL SUBCANOPY				

EVERGREEN PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
13	PM8	Black Hills Spruce	<i>Picea glauca 'Densata'</i>	8" Ht.	B&B	Native
21	PO8	Serbian Spruce	<i>Picea omorika</i>	8" Ht.	B&B	Non-Native
13	TC8	Canada Hemlock	<i>Tsuga canadensis</i>	8" Ht.	B&B	Native
3	TD8	Baldcypress	<i>Taxodium distichum</i>	8" Ht.	B&B	Non-Native
50		TOTAL EVERGREEN				

REPLACEMENT SHRUB PLANT LIST:

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
10	AR3	Red Sunset Maple	<i>Acer rubrum 'Red Sunset'</i>	3" Cal.	B&B	Native
48	VT24	Compact American Cranberry	<i>Viburnum f. 'Compactum'</i>	24-30" spread	B&B	Native
48		TOTAL SHRUBS				

SHRUB PLANT LIST:

QUANTITY	SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
100	CA24	New Jersey Tea	<i>Coccoloba americana</i>	24" Ht.	Cont.	Native
14	CO5	Compact Hinoki Cypress	<i>Chamaecyparis obtusa 'compacta'</i>	5" Ht.	Cont.	Non-Native
18	CO36	Hinoki Cypress	<i>Chamaecyparis obtusa 'Ino Gracilis'</i>	36" Ht.	Cont.	Non-Native
27	CP24	Sungold False Cypress	<i>Chamaecyparis plicata 'Sungold'</i>	24" Ht.	Cont.	Non-Native
10	CS24	Acidic Fire Red Twig Dogwood	<i>Cornus alternifolia 'Parson'</i>	24" Ht.	Cont.	Native
10	CS36	Balding Dogwood	<i>Cornus sericea</i>	36" Ht.	Cont.	Native
18	DD24	Bash Honeylocust	<i>Gleditsia triacanthos</i>	24" Ht.	Cont.	Non-Native
22	F05	Bamboo	<i>Fargesia nitida 'Green Wall'</i>	5" Ht.	Cont.	Non-Native
17	F33	Red Clumping Bamboo	<i>Fargesia nitida 'Jade Dragon'</i>	3" Ht.	Cont.	Non-Native
29	HM30	Hydrangea	<i>Hydrangea macrophylla 'Ritzy Pink Blue'</i>	30" Ht.	Cont.	Non-Native
21	W24	Winter Red Winterberry	<i>Ilex verticillata 'Winter Red'</i>	24" Ht.	Cont.	Native
164	YJ24	Youngstown Astoria Juniper	<i>Juniperus horizontalis 'Youngstown'</i>	24-30" spread	Cont.	Native
35	PF24	Abbotswood Potentilla	<i>Potentilla fruticosa 'Abbotswood'</i>	24" Ht.	Cont.	Native
43	PM30	Mugo Pine	<i>Pinus mugo</i>	30" Ht.	B&B	Native
17	PO36	Common Ninebark	<i>Physocarpus opulifolius</i>	36" Ht.	Cont.	Native
17	PO24	Potentilla	<i>Potentilla fruticosa</i>	24" Ht.	Cont.	Native
74	PW30	Summer Wine Ninebark	<i>Physocarpus opulifolius 'Summer Wine'</i>	30" Ht.	B&B	Native
176	RA30	Go-Low Fragrant Sunac	<i>Rhus aromatica 'Go-Low'</i>	30" spread	Cont.	Native
56	TK6	Dark Green Arborvitae	<i>Thuja occidentalis 'Tiger'</i>	6" Ht.	B&B	Native
33	TW30	Woodland Arborvitae	<i>Thuja occidentalis 'Woodland'</i>	30" spread	Cont.	Native
18	VC24	Korean Spice Viburnum	<i>Viburnum carlesii 'Compact'</i>	24" Ht.	Cont.	Non-Native
13	VJ36	Fragrant Viburnum	<i>Viburnum jeddfii</i>	36" Ht.	B&B	Native
933		TOTAL SHRUBS				

PERENNIAL PLANT LIST:

QUANTITY	SYM	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC	COMMENT
164	AM	Onionweed Onion	<i>Allium triquetrum</i>	1 gpl.	Cont.	Native
143	FE	Elsh Blue Fescue	<i>Festuca glauca 'Elsh Blue'</i>	1 gpl.	Cont.	Non-Native
106	IV	Southern Flag Iris	<i>Iris virginica</i>	1 gpl.	Cont.	Native
35	MD	Beebalm	<i>Monarda didyma</i>	1 gpl.	Cont.	Native
99	NF	Walkers Low Catmint	<i>Nepeta 'Walkers Low'</i>	1 gpl.	Cont.	Non-Native
95	OS	Sensible Fern	<i>Osmunda cinnamomea</i>	1 gpl.	Cont.	Native
191	PV	Shenandoah Switch Grass	<i>Panicum virgatum 'Shenandoah'</i>	1 gpl.	Cont.	Native
149	SH	Parrot Dropseed	<i>Sporobolus airoides</i>	1 gpl.	Cont.	Native
114	SS	Little Bluestem	<i>Schizolium scoparium 'The Blues'</i>	1 gpl.	Cont.	Native
1111		TOTAL PERENNIALS				

KEY

- PARKING PERIMETER TREES COUNTING AS MULTI-FAMILY TREES
- INTERIOR ROADWAY TREES
- INTERIOR PARKING TREES COUNTING AS MULTI-FAMILY TREES
- BASIN SHRUBS SEE SHEETS L-1.4 THRU L-1.7 FOR QUANTITY AND TYPE
- GREENBELT TREES
- BUFFER PLANTINGS
- REPLACEMENT TREES & SHRUBS
- SHRUBS SEE SHEETS L-1.4 THRU L-1.7 FOR QUANTITY AND TYPE
- EMERGENT WETLAND SEED MIX & STACKED EROSION MAT BY CARONO NATIVE PLANT NURSERY PHONE: 574. 586. 2412 SEE SHEET L-1.8 FOR SEED MIX LIST
- WETLAND EDGE SEED MIX & STACKED EROSION MAT BY CARONO NATIVE PLANT NURSERY PHONE: 574. 586. 2412 SEE SHEET L-1.8 FOR SEED MIX LIST
- LOW PROFILE FRAMING SEED MIX & STACKED EROSION MAT BY CARONO NATIVE PLANT NURSERY PHONE: 574. 586. 2412 SEE SHEET L-1.8 FOR SEED MIX LIST
- NO NOW EDGE MEADOW SEED MIX BY CARONO NATIVE PLANT NURSERY PHONE: 574. 586. 2412 SEE SHEET L-1.8 FOR SEED MIX LIST
- IRRIGATED SEED LAWN
- NON-IRRIGATED SEED LAWN
- PERSONALS SEE SHEETS L-1.4 THRU L-1.7 FOR QUANTITY AND TYPE
- 4" DEPTH DECORATIVE STONE MULCH TYPE 'A' OVER NON-WOVEN FILTER FABRIC
- 4" DEPTH DECORATIVE STONE MULCH TYPE 'B' OVER NON-WOVEN FILTER FABRIC
- 4" GREY DECOMPOSED GRANITE OVER NON-WOVEN FILTER FABRIC
- TREE PROTECTION FENCING
- EXISTING TREES TO REMAIN

NOTE: SEE SHEET L-1.13 FOR NATIVE PLANT CALCULATIONS

PEA GROUP
t. 848.813.2949
www.peagroup.com

STATE OF MICHIGAN
LYNN A. WHIPPLE
LANDSCAPE ARCHITECT
REGISTERED

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LOCATION MAP

SAKURA NOVI, LLC
380 OLD WOODWARD AVE., SUITE 300
ANN ARBOR, MI 48106

PROJECT TITLE
SAKURA NOVI
PART OF THE S.W. 1/4 OF SECTION 23, T.14N, R.10E, N. 4th

REVISIONS

NO.	DESCRIPTION	DATE
1	ISSUED FOR PERMITS	5/24/22

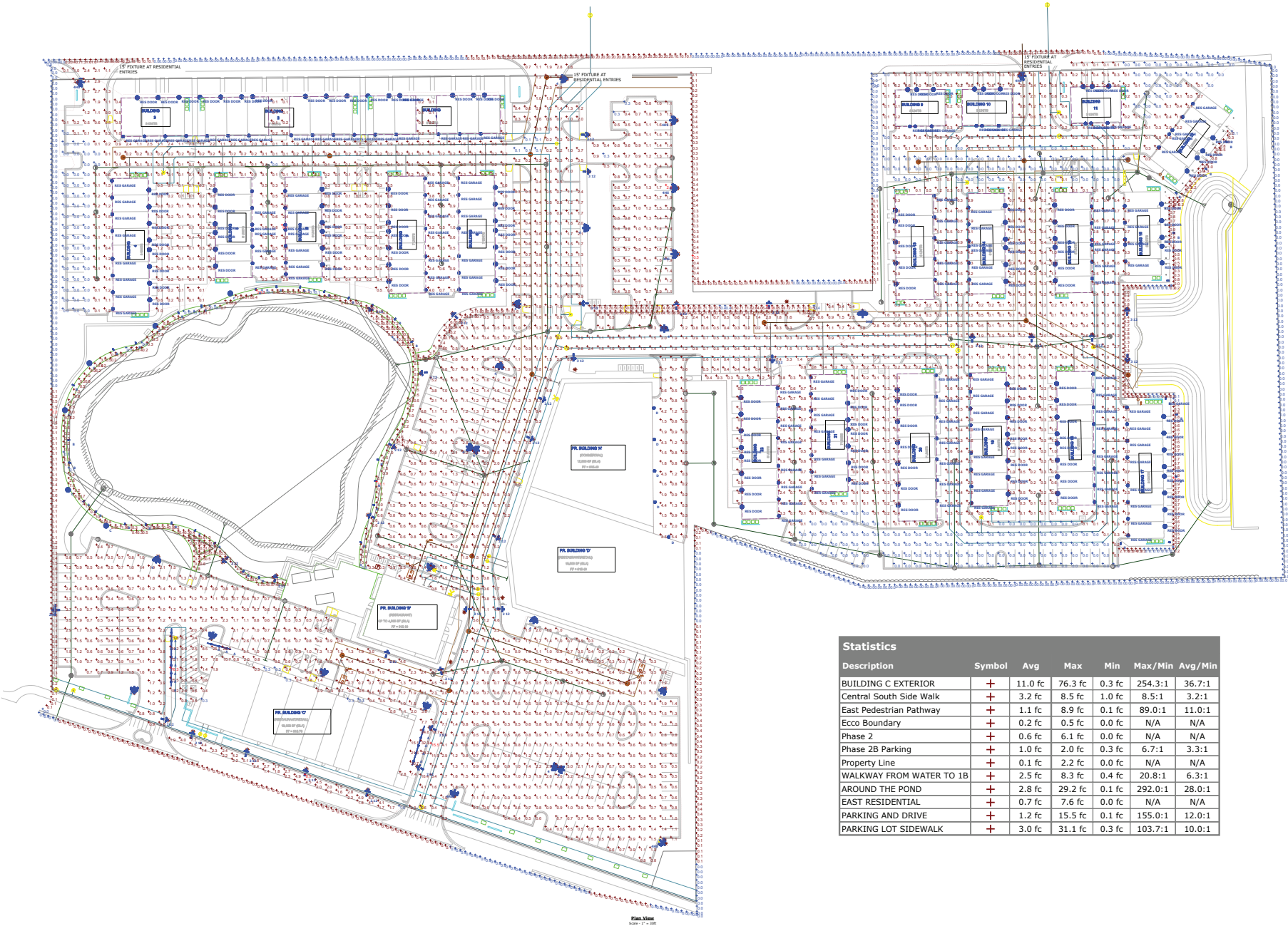
CITY COMMENTS

ORIGINAL ISSUE DATE: FEBRUARY 28, 2022

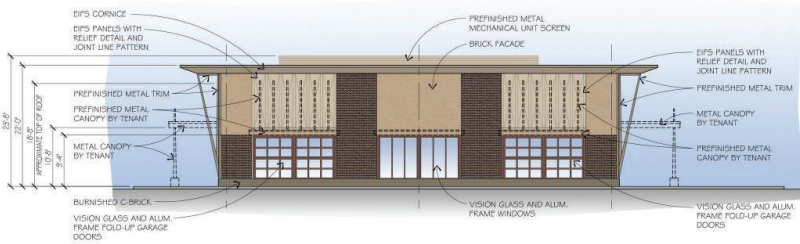
DRAWING TITLE
LANDSCAPE PLAN WEST PHASE 1

PEA JOB NO. 2018-033
P.M. JPB
D.N. LAW
DES. GMB
DRAWING NUMBER:

NOT FOR CONSTRUCTION L-1.2



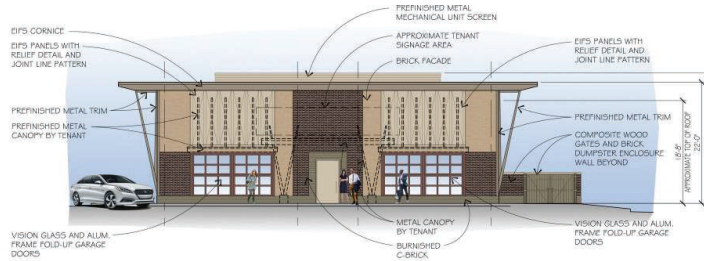
Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
BUILDING C EXTERIOR	+	11.0 fc	76.3 fc	0.3 fc	254.3:1	36.7:1
Central South Side Walk	+	3.2 fc	8.5 fc	1.0 fc	8.5:1	3.2:1
East Pedestrian Pathway	+	1.1 fc	8.9 fc	0.1 fc	89.0:1	11.0:1
Ecco Boundary	+	0.2 fc	0.5 fc	0.0 fc	N/A	N/A
Phase 2	+	0.6 fc	6.1 fc	0.0 fc	N/A	N/A
Phase 2B Parking	+	1.0 fc	2.0 fc	0.3 fc	6.7:1	3.3:1
Property Line	+	0.1 fc	2.2 fc	0.0 fc	N/A	N/A
WALKWAY FROM WATER TO 1B	+	2.5 fc	8.3 fc	0.4 fc	20.8:1	6.3:1
AROUND THE POND	+	2.8 fc	29.2 fc	0.1 fc	292.0:1	28.0:1
EAST RESIDENTIAL	+	0.7 fc	7.6 fc	0.0 fc	N/A	N/A
PARKING AND DRIVE	+	1.2 fc	15.5 fc	0.1 fc	155.0:1	12.0:1
PARKING LOT SIDEWALK	+	3.0 fc	31.1 fc	0.3 fc	103.7:1	10.0:1



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"
P4.3

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	745 S.F.	53.6%
BURNISHED C-BRICK	25%	100 S.F.	7.2%
EIFS	25%	390 S.F.	28.0%
PREFINISHED METAL TRIM	15%	75 S.F.	5.4%
PREFINISHED METAL UNIT SCREEN	25%	80 S.F.	5.8%
TOTAL		1,390 S.F.	100.0%

NOTE: 1. TOTAL FAÇADE = 1,710 S.F. - VISION GLASS AND DOOR AREA OF 330 S.F. = 1,380 S.F.
2. A SECTION 9 FAÇADE WAIVER WILL BE REQUESTED AS REQUIRED.

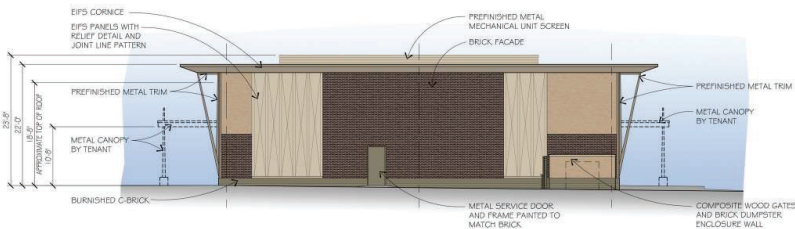


EAST ELEVATION
SCALE: 3/32" = 1'-0"
P4.3

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	620 S.F.	48.8%
BURNISHED C-BRICK	25%	112 S.F.	8.8%
EIFS	25%	364 S.F.	28.6%
PREFINISHED TRIM	15%	110 S.F.	8.6%
PREFINISHED METAL UNIT SCREEN	25%	64 S.F.	5.0%
TOTAL		1,270 S.F.	100.0%

NOTE: 1. TOTAL FAÇADE = 1,560 S.F. - VISION GLASS AND DOOR AREA OF 290 S.F. = 1,270 S.F.
2. A SECTION 9 FAÇADE WAIVER WILL BE REQUESTED AS REQUIRED.

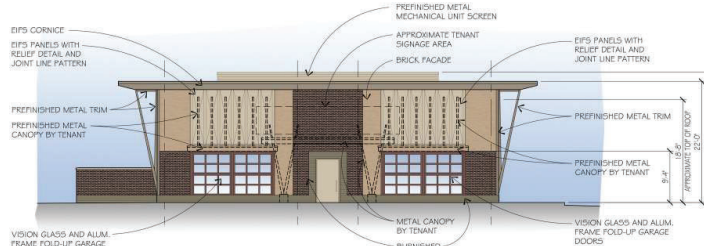
- GENERAL NOTES:
1. CANOPIES AND AWNINGS TO BE BY TENANTS SUBJECT TO CHANGE PER INDIVIDUAL TENANT REQUIREMENTS.
 2. DOOR LOCATIONS SHOWN FOR CONCEPT ONLY, SUBJECT TO CHANGE PER INDIVIDUAL TENANT REQUIREMENTS.
 3. ROOF TOP MECHANICAL EQUIPMENT TO BE SCREENED BY BUILDING PARAPETS OR SCREEN ENCLOSURES OF SIMILAR MATERIAL AND CHARACTER AS THE BUILDING.
 4. SIGNAGE AREAS SHOWN FOR CONCEPT ONLY. ACTUAL SIGNAGE TO BE SUBMITTED ON A TENANT BY TENANT BASIS, IN CONFORMANCE WITH THE APPROVED PRO AGREEMENT.



NORTH ELEVATION
SCALE: 3/32" = 1'-0"
P4.3

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	1,006 S.F.	58.9%
BURNISHED C-BRICK	25%	124 S.F.	7.3%
EIFS	25%	466 S.F.	27.3%
PREFINISHED METAL TRIM	15%	30 S.F.	1.8%
PREFINISHED METAL UNIT SCREEN	25%	80 S.F.	4.7%
TOTAL		1,706 S.F.	100.0%

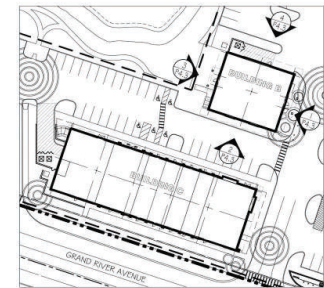
NOTE: 1. TOTAL FAÇADE = 1,730 S.F. - VISION GLASS AND DOOR AREA OF 24 S.F. = 1,706 S.F.
2. A SECTION 9 FAÇADE WAIVER WILL BE REQUESTED AS REQUIRED.



WEST ELEVATION
SCALE: 3/32" = 1'-0"
P4.3

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	620 S.F.	48.8%
BURNISHED C-BRICK	25%	112 S.F.	8.8%
EIFS	25%	364 S.F.	28.6%
PREFINISHED TRIM	15%	110 S.F.	8.6%
PREFINISHED METAL UNIT SCREEN	25%	64 S.F.	5.0%
TOTAL		1,270 S.F.	100.0%

NOTE: 1. TOTAL FAÇADE = 1,560 S.F. - VISION GLASS AND DOOR AREA OF 290 S.F. = 1,270 S.F.
2. A SECTION 9 FAÇADE WAIVER WILL BE REQUESTED AS REQUIRED.



KEY PLAN
SCALE: N.T.S.

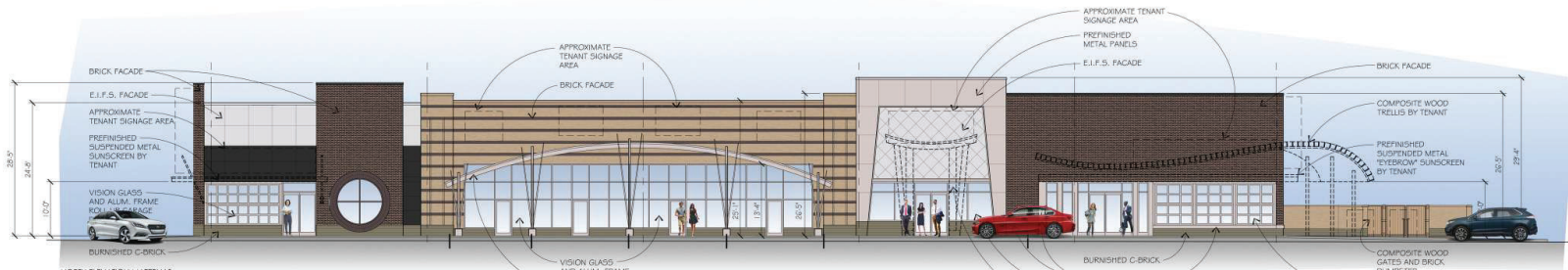
REVISED:
BUILDING B ELEVATIONS
SAKURA • NOVI
NOVI, MICHIGAN

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350 N. Old Woodward Avenue, Suite 300
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WAH YEE ASSOCIATES ARCHITECTS & PLANNERS
4240 GRAND RIVER AVENUE, SUITE 200
NOVI, MICHIGAN 48075
PHONE 248.489.9160
PROJECT NO. 5035

PRELIMINARY
NOT FOR CONSTRUCTION
P4.3

ISSUED FOR:
CONCEPT MEETING
FEB. 27, 2019
PRE-APP. MEETING
MAY 8, 2019
PRO ZONING
JUNE 28, 2019
PRO ZONING
REVISED SUBMITTAL
OCTOBER 2, 2019
PRO ZONING
REVISED SUBMITTAL
DECEMBER 20, 2019
REVISED PRO SUB.
MAY 18, 2021
REVISED SUBMITTAL
FEBRUARY 15, 2022
REVISED SUBMITTAL
MAY 24, 2022

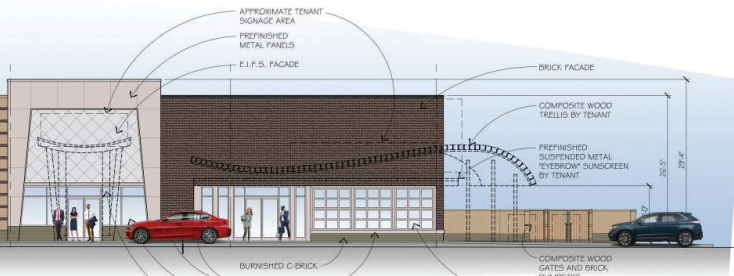


NORTH ELEVATION MATERIALS

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	2,334 S.F.	63.7%
BURNISHED C-BRICK	25%	256 S.F.	6.9%
EIFS	25%	472 S.F.	12.5%
PREFINISHED METAL TRIM	15%	163 S.F.	4.4%
PREFINISHED FLAT METAL PANELS	25%	471 S.F.	12.5%
TOTAL		3,762 S.F.	100.0%

NOTE 1: TOTAL FACADE = 5,320 S.F. - GLASS STOREFRONT AND DOOR AREA OF 1,560 S.F. = 3,760 S.F.
 2. NO SECTION 9 FACADE WAIVERS ARE REQUIRED.

NORTH ELEVATION
 SCALE: 3/32" = 1'-0"
 P4.4

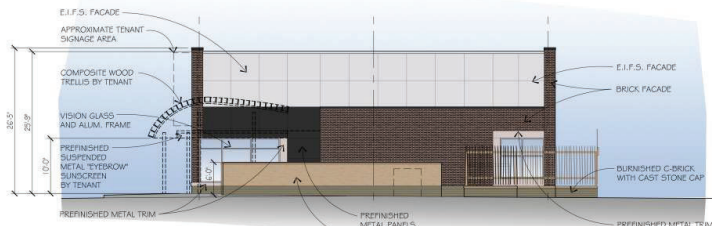


EAST ELEVATION MATERIALS

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	468 S.F.	34.3%
BURNISHED C-BRICK	25%	112 S.F.	8.2%
EIFS	25%	352 S.F.	26.7%
PREFINISHED METAL TRIM	15%	10 S.F.	0.8%
PREFINISHED FLAT METAL PANELS	25%	363 S.F.	28.0%
TOTAL		1,365 S.F.	100.0%

NOTE 1: TOTAL FACADE = 1,755 S.F. - GLASS STOREFRONT AND DOOR AREA OF 380 S.F. = 1,365 S.F.
 2. A SECTION 9 FACADE WAIVER WILL BE REQUESTED AS REQUIRED FOR E.I.F.S. OVERAGE OF 3.7%.

EAST ELEVATION
 SCALE: 3/32" = 1'-0"
 P4.4

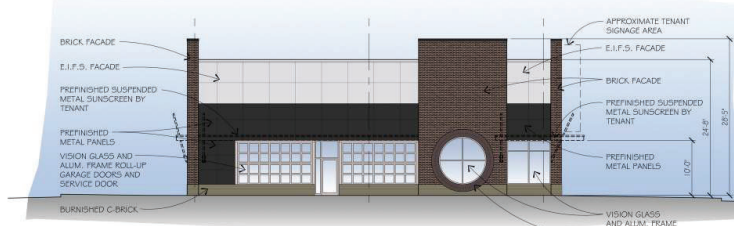


WEST ELEVATION MATERIALS

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	608 S.F.	36.9%
BURNISHED C-BRICK	25%	110 S.F.	7.0%
EIFS	25%	610 S.F.	39.0%
PREFINISHED METAL TRIM	15%	78 S.F.	3.0%
PREFINISHED FLAT METAL PANELS	25%	158 S.F.	10.1%
TOTAL		1,564 S.F.	100.0%

NOTE 1: TOTAL FACADE = 1,748 S.F. - GLASS STOREFRONT AND DOOR AREA OF 164 S.F. = 1,564 S.F.
 2. A SECTION 9 FACADE WAIVER WILL BE REQUESTED AS REQUIRED FOR E.I.F.S. OVERAGE OF 14.0%.

WEST ELEVATION
 SCALE: 3/32" = 1'-0"
 P4.4



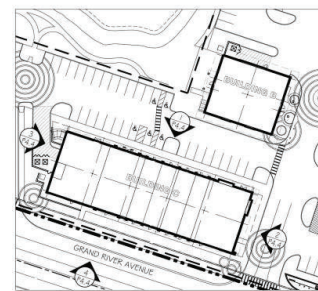
SOUTH ELEVATION MATERIALS

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
BRICK	30% MIN.	2,200 S.F.	53.6%
BURNISHED C-BRICK	25%	274 S.F.	6.7%
EIFS	25%	478 S.F.	11.7%
PREFINISHED METAL TRIM	15%	125 S.F.	3.0%
PREFINISHED FLAT METAL PANELS	25%	756 S.F.	18.4%
SPANDREL GLASS - ART MURAL PANEL	25%	269 S.F.	6.6%
TOTAL		4,102 S.F.	100.0%

NOTE 1: TOTAL FACADE = 5,456 S.F. - GLASS STOREFRONT AND DOOR AREA OF 1,354 S.F. = 4,102 S.F.
 2. NO SECTION 9 FACADE WAIVERS ARE REQUIRED.

SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"
 P4.4

- GENERAL NOTES:**
- CANOPIES AND AWNINGS TO BE BY TENANTS. SUBJECT TO CHANGE PER INDIVIDUAL TENANT REQUIREMENTS.
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 - ROOF TOP MECHANICAL EQUIPMENT TO BE SCREENED BY BUILDING PARAPETS OR SCREEN ENCLOSURES OF SIMILAR MATERIAL AND CHARACTER AS THE BUILDING.
 - SIGNAGE AREAS SHOWN FOR CONCEPT ONLY. ACTUAL SIGNAGE TO BE SUBMITTED ON A TENANT BY TENANT BASIS, IN CONFORMANCE WITH THE APPROVED PRO AGREEMENT.



KEY PLAN
 SCALE: N.T.S.

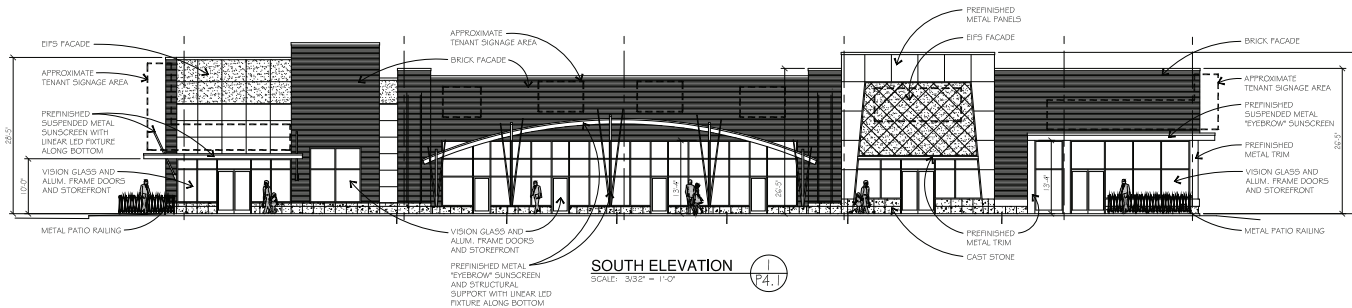
REVISED :
BUILDING E ELEVATIONS
SAKURA • NOVI
 NOVI, MICHIGAN

Robert B. Aikens & ASSOCIATES, L.L.C.
 350 N. Old Woodward Avenue, Suite 300
 Birmingham, MI 48009 ph: 248-283-1071

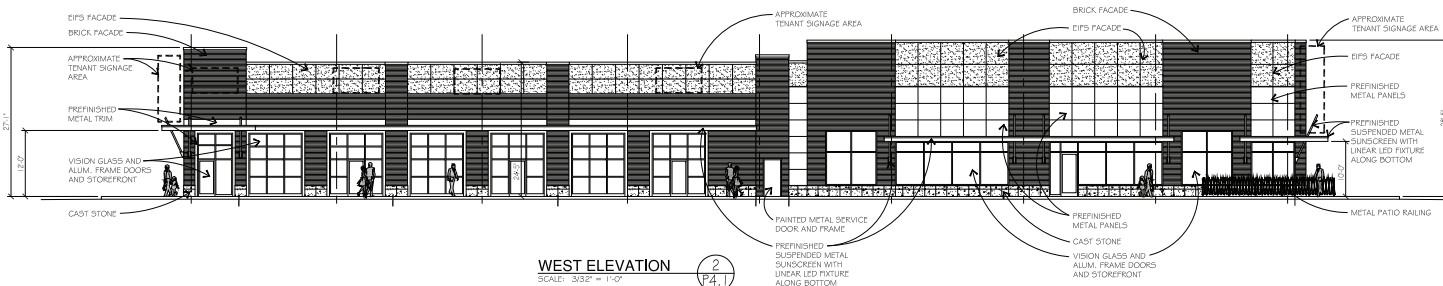
Wah Yee Associates Architects & Planners
 4240 GRAND RIVER AVENUE, SUITE 200
 NOVI, MICHIGAN 48075
 PHONE 248.489.9160
 PROJECT NO. 5035

PRELIMINARY
 NOT FOR CONSTRUCTION
 P4.4

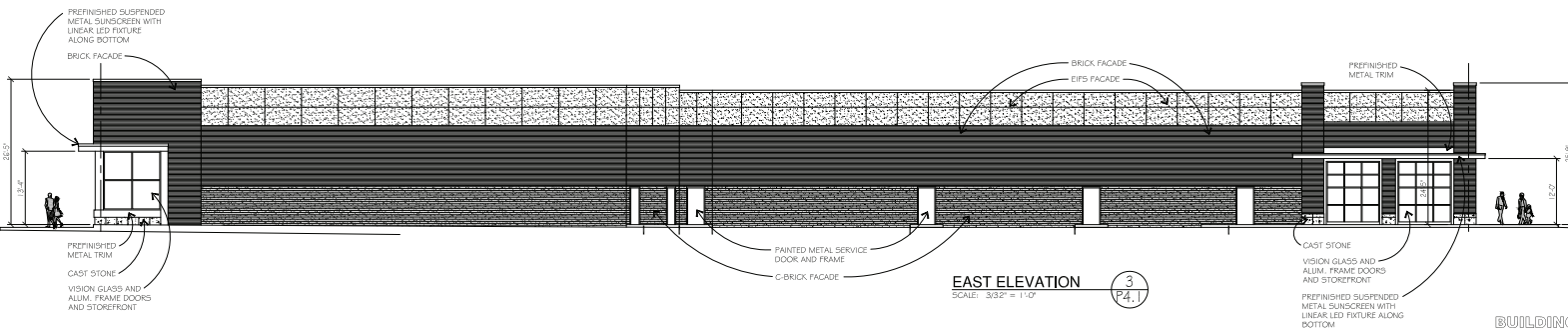
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 PRE-APP. MEETING MAY 8, 2019
 PRO RECORDING JUNE 28, 2019
 PRO RECORDING REVISED SUBMITAL OCTOBER 2, 2019
 PRO RECORDING REVISED SUBMITAL DECEMBER 20, 2019
 REVISED PRO SUB. MAY 18, 2021
 REVISED SUBMITAL FEBRUARY 15, 2022
 REVISED SUBMITAL MAY 24, 2022



SOUTH ELEVATION
SCALE: 3/32" = 1'-0"
P4.1



WEST ELEVATION
SCALE: 3/32" = 1'-0"
P4.1



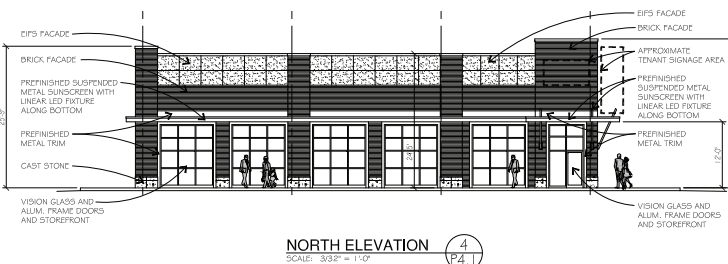
EAST ELEVATION
SCALE: 3/32" = 1'-0"
P4.1

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
CAST STONE	25 %	40 S.F.	0.7 %
BRICK	30 % MIN.	2,746 S.F.	46.7 %
C-BRICK	25 %	1,323 S.F.	22.5 %
EIFS FACADE	25 %	1,396 S.F.	23.7 %
METAL CANOPIES, SUNSCREENS & TRIM	15 %	378 S.F.	6.4 %
PREFINISHED METAL PANELS (PLAT)	25 %	0 S.F.	0.0 %
TOTAL		5,883 S.F.	100.0 %

NOTE 1. TOTAL FACADE = 6,333 S.F. - GLASS STOREFRONT AND DOOR AREA OF 450 S.F. = 5,883 S.F.
2. NO SECTION 9 FACADE WAIVERS ARE REQUIRED.

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
CAST STONE	25 %	40 S.F.	2.7 %
BRICK	30 % MIN.	802 S.F.	55.0 %
EIFS FACADE	25 %	323 S.F.	22.2 %
METAL CANOPIES, SUNSCREENS & TRIM	15 %	293 S.F.	20.1 %
TOTAL		1,458 S.F.	100.0 %

NOTE 1. TOTAL FACADE = 2,092 S.F. - GLASS STOREFRONT AND DOOR AREA OF 634 S.F. = 1,458 S.F.
2. NO SECTION 9 FACADE WAIVERS ARE REQUIRED.



NORTH ELEVATION
SCALE: 3/32" = 1'-0"
P4.1

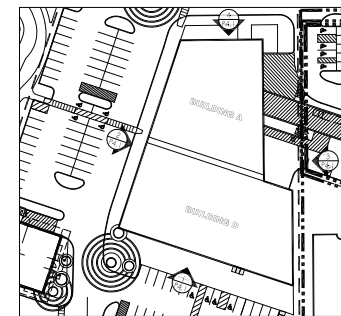
MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
CAST STONE	25 %	239 S.F.	7.4 %
BRICK	30 % MIN.	1,957 S.F.	55.8 %
EIFS FACADE	25 %	449 S.F.	12.8 %
METAL CANOPIES, SUNSCREENS & TRIM	15 %	316 S.F.	9.0 %
PREFINISHED METAL PANELS (PLAT)	25 %	525 S.F.	15.0 %
TOTAL		3,506 S.F.	100.0 %

NOTE 1. TOTAL FACADE = 5,074 S.F. - GLASS STOREFRONT AND DOOR AREA OF 1,564 S.F. = 3,506 S.F.
2. NO SECTION 9 FACADE WAIVERS ARE REQUIRED.

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
CAST STONE	25 %	244 S.F.	6.1 %
BRICK	30 % MIN.	1,941 S.F.	40.2 %
EIFS FACADE	25 %	859 S.F.	21.3 %
METAL CANOPIES, SUNSCREENS & TRIM	15 %	477 S.F.	11.8 %
PREFINISHED METAL PANELS (PLAT)	25 %	509 S.F.	12.6 %
TOTAL		4,030 S.F.	100.0 %

NOTE 1. TOTAL FACADE = 5,390 S.F. - GLASS STOREFRONT AND DOOR AREA OF 1,360 S.F. = 4,030 S.F.
2. NO SECTION 9 FACADE WAIVERS ARE REQUIRED.

- GENERAL NOTES**
- CANOPIES AND AWNINGS TO BE BY TENANTS SUBJECT TO CHANGE PER INDIVIDUAL TENANT REQUIREMENTS.
 - DOOR LOCATIONS SHOWN FOR CONCEPT ONLY SUBJECT TO CHANGE PER INDIVIDUAL TENANT REQUIREMENTS.
 - ROOF TOP MECHANICAL EQUIPMENT TO BE SCREENED BY BUILDING PARAPETS OR SCREEN ENCLOSURES OF SIMILAR MATERIAL AND CHARACTER AS THE BUILDING.
 - ALL OUTDOOR PATIO/DINING AREAS SERVING ALCOHOL WILL BE ENCLOSED WITH A METAL RAILING SYSTEM.
 - OUTDOOR SEATING SHALL BE PERMITTED BETWEEN MARCH 1ST AND NOVEMBER 30TH, WITH ALL FURNITURE AND FIXTURES INCLUDING, BUT NOT LIMITED TO, TABLES, CHAIRS AND WASTE RECEPTACLES REMOVED FROM THE EXTERIOR PREMISES BY NOVEMBER 30TH. OUTDOOR SEATING SHALL NOT BE THE PRIMARY SEATING OF THE RESTAURANT.
 - SIGNAGE AREAS SHOWN FOR CONCEPT ONLY. ACTUAL SIGNAGE TO BE SUBMITTED ON A TENANT BY TENANT BASIS, IN CONFORMANCE WITH THE APPROVED PRO AGREEMENT.



KEY PLAN
SCALE: 1/16"

BUILDING A & D ELEVATIONS
SAKURA • NOVI
NOVI, MICHIGAN

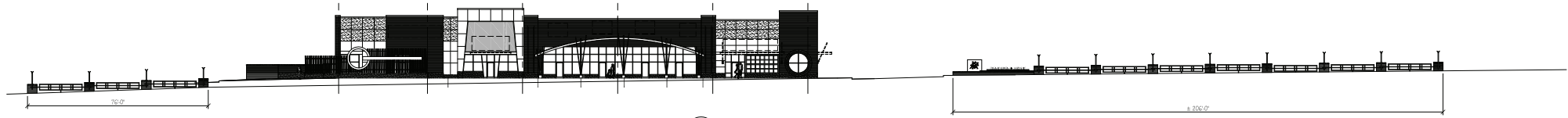


Robert B. Aikens & ASSOCIATES, L.L.C.
350 N. Old Woodward Avenue, Suite 300
Birmingham, MI 48009 ph: 248-265-1071

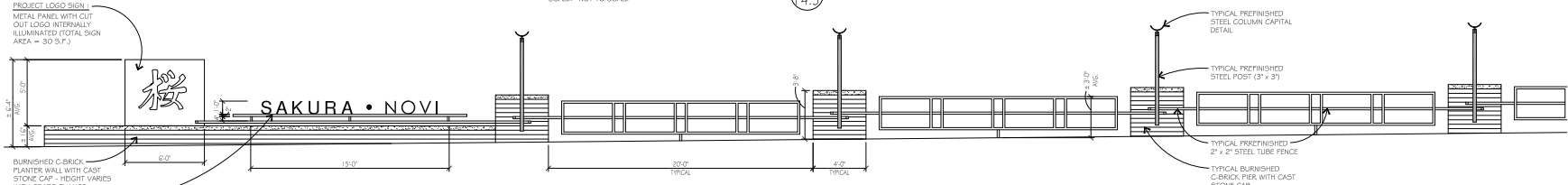
WAH YEE ASSOCIATES
ARCHITECTS & PLANNERS
14240 GRAND RIVER AVENUE, SUITE 200
NOVI, MICHIGAN 48275
PHONE 248-489-9160
PROJECT NO. 5035

PRELIMINARY
NOT FOR CONSTRUCTION
P4.1

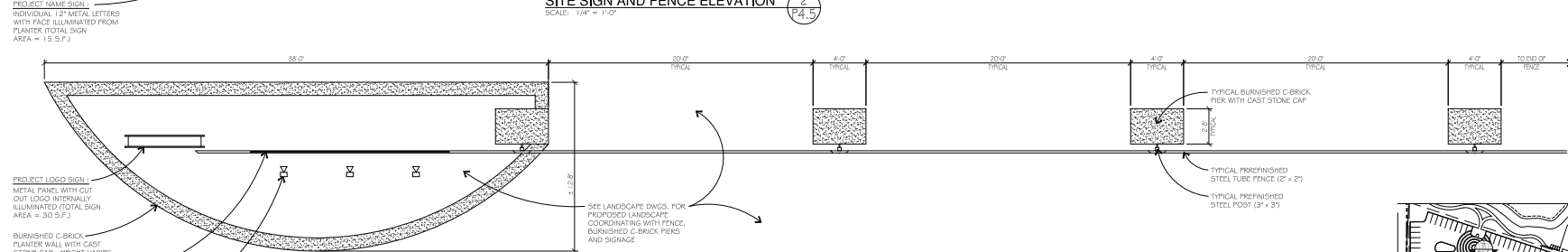
CAD DWG 5035 P4.1 2-15-22.DWG



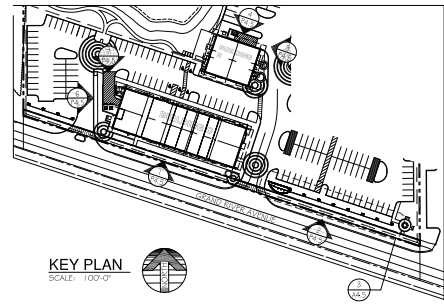
SITE SIGN AND FENCE ELEVATION
SCALE: NOT TO SCALE
P4.5



SITE SIGN AND FENCE ELEVATION
SCALE: 1/4" = 1'-0"
P4.5

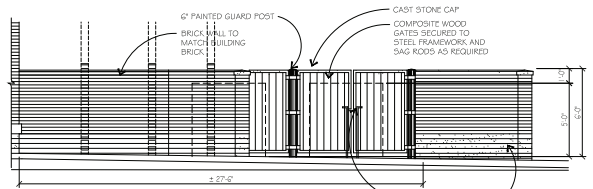


SITE SIGN AND FENCE PLAN
SCALE: 1/4" = 1'-0"
P4.5

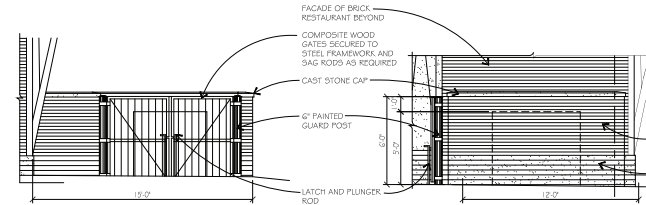


KEY PLAN
SCALE: 1/8" = 1'-0"

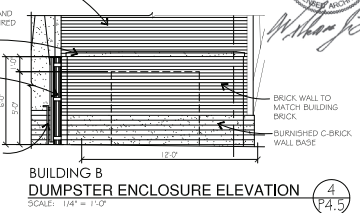
**GRAND RIVER AVENUE
SITE FENCE & SIGNAGE DETAILS
DUMPSTER ENCLOSURE DETAILS
SAKURA • NOVI**
NOVI, MICHIGAN



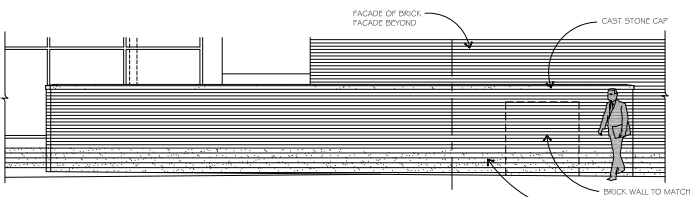
**BUILDING C
DUMPSTER ENCLOSURE ELEVATION**
SCALE: 1/4" = 1'-0"
P4.5



**BUILDING B
DUMPSTER ENCLOSURE ELEVATION**
SCALE: 1/4" = 1'-0"
P4.5



**BUILDING B
DUMPSTER ENCLOSURE ELEVATION**
SCALE: 1/4" = 1'-0"
P4.5



**BUILDING C
DUMPSTER ENCLOSURE ELEVATION**
SCALE: 1/4" = 1'-0"
P4.5



**Robert B. Aikens
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**Wah Yee Associates
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NOVI, MICHIGAN 48035
PHONE 248-489-9160
PROJECT NO. 9035

ISSUED FOR:
PRO REVISIONS
REVISED SUBMITTAL
OCTOBER 2, 2019
PRO REVISIONS
REVISED SUBMITTAL
DECEMBER 20, 2019
REVISED PRO SUB.
MAY 18, 2021
REVISED SUBMITTAL
FEBRUARY 15, 2022
REVISED SUBMITTAL
MAY 24, 2022

**PRELIMINARY
NOT FOR CONSTRUCTION**
P4.5

ELEVATION	TOTAL AREA	BRICK AREA	%BRICK
FRONT	1653 SQ. FT.	589 SQ. FT.	36%
REAR	1734 SQ. FT.	1190 SQ. FT.	69%
SIDE	1178 SQ. FT.	687 SQ. FT.	58%



5 FRONT VIEW - 3 UNIT
SCALE: 3/16" = 1'-0"



2 REAR ELEVATION - 3 UNIT
SCALE: 3/16" = 1'-0"



3 SIDE ELEVATION
SCALE: 3/16" = 1'-0"



1 FRONT ELEVATION - 3 UNIT
SCALE: 3/16" = 1'-0"

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NOVI, MI

Issued for:
SPR 05/24/2022



Drawn by:
JRM
Checked by:
JRM

Sheet Title:
3-UNIT BUILDING
ELEVATIONS

Project No.:
2021008

Sheet No.:
A3.1

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ELEVATION	TOTAL AREA	BRICK AREA	%BRICK
FRONT	2712 SQ. FT.	983 SQ. FT.	36%
REAR	2930 SQ. FT.	1957 SQ. FT.	67%
SIDE	1179 SQ. FT.	687 SQ. FT.	58%

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 Drawn by :
 JRM
 Checked by :
 JRM
 Sheet Title :
 5-UNIT BUILDING
 ELEVATIONS
 Project No. :
 2021008
 Sheet No. :
A3.2



2 FRONT VIEW - 5 UNIT
 SCALE:



1 FRONT ELEVATION - 5-UNIT
 SCALE: 3/16"=1'-0"

ELEVATION	TOTAL AREA	BRICK AREA	%BRICK
FRONT	2712 SQ. FT.	983 SQ. FT.	36%
REAR	2930 SQ. FT.	1957 SQ. FT.	67%
SIDE	1179 SQ. FT.	687 SQ. FT.	58%



2 FRONT ELEVATION
SCALE: 3/16" = 1'-0"



1 REAR ELEVATION - 5 UNIT
SCALE: 3/16" = 1'-0"

GENERAL ELEVATION/SECTION NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORK AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- ALL DIMENSIONS ARE SHOWN FROM FINISH FACE TO FINISH FACE OF PARTITION UNLESS OTHERWISE NOTED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT (ADA). REFER TO THE CODE PLAN FOR MORE INFORMATION.
- ALL FOUNDATIONS TO EXTEND 42" MIN. BELOW GRADE.
- ATTIC VENTING: NO VENTING PERMITTED IN FIRE-RATED ASSEMBLY AREAS. POSITION EAVE AND ROOF VENTS IN ADJACENT NON-FIRE RATED AREAS.
- WINDOWS: CONTRACTOR TO VERIFY THAT ALL SLEEPING ROOMS HAVE OPERABLE WINDOWS THAT MEET CODE REQUIRED CLEARANCE SIZING. COORDINATE FINAL WINDOW SIZES WITH MANUFACTURER. WINDOW U-FACTOR: 0.32 MAXIMUM.

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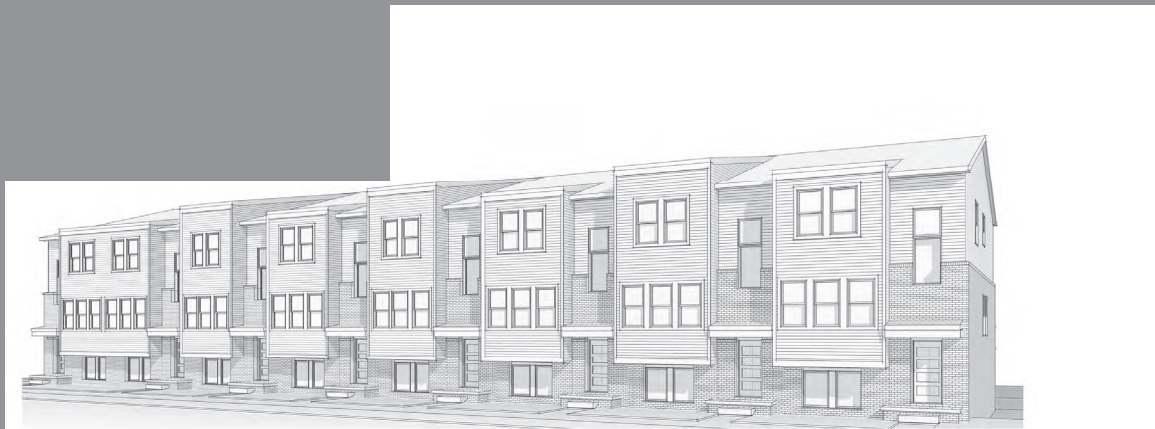


Drawn by:
JRM
Checked by:
JRM
Sheet Title:
5-UNIT BUILDING
ELEVATIONS
Project No.:
2021008
Sheet No.:

A3.3

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ELEVATION	TOTAL AREA	BRICK AREA	%BRICK
FRONT	4309 SQ. FT.	1568 SQ. FT.	36%
REAR	4661 SQ. FT.	3116 SQ. FT.	67%
SIDE	1178 SQ. FT.	687 SQ. FT.	58%



2 FRONT VIEW - UNIT
SCALE:



1 FRONT ELEVATION - UNIT
SCALE: 3/16"=1'-0"

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NOVI, MI

Issued for:
SPR 05/24/2022



Drawn by:
JRM
Checked by:
JRM

Sheet Title:
8-UNIT BUILDING
ELEVATIONS

Project No.:
2021008

Sheet No.:

A3.10

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ELEVATION	TOTAL AREA	BRICK AREA	%BRICK
FRONT	4309 SQ. FT.	1568 SQ. FT.	36%
REAR	4661 SQ. FT.	3116 SQ. FT.	67%
SIDE	1178 SQ. FT.	687 SQ. FT.	58%



② I E ELEVATION
SCALE: 3/16" = 1'-0"



① REAR ELEVATION - UNIT
SCALE: 3/16" = 1'-0"

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NOVI, MI

Issued for:
SPR 05/24/2022



Drawn by:
JRM
Checked by:
JRM
Sheet Title:
8-UNIT BUILDING
ELEVATIONS

Project No.:
2021008

Sheet No.:
A3.11

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FLOOR PLAN KEY NOTES:

TYPICAL THIS SHEET ONLY

- 1 GARAGE FLOOR: CONC. SLAB ON GRADE. SLOPE TO REAR DOOR
- 2 INSULATED DOORS AT UTILITY CLOSET
- 3 FORCED AIR FURNACE. MECHANICAL CONTRACTOR TO COORDINATE ELECTRICAL TYPING
- 4 WATER HEATER
- 5 HANGING ROD AND SHELF 6" O.A.F.F.
- 6 DECORATIVE DOOR HANDRAIL
- 7 BUILT-IN DESK, MILL ORK WITH PAPER STORAGE
- 8 GAS RANGE
- 9 NERCO INTER-DISH ASHER
- 10 PROVIDE AIRS WITCH IN COINTEGRATED FOR GARBAGE DISPOSAL

- 11 FINISHED PANEL AT EXPOSED SIDES OF ISLAND CABINETS
- 12 OOD CABINETS WITH STONE COINTEGRATED FINISHES TBD.
- 13 FINISH HEIGHT PANTRY CABINET. PROVIDE FINISHED PANEL ON EXPOSED SIDE.
- 14 VANITY WITH STONE COINTEGRATED. INSTALL FLOATING FRA. LESS BRICK ABOVE BACKSLASH.
- 15 T & B TILE SRR. ND FRO. T & B APRON TO CEILING. TILE SELECTION TBD.
- 16 PREFAB SHOWER BASE. TILE SRR. ND FRO. BASE TO CEILING. INSTALL GLASS FRA. LESS E. RD. DR.
- 17 INSTALL ASHING MACHINE ALL BO. IN LAUNDRY CLOSET.
- 18 REFRIGERATOR. PROVIDE WATERLINE FOR ICE MAKER. WATER DISPENSER
- 19 OOD FRA. ED BALCONY WITH STAINED OOD DECKING AND PREFINISHED ALUMINUM GRABBAR.
- 20 3'-6" HIGH ALL WITH DOOR HANDRAIL

GENERAL PLAN NOTES:

- THIS DRAWING IS DIAGRAMMATIC AND SHOULD BE USED TO DETERMINE THE DESIGN INTENT. THE CONTRACTOR IS RESPONSIBLE FOR THE COMPLETE SET OF WORKS AS INDICATED AND SHALL FIELD VERIFY ALL WORK. COORDINATE ALL DRAWINGS / NEW WORK AND SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN THE DOCUMENTS BEFORE PROCEEDING. FAILURE TO DO SO WILL RESULT IN THE CONTRACTOR TAKING FULL RESPONSIBILITY AND LIABILITY FOR SAID DISCREPANCIES.
- CONTRACTOR TO VERIFY ALL DIMENSIONS IN FIELD. ANY DIMENSIONAL VARIANCES CAUSED BY ACTUAL WALL CONSTRUCTION OR LA. OUT MODIFICATIONS IN THE FIELD ARE RESPONSIBILITY OF CONTRACTOR.
- WALL THICKNESSES ARE NOMINAL. NOT ACTUAL DIMENSIONS. SEE FLOOR PLAN KEY NOTES FOR WALL CONSTRUCTION.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH ALL LOCAL, STATE, COUNTY, CODE REGULATIONS, O.S.H.A., AND THE AMERICAN WITH DISABILITIES ACT ADA. REFER TO THE CODE PLAN FOR MORE INFORMATION.
- DO NOT BACKFILL WALLS UNTIL FLOOR DECKS ARE INSTALLED
- ALL POSTS CONTINUOUS TO FOUNDATION
- SHEAR WALLS TO BE PERSCRIPTIVE PER NBC 2015
- ALL FINISHES TO BE COORDINATED BETWEEN DEVELOPER AND BUYER.

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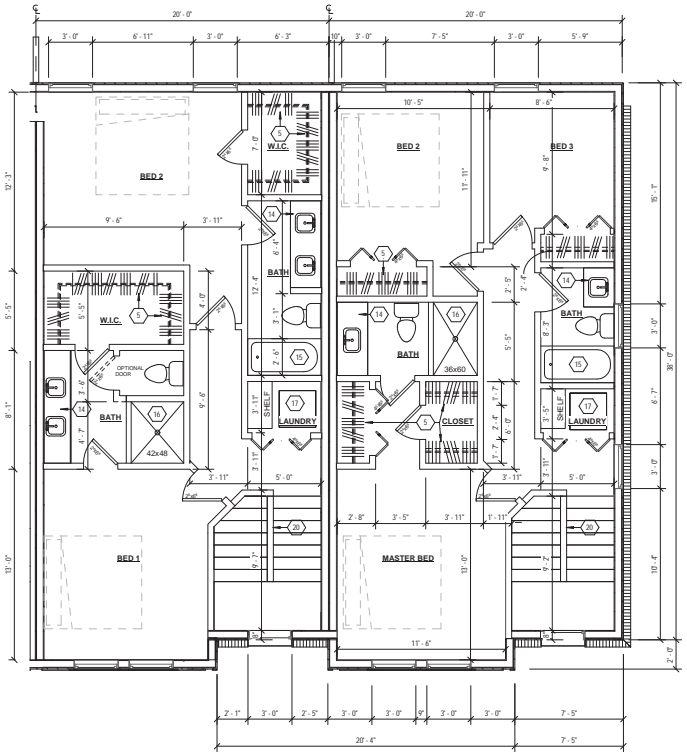
Drawn by:
 JRM
 Checked by:
 JRM
 Sheet Title:
 UNIT FLOOR PLANS

Project No.:
 2021008

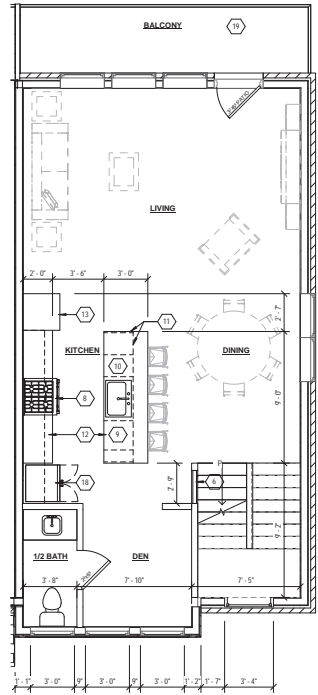
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A3.12

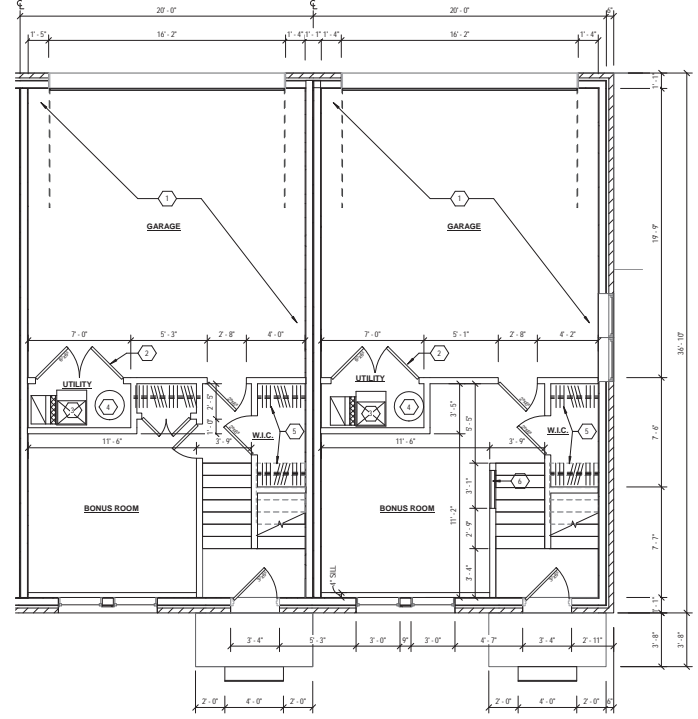
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T1 IR LEVEL
 SCALE: 1/4" = 1'-0"

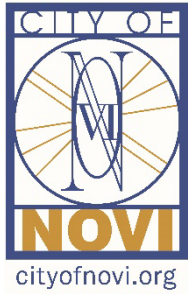


T2 E ON LEVEL
 SCALE: 1/4" = 1'-0"



T3 ROUN FLOOR LEVEL
 SCALE: 1/4" = 1'-0"

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 15, 2022

Planning Review

Sakura Novi
JSP22-09

PETITIONER

Sakura Novi, LLC

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	23	
Site Location	Parcel Ids: 22-23-126-018 North of Grand River Avenue and south of Eleven Mile Road, east of Town Center Drive	
Site School	Novi Community School District	
Current Site Zoning	TC-1: Town Center - 1	
Adjoining Zoning	North	OSC: Office Service Commercial and I-1: Light Industrial
	East	B-3: General Business and I-1: Light Industrial
	West	TC: Town Center
	South	TC-1: Town Center - 1
Current Site Use	Vacant; Tool & Die shop	
Adjoining Uses	North	Childcare Center/Hotel/Vacant industrial
	East	Commercial/Wetland
	West	Retail/Restaurants
	South	Commercial
Site Size	15.42 Acres	
Plan Date	February 28, 2022	

PROJECT SUMMARY

The applicant is proposing to develop the property as an Asian-themed mixed-use development with access points off Grand River Avenue and Eleven Mile Road. The commercial portion of the project would consist of four buildings containing office, retail and restaurant spaces. Multifamily residential rental units (132) in 22 townhome buildings would be located on the northern portion of the site with access to Eleven Mile Road. The existing pond on the west side of the site would serve as a focal point and public gathering space, to be enhanced with Japanese-style gardens and a walkway with amenities around the perimeter.

The table below lists the prospective uses for each building that was included in the PRO Agreement.

Building/Area	Size (GLA)	Proposed Height	Proposed Use Category
Phase 1A			

Building A	12,900 sf	1 story	Office, retail, restaurant
Building B	4,505 sf	1 story	Restaurant
Building C	13,102 sf	1 story	Restaurant, retail
Building D	15,500 sf	1 story	Restaurant, retail
Phase 1B			
Attached townhomes (Bldg 1-8)	50 two-bedroom units	30 ft 8 in (3 story)	Multifamily residential units
Phase 1C			
Attached townhomes (Bldg 9-20)	68 two-bedroom units	30 ft 8 in (3 story)	Multifamily residential units
Phase 2			
Attached Townhomes (Bldg 21-22)	15 units	30 ft 8 in (3 story)	Multifamily residential units

PROJECT REVIEW HISTORY

The applicant submitted for a Pre-Application Meeting, which was held on May 8, 2019. Staff indicated that the proposed rezoning would require additional details for the PRO Concept Plan submittal and identified deviations from the ordinance requirements based on the plans provided.

The applicant submitted their PRO Concept Plan on July 1, 2019. Staff reviewed the plans and provided comments on July 29. Several of the reviews were not recommending approval of the PRO Concept Plan. Staff met with the applicant on July 25 to discuss the comments and concerns. It was agreed that further revisions would be required before the PRO Concept Plan could be presented to the Master Planning & Zoning Committee and the Planning Commission.

On October 3, 2019 the applicant submitted revised plans to respond to the previous round of comments. In addition to presenting two possible development scenarios for Phase 2 of the project, the plans also added a Phase 3 component involving two parcels that are not contiguous to the main project area.

The City attorneys determined the purchase agreement and the amendments to that agreement with the City of Novi specify which parcels are permitted to be included in the PRO Agreement with the City. Therefore the Phase 3 parcels were not authorized to be part of this process at this time, and further amendment of the purchase agreement would be required to do so.

The project was presented to the Master Plan and Zoning (MPZ) Committee on November 13, 2019 where the members offered feedback and largely positive comments on the Concept Plan for the development.

The Planning Commission held a Public Hearing on December 12, 2019, to consider the mixed-use development, but postponed making a recommendation in order to allow the applicant additional time to make modifications to the plans.

On December 20, 2019, the applicant submitted a 2nd revised submittal which attempted to address the previous staff reviews, as well as comments received at the MPZ meeting and the public hearing. The applicant removed Phase 3 from the proposal, and has modified the Phase 2 plans to reduce the ambiguity and present a clearly defined development option.

The Planning Commission also postponed making a recommendation on January 15, 2020, encouraging the applicant to make additional progress on the number of deviations being requested, and in particular those deviations that were not supported by staff, and also to give additional consideration to the public benefits proposed. The applicant responded to those requests and on February 12, 2020, the Planning Commission unanimously recommended approval of the project to City Council.

The applicant received tentative approval from City Council of the rezoning request and PRO Concept Plan in February 2020 to develop the property as an Asian-themed mixed-use development. Since that time the PRO Agreement has been drafted and negotiated, and some modifications to the plans have been proposed. On January 11, 2021, City Council granted approval of a revised tentative agreement to add 14 residential units to the plan.

Final approval of the rezoning to TC-1 and PRO Agreement was granted by City Council on May 24, 2021, with the condition that the terms of the Conditional Agreement for Purchase and Sale be completed. The final closing on the sale/purchase of the property took place on August 20, 2021, and the PRO Agreement was executed on that date.

PRO OPTION

The PRO option creates a "floating district" with a conceptual plan attached to the rezoning of a parcel. As part of the PRO, the underlying zoning is proposed to be changed (in this case from OSC, OS-1, and I-1 to TC-1) and the applicant enters into a PRO agreement with the City, whereby the applicant submits a conceptual plan for development of the site. The City Council reviews the Concept Plan, and if the plan may be acceptable, it directs for preparation of an agreement between the City and the applicant, which also requires City Council approval. Following final approval of the PRO concept plan and PRO agreement, the applicant will submit for Preliminary and Final Site Plan approval under standard site plan review procedures. The PRO runs with the land, so future owners, successors, or assignees are bound by the terms of the agreement, absent modification by the City of Novi. If the development has not begun within two (2) years, the rezoning and PRO concept plan expires and the agreement becomes void.

CHANGES TO PLAN FROM PRO CONCEPT

Since the approval of the PRO Agreement and Plan the following changes are noted in the current site plan:

1. Landscaping: Additional waivers and changes to the landscaping are indicated in the Landscape Review letter.
2. Woodland Impacts: The woodland tree removals have been increased from 133 to 142 trees. The PRO Agreement allows up to 10 additional woodland removals to be approved administratively if they meet the requirements of the Woodland Protection Ordinance. See Woodland Review letter for further details.
3. Loading Area: The loading area behind Building A has been reconfigured to separate it from the parking lot and to accommodate possible Phase 2 residential buildings to the east. A truck turning diagram has been provided in order to demonstrate accessibility by delivery vehicles.
4. Building B Patio Area: The patio area between building B and the pond is larger than previously shown. The applicant states the patio will be used for both restaurant seating and will be open to the general public since the pathway around the pond is interrupted by the patio.

RECOMMENDATION

Approval of the Preliminary Site Plan **recommended at this time. Please address the issues identified in this and other review letters in your response letter prior to the Planning Commission public hearing.**

City Council approval with a recommendation from Planning Commission is required for Site Condominium, Preliminary Site Plan, Phasing Plan, Wetlands Permit, Woodland Permit and Storm Water Management Plan.

REVIEW COMMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), Section 7.13 (Amendments to Ordinance) and any other applicable provisions of the Zoning Ordinance, as well as the terms of the PRO Agreement. Items in **bold** below must be addressed and incorporated as part of the next submittal:

1. Phasing Plan: The applicant has included a phasing plan. The Phase 1 plan indicates commercial buildings A-D and 117 residential townhome units will be constructed, along with associated parking, stormwater management, the western pond area, and major utilities. Phase 2 would consist of 15 additional residential units if it is determined that the additional parking spaces are not required. The PRO Agreement states Phase 1 "will consist of three sub-phases as depicted on the Phasing Plan; provided, however, that the site plan submitted to and approved by the City shall be for the entire Phase 1 area, regardless of whether Developer builds the buildings in sub-phases (specifically Phase 1A, 1B, and/or 1C below)." **The revisions to the phasing plan comply with the PRO Agreement.**
2. Condominium Plan (Sec. 6.3): The applicant has previously indicated ownership of the property will be organized within a Condominium. **A plan for the condominium unit boundaries has been included on Sheet C-2.6 and will need to be reviewed and approved by the Planning Commission and City Council along with the Preliminary Site Plan. Currently the plan shows 5 separate units (3 commercial and 2 residential), and some areas of general common element. The Unit Plan shows all the commercial areas as Unit 1, and both residential units as Unit 2. Each unit will need to be uniquely numbered, as the Units are not contiguous, so each will receive its own parcel number. A draft Master Deed and Exhibit B will need to be submitted for review and approval with the Final Site Plan submittal.**
3. Recreational Amenities: In the PRO Agreement, the applicant had committed to providing a multi-generational recreational amenity in the area northwest of the pond, to be constructed concurrently with the adjacent residential units. There is a "pond platform" shown in the current plan set, and details of play area amenities are shown on sheet L-1.13. Landscaping sheet L-1.0 indicates "Sensory Garden Play Equipment" near the pond platform. However, the location for the play area amenities are not specifically shown on the civil sheets. There was also to be an Observation Plaza in the eastern area overlooking the stormwater/wetland area. Landscaping sheet L-1.0 shows a "Pond Overlook" in this location, however no seating is shown. **Please indicate the missing amenities on the civil sheets and provide additional details of the pond platform structure as well. These amenities will need to be shown with detailed plans in the Final Site Plan submittal.**
4. Site Lighting (Sec. 5.7): The photometric plan indicates there are several areas of the site that will greatly exceed the 4:1 average to minimum ratio standard of the Ordinance. In one area, this ratio is 36.7:1. Around the pond it is 28:1. **While the PRO Agreement allows a deviation from the minimum 0.2 fc standard in various locations, the 4:1 ratio was not granted a deviation, so the applicant will need to adjust the lighting levels in order to comply at the time of Final Site Plan. Along the driveway to the west of Building C, it is unclear why a strip of lighting (Fixture type A) is proposed, as the elevations do not show a canopy in this location. This strip produces the highest light level on the site. Other similar spots with high levels should be adjusted as necessary. Near some of the parking areas that have no illumination it seems fixture type B could be used to provide some lighting for the safety of residents and guests while not producing unwanted glare into the homes.**

5. Miscellaneous Corrections to be Made:

- a. Remove the note indicating additional Right of Way to be dedicated on Grand River and Eleven Mile as all ROW was dedicated at the time of property purchase (Sheet C-2.0).
- b. Remove the "Phasing Note" (Sheet C-2.0) as such commercial phasing is no longer proposed.
- c. On the western side of the site, 17.5-foot parking stalls require a 1.5-foot vehicle overhang beyond the curb. Ensure the placement of the retaining wall will not interfere (Sheet C-2.1).
- d. All parking spaces designated "Van-Accessible" require an 8-foot access aisle (Sheet C-2.1, SW of Building B).
- e. A 5-foot access aisle is required between 2 ADA spaces south of Building D (Sheet C-2.1).
- f. The 17-foot parking spaces south of Building D require a 2-foot vehicle overhang. Ensure the placement of the signs will not interfere (Sheet C-2.1).
- g. Barrier-free signage is required for the ADA spaces west of Building 19 (Sheet C-2.2).
- h. "Typical Unit B Detail" – Balcony and Garage Door labels appear to be pointing to incorrect locations (Sheet C-2.2).
- i. The Woodland Conservation Easement boundary on the landscape sheet is very difficult to read. Please ensure the easement is shown on another sheet in the plan set that is less busy (Sheet L-1.0).
- j. Ensure Lighting Plan sheets are printed correctly so they don't get cut off. Perhaps adjust layout to 24"x36" sheet.
- k. See the Planning Chart for additional items to be addressed.

MAJOR CONDITIONS OF PLANNED REZONING OVERLAY AGREEMENT

Some selected conditions that are part of the PRO Agreement are included below. Please refer to the PRO agreement for other details. **Staff comments on the status of each item are in bold.**

- (1) Dedication of Rights-of-Way. Developer shall dedicate the areas shown on the PRO Plan as follows: (i) the existing and future (35-foot half-width) rights-of-way on Eleven Mile along the frontage of the ECCO Parcel; (ii) the 10 additional feet of future right-of-way on Grand River Avenue along the frontage of the Anglin Parcel; and (iii) the 2 additional feet of future right-of-way along the frontage of parcels on Eleven Mile Road (City owned parcels). Developer shall convey such areas to the City by warranty deed at the time of closing with the City under the Purchase Agreement for the Anglin Parcel and the ECCO Parcel, as applicable. The conveyance by the City of the Eleven Mile Parcel to Developer will not include the existing and future rights-of-way along Eleven Mile Road, which will be retained by the City. **The Right of Way was excluded and dedicated at the time the property was purchased. Remove notes on the plan indicating additional ROW to be granted.**
- (2) Easement for Public Art (or another amenity). Developer shall provide an easement area at the southeast corner of the site, as shown on the PRO Plan, for the use as for a public art display or another amenity for the public (the "City Art Easement Area"). The City Art Easement Area shall be approximately 1,200 square feet in area. The Developer will provide the walkways, landscaping, and seating area as shown on the PRO Plan, in a manner consistent with the rest of the Development in Phase 1A as determined by the City. The Condominium Documents to be created as set forth in Section G(ix) below shall provide (in a form and manner to be determined by the City) who, other than the City, shall be responsible for general maintenance and upkeep of the City Art Easement Area in perpetuity, so that it continues to function as intended. The City shall be entitled to (but not obligated to) select, install, and maintain, at its sole cost, the public art piece(s) or other public amenity and any associated lighting at City's sole discretion. The City may change or replace the public

art or amenity with reasonable notice to the Condominium Association(s) to be formed as described below. The Easement shall be located in an area designated General Common Element (GCE) on the Condominium Plan. **The applicant has indicated the boundary of the easement on the Site Plan.**

- (3) Walkable Novi Contribution. Developer shall contribute \$117,001.00 to a dedicated account to fund projects identified through the Walkable Novi program in the vicinity of the Overall Land. This amount is based on the approximate cost of Segment #66 listed on Page 19 of the "Annual Non-Motorized Prioritization: 2019-2020 Update." Payment by Developer to the City shall occur on or before the receipt of any certificate of occupancy for any building in Phase 1A. **This will need to be addressed at the time of Pre-Construction.**
- (4) Town Center Sidewalk Connection. Developer will include in the site plan for Phase 1A a sidewalk connection along Grand River from the Commercial Land to the intersection at the corner of Grand River Avenue and Town Center Drive (the "Sidewalk Connection"). The City will secure approvals for the installation of the sidewalk for construction as part of Phase 1A. The cost of the installation shall be borne by Developer. If the City is unable to secure approvals before Developer secures any certificate of occupancy for Phase 1A, Developer shall contribute the estimated cost of the improvements (as determined by the City's engineering consultants) into the City's sidewalk fund. **The sidewalk connection is indicated on the site plan.**
- (5) Recreational Amenity/Pond Area. Developer shall build an approximately 1,800 square foot multi-use/multi-generational recreational amenity (the "Recreational Amenity") in the general area of the northwest corner of the Pond. The Recreational Amenity shall be subject to City approval as part of Phase 1 site plan approval and shall be consistent with, and of the same scale and quality as, the conceptual samples submitted to the City as part of the PRO Plan. The Recreational Amenity shall be constructed by Developer as part of Phase 1B. If the Recreational Amenity is not completed and approved upon the issuance of the first certificate of occupancy for Phase 1B, Developer shall post cash or a letter of credit acceptable to the City to secure the completion of the Recreational Amenity no later than the completion of Phase 1B. The Recreational Amenity shall be located within the GCE area shown on the Condominium Plan. **The site plan does not specifically show the play area on the plan. A pond platform is shown on the overall site plan. Landscaping sheet L-1.0 indicates "Sensory Garden Play Equipment" near the pond platform, and details are provided on Sheet L-1.13.**
- (6) Observation Plaza. Developer shall build an approximately 700 square foot meditative Observation Plaza (the "Plaza") on the east side of Phase 1C, overlooking the eastern detention area and the adjacent property owned by the City, as shown on the PRO Plan. The Plaza shall be consistent with, and of the same scale and quality as, the conceptual samples submitted to the City as part of the PRO Plan. The design of the Plaza shall be approved by the City as part of the site plan for Phase 1C and shall be constructed as part of Phase 1C. If the Plaza is not completed and approved upon the issuance of the first certificate of occupancy for Phase 1C, Developer shall post a letter of credit acceptable to the City to secure the completion of the Plaza no later than the completion of Phase 1C. **The site plan does not currently indicate the observation plaza on the plan.**
- (7) Library Area. Developer will work with the Novi Public Library to establish an area within Phase 1A similar to a Free Little Library to be curated by the Library, or pursue a suitable similar alternative that must be agreeable to the City. The exact area shall be

determined at the time of site plan approval for Phase 1. **A note on Sheet L-1.0 indicates “Free Little Library” to be located near the pond platform and sensory play area.**

- (8) Architectural Design. Because the Overall Land is located in a very prominent part of the City, at a major intersection within the Town Center/Main Street area, the look and feel of any proposed development thereon is of paramount importance to the City. The appearance of the Development factored into the City's determination to sell its property to Developer and into the City's approval of the Proposed Classification and this Agreement. The City, as the seller of a portion of the Overall Land, required the submission of detailed plans showing the site layout and architectural renderings before entering into a purchase agreement with Developer. In addition, as part of the PRO approval process, the Developer submitted conceptual building elevations, information regarding façade materials, landscaping, and site layout details, that have been incorporated into the PRO Plan as approved in this Agreement. In addition, Developer has made representations to the City, including in this Agreement, as to the further intention to design the commercial buildings in a manner that will create a contemporary Asian/Asian-American retail atmosphere, subject to further City review and approval. The City took those representations into consideration when determining to complete the sale and to approve the PRO Plan, including all of the Deviations from City Ordinance standards required and listed in this Agreement. The site layout, building designs and architectural styles as submitted to the City and approved in the PRO Plan and this Agreement, subject to the supplementation and further review and approval by the City as provided in this Agreement, are therefore Conditions of this Agreement.

As a further Condition of this Agreement, Developer shall include high-quality (e.g., in conjunction with the Stamps School of Art and Design) Japanese-themed artwork as part of the design of Building C, to be approved by the City at the time of site plan approval for Phase 1. **Sheet P4.4 of the plan set indicates “Illuminated Spandrel Glass Art Mural Panel” on the south elevation of Building C. Please provide additional detail in the Final Site Plan submittal.**

- (9) Residential Density Limitations.
- a. The maximum number of dwelling units to be constructed on the Residential Land in Phase 1B shall be 50.
 - b. The maximum number of dwelling units to be constructed on the Residential Land in Phase 1C will be 68 (reduced to 67 if Phase 2 units are constructed).
 - c. The maximum number of dwelling units to be constructed in alternative Phase 2 will be 15.

The plan indicates a potential total of 132 dwelling units if the 15 units are constructed in Phase 2, which complies with the total number approved.

- (10) Non-Residential Design and Use Limitations. Building A shall be limited to approximately 13,500 square feet to be used for high-quality restaurant, and/or retail uses which may include a specialty market, and/or Class A professional office space.
- a. Building B shall be limited to between approximately 3,000 square feet minimum and 4,505 square feet maximum of high-quality single-user restaurant use.

- b. Building C shall be limited to approximately 13,101 square feet of restaurant and/or retail uses with a dynamic and high-quality tenant mix; provided, however, that 50% of the building shall be used for restaurant uses.
- c. Building D shall be limited to approximately 15,000 square feet of high-quality restaurant and/or retail uses, which may include an iconic specialty market.

The buildings conform to the approximate sizes listed.

- (11) Woodlands. Woodland tree removals shown in the PRO Plan (the "**PRO Plan Tree Removal**") shall be approximately 133 trees, which shall require 269 woodland replacement credits. Developer will plant a minimum of 17 credits as replacements on the Overall Land through the planting of canopy trees, evergreen trees and native groundcover seeding. Native ground cover seeding shall not exceed 5% of the replacement credits planted on site. All woodland replacement credits planted on-site shall be permanently protected via conservation easement or landscape easement. Any credits not planted on site will require a payment of \$400 per credit into the Novi Tree Fund.

Any additional regulated woodland tree removals not shown in the PRO Plan Tree Removal shall meet the requirements of the City of Novi Woodland Protection Ordinance and may be granted administratively up to 10 trees with proper justification. If additional regulated trees proposed for removal exceeds 10, Planning Commission approval must be granted. All trees removed that are not shown in the PRO Plan Tree Removal shall be replaced as required by the Novi Woodlands Protection Ordinance.

Currently 142 regulated woodland trees are indicated for removal, which will require 286 replacement credits. See Woodland Review letter for detailed comments.

- (12) Wetlands. The City has approved a wetland permit for the wetlands shown in the PRO Plan ("**Approved Wetland Impacts**"). The Approved Wetland Impacts require mitigation in accordance with the City of Novi Wetland and Watercourse Ordinance. Such mitigation may, in accordance with Paragraph 2 below, Deviations, be accomplished through the purchase of wetland mitigation credits in an EGLE-approved wetland mitigation bank. Setbacks from Approved Wetland Impacts are shown in the PRO Plan. **See Wetland Review for detailed comments.**
- (13) Noise. Developer shall provide a Noise Impact Statement at the time of preliminary site plan submittal for Phase 1 to determine if ordinance performance standards will be exceeded. Any necessary mitigation measures shall be provided if standards are exceeded, in order to protect future residents of the Phase 1C (and possible alternative Phase 2) units from excessive noise impacts from the existing ECCO Tool business.

A Noise Impact Statement has been provided. The statement indicates Ecco Tool Company's work has low noise levels and the building is insulated. The outdoor HVAC equipment is expected to be 62 db(A) at a 20-foot distance. The noise levels are not expected to exceed the City's threshold of 70 dB(A) at either nighttime or daytime hours.

- (14) The parties further agree that it is a condition of this Agreement that:

- a. Access for delivery trucks to serve the Retained ECCO Parcel shall be as provided in the PRO Plan, and an access agreement acceptable to all parties, including by the City as part of its final site plan review, shall be required and shall be effective before commencement of the work in Phase 1A. **This access easement has been established.**
- b. Twelve (12) parking spaces shall be provided on the Retained ECCO Parcel. **No parking space details are included on the site plan. The applicant shall clarify if the site has the 12 spaces required.**
- c. Developer shall demonstrate that the Retained ECCO Parcel shall be served by the development's overall storm water management plan as determined by the City at the time of site plan approval. **The applicant shall ensure that the Stormwater Management Plan accounts for the ECCO parcel in the Final Site Plan submittal.**
- d. Developer shall provide any utility (water and sewer) stubs to the Retained ECCO Parcel as required by the City at the time of site plan approval. **The applicant shall clarify if such stubs are proposed.**

ORDINANCE DEVIATIONS

Section 7.13.2.D.i.c(2) permits deviations from the strict interpretation of the Zoning Ordinance within a PRO agreement. These deviations must be accompanied by a finding by City Council that *"each Zoning Ordinance provision sought to be deviated would, if the deviation were not granted, prohibit an enhancement of the development that would be in the public interest, and that approving the deviation would be consistent with the Master Plan and compatible with the surrounding areas."*

The following deviations from the standards of the Zoning Ordinance are authorized pursuant to the PRO Agreement:

- a. Deviation from Section 3.27.1.C to allow a minimum exterior side yard setback of 10 feet (50 feet required) for Buildings A & D, where adjacent to B-3 zoning to the east.
- b. Deviation from Section 3.27.1.C to allow building and parking setbacks to be reduced up to 0 feet when adjacent to general common element boundary areas within a condominium.
- c. Deviation from Section 4.82.2.e. to allow second floor residential balconies to encroach 4 feet into the front yard setback (11 feet instead of 15 feet required) along Eleven Mile Road.
- d. Deviation from Section 3.1.26 to allow a reduction of the side yard parking setback (5 feet instead of 10 feet required) in Phase 1 on the western property line with the Town Center green space area adjacent. This deviation also allows the parking setback to be reduced to 5 feet (10 feet required) for the parking area south of Building 21 (Phase 2 residential option) adjacent to the B-3 zoned parcel.
- e. Deviation from Section 3.6.2.M to eliminate the wetland setback (25 feet required) around the pond feature. This deviation also pertains to the far eastern portion of site, abutting the City-owned retention/wetland basin.
- f. Deviation from Section 3.1.26.D to allow the existing front yard parking lot along 11 Mile Road for ECCO Tool shop (approximately 15 feet measured from ROW, instead

of 20 feet required). This deviation would not apply to any future redevelopment of the Retained ECCO Parcel.

- g. Deviation from Section 3.1.26.D to allow the parking area in front of Building 12 on the northeast corner of the site to extend into the front parking setback (6 feet instead of 20 feet required).
- h. On the commercial buildings, Section 9 façade waivers to allow an overage of flat metal panels on the west and east facades of Building B; and an overage of EIFS on the west façade of Building C.
- i. On the residential buildings, a Section 9 façade waiver to allow an overage of cement fiber siding (up to 39% on front elevations, 58% on side elevations, 48% on rear elevations). On the rear elevation, a deficiency in the minimum of brick (15.5% instead of 30% required) as shown on the residential building elevations.
- j. Deviation from Section 3.27.1.H. and/or Section 5.4 to permit loading/unloading spaces of the commercial buildings to be located in rear and side yards, and for deficiencies in the size of loading area required, as shown on the PRO Plan, if truck turning movements are shown on the plans to demonstrate accessibility.
- k. Deviation from Section 3.27.2.B to allow the proposed Buildings A & D (PRO Office, Restaurant and Retail mix) to exceed 7,500 square feet of gross leasable floor area, with a total of approximately 29,000 square feet on one level, as identified on the plans as Building A and as Building D.
- l. Deviation from Section 3.27.2.B to allow Building C (13,102 square feet) to exceed 7,500 square feet, as it does not meet the exception criteria.
- m. Deviation from Section 5.7.3.K for site illumination level variance for multiple walkway areas and residential parking areas. Site walkway areas will vary below 0.2 foot candle minimum standard on the pathway around the water feature. Site walkway areas in the residential portion will vary below 0.2 foot candle minimum standard. Parking area in residential area will fall below 0.2 foot candle minimum standard in some locations.
- n. Deviation from Section 3.27.1.L to allow project-appropriate selection of exterior lighting fixtures, paved activity nodes, street/sidewalk furniture, safety paths, screening walls and planters.
- o. Deviation from Chapter 28 of the City Code for TC-1 tenant signage standards. Tenants may have both interior-facing and frontage-facing signage. The development will adhere to the requirements of the City Code, subject to the follow deviations:
 - i. Under Section 28-5.c.1.a, deviation to allow up to 2.5 square feet of signage per linear foot of contiguous public or private street frontage, up to a maximum of 130 square feet.
 - ii. Under Section 28-5.c.1.b, deviation to allow 2.5 square feet of signage per linear foot of contiguous public or private street frontage on a rear/secondary façade with a pedestrian entrance, up to a maximum of 130 square feet.
 - iii. Under Section 28-5.c.1.d, a deviation to allow 2 signs of equal permitted size for each interior retail/restaurant tenant not fronting public streets. Sign area

allowed up to 2.5 square feet of signage per linear foot of elevation frontage, up to a maximum of 130 square feet. The signs shall be located no closer than 30 feet on center from any other similar sign (except those of the same message but different languages, which may be located closer), and shall be located adjacent to such parking lot or street, as applicable.

- p. Deviation from Section 5.3.2 to allow drive lane reduction to 20-22 feet in residential Phase 1C area as shown on the PRO Plan, provided no parking signage is posted in these areas and provided sufficient clearance is available for emergency vehicle movements.
- q. Deviation from Section 3.27.1.1 to allow a 6-foot sidewalk along 11 Mile Road, instead of the 12.5-foot sidewalks required by the TC-1 District along non-residential collector and local streets.
- r. Deviation from Section 5.5.3.A to allow a continuous 6-foot evergreen hedge with densely planted deciduous canopy trees in lieu of the required 6-8 foot berm required when TC-1 district abuts a B-3 district.
- s. Deviation to allow ECCO to continue to operate as a nonconforming use and nonconforming site in the TC-1 district (subject to Paragraph G.iv.1 above).
- t. Deviation from Engineering Design Manual Section 5.6.5 (b)(a) for lack of 25 foot vegetated buffer around the storm water management pond in the residential use area.
- u. Deviation from Section 5.5.3.B.ii and iii. for lack of screening wall or berm for parking areas along Grand River, as fencing and landscaping will be provided as alternative screening.
- v. Deviation from Section 5.5.3.B.ii and iii. for insufficient greenbelt width and berm between parking lot and 11 Mile Road (Phase 1C), as a retaining wall will provide alternative screening.
- w. Deviation from Section 5.5.3.F.iii.b.3 for a deficiency in foundation plantings along the building perimeter facing the interior drives of multifamily residential buildings.
- x. Deviation from Section 5.5.3.A.ii Footnote 1 for not providing a 6-foot wall when non-residential uses in the TC-1 District abut a residential use. Alternative screening shall be provided between residential and non-residential uses on the site.
- y. Deviation from Section 5.5.3.C for deficiency of 3 parking lot perimeter trees provided in Phase 1.
- z. Deviation from Section 4.19 of the Zoning Ordinance to allow transformers to be located as shown in the PRO Plan, in the rear or side yard next to the loading zones of the buildings, in the commercial portion of the project if proper screening is provided.
- aa. Deviation from Section 12-176 of the Code of Ordinances to allow mitigation of wetland impacts in whole or in part through the purchase of credits in an EGLE-approved wetland mitigation bank. This deviation is unique to this parcel and its location within the City and is further subject to the following requirements:
 - i. Mitigation credits shall be purchased within an EGLE-approved wetland mitigation bank in the Ann Arbor Moraines ecoregion (Sub-section VI.1.2).

- ii. The City's required 2.41 acres of wetland mitigation shall be purchased within a single wetland mitigation bank.
- iii. All documentation of such purchase shall be provided to the City in order to demonstrate that the conditions of the City of Novi's wetlands permit have been fulfilled. Such documentation shall be reviewed and approved by the City's legal consultant.
- iv. Documentation from EGLE authorizing the proposed wetland impacts, as well as approval of the proposed wetland mitigation scenario, shall be received before issuance of a City of Novi wetlands permit.

SUMMARY OF OTHER REVIEWS

1. Engineering Review: The plans meet the general/preliminary requirements on Chapter 11, Storm water management ordinance and the Engineering Design Manual. Additional comments to be addressed in subsequent submittals. **Engineering recommends approval.**
2. Landscape Review: **Landscape recommends approval.** Comments to be addressed with final site plan review. Refer to review letter for more comments.
3. Wetland Review: **Wetlands recommends conditional approval at this time. The wetland fill area and volume calculations, and a legible copy of the seed mix, must be provided prior to the Planning Commission meeting.** See review letter for detailed comments.
4. Woodland Review: A City of Novi woodland permit is required for the proposed plan. **Woodlands recommends conditional approval, provided the grading can be revised to not impact the critical root zone of trees to be protected.** See review letter for additional comments to be addressed in the Final site plan submittal.
5. Traffic Review & TIS Review: **Traffic recommends approval.** The parking study will be reviewed prior to the Planning Commission public hearing.
6. Facade Review: **Façade recommends approval.** The commercial buildings are consistent with the ordinance or Section 9 waivers granted in the PRO Agreement. The residential units are now consistent with the Section 9 façade waivers granted in the PRO process.
7. Fire Review (3/9/22): Fire has additional comments that will need to be addressed prior to Final Site Plan approval. Conditional approval is recommended, provided those issues are addressed in future submittals.

NEXT STEP: PLANNING COMMISSION MEETING

This Site Plan will be scheduled to go before the Planning Commission for public hearing and a recommendation to City Council on **July 13, 2022**. Please provide the following via email by **July 6, 2022**:

1. Revised Preliminary Site Plan set in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
3. A color rendering of the Site Plan and/or buildings (optional, to be used for Planning Commission presentation).

CITY COUNCIL

Following the Planning Commission meeting, the Site Plan will be scheduled for City Council consideration. If the City Council grants approval at that time, the next step would be Final Site Plan submittal.

FINAL SITE PLAN SUBMITTAL

After receiving Preliminary Site Plan approval from the City Council, please submit the following for Final Site Plan review and approval:

1. Six copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Non-Domestic User Survey](#) (Non-residential developments)
9. Drafts of any legal documents (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received Electronic Stamping Set comments from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

New addresses are required for this project. Addresses cannot be issued until street names are reviewed and approved. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

This project has received approval from the Project Naming Committee. **Street names are required to be proposed, please contact Ben Peacock (248-347-0579)** in the Community Development Department for additional information. The application can be found by clicking on this [link](#).

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org



Lindsay Bell, AICP – Senior Planner

Attachments: Planning Review Chart



PLANNING REVIEW CHART: TC-1 with a Planned Rezoning Overlay (PRO)

Review Date: June 13, 2022
Review Type: Revised Preliminary Site Plan
Project Name: **22-09 SAKURA Novi**
Plan Date: May 24, 2022
Prepared by: Lindsay Bell, AICP, Senior Planner
E-mail: lbell@cityofnovi.org **Phone:** 248.347.0484

- **Bold:** Items that need to be addressed by the applicant prior to the approval of the Preliminary Site Plan
- Underlined: Items that need to be addressed prior to the approval of the Final Site Plan
- **Blue and underline:** Items that do not currently conform to the Zoning Ordinance require Amendment of the PRO to approve the deviation

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Town Center Gateway shown on Future Land Use Map Master Plan recommends rezoning to TC District to fulfill vision for Town Center area	Phase 1: Market, Restaurants, retail, residential Phase 2: Residential and restaurants	Yes	<i>The subject property has been rezoned to TC-1 with PRO to permit the uses proposed</i>
Town Center Area Study 2014	The Anglin Area is intended to serve as the eastern "gateway" into the Grand River/Novi Road Business and Main Street Areas. A wide variety of uses and pedestrian-oriented form will activate the area and provide a logical entranceway. Future development should utilize the existing pond as a site amenity.	Property has been rezoned TC-1. Development proposed includes a mix of uses including professional office, restaurants, retail, and residential. Proposal includes using the pond as a focal point and site amenity.	Yes	
Zoning <i>(Effective Jan. 8, 2015)</i>	TC-1: Town Center – 1 with a PRO Agreement	TC-1: Town Center - 1	Yes	
TC-1 District Uses Permitted <i>(Sec 3.1.26.B & C)</i> Sec. 3.1.25.B. - Principal Uses Permitted. Sec. 3.1.25.C. – Special Land Uses Permitted.		Phase 1: Restaurants Retail Office Multifamily residential	Yes	
		Phase 2: Multifamily Residential Parking	Yes	

Item	Required Code	Proposed	Meets Code	Comments
		Ecco Tool is an existing non-conforming use in the TC-1 district		Approved in the PRO Agreement
Density <i>Future Land Use Map (adopted July 26, 2017)</i>	13.6 du/ac	Total site area Residential: 12.75 acres 132 units/15 acres = 8.8 du/ac	Yes	The number of dwelling units is a condition of the the PRO Agreement
Phasing	Show proposed phasing lines on site plan. Describe scope of work for each phase. Each phase should be able to stand on its own with regards to utilities and parking	<p>Phase 1 (Commercial area) Building C (Retail, Restaurants) 13,102 sf Building A 12,900 sf Building D 15,500 sf (Commercial) Building B 4,505 sf (Restaurant) 276 surface parking spaces Pond Amenity Grand River Frontage improvements</p> <p>Phase 1 (Residential area) 132 residential townhome units 160 garage spaces + 126 surface = 286 parking spaces Pond + play area amenity</p> <p>Phase 2 (Residential option) 15 residential townhome units to replace 56 parking spaces</p>		Sheet C-2.0 indicates 92 parking spaces in Phase 2 – unclear where those are located
Height, bulk, density and area limitations				
Frontage on a Public Street <i>(Sec. 5.12)</i>	Frontage upon a public street.	The site has frontage and access to Grand River Avenue and Eleven Mile.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Access To Major Thoroughfare (Sec. 5.13)	Access to major thoroughfare is required, unless the property directly across the street between the driveway and major thoroughfare is either multi-family or non-residential	Site has access to Grand River Avenue and Eleven Mile Road	Yes	
Maximum % of Lot Area Covered (By All Buildings) (Sec. 3.6.2 D)	No Maximum		NA	
Building Height (Sec.3.1.26.D)	5 stories or 65 ft, whichever is less ** Section 3.27.2.A.ii allows mixed use buildings a height bonus – for each additional floor of office or retail use above the first floor, an additional floor of residential use may be permitted. "all other standards of the ordinance apply to the height bonus, including setback, parking, landscaping, density and subsection i: "Buildings exceeding 65 ft in height shall have a minimum of 150 feet of building frontage on a roadway no less than 28-feet wide"	Building A: 1 story	Yes	
		Building B: 1 story	Yes	
		Building C: 1 story	Yes	
		Building D: 1 story	Yes	
Residential portion of this development is subject to conditions and requirements of Section 4.82: Residential Dwellings in TC and TC-1 districts (Ordinance Amendment 18.279)				
Commercial Portion is subject to TC and TC-1 requirements				
Arterial and Non-residential Collector Streets <i>Additional setbacks may also be required by Planning Commission or City Council if deemed necessary for better design or functionality.</i>				
NOTE REGARDING SETBACKS:				

Item	Required Code	Proposed	Meets Code	Comments
<p>The current submittal indicates the lot lines at the future ROW line. Grand River Avenue is classified an arterial while Eleven Mile Road is considered a non-residential collector. Commercial buildings will be considered to “front” on Grand River should adhere to “Interior” requirement as there is TC-1 District to the south. Residential buildings shall consider Eleven Mile Road as “front” should adhere to Non-Residential Collector requirements.</p>				
<p>Commercial Building Setbacks (Sec 3.1.26 D) and (Sec. 3.27.1.C)</p>				
<p>Front (Grand River and Eleven Mile) See 3.27.1.C for waiver conditions for City Council</p>	<p><u>Arterials</u> 15 ft. minimum *Setback may be increased where necessary to obtain clear vision area for vehicular traffic.</p>	Bldg D: 217 ft	Yes	
		Bldg B: NA	Yes	
		Bldg C: 15 ft	Yes	
	<p><u>Non-Residential Collector & Local Streets</u> 0 ft min, 10 ft maximum</p>	Ecco Tool (Existing) ~52 feet	No	Approved in the PRO Agreement
<p>Side Western property line is considered Interior (TC district adjacent) Eastern property lines considered Exterior (B-3 and I-1 Districts adjacent)</p>	<p><u>Arterials</u> 10 ft. Minimum Interior 50 ft Exterior</p>	Bldg A/D: 10 ft (East: Exterior to B-3)	No	Approved in the PRO Agreement
		Bldg B > 50 ft	NA	
		Bldg C > 50 ft	NA	
	<p><u>Non-Residential Collector & Local Streets</u> 0 ft min, no maximum</p>	Ecco Tool (Existing) ~25 feet	Yes	
<p>Rear Western property line is considered Interior (TC district adjacent) Northern property lines considered</p>	<p><u>Arterials</u> 10 ft. Minimum Interior 50 ft Exterior</p>	Bldg A/D: NA (north side)	NA	All commercial buildings greater than 50 feet from 11 Mile
		Bldg B: NA	NA	
		Bldg C: NA	NA	

Item	Required Code	Proposed	Meets Code	Comments
Exterior (OSC Districts adjacent)	<u>Non-Residential Collector</u> 0 ft min, no maximum		NA	
Commercial Parking Setback (Sec 3.1.26.D)				
Front Grand River Ave	20 ft. from ROW	Front Grand River: 20 ft	Yes	<i>Approved in the PRO Agreement deviations for side yard parking areas.</i>
Side/Rear Yard (West, East, South adj to B-3)	10 ft.	Western side yard: 5 ft (south of pond) Eastern side yard: 10 ft	No Yes	
Exterior Rear Yard (11 Mile Road)	20 ft. from ROW	Adj to B-3: 14 ft Exterior rear yard (11 Mile): 20 ft	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	11 Mile Frontage is only exterior side yard	Yes	
Minimum lot area and width (Sec 3.6.2.D)	Except where otherwise provided in this ordinance, the minimum lot area and width, maximum percentage of lot coverage shall be determined by the requirements set forth.	Proposed	Yes	
Yard Setbacks adjacent to Residential Districts (Sec 3.6.2.H&L)	If site abuts a residential zone, buildings must be set back at least 3' for each 1' of building height, but in no case can be less than 20' setback	NA	NA	Does not abut residential
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained	Pond exists on the site – buffer not shown	No	<i>Approved in the PRO Agreement to utilize pond as site amenity</i>
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Berm shown along 11 Mile, decorative fence & landscaping along Grand River		
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements		NA	

Item	Required Code	Proposed	Meets Code	Comments
	based on its determination according to Sec 3.6.2.Q.			
TC-1 District Required Conditions (Sec 3.27)				
Site Plans (Sec. 3.27.1.A.)	Site area under 5 acres: Requires Planning Commission approval; Site area over 5 acres: Requires City Council approval upon Planning Commission recommendation	Site is over 5 acres (15.59 acres)	Yes	<i>Site plan requires City Council approval upon Planning Commission recommendation</i>
Parking Setbacks (3.27.1 D)	20 ft. from ROW	Front and exterior side yards all min. 20 feet	Yes	
	Surface parking areas must be screened by either a 2.5 ft. brick wall or a landscaped berm from all public ROW	Screening proposed	Yes	
	No front yard or side yard parking on any non-residential collector.	No parking proposed in front of buildings on 11 Mile Road	Yes	
Architecture/ Pedestrian Orientation (3.27.1 E)	No building in the TC-1 district shall be in excess of one-hundred twenty-five (125) feet in width, unless pedestrian entranceways are provided at least every one-hundred twenty-five (125) feet of frontage.	This applies to the Commercial buildings. Several buildings exceed 125 ft width – Phase 1 buildings will have entrances Proposed: Decorative paving at key locations, pond/surrounding garden as focal point	Yes	<i>Pedestrian entranceways will be provided for each tenant space</i>
Open Space Area (Sec. 3.27.1.F)	15% (permanently landscaped open areas and pedestrian plazas accessible to the public)	An Open space plan is provided – shows 18.94% total area provided	Yes	
Façade materials (Sec. 3.27.1 G)	All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with	Material calculations provided		See Façade Review Letter for comments. <i>Section 9 façade waiver approved in PRO Agreement for certain deviations</i>

Item	Required Code	Proposed	Meets Code	Comments
	PC approval.			
Parking, Loading, Signs, Landscaping, Lighting, Etc (Sec. 3.27.1 H)	All loading in TC-1 shall be in rear yards.	Loading area locations shown	No	<i>Location deviations approved in PRO Agreement</i>
	Off-street parking counts can be reduced by the number of on-street parking adjacent to a use	Total parking: 552 spaces total	NA	<i>Overall parking count approved in PRO Agreement</i>
	PC may allow parking requirement reduction when parking areas serve dual functions.	The development proposes mixed uses.	Yes	<i>Updated Shared parking study provided with new mix of uses</i>
	Special assessment district for structured park	Not proposed	NA	
Sidewalks required (Sec. 3.27.1 I)	Sidewalks required along non-residential collector to be 12.5 ft. wide Sidewalk on Grand River should be 8'	8' sidewalk on Grand River 6' sidewalk on 11 Mile	Yes No	<i>Sidewalk width approved in PRO Agreement</i>
	Direct pedestrian access between all buildings and adjacent areas	Appears to be provided; Sidewalk around pond now connects through patio area	Yes	
Bicycle Paths (Sec. 3.27.1 J)	Bike paths required to connect to adjacent residential & non-residential areas.	8' Sidewalks proposed along Grand River; Existing sidewalk on 11 Mile to remain on streets proposed	No	<i>Sidewalk width approved in PRO Agreement</i>
Development amenities (Sec. 3.27.1 L)	All sites must incorporate amenities such as exterior lighting, outdoor furniture, safety paths in accordance with Town Center Study Area.	L-1.11 & L-1.12 shows proposed bench, bike rack, decorative stamped concrete	Yes	
Combining Use Groups within a Structure (Sec. 3.27.1 M)	Commercial and office uses may occupy any number of total floors within a building with residential uses: - Not on same floor as residential Not above residential	Not proposed	NA	

Item	Required Code	Proposed	Meets Code	Comments
Retail Space (Sec.3.27.2.B)	7,500 sq. ft. GLA max may exceed when: - All floors above 1 st floor permitted in TC-1 - No retail above 2 nd floor - 2 nd floor retail is less than 12,000 sq. ft. or 25% of the floor area - Single user max. is 15,000 sq. ft. - 50% of retail commercial space on 1 st floor is devoted to users of 5,000 sq. ft. or less	Building A: 12,900 Building D: 15,500 Building C: 13,100	No	<i>Retail space approved in PRO Agreement</i>
Street and Roadway Rights-Of-Way (Sec. 3.27.1 N)	Nonresidential collector and local streets shall provide ROWs consistent with DCS standards	ROW dedicated on Grand River and 11 Mile Road	Yes	
Façade materials (Sec. 3.27.1 G)	All sides of the building and accessory buildings must have the same materials. Façade materials may deviate from brick or stone with PC approval.	Bldg A&D	Yes	<i>Section 9 façade waiver approved in PRO Agreement</i>
		Bldg B	No	
		Bldg C	No	
		Residential Buildings: Cement fiber siding; Brick percentage has been increased	No	
Mixed-Use Developments (Sec. 4.25) To qualify as a mixed-use development, a project must meet the following requirements.				
Each use shall comprise of at least 10% in the TC-1 district of either a. The net site area or b. The total gross floor area of all buildings	Gross site area: 15.5 acres Net site area after ROW dedication & Pond: 14.39 acres Residential Site Area: approx. 5.5 acres Commercial site area: 8.89 acre (~62% of total site area)	Yes		
A development with both conventional multi-family and senior, age-qualified, independent multi-family uses shall not be considered mixed use unless a non-residential use is also included	Not applicable	NA		

Item	Required Code	Proposed	Meets Code	Comments
A performing arts facility unconditionally dedicated to the public use, under separate agreement with the City, shall be considered a second use, provided that it is a fully enclosed structure with a minimum of 500 seats.		Not applicable	NA	
Residential Dwellings / Mixed-Use in TC/TC-1 (Sec. 4.82)				
Multiple-Housing Dwellings Units (Sec. 4.82.2)		Must meet RM-1 district requirements.	Not Applicable	
Mixed Use Guidelines (Sec. 4.82.2)				
Number of Rooms and Area of Parcel (Sec. 4.82.2.a) <i>TC/TC-1, Multiple Family, and Mixed-Use</i>	Total number of rooms shall not have more than the area of the parcel in square feet, divided by a factor of 1200. For mixed use, it is divided by factor of 800.	For 14.3 net acres 623,779 sq. ft. / 800 = 779 rooms permitted <u>North</u> : 50 2-BR @ 3 rooms = 150 <u>East</u> : 82 2-BR @ 3 rooms = 246 Total 396 rooms *	Yes	
Allowing increase in number of rooms (Sec. 4.82.2.b)	Planning Commission (for sites <5 acres) or City Council (for sites >5 acres) can approve increase in number of rooms subject to conditions listed in Sec. 4.82.2.b. The increase cannot exceed more than two times the rooms otherwise allowed	No increase needed.	Yes	
Floor plans for Mixed Use developments (Sec. 4.82.2.c)	Conceptual floor plans layouts for each dwelling unit is required to establish maximum number of rooms permitted, subject to minor modifications	Floor plans are provided for townhomes;	Yes	
Minimum Distance between Buildings (Sec. 4.82.2.d)	10 ft.	16 ft.	Yes	
Building Setbacks (Sec. 4.82.2.e)	- 15ft. minimum, unless conflicts with corner clearance	15 ft from ROW shown for residential buildings fronting on 11 Mile; Balconies extend to 11 feet from ROW	Yes	<i>approved in PRO Agreement</i>

Item	Required Code	Proposed	Meets Code	Comments
Parking Setbacks Off-street Parking (Sec. 4.82.2.f)	10 ft. minimum from any wall of any dwelling structure, which contains openings involving living areas;	Meets requirement	Yes	Residential dwelling are subject to this section, not Sec. 3.1.26.
	5 ft. from any wall with no openings	Meets	Yes	
	10 ft. from any ROW (includes drives and loading)	Meets	Yes	
	5 ft. from all other property lines	Meets	Yes	
	30 ft. from property lines adjacent to Single family homes	Not applicable	NA	
Business and Office Uses (Sec. 4.82.3)	<ul style="list-style-type: none"> - Not occupy same floor as residential - No office use above a residential use - Separate entrance, private pedestrian entrance to residential shall be provided 		NA	
Parking Location (Sec. 4.82.5)	Off-street parking shall be provided within a building, parking structure physically attached, or designed off-street parking within 300 ft. of building.	Off-street surface parking and individual unit garages proposed	Yes	
Usable Open Space (Sec. 4.82.6)	Usable Open Space is defined as balconies, courts and yards that are private recreational uses, and no dimension is less than 50 ft. 200 sq. ft. per dwelling unit Phase 1B: 200 x 68 = 13,600 sq. ft. or 0.31 acre Phase 2: 200 x 50 = 10,000 sf or .23 ac	Usable open space shown on sheet L-1.14, appears to comply with requirement; Recreation amenity details provided on L-1.13	Yes	Further details to be provided with FSP submittal

Note: Staff has made a determination for mixed use guidelines that is consistent with non-mixed use guidelines. For purpose of determining compliance, the minimum square footages are associated with number of bedroom as follows: 1 BR- 500 SF min; 2 BR- 750 SF min; 3 BR – 750 SF min; 4+ BR- 1,000 SF min ;

Item	Required Code	Proposed	Meets Code	Comments
The applicant needs to provide the unit mix proposed. The applicant has provided floor plans.				
Maximum Room Count : Mixed Use Guidelines(Sec. 4.82.2)				
Efficiency-400	1	Not proposed	NA	All units proposed exceed size requirements.
1 BR: 500 sq. ft.	2	Not proposed	NA	
2 BR: 750sq. ft.	3	3	Yes	
3 BR: 900 sq. ft.	4	Not proposed	NA	
4 BR: 1000 sq. ft.	5	Not proposed	NA	
Maximum Density: Mixed Use Guidelines(Sec. 4.82.2)				
Efficiency-400	--	132 units/14.3 ac = 9.2 du/ac Allowable Density: 18 DUA; Allowable density is calculated based on maximum number of rooms allowed for this property (779 rooms) and unit type	Yes	Density for residential dwellings in TC-1 is based on the maximum number of rooms allowed.
1 BR: 500 sq. ft.	27.3 DUA (a)			
2 BR: 750sq. ft.	18.15 DUA			
3 BR: 900 sq. ft.	13.61 DUA			
4 BR: 1000 sq. ft.	10.89 DUA			
Maximum Percentage of Units : Mixed Use Guidelines(Sec. 4.82.2)				
Efficiency-400	5%	Not proposed		
1 BR: 500 sq. ft.	50%	0		
2 BR: 750sq. ft.	100%	100	Yes	
3 BR: 900 sq. ft.	100%	0		
4 BR: 1000 sq. ft.	100%	0		
Minimum Off-street parking per unit: Mixed Use Guidelines(Sec. 4.82.2)				
Efficiency-400	1 per unit	132 units @ 2 spaces Total 264 spaces required 129 Surface spaces 160 Garage spaces Total 289 spaces proposed	Yes	
1 BR: 500 sq. ft.	1 per unit			
2 BR: 750sq. ft.	2 per unit			
3 BR: 900 sq. ft.	2 per unit			
4 BR: 1000 sq. ft.	2 per unit			
Parking, Loading, and Dumpster Requirements (5.3 site specific review required)				
Required Parking Calculation (Sec. 5.2.12) (Sec. 4.82.2) See Individual	Ordinance Requirement per Use	Parking Study Peak Demand (7PM Weekend)		Total proposed includes a 10% effective supply added to projected numbers
	Retail 11,475 sf/250 = <u>46</u>	28		
	Office	0		

Item	Required Code	Proposed	Meets Code	Comments
requirements below	12,000sf/200 = <u>54</u>			*total now shown on plan
	Quality Restaurant 10,530sf/70 = <u>150</u>	170		
	Sit-Down Restaurant 4,600sf/70 = <u>66</u>	62		
	Fast Casual Restaurant 7,800/70 = <u>111</u>	38		
	Residential Buildings 132 units x 2 ea = <u>264</u>	218		
	Total Ordinance Required: <u>691 Spaces</u>	TOTAL PROPOSED: 600 Spaces* (Phase 1)		
Required Parking Calculation (Sec. 5.2.12) (Sec. 4.82.2)	<u>Shopping Center</u> 1 per 250 sq. ft. of GLA 54,817 / 250 = 219 spaces <u>Res. Mixed-Use Dev:</u> Rm count 1-2 = 1 space Rm count 3-5 = 2 spaces 236 total spaces required	<u>Phase 1 Commercial/Res:</u> 600 spaces Total (154 garage + 446 surface parking) <u>Phase 2 Residential Option – Total Site:</u> 573 spaces (169 Garage spaces; 404 surface parking)	TBD	See Traffic Review of Parking Study
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations - 60° 9 ft. x 18 ft.	- 9 ft. x 17 ft. parking spaces allowed as long as detail indicates a 4" curb at these locations - 60° 9 ft. x 18 ft. - 9 ft. x 19 ft. spaces - 23 ft 2-way drives	No	Some 17-17.5 foot parking spaces do not appear to have 2' vehicle overhang – must be addressed in Final Site Plan <i>Deviation for 22 ft drive aisles approved in PRO Agreement</i>
Parking lot entrance offset (Sec. 5.3.6)	Parking lot entrances must be set back 25' from any single-family residential district.	Not applicable	NA	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that about traffic circulation aisles. - The end islands shall generally be at least 8		Yes	See Traffic review for details

Item	Required Code	Proposed	Meets Code	Comments
	ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall			
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	- Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Appears to comply	Yes	
Barrier Free Spaces <i>Barrier Free Code</i> *No deviations since this is a Michigan Building Code requirement	Northwest Residential: A total of 2% of required parking. $100 \times 2\% = 2$ required East Residential: 164 parking spaces $\times 2\% = 3$ required Commercial: 376 spaces for commercial portion requires: 8 barrier free (2 van accessible)	2 provided 4 provided 13 provided	Yes Yes Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	Mostly complies – access aisle missing in 1 location	No	Need a 5' access aisle between 2 spaces south of Building D
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Signs indicated	Yes	Compliance will be confirmed with Final Site Plan submittal
Minimum number of Bicycle Parking (Sec. 5.16.1)	<u>Multiple-Family:</u> 1 for each 5 dwellings $132/5 = 26$ bike spaces <u>Retail/Shopping Center:</u> Five (5) percent of required automobile spaces $381 \text{ spaces} \times 5\% = 19$ bike spaces Total = 45 bike spaces	26 spaces provided (both in garages and outside) 34 spaces provided	Yes Yes	

Item	Required Code	Proposed	Meets Code	Comments
<p>Bicycle Parking General requirements (Sec. 5.16)</p>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design min. 36" height - Shall be accessible via 6 ft. paved sidewalk - When 20 or more bicycle parking spaces are required, 25% shall be covered spaces. 	<p>Multiple bike rack locations indicated (~17?)</p> <p>Bike rack detail shown sheet L-1.11 – 33" height</p> <p>Covered spaces not indicated</p>	<p>Yes</p> <p>Yes</p> <p>No</p> <p>Yes</p> <p>NA</p>	<p>Bike rack shall be min. 36" height</p>
<p>Bicycle Parking Lot layout (Sec 5.16.6)</p>	<p>Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double</p>	<p>Layout plan shown sheet L-1.11</p>		
<p>Loading Space Area (Sec. 5.4.2)</p>	<p>Within TC zoning, loading space shall be provided in the rear yard (or in the interior side yard beyond the side yard setback for double frontage lots) in the ratio of 10 sq. ft. per front foot of building. Layout shall not cut off or diminish access to off-street parking spaces or service drives.</p> <p>Example: For 100 ff building, 1000 sf of loading area is required for commercial buildings</p>	<p>Phase 1 loading area locations meet requirements for location in rear yard or interior side yard.</p>	<p>No</p>	<p><i>Loading areas comply with deviations approved in PRO Agreement</i></p>

Item	Required Code	Proposed	Meets Code	Comments
Loading Space Screening (Sec. 5.4.2 B)	Loading area must be screened from view from adjoining properties and from the street.	Loading area behind Bldg B does not appear to be screened	No?	Provide screening for all loading areas
Dumpster Sec 4.19.2.F	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or no closer than 10 ft. from building if not attached - Not located in parking setback (20 ft.) - Rear lot abuts ROW, 50 ft. setback required. - Away from Barrier free Spaces 	Commercial dumpster locations appear to be acceptable No dumpsters in Residential areas	Yes?	Clarify trash collection plans for residential areas if no dumpsters are provided. Where will residents put out their collection bins?
Dumpster Enclosure Sec. 21-145. (c) Chapter 21 of City Code of Ordinances	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Details provided – see façade review for comments	Yes	
Lighting and Photometric Plan (Sec. 5.7)				
Intent (Sec. 5.7.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spill-over onto adjacent properties & reduce unnecessary transmission of light into the night sky		Yes	
Lighting Plan (Sec. 5.7.2 A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Provided	Yes	
Building Lighting (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the	Not provided	No	Expected to comply with ordinance standards; Provide details in Final Site

Item	Required Code	Proposed	Meets Code	Comments
	portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.			Plan submittal
Lighting Plan (Sec.5.7.2 A.ii)	Specifications for all proposed & existing lighting fixtures	Provided sheet 2 of 3	Yes	
	Photometric data	Provided sheet 1 of 3	Yes	
	Fixture height	Provided sheet 2 of 3	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Not provided	No	
Required Conditions (Sec. 5.7.3.A)	Light pole height not to exceed maximum height of zoning district (65 ft. for TC)	Max of 25 feet shown	Yes	
Required Conditions (Sec. 5.7.3.B&G)	<ul style="list-style-type: none"> - Electrical service to light fixtures shall be placed underground - Flashing light shall not be permitted - Only necessary lighting for security purposes & limited operations shall be permitted after a site's hours of operation 			Provide standard notes on Plan
Security Lighting (Sec. 5.7.3.H) Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> - All fixtures shall be located, shielded, and aimed at the areas to be secured. - Fixtures mounted on the building and designed to illuminate the facade are preferred. 			
Required Conditions (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Exterior Bldg C: 36.7:1, Around Pond: 28:1	No	Some areas of the site grossly vary from the 4:1 avg/min ratio. See Planning Review for detailed comment.

Item	Required Code	Proposed	Meets Code	Comments
Required Conditions (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LEDs proposed	Yes	
Min. Illumination (Sec. 5.7.3.K)	Parking areas: 0.2 min	0.3 proposed	Yes	General parking areas expected to comply with min. requirements
	Loading & unloading areas: 0.4 min	Meets min.	Yes	
	Walkways: 0.2 min	0.1 min noted in some locations	No	<i>Deviation approved in PRO Agreement</i>
	Building entrances, frequent use: 1.0 min	Appears to comply	Yes	
	Building entrances, infrequent use: 0.2 min	Appears to comply	Yes	
Max. Illumination adjacent to Non-Residential (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Complies	Yes	
Cut off Angles (Sec. 5.7.3.L)	When adjacent to residential districts: - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	No residential districts adjacent	NA	
Building Code and Other Requirements				
Accessory Structures (Sec. 4.19)	-Each accessory building shall meet all setback requirements for the zoning district in which the property is situated -Shall meet the façade ordinance standards		NA	"platform" near pond will be considered an accessory structure, as will generators, transformers, etc. Label on plans and provide dimensions
Exterior Building Wall Façade Materials (Sec. 5.15) (Sec. 3.27.1.G)	Façade Region: 1	Elevation drawings submitted	No	<i>Section 9 façade waivers approved in PRO Agreement; see Façade review for detailed comments</i>
Roof top equipment	All roof top equipment	Not shown		Provide confirmation of any

Item	Required Code	Proposed	Meets Code	Comments
and wall mounted utility equipment Sec. 4.19.2.E.ii	must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building			rooftop equipment and screening proposed
Building Code	Building exits must be connected to sidewalk system or parking lot.	Sidewalks shown on the plans	yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided – unit boundaries of site condominium proposed	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Generally provided;	Yes	Refer to review letters for missing information
Economic Impact	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Provided	Yes	
Signage See link below (Chapter 28, Code of Ordinances)	- Signage if proposed requires a permit. - <u>Signage is not regulated by the Planning Commission or Planning Division.</u>	Not reviewed at this time		<i>Sign deviations approved in PRO Agreement</i> Contact Maureen Underhill regarding sign permits <u>248-735-5602</u>
Property Address	The applicant should contact the Building Division for an address prior to applying for a building permit.	One is not required at this time. Individual lot address would require separate addresses at a later time	No	<u>Submit address application after Final Site Plan approval.</u>

Item	Required Code	Proposed	Meets Code	Comments
Project and Street Naming Committee	Some projects may need approval from the Street and Project Naming Committee.	The applicant requested Sakura Novi project name. Approved by committee	Yes	Street names will be required in order to address the units - Contact Ben Peacock at 248-347-0579 for more information
Property Split/Combination	The proposed property split/combination must be submitted to the Assessing Department for approval.	Lot combination completed	Yes	
Master Deed	Master Deed should be approved for site condominiums prior to stamping set approval	Applicant states site condominium ownership will be utilized – Unit plans shown C-2.6	Yes	Master Deed to be reviewed at time for Final Site Plan submittal
Easements	<ul style="list-style-type: none"> - Utilities - Emergency/Cross-Access Easements - Conservation Easements - ROW dedication - Etc. 	Easement plan required	Yes?	Conservation easement will be required for any woodland replacement trees, remaining wetland areas – clearly show easement boundaries on site plan Off-site Storm water discharge easement to parcel east

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

06/13/2022

Engineering Review

Sakura Novi
JSP22-0009

Applicant

Sakura Novi LLC

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: Borders Grand River Avenue, Eleven Mile Road, and Town Center Drive
- Site Size: 15.42 acres
- Plan Date: 05/24/2022
- Design Engineer: PEA Group

Project Summary

- Phase 1: Construction of commercial Buildings A, B, C, D, and residential Buildings 1-19, with associated parking.

Phase 2: Construction of optional residential Buildings 20 and 21 and associated parking.

Site access would be provided via Grand River Avenue and Eleven Mile Road.

- Water service would be provided by an 8-inch extension between the existing 12-inch water main along the north side of Eleven Mile Road and the existing 12-inch water main on the east side of Town Center Drive. There will be two (2) connections to the existing Eleven Mile Road main to provide a looped water main system on the proposed site.
- Sanitary sewer service would be provided by two (2) 8-inch extensions from the existing 8-inch sanitary sewer along the south side of Eleven Mile Road.
- Storm water would be collected by two (2) separate storm sewer collection systems, with a separate detention basin serving each. The western detention basin would be discharged to existing 12-inch storm sewer along the north side of Grand River Avenue at a controlled rate. The eastern detention basin would be discharged to on-site wetland.

Recommendation

Approval of the Preliminary Site Plan is recommended, with items to be addressed at Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance, and the Engineering Design Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

General

1. For the City-established benchmark, revise the elevation to 913.16 rather than 913.51.
2. **Only at the time of the printed Stamping Set submittal**, provide the City's standard detail sheets for water main (5 sheets), sanitary sewer (3 sheets), storm sewer (2 sheets), and paving (2 sheets). The most updated details can be found on the City's website at this location: <https://cityofnovi.org/services/public-works/engineering-division/engineering-standards-and-construction-details>
3. Provide soil borings in the vicinity of the storm water basins to determine soil conditions and to establish the high-water elevation of the groundwater table.
4. A right-of-way permit will be required from the City of Novi and Oakland County for work on Grand River Avenue and Eleven Mile Road.
5. Provide a traffic control plan for the proposed work on Eleven Mile Road. Traffic control for Grand River will be handled through the Oakland County permit.
6. As noted in the applicant's response letter, right-of-way was dedicated at the time of closing.
7. Show and label the access easement to Ecco Tool on the plans.
8. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards. Table should show number of signs proposed for each phase.
9. Traffic signs in the Road Commission for Oakland County (RCOC) right-of-way will be installed by RCOC.
10. Compacted sand backfill note is on the utility plans. Illustrate and label on the profiles, once provided.
11. Provide a construction materials table on the utility plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
12. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be

- utilized at points of conflict where adequate clearance cannot be maintained.
13. Provide a note stating if dewatering is anticipated or encountered during construction, then a dewatering plan must be submitted to the Engineering Division for review.
 14. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
 15. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
 16. Light pole located west of Building C is shown in sidewalk and shall be relocated.
 17. Label horizontal distance between the parallel sanitary sewer and water main on sheet C5.1 (maintain 10' horizontal distance between sanitary and water).
 18. For common area irrigation systems connected to public water supplies: Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).
 19. The grading and SESC sheets shall show the tree fence at least as far from the trunk as the critical root zone, defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot. No grading shall occur within the dripline. If the critical root zone is not fully protected, then replacements for that tree may be required.

Water Main

20. **The as-builts from Advance Auto (parcel 50-22-23-126-015) do not indicate that 8-inch water main was stubbed at the western boundary of their property. A revision to this proposed water main connection may be necessary. There is existing 12" watermain on east side of Town Center Drive.**
21. A tapping sleeve, valve and well is required at the connection to the existing water main. Add one at the connection to the existing 12-inch main on Town Center Drive.

22. Provide water main modeling calculations demonstrating that the required water supply of 3,000 GPM will be available (3,000 GPM requirement for residential complex).
23. Ensure there is a maximum of 800 feet between valves.
24. Per current EGLE requirement, provide a profile for all proposed water main 8-inch and larger.
25. 6-inch hydrant leads are allowed for leads less than or equal to 25 feet in length. 8-inch leads are required for leads greater than 25 feet in length. Label all hydrant lead lengths.
26. All gate valves 6" or larger shall be placed in a well with the exception of a hydrant shut off valve. A valve shall be placed in a box for water main smaller than 6".
27. Clarify whether the residential buildings will be fire-suppressed. If required by the Fire Marshal, provide a minimum 6-inch fire lead separate from the 2-inch domestic leads for each residential building with a unique shut-off valve for each.
28. Only once no further design changes are anticipated, three (3) sealed sets of revised utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application for water main construction, the Streamlined Water Main Permit Checklist, and electronic utility plan should be submitted to the Engineering Division for review. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets.

Sanitary Sewer

29. Buildings C and D have monitoring manholes unique to them, but Buildings A and B need monitoring manholes. Label all monitoring manholes as such.
30. Provide a sanitary sewer basis of design for the development on the utility plan sheet.
31. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.
32. Provide a note on the utility plan and sanitary profile stating the sanitary leads will be buried at least 5 feet deep where under the influence of pavement.
33. Provide a testing bulkhead immediately upstream of each sanitary connection point. Additionally, provide a temporary 1-foot-deep sump in the first sanitary structure proposed upstream of each connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
34. Provide profiles for the proposed sanitary sewer mains.
 - a. The furthest upstream segments of pipe without additional contributing flows shall have a minimum slope of 0.60%.

- b. Differential in manhole invert elevations shall be a maximum of 0.2 feet. Increase pipe slopes to reduce differential, or else use an internal drop structure (minimum 5-foot diameter structure required for drops).
 - c. Illustrate all pipes intersecting with manholes on the sanitary profiles.
35. Only once no further design changes are anticipated, three (3) sealed sets of revised utility plans along with the Michigan Department of Environment, Great Lakes & Energy (EGLE) permit application, electronic utility plan for sanitary sewer construction, and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Division for review. Utility plan sets shall include only the cover sheet, any applicable utility sheets, and the standard detail sheets. It should be indicated with the application if an expedited EGLE review is requested. EGLE will charge a fee that can be paid directly to the State.

Storm Sewer

- 36. A minimum cover depth of 3 feet shall be maintained over all proposed storm sewer. Currently, a few pipe sections do not meet this standard. Grades shall be elevated, and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
- 37. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
- 38. Match the 0.80 diameter depth above invert for pipe size increases.
- 39. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot-deep plunge pool.
- 40. Provide a four-foot-deep sump and an oil/gas separator in each of the last storm structure prior to discharge to the storm water basins.
- 41. Provide profiles for all storm sewer 12-inch and larger.
- 42. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
- 43. Label the 10-year HGL on the storm sewer profiles and ensure the HGL remains at least 1-foot below the rim of each structure.
- 44. Illustrate all pipes intersecting storm structures on the storm profiles.
- 45. Provide a schedule listing the casting type, rim elevation, diameter, and invert sizes/elevations for each proposed, adjusted, or modified storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
- 46. Show and label all roof conductors and show where they tie into the storm sewer.

Storm Water Management Plan

47. **Although the new Oakland County stormwater standards have not yet been adopted by the City of Novi, applicants should expect the storm water management plan to be reviewed according to the new standards. The new Oakland County stormwater standards can be found here:**
<https://www.oakgov.com/water/stormwater/Pages/Stormwater-Engineering-Design-Standards.aspx>
48. The basin shape should be such that flow entering the basin is evenly distributed and no stagnant zones can develop. An irregularly shaped basin in the best. **The inlet and the outlet shall be at opposite ends with the maximum distance possible between them.**
49. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
50. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown. **This is especially critical for the Grand River outlet for the western basin, since the plans show these existing structures as full of water.**
51. An adequate maintenance access route to each basin outlet structure and each pretreatment structures shall be provided (15 feet wide, maximum running slope of 1V:5H, maximum cross slope of 3%, and able to withstand the passage of heavy equipment).
52. Provide a 5-foot-wide stone bridge/access route allowing direct access to each standpipe from the banks of the basins during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
53. As part of the Storm Drainage Facility Maintenance Easement Agreement, provide an access easement for maintenance over the storm water detention system and the pretreatment structures. Also, include an access easement to the detention area from the public road right-of-way.
54. Provide manufacturer's details and sizing calculations for the pretreatment structures on the plans. Provide drainage area and runoff coefficient calculations specific to the area tributary to each treatment structure. The treated flow rate should be based on the 1-year storm event intensity (~1.6 In/Hr).
55. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
56. Due to maintenance concerns, each restricting orifice in the control structure shall be a minimum of **1 square-inch in size**, even though this may result in a flow rate above that calculated.
57. The flow restriction shall be accomplished by methods other than a pipe restriction in an oversized pipe due to the potential for clogging and restrictor

- removal. A perforated standpipe, weir design, baffle wall, etc. should be utilized instead.
58. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the outlet standpipe from clogging.
 59. Provide a soil boring in the vicinity of each storm water basin to determine soil conditions and to establish the high-water elevation of the groundwater table. Note the bottom of the detention facility must be a minimum of three (3) feet above the groundwater elevation.
 60. Provide supporting calculations for the runoff coefficient determination.
 61. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns) and 0.95 shall be used for all impervious surfaces.
 62. A 4-foot-wide safety shelf is required one foot below the permanent water surface elevation within the basin.
 63. Variance granted for 25' vegetative buffer around detention basin.

Paving & Grading

64. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
65. Detectable warning plates are required at all barrier free ramps, hazardous vehicular crossings, and other areas where the sidewalk is flush with the adjacent drive or parking pavement. The barrier-free ramps shall comply with current MDOT specifications for ADA Sidewalk Ramps. Provide the latest version of the MDOT standard detail for detectable surfaces.
66. Label specific ramp locations on the plans where the detectable warning surface is to be installed.
67. Provide at least 3-foot of buffer distance between the sidewalk and any fixed objects, including hydrants and irrigation backflow devices. Include a note on the plan where the 3-foot separation cannot be provided.
- 68. Show proposed grades for all adjusted sanitary, water, and storm structures.**
69. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms. Label basin slopes.
70. The sidewalk within the right-of-way shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is being maintained along the walk.
71. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
72. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high (rather than the standard 6-inch height to be provided adjacent to 19-foot stalls). Provide additional details as necessary.
73. 17-foot perimeter stalls shall have a 2' overhang area; label distance between wall and parking stalls on west side of Building C.

74. Call out the standard MDOT detail "M" approach proposed at the site entrance driveways.
75. A building permit will be required for all proposed retaining walls.

Flood Plain

76. If applicable, show the limits of the 100-year flood plain and floodway per the current FIRM maps (2006).

Soil Erosion and Sediment Control

77. A SESC permit is required. A full review has not been completed at this time. Please submit a SESC permit application under separate cover. The application can be found on the City's website at <http://cityofnovi.org/Reference/Forms-and-Permits.aspx>.

Off-Site Easements

78. Any off-site utility easements anticipated must be executed **prior to final approval of the plans**. If you have not already done so, drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

Agreements

79. License agreements will be needed for light poles located in utility easements.

The following must be submitted with the Final Site Plan:

80. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
81. An itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square yardage), right-of-way paving, grading, and the storm water basins (basin construction, control structure, pre-treatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

82. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will

then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.

83. A draft copy of the 20-foot-wide easement for the water main to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
84. A draft copy of the 20-foot-wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.
85. A draft copy of the 20-foot-wide easement(s) for the sanitary sewer monitoring manholes to be constructed on the site must be submitted to the Community Development Department. This document is available on our website.

The following must be addressed prior to construction:

86. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430). **Be advised that scheduling the pre-construction meeting can take 2-4 weeks.**
87. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). No fee is required for this permit.
88. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any onsite utilities. Contact Heather Gendron at 248-844-5400 for more information.
89. Construction inspection fees in an amount to be determined must be paid to the Community Development Department.
90. Legal escrow fees in an amount to be determined must be deposited with the Community Development Department. **All unused escrow will be returned to the payee at the end of the project** (except for escrows that are \$50 or less). This amount includes engineering legal fees only. There may be additional legal fees for planning legal documents.
91. A storm water performance guarantee in an amount to be determined (Equal to 120% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Community Development Department.
92. Water and Sanitary Sewer Fees must be paid prior to the pre-construction meeting. Contact the Treasury Department at 248-347-0498 to determine the amount of these fees.
93. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Community Development Department. Signs must be installed in accordance with MMUTCD standards.

94. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.
95. A permit for all proposed work activities within the road right-of-way must be obtained from the City of Novi. This application is available from the City Engineering Division or on the city website and can be filed once the Final Site Plan has been submitted. Please contact the Engineering Division at 248-347-0454 for further information. Please submit the cover sheet, standard details, and plan sheets applicable to the permit only.
96. A permit for work within the road right-of-way of Grand River Avenue must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the city. Provide a note on the plans indicating all work within the road right-of-way will be constructed in accordance with the RCOC standards. **Be advised that review by the RCOC may take four weeks or longer.**
97. A permit for water main construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the water main plans have been approved. Please submit the cover sheet, overall utility sheet, standard details, and plan/profile sheets applicable to the permit.
98. A permit for sanitary sewer construction must be obtained from EGLE. This permit application must be submitted through the Engineering Division after the sanitary sewer plans have been approved. Please submit the cover sheet, overall utility sheet, standard details and plan/profile sheets applicable to the permit. **Be aware that approval by both (1) Oakland County Water Resources Commissioner (OCWRC) and (2) Wayne County Department of Public Services (WCDPS) are required prior to submittal to EGLE.**
99. An NPDES permit must be obtained from EGLE since the site is over 5 acres in size. EGLE may require an approved SESC plan to be submitted with the Notice of Coverage.
100. An inspection permit for the sanitary sewer tap must be obtained from the Oakland County Water Resources Commissioner (OCWRC).
101. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).
102. **For the residential portions of the development**, the amount of the incomplete site work performance guarantee for this development at this time is to be determined (equal to 1.2 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be reduced prior to

the Temporary Certificate of Occupancy (TCO), at which time it will be based on the percentage of construction completed.

The following must be addressed prior to issuance of Temporary Certificate of Occupancy (TCO) approvals for the commercial buildings of the development, and prior to issuance of building permits for the residential buildings of the development:

103. **For the commercial portions of the development**, the amount of the incomplete site work performance guarantee for any outstanding site improvement items (limited to top course of pavement and other minor items), is calculated at 1.2 times the amount required to complete the site improvements (as specified in the Performance Guarantee Ordinance).
104. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and Engineering Division.
105. A Bill of Sale for the utilities conveying the improvements to the City of Novi must be submitted to the Community Development Department. This document is available on our website.
106. The City's consultant Engineer Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
107. Submit to the Community Development Department, Waivers of Lien from any parties involved with the installation of each utility as well as a Sworn Statement listing those parties and stating that all labor and material expenses incurred in connection with the subject construction improvements have been paid.
108. Submit a Maintenance Bond to the Community Development Department in an amount to be determined (equal to 25 percent of the cost of the construction of the utilities to be accepted). This bond must be for a period of two years from the date that the Utility Acceptance Permit is issued by the City of Novi Engineering Division. This document is available on our website.
109. Submit an up-to-date Title Policy (dated within 90 days of City Council consideration of acceptance) for the purpose of verifying that the parties signing the Easement and Bill of Sale documents have the legal authority to do so. Please be sure that all parties of interest shown on the title policy (including mortgage holders) either sign the easement documents themselves or provide a Subordination Agreement. Please be aware that the title policy may indicate that additional documentation is necessary to complete the acceptance process.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Division for an informal review and approval.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Victor Boron at (248) 735-5695 with any questions.

A handwritten signature in black ink that reads "Victor F. Boron". The signature is written in a cursive style with a long horizontal line extending to the right.

Victor Boron
Project Engineer

cc: Lindsay Bell, Community Development
Ben Croy, P.E., Engineering
Humna Anjum, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

June 14, 2022

Revised Preliminary Site Plan Landscaping

Sakura Novi

Review Type

Revised Preliminary Site Plan Landscape Review

Job

JSP22-0009

Property Characteristics

- Site Location: Northeast of Town Center and Grand River
- Site Zoning: OSC, OS-1, I-1, to be rezoned to TC-1
- Adjacent Zoning: North: 11 Mile Road, I-1, East: I-1, B-3, South: B-3, Grand River, West: TC
- Plan Date: May 24, 2022

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. This letter and the accompanying landscape chart are only summaries of the ordinance and landscape design manual and are not intended to serve as replacements for meeting all clauses of the ordinance and landscape design manual.

Recommendation

This project is **recommended for approval for Preliminary Site Plan, conditional on the applicant correcting the conditions requiring a waiver, or the Planning Commission granting the waivers.**

LANDSCAPE DEVIATIONS GRANTED BY CITY COUNCIL ON MAY 24, 2021:

COMMERCIAL:

- Insufficient parking lot perimeter trees provided (3).
- Lack of screening wall or berm for parking areas along Grand River.
- Lack of screening wall or berm for parking areas along 11 Mile Road.

RESIDENTIAL:

- Insufficient building foundation landscaping facing drives.
- Insufficient greenbelt width and berm between parking lot and 11 Mile Road
- Use of subcanopy trees for 25% of multifamily unit landscaping trees.

LANDSCAPE WAIVERS REQUIRED IN ADDITION TO THE DEVIATIONS GRANTED:

- Shortage of multi-family unit trees – 8 if Phase 2 is not built, 24 if it is - *not supported by staff.*
- Shortage of accessway perimeter trees (commercial area) – *not supported by staff.*

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

1. Provided
2. **Some utility line adjustments need to be made to allow all required trees to be planted.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

Provided

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. Deviations were granted for alternative screening along the east and south sides of the residential sections.
2. A landscape easement must be provided for the landscaping placed on the Ecco Tool property.
3. **Please continue the screening along the south side of the property to completely shield the eastern residential section from the commercial properties south of the site.**

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. COMMERCIAL – Grand River Avenue:
 - a. A landscape deviation was granted for the deficiencies in greenbelt screening.
 - b. **Please propose at least 5 canopy trees between Grand River and Building C.**
2. RESIDENTIAL EAST:
 - a. The required greenbelt width is provided everywhere along the 11 Mile Road frontage except between the ROW and the Building 12 parking lot, where 20 feet is required but only 7 feet is proposed. A landscape deviation was granted by the Planning Commission and City Council for this configuration.
 - b. Based on the frontage, 18 deciduous subcanopy greenbelt trees or 18 subcanopy trees are required and 21 are provided, 16 of which are in the right-of-way.
 - c. While no street trees are required in the TC-1 district, staff agrees that the addition of the crabapples between the curb and sidewalk as proposed for both section of residential housing would be an attractive look, so those trees can remain and be counted toward the requirement for the required greenbelt trees.
 - d. While the City appreciates the offer to maintain the trees in the right-of-way, the City DPW prefers to take over ongoing maintenance of them after they are accepted at the end of the 2-year maintenance period.
3. RESIDENTIAL WEST:
 - a. The required greenbelt width is provided for the west residential section.
 - b. The required berm or brick wall are not provided between the road and the parking lots abutting 11 Mile Road. A landscape deviation was granted for this because dense landscaping was proposed to screen the Phase 2 parking area and is proposed to be installed as part of that phase.
 - c. Based on the frontage, 26 deciduous subcanopy greenbelt trees are required and 25 are provided. **Please add 1 subcanopy tree in the greenbelt or right-of-way.**
 - d. As noted above, while the City appreciates the offer to maintain the trees in the right-of-way, the City DPW prefers to take over ongoing maintenance of them after they are accepted at the end of the 2-year maintenance period.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

COMMERCIAL (LOTS 1-4)

1. Based on the vehicular use area calculations provided, a total of 5,697 sf of interior landscape area and 23 canopy trees are required. A total of 6,186 of area and 29 trees are provided.
2. Based on the perimeter provided, 31 canopy trees are required around the four commercial lots and 33 trees, including 12 greenbelt trees, are proposed.

RESIDENTIAL (LOTS 5&6) – Lot 5 can be counted as residential since it's likely residents will use it.

1. LOT 5:
 - a. Based on the vehicular use area calculations provided, a total of 1,348 sf of interior landscape area and 7 canopy trees are required. A total of 1,907 of area and 6

- trees are provided. **Please widen the island on the north side of the entry to the east section to at least 10 feet measured at the back of curb and add a tree there.**
- b. Based on its outer perimeter, 11 perimeter canopy trees are required and are provided.
2. LOT 6:
 - a. Based on the vehicular use area calculations provided, a total of 1,106 sf of interior landscape area and 6 canopy trees are required. A total of 1,135 of area and 5 trees are provided. As the adjacent interior roadway trees north of the lot are close to the lot, the lot is accepted as is.
 - b. Based on its outer perimeter, 12 perimeter canopy trees are required and are provided.

Accessway Perimeter trees (Zoning Sec 5.5.3.C.iii) – Only Commercial

1. Based on the length of the interior drive, less driveways and roads, 20 canopy trees are required along the drive which mostly passes from Grand River through the center of the site to Parking Lot #5. Six are provided.
2. **Please add the missing trees along the route highlighted in green on the markups on the Landscape Chart. The deficiency in these trees would require a landscape waiver.**

Building Foundation Landscaping (Zoning Sec. 5.5.3.D.) – Only Commercial

1. Based on the total building perimeter for the 4 commercial buildings, a total of 10184 sf of foundation landscaping is required. A total of 7869 sf appears to be proposed, based on the table on Sheet L-1.1, a shortage of 2,315sf.
2. A landscape deviation was approved for a shortage of approximately 4600sf in foundation landscaping. As long as the totals on the chart are provided, the deviation is within the deviation approved.
3. **Please add as much foundation planting area and/or additional decorative paving around each building as possible to lower the extent of the deviation.**
4. **Please include the area of decorative paving in the calculations if any will be used.**

Multi-Family Residential Landscaping (Zoning Sec. 5.5.3.F.ii.)

1. Unit landscaping
 - a. Based on the number of units (117), 351 canopy or large evergreen trees are required to be planted throughout the residential sections of the site, including around the west pond. The plan shows a total of 343 trees that can be counted as multifamily unit trees, including excess interior roadway trees and parking lot interior and perimeter trees within the residential areas. This 8-tree shortage requires a landscape waiver.
 - b. If Phase 2 is built, the number of units is increased to 132 and the number of required trees increases to 396. The plan, including Phase 2, shows a total of 372 trees that can be counted as multifamily unit trees. This 24-tree shortage also requires a landscape waiver.
 - c. A landscape deviation was granted to allow 25% of those trees to be subcanopy trees, to provide greater diversity to the site. The 25% maximum is not exceeded in either scenario.
 - d. Arborvitae cannot be counted as large evergreen trees. In cases where the Nigra arborvitae are allowed to grow to their full height, they could be counted as subcanopy trees, but not where they are under canopy trees and need to be pruned down, and only a total of 25% of the requirement, including deciduous subcanopy trees or large evergreen shrubs, could be counted.
2. Interior drive plantings.
 - a. 21 interior street trees are required in the east residential area and 45 are provided. 13 interior street trees are required in the west residential area and 14 are proposed.

- Please see the attached image for the interior drive frontage that should be included in the calculation and revise the calculations and trees provided.**
- b. To count as an interior drive tree, it must be within 15 feet of a roadway curb.
 - c. The excess roadway trees provided may be counted as multi-family unit trees.**
 - d. See the landscape chart for a detailed analysis of this.**
3. Foundation plantings.
- a. 35% of the front of the units' front facade must be landscaped with a mix of planting types. Due to the layout of the residential section of the project, none of the required foundation plantings are located between the building and the internal drives but as the applicant has designated the fronts of all of the buildings except 1, 2, 3, 9, 10 and 11 as facing the wetland or internal open space, the proposed layout and hatching indicates that the proposed landscaping will conform to the ordinance requirement.
 - b. While the proposed layout does meet the ordinance requirements, the applicant is encouraged to provide at least some landscaping on the internal drive side of the buildings to soften what will otherwise be a very barren appearance of wide areas of paving along the long stretches of drive between the buildings. As the drives will be used extensively by residents and visitors it would be very much appreciated to do all that is possible to make those areas as attractive as possible. See the image at the bottom of the landscape chart of what is requested.**
 - c. Please provide detailed foundation planting plans as part of the Final Site Plans.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. It appears that both ponds have adequate coverage of the rim with shrubs native to Michigan.
- 2. Regarding the yellow birches now shown as being planted in the wetland beyond that pond:**
 - a. No trees or existing vegetation, except for alien invasive woody plants may be removed from the wetland to provide room for the birches.**
 - b. Please confirm that the yellow birches will survive in the wetland.**
 - c. Please confirm that you are allowed by EGLE to plant there**
 - d. If any of the above responses indicate that the trees should not be planted there, they must be planted elsewhere on the site.**
3. Phragmites is indicated as existing on the site and plans for its treatment are now provided.

Plant List (LDM 2.h. and t.)

1. Provided
2. 32 of 56 species used (57%) are native to Michigan. When building foundation plantings are added, the percentage of native species for the total site will still need to be at least 50%
3. The tree diversity guidelines for non-woodland replacement trees are met.

Planting Notations and Details (LDM)

1. Provided
2. Please see the Landscape Chart for notes about the cost estimate.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: June 14, 2022
Project Name: JSP22-0009: Sakura Novi
Plan Date: May 24, 2022
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant on the revised Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

LANDSCAPE DEVIATIONS GRANTED BY CITY COUNCIL ON MAY 24, 2021:

COMMERCIAL:

- Insufficient parking lot perimeter trees provided (3).
- Lack of screening wall or berm for parking areas along Grand River.
- Lack of screening wall or berm for parking areas along 11 Mile Road.

RESIDENTIAL:

- Insufficient building foundation landscaping facing drives.
- Insufficient greenbelt width and berm between parking lot and 11 Mile Road
- Use of subcanopy trees for 25% of multifamily unit landscaping trees.

LANDSCAPE WAIVERS REQUIRED IN ADDITION TO THE DEVIATIONS GRANTED:

- Shortage of multi-family unit trees – 8 if Phase 2 is not built, 24 if it is - *not supported by staff.*
- Shortage of accessway perimeter trees (commercial area) – *not supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> • New commercial or residential developments • Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. • 1"=20' minimum with proper North. Variations from this scale can be approved by LA • Consistent with plans throughout set 	Scale: 1"=40'	Yes	
Project Information <i>(LDM 2.d.)</i>	Name and Address	Location map is provided on the landscape plan title block	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	Address and business name on the cover sheet.	Yes	

Item	Required	Proposed	Meets Code	Comments
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	The landscape plan was created by PEA Group – Lynn Whipple	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	<u>A live signature will be required on the stamping sets.</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes – in title block	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	Site: OSC, OS-1, I-1 – to be rezoned to TC-1 with PRO <ul style="list-style-type: none"> • East: I-1, B-3 • South: B-3, Grand River Ave • West: TC • North: 11 Mile Road, I-1 	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> • Legal description or boundary line survey • Existing topography 	Sheets C-1.1, C-1.2	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> • Show location type and size. • Label to be saved or removed. • Plan shall state if none exists. 	<ul style="list-style-type: none"> • Tree survey is provided on T-1.0 and T-1.1 • All on-site trees on the site except for along the property edges are proposed to be removed. • Woodland replacement calculations are provided on Sheet L-1.1 	Yes	See Mannik & Smith & DRG letters for complete review of woodlands and wetlands.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> • As determined by Soils survey of Oakland county • Show types, boundaries 	Sheet L-1.0	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Shown on landscape plans	Yes	
Existing and proposed utilities (LDM 2.e.(4))	<ul style="list-style-type: none"> • Overhead and underground utilities, including hydrants must be shown on landscape plan. 	<ul style="list-style-type: none"> • Utilities and light poles are shown. • There are still some situations where the 	<ul style="list-style-type: none"> • Yes • No 	The storm line leading from Parking area 5 southward travels through a manhole which is centrally

Item	Required	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> Proposed light posts must also be shown. 	proposed utility layout prevents the planting of required trees and could be modified without significant effort		located in an island which should have an interior roadway tree in it. Please shift the storm line to the west to allow that tree to be planted.
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	<ul style="list-style-type: none"> Spot elevations and detention basin contours provided on Sheet C-3.1 and C-3.2 No berms are proposed 	Yes	
Snow deposit (LDM.2.g.)	Show snow deposit areas on plan	Some areas are indicated.	Yes	
LANDSCAPING REQUIREMENTS				
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed of loam with 6" top layer of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	<ul style="list-style-type: none"> A landscape deviation for the proposed screening substitution was granted by the City Council so no berms are required. The deviation was based on significant screening plantings that were proposed in place of the berms. 	<ul style="list-style-type: none"> The proposed screening along the south property line is a continuous evergreen hedge and canopy trees placed 25 feet o.c. The PRO landscaping between Building 12 and the adjoining industrial property has been restored, but the evergreen hedge is on the adjacent property. While not required, an evergreen hedge is located along part of the east 	<ul style="list-style-type: none"> South property line: No Bldg 12 buffer: No 	<ol style="list-style-type: none"> Please add a note stating that a landscape easement will be provided to allow the evergreens to be planted on the adjoining property. Please provide that <u>easement with xxx</u> Please add a callout stating that the line of deciduous trees between Building 9 and the property line must be planted 5 feet away from the underground storm line. The applicant must incorporate all hedge minimum heights into the master deed. Please extend the hedge between the

Item	Required	Proposed	Meets Code	Comments
		property line of the commercial section to screen the parking and loading area from the property to the east.		residential units and the commercial site to the south to screen the entire site
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Five retaining walls are proposed around the site.	TBD	
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		TBD		Detailed plans need to be provided with building plans for walls taller than 3.5 feet.
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii) and (LDM 1.b)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> Adjacent to pkg: 20 feet Not adjacent to pkg: 0 feet <p><i>A landscape deviation was approved for the narrower than required greenbelt buffer for the Phase 1 residential area (specifically, east of Building 1)</i></p>	<p><u>COMMERCIAL:</u> <u>Grand River Ave:</u></p> <ul style="list-style-type: none"> 20 feet adj to pkg 15 feet not adj. <p><u>11 Mile Road Residential E:</u> Adj to pkg: 7' Not adj to pkg: 17'</p> <p><u>Residential W:</u></p> <ul style="list-style-type: none"> Adj to pkg: 22' Not adj: 10' 	<p><u>Commercial:</u> Yes</p> <p><u>Residential E:</u> No (near parking lot)</p> <p><u>Residential W:</u> Yes</p>	
Berm requirements (Zoning Sec 5.5.3.A.(5))				
Min. berm crest width	<ul style="list-style-type: none"> No berm is required in TC-1 district for frontage not adjacent to parking. Per Zoning Ordinance 3-27, surface parking lots shall be screened from all public rights-of-way and internal roads by either a 2.5 foot tall ornamental brick wall or a landscaped berm. 	<ul style="list-style-type: none"> Ornamental fence with brick piers and dense landscaping is proposed along Grand River. Dense landscaping is proposed between 11 Mile Road and Parking Lot 5. 	<p><u>Grand River:</u> Yes</p> <p><u>11 Mile Road:</u></p> <p><u>Phase 1:</u> No</p> <p><u>Phase 2:</u> Yes</p>	
Minimum berm height (9)	If a berm is provided it should be at least 2.5' tall.	None	No	See above

Item	Required	Proposed	Meets Code	Comments
3' wall	(4)(7)	There are a number of retaining walls around the site.	NA	
<p>Canopy deciduous or large evergreen trees Notes (1) (10)</p>	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 25lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 30 lf frontage (net of access drives) • Only canopy/ evergreen OR subcanopy requirement must be met in TC-1, not both <p><u>11 Mile Road Residential E</u></p> <ul style="list-style-type: none"> • Not adj: (378-24)/30 = 12 trees = 18 subcanopy trees) <p><u>Residential W</u></p> <ul style="list-style-type: none"> • Adj: (60+17+17)/25 = 4 trees • Not adj: (13+367+8+30+20)/30 =15 trees <p><u>Commercial - Grand River</u></p> <ul style="list-style-type: none"> • Adj: (81+220)/25 = 12 trees • Not adj: (270+34)/30 = 10 trees <p><i>Landscape deviations were approved for the lack of the required screening walls along Grand River and 11 Mile Road but not for deficiencies in greenbelt trees.</i></p>	<p>There are a number of retaining walls around the site.</p> <p><u>11 Mile Road Residential E</u></p> <ul style="list-style-type: none"> • 0 canopy trees <p><u>Residential W</u></p> <ul style="list-style-type: none"> • 0 canopy trees <p><u>Grand River Ave</u></p> <ul style="list-style-type: none"> • 22 canopy trees including 1 tree along west entry 	<p>NA</p> <p><u>11 Mile:</u> E: Yes* W: Yes*</p> <p><u>Grand River:</u> Yes</p>	<p>11 MILE ROAD <u>Residential E</u> *The requirement is met by subcanopy trees.</p> <p><u>Residential W</u> *The requirement is met by the combination of canopy and subcanopy trees.</p> <ol style="list-style-type: none"> 1. The trees located within the right-of-way are accepted as an attractive option. 2. The City DPW would prefer to assume the long-term maintenance of the trees located in the right-of-way after they are accepted at the conclusion of the two-year maintenance period. <p>GRAND RIVER</p> <ol style="list-style-type: none"> 1. At least 5 trees must be located between Building C and Grand River, as is required for other buildings in TC-1. 2. The GB3 along the main interior drive cannot be counted as a greenbelt tree but should be counted as an interior drive tree. 3. The CR tree west of Building C can also be counted as a greenbelt tree since it is between the road and the loading area wall.

Item	Required	Proposed	Meets Code	Comments
<p>Sub-canopy deciduous trees Notes (2)(10)</p>	<ul style="list-style-type: none"> • Adjacent to pkg: 1 tree per 15lf frontage (net of access drives) • Not adjacent to pkg: 1 tree per 20 lf frontage (net of access drives) • Only canopy/ evergreen OR subcanopy requirement must be met in TC-1, not both <p><u>11 Mile Road Residential E</u></p> <ul style="list-style-type: none"> • Not adj: $(378-24)/20 = 18$ trees <p><u>Residential W</u></p> <ul style="list-style-type: none"> • Adj: $(60+17+17)/15 = 4$ trees • Not adj: $(13+367+8+30+20)/20 = 22$ trees <p><u>Grand River</u></p> <ul style="list-style-type: none"> • Adj: $(81+220)/25 = 12$ trees • Not adj: $(270+34)/30 = 10$ trees 	<p><u>11 Mile Road Residential E</u> 21 trees including 16 in the right-of-way</p> <p><u>Residential W</u> 25 trees including 1 in greenbelt</p> <p><u>Grand River Ave</u> 0 subcanopy trees</p>	<p><u>11 Mile:</u> E: Yes W: No</p> <p><u>Grand River:</u> Yes (with canopy trees)</p>	<p>Please add 1 subcanopy tree in the west Eleven Mile Road greenbelt to meet the requirement.</p>
<p>Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i></p>	<p>Street trees are not required in the TC-1 district.</p>			
<p>Cross-Section of Berms (LDM 2.j)</p>				
<p>Slope, height and width</p>	<ul style="list-style-type: none"> • Label contour lines • Maximum 33% • Constructed of loam • 6" top layer of topsoil <p><i>Landscape deviations were approved for the lack of berms</i></p>	<p>No berms are proposed</p>	<p>No</p>	
<p>Type of Ground Cover</p>		<p>None</p>	<p>No</p>	
<p>Setbacks from Utilities</p>	<p>Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole</p>	<p>The only overhead utilities are along 11 Mile Road</p>		
<p>Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)</p>				

Item	Required	Proposed	Meets Code	Comments
General requirements <i>(LDM 1.c)</i>	<ul style="list-style-type: none"> • Clear sight distance within parking islands • No evergreen trees 	Some islands will be planted with Grow Low fragrant sumac, some with lawn	Yes	
Name, type and number of ground cover <i>(LDM 1.c.(5))</i>	As proposed on planting islands	Mix of plantings noted above	Yes	
General <i>(Zoning Sec 5.5.3.C.ii)</i>				
Parking lot Islands <i>(a, b, i)</i>	<ul style="list-style-type: none"> • A minimum of 200 SF to qualify • Minimum 200 SF per tree planted in island • 6" curbs • Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> • It appears the small island on the north side of the Phase 2 parking lot entry is not wide enough (it must be 10 feet wide) • The 144sf island in Parking Lot 3 appears to be too narrow 	<ul style="list-style-type: none"> • TBD • TBD 	<ol style="list-style-type: none"> 1. To count toward the required area, an island must have at least 200sf landscape area <u>per tree</u> planted in it, and be 10 feet wide. 2. To count toward the requirement, a tree must have at least 200sf in greenspace surrounding it. Some trees do not have this area. 3. If islands/planting areas aren't sufficiently large, please enlarge them as required or remove extra trees or don't count the area or trees in them toward the total. 4. A landscape waiver is required to not provide all required islands with canopy trees that meet the areal requirements. <i>This deviation is not supported by staff.</i>
Curbs and Parking stall reduction <i>(c)</i>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft	It appears that spaces are shortened to 17 ft where possible.	Yes	
Contiguous space limit <i>(i)</i>	<ul style="list-style-type: none"> • Maximum of 15 contiguous spaces • All endcap islands should also be at least 200sf with 1 tree planted in it. 	The longest bays have 15 spaces	Yes/No	The island on the south side of the East residential breaking up the two parking bays must have a canopy tree planted in it. It can

Item	Required	Proposed	Meets Code	Comments
				be a multi-family unit tree.
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants of utility structures (manholes, catch basins) and 5 feet from underground utility lines.	Sufficient clearance is provided for all hydrants.	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Provided	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.9	Provided	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, C, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use area up to 50,000 sf x 7.5%	Residential 5: 17972sf*7.5% = 1348 sf 6: 14739sf*7.5% = 1105 sf Commercial (Lots 1-4): 1: 9775 sf*7.5%=733 sf 2: 10983 sf*7.5%=824 sf 3: 31878 sf*7.5%=2391 sf 4: 23320 sf*7.5%=1749 sf			
B = Total square footage of additional paved vehicular use areas over 50,000 SF) x 1 %	$B = x \text{ SF} \times 1\% = B \text{ sf}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands required	Residential 1348 + 1105 = 2453 sf Commercial: 733 + 824 + 2391 + 1749 = 5697 sf	Residential: 5: 1907 sf 6: 1135 sf Commercial: 1: 1009 sf 2: 945 sf 3: 2460 sf 4: 1772 sf Total: 6186 sf	Residential Yes Commercial Yes	
D = C/200 Number of canopy trees required	$D = C/200 = \text{xx Trees}$ Residential: 5: 1348 sf/200 = 7 trees 6: 1105 sf/200 = 6 trees Commercial (Lots 1-4):	Residential 5: 6 trees 6: 5 trees Commercial 1: 5 trees 2: 4 trees	Residential: No Commercial: Yes	1. Please widen the island on the north side of the entry to the east side of Parking Area #5 to 10 feet (back of curb) and add a tree to it.

Item	Required	Proposed	Meets Code	Comments
	1: 733 sf/200 = 4 trees 2: 824 sf/200 = 4 trees 3: 2391 sf/200 = 6 trees 4: 1749 sf/200 = 9 trees	3: 12 trees 4: 8 trees		2. As Lot #6 may or may not be built, the interior road trees are close enough to the bays to count as end islands so no additional trees will be necessary for that lot. 3. All residential parking lot interior and perimeter trees can be double-counted as multi-family trees.
Parking Lot Perimeter Trees (Sec 5.5.3.C.iv)	1 Canopy tree per 35 lf Greenbelt trees within 15 feet of a parking lot may be double-counted as perimeter trees. Parking lot within 20 feet of a building does not have to have perimeter trees Residential 5: 387lf/35 = 11 trees 6: 408lf/35 = 12 trees Commercial: 1: (313-108)/35 = 6 trees 2: 150/35 = 4 trees 3: 410/35 = 12 trees 4: 328/35 = 9 trees <i>A landscape deviation was approved for the lack of perimeter trees along the west side of Parking Lot #1</i>	Residential: 5: 11 trees 6: 12 trees Commercial: 1: 8 trees* 2: 4 trees 3: 11 trees* 4: 10 trees *includes double-counted greenbelt canopy trees	Residential: Yes Commercial: 1: Yes* 2: Yes 3: No 4: Yes *with deviation	1. A landscape waiver is required for any deficiencies. It would not be supported by staff. 2. While it is not required, please add the extra required tree along Parking Lot #3 to help provide additional shade.
Access way Perimeter Trees (Zoning Sec 5.5.3.C.iii footnote (5)) Only use for the commercial section	<ul style="list-style-type: none"> • 1 tree per 35lf • (100+66+200+80+75+110+40)/35 = 20 trees 	6 trees	No	1. I erroneously did not include the section of road traveling through the commercial area to the entrance of Parking Area A (the

Item	Required	Proposed	Meets Code	Comments
				<p>section passing through that is counted in the residential calculations). The commercial accessway should actually be 711 lf (see the green line on the image of L-1.2 below).</p> <ol style="list-style-type: none"> 2. Please add the required number of trees, including in the islands on the north side of the east-west drive that don't have trees, on the east side of Buildings B & C, and more along Buildings A & D. 3. Only the entrance west of Building C and the stretch north of Building A/D need to be counted in this calculation. 4. Please indicate more area for getting air and water to the trees along the buildings than just the tree grates shown – Silva cells, trench drains, etc. with details. 5. The current proposed accessway perimeter landscaping is not sufficient and would require a landscape waiver.
Parking land banked	NA	None		
Other Landscaping				
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Other Screening				
Screening of outdoor storage,		All commercial loading areas are	Yes	

Item	Required	Proposed	Meets Code	Comments
loading/unloading <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		sufficiently screened by buildings and/or landscaping.		
Transformers/Utility boxes <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> • A minimum of 2ft. separation between box and the plants • Ground cover below 4" is allowed up to pad. • No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> • Only Building C's transformer is shown. • Only conceptual landscape area is shown for it. 		<ol style="list-style-type: none"> 1. <u>Provide proper screening for all transformers and other utility boxes.</u> 2. <u>If all transformer locations are not provided on plan, please add a note stating that all transformers and other utility boxes shall be screened per the city detail.</u> 3. <u>Please add an approximate number of shrubs required to screen the number of transformers expected that do not appear on the plan as a placeholder for those shrubs.</u> 4. Please remove the optional transformer screening detail on L-1.10 as it does not meet the city standard.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF <i>(Commercial only)</i>	<ul style="list-style-type: none"> • Equal to entire perimeter of the building (less paved access areas for vehicles and man-door widths) x 8 with a minimum width of 4 ft. • $xx\text{ lf} \times 8\text{ft} = xx\text{ SF}$ • Building A&D: $641 * 8 = 5128\text{ sf}$ • Building B: $176 * 8 = 1408\text{ sf}$ • Building C: $(522-3*6-12*4) * 8 = 3648\text{ sf}$ <p>Total required = 10184 sf</p>	<ul style="list-style-type: none"> • Shaded areas indicate where the foundation landscaping will be but it's not clear that all of the shaded areas will have sufficient area. • A&D total: 3810sf • B total: 1268sf • C total: 2791sf <p>Provided: 7869 sf Shortage: 2315 sf</p>	A: No B: No C: No	<ol style="list-style-type: none"> 1. If decorative paving will be used, please highlight those areas, show their quantity and provide sample pictures of proposed textures, coloring, patterns, etc. 2. Please provide details, with total areas provided, on Final Site Plans. (This is indicated with a note on the plans)

Item	Required	Proposed	Meets Code	Comments
	<p><i>A landscape deviation was granted for the deficiency shown on the PRO plans, which was approximately 4600 sf.</i></p>			
<p>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</p>	<p>If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space</p>	<ul style="list-style-type: none"> • The proposed landscaping for Building C covers virtually the entire frontage as viewed from Grand River. • Buildings A and D are over 235 feet from Grand River. The parking lot screening is sufficient to screen those buildings. • Building B is blocked from view by Building C 	<p>Yes</p>	
<p>Multi-Family Residential (Sec 5.5.3.F.ii)</p>				
<p>Building Landscaping (Zoning Sec 5.5.3.E.ii.)</p>	<ul style="list-style-type: none"> • 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor. • East: 67 units * 3 = 201 trees required • West: 50 units *3 = 150 trees required. • Total: 351 trees • Max: 88 subcanopy trees <p>East (including Phase 2): 82 units * 3 = 246 trees</p> <ul style="list-style-type: none"> • Total: 396 trees • Max: 99 subcanopy trees <p>Multi-family unit trees may be used to meet the parking lot interior and perimeter requirements, and may be used for the excess trees when interior</p>	<ul style="list-style-type: none"> • There are more interior roadway trees provided than are required. • There is no landscaping along the rear sides of the buildings. • Arborvitae appear to be counted as evergreen trees. <p>East (not including Phase 2):</p> <ul style="list-style-type: none"> • 60 canopy trees • 54 large evergreens • 22 subcanopy trees • 11 pkg interior & perimeter trees • 25 excess interior <u>roadway trees</u> • 174 Total 	<p><u>East:</u> No</p> <p><u>West:</u> Yes</p>	<ol style="list-style-type: none"> 1. As Parking Lot #5 will likely also be used by residents of the western residential section, that parking lot can be included in the residential landscaping calculations and multifamily unit trees may be used in and around that parking lot. 2. Arborvitae may not be counted as large evergreen trees as they are large shrubs by definition. They could be counted as ornamentals or subcanopy trees, but the total of them may not exceed 25% of the total requirement. Any beyond that would

Item	Required	Proposed	Meets Code	Comments
	<p>roadway trees exceed the number required within the residential areas.</p> <p><i>A landscape deviation was granted to allow the use of subcanopy trees for 25% of the multi-family unit trees.</i></p>	<p>East (including Phase 2):</p> <ul style="list-style-type: none"> • 74 canopy trees • 72 large evergreens • 29 subcanopy trees • 3 pkg interior & perimeter trees • 25 excess interior roadway trees • 203 Total <p>West:</p> <ul style="list-style-type: none"> • 35 canopy trees • 45 large evergreens • 60 subcanopy trees • 28 pkg interior & perimeter trees • 1 excess interior roadway trees • 169 Total 		<p>not count toward the multi-family unit tree requirement.</p> <p>3. Please add trees as necessary to meet the multi-family unit tree requirement. A total of 8 more canopy trees are required on the site without Phase 2 built and a total of 24 more are required with Phase 2 built. The majority, if not all, of the additional trees should be located in the east section since that is the area that is short. A landscape waiver would be required for the shortages. It would not be supported by staff.</p> <p>4. NOTE: There are 10 woodland replacement trees shown on the plan. If 8 were converted to Multi-family unit trees and a contribution was made to the tree fund for those trees instead, the waiver would not be required if Phase 2 was not built. It would still be required for Phase 2.</p>
<p>Interior Street Landscaping – only within residential areas</p>	<p>1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives.</p> <p>East: 748lf/35 = 21 trees</p>	<p>59 trees</p> <ul style="list-style-type: none"> • East: 45 • West: 14 	<p>Yes</p>	<p>1. To count as a roadside tree it must be within 15 feet of the curb.</p> <p>2. Excess Roadway trees may be counted as Multi-family Unit trees.</p> <p>3. Please add a tree in the island across the south drive from</p>

Item	Required	Proposed	Meets Code	Comments
	<p>West: 465/35 = 13 trees</p>			<p>Building 19. 4. Some of the trees used near buildings have canopies that will be too large for their space (eg red oaks, beeches). Please use canopy tree species with narrower canopies such as tulip trees in those locations (but not columnar or fastigiate varieties).</p>
<p>Foundation Landscaping</p>	<ul style="list-style-type: none"> • 35% of building front façades must be landscaped with plantings other than lawn. • The plan was approved with the landscaping on the sides of the buildings away from the roads. 	<ul style="list-style-type: none"> • At least 35% of the front facades, as defined by the applicant, of all units are landscaped sufficiently (not the sides facing the road/drives except for Buildings 1,2,3,9, 10 and 11, whose fronts face 11 Mile Road) • Shaded areas indicate foundation landscaping that will be detailed on Final Site Plans. • No plantings are proposed between building rears, which face the interior drives, and the drives. 	<p>Yes</p>	<ol style="list-style-type: none"> 1. While the plan was approved with no landscaping along the street sides of the buildings, the site would look far nicer for vehicular traffic if at least small shrubs were planted between the garages to soften the look of the paving and buildings. Please consider something along the lines of the image below for Buildings 1-3 and 9-19. 2. Please provide detailed foundation landscaping planting in Final Site Plans.
<p>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</p>				
<p>Planting requirements (Sec. 5.5.3.E.iv)</p>	<ul style="list-style-type: none"> • Clusters of large native shrubs shall cover 70-75% of the basin rim area • 10" to 14" tall grass along sides of basin 	<ul style="list-style-type: none"> • The required coverage is provided for the west ponds with large native shrubs • Acceptable seed mix for banks is provided. • A large, wall with 	<ul style="list-style-type: none"> • Yes • Yes • No • TBD 	<ol style="list-style-type: none"> 1. Please confirm that EGLE will allow the birches to be planted in the existing wetland, and that they will survive in that location (water level, soil, sun, etc.). 2. If the yellow birches can't be planted

Item	Required	Proposed	Meets Code	Comments
		<p>no landscaping has replaced the slope shown on the PRO plans. As a result, much less than 70% of the pond edge has the required shrubs.</p> <ul style="list-style-type: none"> Yellow birches are shown as being planted in the wetland east of the wall. 		<p>there, they must be planted elsewhere on the site.</p> <p>3. <u>No wetland trees may be removed to provide room for the birches to be planted but if the area where the birches are proposed has invasive species such as buckthorn in it, those must be removed and the cut stumps treated with a concentrated herbicide to prevent their resprouting.</u></p> <p>4. While not required, it is advised to not use <i>Viburnum trilobum</i> as they are hit very hard by the viburnum leaf beetle, to the extent that many die from repeated defoliation. The diversity provided by the other species is sufficient so you could use more of those species in its place. <i>Viburnum lentago</i>, <i>Potentilla fruticosa</i>, <i>Aronia sp.</i> and <i>Myrica pensylvanica</i> also do well in Novi, and could be used as a possible substitute for <i>Viburnum trilobum</i>.</p>
<p>Phragmites Control (Sec 5.5.6.C)</p>	<ul style="list-style-type: none"> Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey. Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	<ul style="list-style-type: none"> Phragmites populations are indicated on Sheet C-4.1 Plans for its removal are also on Sheet C-4.1 	<ul style="list-style-type: none"> Yes Yes 	

Item	Required	Proposed	Meets Code	Comments
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date <i>(LDM 2.i. & Zoning Sec 5.5.5.B)</i>	<ul style="list-style-type: none"> Provide intended dates Should be between March 15 and November 15. 	Between Mar 15- Nov 15	Yes	
Maintenance & Statement of intent <i>(LDM 2.m & Zoning Sec 5.5.6)</i>	<ul style="list-style-type: none"> Include statement of intent to install and guarantee all materials for 2 years. Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	<ul style="list-style-type: none"> Yes Yes 	<ul style="list-style-type: none"> Yes Yes 	
Plant source <i>(LDM 2.n & LDM 3.a.(2))</i>	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan <i>(LDM 2.s.)</i>	<ul style="list-style-type: none"> A fully automatic irrigation system and a method of draining is required with Final Site Plan If a different method of providing water for establishment and long-term survival of the plants will be used, please provide information on that 	No		<u>Need for final site plan</u>
Other information <i>(LDM 2.u)</i>	Required by Planning Commission			
Establishment period <i>(Zoning Sec 5.5.6.B)</i>	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. <i>(Zoning Sec 5.5.5.E)</i>	City must approve any substitutions <u>in writing</u> prior to installation.	Yes	Yes	
Plant List (LDM 2.h., 4) – Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> The tree diversity meets the requirements of LDM 4 32 of 56 (57%) species used are native to Michigan 	<ul style="list-style-type: none"> No Yes 	Please increase the number of Hackberry above at the expense of non-natives to make the native representation more substantive.

Item	Required	Proposed	Meets Code	Comments
		<ul style="list-style-type: none"> • Frontier elm is not native to Michigan (it's a hybrid of non-native species) • Ornamental onion, mugo pine, fragrant viburnum and that species of beebalm are not native species • Diervilla lonicera is a native species 		
Type and amount of lawn		Yes – all areas' groundcover are clearly shown with hatching.	Yes	
Cost estimate (LDM 2.f)	For all new plantings, mulch, seed and sod as listed on the plan	No		<p>Please add on Final Site Plans. Use these standard costs:</p> <ul style="list-style-type: none"> • <u>Canopy tree: \$400ea</u> • <u>Subcanopy tree: \$375 ea</u> • <u>Evergreen tree: \$375 ea</u> • <u>Shrubs: \$50 ea</u> • <u>Perennials \$15 ea</u> • <u>Seed \$3/syd</u> • <u>Sod \$3/syd</u> • <u>Mulch \$35/cyd</u>
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	<u>Please change callout #13 to say 3 guys per tree, not 2.</u>
Evergreen Tree		Yes	Yes	<u>Please change callout #13 to say 3 guys per tree, not 2.</u>
Multi-stem Tree		Yes	Yes	<u>Please change callout #13 to say 3 guys per tree, not 2.</u>
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection	Located at Critical Root	Detail shows fence	No	<u>Please note and show</u>

Item	Required	Proposed	Meets Code	Comments
fencing	Zone (1' outside of dripline)	at dripline		<u>the fence in a circle at 1 foot outside the tree's widest dripline</u>
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Refer to Landscape Design Manual for requirements	On plant list	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	A species of clumping bamboo is used in isolated locations.	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	Ornamentals are used near the overhead wires.	Yes	
Collected or Transplanted trees (LDM 3.f)		None		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. 	Yes	Yes	

NOTES:

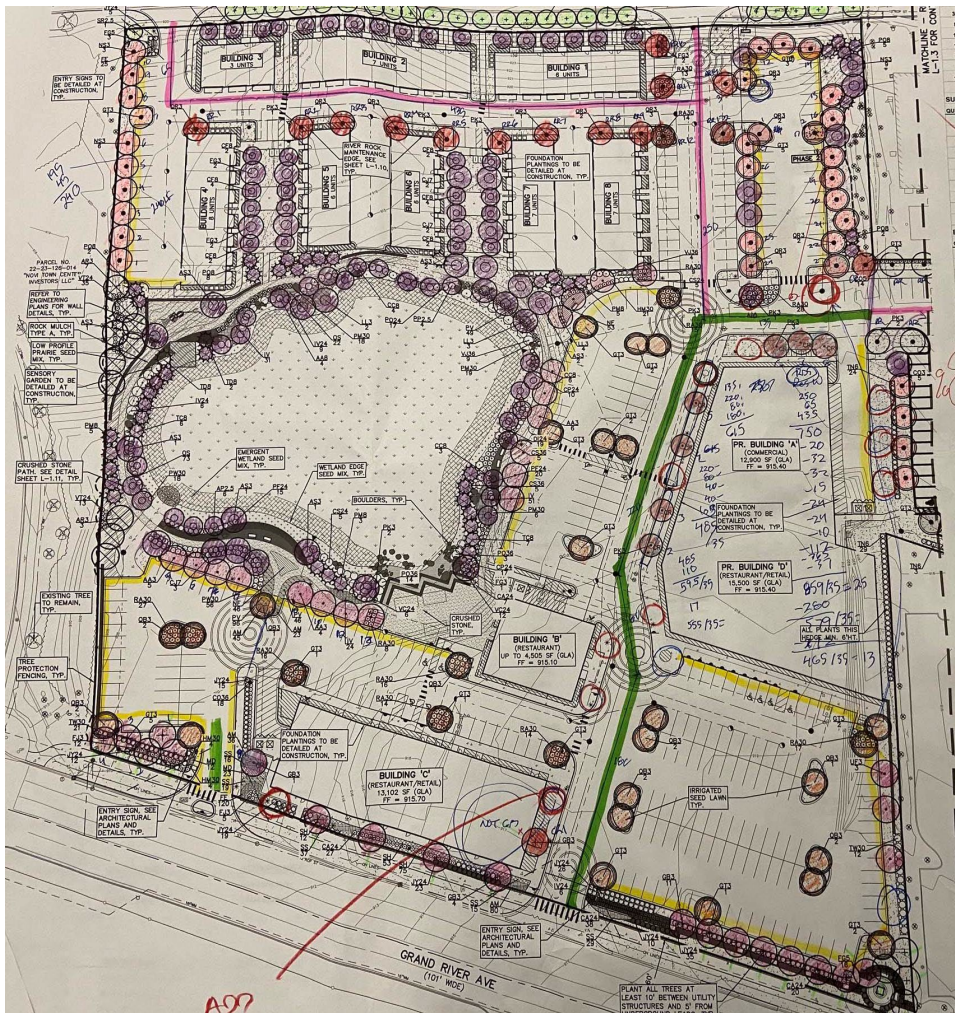
- This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
- The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design

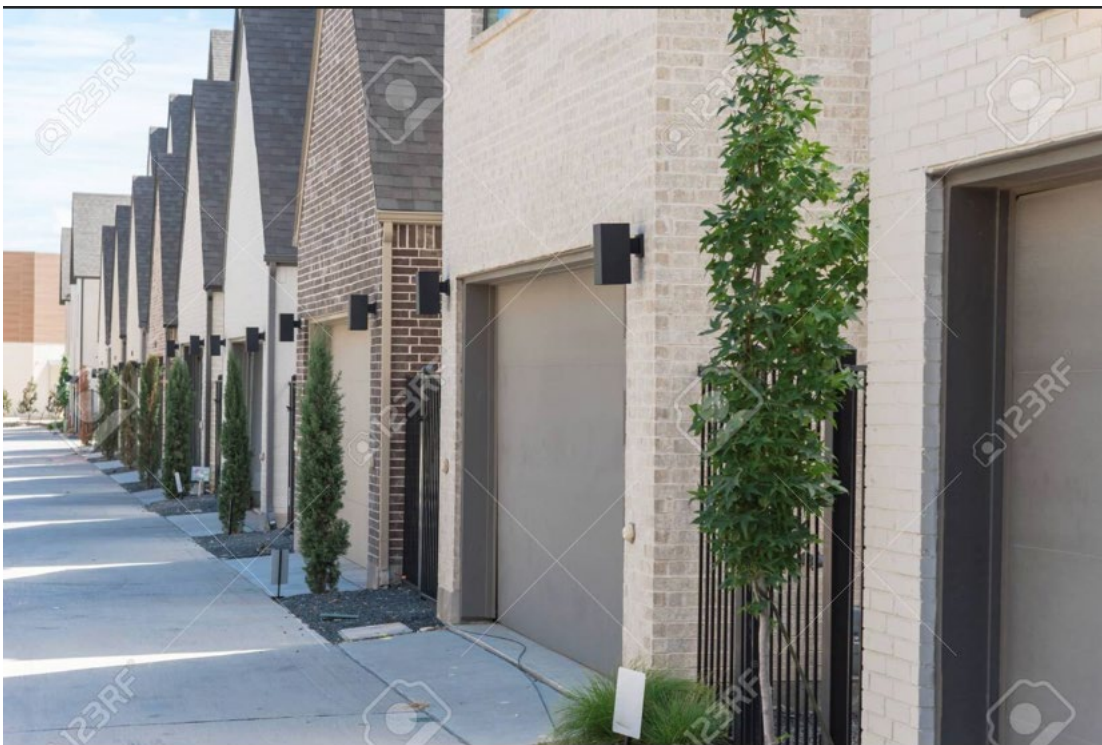
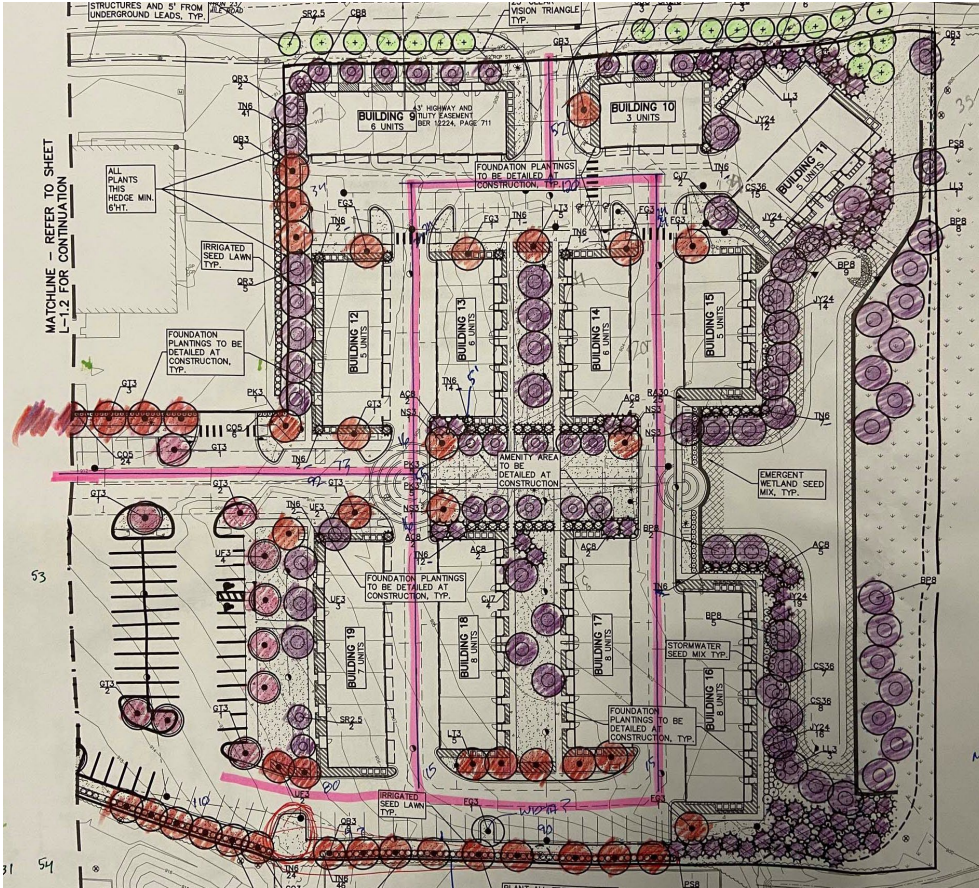
Item	Required	Proposed	Meets Code	Comments
3.	Manual for the appropriate items under the applicable zoning classification. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.			

Landscape markups

Pink line = Multi-family interior roadway

Green line = Commercial accessway





Concept for trees between garages

WETLAND REVIEW



June 16, 2022

Lindsay Bell
City of Novi Planner
Department of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

RE: Sakura Novi; JSP22-09
Wetland Review of Revised Preliminary Site Plan, Revision 1
MSG Project No. N1030100

Dear Ms. Bell:

The Mannik & Smith Group, Inc. (MSG) completed a review of the revised *Preliminary Site Plans, Sakura Novi* prepared by PEA Group, dated May 24, 2022 (rPSP). The project site is located north of Grand River Avenue and east of Town Center Drive, tax parcel 50-22-23-126-018, in Section 23 (Site). According to the City of Novi’s online property information, the subject property is approximately 15.42 acres and consists of the combined tax parcels 50-22-23-126-006, 50-22-23-126-017, and 50-22-23-226-008 as of September 22, 2021. Four buildings are depicted on the Site. The PSP depicts construction of 22 multi-unit residential buildings, four retail/restaurant buildings, associated paved parking, landscaping, utilities, detention basins, and other improvements.

Published Data

MSG reviewed The City of Novi Wetlands Maps and the Michigan Department of Environment, Great Lakes, and Energy (EGLE) Wetlands Map Viewer for the Site. The Site contains City-regulated wetlands (Figure 1). The Site also contains hydric (wetland) soil (Figure 2). Hydric soil is mapped by the U.S. Department of Agriculture, Natural Resource Conservation Service.

MSG Wetland Boundary Verification

The rPSP depicts the locations and provides brief descriptions of four wetlands on the Site, as summarized below.

Wetland Number	Wetland			Natural Features Setback Buffer Area	
	Area	Fill Area	Fill Volume	Area	Impact Area
1	313 SF	Not quantified	Not quantified	5,852 SF	Not quantified
2	31,889 SF	Not quantified	Not quantified	29,970 SF	Not quantified
3	718 SF	Not quantified	Not quantified	3,167 SF	Not quantified
4	22,435 SF	Not quantified	Not quantified	23,308 SF	Not quantified
Total	55,355 SF (1.27 acre)	Not quantified	Not quantified	62,297 SF (1.43 acre)	Not quantified

SF = Square Feet

MSG evaluated Site conditions on March 10, 2022 relative to an earlier version of the Site plans. The observed conditions at the Site generally consisted of vacant land covered with gravel, grass, or pavement on the western portion and herbaceous and woody vegetation on the eastern portion. A pond with steep banks was observed in the western area of the property; this pond is identified as Wetland 2 in the PSP. The area identified as Wetland 4



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N1030100.Wetland Review.rPSP-Rev1.docx

exhibited the highest quality functional characteristics due to its generally undisturbed state and being contiguous with offsite wetlands.

Consistent wetland delineation flagging was not observed at the Site during MSG’s March 2022 Site visit. Wetland delineation markers were not observed at Wetland 1. Sparse aged pink ribbons were observed at Wetlands 2 and 3. A profusion of pink, orange, and blue ribbons of varying ages was observed at and in the area of Wetland 4, and the wetland boundaries depicted by the various ribbons were unclear and often conflicting. Chapter 4, Section 2 of the City of Novi Site Plan and Development Manual clearly states, “The boundary lines of any watercourses or wetlands on property should be clearly flagged or staked and such flagging or staking shall remain in place throughout the conduct of permit activity.”

According to the May 23, 2022 “Atwell Response to Review Letter” prepared by Atwell, LLC on behalf of the applicant and submitted with the rPSP, Wetlands 1 through 4 were re-flagged on May 19 and 20, 2022 with pink ribbon in accordance with the wetland limits depicted in the EGLE draft permit Sheet 02 dated August 12, 2020 Revisions/Submittals. MSG did not conduct a second Site inspection for review of the rPSP.

Proposed Impacts

The rPSP does not quantify the areas of wetland or buffer impact. It appears 100% of Wetlands 1 and 3 and their associated buffers are proposed to be filled, and portions of Wetlands 2 and 4 and their associated buffers are proposed to be filled. **The area of buffer impact, and the area and volume of wetland fill, must be quantified on site plans.**

Permits and Regulatory Status

The previous City of Novi wetlands consultant, ECT, designated all the Site wetlands as meeting the City’s essentiality criteria and that determination remains in effect. Refer to ECT’s *Wetland Review of the 2nd Revised PRO Concept Plan (PSP19-0172)*, dated January 6, 2020 for additional information on this topic.

Mitigation is required per Section 12-176 of the Novi Code of Ordinances when an activity results in 0.25-acre or greater of impairment or destruction of wetland areas that are determined to be:

- essential wetland area,
- two acres in size or greater, and/or
- contiguous to a lake, pond, river or stream.

The City of Novi regulates both wetlands and the associated 25-foot natural resources setback buffer. The 25-foot limit is measured as horizontal feet, regardless of grade change. Encroachment on the wetland buffer will require authorization from the City of Novi.

EGLE typically regulates wetlands per Administrative Rules for Part 303 that are:

- located within 500 feet of an inland lake, pond, stream, or river (applies to Wetland 4, which is near Bishop Creek), and/or
- isolated wetlands of an area of 5 acres or more.

Based on available information, the following wetland-related items appear to be required for this project:

Item	Required/Not Required/Not Applicable
Wetland Use Permit (Non-Minor/Minor)	Required, likely Non-Minor (i.e. >300 cubic yards of fill)
Wetland Mitigation	Required (per PRO Agreement, 2.41 acres of mitigation is required)
Wetland Buffer Authorization	Required
EGLE Wetland Permit	Required
Wetland Conservation Easement	Required for any proposed wetland mitigation (see comments)

Comments

1. The Wetland Edge seed mix list provided on Sheet L1.12 of the PSP was illegible.
2. Given that a City Wetland permit cannot be issued for EGLE-regulated wetlands until EGLE has issued a wetland use permit, the applicant is advised both City and EGLE requirements would apply to a mitigation plan, if applicable. The City has been provided a draft EGLE Permit from October 2020. A copy of the finalized permit must be provided to the City before a City Wetland permit may be issued.
3. According to the City Ordinance Section 12-176 (Mitigation), "Mitigation shall be provided onsite where practical and beneficial to the wetland resources. If onsite mitigation is not practical and beneficial, mitigation in the immediate vicinity, within the same watershed, may be considered. Mitigation at other locations within the city will only be considered when the above options are impractical." It is MSG's understanding that the applicant has established an agreement with the City of Novi (PRO Agreement) that allows for the applicant to purchase of EGLE Wetland Mitigation Bank credits in lieu of onsite mitigation or mitigation within the City of Novi.
4. According to the City Ordinance Section 12-173 (Review of applications), "Whenever a use permit application is granted, the body or department granting the permit shall...impose such conditions on the manner and extent of the proposed activity or use as are necessary to ensure that the intent of this article is carried out and that the activity or use will be conducted in such a manner as will cause the least possible damage, encroachment, or interference with natural resources and natural processes within the watercourse and/or wetland area. In those instances where the permit requires the preservation of a watercourse or wetland area, the grantee shall provide the city a conservation easement for such area in such form as is acceptable to the city engineer and city attorney."
5. The wetland vegetative cover currently includes non-native species. MSG recommends the applicant incorporate replacement native plantings, including trees and shrubs, in the subject property plans as well as removal of non-native invasive species.

MSG conditionally approves the rPSP for wetlands. The following corrections are required:

- The area of buffer impact was not quantified on the site plans,
- The area and volume of wetland fill were not quantified on the site plans, and
- The Wetland Edge seed mix list provided on Sheet L1.12 of the rPSP was illegible.

Please contact the undersigned if you have any questions regarding the matters addressed in this letter.

Sincerely,

The Mannik & Smith Group, Inc.



Douglas Repen, CDT

Environmental Scientist & Project Manager
Certified Storm Water Management Operator

CC: Sarah Marchioni, City of Novi Project Coordinator
Barb McBeth, City of Novi Planner
Christian Carroll, City of Novi Planner
Ben Peacock, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect

FIGURES



Figure 1

City of Novi Regulated Wetland Map. Approximate tax parcel boundaries are shown in red. Regulated Wetland areas are shown in blue.

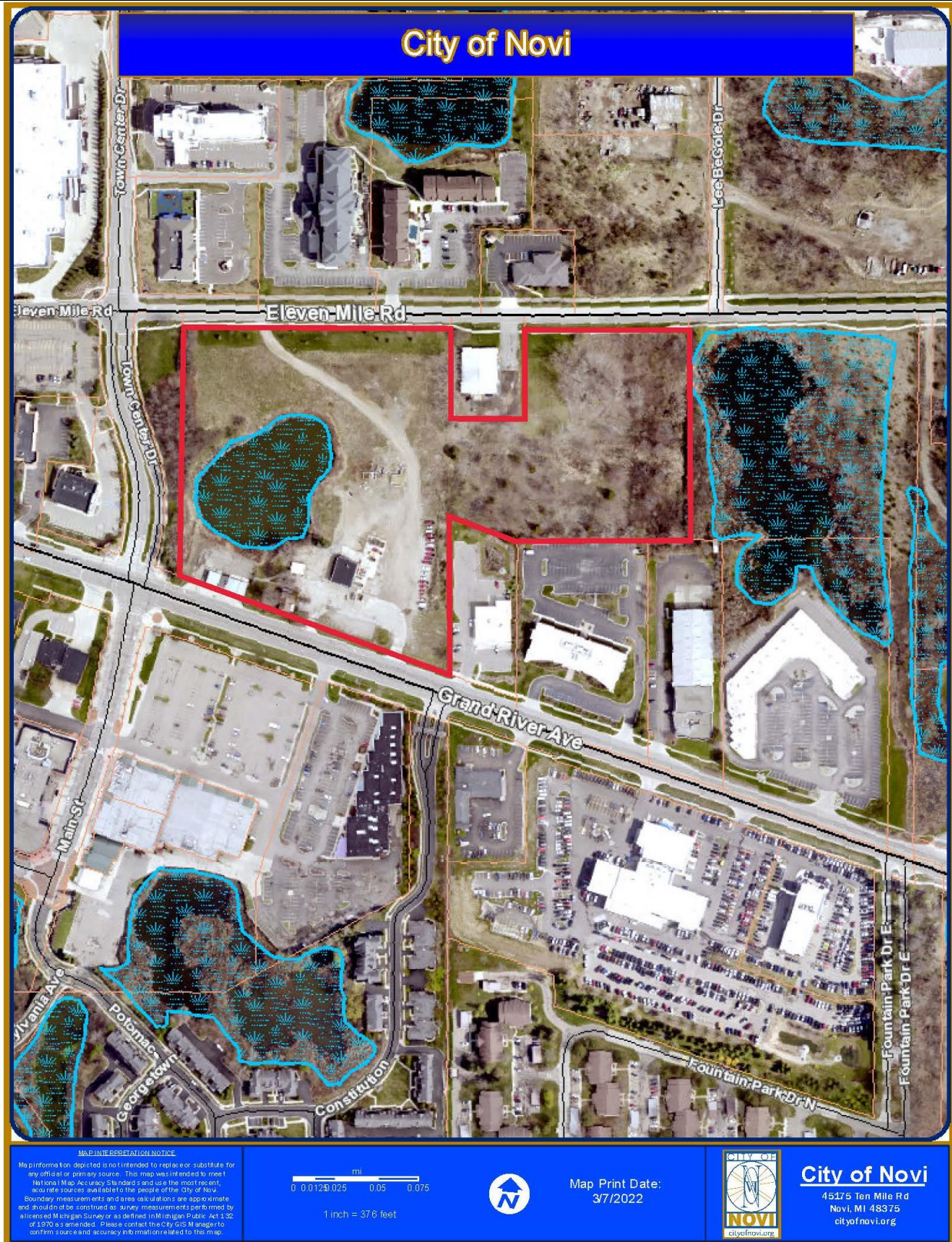
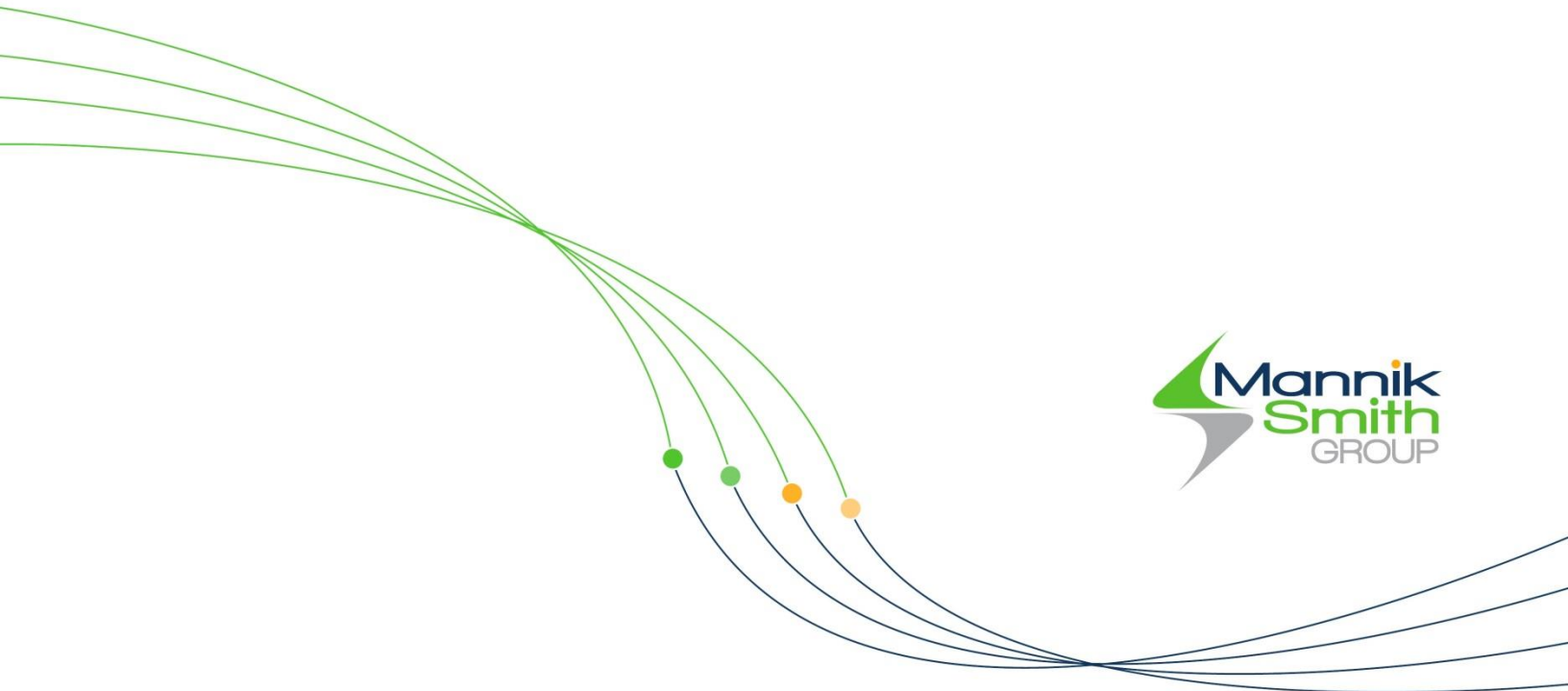


Figure 2 | EGLE Wetlands Viewer Map. Approximate Site boundary is shown in red.





WOODLAND REVIEW



Corporate Headquarters
295 South Water Street, Suite 300
Kent, OH 44240
800-828-8312

Local Office
3381 Lapeer Rd. West
Auburn Hills, MI 48326

To: Barbara McBeth, City Planner
Community Development Department, City of Novi

From: Emily Hanson, Area Manager
Davey Resource Group

CC: Christian Carroll, City of Novi Planner
Lindsay Bell, City of Novi Senior Planner
Rick Meader, City of Novi Landscape Architect
Ben Peacock, City of Novi Planning Assistant
Douglas Repen, Mannik and Smith Group
Kerry Gray, Davey Resource Group

Date: June 15, 2022

RE: Sakura
Preliminary Site Plans – Woodland Review #2 – PSP22-0023

Davey Resource Group, Inc. (DRG) has conducted a review of the revised preliminary site plans for the proposed **Sakura** development. The plan set prepared for Sakura Novi, LLC by PEA Group (dated: 02/28/2022; revised date: 05/24/2022) proposes developing the acre property as a mixed-use development in two (2) Phases. The proposed development is located at the northeast corner of Grand River Avenue and Town Center Drive in Section 23 (Parcel 50-22-23-126-018).

DRG reviewed the preliminary plan set for conformance with the City of Novi's Woodland Protection Ordinance, Chapter 37. DRG used the following documents for reference:

- Woodland Review Letter of the Sakura proposed development prepared by Environmental Consulting & Technology, Inc. (ECT) dated 01/06/2000.
- City of Novi Plan Review Center Report for the Sakura proposed development dated 05/11/2021.
- City of Novi Planned Rezoning Overlay (PRO) Agreement for the Sakura proposed development dated 09/01/2021.

Based on our review of the preliminary site plans, the above listed documents, and the City of Novi Official Regulated Woodlands Map, **the proposed development contains City-Regulated Woodlands** (Figure 1).

Recommendation: DRG recommends approval of the Sakura Preliminary Site Plans contingent upon addressing Woodland Review Comments.

The following Woodland Regulations apply to this site:

Woodland Regulation	Required
Woodland Permit (Chapter 37, Section 37-26)	YES
Tree Replacement (Chapter 37, Section 37-8) & Financial Guarantee (Chapter 26.5-5)	YES
Tree Protection (Fence) (Chapter 37, Section 37-9) & Financial Guarantee (Chapter 26.5-5)	YES
Woodland Conservation Easement (Chapter 37-30 (e))	YES

Woodland Impacts

The majority of the eastern portion of the site contains a City-regulated woodland (See Figure 1). The western half of the site has been previously disturbed and contains few regulated trees. There is a small City-regulated woodland along the western edge of the property.

The development proposes removal of 142 City-regulated trees (158 total stems) within the property boundaries.

DRG performed a site visit on March 20, 2022. Due to illegibility of tree numbers on the site plan, many trees could not be field verified, and an additional site visit was performed on June 12, 2022. Tree locations and data were confirmed on-site on June 12, 2022. Photos of the site are included in this letter.

The woodlands on-site are considered low quality with a mix of bottomland and upland tree species including eastern red-cedar, boxelder, silver maple, red maple, black locust, cottonwood, and several other species. Portions of the site are dominated by invasive species, including buckthorn and multi-flora rose.

Woodland Review Comments

1. Woodland Use Permit:

- a. **A Woodland Use Permit is required** to perform construction on any site containing regulated woodlands. The permit for this site will require Planning Commission approval.

2. Tree Protection Fencing:

- a. The site plan shows tree protection fencing to preserve City-regulated trees on the adjacent property west of the development site (Parcel 50-22-23-126-014), along the eastern edge of the development site to protect trees on the adjacent property east of the site (Parcel 50-22-23-226-042), and to preserve a narrow row of trees in the central portion of the property.
- b. **A woodland fence guarantee of \$6,000 (\$5000 x 120%) is required** per Chapter 26.5-37. The financial guarantee shall be paid prior to issuance of the City of Novi Woodland Use Permit.

c. **To determine woodland fence inspection fees - the applicant shall provide the cost (labor and supplies) for installation (including the initial location staking) and removal of tree protection fencing.**

d. Per Chapter 37, Section 37-9 – Tree Protection During Construction:

“Woodland areas shall be separated from construction areas by the installation of ‘barrier’ fencing either of plastic or wood slat materials, a copy of the fence detail is available from the parks, recreation and forestry department or the community development department. These materials shall be attached to five-foot ‘T’-poles spaced at five-foot intervals and shall have a tree protection sign affixed to the fence every fifty (50) feet in such a manner to be clearly visible to workers near the site. This barrier shall be installed at the critical root zone (CRZ) perimeter of the onsite trees to be protected prior to initiating project construction.”

e. The Critical Root Zone is defined as a circular area around a tree with a radius measured to the tree's longest dripline radius plus one (1) foot.

i. The Tree Protection Detail on page T-1.0 of the original site plan must be revised to show proper placement on the woodland protection fencing outside the CRZ of the tree (1-foot beyond the dripline).

1. **This comment has been addressed by the applicant on the revised site plan. Note, the Tree Protection Detail on page T-1.0 of the revised plan shows the tree protection fence at the dripline of the tree, when it should be placed at the critical root zone (1-foot outside the dripline); however, the text next to the detail indicates the tree protection fencing will be correctly placed 1-foot outside the dripline. See Figure 2.**

3. **Regulated-Tree Removals:**

a. The development proposes removal of 142 City-Regulated trees. Trees regulated by Chapter 37 include those that are 8-inches or greater DBH (diameter at breast height, 4.5-feet above existing grade) located within a regulated woodland and any tree 36-inches or greater DBH, irrespective of whether it is located in a regulated woodland.

b. The applicant must revise page T-1.0 of the original plan so that all tree numbers are visible. Many tree numbers proposed tree removals are illegible due to the placement of the “X”.

i. This comment has been addressed by the applicant. All tree numbers are legible on the revised site plan.

4. **Woodland Replacement Credits:**

a. The applicant is required to plant and/or pay for 286 replacement credits. See tables below.

Table 1. WOODLAND REPLACEMENT CALCULATIONS			
Tree Size (DBH)	Number of Trees	Ratio Replacement/Removed Tree	Total Replacements Required
8-11"	43	1	43
12-20"	63	2	126
21-29"	21	3	63
30+"	5	4	20
Multi Stem Trees* *credits per multi-stem tree = (sum of DBH)/8	10	*credits per multi-stem tree = (sum of DBH)/8	34
Total Required Replacement Trees			286

Table 2. WOODLAND REPLACEMENT CREDITS PROPOSED			
Type	Credit Ratio	Proposed Qty	Credits
Canopy Tree	1:1	10	10
Small Shrub	8:1	48	6
Groundcover	70 SY: 1	160 SY	1*
Total Credits			17

*Applicant has listed 160 SY groundcover as 1 replacement credit.

- b. Per the Planned Rezoning Overlay (PRO) agreement dated 09/01/2021, the applicant is required to plant 17 credits on-site. The applicant has met this requirement and has listed 17 replacement credits in the revised site plan. See Table 2 above.
- c. Per the Planned Rezoning Overlay (PRO) agreement dated 09/01/2021, 5% or less of the 17 required on-site replacement credits should be fulfilled by planting groundcover species. See Table 2 above. One (1) credit of groundcover species equals 5.88% of the total required seventeen (17) on-site replacement credits. DRG recommends approval since only one credit is being fulfilled with groundcover, and it is not possible to plant a fraction of one credit (5% of 17 credits = .85 credits).
- d. Per the City's Woodland Preservation Ordinance (Chapter 37), replacement trees shall be Michigan native species. The applicant has fulfilled this requirement by proposing the following on-site replacements.
 - i. Nine (10) 'Red Sunset' red maples – native
 - ii. Forty-eight (48) Compact American cranberry bush – native
 - iii. One hundred-sixty (160) square yards of native seed mixes - The applicant has provided the native seed mixes on Page L-1.12 of the site plan. The applicant has identified the area west of the wetland will be seeded to fulfil this credit. See Figure 3.

- e. Replacement trees shall not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the Plant Material Spacing Relationship Chart for Landscape Purposes found in the City of Novi Landscape Design Manual.
- f. **Tree Fund Credits: The applicant is required to pay \$107,600.00** (269 replacement tree credits x \$400) into the City of Novi Tree Fund.
- g. **Replacements Financial Guarantee: A Financial Guarantee of \$6,800.00** (17 tree replacement credits x \$400) will be required as part of the Woodland Use Permit fees.
- h. **The applicant shall guarantee trees for two (2) growing seasons after installation and the City's acceptance, per The City's Performance Guarantees Ordinance.**
- i. **A two-year maintenance bond in the amount of \$1,70.00** (17 tree credits x \$400 value per tree x 0.25) shall be required to ensure the continued health of the trees following acceptance (Chapter 26.5, Section 26.5-37).
- j. **The applicant shall provide conservation easements as directed by the City of Novi Community Development Department to demonstrate that all on-site replacement plantings will be preserved.**

5. **Grading:**

- a. Per the City of Novi Plan Review Center Report dated 05/11/2021:
 - i. "The grading plan is not consistent with the Tree Protection Plan in terms of trees to be saved and protected."
- b. Critical Root Zone & Tree Protection Fence. Per Chapter 37, Section 37-9(1):

"Woodland areas shall be separated from construction areas by the installation of a "barrier" fence...This barrier shall be installed at the critical root zone (CRZ) perimeter of the onsite trees to be protected prior to initiating project construction. Should it not be possible to place the protection fencing at the CRZ of a regulated tree due to practical hardship, the applicant may provide replacement value for the tree into the city tree fund. The applicant may also choose to allow the tree in question to remain at his or her option. Accurate critical root zones must be depicted on the site plan for all regulated trees within fifty (50) feet of proposed grading or construction activities."

 - i. **Grading plans on sheets C-3.1 and C-3.2 do not show the accurate location of the critical root zone of preserved regulated woodland trees and the tree protection fence appears to be within the critical root zone of preserved woodland trees.**
Revise plans to:
 - 1. Accurately depict the location of the critical root zone per Section 37-9(1)
 - 2. If tree protection fence must be located within the critical root zone of preserved regulated woodland trees, provide the woodland replacement credits required per the woodland replacement requirements outlined in

Chapter 37 and calculate the amount to be paid into the City of Novi Tree Fund.

3. The grading comments were partially addressed by the applicant in the revised plan. Figure 4 shows where grading is proposed to take place within tree protection fencing on the revised plan.
6. The applicant does not use consistent symbology for trees on the original site plan. The plan should be revised to show a tree and the critical root zone for each tree.
 - a. This comment has been addressed by the applicant in the revised site plan.



**Figure 1. Sakura Way Development
City of Novi Regulated Woodland Map**
(Light green hatched areas are regulated woodlands)

TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES.

GRADE CHANGES MAY NOT OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES.

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.

TREES LOCATED ON ADJACENT PROPERTY THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS.

PROVIDE FENCE 1' FOOT OUTSIDE THE CRITICAL ROOT ZONE/DRIP LINE OF TREE.

FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND.

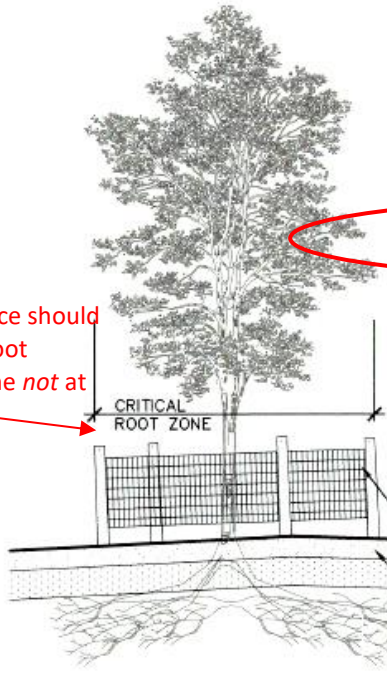
SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINE OF PROTECTED TREES.

THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.

THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED. TREES TO BE REMOVED SHALL BE FELL AWAY FROM TREES TO BE SAVED. GRUBBING OF UNDERSTORY, VEGETATION IN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT GROUND LEVEL WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.

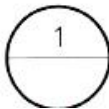
THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY PROTECTED TREE IS DAMAGED OR REMOVED.

4' HIGH PROTECTIVE FENCING WITH $\frac{5}{8}$ " OR $\frac{3}{4}$ " REROD OR EQUAL - 10' O.C. INSTALL A MIN. 24" INTO GROUND, TYP. EXISTING SOIL



Incorrect: Fence should be at CRZ, 1-foot outside dripline *not* at the dripline

Correct: Fence should be at CRZ, 1-foot outside dripline



TREE PROTECTION DETAIL

SCALE: 1" = 3'-0"

Figure 2.
Tree Protection Detail, Page T-1.0
Tree Protection Fencing is incorrectly shown at the dripline, but text on the right indicates it will be placed correctly (1-foot outside dripline)

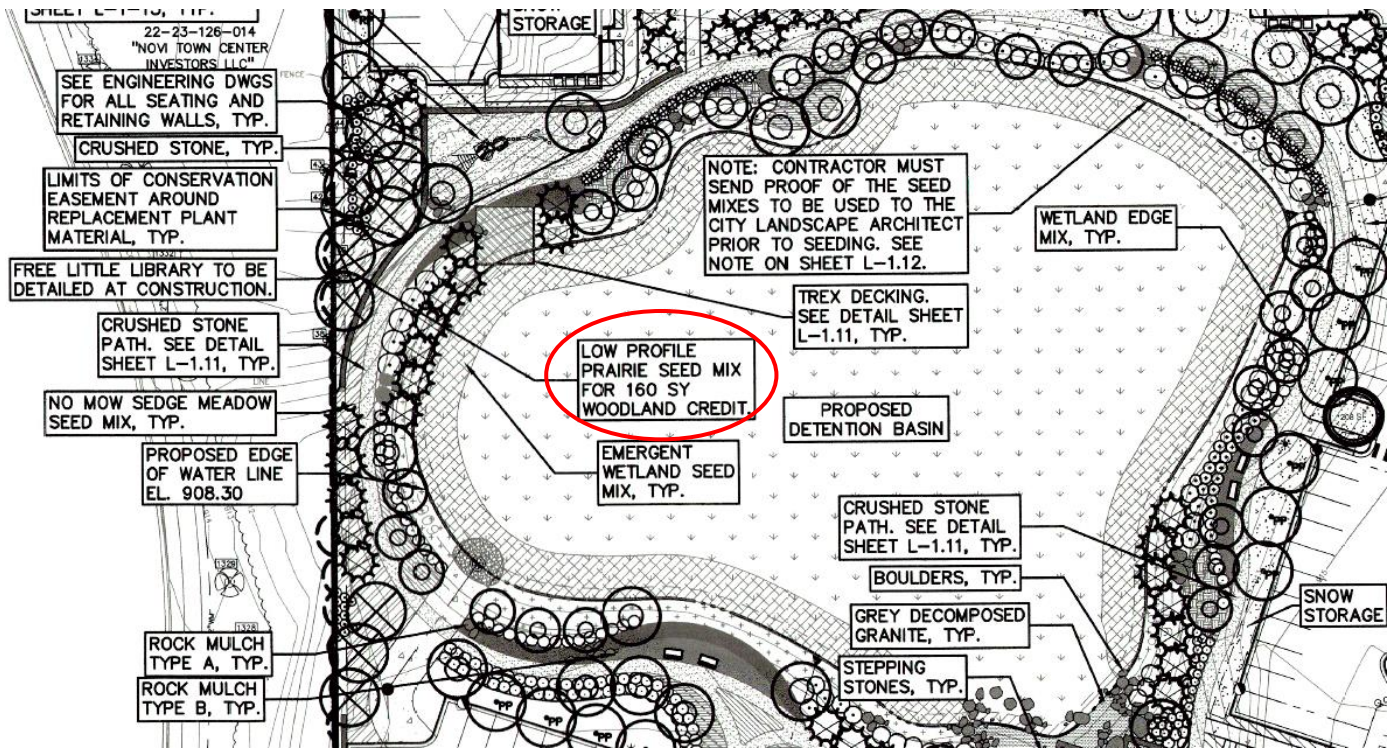


Figure 3. Page L-1.0

1 tree replacement credit will be fulfilled by seeding 160 SY of native groundcover species just west of the wetland, near the western edge of the development property

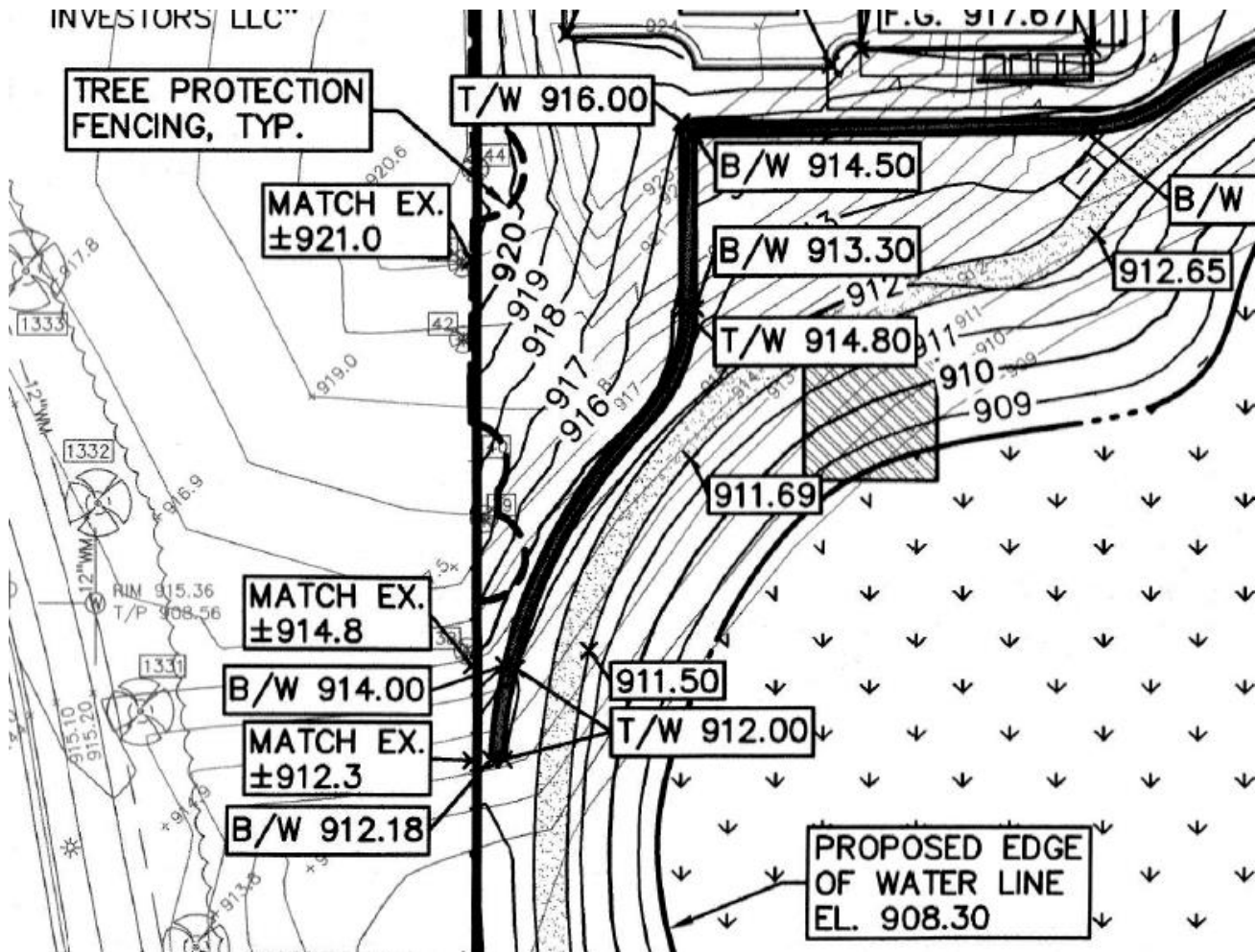


Figure 4. Page C-3.1
Proposed grading within tree protection fencing that surrounds trees proposed to be protected



Photo 1. Site Visit 03 20 2022
Regulated Woodlands, proposed to be removed
Photo taken from just south of ECCO facing south



Photo 2. Site Visit 03 20 2022
Regulated Woodlands, proposed to be removed
Photo taken from just south of ECCO facing east



Photo 3. Site Visit 03 20 2022
Narrow stretch of trees proposed to be preserved just west of ECCO
Photo taken from south end of trees facing north



Photo 4. Site Visit 03 20 2022
Western half of site largely void of trees



Photo 5. Site Visit 03 20 2022
Regulated woodland in western edge of property
Photo shows density of invasives in some portions of regulated woodland



Photo 6. Site Visit 03 20 2022
Regulated woodlands on western edge of property
Photo taken from west of woodlands facing southwest



Photo 7. Site Visit 03 20 2022
Regulated Woodlands
Photo taken from southern edge of property facing north (near tree 1288)



Photo 8. Site Visit 03 20 2022
Southwest portion of property largely void of trees
Photo taken from central portion of property facing west



Photo 9. Site Visit 06 12 2022
Regulated woodland on east side of property
No changes to site since previous site visit, tree data verified



Photo 10. Site Visit 06 12 2022
Narrow stretch of trees proposed to be preserved just west of ECCO
Photo taken from south end of trees facing north
Southern-most trees (trees closest in photo) propose to be removed

TRAFFIC REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP122-09 Sakura Way Revised Preliminary Site
Plan Traffic Review

From:
AECOM

Date:
June 13, 2022

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Lindsay Bell, Madeleine Daniels, Victor Boron,
Christian Carroll, Humna Anjum

Memo

Subject: JSP22-09 Sakura Way Revised Preliminary Site Plan Concept Traffic Review

The revised preliminary site plan was reviewed to the level of detail provided and AECOM recommends **approval for the applicant to move forward with the condition of the shared parking study to be approved** and as long as other comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Sakura Novi, LLC, is proposing a walkable mixed-use community with office space, restaurants, and 132 townhomes between Eleven Mile Road and Grand River Ave, east of Town Center Drive.
2. Eleven Mile Road is under the jurisdiction of the City of Novi. Grand River Avenue is under the jurisdiction of Oakland County.
3. The parcels are zoned TC-1 through a PRO.
4. The applicant has received the following traffic-related deviations as part of the PRO agreement:
 - a. Parking setback reduced to 5 feet for two locations on the parcel and 6 feet at another.
 - b. Loading zone reduction and side yard placement, as required with accessibility shown.
 - c. Drive lane reduction to 20-22 feet in a residential area when no parking signs are present.
 - d. 6 foot sidewalks along 11 Mile Road.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate for phase 1 based on the ITE Trip Generation Manual, 11th Edition, as follows:

ITE Code: 220 Multi-Family housing (Low-Rise), 932 High-Turnover (Sit-Down) Restaurant, 931 Fine Dining Restaurant, 710 General Office Building, 930 Fast Casual Restaurant (Not included in table below due to lack of data points for weekday and AM and out of data range for PM)

Development-specific Quantity: 132 (220), 4.51 (932), 6.28 (931), 28.5 (710)
Zoning Change: None

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	64 + 43 + 5 + 57 = 169	49 + 24 + 3 + 50 = 126	100	Yes
PM Peak-Hour Trips	77 + 41 + 49 + 59 = 226	48 + 25 + 33 + 49 = 155	100	Yes
Daily (One-Directional) Trips	921 + 483 + 527 + 389 = 2,320	N/A	750	Yes

- The number of trips exceeds the City's threshold of more than 750 trips per day and 100 trips per either the AM or PM peak hour. These estimates include only two (2) of the proposed sections of the development, which indicates that total trips for the development, including the restaurants, hotel, and office buildings, would be even greater. AECOM recommends performing the following traffic impact studies in accordance with the City's requirements.

Trip Impact Study Recommendation	
Type of Study:	Justification
Traffic Impact Study	<p>The proposed developments exceed the City of Novi thresholds for requiring a Traffic Impact Study. A revised TIS was submitted with the second revised PRO.</p> <p>As proposed land uses have changed significantly from the PRO stage, with the proposed grocery store changing to an office building, SF changes for other uses, and additional townhomes, a trip generation comparison to the most recent TIS addendum was submitted and is reviewed below.</p> <p>A revised shared parking study to be reviewed and to be approved in a separate letter.</p>

Review of Trip Generation Comparison

The applicant utilized the new 11th version of *Trip Generation* to calculate the trips generated by the development.

External and new trips for the two proposed development options feature fewer trips than the original TIS. However, Option B (consisting of a 27,000 SF market and a 2,001 SF fast-casual restaurant) would result in a very slight increase in trips over the previously approved Addendum #3's projected trips. Option A consists of a larger fast-casual restaurant (7,800 SF) as well as 12,000 SF of office space.

The increase in trips between Addendum #3 and Option A and B is not significant in all scenarios.

TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City's Code of Ordinances. Items marked with ZO are listed in the City's Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the 'Compliance' column read as 'met' for plan provision meeting the standard it refers to, 'not met' stands for provision not meeting the standard and 'inconclusive' indicates applicant to provide data or information for review and 'NA' stands for not applicable for subject Project. The 'remarks' column covers any comments

reviewer has and/or 'requested/required variance' and 'potential variance'. A potential variance indicates a variance that will be required if modifications are not made or further information provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii O Figure IX.1	30' and 35'	Met	
2	Driveway Width O Figure IX.1	24', 30', and 36'	Met	
3	Driveway Taper O Figure IX.11			
3a	Taper length	N/A	-	
3b	Tangent	N/A	-	
4	Emergency Access O 11-194.a.19	Multiple access points	Met	
5	Driveway sight distance O Figure VIII-E	360' 11 Mile approaches, 560' for Grand River approaches	Met	
6	Driveway spacing			
6a	Same-side O 11.216.d.1.d	Not dimensioned	Inconclusive	Provide dimension in future submittals.
6b	Opposite side O 11.216.d.1.e	Not dimensioned	Inconclusive	Provide dimension in future submittals.
7	External coordination (Road agency)	Not indicated	Inconclusive	Indicate permitting from RCOC for work in the county right of way.
8	External Sidewalk Master Plan & EDM	6'	Met	Deviation received for external sidewalk width of 6'.
9	Sidewalk Ramps EDM 7.4 & R-28-J	None indicated	Inconclusive	Indicate ramps at driveways.
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone ZO 5.4	5 loading zones of various sizes indicated in table, only 1 labeled on plans	Inconclusive	Applicant has indicated variances are requested for the size of 2 loading zones, which are not labeled on the plans. <u>A deviation was approved for deficiencies in loading zone size as long as it can be shown with turning movements that the space provided is sufficient.</u> The applicant should provide this justification. Truck turning movements are shown for one of the loading zones. Turning movements should be provided for the loading zone near building C and the loading zone near building B.
12	Trash receptacle ZO 5.4.4	None indicated in residential areas	Inconclusive	Applicant should indicate individual trash collection or provide trash receptacles for residential areas.
13	Emergency Vehicle Access	Turning movements provided	Met	
14	Maneuvering Lane ZO 5.3.2	22.5 to 24'	Not Met	Deviation for reductions in width from 24' down to 20-22' in areas where no parking is permitted. Applicant should indicate no parking signs along both sides the drive lanes that are narrower than 24', as per the deviation. They are currently only provided in 1 section on the northbound side.
15	End islands ZO 5.3.12			
15a	Adjacent to a travel way	15' outer radius, appears to be 3' shorter	Inconclusive	Indicate if 3' shorter is typical. Several end caps are dimensioned as not being 3' shorter.
15b	Internal to parking bays	3' radius	Met	Internal islands are permitted to be the length of the space.
16	Parking spaces ZO 5.2.12	Limited setback	Met	Deviation for parking setback is included.
17	Adjacent parking spaces ZO 5.5.3.C.ii.i	15 spaces or fewer without an island	Met	
18	Parking space length ZO 5.3.2	17' and 19' perpendicular spaces, 20' parallel	Partially Met	Overhang is shown at 17' spaces.

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
19	Parking space Width ZO 5.3.2	9' typical perpendicular, 8' parallel	Met	
20	Parking space front curb height ZO 5.3.2	4" where vehicle overhangs indicated	Met	
21	Accessible parking – number ADA	17 spaces	Met	
22	Accessible parking – size ADA	8' wide with 5' and 8' aisles	Met	
23	Number of Van-accessible space ADA	4 indicated	Met	
24	Bicycle parking			
24a	Requirement ZO 5.16.1	30 in residential areas, 40 on retail side, 70 total	Met	Applicant should correct the bicycle parking table to reflect the actual spaces provided.
24b	Location ZO 5.16.1	Multiple locations	Met	Applicant has indicated good coverage of the site with bicycle parking.
24c	Clear path from Street ZO 5.16.1	5' in many locations	Not Met	Sidewalk with vehicle overhang must be 8' to provide 6' clear path and 2' overhang.
24d	Height of rack ZO 5.16.5.B	2'9"	Not Met	3' is required
24e	Other (Covered / Layout) ZO 5.16.1	Layout provided, no covered parking indicated.	Partially Met	25% of parking provided must be covered. Presence of garage parking in residential section does not mitigate covered parking in mixed use section.
25	Sidewalk – min 5' wide Master Plan	5' wide	Met	
26	Sidewalk ramps EDM 7.4 & R-28-J	Indicated	Met	
27	Sidewalk – distance back of curb EDM 7.4	Offset mostly provided	Inconclusive	Applicant should consider providing offset where parking not present for pedestrian safety. Bollards appear to have been added along main throughway, however they are not labeled.
28	Cul-De-Sac O Figure VIII-F	N/A	-	-
29	EyeBrow O Figure VIII-G	N/A		
30	Minor/Major Drives ZO 5.10	N/A	-	-
31	Any Other Comments:			

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes MMUTCD	Included	Met	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
33	Signing table: quantities and sizes	Included	Partially Met	Include sizes and MMUTCD sign codes in table, not just in details. Verify quantities, for example there are more crosswalk signs labeled on the plans than 5.
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post MMUTCD	Not included	Not Met	
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post MMUTCD	Not included	Not Met	
36	Sign bottom height of 7' from final grade MMUTCD	Included	Met	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign MMUTCD	Included	Met	
38	FHWA Standard Alphabet series used for all sign language MMUTCD	Not included	Not Met	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity MMUTCD	Not included	Not Met	
40	Parking space striping notes	Included	Met	
41	The international symbol for accessibility pavement markings ADA	Included	Met	
42	Crosswalk pavement marking detail	Provided	Met	
43	Any Other Comments:	Stop signs should be added at driveways along 11 Mile Rd. Revise the orientation of the proposed crosswalk sign along the 25' wide road north of building A. Label van accessible spaces with both a "1" and a "2" sign. There are 2 sign symbols that are not labeled near building B.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in their entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

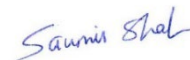
AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer



Saumil Shah, PMP
Project Manager

PARKING STUDY REVIEW



AECOM
27777 Franklin Road
Southfield
MI, 48034
USA
aecom.com

Project name:
JSP122-09 Sakura Way Shared Parking Study
Review
From:
AECOM

Date:
July 8, 2022

To:
Barbara McBeth, AICP
City of Novi
45175 10 Mile Road
Novi, Michigan 48375

CC:
Lindsay Bell, Madeleine Daniels, Victor Boron,
Christian Carroll, Humna Anjum

Memo

Subject: JSP22-09 Sakura Way Shared Parking Study Review

The Shared Parking Study was reviewed to the level of detail provided and AECOM recommends **approval** with the condition that item 2 in the Conclusions is addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The preparer utilized ITE's Parking Generation, 5th Edition and ULI's Shared Parking, 3rd Edition to calculate parking demand.
2. A 10% buffer was added for each of residential parking and commercial parking for turnover and create the presence of effective supply.
3. The preparer presented summaries for both development options, with 2 residential unit alternatives.
 - a. Alternative 1 consists of 132 residential units for a total of 301 bedrooms.
 - b. Alternative 2 consists of 117 residential units for a total of 271 bedrooms. This alternative has 50 parking spaces provided in the same space as the 2 buildings not included from alternative 1.

PARKING DEMAND SUMMARY

1. The preparer utilized the ULI Shared Parking spreadsheet for calculation of parking. The descriptions of the sheets provided in the appendix of the report indicate ITE rates were utilized. Checks on individual generation uses agree, though the spreadsheet separates out employee vs patron and the ITE Parking Generation web app does not provide information to confirm those ratios.
2. The preparer does not provide any assumptions for how the non-captive ratios were arrived at. The difference in retail parking demand between option A and option B is driven by this change.
3. The preparer indicates 76% (for Alternative 1) / 77% (for Alternative 2) res spaces as the Project data quantity and unit for "Reserved" under the residential section. In the weekday and weekend sections of the spreadsheet, Unit For Ratio is indicated as unit. What is being used to calculate this value is very unclear. As the residential demand exceeds the capacity with this calculation for weekend demand, further clarification is requested.
 - a. It is possible these spaces refer to garage spaces that are reserved solely for the use of the occupant of the building. However, the number of spaces indicated as belonging to this category does not correspond to the number of units in a 1 to 1 manner.

CONCLUSIONS

1. Of the alternatives listed, if Alternative 1 is utilized, there is projected to be insufficient parking for the demands on the property. For this reason, approval from a traffic standpoint will only be recommended if Alternative 1 is not utilized.
2. The preparer should provide a reference on the non-captive ratios.
3. The spreadsheet could be provided for review of calculations.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, PE
Traffic Engineer



Saumil Shah, PMP
Project Manager

FAÇADE REVIEW



June 13, 2022

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Façade Review Status Summary:
Buildings A, B C & D - Approved.
Residential Units – Approved

Re: **FACADE ORDINANCE REVIEW**
Sakura Way, PRO, JSP22-09
 Façade Region: 1, Zoning District: OSC & OS-1,

Dear Ms. McBeth;

The following is the Façade Review for the above referenced project. The review of Buildings A, B, C and D is based on the drawings prepared by Wah Yee Associates Architects, dated 3/24/22. The review of the residential buildings is based on the drawings prepared by 4545 Architecture dated 5/24/22 and Brian Neeper Architecture, P.C., dated 2/21/22. The proposed percentage of materials on each elevation is shown in the table below. The maximum percentage allowed by the Ordinance is shown in the right hand column. Materials in non-compliance, if any, are highlighted in red. No sample board was provided at the time of this review.

Building A & D	South (Front)	West	East	North	Façade Ordinance Section 5.15 Maximum
Brick	56%	48%	47%	55%	100% (30% Minimum)
Cast Stone	7%	6%	1%	9%	50%
EIFS	13%	21%	24%	22%	25%
Flat Metal Panels	15%	13%	0%	0%	50%
C-Brick	0%	0%	22%	0%	25%
Canopies	9%	12%	6%	14%	15%

Building A & D - As shown above, the facades are in full compliance with the Façade ordinance. A Section 9 Waiver is not required for this building.

Building B	South	West	East	North	Façade Ordinance Section 5.15 Maximum
Brick	35%	30%	30%	35%	100% (30% Minimum)
Flat Metal Panels	49%	49%	50%	50%	50%
EIFS	13%	15%	15%	10%	25%
Cast Stone	0%	0%	0%	0%	50%
Canopies	3%	6%	5%	5%	15%

Building B - As shown above, the facades are in full compliance with the Façade ordinance. A Section 9 Waiver is not required for this building.

Building C	South	West	East	North	Façade Ordinance Section 5.15 Maximum
Brick	51%	40%	32%	59%	100% (30% Minimum)
Flat Metal Panels	17%	10%	24%	12%	50%
EIFS	12%	40%	28%	12%	25%
Cast Stone	8%	4%	12%	8%	50%
Spandrel Glass	6%	0%	0%	0%	50%
Canopies	6%	6%	4%	9%	15%

Building C - As shown above the percentage of EIFS exceeds the maximum amount allowed by the Ordinance on the west and east facades. This deviation is consistent with the Section 9 Waiver previously granted in the PRO Agreement.

Fence and Dumpster Enclosure	Front	Rear	Right	Left	Façade Ordinance Section 5.15 Maximum
Brick	90%	90%	90%	90%	100% (30% Minimum)
Painted (Flat) Metal	5%	5%	5%	5%	50%
Cast Stone	5%	5%	5%	5%	50%

Site Fence and Dumpster Enclosure – As shown above, all facades are in full compliance with the Façade Ordinance. The project logo sign is not considered part of the façade materials and should comply with the City’s Sign Ordinance.

Residential Buildings	Front	Rear	Right	Left	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	33%	16%	37%	37%	100% (30% Min.)
Horizontal Siding	40%	47%	58%	58%	50%
Asphalt Shingles	14%	20%	0%	0%	50%
Trim	13%	17%	5%	5%	15%

As shown above the applicant has increased the percentage of Brick on the front façade. The remaining deviations are consistent with the Section 9 Waivers previously granted; for the overage of Cement Fiber Siding on all elevations and underage of Brick on the rear elevations. It is understood that the Horizontal Siding is cement fiber siding (vinyl siding is not permitted).

Summary of Recommendations;

Buildings A, B & D – Full Compliance, No Waivers required.

Building C – Consistent with the Section 9 Waiver previously granted.

Residential Units – Consistent with the Section 9 Waiver previously granted.

The applicant should submit revised drawings for Residential Units along with the Sample Board required by Section 5.15.4.D of the Ordinance for all façade materials on all buildings.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



March 9, 2022

TO: Barbara McBeth - City Planner
Lindsay Bell - Plan Review Center
Christian Carroll - Plan Review Center
Madeleine Daniels – Plan Review Center
Ben Peacock – Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Laura Marie Casey

Hugh Crawford

Justin Fischer

Brian Smith

Ericka Thomas

City Manager
Peter E. Auger

**Director of Public Safety
Chief of Police**
Erick W. Zinser

Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

RE: **Sakura Novi**

PSP# 22-0023

Project Description:

Build 22 multi-tenant buildings and 4 commercial structures.

Comments:

- **All** fire hydrants **MUST** be installed and operational prior to any combustible material is brought on site. **IFC 2015 3312.1**
- For new buildings and existing buildings, you **MUST** comply with the International Fire Code Section 510 for Emergency Radio Coverage. This shall be completed by the time the final inspection of the fire alarm and fire suppression permits.
- Fire hydrant spacing shall be measured as “hose laying distance” from fire apparatus. Hose laying distance is the distance the fire apparatus travels along improved access routes between hydrants or from a hydrant to a structure.
- Hydrants shall be spaced approximately three hundred (300) feet apart online in commercial, industrial, and multiple-residential areas. In cases where the buildings within developments are fully fire suppressed, hydrants shall be no more than five hundred (500) feet apart. The spacing of hydrants around commercial and/or industrial developments shall be considered as individual cases where special circumstances exist upon consultation with the fire chief. **(D.C.S. Sec. 11-68 (f)(1)c)**
- Fire department connections shall be located on the street side of buildings, fully visible and recognizable from the street or nearest point of fire department vehicle access or as otherwise approved by the code official. **(International Fire Code 912.2.1)**
- *Proximity to hydrant.* In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred feet (100') of a fire hydrant. **(International Fire Code 912.2.3).**

- Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty-five (35) tons throughout complex. **(D.C.S. Sec 11-239(b)(5)).**
- *Dead ends.* Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an approved area for turning around fire apparatus. **(International Fire Code 2015 Edition 503.2.5)**
- Fire lanes will be designated by the Fire Chief or his designee when it is deemed necessary and shall comply with the Fire Prevention Ordinances adopted by the City of Novi. The location of all “fire lane – no parking” signs are to be shown on the site plans. **(Fire Prevention Ord.)**
- All fire apparatus access roads (public and private) with a dead-end drive-in excess of one hundred fifty (150) feet shall be designed with a turn-around designed in accordance with Figure VIII-I or a cul-de-sac designed in accordance with Figure VIII-F. **(D.C.S. Sec 11-194 (a)(20))**
- Water mains and fire hydrants shall be installed prior to construction above the foundation. Note this on all plans.
- Water-main sizes shall be put on the plans for review.
- Six (6) inch diameter hydrant leads shall not exceed 25 feet in length. All hydrant leads in excess of 25 feet shall be minimum eight (8) inches in diameter. **(D.C.S. Sec. 11-68 (C)(1)c).**

Recommendation:

APPROVED WITH CONDITIONS

Sincerely,

A handwritten signature in black ink, appearing to read 'KSP', with a long horizontal flourish extending to the right.

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



SAKURA NOVI LAND DEVELOPMENT, LLC

350 N. Old Woodward Avenue, Suite 300
Birmingham, MI 48009
(248) 283-1071 Phone (248) 283-1150 Fax

July 6, 2022

Ms. Lindsay Bell
City of Novi
Planning Department
45175 Ten Mile Road
Novi, MI 48375
Email: lbell@cityofnovi.org

**Re: Preliminary Site Plan Package Submittal Response Letter to the Planning Commission
Sakura Novi & The Residences at Sakura Novi, Novi, MI**

Dear Ms. Bell,

Please find attached the requested resubmission of our Revised Preliminary Site Plan Submittal set and this developer response letter, which includes text and graphic depictions for some response clarifications for the benefit of Staff and for the Planning Commission.

Our team provides these comments to review responses, regarding staff reviews provided June 16, 2022:

REVIEW COMMENTS addressed in green:

Page 4

2. Condominium Plan (Sec. 6.3): The applicant has previously indicated ownership of the property will be organized within a Condominium. **A plan for the condominium unit boundaries has been included on Sheet C-2.6 and will need to be reviewed and approved by the Planning Commission and City Council along with the Preliminary Site Plan. Currently the plan shows 5 separate units (3 commercial and 2 residential), and some areas of general common element. The Unit Plan shows all the commercial areas as Unit 1, and both residential units as Unit 2. Each unit will need to be uniquely numbered, as the Units are not contiguous, so each will receive its own parcel number. A draft Master Deed and Exhibit B will need to be submitted for review and approval with the Final Site Plan submittal.**



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Condominium unit boundaries are being coordinated with Novi's attorney and will be shown/detailed as mutually agreed at the time of Final Site Plan submission. See **Attachment Sheet 1** for current status of discussion.

3. Recreational Amenities: In the PRO Agreement, the applicant had committed to providing a multi-generational recreational amenity in the area northwest of the pond, to be constructed concurrently with the adjacent residential units. There is a "pond platform" shown in the current plan set, and details of play area amenities are shown on sheet L-1.13. Landscaping sheet L-1.0 indicates "Sensory Garden Play Equipment" near the pond platform. However, the location for the play area amenities are not specifically shown on the civil sheets. There was also to be an Observation Plaza in the eastern area overlooking the stormwater/wetland area. Landscaping sheet L-1.0 shows a "Pond Overlook" in this location, however no seating is shown. **Please indicate the missing amenities on the civil sheets and provide additional details of the pond platform structure as well. These amenities will need to be shown with detailed plans in the Final Site Plan submittal.**

Observation Plaza detail is included – see **Attachment Sheet 6**. Pond platform draft detail is included – see **Attachment Sheet 2**.

4. Site Lighting (Sec. 5.7): The photometric plan indicates there are several areas of the site that will greatly exceed the 4:1 average to minimum ratio standard of the Ordinance. In one area, this ratio is 36.7:1. Around the pond it is 28:1. **While the PRO Agreement allows a deviation from the minimum 0.2 fc standard in various locations, the 4:1 ratio was not granted a deviation, so the applicant will need to adjust the lighting levels in order to comply at the time of Final Site Plan. Along the driveway to the west of Building C, it is unclear why a strip of lighting (Fixture type A) is proposed, as the elevations do not show a canopy in this location. This strip produces the highest light level on the site. Other similar spots with high levels should be adjusted as necessary. Near some of the parking areas that have no illumination it seems fixture type B could be used to provide some lighting for the safety of residents and guests while not producing unwanted glare into the homes.**

Revised Site Photometrics sheets have been generated and included as **Attachment Sheet 4-1 and Sheet 4-2** for the amended Phasing (that matches the original PRO), illustrating the parking area to be provided for Phase1 construction in the Phase2 area. We will be seeking a waiver from Planning Commission from the 4:1 maximum ratio – an oversight on our part when seeking our original (granted) PRO deviation for reduced lighting levels in appropriate accent and residential areas. We have further studied and refined the site lighting to achieve our final proposed design and eliminated the apparent



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hot spots that were a part of our prior submission. The linear landscape light has been removed from the photometrics sheets for the purposes of this submission.

5. Miscellaneous Corrections to be Made:

- a. Remove the note indicating additional Right of Way to be dedicated on Grand River and Eleven Mile as all ROW was dedicated at the time of property purchase (Sheet C-2.0).
- b. Remove the "Phasing Note" (Sheet C-2.0) as such commercial phasing is no longer proposed.
- c. On the western side of the site, 17.5-foot parking stalls require a 1.5-foot vehicle overhang beyond the curb. Ensure the placement of the retaining wall will not interfere (Sheet C-2.1).
- d. All parking spaces designated "Van-Accessible" require an 8-foot access aisle (Sheet C-2.1, SW of Building B).
- e. A 5-foot access aisle is required between 2 ADA spaces south of Building D (Sheet C-2.1).
- f. The 17-foot parking spaces south of Building D require a 2-foot vehicle overhang. Ensure the placement of the signs will not interfere (Sheet C-2.1).
- g. Barrier-free signage is required for the ADA spaces west of Building 19 (Sheet C-2.2).
- h. "Typical Unit B Detail" – Balcony and Garage Door labels appear to be pointing to incorrect locations (Sheet C-2.2).
- i. The Woodland Conservation Easement boundary on the landscape sheet is very difficult to read. Please ensure the easement is shown on another sheet in the plan set that is less busy (Sheet L-1.0).
- j. Ensure Lighting Plan sheets are printed correctly so they don't get cut off. Perhaps adjust layout to 24"x36" sheet.
- k. See the Planning Chart for additional items to be addressed.

These miscellaneous corrections will be made at the time of Final Site Plan submission. The detail for the Woodland Conservation easement has been included as **Attachment 2.2**.

MAJOR CONDITIONS OF PLANNED REZONING OVERLAY AGREEMENT addressed in green:

Page 5

- (1) Dedication of Rights-of-Way. **The Right of Way was excluded and dedicated at the time the property was purchased. Remove notes on the plan indicating additional ROW to be granted.**

These notes will be removed at the time of Final Site Plan Submission.



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- (5) Recreational Amenity/Pond Area. **The site plan does not specifically show the play area on the plan. A pond platform is shown on the overall site plan. Landscaping sheet L-1.0 indicates “Sensory Garden Play Equipment” near the pond platform, and details are provided on Sheet L-1.13.**

This comment will be addressed and fully detailed at Final Site Plan Submission. The area indicated as **“Sensory Garden Play Equipment”** matches the area noted as Play Area during the PRO rezoning. See **Attachment Sheet 2-2** for further clarification.

- (6) Observation Plaza. **The site plan does not currently indicate the observation plaza on the plan.**

This comment will be addressed at Final Site Plan Submission – see **Attachment Sheet 6** for omitted information.

- (14) The parties further agree that it is a condition of this Agreement that:
- a. Access for delivery trucks to serve the Retained ECCO Parcel shall be as provided in the PRO Plan, and an access agreement acceptable to all parties, including by the City as part of its final site plan review, shall be required and shall be effective before commencement of the work in Phase 1A. **This access easement has been established.**
 - b. **Twelve (12) parking spaces shall be provided on the Retained ECCO Parcel. No parking space details are included on the site plan. The applicant shall clarify if the site has the 12 spaces required.**
 - c. **Developer shall demonstrate that the Retained ECCO Parcel shall be served by the development’s overall storm water management plan as determined by the City at the time of site plan approval. The applicant shall ensure that the Stormwater Management Plan accounts for the ECCO parcel in the Final Site Plan submittal.**
 - d. Developer shall provide any utility (water and sewer) stubs to the Retained ECCO Parcel as required by the City at the time of site plan approval. **The applicant shall clarify if such stubs are proposed.**

See **Attachment Sheet 7-1 and Sheet 7-2** for graphic depiction response to **b**. The Retained Ecco Parcel will be served by the development’s overall storm water management plan, with details to be confirmed at Final Site Plan submittal. Utility stub information will also be provided as proposed.

SUMMARY OF OTHER REVIEWS addressed in green:



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Page 12

3. Wetland Review: **Wetlands recommends conditional approval at this time. The wetland fill area and volume calculations, and a legible copy of the seed mix, must be provided prior to the Planning Commission meeting.** See review letter for detailed comments.

See **Attachment Sheet 8-1** for wetland fill area and volume calculations. See **Attachment Sheet 8-2** for seed mix information.

4. Woodland Review: A City of Novi woodland permit is required for the proposed plan. **Woodlands recommends conditional approval, provided the grading can be revised to not impact the critical root zone of trees to be protected.** See review letter for additional comments to be addressed in the Final site plan submittal.

See **Attachment Sheet 3** for revised detail for critical root zone protection.

PLANNING REVIEW CHART: TC-1 with a Planned Rezoning Overlay (PRO)

Zoning and Use Requirements

Phasing

Sheet C-2.0 indicates 92 parking spaces in Phase 2 – unclear where those are located

This parking chart correction will be made at the time of Final Site Plan submission. The parking study uses all correct parking quantities as shown on site for the Phase 1 analysis. Corrected Parking Chart included as **Attachment Sheet 9**.

Parking, Loading, and Dumpster Requirements (5.3 site specific review required)
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2) - **Some 17 - 17.5 foot parking spaces do not appear to have 2' vehicle overhang – must be addressed in Final Site Plan**

These areas of concern will be addressed in Final Site Plan submission. One area of concern adjacent to a retaining wall is for a wall that turns down, not up.

Barrier Free Space Dimensions *Barrier Free Code* - **Need a 5' access aisle between 2 spaces south of Building D**

All required Barrier Free parking spaces will be detailed properly at time of Final Site Plan submission.



SAKURA NOVI LAND DEVELOPMENT, LLC

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Bicycle Parking General requirements (Sec. 5.16) Bike rack shall be min. 36” height

See **Attachment Sheet 10** for revised bike rack detail specification.

Loading Space Screening (Sec. 5.4.2 B) Provide screening for all loading areas

All required Loading Space Screening will be detailed properly at time of Building Review and Final Site Plan submission.

Dumpster Sec 4.19.2.F - Clarify trash collection plans for residential areas if no dumpsters are provided. Where will residents put out their collection bins?

See **Attachment Sheet 12** for typical plan detail for residential trash bin locations for trash collection times.

Lighting and Photometric Plan (Sec. 5.7)

Building Lighting (Sec. 5.7.2.A.iii) Expected to comply with ordinance standards; Provide details in Final Site Plan submittal

Final Commercial Building lighting intends to comply with ordinance standards, and requirements will be coordinated with tenants and submitted for approval in conjunction with final lease-up and Buildings' Submissions.

Required Conditions (Sec. 5.7.3.B&G) Provide standard notes on Plan

These notes will be included in Final Site Plan submission.

Required Conditions (Sec.5.7.3.E) Some areas of the site grossly vary from the 4:1 avg/min ratio. See Planning Review for detailed comment.

Revised Site Photometrics sheets have been generated and included as **Attachment Sheet 4-1 and Sheet 4-2** for the amended Phasing (that matches the original PRO), illustrating the parking area to be provided for Phase1 construction in the Phase2 area. We will be seeking a waiver from Planning Commission from the 4:1 maximum ratio – an oversight on our part when seeking our original (granted) PRO deviation for reduced lighting levels in appropriate accent and residential areas. We have further studied and refined the site lighting to achieve our final proposed design and eliminated the apparent hot spots that were a part of our prior submission. The linear landscape light has been removed from the photometrics sheets for the purposes of this submission.

Building Code and Other Requirements



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Accessory Structures (Sec. 4.19) “platform” near pond will be considered an accessory structure, as will generators, transformers, etc. Label on plans and provide dimensions

These labels and dimensions will be included in Final Site Plan submission. As the pond platform will be considered an accessory structure, we may require a waiver based on whether Staff determines the platform is evaluated as being regulated as fronting Grand River Avenue or 11 Mile Road. See **Attachment Sheet 2-2** for comparative dimensions, demonstrating the as-proposed location is somewhat closer to 11 Mile Road.

Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii - Provide confirmation of any rooftop equipment and screening proposed

This comprehensive information (as is available for commercial buildings) will be included in Final Site Plan submission.

Easements - Conservation easement will be required for any woodland replacement trees, remaining wetland areas – clearly show easement boundaries on site plan

The detail for the Woodland Conservation easement has been included as **Attachment 2.2**.

PLAN REVIEW CENTER REPORT 06/13/2022
Engineering Review Sakura Novi JSP22-0009

As noted in the recommendation, the listed items will be incorporated into the plans at the time of Final Site Plan submittal.

PLAN REVIEW CENTER REPORT June 14, 2022
Revised Preliminary Site Plan Landscaping Sakura Novi

Waiver requested from PC:

- A waiver is requested for the new commercial accessway perimeter calculation. This calculation was changed from the original PRO agreement. Additionally, there is not enough space to provide the additionally requested trees due to tree growing area, utilities and paved areas.

Additional comments addressed:



SAKURA NOVI LAND DEVELOPMENT, LLC

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The storm line leading from parking area 5 southward was realigned to accommodate the addition of a tree on that island.

The note regarding a landscape easement for the evergreens on the adjacent property was added to L-1.0 and L-1.1.

An additional leader was added to the callout on L-1.0 regarding trees being 5' from storm leads.

Additional minimum hedge height callouts were added to L-1.0.

The hedge between the residential units and the commercial site to the south was extended.

Please see engineering and architecture plans for decorative retaining wall details.

The City can assume long term maintenance of the trees located in the 11 mile right of way after the two-year maintenance period.

Five trees are located between Building C and Grand River as is required for buildings in TC-1. See **Attachment Sheet 14** for clarification.

The GB3 along the main drive was converted to an interior drive tree.

One subcanopy tree was added along 11 Mile Road.

All landscape parking islands showing trees are a minimum of 200 SF.

The island on the south side of the east residential breaking up the two parking bays has a tree in it.

The parking island on the north side of the east entry to parking area #5 cannot be widened without losing parking stalls. The island on the south side of the east entry has a tree in it, so it meets the requirement of having no more than 15 parking spaces without a landscape island.

The parking area #6 calculations were removed and the trees converted to multi-family symbols. A note was added to the plans referring to the comments in this review letter for future reference. All residential parking trees double counted as multi-family trees.

There are 13 perimeter parking trees now provided along Parking Lot #3 instead of the required 11 to provide additional shade.



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A waiver is requested for the new accessway perimeter trees. There is not enough space for these additional trees. Classifying these interior site parking areas as such and then successfully meeting the ordinance requirements as most-recently measured will create an unleasable condition for the commercial lease spaces fronting these parking areas.

An additional structural soil detail has been added to the detail sheet.

The optional transformer detail was removed and replaced with a previously approved Novi transformer screen detail.

Square footage of decorative paving has been added to sheet L-1.14. Please see sheet L-1.12 for details.

Multi-family trees are being used around parking area #5.

All arborvitaes have been removed as multi-family trees and additional trees have been used in their place. The replacement trees could not be replaced with multi-family trees as the woodland regulations required a minimum of 17 credits on the property. As many as possible were added to the east side of the site.

Roadside trees are all within 15' of the curb.
The island across from building 19 is not 200 SF with the sidewalk and would not be sufficient to provide space for an additional tree.

Trees species near residential buildings have been changed to tulip trees.

Landscaping has not been added along garage side of buildings due to lack of space.

Based on the wetland approvals from EGLE, the birch trees proposed in the wetland area are acceptable as they are located now.

Viburnum trilobum has been substituted with other native species.

The number of hackberry trees has been increased.

Cost opinion has been added to sheet L-1.0.

A third guy has been added to the canopy deciduous tree, evergreen tree and multi-stem tree details. See sheet L-1.10.

The tree protection detail has also been updated, see sheets L-1.10 and T-1.0.



SAKURA NOVI LAND DEVELOPMENT, LLC

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Sakura Novi; JSP22-09

Wetland Review of Revised Preliminary Site Plan, Revision 1 MSG Project No. N1030100

- The area of buffer impact was not quantified on the site plans,
- The area and volume of wetland fill were not quantified on the site plans, and
- The Wetland Edge seed mix list provided on Sheet L1.12 of the rPSP was illegible.

See **Attachment Sheet 8-1** for buffer impact areas (note PRO deviation has been granted to eliminate these setback area requirements), wetland fill area and volume calculations. See **Attachment Sheet 8-2** for seed mix information clarification.

Sakura

Preliminary Site Plans – Woodland Review #2 – PSP22-0023

Woodland fencing and staking fees have been added to sheet T-1.0.

A note has also been added to T-1.0 and the grading plan stating “Tree protection fencing shall be placed per the provided detail on this sheet, regardless of the graphic representation on the plan. Grading shall remain outside of the fence line, typ.”

The tree fencing detail verbiage has been updated per the review. Please see sheets L-1.10 and T-1.0.

JSP22-09 Sakura Way Revised Preliminary Site Plan Concept Traffic Review

- 11. A deviation was approved for deficiencies in loading zone size as long as it can be shown with turning movements that the space provided is sufficient. The applicant should provide this justification. Truck turning movements are shown for one of the loading zones. Turning movements should be provided for the loading zone near building C and the loading zone near building B.**

See **Attachment Sheet 16** for the turning movements at these loading areas.

12. Individual trash collection

See **Attachment Sheet 12** for the trash collection details.

- 14. Applicant should indicate no parking signs along both sides of the drive lanes that are narrower than 24', as per the deviation.**



SAKURA NOVI LAND DEVELOPMENT, LLC

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See **Attachment Sheet 9** for the notation to add the requested signs.

24a. Applicant should correct the bicycle parking table to reflect the actual spaces provided.

See **Attachment Sheet 9** for the bicycle parking schedule.

24d. Height of rack – 3' required

See **Attachment Sheet 10** for the bike rack detail.

43. Stop signs should be added at driveways along 11 Mile Rd. Revise the orientation of the proposed crosswalk sign along the 25' wide road north of building A. Label van accessible spaces with both a "1" and a "2" sign. There are 2 sign symbols that are not labeled near building B.

See **Attachment Sheet 5** for the notations added as requested.

In closing, we look forward to the opportunity to present to the Planning Commission and to present our motivations for the additional waivers sought. We thank you and hope your recommendation provides the impetus necessary for that body and then City Council to send us on to Final Site Plan preparations and then our construction phase.

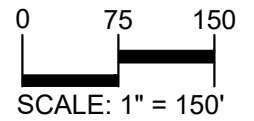
Requested Waiver summary:

- Site lighting variation of ratio to exceed 4-1 average overall across project,
- Exterior setback for pond platform if deemed necessary by staff,
- Commercial accessway perimeter calculation for landscaping.

Thank you,

Scott Aikens and Darian Neubecker
Sakura Novi & The Residences at Sakura Novi

S:\PROJECTS\2018-033 AIKEN NOV- JPB\DWG\SITE PLANS\EXHIBITS\8x11\1) CONDO EXHIBIT-18033.dwg PLOT



CLIENT

SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

PROJECT TITLE

SAKURA NOVI
PART OF THE 1/2 OF THE NW
1/4 OF SECTION 23, T.1N,
R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE

**SITE PLAN
EXHIBIT -
CONDOMINIUM**

PEA JOB NO. 2018-033

P.M. JPB

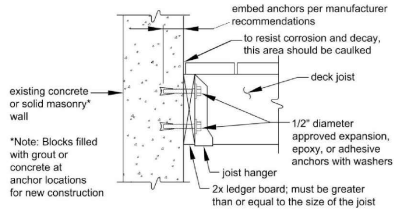
DN. LAW

DGS. GMB

DRAWING NUMBER:

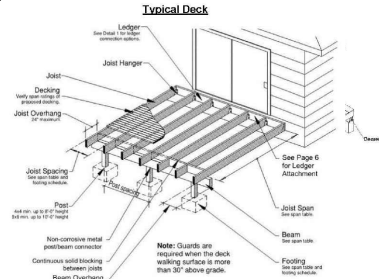
SHEET 1

S:\PROJECTS\2018-033 AIKEN NOV-1\JOB\DWG\SITE PLANS\EXHIBITS\8x11\(-1.15) LANDSCAPE EXHIBITS-18033.dwg PLOT



4 DECK JOIST BOARD AND SPLICE DETAIL

NOT TO SCALE



3 DECK JOIST BOARD AND SPLICE DETAIL

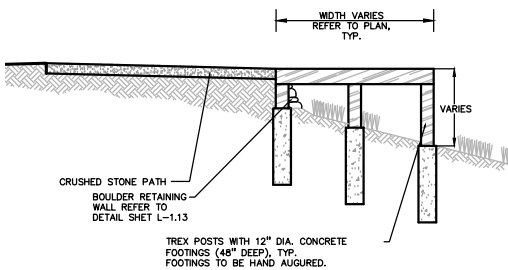
NOT TO SCALE



FEATURES	DECKING BOARDS	FASCIA BOARDS
Actual Dimensions - Standard	1.2" x 5.5"	12"
Actual Dimensions - Metric	33 mm x 140 mm	305 mm x 288 mm
Available Lengths - Standard	12', 16', 20'	12'
Available Lengths - Metric	3655 mm, 4877 mm, 6100 mm	3655 mm
Grooved Edge		
Splice Edge	X	X
Transcured Edge	X	X
Transcured Earth Tones	X	X
Weight per Linear Foot	3.6 lbs	3.3 lbs

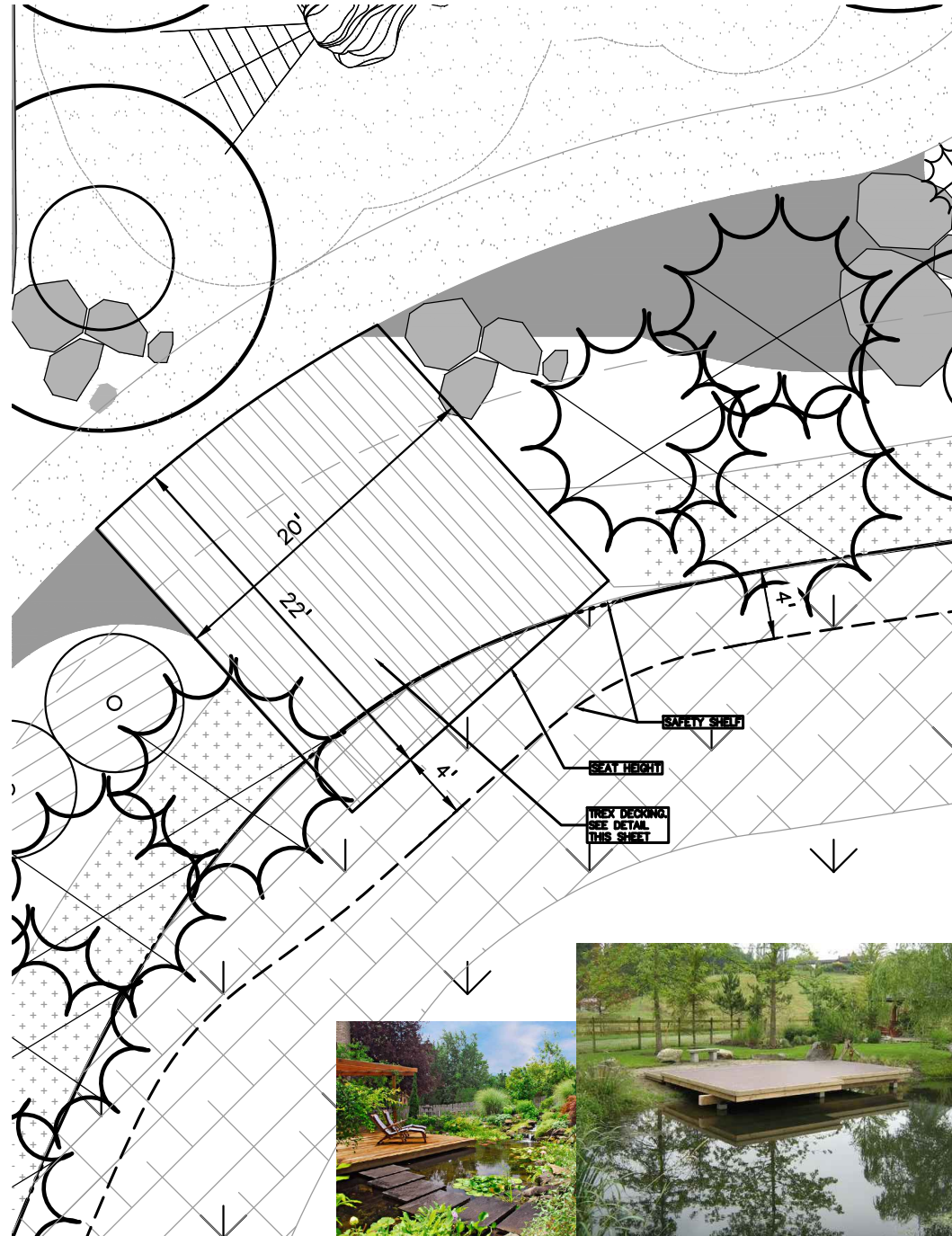
2 TREX DECKING AND FASCIA

NOT TO SCALE



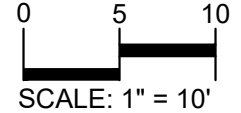
1 TREX DECKING CROSS SECTION

NOT TO SCALE



PEA GROUP

t: 844.813.2949
www.peagroup.com



CLIENT

SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

PROJECT TITLE

SAKURA NOVI
PART OF THE 1/2 OF THE NW
1/4 OF SECTION 23, T.1N,
R.8E,
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

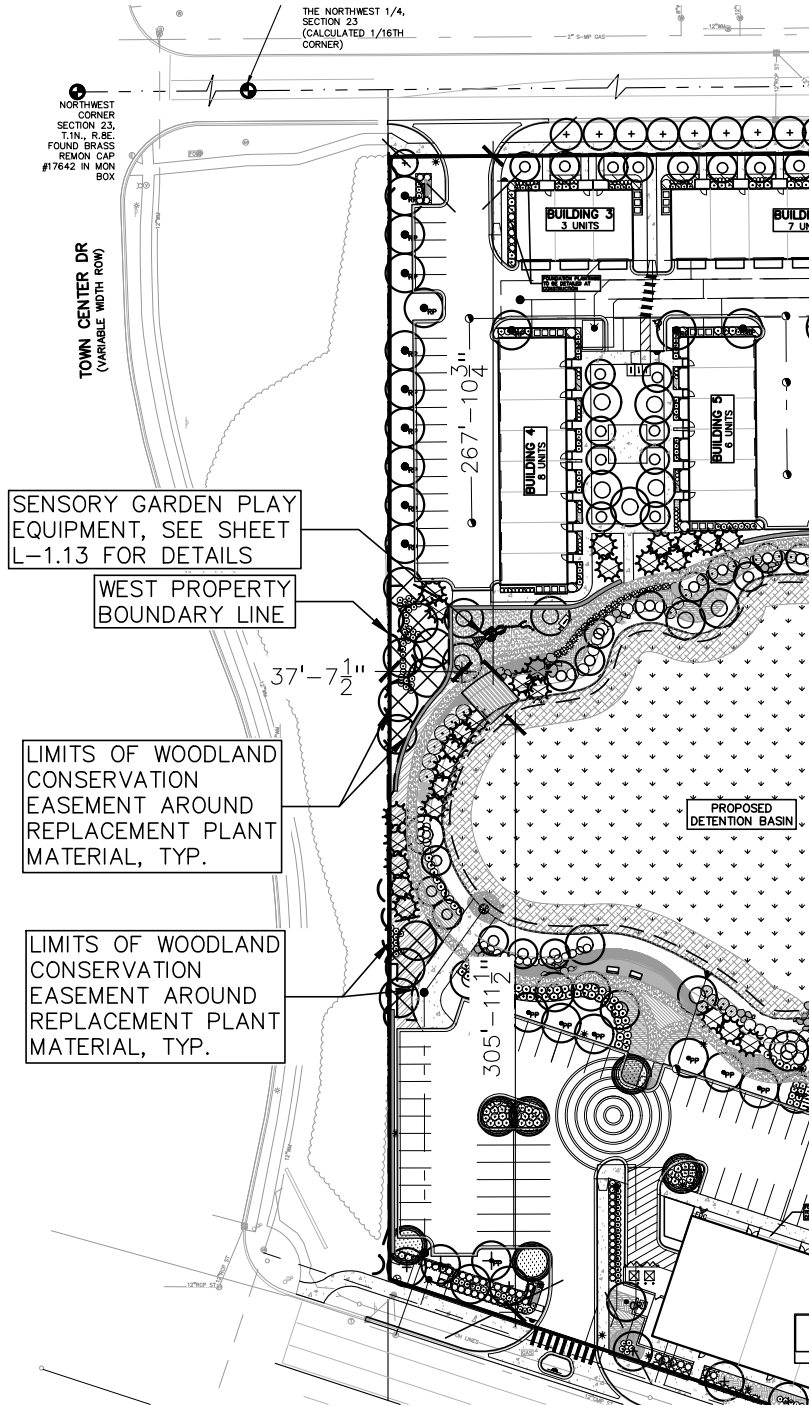
DRAWING TITLE
**SITE PLAN
EXHIBIT - POND
PLATFORM**

PEA JOB NO. 2018-033
P.M. JPB
DN. LAW
DES. GMB

DRAWING NUMBER:

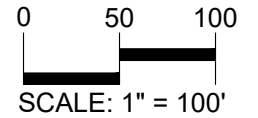
SHEET 2-1

S:\PROJECTS\2018\2018-033 AIKEN NOV-IPB\DWG\SITE PLANS\EXHIBITS\8x11\(-1.15) LANDSCAPE EXHIBITS-18033.dwg
PLOT



PEA GROUP

t: 844.813.2949
www.peagroup.com



CLIENT

SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

PROJECT TITLE

SAKURA NOVI
PART OF THE 1/2 OF THE NW
1/4 OF SECTION 23, T.1N.,
R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE

**SITE PLAN
EXHIBIT - POND
PLATFORM**

PEA JOB NO. 2018-033

J.P.M. JPB

DN. LAW

DES. GMB

DRAWING NUMBER:

SHEET 2-2

S:\PROJECTS\2018-033 AIKEN NOVI-JPB\DWG\SITE PLANS\EXHIBITS\8x11\(-1.15) LANDSCAPE EXHIBITS-18033.dwg
PLOT



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TREE PROTECTION WILL BE ERECTED PRIOR TO START OF CONSTRUCTION ACTIVITIES AND SHALL REMAIN IN PLACE UNTIL CONSTRUCTION IS COMPLETE.

NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN; INCLUDING, BUT NOT LIMITED TO PLACING SOLVENTS, BUILDING MATERIAL, CONSTRUCTION EQUIPMENT OR SOIL DEPOSITS WITHIN DRIP LINES.

GRADE CHANGES MAY NO OCCUR WITHIN THE DRIP LINE OF PROTECTED TREES.

DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY REMAINING TREE.

ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.

TREES LOCATED ON ADJACENT PROPERTY THAT AY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.

TREES TO BE PRESERVED SHALL BE IDENTIFIED WITH FLAGGING PRIOR TO THE TREE CLEARING OPERATIONS.

PROVIDE FENCE 1' OUTSIDE THE CRITICAL ROOT ZONE/DRIP LINE OF TREE.

FENCE SHALL BE PLACED IN A CIRCLE WITH A RADIUS OF 1' PER 1" DIAMETER OF THE TREE MEASURED AT 4.5' ABOVE GROUND.

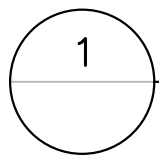
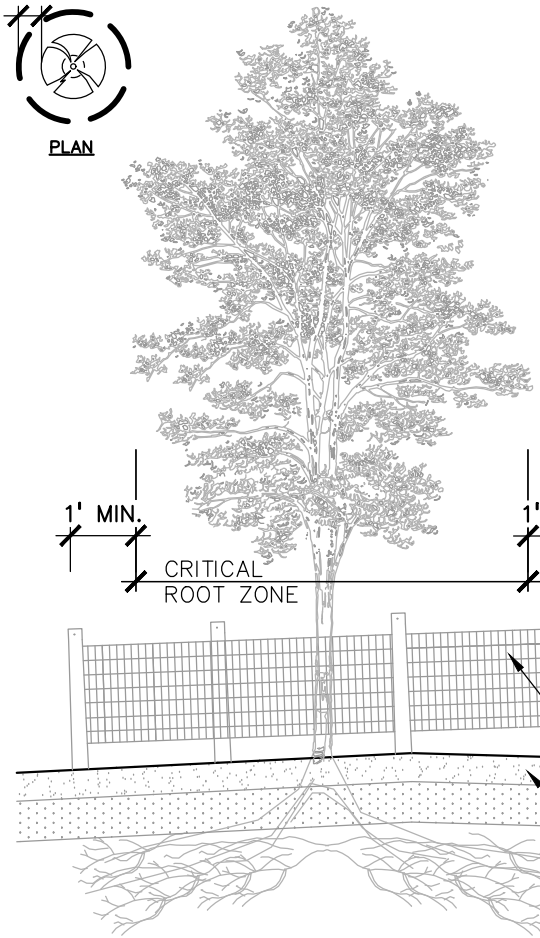
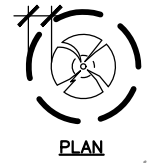
SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINE OF PROTECTED TREES.

THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.

THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED. TREES TO BE REMOVED SHALL BE FELL AWAY FROM TREES TO BE SAVED. GRUBBING OF UNDERSTORY, VEGETATION IN CONSTRUCTION AREA SHOULD BE CLEARED BY CUTTING VEGETATION AT GROUND LEVEL WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO-AXE.

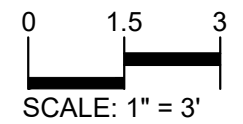
THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IF ANY PROTECTED TREE IS DAMAGED OR REMOVED.

1' MIN.



1 TREE PROTECTION FENCE DETAIL

SCALE: 1" = 3'-0"



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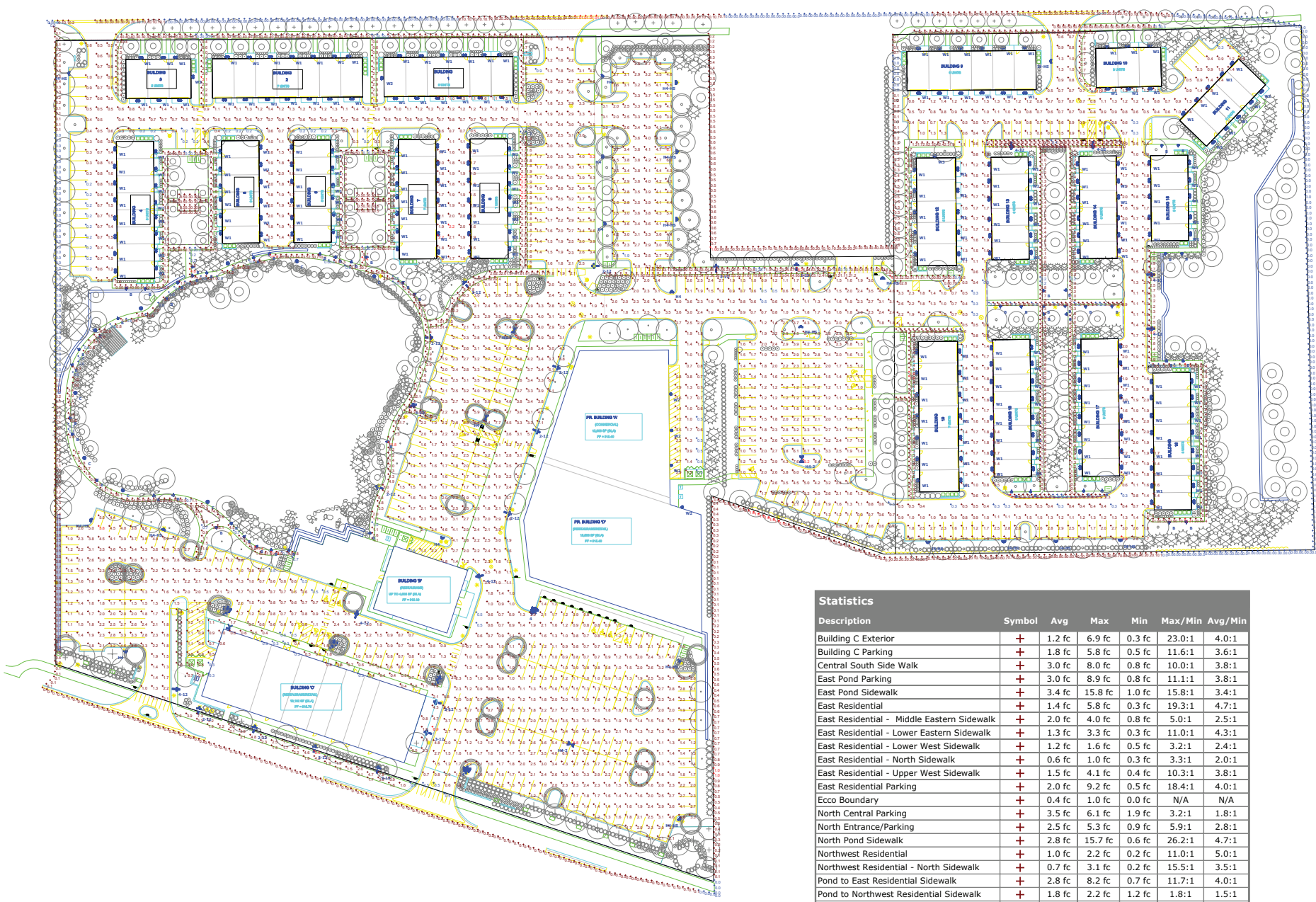
ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE
**SITE PLAN
EXHIBIT - TREE
PROTECTION**

PEA JOB NO.	2018-033
P.M.	JPB
DN.	LAW
DES.	GMB

DRAWING NUMBER:

SHEET 3



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Building C Exterior	+	1.2 fc	6.9 fc	0.3 fc	23.0:1	4.0:1
Building C Parking	+	1.8 fc	5.8 fc	0.5 fc	11.6:1	3.6:1
Central South Side Walk	+	3.0 fc	8.0 fc	0.8 fc	10.0:1	3.8:1
East Pond Parking	+	3.0 fc	8.9 fc	0.8 fc	11.1:1	3.8:1
East Pond Sidewalk	+	3.4 fc	15.8 fc	1.0 fc	15.8:1	3.4:1
East Residential	+	1.4 fc	5.8 fc	0.3 fc	19.3:1	4.7:1
East Residential - Middle Eastern Sidewalk	+	2.0 fc	4.0 fc	0.8 fc	5.0:1	2.5:1
East Residential - Lower Eastern Sidewalk	+	1.3 fc	3.3 fc	0.3 fc	11.0:1	4.3:1
East Residential - Lower West Sidewalk	+	1.2 fc	1.6 fc	0.5 fc	3.2:1	2.4:1
East Residential - North Sidewalk	+	0.6 fc	1.0 fc	0.3 fc	3.3:1	2.0:1
East Residential - Upper West Sidewalk	+	1.5 fc	4.1 fc	0.4 fc	10.3:1	3.8:1
East Residential Parking	+	2.0 fc	9.2 fc	0.5 fc	18.4:1	4.0:1
Ecco Boundary	+	0.4 fc	1.0 fc	0.0 fc	N/A	N/A
North Central Parking	+	3.5 fc	6.1 fc	1.9 fc	3.2:1	1.8:1
North Entrance/Parking	+	2.5 fc	5.3 fc	0.9 fc	5.9:1	2.8:1
North Pond Sidewalk	+	2.8 fc	15.7 fc	0.6 fc	26.2:1	4.7:1
Northwest Residential	+	1.0 fc	2.2 fc	0.2 fc	11.0:1	5.0:1
Northwest Residential - North Sidewalk	+	0.7 fc	3.1 fc	0.2 fc	15.5:1	3.5:1
Pond to East Residential Sidewalk	+	2.8 fc	8.2 fc	0.7 fc	11.7:1	4.0:1
Pond to Northwest Residential Sidewalk	+	1.8 fc	2.2 fc	1.2 fc	1.8:1	1.5:1
Property Line	+	0.2 fc	1.0 fc	0.0 fc	N/A	N/A
South Entrance/Parking	+	1.8 fc	8.8 fc	0.5 fc	17.6:1	3.6:1
South Pond Sidewalk	+	2.8 fc	11.4 fc	0.7 fc	16.3:1	4.0:1
East Residential - Central Sidewalk	+	1.2 fc	4.7 fc	0.2 fc	23.5:1	6.0:1
East Residential - North Central Sidewalk	+	1.8 fc	4.1 fc	0.4 fc	10.3:1	4.5:1
Northwest Residential - Southeast Courtyard	+	1.0 fc	2.4 fc	0.2 fc	12.0:1	5.0:1
Northwest Residential - Southwest Courtyard	+	1.0 fc	4.0 fc	0.2 fc	20.0:1	5.0:1

FIXTURES 4, H4, H4-2, H4-HS ARE 25' POLE MOUNTED FIXTURES

FIXTURES 2-12, 3-12, 4-12 ARE 12' POLE MOUNTED FIXTURES

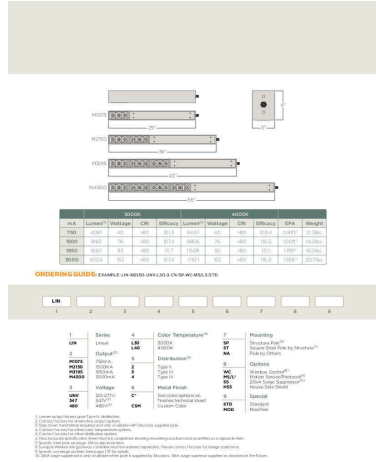
FIXTURES I4-HS ARE 12' POLE MOUNTED FIXTURES AND TWO 25' POLE MOUNTED FIXTURES AT THE NORTH DRIVEWAY OF EAST RESIDENTIAL AND NORTHWEST RESIDENTIAL.

FIXTURE B IS A BOLLARD AT 3.5' TALL

FIXTURE C IS A BOLLARD AT 3.3' TALL

FIXTURE TYPE 4, TYPE 2-12, TYPE 3-12, TYPE 4-12

TYPE 4 IS LIN-M2150-UNV-L30-4 25' POLE
TYPE 2-12 IS LIN-M1075-UNV-L30-2 12' POLE
TYPE 3-12 IS LIN-M1075-UNV-L30-3 12' POLE
TYPE 4-12 IS LIN-M1075-UNV-L30-4 12' POLE



ORDERING GUIDE EXAMPLE: LIN-M2150-UNV-L30-4 25' POLE WITH 120V

LN	1	2	3	4	5	6	7	8	9
LN	1	2	3	4	5	6	7	8	9
LN	1	2	3	4	5	6	7	8	9

120 VOLTAGE
120 VOLTAGE

FIXTURE TYPE H4, H4-2, H4-HS

TYPE H4, H4-2 ARE ATB2-P601-R4-3K

TYPE H4-HS IS ATB2-P202-R4-3K-HSS

Autobahn Series ATB2 Roadway Lighting

PRODUCT OVERVIEW

Applications: Office, Residential, Parking lots, etc.

FEATURES:

- OPTICAL:** The Autobahn's new evolved design optics provide exceptional performance. It offers a wide beam spread and a high degree of beam control, allowing for a wide range of beam angles and a high degree of beam control.
- ELECTRICAL:** The Autobahn's LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C.
- MECHANICAL:** The Autobahn's LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C.

STANDARDS: The Autobahn's LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C.

AMERICAN ELECTRIC LIGHTING

Autobahn Series ATB2 Roadway Lighting

ATB2	Distribution	Height (ft)	200K		300K		4000K	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P60	15	12	18,120	121	20,250	128	22,200	138
		18	27,180	151	30,375	188	33,300	202
		24	36,240	201	40,500	252	44,400	270
P12	18	12	18,120	121	20,250	128	22,200	138
		18	27,180	151	30,375	188	33,300	202
		24	36,240	201	40,500	252	44,400	270
P24	24	12	18,120	121	20,250	128	22,200	138
		18	27,180	151	30,375	188	33,300	202
		24	36,240	201	40,500	252	44,400	270

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Number Lamps	Lumens Per Lamp	Description	Light Loss Factor	Wattage
□	2-12	13	Structura, Inc., 19922 W 162nd St., Olathe, KS 66062	LIN-M1075-UNV-L30-2	12	325	Structure Inc. - Pole mount roadway luminaire. Product ID: Lineal Black painted cast aluminum housing. 12 LEDs in 6 x 2 array with sheet of clear plastic individual lenses. One Philips Advance Xitanium LED driver. Model: XI055C105V052BNY1 Operating at 120 VAC and 60 Hz.	0.9	37.4
□	3-12	2	Structura, Inc., 19922 W 162nd St., Olathe, KS 66062	LIN-M1075-UNV-L30-3	12	328	Structure Inc. - Pole mount roadway luminaire. Product ID: Lineal Black painted cast aluminum housing. 12 LEDs in 6 x 2 array with sheet of clear plastic individual lenses. One Philips Advance Xitanium LED driver. Model: XI055C105V052BNY1 Operating at 120 VAC and 60 Hz.	0.9	37.4
□	4	5	Structura, Inc., 19922 W 162nd St., Olathe, KS 66062	LIN-M2150-UNV-L30-4	12	340	Structure Inc. - Pole mount roadway luminaire. Product ID: LIN-M1075-UNV-L30-4(C)-XX-XX-STD Black painted extruded aluminum housing. 12 LEDs in one 6 x 2 array with sheet of clear plastic individual lenses. One Philips Advance Xitanium LED driver. Model: XI055C105V054BS51 Operating at 120 VAC and 60 Hz.	1.95	40.3
□	4-12	8	Structura, Inc., 19922 W 162nd St., Olathe, KS 66062	LIN-M1075-UNV-L30-4	12	340	Structure Inc. - Pole mount roadway luminaire. Product ID: LIN-M1075-UNV-L30-4(C)-XX-XX-STD Black painted extruded aluminum housing. 12 LEDs in one 6 x 2 array with sheet of clear plastic individual lenses. One Philips Advance Xitanium LED driver. Model: XI055C105V054BS51 Operating at 120 VAC and 60 Hz.	0.9	40.3
○	B	53	Holm	aRSE26 UV L07 K30 LG CV GP	1	250	aRise26 700lms Long Throw Curved Faceplate Ground Plane	0.9	7.45
○	C	9	MATECH	NAVAL MED BOLLARD ILLUM LED 30W TYPE V	1	3898	424 V WITH MATECH D4 LED LIGHT ENGINE WITH SILICON LENS	0.62	30.2
□	H4	6	American Electric Lighting	ATB2 P601 R4 3K	1	23759	Autobahn Large P601 Package Roadway Type IV 300K CCT	0.9	175
□	H4-2	4	American Electric Lighting	ATB2 P601 R4 3K	1	23759	Autobahn Large P601 Package Roadway Type IV 300K CCT	0.9	350
□	H4-HS	9	American Electric Lighting	ATB2 P601 R4 3K HSS	1	19610	Autobahn Large P601 Package Roadway Type IV 3000K CCT House Side Shield	0.9	175
□	I4-HS	6	American Electric Lighting	ATB0 P202 R4 3K HSS	1	5573	Autobahn Small P202 Package Roadway Type IV 3000K House side shield	0.9	49
□	W1	234	Lithonia Lighting	WDGE2 LED P0 30K 80CRI T4M	1	679	WDGE2 LED WITH P0 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE A MEDIUM OPTIC	0.9	6.8946
□	W2	4	Lithonia Lighting	WST LED P1 30K VF MVOLT	1	1529	WST LED, Performance package 1, 3000 K, visual comfort forward throw, MVOLT	0.9	12
□	W3	3	Lithonia Lighting	WDGE2 LED P4 30K 80CRI TFTM	1	4002	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 3000K, 80CRI, TYPE FORWARD THRU MEDIUM OPTIC	0.9	46.6589

FIXTURE TYPE I4-HS IS ATB0-P202-R4-3K-HSS

Autobahn Series ATB0 Roadway Lighting

PRODUCT OVERVIEW

Applications: Parking lots, etc.

FEATURES:

- OPTICAL:** The Autobahn's new evolved design optics provide exceptional performance. It offers a wide beam spread and a high degree of beam control, allowing for a wide range of beam angles and a high degree of beam control.
- ELECTRICAL:** The Autobahn's LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C. The LED light engine is rated at 100,000 hours at 25°C.
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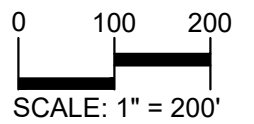
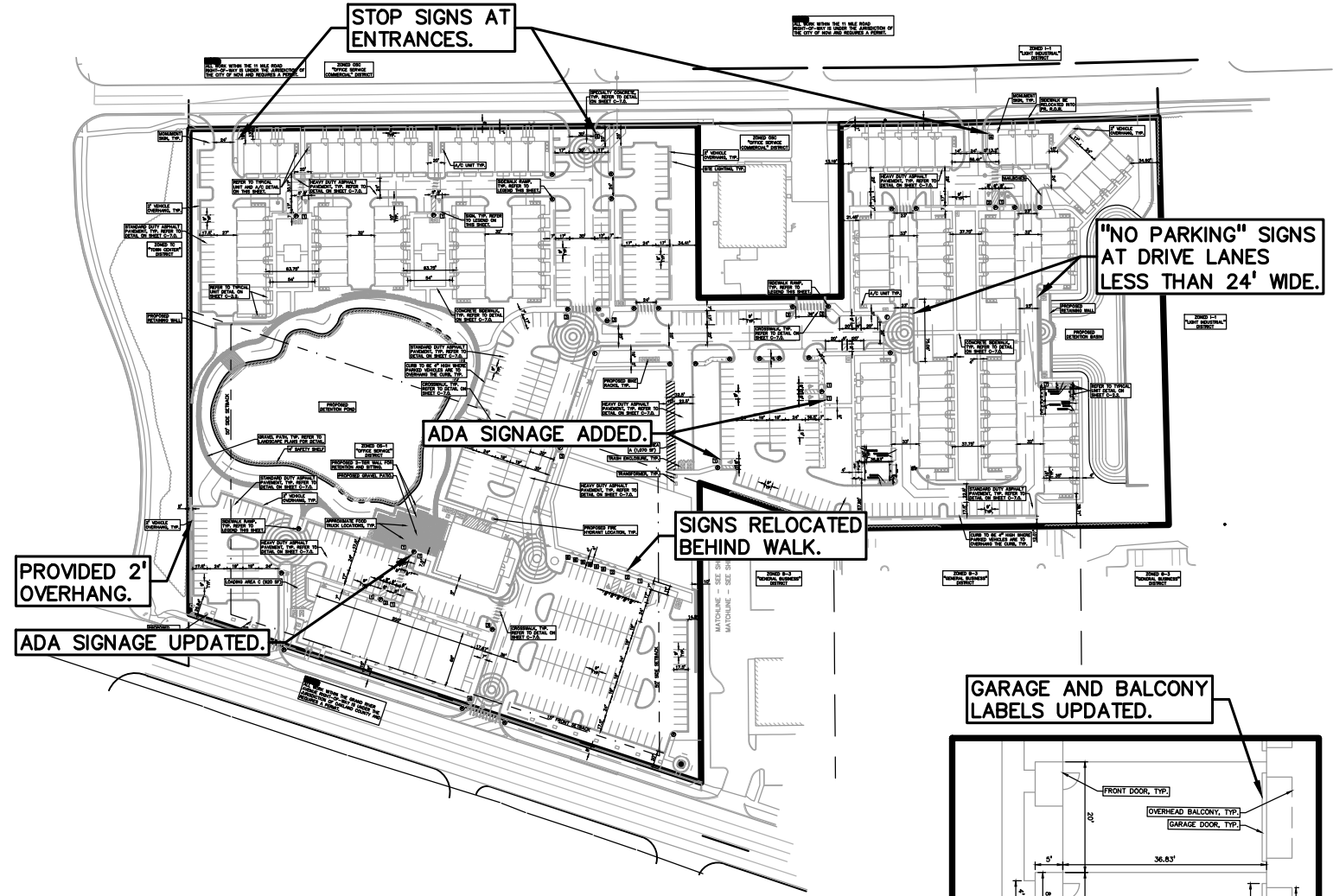
AMERICAN ELECTRIC LIGHTING

Autobahn Series ATB0 Roadway Lighting

ATB0	Distribution	Height (ft)	200K		300K		4000K	
			Lumens	LPW	Lumens	LPW	Lumens	LPW
P60	15	12	18,120	121	20,250	128	22,200	138
		18	27,180	151	30,375	188	33,300	202
		24	36,240	201	40,500	252	44,400	270
P12	18	12	18,120	121	20,250	128	22,200	138
		18	27,180	151	30,375	188	33,300	202
		24	36,240	201	40,500	252	44,400	270
P24	24	12	18,120	121	20,250	128	22,200	138
		18	27,180	151	30,375	188	33,300	202
		24	36,240	201	40,500	252	44,400	270

SAKURA WAY NORTH, RECITINGAN

S:\PROJECTS\2018-033 AIKEN NOVI-JPB\DWG\SITE PLANS\EXHIBITS\8x11\5) MISC CHANGES EXHIBIT-18033.dwg PLOT



CLIENT
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BIRMINGHAM, MI 48009

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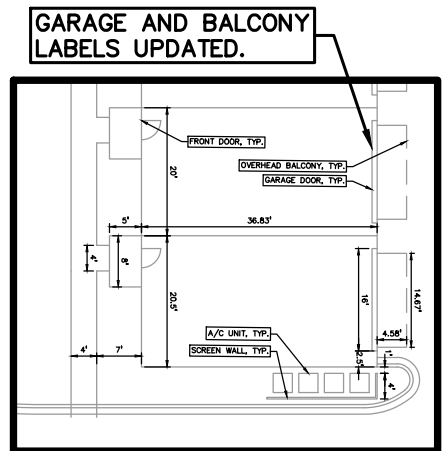
ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE
**SITE PLAN
EXHIBIT - MISC
CHANGES**

PEA JOB NO. 2018-033
P.M. JPB
DN. LAW
DES. GMB

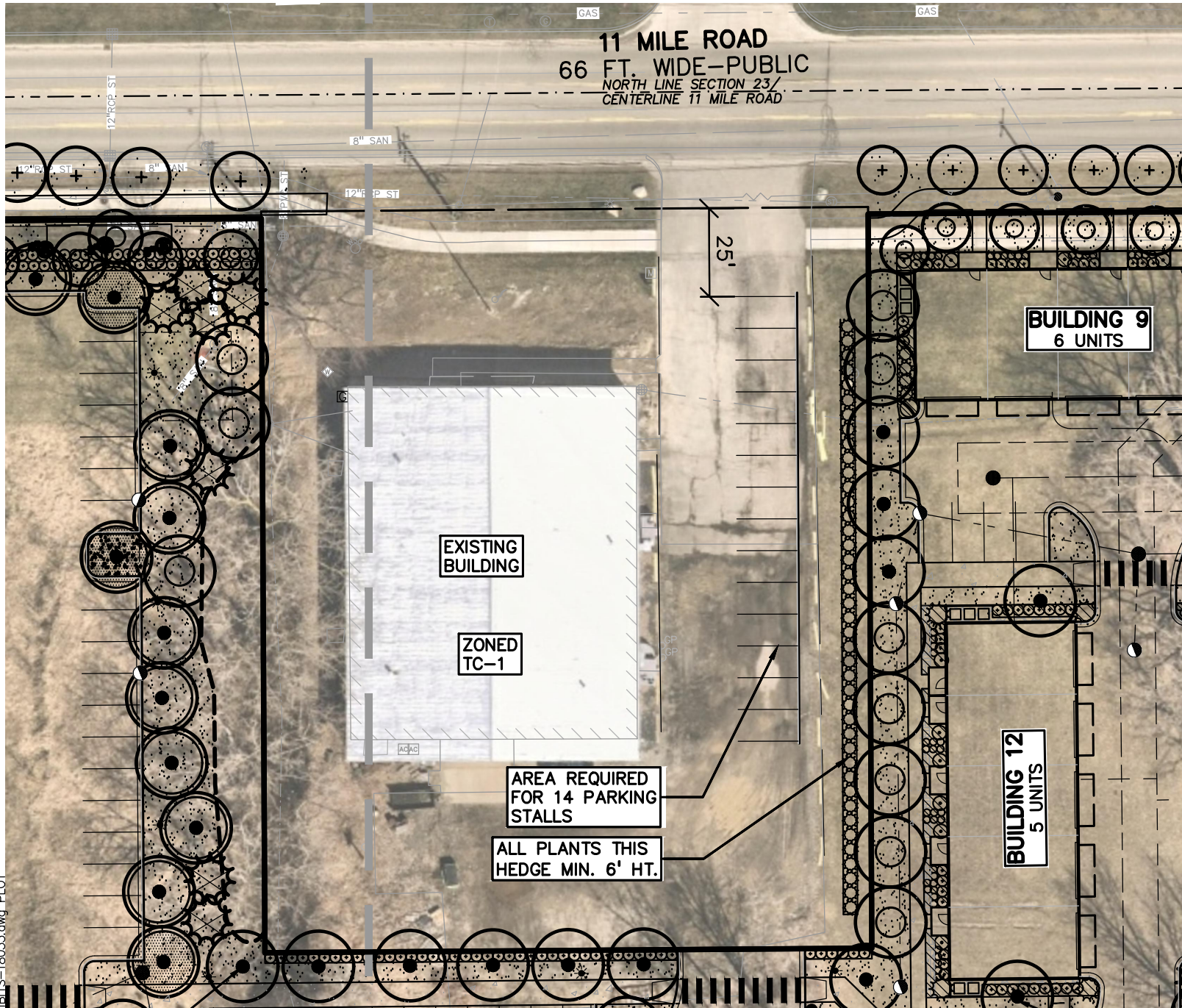
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SHEET 5



TYPICAL UNIT B DETAIL
SCALE: 1" = 30'-0"

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0 20 40
SCALE: 1" = 40'

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DRAWING TITLE

**SITE PLAN
EXHIBIT - ECCO
PARKING**

PEA JOB NO. 2018-033

J.P.M. JPB

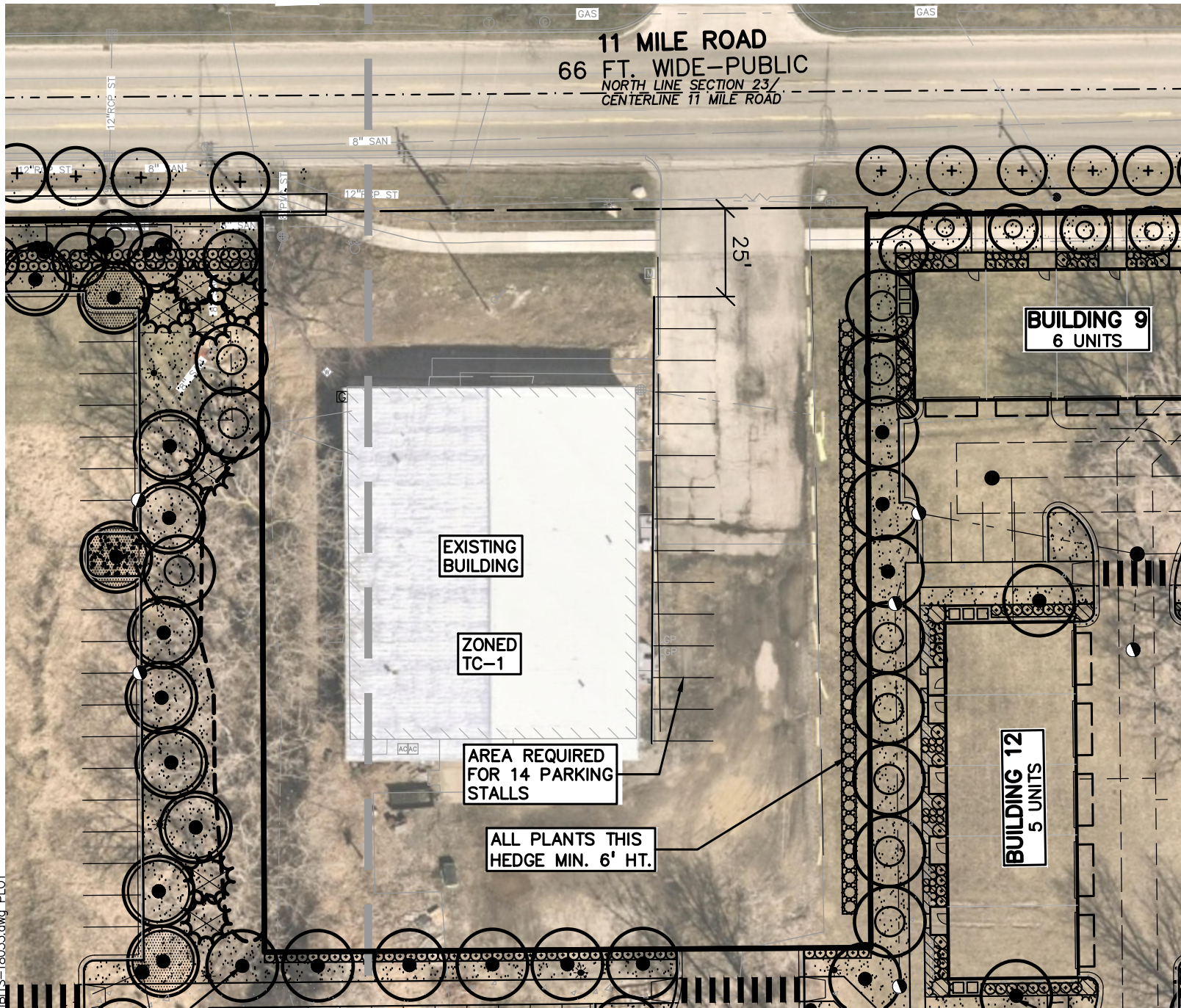
DN. LAW

DES. GMB

DRAWING NUMBER:

SHEET 7-1

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0 20 40
SCALE: 1" = 40'

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PARKING**

PEA JOB NO. 2018-033

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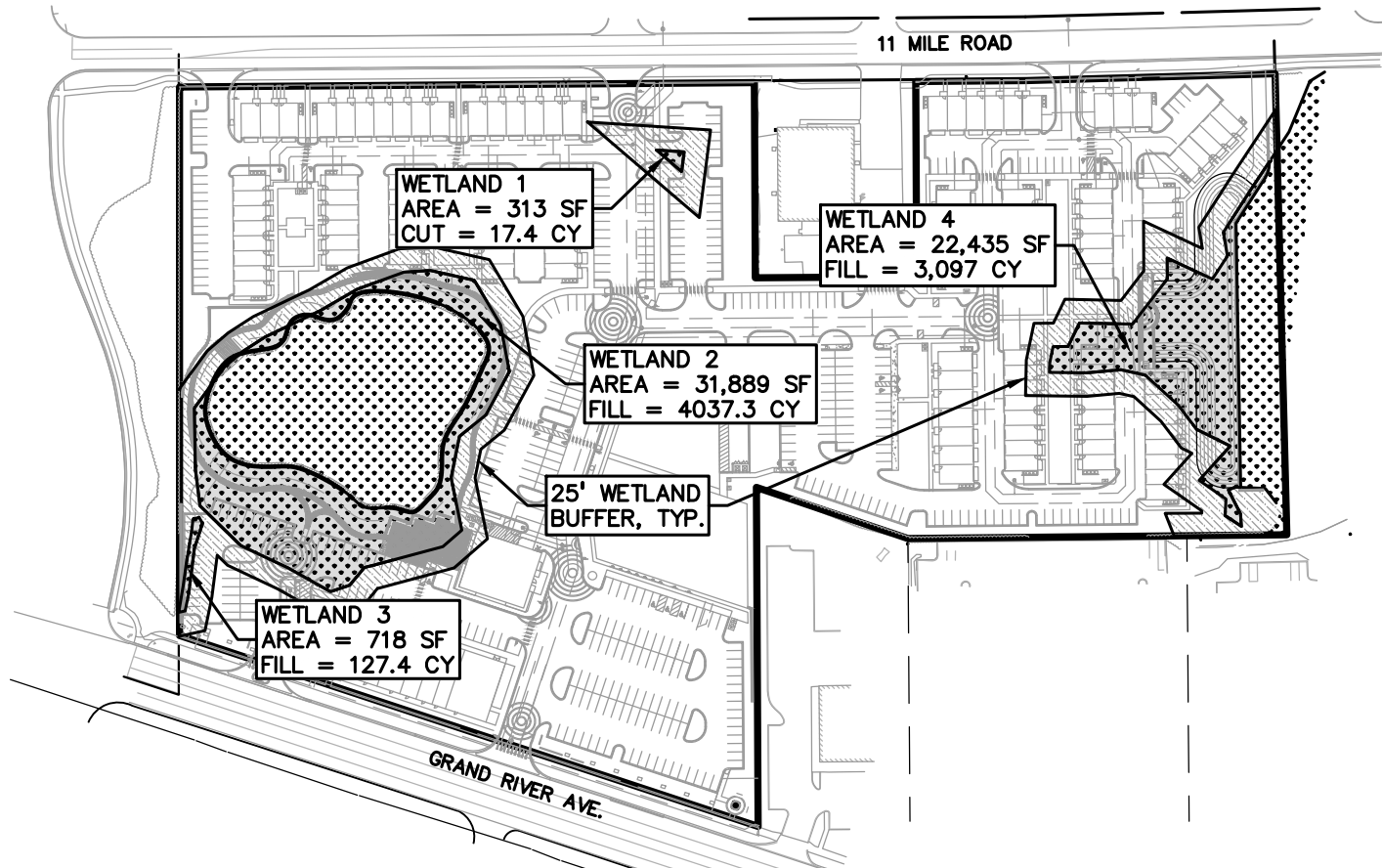
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SHEET 7-2

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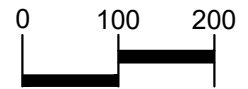


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NORTH



SCALE: 1" = 200'

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**SITE PLAN
EXHIBIT -
WETLAND CALCS**

PEA JOB NO. 2018-033

P.M. JPB

DN. LAW

DES. GMB

DRAWING NUMBER:

SHEET 8-1

WETLAND IMPACT AREA ANALYSIS:

PROJECT AREA: 15.11 ACRES

WETLAND	WETLAND AREA(SF)	NFSB AREA(SF)	TOTAL
1	313	5,852	6,165 (0.142 ACRES)
2	31,889	29,970	61,859 (1.42 ACRES)
3	718	3,167	3,885 (0.089 ACRES)
4	22,435	23,308	45,743 (1.05 ACRES)
TOTAL:			117,652 (2.70 ACRES) 17.88%

	AREA	PERCENTAGE OF TOTAL SITE AREA
WATER FEATURE A:	91,965 SF (2.111 ACRES)	13.97%
GREEN SPACE B:	9,006 SF (0.207 ACRES)	1.37%
GREEN SPACE C:	47,523 SF (1.09 ACRES)	7.20%
TOTAL	148,494 SF (3.41 ACRES)	22.54%

LEGEND:

NATURAL FEATURES
SETBACK IMPACT 

WETLAND IMPACT 

S:\PROJECTS\2018\2018-033 AIKEN NOVI-JPB\DWG\SITE PLANS\EXHIBITS\8x11\8) WETLAND CALCS EXHIBIT-18033.dwg PLOT

Low Profile Prairie Seed Mix	
CARDNO 574-586-2412 cardnonativeplantnursery.com	
Botanical Name	Common Name
Permanent Grasses:	
<i>Bouteloua curtipendula</i>	Side Oats Grama
<i>Carex spp.</i>	Prairie Carex Mix
<i>Elymus canadensis</i>	Canada Wild Rye
<i>Koeleria pyramidata</i>	June Grass
<i>Panicum virgatum</i>	Switch Grass
<i>Schizachyrium scoparium</i>	Little Bluestem
Temporary Cover:	
<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye
Forbs:	
<i>Amorpha canescens</i>	Lead Plant
<i>Anemone cylindrica</i>	Thimbleweed
<i>Asclepias syriaca</i>	Common Milkweed
<i>Asclepias tuberosa</i>	Butterfly Milkweed
<i>Baptisia alba</i>	White Wild Indigo
<i>Chamaecrista fasciculata</i>	Partridge Pea
<i>Coreopsis lanceolata</i>	Sand Coreopsis
<i>Coreopsis palmata</i>	Prairie Coreopsis
<i>Dalea candida</i>	White Prairie Clover
<i>Dalea purpurea</i>	Purple Prairie Clover
<i>Desmanthus illinoensis</i>	Illinois Sensitive Plant
<i>Echinacea purpurea</i>	Broad-Leaved Purple Coneflower
<i>Eryngium yuccifolium</i>	Rattlesnake Master
<i>Lespedeza capitata</i>	Round-Head Bush Clover
<i>Liatis aspera</i>	Rough Blazing Star
<i>Lupinus perennis</i>	Wild Lupine
<i>Monarda fistulosa</i>	Wild Bergamot
<i>Oligoneuron rigidum</i>	Stiff Goldenrod
<i>Parthenium integrifolium</i>	Wild Quinine
<i>Penstemon digitalis</i>	Foxglove Beard Tongue
<i>Penstemon hirsutus</i>	Hairy Beard Tongue
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Ratibida pinnata</i>	Yellow Coneflower
<i>Rudbeckia hirta</i>	Black-Eyed Susan
<i>Rudbeckia subtomentosa</i>	Sweet Black-Eyed Susan
<i>Silphium terebinthinaceum</i>	Prairie Dock
<i>Solidago speciosa</i>	Showy Goldenrod
<i>Symphotrichum ericoides</i>	Heath Aster
<i>Symphotrichum laeve</i>	Smooth Blue Aster
<i>Symphotrichum novae-angliae</i>	New England Aster
<i>Tradescantia chiensis</i>	Common Spiderwort
<i>Verbena stricta</i>	Hoary Vervain
<i>Vernonia spp.</i>	Ironweed (Various Mix)
<i>Veronicastrum virginicum</i>	Culvers Root



Emergent Wetland Seed Mix	
CARDNO 574-586-2412 cardnonativeplantnursery.com	
Botanical Name	Common Name
Permanent Grasses/Sedges/Rushes:	
<i>Bolboschoenus fluviatilis</i>	River Bulrush
<i>Carex comosa</i>	Bristly Sedge
<i>Carex lacustris</i>	Common Lake Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex stricta</i>	Common Tussock Sedge
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Eleocharis palustris</i>	Great Spike Rush
<i>Juncus effusus</i>	Common Rush
<i>Leersia oryzoides</i>	Rice Cut Grass
<i>Schoenoplectus acutus</i>	Hard-stemmed Bulrush
<i>Schoenoplectus americanus</i>	Chairmaker's Rush
<i>Schoenoplectus tabernaemontani</i>	Softstem Bulrush
Temporary Cover:	
<i>Avena sativa</i>	Common Oat
<i>Lolium multiflorum</i>	Annual Rye
Forbs:	
<i>Acorus americanus</i>	Sweet Flag
<i>Alisma spp.</i>	Water Plantain (Various Mix)
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Cephalanthus occidentalis</i>	Buttonbush
<i>Decodon verticillatus</i>	Swamp Loosestripe
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed
<i>Hibiscus spp.</i>	Rosemallow (Various Mix)
<i>Iris virginica</i>	Blue Flag
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Mimulus ringens</i>	Monkey Flower
<i>Peltandra virginica</i>	Arrow Arum
<i>Penthorum sedoides</i>	Ditch Stonecrop
<i>Polygonum spp.</i>	Pinkweed (Various Mix)
<i>Pontederia cordata</i>	Pickereel Weed
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Sparganium eurycarpum</i>	Common Bur Reed
<i>Verbena hastata</i>	Blue Vervain

FOR ALL SEED MIXES, PROVIDE EROSION MAT ON SLOPES AND AREAS OF WASH OUT TYP. INSTALL AND PREP PER MANUFACTURES SPECIFICATIONS.

AREA OF NO IRRIGATION NOTE PER CITY OF NOVI.

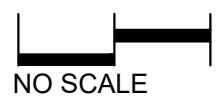
IN AREAS WHERE NO PERMANENT IRRIGATION IS REQUIRED PLANTS AND/OR SEED MUST BE WATERED AS NECESSARY UNTIL THEY ARE ESTABLISHED WITH A TEMPORARY METHOD, HOSE, OR PORTABLE WATER TANKS. LANDSCAPE MUST BE MAINTAINED PER APPROVED FINAL SITE PLAN IN PERPETUITY, PER ZONING ORD. SECTION 5.5.7, INCLUDING REPLACEMENT OF ALL DEAD OR A FAILING PLANT MATERIAL WITHIN 3 MONTHS OF ITS DISCOVERY, OR NEXT APPROPRIATE GROWING PERIOD, WHICHEVER COMES FIRST.

NOTE: CONTRACTOR MUST SEND PROOF OF THE SEED MIXES TO BE USED TO THE CITY LANDSCAPE ARCHITECT PRIOR TO SEEDING IN THE FORM OF A PHOTO OF THE SEED BAG LABEL OR INVOICE WITH THE SEED MIX CLEARLY SHOWN.

Sedge Meadow Seed Mix	
Botanical Name	Common Name
Permanent Grasses/Sedges:	
<i>Calamagrostis canadensis</i>	Bluejoint Grass
<i>Carex comosa</i>	Bristly Sedge
<i>Carex cristatella</i>	Crested Oval Sedge
<i>Carex frankii</i>	Bristly Cattail Sedge
<i>Carex lupulina</i>	Common Hop Sedge
<i>Carex lurida</i>	Bottlebrush Sedge
<i>Carex stipata</i>	Common Fox Sedge
<i>Carex stricta</i>	Common Tussock Sedge
<i>Carex vulpinoidea</i>	Brown Fox Sedge
<i>Elymus virginicus</i>	Virginia Wild Rye
<i>Glyceria striata</i>	Fowl Manna Grass
<i>Juncus effusus</i>	Common Rush
<i>Leersia oryzoides</i>	Rice Cut Grass
<i>Scirpus atrovirens</i>	Dark Green Rush
<i>Scirpus cyperinus</i>	Wool Grass
<i>Scirpus pendulus</i>	Red Bulrush
<i>Schoenoplectus tabernaemontani</i>	Great Bulrush
<i>Spartina pectinata</i>	Prairie Cord Grass
Temporary Cover:	
<i>Avena sativa</i>	Common Oat
Forbs:	
<i>Alisma subcordatum</i>	Common Water Plantain
<i>Angelica atropurpurea</i>	Great Angelica
<i>Asclepias incarnata</i>	Swamp Milkweed
<i>Bidens cernua</i>	Nodding Bur Marigold
<i>Boehmeria cylindrica</i>	False Nettle
<i>Coreopsis tripteris</i>	Tall Coreopsis
<i>Doellingeria umbellata</i>	Flat-Top Aster
<i>Eupatorium perfoliatum</i>	Common Boneset
<i>Eutrochium maculatum</i>	Spotted Joe-Pye Weed
<i>Helenium autumnale</i>	Sneezeweed
<i>Hibiscus laevis</i>	Smooth Rose Mallow
<i>Iris virginica v. shrevei</i>	Blue Flag
<i>Liatis spicata</i>	Marsh Blazing Star
<i>Lobelia cardinalis</i>	Cardinal Flower
<i>Lobelia siphilitica</i>	Great Blue Lobelia
<i>Lycopus americanus</i>	Common Water Horehound
<i>Penthorum sedoides</i>	Ditch Stonecrop
<i>Physostegia virginiana</i>	Obedient Plant
<i>Persicaria spp.</i>	Pinkweed Species
<i>Pycnanthemum virginianum</i>	Common Mountain Mint
<i>Sagittaria latifolia</i>	Common Arrowhead
<i>Senna hebecarpa</i>	Wild Senna
<i>Silphium perfoliatum</i>	Cup Plant
<i>Sparganium eurycarpum</i>	Common Bur Reed
<i>Symphotrichum novae-angliae</i>	New England Aster
<i>Symphotrichum puniceum</i>	Bristly Aster
<i>Thalictrum dasycarpum</i>	Purple Meadow Rue
<i>Verbena hastata</i>	Blue Vervain
<i>Vernonia fasciculata</i>	Common Ironweed
Total	
Total	



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CLIENT
SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

PROJECT TITLE
SAKURA NOVI
PART OF THE 1/2 OF THE NW
1/4 OF SECTION 23, T.1N,
R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

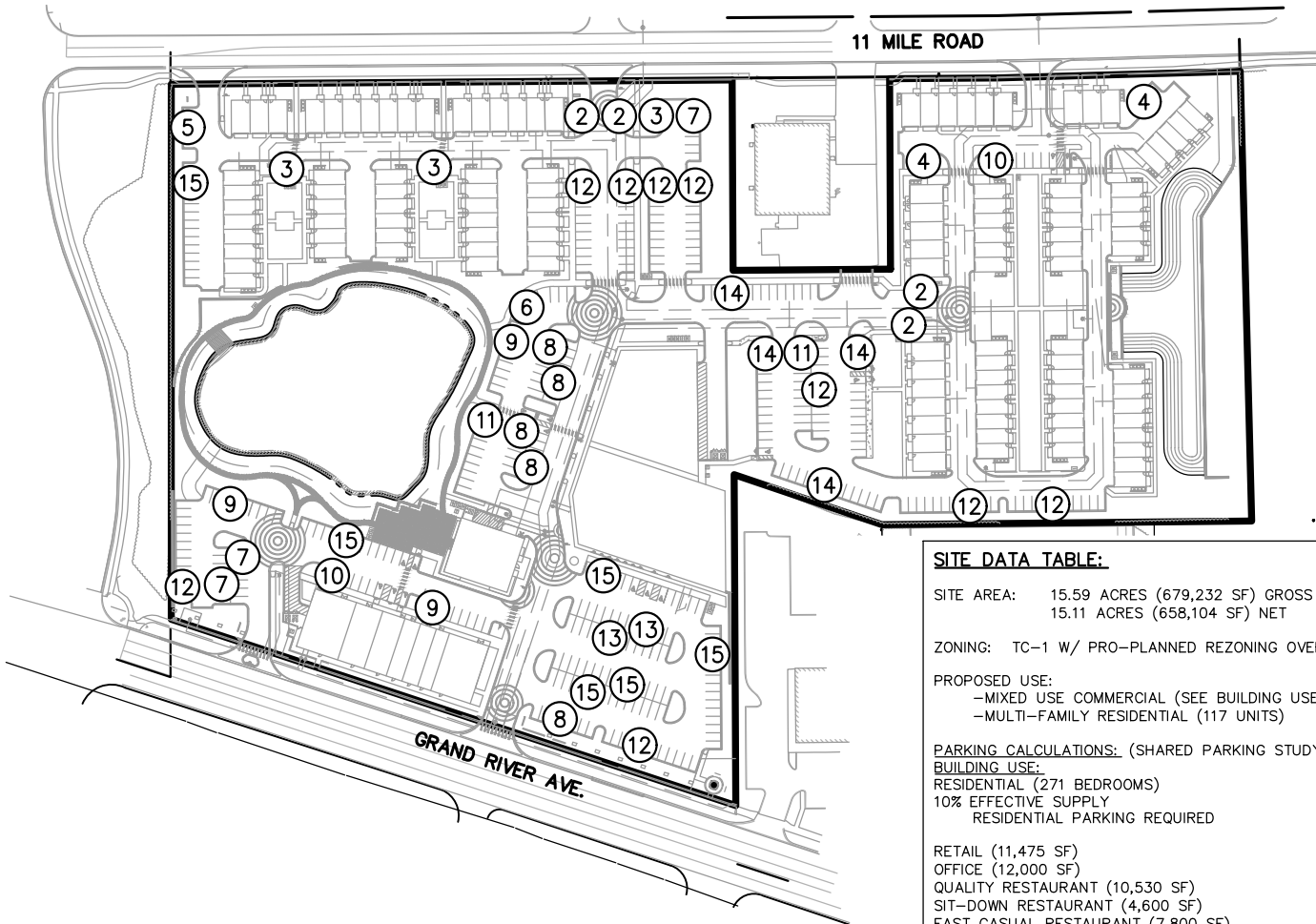
DRAWING TITLE
**SITE PLAN
EXHIBIT - SEED
MIX**

PEA JOB NO. 2018-033
P.M. JPB
DN. LAW
DES. GMB

DRAWING NUMBER:

SHEET 8-2

S:\PROJECTS\2018\2018-033 AIKEN NOVI-JPB\DWG\SITE PLANS\EXHIBITS\8x11\9) PARKING COUNT EXHIBIT-18033.dwg PLOT



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0 100 200
SCALE: 1" = 200'

SITE DATA TABLE:

SITE AREA: 15.59 ACRES (679,232 SF) GROSS
15.11 ACRES (658,104 SF) NET

ZONING: TC-1 W/ PRO-PLANNED REZONING OVERLAY

PROPOSED USE:
-MIXED USE COMMERCIAL (SEE BUILDING USE BELOW FOR BREAKDOWN)
-MULTI-FAMILY RESIDENTIAL (117 UNITS)

PARKING CALCULATIONS: (SHARED PARKING STUDY PREPARED BY BERGMANN)

BUILDING USE:	WEEKEND PEAK DEMAND:
RESIDENTIAL (271 BEDROOMS)	218
10% EFFECTIVE SUPPLY	22
RESIDENTIAL PARKING REQUIRED	240
RETAIL (11,475 SF)	28
OFFICE (12,000 SF)	0
QUALITY RESTAURANT (10,530 SF)	170
SIT-DOWN RESTAURANT (4,600 SF)	62
FAST CASUAL RESTAURANT (7,800 SF)	38
10% EFFECTIVE SUPPLY	29
COMMERCIAL PARKING REQUIRED	327

REQUIRED:
COMMERCIAL + RESIDENTIAL PARKING = 327 + 240 = 567 SPACES

PROVIDED:
PHASE 1 = 599 SPACES (154 GARAGE, 445 SURFACE), INC. 19 ADA SPACES
PHASE 2 = 572 SPACES (169 GARAGE, 403 SURFACE), INC. 16 ADA SPACES
(@ 132 RESI UNITS)

BICYCLE PARKING CALCULATIONS:
MIXED USE DEVELOPMENT
REQUIRED = 5% OF REQUIRED AUTOMOBILE SPACES
= 327 * 0.05 = 16.35 ~ 17 SPACES
PROVIDED = 32 SPACES

MULTI-FAMILY RESIDENTIAL
REQUIRED = 1 SPACE PER 5 DWELLING UNITS
= 117/5 = 23.4 ~ 24 SPACES
PROVIDED = 38 SPACES (ADDITIONAL BIKE PARKING PROVIDED IN GARAGES)

*FINAL BICYCLE PARKING TO BE PROVIDED PER FINAL PARKING REQUIRED (COMMERCIAL/RESIDENTIAL MIX)

CLIENT

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PROJECT TITLE

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1/4 OF SECTION 23, T.1N,
R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE

**SITE PLAN
EXHIBIT -
PARKING CHART**

PEA JOB NO. 2018-033

P.M. JPB

DN. LAW

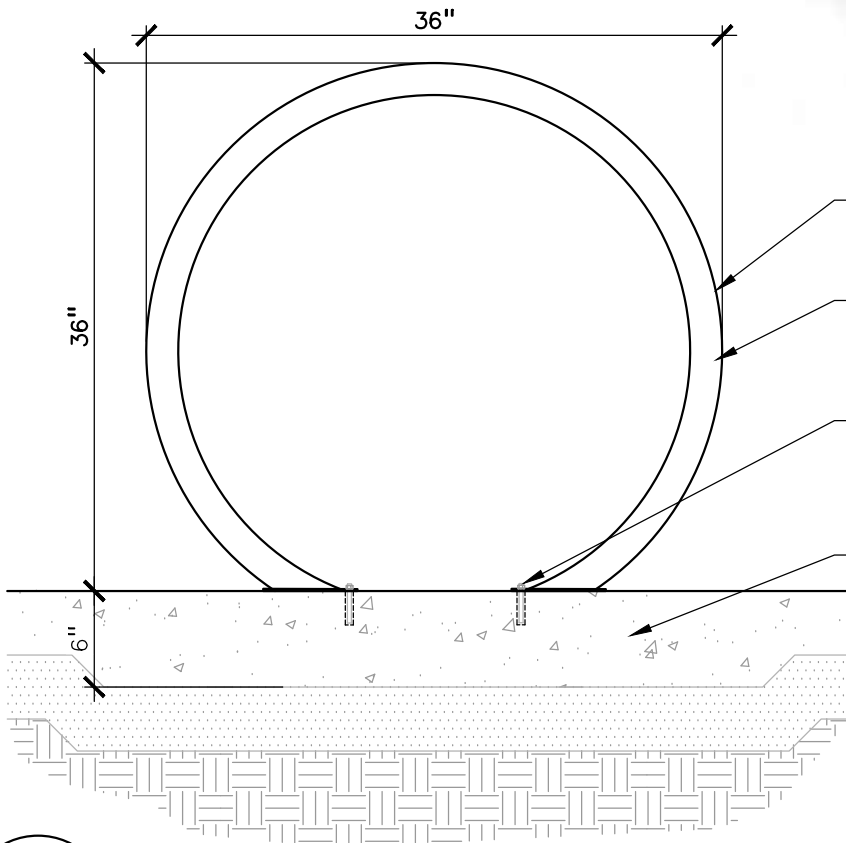
DES. GMB

DRAWING NUMBER:

SHEET 9

S:\PROJECTS\2018\2018-033 AIKEN NOVI-JPB\DWG\SITE PLANS\EXHIBITS\8x11\(-1.15) LANDSCAPE EXHIBITS-18033.dwg
PLOT

NOTE: SEE
LANDSCAPE PLANS
FOR LARGER VERSION
OF ALL DETAILS, TYP.



BRHS - 101 BIKE RACK - SEE
SPECS. INSTALL PER
MANUFACTURERS
RECOMMENDATIONS

2.375" OD TUBULAR STEEL PIPE

SURFACE MOUNTED. 3/8" THICK
STEEL PLATE WITH 3 EX. 9/16"
DIA. MOUNTING HOLES.
INSTALL BIKE RACK ACCORDING
TO MANUFACTURER'S
SPECIFICATIONS.

CONCRETE SLAB - REFER TO
CIVIL DOCUMENTS

NOTE:
BRHS - 101 BIKE RACK -
OR APPROVED EQUAL:
MANUF: VICTORY STANLEY
COLOR: TITANIUM
MOUNT: SURFACE MOUNT
HEIGHT: 3'

PHONE #: (800) 368-2573



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0 0.5 1
SCALE: 1" = 1'

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1/4 OF SECTION 23, T.1N,
R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE

**SITE PLAN
EXHIBIT - BIKE
RACK**

PEA JOB NO. 2018-033

P.M. JPB

DN. LAW

DES. GMB

DRAWING NUMBER:

1

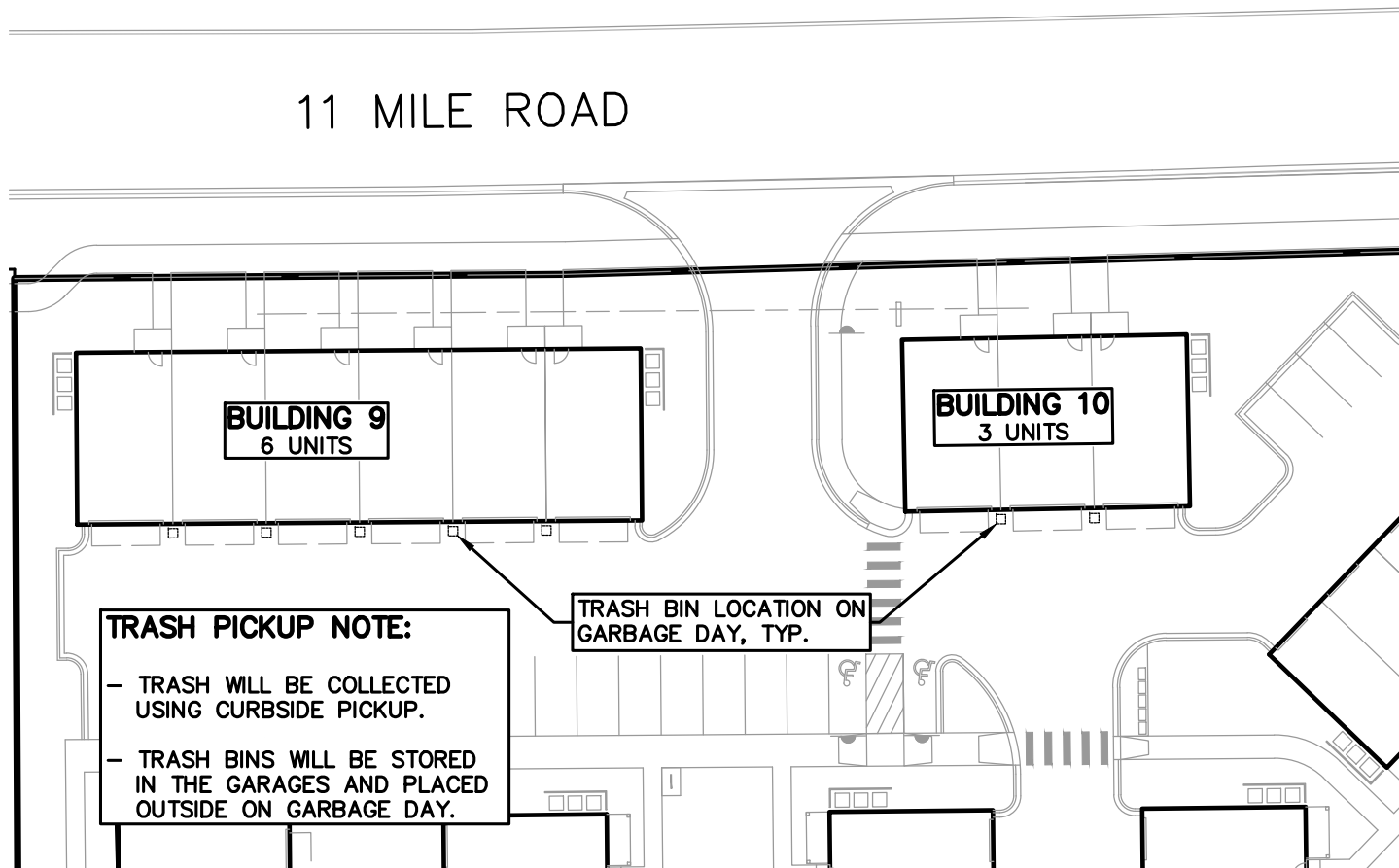
BICYCLE RACK DETAIL

SCALE: 1" = 1'-0"

SHEET 10



11 MILE ROAD



CLIENT

SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

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1/4 OF SECTION 23, T.1N,
R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE

**SITE PLAN EXHIBIT
- UNIT TRASH BIN
(TYPICAL)**

PEA JOB NO. 2018-033

J.P.M. JPB

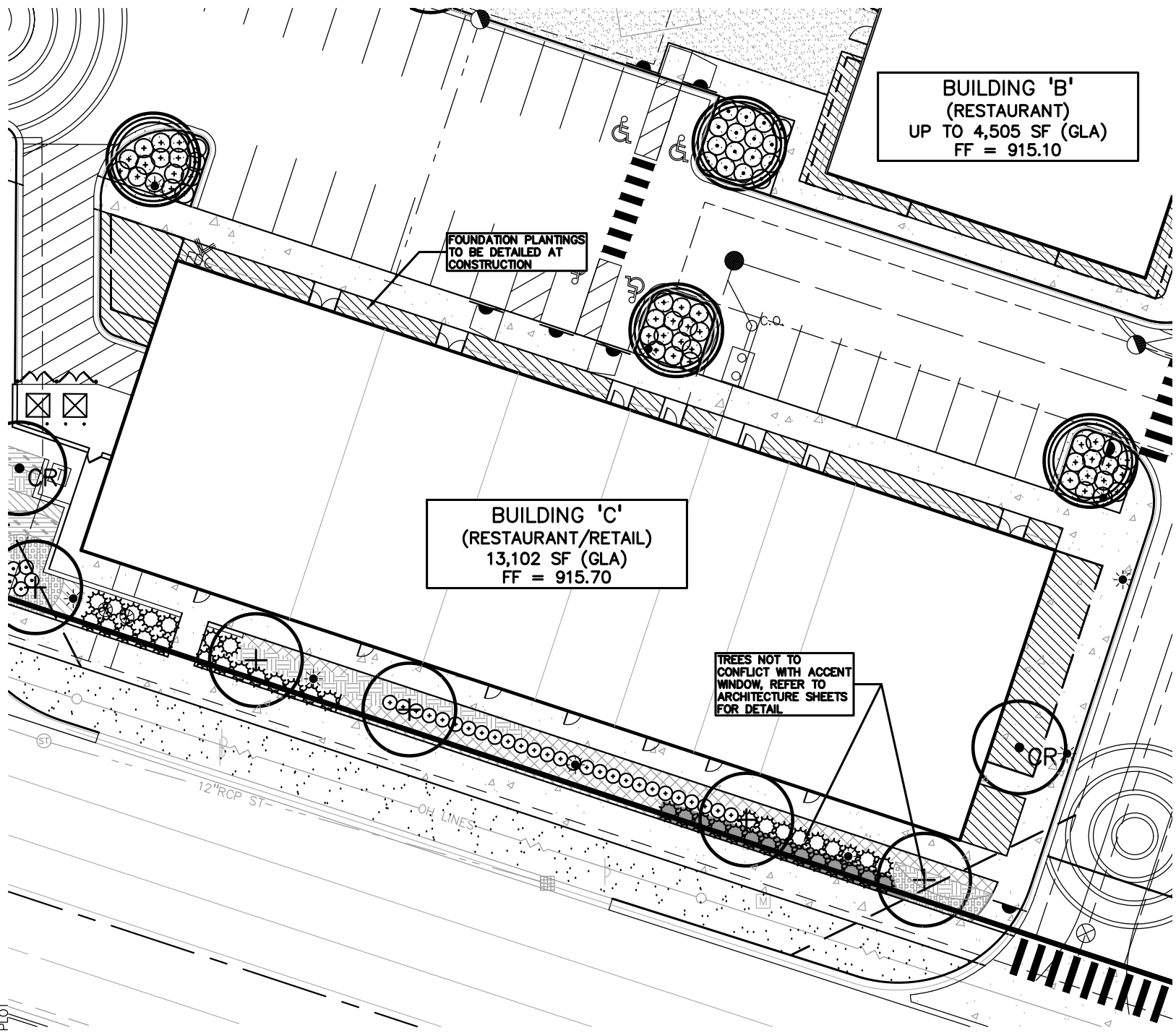
DN. LAW

DES. GMB

DRAWING NUMBER:

SHEET 12

S:\PROJECTS\2018-033 AIKEN NOVI-JPB\DWG SITE PLANS\EXHIBITS\8x11\(-1.15) LANDSCAPE EXHIBITS-18033.dwg
PLOT



BUILDING 'B'
(RESTAURANT)
UP TO 4,505 SF (GLA)
FF = 915.10

FOUNDATION PLANTINGS
TO BE DETAILED AT
CONSTRUCTION

BUILDING 'C'
(RESTAURANT/RETAIL)
13,102 SF (GLA)
FF = 915.70

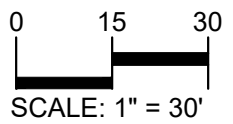
TREES NOT TO
CONFLICT WITH ACCENT
WINDOW, REFER TO
ARCHITECTURE SHEETS
FOR DETAIL



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NORTH



CLIENT
SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

PROJECT TITLE
SAKURA NOVI
PART OF THE 1/2 OF THE NW
1/4 OF SECTION 23, T.1N,
R.8E,
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

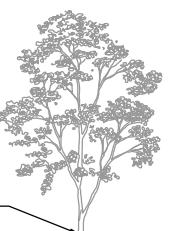
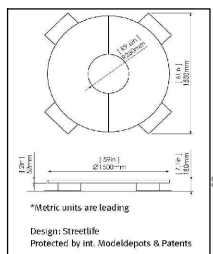
DRAWING TITLE
**SITE PLAN
EXHIBIT -
BUILDING C**

PEA JOB NO. 2018-033
P.M. JPB
DN. LAW
DES. GMB

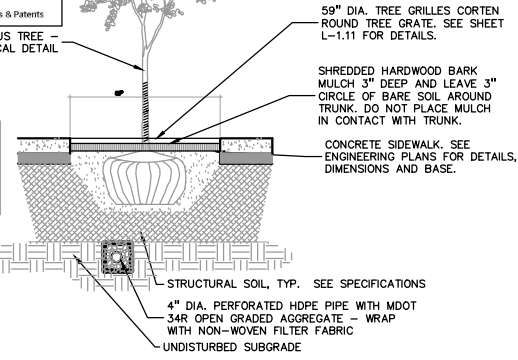
DRAWING NUMBER:

SHEET 14

S:\PROJECTS\2018-033 AIKEN NOVI-JPB\DWG\SITE PLANS\EXHIBITS\8x11\(-1.15) LANDSCAPE EXHIBITS-18033.dwg PLOT



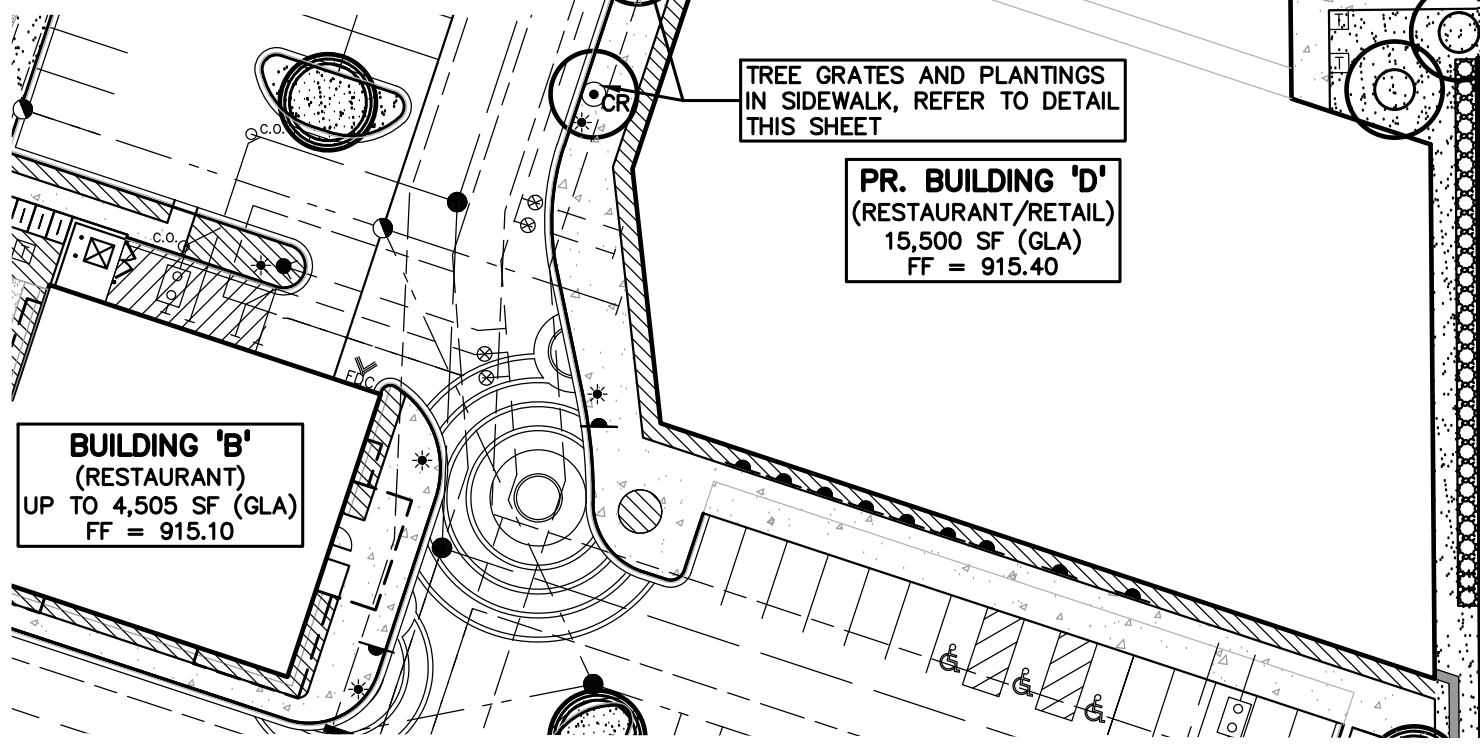
NOTE: SEE LANDSCAPE PLANS FOR LARGER VERSION OF ALL DETAILS, TYP.



NOTE: MODEL: TREE GRILLES CORTEN ROUND MATERIAL: CORTEN STEEL PATTERN: RIPPLE MANUFACTURER: STREETLIFE QUANTITY: 5 SUPPLIER: STREETLIFE PHONE: # 215-247-2148 WEBSITE: STREETLIFE.COM/EN INSTALL ACCORDING TO MANUFACTURER'S SPECIFICATIONS.



1 PLANTER WITH STRUCTURAL SOIL SECTION
NOT TO SCALE



PR. BUILDING 'A'
(COMMERCIAL)
12,900 SF (GLA)
FF = 915.40

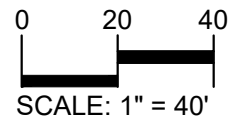
TREE GRATES AND PLANTINGS
IN SIDEWALK, REFER TO DETAIL
THIS SHEET

PR. BUILDING 'D'
(RESTAURANT/RETAIL)
15,500 SF (GLA)
FF = 915.40

BUILDING 'B'
(RESTAURANT)
UP TO 4,505 SF (GLA)
FF = 915.10



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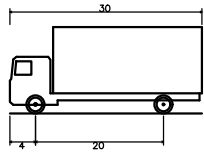
PROJECT TITLE
SAKURA NOVI
PART OF THE 1/2 OF THE NW
1/4 OF SECTION 23, T.1N,
R.8E,
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE
**SITE PLAN
EXHIBIT - BLDG
D/A TREE
GRATES**

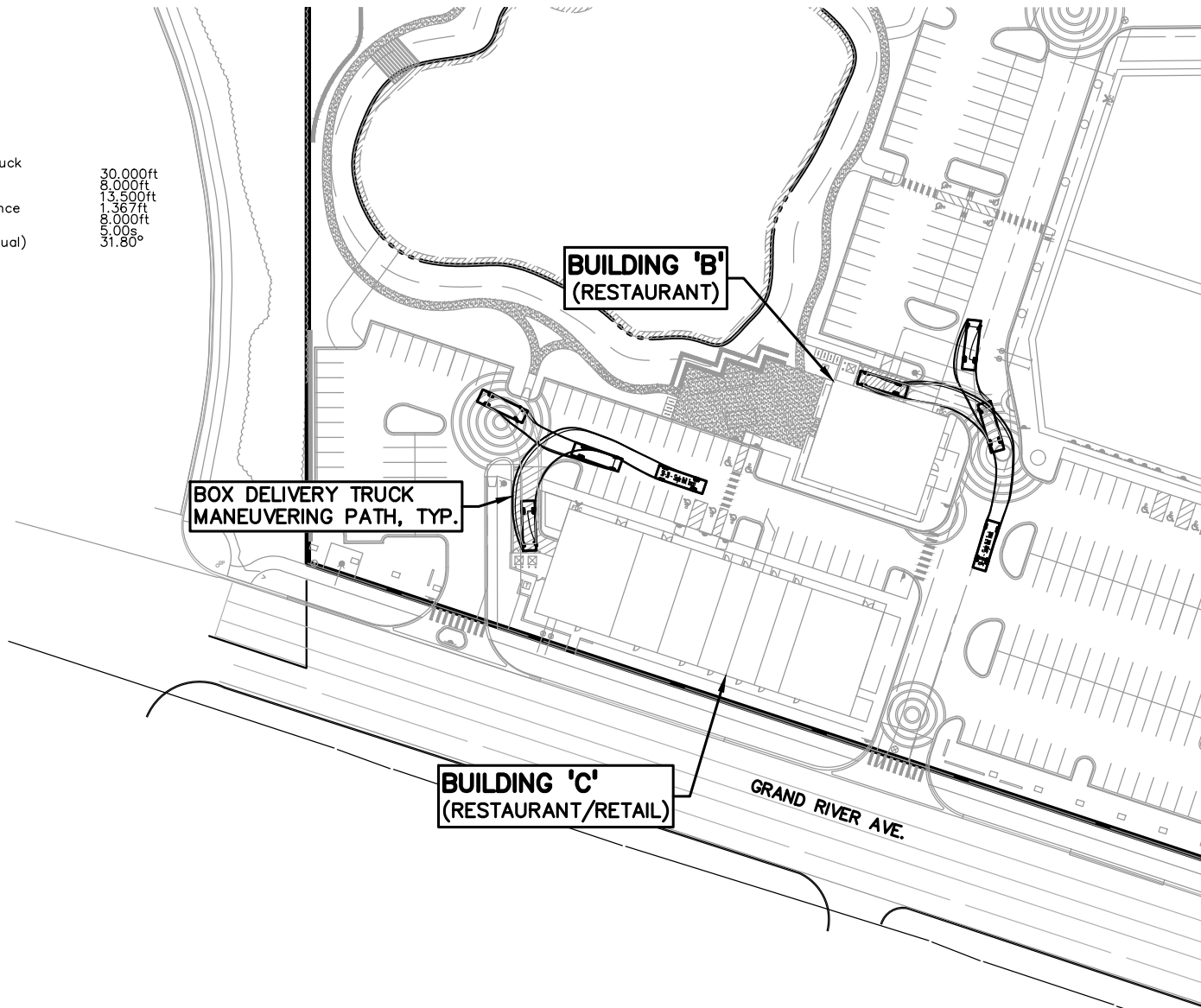
J.P.M.	J.P.B.
D.N.	L.A.W.
D.E.S.	G.M.B.

DRAWING NUMBER:
SHEET 15

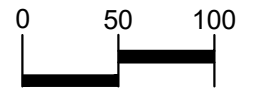


SU-30 - Single Unit Truck
Overall Length 30.000ft
Overall Width 8.000ft
Overall Body Height 13.500ft
Min Body Ground Clearance 1.367ft
Track Width 8.000ft
Lock-to-lock time 5.00s
Max Steering Angle (Virtual) 31.80°

30.000ft
8.000ft
13.500ft
1.367ft
8.000ft
5.00s
31.80°



NORTH



SCALE: 1" = 100'

CLIENT

SAKURA NOVI, LLC
350 OLD WOODWARD AVE.,
SUITE 300
BIRMINGHAM, MI 48009

PROJECT TITLE

SAKURA NOVI
PART OF THE 1/2 OF THE NW
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R.8E.
NOVI, MI 48375

ORIGINAL ISSUE DATE:
JULY 06, 2022

DRAWING TITLE

**SITE PLAN EXHIBIT
- TRUCK TURN
(BLDGS B & C)**

PEA JOB NO. 2018-033

P.M. JPB

DN. LAW

DES. GMB

DRAWING NUMBER:

SHEET 16

**PLANNING COMMISSION MINUTES – DRAFT
JULY 13, 2022**

**Motion to approve the Preliminary Site Plan for JSP21-27 Shelter Bay Animal Hospital.
Motion carried 7-0.**

3. SAKURA NOVI JSP22-09

Public hearing at the request of Sakura Novi Land Development LLC for Planning Commission's recommendation to the City Council of Preliminary Site Plan, Phasing Plan, Wetland Permit, Woodland Permit, and Storm Water Management Plan. The subject property is zoned TC-1 with a Planned Rezoning Overlay (PRO), which conditions development to the terms of a PRO Plan and Agreement. The site is approximately 15 acres and is located north of Grand River Avenue, south of Eleven Mile Road, and east of Town Center Drive (Section 23). The applicant is proposing to develop a mixed-use development including commercial retail, office, and restaurant uses, and multifamily residential units. The development has access to Grand River Avenue and Eleven Mile Road.

Senior Planner Bell said the applicant is requesting site plan approval for approximately 15-acres of property located north of Grand River Avenue, south of 11 Mile Road, and east of Town Center Drive. This process began several years ago when the applicant entered into a purchase agreement with the City for the majority of the subject property and proposed a Planned Rezoning Overlay, or PRO, to be able to develop the property as a mixed-use development. The layout, intensity, mix of uses, and design evolved over time, and eventually the City Council approved the PRO Agreement and Plan in May 2021 and completed the sale of the property in August of 2021. The rezoning changed the district to Town Center - 1, subject to the terms and conditions of the Planned Rezoning Overlay Agreement. Properties to the north of Eleven Mile are zoned Office Service Commercial and I-1 Light Industrial. To the east the adjacent area is zoned I-1 Light Industrial and B-3 General Business. To the south, across Grand River, is zoned TC-1, and to the east is zoned Town Center. The Master Plan specifies this area as TC Gateway and designated the area specifically as a redevelopment area. The site contains both regulated woodland and wetland features.

Senior Planner Bell continued to say Sakura Novi has been proposed as a mixed-use development that would highlight the cultural diversity of Novi and add a vibrant destination in the Town Center area. The project is presented as 2 phases. Phase 1 consists of a commercial area with four buildings which incorporate restaurant, retail, and office uses along the Grand River frontage in addition to 118-townhome units on the north and eastern portions of the site accessed via 11 Mile Road. The existing pond on the west side of the site is to be a focal point and public gathering space, to be enhanced with Japanese-style gardens and a walkway around the perimeter. The Phase 2 portion of the project includes an additional 15 townhome units between the eastern residential area and the commercial area. In Phase 1 that area is used for additional parking. The PRO Agreement granted a list of waivers and deviations to permit the development proposed. Two additional waivers are requested at this time, both are permitted to be approved by the Planning Commission and City Council under the terms of the PRO Agreement. One is a landscaping waiver for a deficiency in accessway perimeter trees, and the other would allow lighting levels to exceed the 4:1 average to minimum ratio in some locations due to the more subtle pedestrian-level lighting proposed around the pond walkway; this was previously approved as a deviation to fall below the required 0.2 footcandle standard. We have worked with the applicant to achieve a maximum ratio of 6:1 in those locations.

Senior Planner Bell went on to say wetland and woodland permits are required, as described in the PRO Agreement. A woodland conservation easement would protect the 17 replacement credits proposed to be planted on the site. The building facades match what was proposed and the Section 9 waivers that were approved in the PRO Agreement. Public benefits agreed to at the time of the PRO included a contribution to the Sidewalk Fund for

completion of off-site sidewalk on Grand River, including a small segment adjacent to their site. Other benefits include adding a multi-generational, multi-use play area and pond platform to be located northwest of the pond, as well as a free little library. A meditation plaza is shown on the eastern side of the site, and it overlooks the stormwater management and the wetland beyond. An easement to the City for the purpose of displaying public art is located on the east side of the site near Grand River. Right of Way along Grand River and 11 Mile has been dedicated.

Senior Planner Bell concluded by saying site plans of 5 acres or more in the Town Center districts require City Council approval after review and recommendation by the Planning Commission. Tonight, the Planning Commission is asked to hold the public hearing and make a recommendation to the City Council on the Preliminary Site Plan with Site Condominium and Phasing Plan, Wetland Permit, Woodland Permit and Stormwater Management Plan. Staff and our wetland consultant are available to answer any questions you may have. The applicants, Scott Aikens and Tim Loughrin and their team are here to tell you more about their proposal to respond to your questions as well.

Chair Pehrson invited the applicant to address the Planning Commission.

Scott Aikens, with Sakura Novi LLC, said we are pleased to be back before the Planning Commission. We sought diligently to adhere to the PRO Agreement. We are hopeful that we have done enough to move forward. We have numerous businesses that are eager or interested to be a part of the site. Our team stands by to answer any questions.

Chair Pehrson invited members of the audience who wished to participate in the public hearing to approach the podium. Seeing that nobody wished to speak and there was not any correspondence, Chair Pehrson turned it over to the Planning Commission for consideration.

Member Lynch said just to be clear, since we have looked at this project before, the difference between what is proposed and what was previously approved is they would like to replace a parking lot with 15 more units?

Senior Planner Bell said before the PRO Agreement was finalized, the applicant had come forward with the optional Phase 2. Depending on the leasing of the commercial buildings, they may need that parking. If certain tenants did not require that parking, parking to the rear of those commercial units might be converted into residential units. The PRO Agreement does allow for 15 additional units to added in that area.

Member Lynch said I don't quite understand the ratios required for lighting – why is it important for me to consider it for an approval?

Ms. Bell said the ordinance says that to create an even lighting situation that doesn't have large spaces of intense lighting or darkness, it requires a 4:1 ratio; the overall average shouldn't be more than 4 times as bright as the lowest spot being lit.

Member Lynch said okay, so it sounds like we consider lighting to make sure there is a uniform glow on the sight and so there aren't very bright areas and very dark areas.

Ms. Bell said my understanding is the applicant would like to create shorter pedestrian scale lighting around the pond. To achieve uniform lighting, they would need to have a many of them positioned directly beside one another because that light only reaches so far. Since they do not want tall street lighting, they need this waiver to have the more subtle lighting situation.

Member Lynch asked Landscape Architect Meader if he was okay with the tree locations on

the site.

Mr. Meader said they have worked hard to get what they can. It would be nice to have the 3 extra trees along the accessway, but they are concerned about visibility for the commercial tenants.

Member Becker asked what is the requirement pertaining to the landscaping easement for planting of evergreen trees on the ECCO Tool Property?

Senior Planner Bell said since the space is tight on that side of the site, they are planning to plant some of their required trees on the ECCO Tool site. This will require them to obtain a landscape easement to ensure those trees are allowed to be planted there and that they stay there to provide the required screening.

Member Becker asked has communication been made with ECCO Tool? Are they amenable to this?

Scott Aikens confirmed that they had reached out and the applicant is open to the easement.

Member Dismondy asked why isn't Town Center Drive a border for this site? It looks like there is some space there acting as a buffer.

Senior Planner Bell said that is owned by the Novi Town Center. My understanding is that it is a part of their open space requirement, so they have always owned that space.

Member Dismondy said that makes sense. Also, I am surprised to see so much retail on a development like this because it is harder to finance than only building multi-family. However, in your opening statement, you mentioned that you have a lot of interest, so that is great to hear. It seems like the challenge would be keeping that retail space leased, but overall, it seems like a great project.

Member Verma said you mentioned that the applicant plans to install Japanese style plants and landscaping around the pond. Will there also be a jacuzzi there?

Ms. Bell said no, that is not in the plans.

Member Roney said the phasing confuses me a little bit. Phase one seems to be split into three phases, or will that be simultaneous? What is the timing for this project?

Scott Aikens said as part of the PRO Agreement, the first building to go up will be 13,000 square foot building along Grand River and the 50 apartment units will be constructed. Then, the other 117 residential units will roll through. The commercial will also roll similarly based on leasing.

Member Roney asked when do you think Phase 1 would be complete?

Scott Aikens said we're targeting Spring of 2024.

Motion made by Member Avdoulos and seconded by Member Lynch.

In the matter of Sakura Novi, JSP22-09, motion to recommend to City Council approval of the Preliminary Site Plan with Site Condominium and Phasing Plan based on and subject to the following:

- a. Lighting waiver from Section 5.7 to allow light levels to exceed the 4:1 average to minimum ratio in some locations, up to a maximum of a 6:1 ratio, in order to allow greater variation in the light levels in certain areas of the property.**

- b. Landscape waiver from Section 5.5.3.C.iii to permit the shortage of 14 access-way perimeter trees in the commercial area.
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters, as well as all of the terms and conditions of the PRO Agreement as approved, with any outstanding items being addressed on the Final Site Plan.

ROLL CALL VOTE TO RECOMMEND APPROVAL OF THE PRELIMINARY SITE PLAN FOR JSP22-09 SAKURA NOVI TO CITY COUNCIL MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to recommend approval of the Preliminary Site Plan for JSP22-09 Sakura Novi to City Council. *Motion carried 7-0.*

Motion made by Member Avdoulos and seconded by Member Lynch.

In the matter of Sakura Novi, JSP22-09, motion to recommend to the City Council to approve the Wetland Permit based on and subject to the following:

- a. As permitted under the terms outlined in the PRO Agreement, the applicant shall mitigate wetland impacts by purchasing credits in an EGLE-approved wetland mitigation bank;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

ROLL CALL VOTE TO RECOMMEND APPROVAL OF THE WETLAND PERMIT FOR JSP22-09 SAKURA NOVI TO CITY COUNCIL MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to recommend approval of the Wetland Permit for JSP22-09 Sakura Novi to City Council. *Motion carried 7-0.*

Motion made by Member Avdoulos and seconded by Member Lynch.

In the matter of Sakura Novi, JSP22-09, motion to recommend to the City Council to approve the Woodland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

ROLL CALL VOTE TO RECOMMEND APPROVAL OF THE WOODLAND PERMIT FOR JSP22-09 SAKURA NOVI TO CITY COUNCIL MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to recommend approval of the Woodland Permit for JSP22-09 Sakura Novi to City Council. *Motion carried 7-0.*

Motion made by Member Avdoulos and seconded by Member Lynch.

In the matter of Sakura Novi, JSP22-09, motion to recommend to the City Council to approve the Stormwater Management Plan, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

ROLL CALL VOTE TO RECOMMEND APPROVAL OF THE STORMWATER MANAGEMENT PLAN FOR JSP22-09 SAKURA NOVI TO CITY COUNCIL MADE BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to recommend approval of the Stormwater Management Plan for JSP22-09

Sakura Novi to City Council. Motion carried 7-0.

MATTERS FOR CONSIDERATION

1. ELECTION OF OFFICERS AND APPOINTMENTS TO COMMITTEES

City Planner McBeth said I was able to contact all the Planning Commissioners, and it appears that all Commissioners are content with the Committees they have been serving on, with the exception of Member Becker who offered to take any positions that any other Commissioners may want to drop.

Member Avdoulos said since Member Becker is only on one Committee, I will give up my spot on the Walkable Novi Committee for him if he is interested.

Member Becker said I would be happy to.

Motion made by Member Avdoulos and seconded by Member Lynch.

VOICE VOTE MOVED BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH TO REINSTATE ALL COMMITTEE POSITIONS PREVIOUSLY HELD BY EACH MEMBER WITH THE EXCEPTION OF MEMBER BECKER REPLACING MEMBER AVDOULOS ON THE ENVIRONMENTAL AND WALKABLE NOVI COMMITTEE.

Motion to reinstate all committee positions previously held with the exception of Member Becker replacing Member Avdoulos on the Environmental and Walkable Novi Committee. Motion carried 7-0.

Motion made by Member Avdoulos and seconded by Member Lynch.

VOICE VOTE TO ELECT MEMBER PEHRSON AS THE CHAIR OF THE PLANNING COMMISSION MOVED BY MEMBER AVDOULOS AND SECONDED BY MEMBER LYNCH.

Motion to elect Member Pehrson as the Chair of the Planning Commission. Motion carried 7-0.

Motion made by Member Lynch and seconded by Member Roney.

VOICE VOTE TO ELECT MEMBER AVDOULOS AS THE VICE CHAIR OF THE PLANNING COMMISSION MOVED BY MEMBER LYNCH AND SECONDED BY MEMBER RONEY.

Motion to elect Member Avdoulos as the Vice Chair of the Planning Commission. Motion carried 7-0.

Motion made by Member Dismondy and seconded by Member Becker.

VOICE VOTE TO ELECT MEMBER LYNCH AS THE SECRETARY OF THE PLANNING COMMISSION MOVED BY MEMBER DISMONDY AND SECONDED BY MEMBER BECKER.

Motion to elect Member Lynch as the Secretary of the Planning Commission. Motion carried 7-0.

2. APPROVAL OF THE JUNE 8, 2022 PLANNING COMMISSION MINUTES

Motion made by Member Lynch and seconded by Member Verma.

ROLL CALL VOTE TO APPROVE THE JUNE 8, 2022 PLANNING COMMISSION MINUTES MADE BY

ADDENDUM TO PRO AGREEMENT

**ADDENDUM TO
PLANNED REZONING OVERLAY (PRO) AGREEMENT
SAKURA NOVI**

This Addendum to Planned Rezoning Overlay (PRO) Agreement ("Agreement") by and between SAKURA NOVI, LLC, a Michigan limited liability company, whose address is 350 North Old Woodward Ave, Ste 350, Birmingham, MI 48009 (referred to as "Developer"); ECCO TOOL CO., INC., 42525 W. Eleven Mile Rd., Novi, MI 48375 ("ECCO"); and the CITY OF NOVI, 45175 Ten Mile Road, Novi, MI 48375-3024 ("City").

RECITATIONS

I. The Applicant and the City entered into a PRO Agreement effective _____, which is recorded at Liber 56783, Page 631, Oakland County Records.

II. The PRO Agreement contemplates that the Condominium Plan for the Project will include three total units – Unit 1 being the Commercial portion of the Development and Units 2 and 3 being the Residential portions of the Development ("Original PRO Agreement").

III. The Developer has requested to establish 5 Units on the Condominium Plan, including Units 1, 2 and 3 being the Commercial portion of the Development, and Units 4 and 5 being the Residential portions of the Development.

IV. Additionally, the City identified an error in Recitation G.i in which reference to "Unit 2" should have been "Unit 1" requiring correction for consistency with the PRO Plan.

V. Because the changes do not have any substantive impact on content of the plan or make any physical change the approved PRO Plan, the City does not object to the

correction of the error and the renumbering of the units on the Condominium Subdivision Plan, and agrees to Amend the PRO Agreement to reflect the changes.

NOW, THEREFORE, based upon the foregoing, the parties agree as follows:

1. Recitation A of the Original PRO Agreement is hereby amended to read in full as follows:

A. Developer is the prospective purchaser and developer of:

- (1) Two separate parcels of property owned by the City of Novi. The "**Anglin Parcel**" (Parcel No. 22-23-126-006, approximately 9.9 net acres) is located on the north side of Grand River Avenue east of Town Center Drive. The "**Eleven Mile Parcel**" (Parcel No. 22-23-226-008, approximately 1.867 net acres) is located on Eleven Mile Road near the Anglin Parcel.
- (2) One parcel of property owned by ECCO (Parcel No. 22-23-226-007 and part of Parcel No. 22-23-126-011, approximately 3.52 net acres) that is adjacent to the City's Eleven Mile Parcel (the "**ECCO Parcel**").

The Anglin Parcel, the Eleven Mile Parcel, and the ECCO Parcel (collectively referred to herein as the "**Overall Land**") are more particularly described and depicted on **Exhibit A**, attached hereto and incorporated herein.

As used herein, the term "**Commercial Land**" shall refer to Units 1, 2 and 3 as depicted on the proposed condominium plan attached hereto and incorporated herein as **Exhibit B** (the "**Condominium Plan**"). As used herein, the term "**Residential Land**" shall collectively refer to Units 4 and 5 as depicted on the Condominium Plan. As further described herein, however, part of Unit 1 may be re-designated

Notary Public
_____ County, Michigan
Acting in _____ County, Michigan
My Commission Expires: _____

[SIGNATURES CONTINUED ON NEXT PAGE]

ECCO TOOL CO., INC

By:
Its:

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

On this _____ day of _____, 2022, before me appeared _____,
who states that he has signed this document of his own free will duly authorized on behalf of the
Developer.

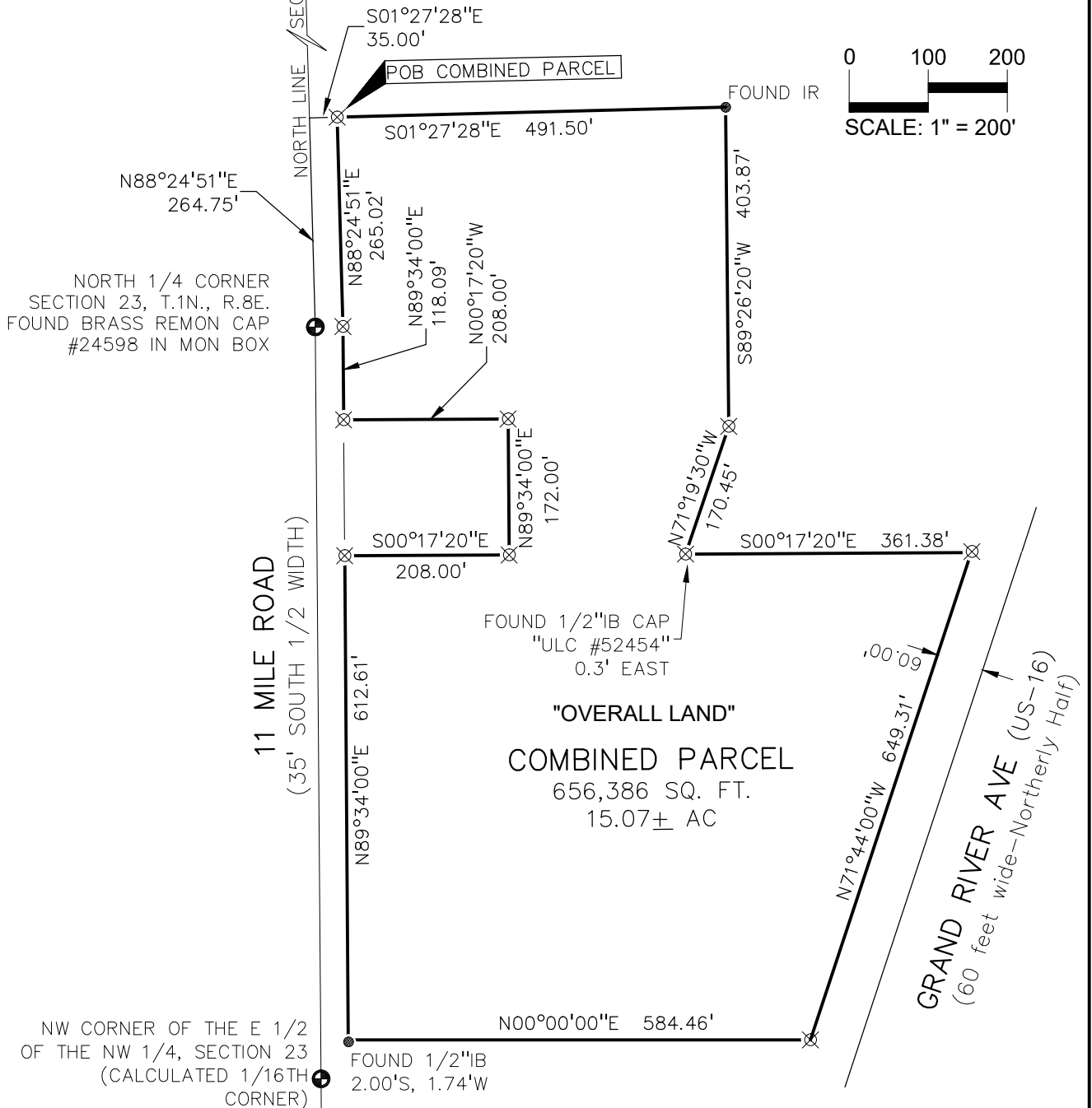
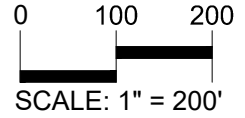
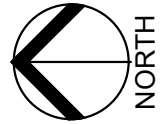
Notary Public
_____ County, Michigan
Acting in _____ County, Michigan
My Commission Expires: _____

EXHIBIT A
LEGAL DESCRIPTIONS AND DEPICTIONS

Overall Combined Parcel
“ECCO Parcel” shown as Parcel 1A or A
“Eleven Mile Parcel” shown as 1B
“Anglin Parcel” shown as Parcel 1C
“Retained ECCO Parcel” shown as Parcel B

LAND COMBINATION

NE CORNER
SECTION 23, T.1N., R.8E.
FOUND BRASS REMON CAP
#24598 IN MON BOX



NORTH 1/4 CORNER
SECTION 23, T.1N., R.8E.
FOUND BRASS REMON CAP
#24598 IN MON BOX

11 MILE ROAD
(35' SOUTH 1/2 WIDTH)

FOUND 1/2" IB CAP
"ULC #52454"
0.3' EAST

"OVERALL LAND"
COMBINED PARCEL
656,386 SQ. FT.
15.07± AC

GRAND RIVER AVE (US-16)
(60 feet wide-Northerly Half)

NW CORNER OF THE E 1/2
OF THE NW 1/4, SECTION 23
(CALCULATED 1/16TH
CORNER)

NORTHWEST CORNER
SECTION 23, T.1N., R.8E.
FOUND BRASS REMON CAP
#17642 IN MON BOX

LEGEND

- IRON FOUND
- ⊗ IRON SET
- ⊕ SECTION CORNER FOUND

BASIS OF BEARINGS
THE NORTH LINE OF SECTION 23
WEST OF THE NORTH 1/4 CORNER
AS N89°34'00"E AS DESCRIBED IN A
WARRANTY DEED RECORDED IN
LIBER 50264, PAGE 679 (OCR)



I, Todd D. Shelly, a Licensed Professional Surveyor in the State of Michigan, certify that I have surveyed the parcel(s) of land hereon described; that are no encroachments except as shown; that the field error of closure is 1 part in 10,000; and that I have complied with the survey requirements of Public Act 132 of 1970, as amended. The seller of this property is required to record this instrument at the time of sale.

Todd D. Shelly, PS
Michigan Professional Surveyor No. 4001041111
Agent for PEA Group

Date:

SAKURA NOVI, LLC
350 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, MICHIGAN 48009

REV 8-19-21

SHEET 1 OF 5
August 12, 2021
2018-033

PEA GROUP

t: 844.813.2949
www.peagroup.com

LAND COMBINATION

LEGAL DESCRIPTION

COMBINED PARCELS "OVERALL LAND" (As Surveyed by PEA Group)

A parcel of land in a part of the North 1/2 of Section 23, T. 01 N, R. 08 East, City of Novi, Oakland County, Michigan described as follows:

Commencing at the N 1/4 Corner of said Section 23, T. 01 N, R. 08 East, thence along the North line of said Section 23 N88°24'51"E 264.75 feet; thence S01°27'28"E 35.00 feet to the POINT OF BEGINNING: thence S01°27'28"E, 491.50 feet; thence S89°26'20"W, 403.87 feet; thence N71°19'30"W, 170.45 feet; thence S00°17'20"E 361.38 feet to the north line of Grand River Ave. (60 feet wide northerly half); thence along said north line N71°44'00"W, 649.31 feet; thence N00°00'00"E 584.46 feet to the south line of 11 Mile Road (35 feet wide south half); thence along said south line N89°34'00"E 612.61 feet ; thence S00°17'20"E, 208.00 feet; thence N89°34'00"E, 172.00 feet; thence N00°17'20"W, 208.00 feet to the south line of said 11 Mile Road; thence along said south line N89°34'00"E, 118.09 feet and N88°24'51"E, 265.02 feet to the POINT OF BEGINNING.
Containing 656,386 SQ. FT. or 15.07± AC.

SECTION CORNER WITNESSES

NE CORNER SECTION 23, T.01N., R.08E. – FOUND AN OAK CO
REMON DISK IN A MONUMENT BOX

N30°W 63.20' Mag nail and tag in the SW side of a power pole.
S65°W 67.90' Mag nail and tag in the SW side of a power pole.
S55°E 49.70' Punch mark on the N rim of a water manhole.
N74°E 61.80' Mag nail and tag in the SE side of a power pole.

N 1/4 CORNER SECTION 23, T.01N., R.08E. – FOUND AN OAK CO
REMON DISK IN A MONUMENT BOX

N60°W 118.70' PK and Tag in the SW face of a 26" Maple
N60°W 102.40' PK and Tag in the NW face of a power pole
S71°WE 69.10' PK and Tag in the SE face of a power pole
S71°E 104.10' PK and Tag in the NW face of a power pole

SAKURA NOVI, LLC
350 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, MICHIGAN 48009

REV 8-19-21

SHEET 2 of 5
August 12, 2021
2018-033

**PEA
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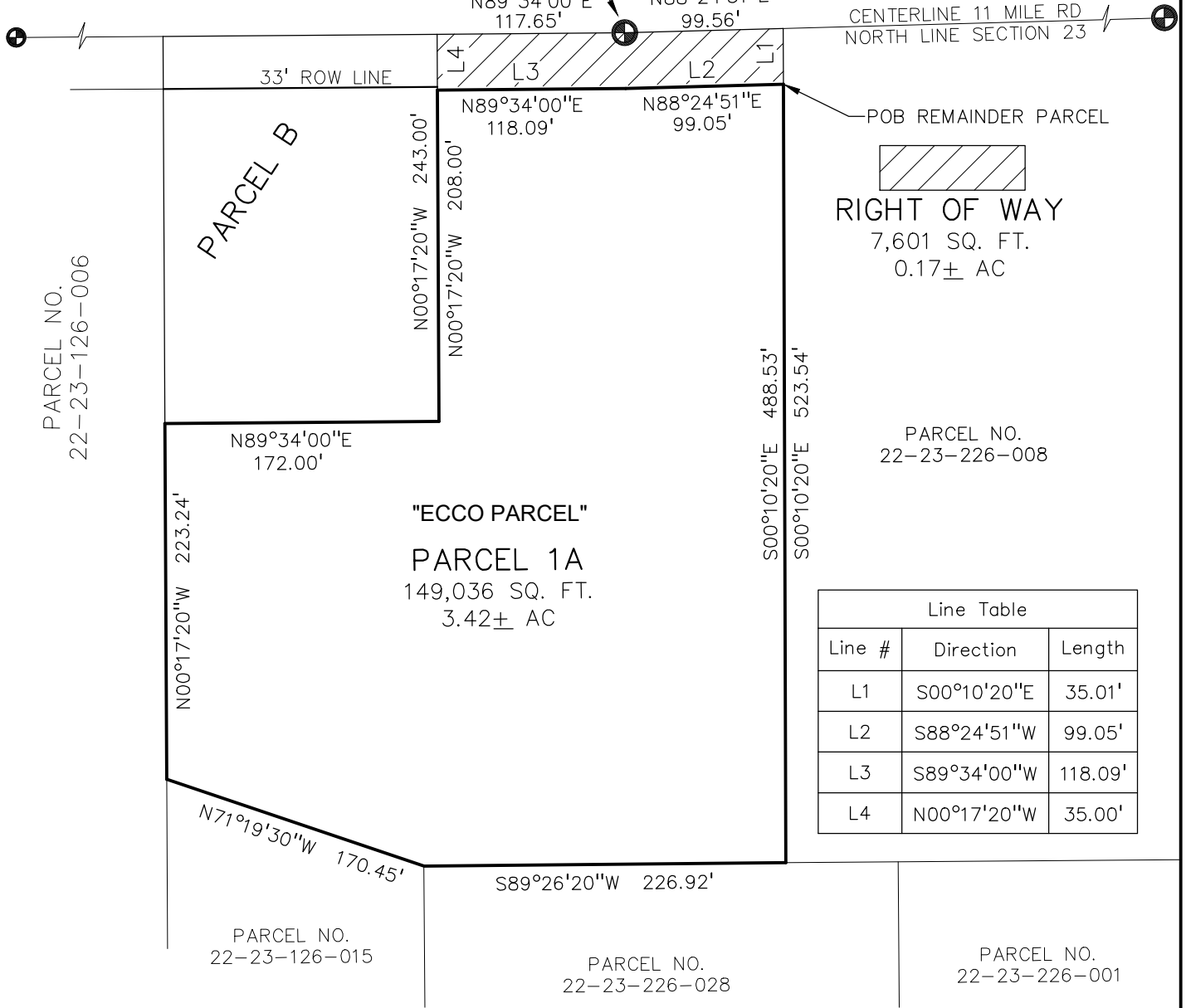
LAND COMBINATION

11 MILE ROAD

NORTHWEST CORNER OF THE EAST 1/2 OF THE NORTHWEST 1/4, SECTION 23 (CALCULATED 1/8TH CORNER)

NORTH 1/4 CORNER SECTION 23 T.1N., R.8E. CITY OF NOVI OAKLAND CO., MI

NORTHEAST CORNER SECTION 23 T.1N., R.8E. CITY OF NOVI OAKLAND CO., MI



LEGEND

- IRON FOUND
- SECTION CORNER FOUND

LEGAL DESCRIPTION

PARCEL 1A "ECCO PARCEL"

A parcel of land situated in a part of the North 1/2 of Section 23, T.01N., R.08E., City of Novi, Oakland County, Michigan, being more particularly described as follows:

Commencing at the North 1/4 Corner of Section 23, T.01N., R.08E., thence N89°24'51"E 99.56 feet along the centerline of 11 Mile Road (66 feet wide) and the north line of said Section 23; thence S00°10'20"E 35.01 feet to the proposed south line of 11 Mile Road and the POINT OF BEGINNING; thence continuing S00°10'20"E 488.53 feet; thence S89°26'20"W 226.92 feet; thence N71°19'30"W 170.45 feet; thence N00°17'20"W 223.24 feet; thence N89°34'00"E 172.00 feet; thence N00°17'20"W 208.00 feet to said proposed south line of 11 Mile Road; thence along said south line the following two courses: N89°34'00"E 118.09 feet; and 2) N88°24'51"E 99.05 feet to the POINT OF BEGINNING. Containing 149,036 SQ. FT. or 3.42± acres



NORTH

REV 8-19-21

PEA
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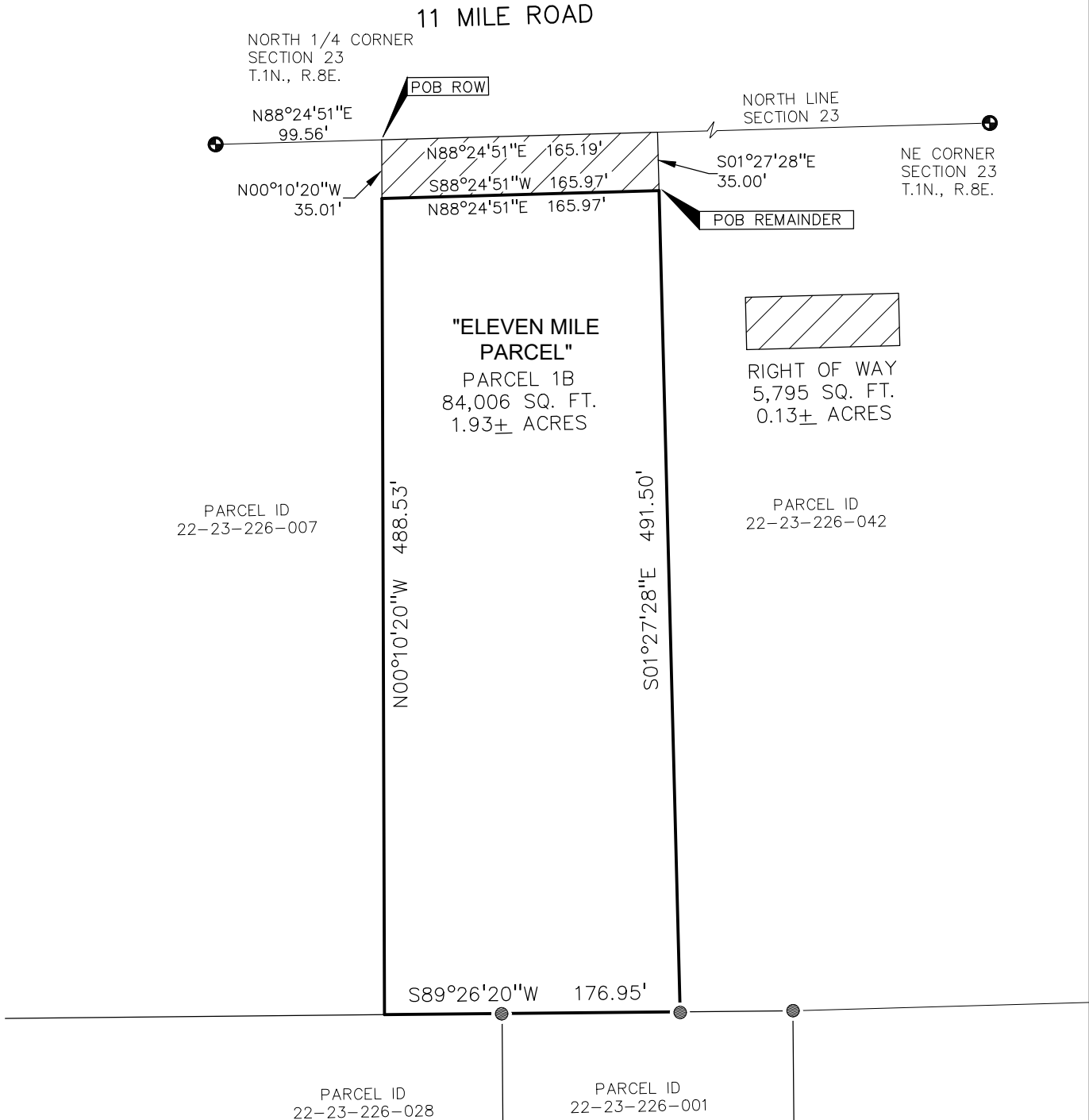
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SHEET 3 OF 5
August 12, 2021
2018-033

SAKURA NOVI, LLC
350 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, MICHIGAN 48009

LAND COMBINATION



- LEGEND**
- IRON FOUND
 - ⊕ SECTION CORNER FOUND

LEGAL DESCRIPTION

PARCE 1B "ELEVEN MILE PARCEL"

A parcel of land situated in a part of the Northeast 1/4 of Section 23, T.01N., R.08E., City of Novi, Oakland County, Michigan, being more particularly described as follows:

Commencing at the North 1/4 Corner of Section 23, T.01N., R.08E., City of Novi, Oakland County, Michigan, thence along the north line of said Section 23 N88°24'51"E 99.56 feet; thence continuing along said north line N88°24'51"E 165.19 feet; thence S01°27'28"E 35.00 feet to the proposed south line of 11 Mile Road and the POINT OF BEGINNING; thence continuing S01°27'28"E 491.50 feet; thence S89°26'20"W 176.95 feet; thence N00°10'20"W 488.53 feet to the proposed south line of 11 Mile Road; thence along said south line N88°24'51"E 165.97 feet to the POINT OF BEGINNING.
Containing 84,006 SQ. FT. or 1.93± acres



NORTH



REV 8-19-21

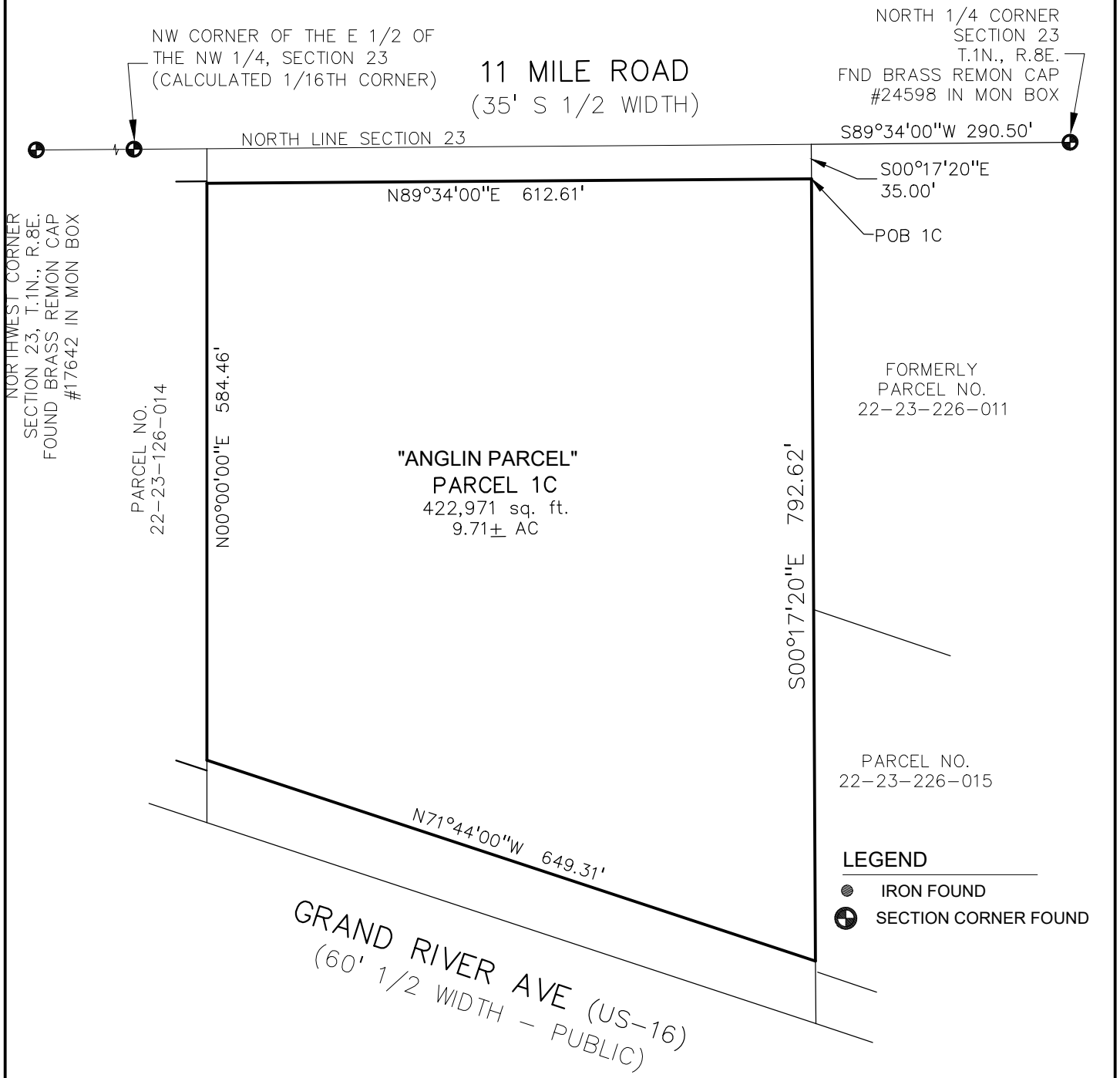
SHEET 4 of 5
August 12, 2021
2018-033

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SAKURA NOVI, LLC
350 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, MICHIGAN 48009

LAND COMBINATION



LEGAL DESCRIPTION

PARCEL 1C "ANGLIN PARCEL"

Land situated in the City of Novi in the County of Oakland in the State of Michigan

A parcel of land located in and being part of the East 1/2 of the Northwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, being more particularly described as follows:

Commencing at the North 1/4 corner of said Section 23, thence proceeding South 89 degrees 34 minutes 00 seconds West 290.50 feet along the North line of said Section 23 and the centerline of 11 Mile Road; thence S00°17'20"E 35.00 feet to the proposed south 35 foot ROW line of said 11 Mile Road and the POINT OF BEGINNING; thence continuing S00°17'20"E 792.62 feet to a point on the north 60 foot ROW line of Grand River Avenue (US-16); thence N71°44'00"W 649.31 feet along said north line; thence N00°00'00"E 584.46 feet to a point on the south 35 foot ROW line of 11 Mile Road; thence along said 35 foot ROW line N89°34'00"E 612.61 feet to the POINT OF BEGINNING. Containing 422,971 sq. ft. or 9.71± ac.

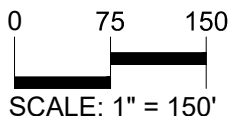


NORTH

REV 8-19-21

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SHEET 5 of 5
 August 12, 2021
 2018-033

SAKURA NOVI, LLC
 350 OLD WOODWARD AVE., SUITE 300
 BIRMINGHAM, MICHIGAN 48009

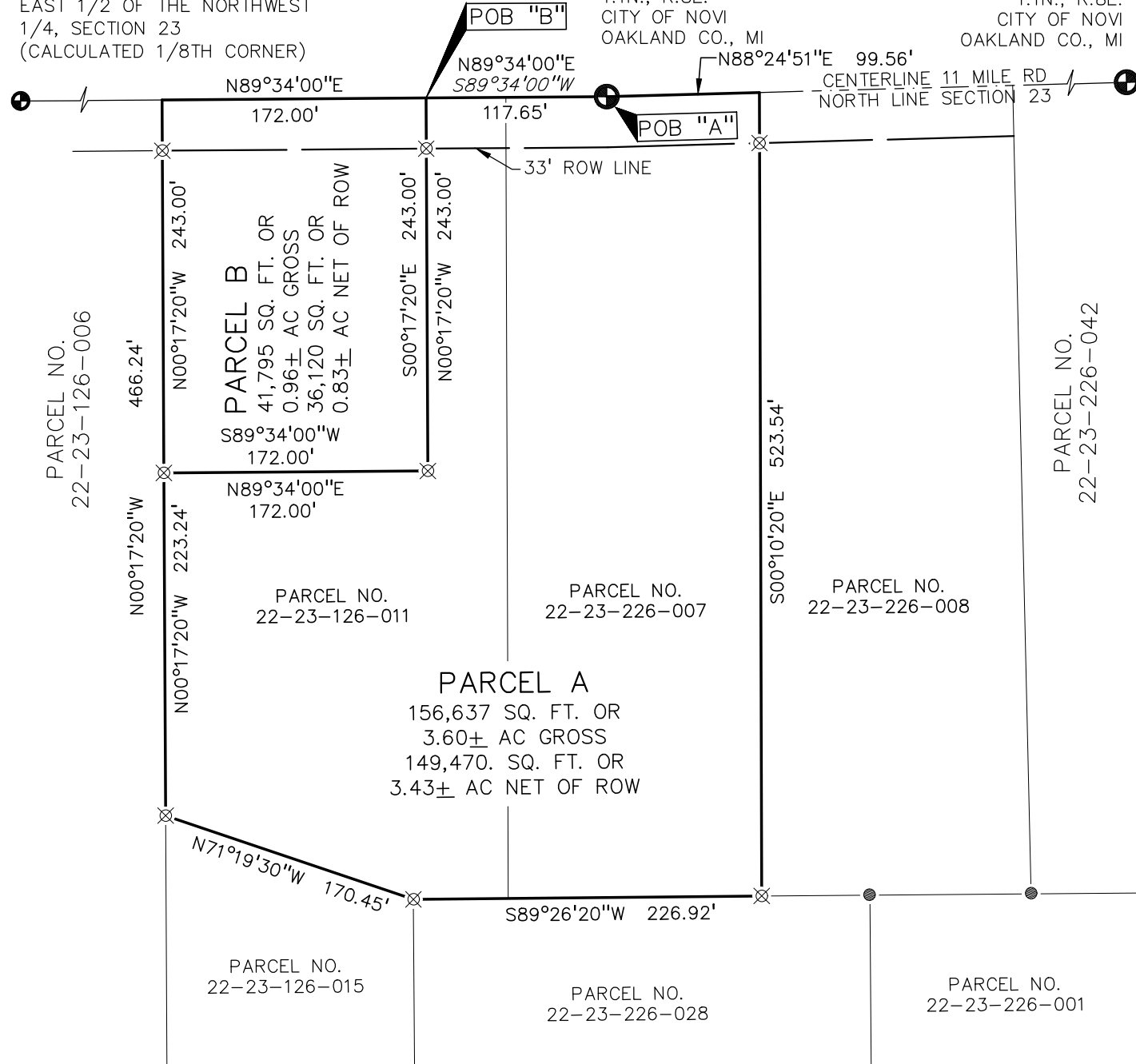
LAND DIVISION

11 MILE ROAD

NORTHWEST CORNER OF THE (33' 1/2 WIDTH-PUBLIC) EAST 1/2 OF THE NORTHWEST 1/4, SECTION 23 (CALCULATED 1/8TH CORNER)

NORTH 1/4 CORNER SECTION 23 T.1N., R.8E. CITY OF NOVI OAKLAND CO., MI

NORTHEAST CORNER SECTION 23 T.1N., R.8E. CITY OF NOVI OAKLAND CO., MI



BASIS OF BEARINGS
 THE NORTH LINE OF SECTION 23
 WEST OF THE NORTH 1/4 CORNER
 AS N89°34'00"E AS DESCRIBED IN A
 WARRANTY DEED RECORDED IN
 LIBER 50264, PAGE 679 (OCR)

I, Todd D. Shelly, a Licensed Professional Surveyor in the State of Michigan, certify that I have surveyed the parcel(s) of land hereon described; that are no encroachments except as shown; that the field error of closure is 1 part in 10,000; and that I have complied with the survey requirements of Public Act 132 of 1970, as amended. The seller of this property is required to record this instrument at the time of sale.

Todd D. Shelly

Todd D. Shelly, PS
 Michigan Professional Surveyor No. 4001041111
 Agent for PEA Group

8-17-21
 Date:



- LEGEND**
- IRON FOUND
 - ⊗ IRON SET
 - ⊕ SECTION CORNER FOUND



SAKURA NOVI LAND DEVELOPMENT, LLC
 350 OLD WOODWARD AVE., SUITE 300
 BIRMINGHAM, MICHIGAN 48009

SHEET 1 OF 4
 AUGUST 11, 2021
 2018-033



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 www.peagroup.com

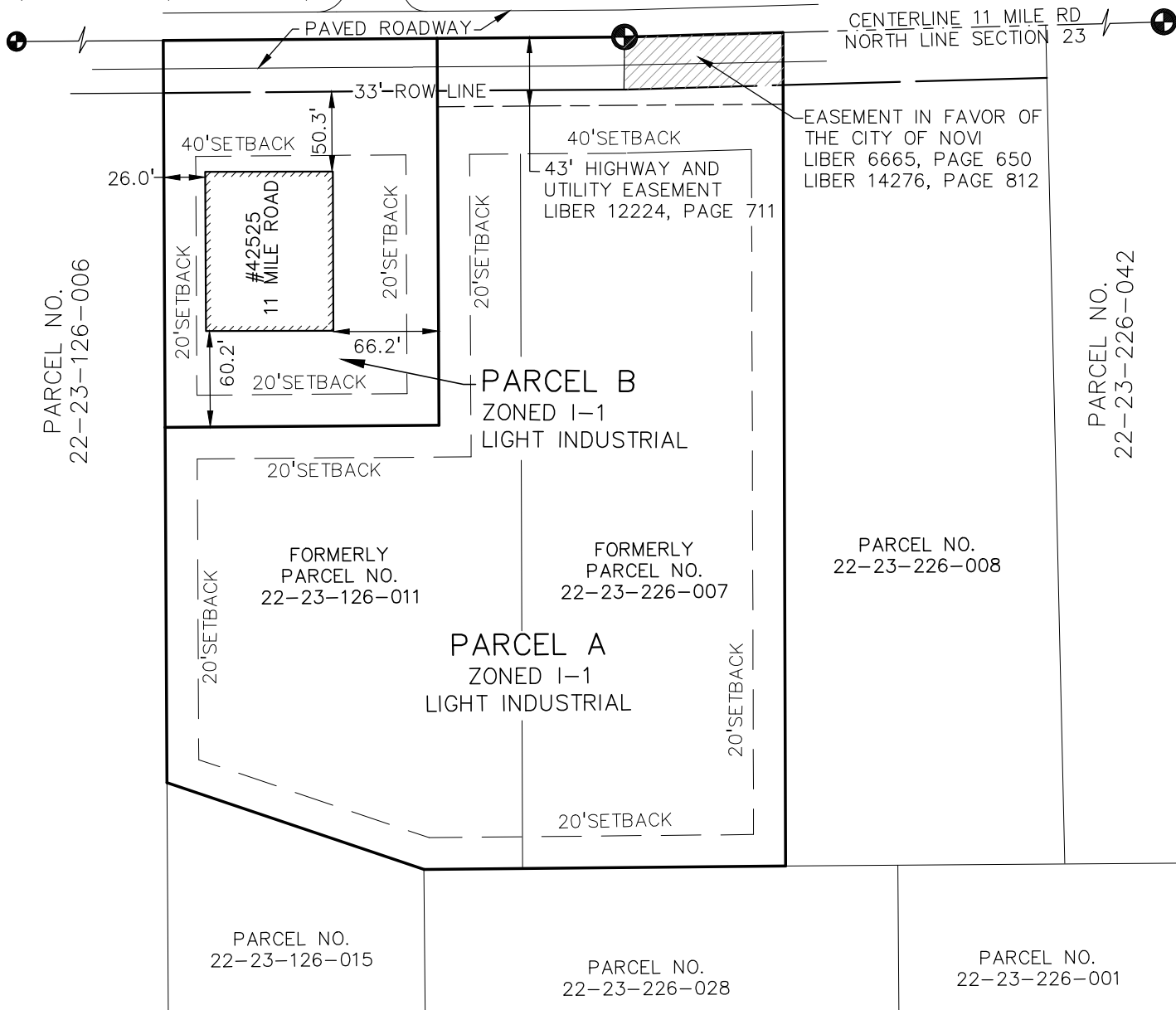
LAND DIVISION

11 MILE ROAD

NORTHWEST CORNER OF THE (33' 1/2 WIDTH-PUBLIC)
EAST 1/2 OF THE NORTHWEST
1/4, SECTION 23
(CALCULATED 1/8TH CORNER)

NORTH 1/4 CORNER
SECTION 23
T.1N., R.8E.
CITY OF NOVI
OAKLAND CO., MI

NORTHEAST CORNER
SECTION 23
T.1N., R.8E.
CITY OF NOVI
OAKLAND CO., MI



LEGEND

 SECTION CORNER FOUND



SAKURA NOVI LAND DEVELOPMENT, LLC
350 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, MICHIGAN 48009

SHEET 2 OF 4
AUGUST 11, 2021
2018-033

PEA GROUP

t: 844.813.2949
www.peagroup.com

LAND DIVISION

LEGAL DESCRIPTIONS

PARCEL A "ECCO PARCEL"

A parcel of land situated in a part of the North 1/2 of Section 23, T.01N., R.08E., City of Novi, Oakland County, Michigan, being more particularly described as follows:

BEGINNING at the North 1/4 Corner of Section 23, T.01N., R.08E., thence N88°24'51"E 99.56 feet along the centerline of 11 Mile Road (66 feet wide) and the north line of said Section 23; thence S00°10'20"E 523.54 feet; thence S89°26'20"W 226.92 feet; thence N71°19'30"W 170.45 feet; thence N00°17'20"W 223.24 feet; thence N89°34'00"E 172.00 feet; thence N00°17'20"W 243.00 feet to said centerline of 11 Mile Road and the north line of Section 23; thence along said north line N89°34'00"E 117.65 feet to the **POINT OF BEGINNING**. Containing 3.60± acres of land Gross and 3.43± acres of land net of the 33-foot right-of-way.

PARCEL B "RETAINED ECCO PARCEL"

A parcel of land situated in a part of the Northwest 1/4 of Section 23, T.01N., R.08E., City of Novi, Oakland County, Michigan, being more particularly described as follows:

Commencing at the North 1/4 Corner of Section 23, T.01N., R.08E., thence S89°34'00"W 117.65 feet along the centerline of 11 Mile Road (66 feet wide) and the north line of said Section 23 to the **POINT OF BEGINNING**; thence S00°17'20"E 243.00 feet; thence S89°34'00"W 172.00 feet; thence N00°17'20"W 243.00 feet to said centerline of 11 Mile Road and the north line of Section 23; thence along said north line N89°34'00"E 172.00 feet to the **POINT OF BEGINNING**. Containing 0.96± acres of land Gross and 0.83± acres of land net of 33-foot right-of-way.

SECTION CORNER WITNESSES

NE CORNER SECTION 23, T.01N., R.08E. – FOUND AN OAK CO
REMON DISK IN A MONUMENT BOX

N30°W 63.20' Mag nail and tag in the SW side of a power pole.
S65°W 67.90' Mag nail and tag in the SW side of a power pole.
S55°E 49.70' Punch mark on the N rim of a water manhole.
N74°E 61.80' Mag nail and tag in the SE side of a power pole.

N 1/4 CORNER SECTION 23, T.01N., R.08E. – FOUND AN OAK CO
REMON DISK IN A MONUMENT BOX

N60°W 118.70' PK and Tag in the SW face of a 26" Maple
N60°W 102.40' PK and Tag in the NW face of a power pole
S71°WE 69.10' PK and Tag in the SE face of a power pole
S71°E 104.10' PK and Tag in the NW face of a power pole

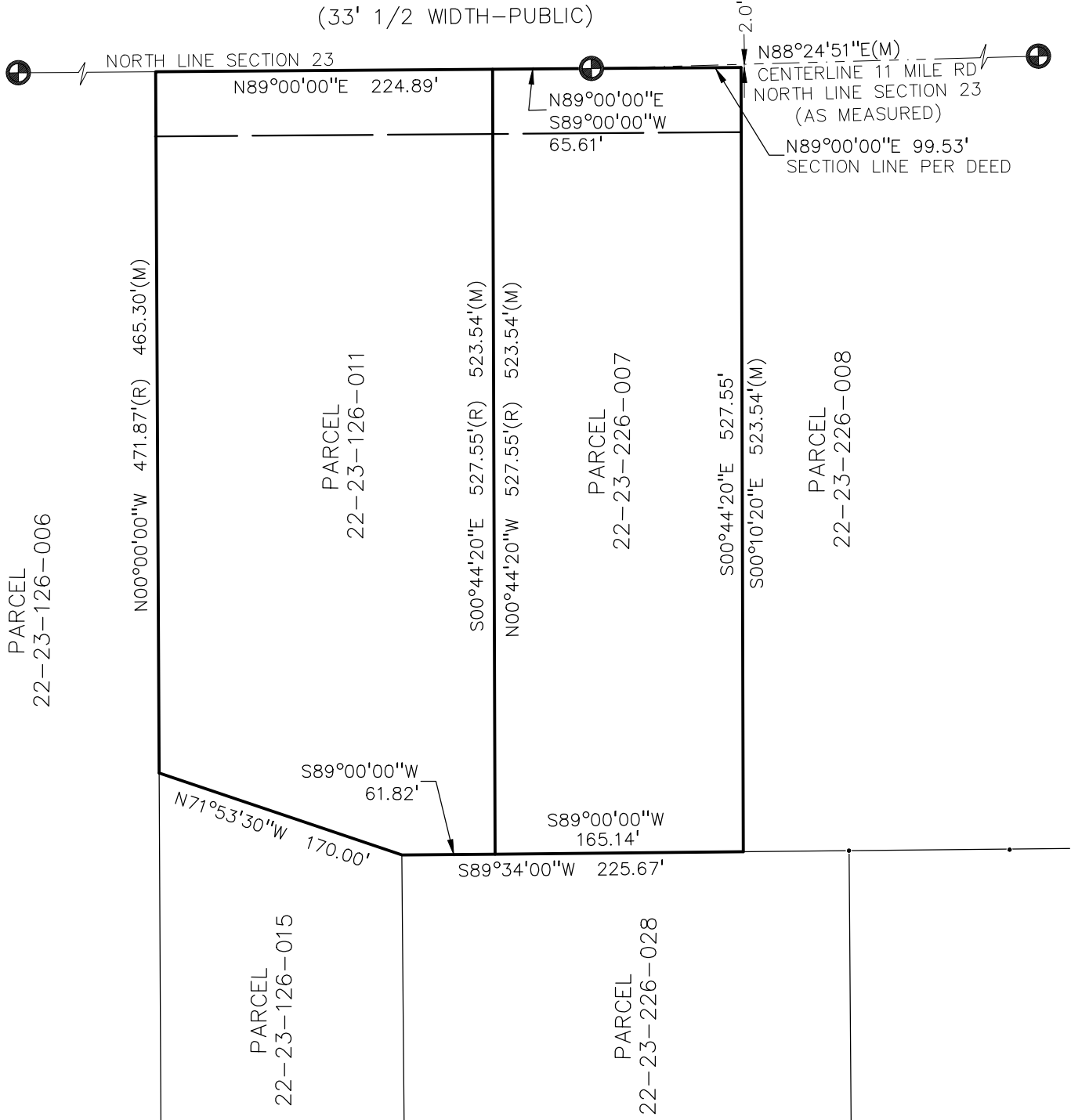
LAND DIVISION
PARENT PARCEL

NORTHWEST CORNER OF THE
EAST 1/2 OF THE NORTHWEST
1/4, SECTION 23
(CALCULATED 1/8TH CORNER)

NORTH 1/4 CORNER
SECTION 23
T.1N., R.8E.
CITY OF NOVI
OAKLAND CO., MI

NORTHEAST CORNER
SECTION 23
T.1N., R.8E.
CITY OF NOVI
OAKLAND CO., MI

11 MILE ROAD
(33' 1/2 WIDTH-PUBLIC)



LEGAL DESCRIPTIONS
(Per Oakland Co. Tax Parcel)


PARCEL 22-23-126-011

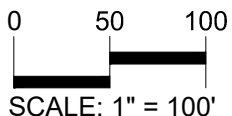
T1N, R8E, SEC 23 PART OF NW 1/4 BEG AT PT DIST S 89-00-00 W 65.61 FT FROM N 1/4 COR, TH S 00-44-20 E 527.55 FT, TH S 89-00-00 W 61.82 FT, TH N 71-53-30 W 170 FT, TH N 01-00-00 W 471.87 FT, TH N 89-00-00 E 224.89 FT TO BEG 2.58 A

PARCEL 22-23-226-007

T1N, R8E, SEC 23 PART OF N 1/2 OF SEC BEG AT N 1/4 COR, TH N 89-00-00 E 99.53 FT, TH S 00-44-20 E 527.55 FT, TH S 89-00-00 W 165.14 FT, TH N 00-44-20 W 527.55 FT, TH N 89-00-00 E 65.61 FT TO BEG 2 A

LEGEND

 SECTION CORNER FOUND



SAKURA NOVI LAND
DEVELOPMENT, LLC
350 OLD WOODWARD AVE., SUITE 300
BIRMINGHAM, MICHIGAN 48009



SHEET 4 OF 4
AUGUST 11, 2021
2018-033

PEA
GROUP

t: 844.813.2949
www.peagroup.com

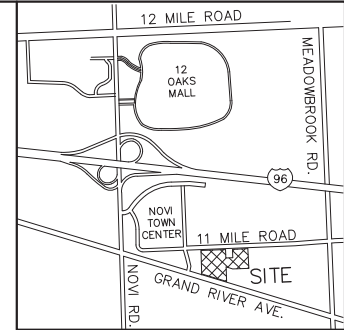
**EXHIBIT B
CONDOMINIUM PLAN**

Line #	Direction	Length
L1	N89°34'00"E	81.50'
L2	N67°48'15"E	67.09'
L3	N89°34'00"E	56.63'
L4	S74°02'06"E	42.27'
L5	N89°34'00"E	128.79'
L6	S00°26'00"W	15.11'
L7	S89°24'55"W	19.57'

Line #	Direction	Length
L8	S01°02'20"E	13.68'
L9	S01°02'20"E	13.83'
L10	S89°23'41"W	36.75'
L11	N00°36'19"W	50.00'
L12	N89°23'41"E	36.37'
L13	S00°39'32"W	7.29'
L14	N89°34'00"E	55.07'

Curve #	Length	Radius	Delta	CH. BRG.	Chord
C1	10.47'	20.00'	30°00'00"	N03°16'00"E	10.35'
C2	42.15'	80.50'	30°00'00"	N03°16'00"E	41.67'
C3	39.34'	25.00'	90°10'19"	N45°31'10"W	35.41'
C4	39.29'	25.00'	90°03'12"	S44°22'04"W	35.37'
C5	24.83'	20.00'	71°07'40"	N53°49'50"E	23.26'
C6	18.99'	50.00'	21°45'46"	N78°41'07"E	18.88'
C7	18.99'	50.00'	21°45'45"	N78°41'07"E	18.88'

Curve #	Length	Radius	Delta	CH. BRG.	Chord
C8	14.31'	50.00'	16°23'54"	S82°14'03"E	14.26'
C9	14.31'	50.00'	16°23'54"	S82°14'03"E	14.26'
C10	59.61'	48.00'	71°08'55"	S53°50'27"W	55.85'
C11	6.23'	5.00'	71°20'31"	S53°56'16"W	5.83'
C12	25.44'	15.00'	97°09'32"	S01°02'20"E	22.50'
C13	26.18'	50.00'	30°00'00"	N03°16'00"E	25.88'
C14	52.36'	100.00'	30°00'00"	N03°16'00"E	51.76'
C15	6.23'	5.00'	71°20'31"	S53°56'16"W	5.83'



NORTHWEST CORNER
SECTION 23, T.1N., R.8E.
FOUND BRASS REMON CAP
#17642 IN MON BOX

11 MILE ROAD
(35' SOUTH 1/2 WIDTH)

NORTH 1/4 CORNER
SECTION 23, T.1N., R.8E.
FOUND BRASS REMON CAP
#24598 IN MON BOX

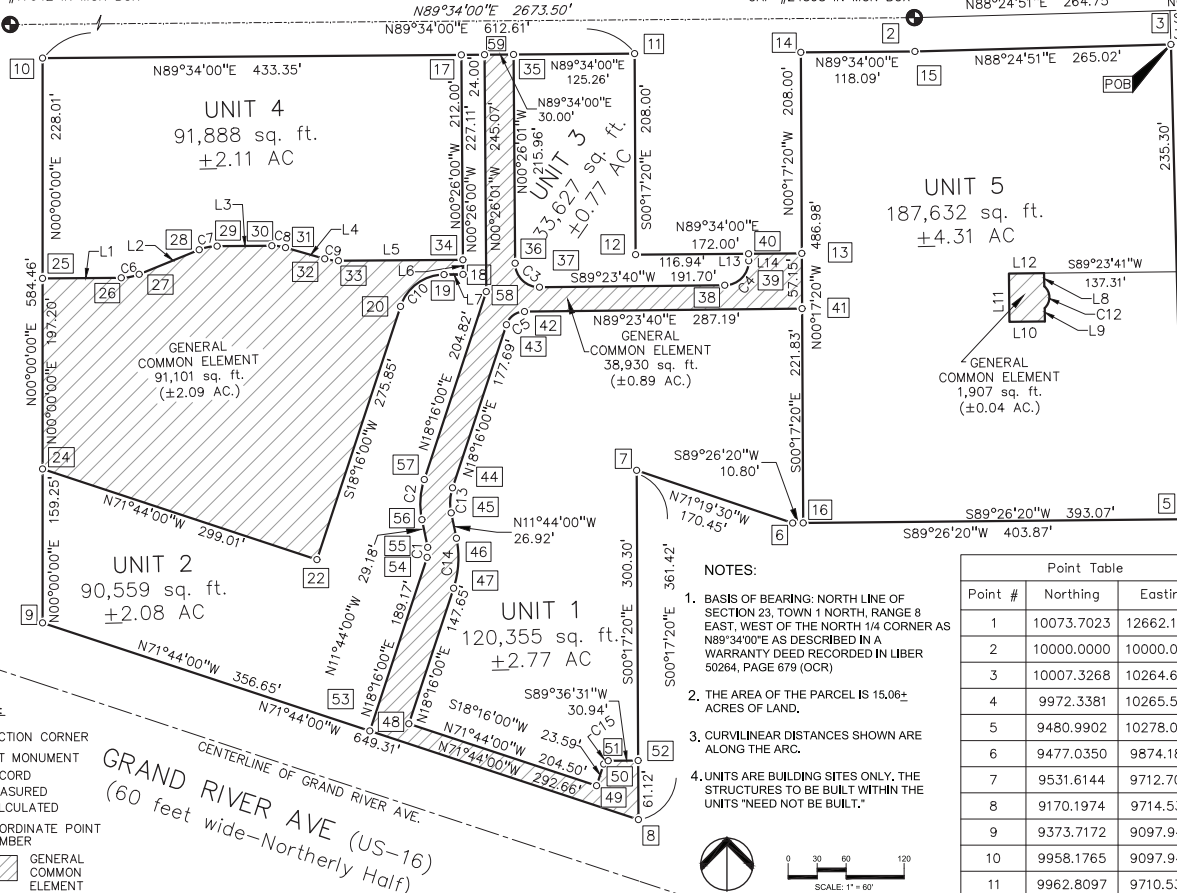
NE CORNER
SECTION 23, T.1N., R.8E.
FOUND BRASS REMON CAP
#24598 IN MON BOX

Point Table

Point #	Northing	Easting
39	9748.4097	9828.6020
40	9755.6969	9828.5182
42	9695.9324	9596.6924
43	9682.2024	9577.9116
44	9513.4664	9522.2164
45	9487.6266	9520.7416
46	9461.2688	9526.2160
47	9409.5891	9523.2663
48	9269.3788	9476.9867
49	9205.2804	9671.1811
50	9227.6779	9678.5739
51	9231.1106	9683.2878
52	9231.3219	9714.2228
53	9261.9293	9436.6170
54	9441.5656	9495.9101
55	9451.9015	9496.5000
56	9480.4746	9490.5654
57	9522.0767	9492.9399
58	9716.5711	9557.1373
59	9961.6355	9555.2827

Point Table

Point #	Northing	Easting
12	9754.8125	9711.5833
13	9756.1133	9883.5761
14	9964.1106	9882.5330
15	9965.0037	10000.6167
16	9477.1408	9884.9884
17	9961.4540	9531.2835
18	9734.3463	9533.0012
19	9734.1466	9513.4343
20	9701.1942	9468.3430
21	---	---
22	9439.2485	9381.8818
23	---	---
24	9532.9698	9097.9410
25	9730.1700	9097.9410
26	9730.7864	9179.4405
27	9734.4901	9197.9512
28	9759.8334	9260.0655
29	9763.5371	9278.5761
30	9763.9654	9335.2062
31	9762.0383	9349.3370
32	9750.4131	9389.9722
33	9748.4860	9404.1029
34	9749.4601	9532.8869
35	9961.8624	9585.2810
36	9745.9069	9586.9153
37	9721.0975	9612.1788
38	9723.1235	9803.8679



- NOTES:
1. BASIS OF BEARING: NORTH LINE OF SECTION 23, TOWN 1 NORTH, RANGE 8 EAST, WEST OF THE NORTH 1/4 CORNER AS N89°34'00"E AS DESCRIBED IN A WARRANTY DEED RECORDED IN LIBER 50264, PAGE 679 (OCR)
 2. THE AREA OF THE PARCEL IS 15.06± ACRES OF LAND.
 3. CURVILINEAR DISTANCES SHOWN ARE ALONG THE ARC.
 4. UNITS ARE BUILDING SITES ONLY. THE STRUCTURES TO BE BUILT WITHIN THE UNITS *NEED NOT BE BUILT.*

Point #	Northing	Easting
1	10073.7023	12662.1655
2	10000.0000	10000.0000
3	10007.3268	10264.6486
4	9972.3381	10265.5398
5	9480.9902	10278.0438
6	9477.0350	9874.1886
7	9531.6144	9712.7087
8	9170.1974	9714.5310
9	9373.7172	9097.9410
10	9958.1765	9097.9410
11	9962.8097	9710.5345

- LEGEND:
- SECTION CORNER
 - SET MONUMENT
 - (R) RECORD
 - (M) MEASURED
 - (C) CALCULATED
 - # COORDINATE POINT NUMBER
 - ▨ GENERAL COMMON ELEMENT

PROJECT TITLE
SAKURA NOVI

DATE:
MAY 20, 2022

DRAWING TITLE:
CONDOMINIUM UNIT PLAN

PEA GROUP
1844.813.2949
www.peagroup.com

PEA JOB NO. 2018-033

P.M. _____ GB
D.N. _____ GWC
SUR. _____ GWC

DRAWING NUMBER:
1