



# COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road  
Novi, MI 48375  
(248) 347-0415 Phone  
(248) 735-5600 Facsimile  
[www.cityofnovi.org](http://www.cityofnovi.org)

## ZONING BOARD OF APPEALS STAFF REPORT

**FOR:** City of Novi Zoning Board of Appeals      **ZONING BOARD APPEALS DATE:** November 15, 2022

**REGARDING:** 20200 Haggerty Road, Parcel # 50-22-36-476-003 (PZ22-0052)

**BY:** Larry Butler, Deputy Director Community Development

### I. GENERAL INFORMATION:

**Applicant**

Donna Holke – Intercity Neon

**Variance Type**

Sign Variance

**Property Characteristics**

Zoning District:                      This property is zoned Freeway Service (FS)

Location:                                Haggerty Road north of Eight Mile Road

Parcel #:                                 50-22-36-476-003

**Request**

The applicant is requesting a variance from the City of Novi Sign Ordinance from Section 28-5 (a) for additional wall signs. Seven (7) illuminated wall signs requested (2 are permitted, variance of 5). This property is zoned Freeway Service (FS)

### II. STAFF COMMENTS:

### III. RECOMMENDATION:

**The Zoning Board of Appeals may take one of the following actions:**

I move that we **grant** the variance in Case No. **PZ22-0052**, sought by **Donna Holke – Intercity Neon** for \_\_\_\_\_ because Petitioner has shown practical difficulty including \_\_\_\_\_ requiring \_\_\_\_\_ on the basis of any of the following:

- a. That the request is based upon circumstances or features that are exceptional and

unique to the property and do not result from conditions that exist generally in the city or that are self-created including

\_\_\_\_\_  
\_\_\_\_\_.

- b. That the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because

\_\_\_\_\_  
\_\_\_\_\_.

- c. That the grant of relief would be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will result in an improvement of the property or the project

\_\_\_\_\_  
\_\_\_\_\_.

- d. That construction of a conforming sign would require the removal or significant alteration of natural features on the property because \_\_\_\_\_

\_\_\_\_\_.

- e. the grant of relief will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter because \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_.

The variance granted is subject to:

1. \_\_\_\_\_.
2. \_\_\_\_\_.
3. \_\_\_\_\_.
4. \_\_\_\_\_.

I move that we **deny** the variance in Case No. **PZ22-0053**, sought by **Donna Holke – Intercity Neon** for \_\_\_\_\_ because Petitioner has not shown practical difficulty because: \_\_\_\_\_.

- a. That the request is based upon circumstances or features that are not exceptional and/or unique to the property and/or that result from conditions that exist generally in the city or that are self-created including \_\_\_\_\_.
- b. That the failure to grant relief will not unreasonably prevent or limit the use of the property and/or will not result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because \_\_\_\_\_.
- c. That the grant of relief would not be offset by other improvements or actions, such as increased setbacks or increased landscaping, such that the net effect will not result in an improvement of the property or the project \_\_\_\_\_.
- d. That construction of a conforming sign would not require the removal or significant alteration of natural features on the property because \_\_\_\_\_.
- e. the grant of relief will result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will not result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is inconsistent with the spirit and intent of this chapter because \_\_\_\_\_.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler - Deputy Director Community Development - City of Novi



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## ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

RECEIVED

OCT 03 2022

CITY OF NOVI  
 COMMUNITY DEVELOPMENT

<b>I. PROPERTY INFORMATION (Address of subject ZBA Case)</b>				Application Fee: <u>300-</u>	
PROJECT NAME / SUBDIVISION <u>TAPPER'S</u>				Meeting Date: <u>11/15/22</u>	
ADDRESS <u>20800 HAGGERTY</u>		LOT/SUITE/SPACE #		ZBA Case #: <u>PZ 22-0052</u>	
SIDWELL # <u>50-22-</u>		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY <u>8 MILE</u>					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION?		REQUEST IS FOR:			
<input type="checkbox"/> YES <input type="checkbox"/> NO		<input type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input checked="" type="checkbox"/> SIGNAGE			
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input type="checkbox"/> NO					
<b>II. APPLICANT INFORMATION</b>					
<b>A. APPLICANT</b>		EMAIL ADDRESS <u>donna@intercityneon.com</u>		CELL PHONE NO.	
NAME <u>DONNA HOLKE</u>		TELEPHONE NO. <u>586-754-6030</u>		FAX NO.	
ORGANIZATION/COMPANY <u>INTERCITY NEON</u>		ADDRESS <u>PO BOX 3762</u>		CITY <u>CENTERLINE</u>	
		STATE <u>MI</u>		ZIP CODE <u>48015</u>	
<b>B. PROPERTY OWNER</b> <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS <u>POLHARA@TAPPERS.COM</u>		CELL PHONE NO. <u>(248) 865-6313</u>	
NAME <u>TAPPER'S PATRICK O'HARA</u>		TELEPHONE NO.		FAX NO.	
ORGANIZATION/COMPANY <u>TAPPERS</u>		ADDRESS <u>6337 ORCHARD LANCE RD.</u>		CITY <u>WEST BLOOMFIELD</u>	
		STATE <u>MI</u>		ZIP CODE <u>48322</u>	
<b>III. ZONING INFORMATION</b>					
<b>A. ZONING DISTRICT</b>					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH					
<input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
<b>B. VARIANCE REQUESTED</b>					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>28-5(a)</u>		Variance requested <u>5 ADDITIONAL WALL SIGNS</u>			
2. Section <u>28-5(b)</u>		Variance requested <u>(2 ALLOWED)</u>			
3. Section _____		Variance requested <u>1 WALL SIGN TO BE 61.5 SQ FT</u>			
4. Section _____		Variance requested <u>(55 SQ FT ALLOWED) VARIANCE OF 6.5 SQ FT</u>			
<b>IV. FEES AND DRAWINGS</b>					
<b>A. FEES</b>					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250					
<input type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input checked="" type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400					
<input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
<b>B. DRAWINGS 1-COPY &amp; 1 DIGITAL COPY SUBMITTED AS A PDF</b>					
• Dimensioned Drawings and Plans		• Existing & proposed distance to adjacent property lines			
• Site/Plot Plan		• Location of existing & proposed signs, if applicable			
• Existing or proposed buildings or addition on the property		• Floor plans & elevations			
• Number & location of all on-site parking, if applicable		• Any other information relevant to the Variance application			



## ZONING BOARD OF APPEALS APPLICATION

### V. VARIANCE

#### A. VARIANCE (S) REQUESTED

DIMENSIONAL    USE    SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

#### B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

#### C. ORDINANCE

##### City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

#### D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING    ADDITION TO EXISTING HOME/BUILDING    SIGNAGE  
 ACCESSORY BUILDING    USE    OTHER \_\_\_\_\_

### VI. APPLICANT & PROPERTY SIGNATURES

#### A. APPLICANT

*Diana M Halpe*  
Applicant Signature

10-3-22  
Date

#### B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

*Jim Felle (owner's rep)*  
Property Owner Signature

9/30/22  
Date

### VII. FOR OFFICIAL USE ONLY

#### DECISION ON APPEAL:

GRANTED    DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

\_\_\_\_\_  
Chairperson, Zoning Board of Appeals

\_\_\_\_\_  
Date



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**REVIEW STANDARDS  
SIGN VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Sign Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Sign Variance.)

**Standard #1. Extraordinary Circumstances or Conditions.**

Explain how the circumstances or physical conditions applying to the property that do not apply generally to other properties in the same Zone District or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** A sign could not be placed in the location required by the Zoning Ordinance due to the shape, topography or other physical conditions of the lot or due to the location of an existing structure.

Not Applicable     Applicable    If applicable, describe below:

THE BUILDING IS PLACED ON THE  
PROPERTY ON AN ANGLE

*and/or*

- b. **Environmental Conditions.** A sign could not be placed in the location required by the Zoning Ordinance without removing or severely altering natural features, such as trees, topography, drainage courses or encroaching upon stormwater facilities.

Not Applicable     Applicable    If applicable, describe below:

*and/or*

- c. **Abutting Property.** A sign could not be reasonably seen by passing motorists due to the configuration of existing buildings, trees, signs or other obstructions on an abutting property.

Not Applicable     Applicable    If applicable, describe below:

d. **Scale of Building or Lot Frontage.** A sign that exceeds permitted dimensions for area and/or height could be considered appropriate in scale due to the length of the building frontage (wall sign only) or length of the lot frontage (ground sign only).

Not Applicable     Applicable

If applicable, describe below:

THIS IS A LARGE SINGLE TENANT BUILDING ABUTTING 3 MAJOR ROADS

e. **Not Self-Created.** Describe the immediate practical difficulty causing the need for the Variance was not created by the applicant or any person having an interest in the sign, sign structure, or property.

Not Applicable     Applicable

If applicable, describe below:

### Standard #2. Limit Use of Property.

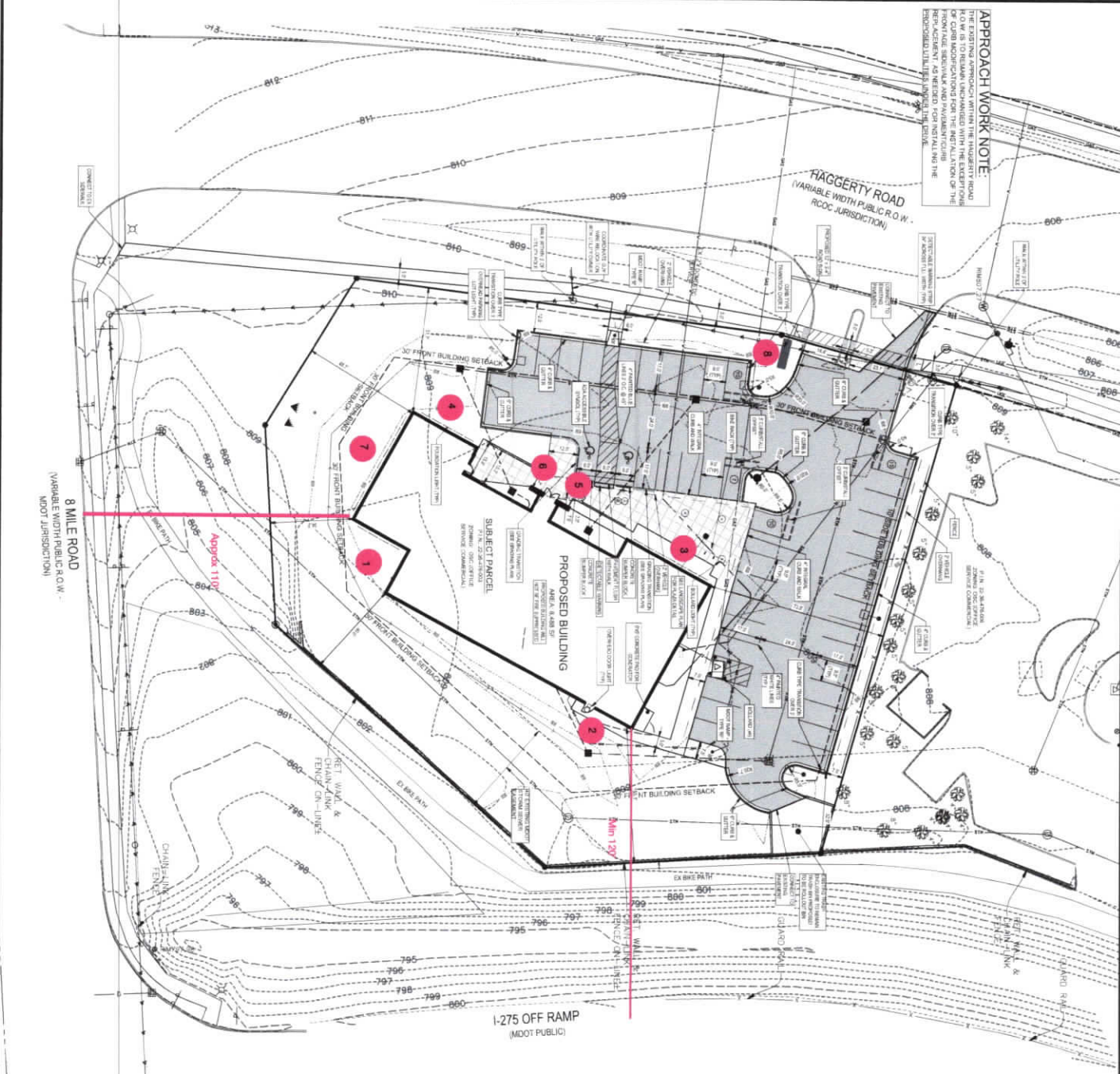
Explain how the failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

N/A

### Standard #3. Adverse Impact on Surrounding Area.

Explain how the Sign Variance will not result in a use or structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit and intent of this chapter.

ADDITIONAL SIGNAGE WOULD NOT AFFECT SURROUNDING PROPERTIES, AND WOULD HELP WITH VISIBILITY



**APPROACH WORK NOTE:**  
 THE EXISTING APPROACH WITHIN THE SUBJECT PARCEL FROM RAGGERTY ROAD TO THE PROPOSED BUILDING SHALL BE RECONSTRUCTED TO ACCOMMODATE THE PROPOSED DRIVEWAY AND PAVEMENT. THE APPROACH SHALL BE RECONSTRUCTED TO ACCOMMODATE THE PROPOSED DRIVEWAY AND PAVEMENT. THE APPROACH SHALL BE RECONSTRUCTED TO ACCOMMODATE THE PROPOSED DRIVEWAY AND PAVEMENT.

**PAVING NOTES**

1. THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS, ELECTRIC, PHONE, AND CABLE LINES WITH THE PAVING CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.
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9. THE PAVING CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.

**SCHEDULE OF REGULATIONS:**

REGULATION	REQUIREMENT	REMARKS
1. FRONT YARD SETBACK	10 FT	PROPOSED SETBACK IS 12 FT
2. SIDE YARD SETBACK	5 FT	PROPOSED SETBACK IS 6 FT
3. REAR YARD SETBACK	10 FT	PROPOSED SETBACK IS 12 FT
4. MAXIMUM BUILDING HEIGHT	30 FT	PROPOSED BUILDING HEIGHT IS 28 FT
5. MINIMUM LOT AREA	10,000 SQ FT	PROPOSED LOT AREA IS 12,000 SQ FT
6. MINIMUM FRONT YARD SETBACK	10 FT	PROPOSED SETBACK IS 12 FT
7. MINIMUM SIDE YARD SETBACK	5 FT	PROPOSED SETBACK IS 6 FT
8. MINIMUM REAR YARD SETBACK	10 FT	PROPOSED SETBACK IS 12 FT
9. MINIMUM BUILDING HEIGHT	30 FT	PROPOSED BUILDING HEIGHT IS 28 FT
10. MINIMUM LOT AREA	10,000 SQ FT	PROPOSED LOT AREA IS 12,000 SQ FT

**PARKING CALCULATIONS:**

USE	REQUIREMENT	PROPOSED	EXISTING
FRONT YARD	1 SP/100 SF	12	12
REAR YARD	1 SP/100 SF	12	12
SIDE YARD	1 SP/100 SF	12	12
TOTAL		36	36

**TRAFFIC SIGNING:**

ITEM	AMOUNT	DESCRIPTION	SEE QUANTITY
A	1	STOP SIGN	1
B	1	YIELD SIGN	1
C	1	NO PARKING SIGN	1

**FIRE MARSHALL NOTES:**

ALL FIRE MARSHALL NOTES SHALL BE COMPLETED AND SUBMITTED TO THE FIRE MARSHALL FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.

**FIRE TRUCK TURNING NOTE:**

THE FIRE TRUCK TURNING NOTE SHALL BE COMPLETED AND SUBMITTED TO THE FIRE MARSHALL FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.

**WOODLANDSWETLANDS NOTE:**

THE WOODLANDSWETLANDS NOTE SHALL BE COMPLETED AND SUBMITTED TO THE WOODLANDSWETLANDS AGENCY FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.

**BIKE RACK DETAIL NOTE:**

THE BIKE RACK DETAIL NOTE SHALL BE COMPLETED AND SUBMITTED TO THE BIKE RACK MANUFACTURER FOR REVIEW AND APPROVAL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES.

**PAVEMENT QUANTITIES**

ITEM	QUANTITY	DESCRIPTION
1	17,907 SF	PAVEMENT AREA
2	17,907 SF	PAVEMENT AREA
3	17,907 SF	PAVEMENT AREA
4	17,907 SF	PAVEMENT AREA
5	17,907 SF	PAVEMENT AREA
6	17,907 SF	PAVEMENT AREA
7	17,907 SF	PAVEMENT AREA
8	17,907 SF	PAVEMENT AREA
9	17,907 SF	PAVEMENT AREA
10	17,907 SF	PAVEMENT AREA

**giffels webster**

1022 East Main Road  
 Suite 102  
 Birmingham, MI 48035  
 313.862.5100  
 1211 8th Street  
 New Providence, MI 48166

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 Suite 102  
 Birmingham, MI 48035  
 313.862.5100  
 1211 8th Street  
 New Providence, MI 48166

**811**  
 Know what's below.  
 Call before you dig.

811  
 Know what's below.  
 Call before you dig.

**PAVEMENT AREA: 17,907 SF**

**LEGEND**

- PA GATE VALVE AND WELL
- PA 12" DIA. AND BOX
- PA 18" DIA. AND BOX
- PA 24" DIA. AND BOX
- PA 30" DIA. AND BOX
- PA 36" DIA. AND BOX
- PA 42" DIA. AND BOX
- PA 48" DIA. AND BOX
- PA 54" DIA. AND BOX
- PA 60" DIA. AND BOX
- PA 66" DIA. AND BOX
- PA 72" DIA. AND BOX
- PA 78" DIA. AND BOX
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- PA 3000" DIA. AND BOX

**SITE AND PAVING PLAN**

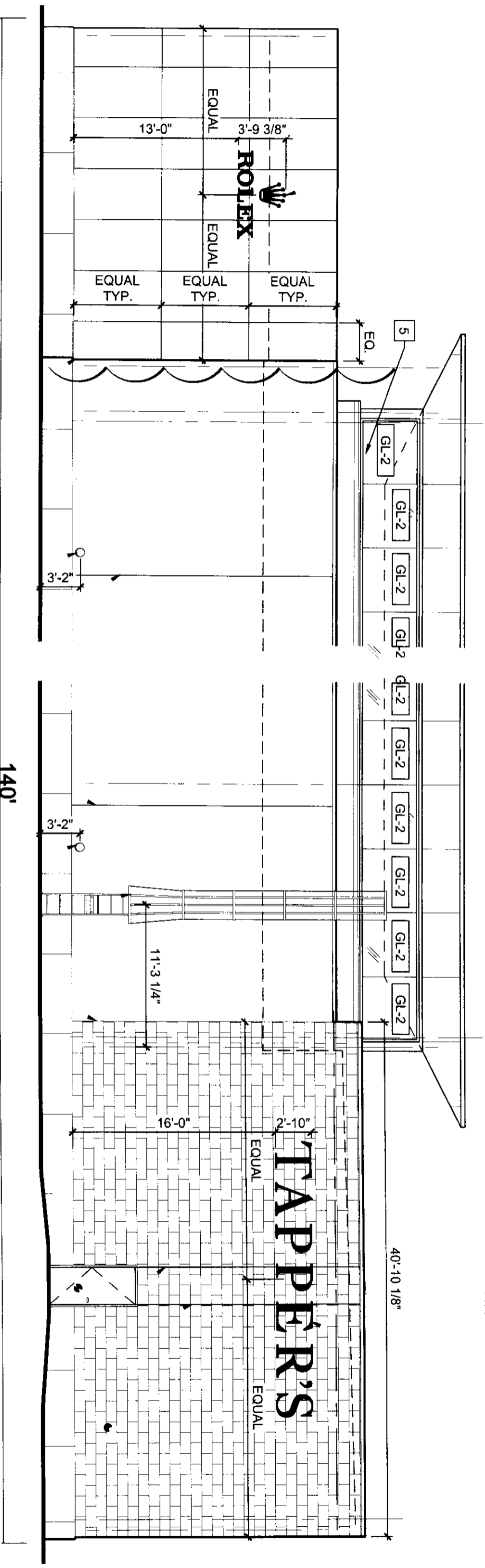
TTJ NOM  
 DIV. OF COMM.  
 CLAY COUNTY  
 MICHIGAN

DATE: 06.17.2021  
 SCALE: 1" = 20'  
 SHEET: 4  
 PROJECT: 19855.00



East - 92 Sq. Ft. Total

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with article 600.6 (a)(1) of the National Electrical Code



27 Sq Ft

10 East Elevation

A-1.1 SCALE: 1/8" = 1'-0"

65 Sq Ft

See East Elevation page 2 for sign details

DRAWING APPROVED: \_\_\_\_\_

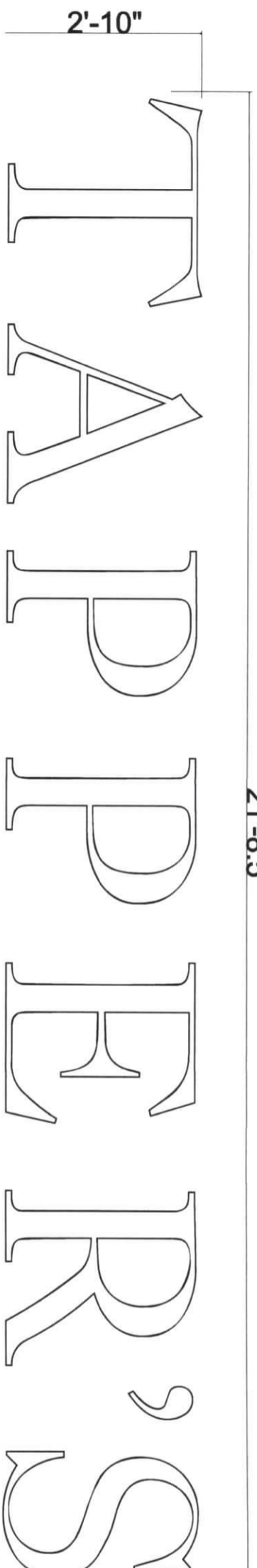
DATE: \_\_\_\_\_

NOTE: IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE 120 VOLT PRIMARY ELECTRICAL SERVICE (INCLUDING GROUND WIRING DIRECTLY FROM THE PANEL BOX) WITHIN SIX (6) FEET OF SIGNAGE.

**Tapper's**  
 20800 Haggerty Rd.  
 Novi, MI

**INTERCITY NEON**  
 P.O. Box 3762  
 Centerline, MI 48015  
 ph: 586-754-6020  
 fax: 586-754-7436  
 www.intercityneon.com

East - 92 Sq. Ft. Total



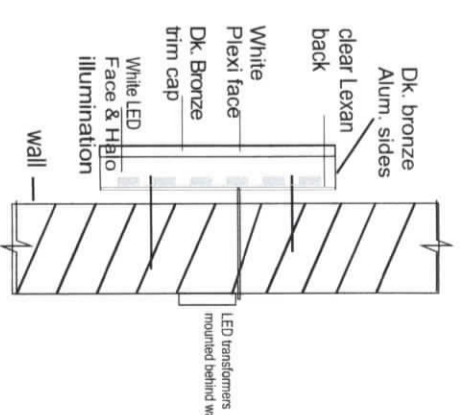
21'-8.5"

65 Sq Ft

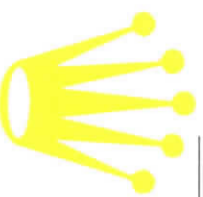
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with article 600.6 (a)(1) of the National Electrical Code

**"Tapper's"**

Internally Illuminated (LED) Face & Halo Channel Letter



Side Elevation - No Scale



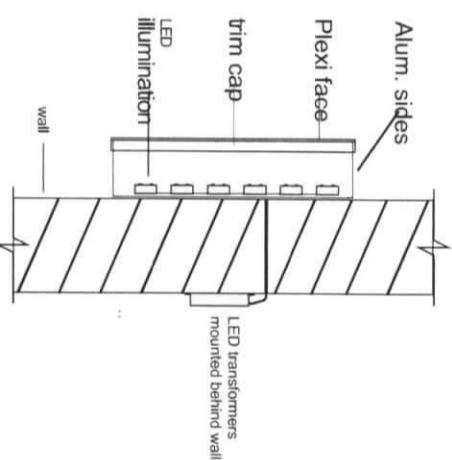
**ROLEX**



3'-9.375"

27 Sq Ft

Internally Illuminated (LED) Channel Letter Face Illuminated -- Flush Mounted



Side Elevation - No Scale

Sign Fabricated by others

DRAWING APPROVED: \_\_\_\_\_

DATE: \_\_\_\_\_

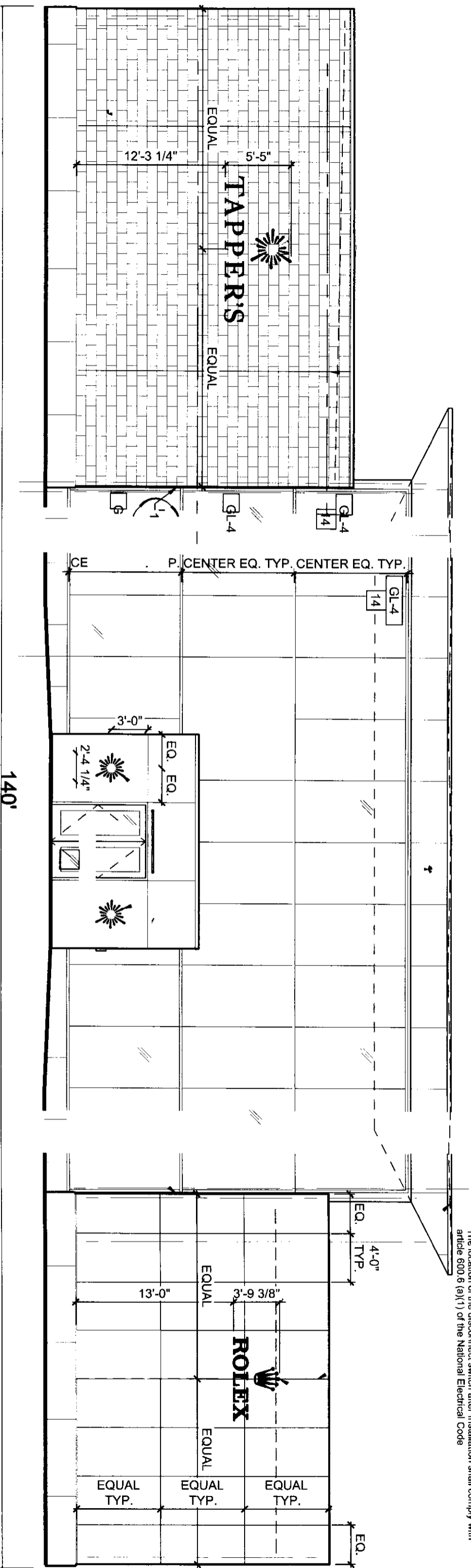
NOTE: IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE 120 VOLT PRIMARY ELECTRICAL SERVICE (INCLUDING GROUND WIRING DIRECTLY FROM THE PANEL BOX) WITHIN SIX (6) FEET OF SIGNAGE.

**Tapper's**  
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[www.intercityneon.com](http://www.intercityneon.com)



West - 104 Sq. Ft. Total



This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

The location of the disconnect switch after installation shall comply with article 600.6 (a)(1) of the National Electrical Code

65 Sq Ft

6 Sq Ft each

WEST ELEVATION

SCALE: 1/8" = 1'-0"

See West Elevation page 2 for sign details

**Tapper's**  
 20800 Haggerty Rd.  
 Novi, MI



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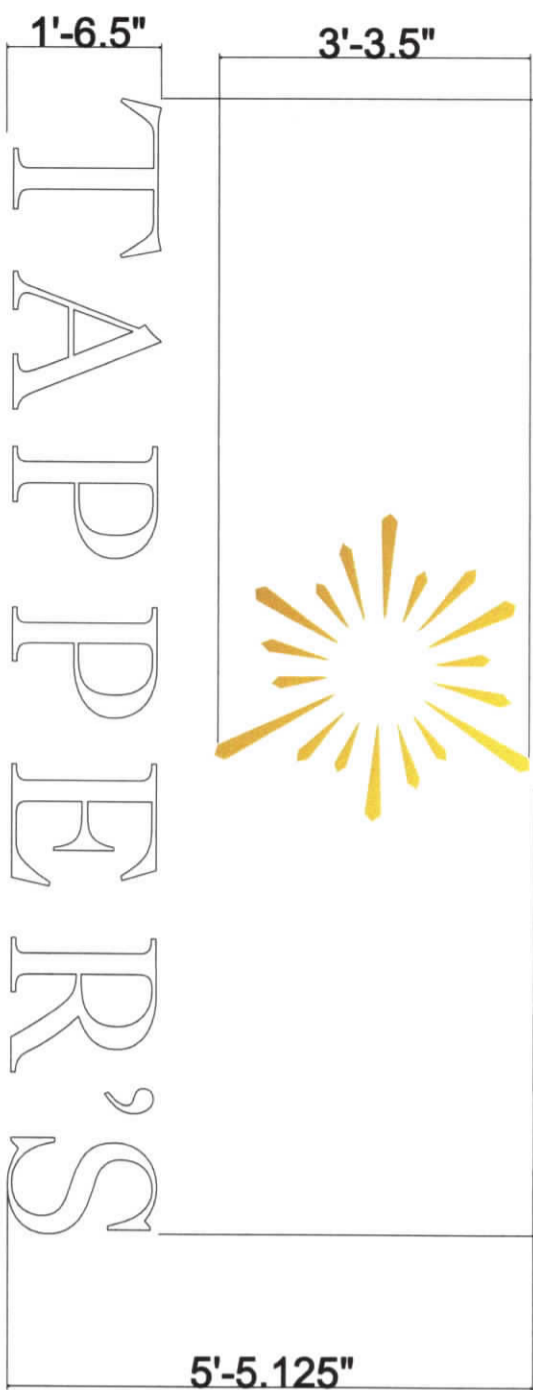
DRAWING APPROVED: \_\_\_\_\_

DATE: \_\_\_\_\_

NOTE: IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE 120 VOLT PRIMARY ELECTRICAL SERVICE (INCLUDING GROUND WIRING DIRECTLY FROM THE PANEL BOX) WITHIN SIX (6) FEET OF SIGNAGE.

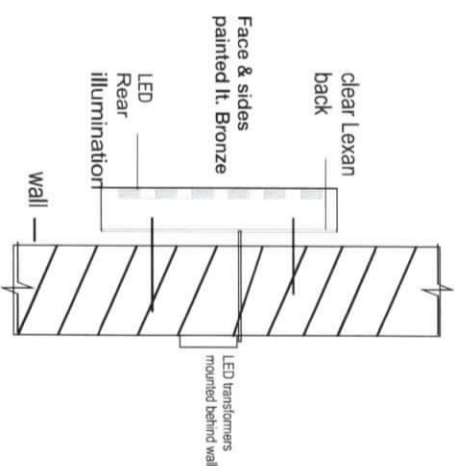
West - 131 Sq. Ft. Total

11'-9.75"



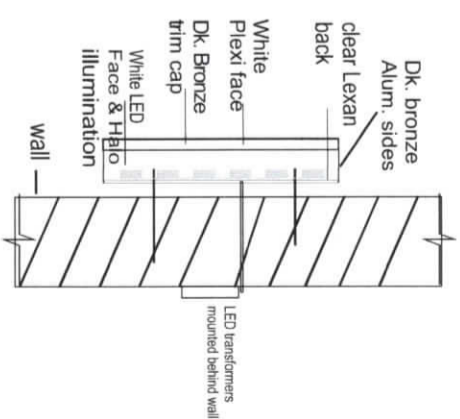
65 Sq Ft

**"Glow"**  
Internally Illuminated (LED)  
Halo Reverse Channel Letter



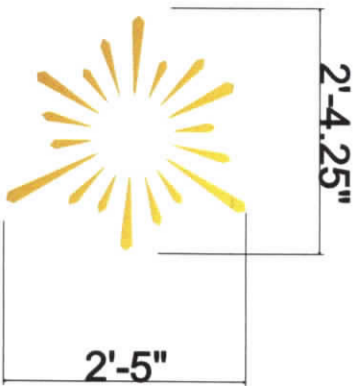
Side Elevation - No Scale

**"Tapper's"**  
Internally Illuminated (LED)  
Face & Halo Channel Letter



Side Elevation - No Scale

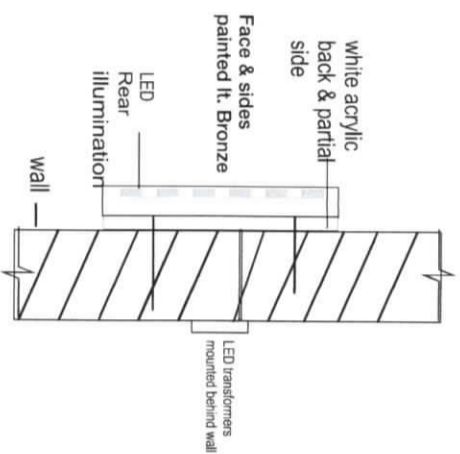
This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign. The location of the disconnect switch after installation shall comply with article 600.6 (a)(1) of the National Electrical Code



1 on each side of doors

6 Sq Ft each

**"Glow"**  
Internally Illuminated (LED)  
Halo Reverse Channel Letter



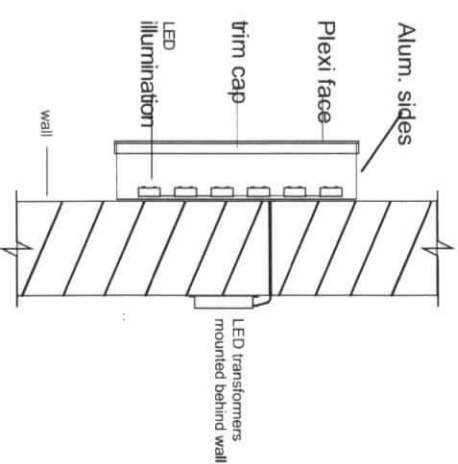
Side Elevation - No Scale



27 Sq Ft

Sign Fabricated by others

Internally Illuminated (LED) Channel Letter  
Face Illuminated -- Flush Mounted



Side Elevation - No Scale

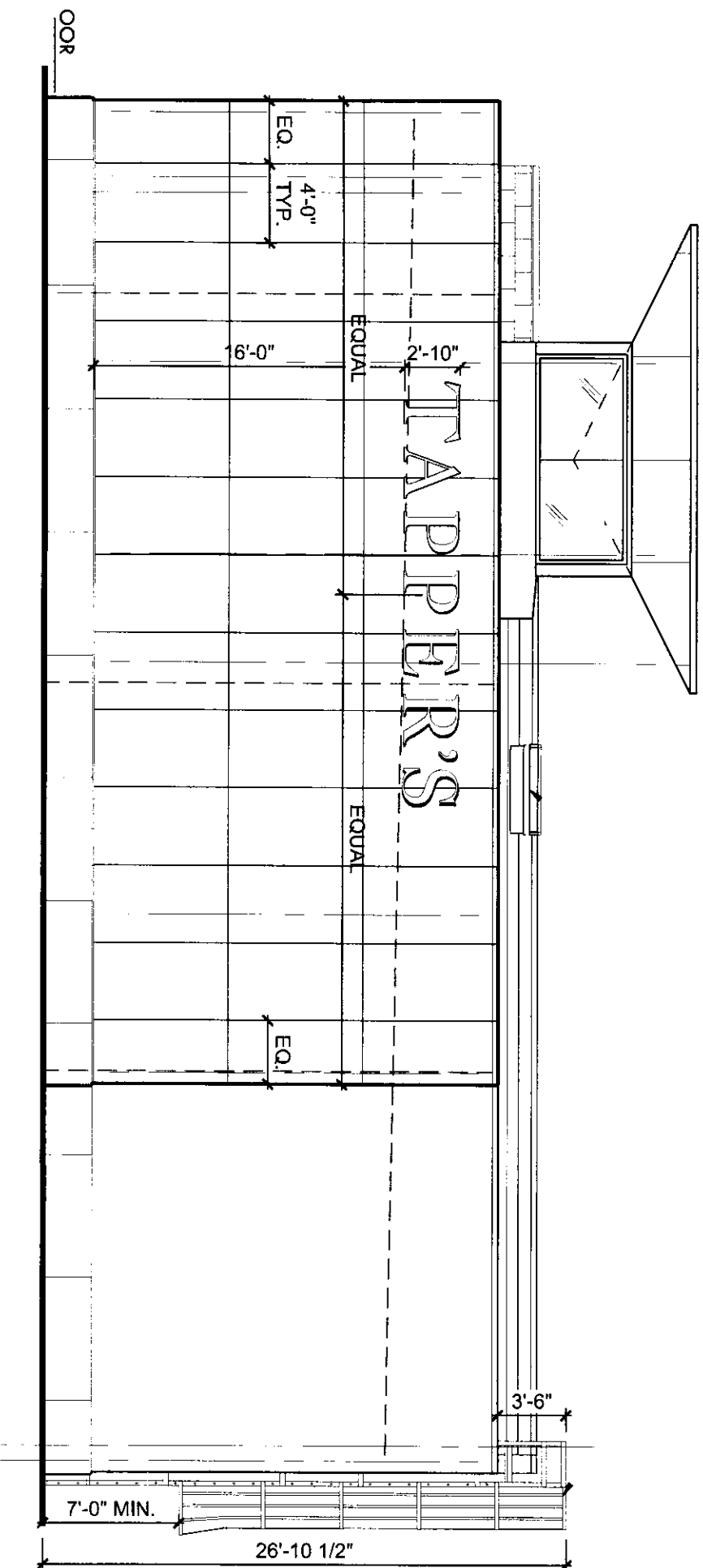
DRAWING APPROVED: \_\_\_\_\_  
DATE: \_\_\_\_\_

NOTE: IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE 120 VOLT PRIMARY ELECTRICAL SERVICE (INCLUDING GROUND WIRING DIRECTLY FROM THE PANEL BOX) WITHIN SIX (6) FEET OF SIGNAGE.

Tapper's  
20800 Haggerty Rd.  
Novi, MI

INTERCITY NEON  
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[www.intercityneon.com](http://www.intercityneon.com)

**South Elevation - 63 Sq. Ft.**

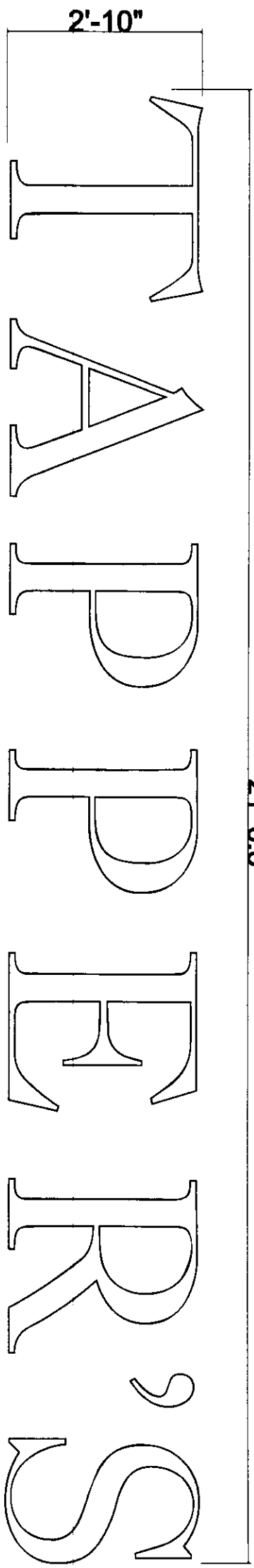


9  
A-1.1

**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

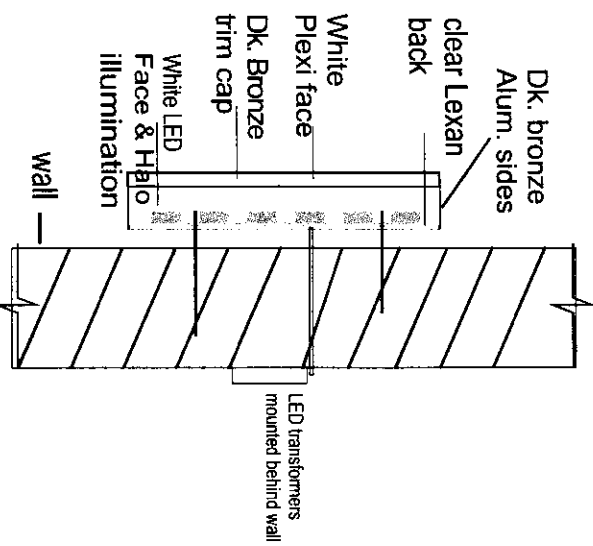
21'-8.5"



63 Square Feet

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.  
The location of the disconnect switch after installation shall comply with article 600.6 (e)(1) of the National Electrical Code

**Internally Illuminated (LED)  
Face & Halo Channel Letter**



**Side Elevation - No Scale**

DRAWING APPROVED: \_\_\_\_\_  
DATE: \_\_\_\_\_

NOTE: IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE 120 VOLT PRIMARY ELECTRICAL SERVICE (INCLUDING GROUND WIRING DIRECTLY FROM THE PANEL BOX) WITHIN SIX (6) FEET OF SIGNAGE.

**Tapper's**  
20800 Haggerty Rd.  
Novi, MI

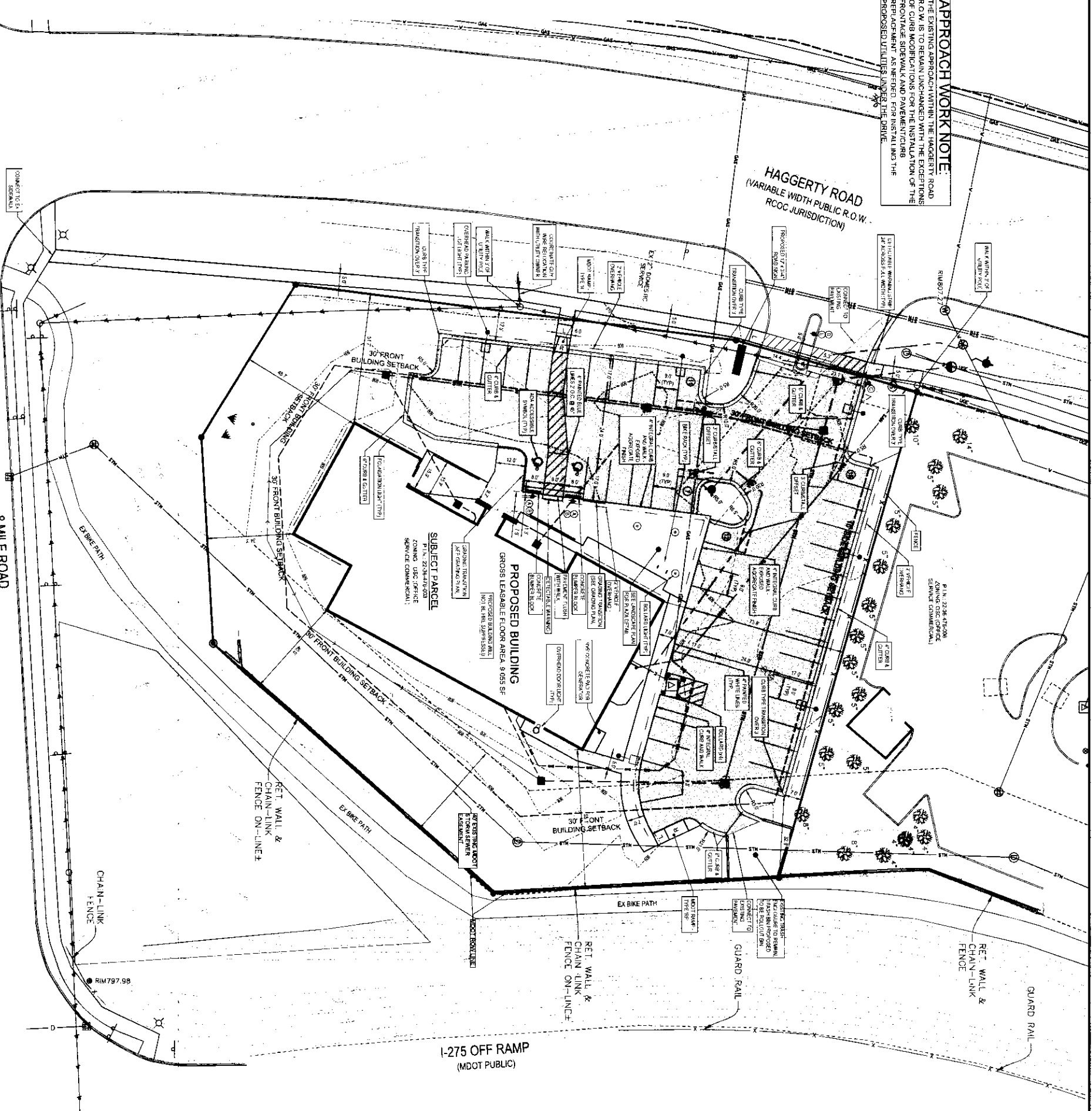
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fax: 586-754-7436  
[www.intercityneon.com](http://www.intercityneon.com)

**APPROACH WORK NOTE:**  
 THE EXISTING APPROACH WITHIN THE HAGGERTY ROAD R.O.W. IS TO REMAIN UNCHANGED WITH THE EXCEPTIONS OF CURB MODIFICATIONS FOR THE INSTALLATION OF THE FRONTAGE SIDEWALK AND PAVEMENT CURB REPLACEMENT AS NEEDED FOR INSTALLING THE PROPOSED UTILITIES UNDER THE DRIVE.

**HAGGERTY ROAD**  
 (VARIABLE WIDTH PUBLIC R.O.W. RCOC JURISDICTION)

**8 MILE ROAD**  
 (VARIABLE WIDTH PUBLIC R.O.W. MDOT JURISDICTION)

**I-275 OFF RAMP**  
 (MDOT PUBLIC)



**PAVING NOTES**

1. THE PAVING CONTRACTOR SHALL BE REQUIRED TO COORDINATE THE INSTALLATION OF GAS ELECTRIC, PHONE, CABLE, SPRINKLERS, ETC. IN SUCH A MANNER THAT WILL FACILITATE THEIR PROPER INSTALLATION PRIOR TO PLACING THE PAVEMENT MATERIALS. ENSURE THAT ALL REQUIRED PIPES, CONDUITS, CABLES AND LEVELS ARE PROPERLY PLACED AND THAT THE TRENCHES ARE PROPERLY BACKFILLED AND COMPACTED.
2. BUTT JOINTS SHALL BE PLACED AT ALL LOCATIONS WHERE AN EXISTING ASPHALT PAVEMENT SURFACE IS BEING DISTURBED BY REMOVALS AND/OR THE INSTALLATION OF NEW ASPHALT PAVEMENT.
3. ALL PAVEMENT AREAS SHOULD BE CLEARED AND GRUBBED BY REMOVING SURFACE VEGETATION TOPSOIL, DEBRIS AND OTHER DELETERIOUS MATERIALS.
4. THE PLACEMENT OF THE FINAL ASPHALT LIFT SHALL BE DELAYED UNTIL THE MAJORITY OF THE CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED OR AS APPROVED BY THE OWNER. A BOND COAT OF 55-110 EMULSION SHALL BE APPLIED AT A RATE OF 0.10 GALLONS/YD<sup>2</sup> BETWEEN THE LEVING AND WEARINGS COURSE WHEN 48 HOURS HAVE ELAPSED BETWEEN PLACEMENTS.
5. PROPOSED AGGREGATE BASE SHALL EXTEND A MINIMUM OF 1 FOOT BEYOND THE PAVEMENT EDGEBACK OF CURB.
6. BARRIER FREE SIGNAGE SHALL BE PLACED IN FRONT OF EVERY DESIGNATED BARRIER FREE STALL. THE CONTRACTOR SHALL CONSIDER THE STANDARD AND VAN ACCESSIBILITY SIGNAGE AS INDICATED ON THE PLANS.
7. ALL BARRIER FREE RAMPS, WALK, LANDINGS AND CURBS SHALL BE ADA COMPLIANT AND MEET MOST STANDARD PLAN R-28.
8. GENERAL PAVING REQUIREMENTS ARE AS FOLLOWS:  
 A. MINIMUM POSITIVE DRAINAGE SHALL BE A MINIMUM OF 1%.  
 B. SIDEWALK GROSS SLOPE SHALL BE A MAXIMUM OF 2%.  
 C. SIDEWALK GROSS SLOPE SHALL BE A MAXIMUM OF 2%.  
 D. PAVEMENT SLOPES 11.0% MINIMUM, 4.0% MAXIMUM.  
 E. LAWN AREAS 2% MINIMUM TO 25% (BERMS) MAXIMUM.
9. DIMENSIONS ARE TO FACE OF CURB.
10. SEE LANDSCAPE PLANS FOR EXPOSED APPROPRIATE LOCATIONS AND DETAILS.

**SCHEDULE OF REGULATIONS:**

**ZONING DISTRICTS**  
 PROPOSED GROSS LEASABLE FLOOR AREA - 9,055 SF  
 MAX. BUILDING HEIGHT - 25 OR 1 STORY  
 PAVEMENT AREA - 18,884 SF

**YARD REQUIREMENTS (BUILDING)**

FRONT (HAGGERTY) -	REAR (8 MILE) -	PROPOSED	EXISTING
FRONT (HAGGERTY) -	FRONT (8 MILE) -	30'	34.2'
FRONT (HAGGERTY) -	FRONT (8 MILE) -	30'	40.0'
FRONT (HAGGERTY) -	FRONT (8 MILE) -	10'	73.8'

**YARD REQUIREMENTS (PARKING)**

FRONT (HAGGERTY) -	REAR (8 MILE) -	PROPOSED	EXISTING
FRONT (HAGGERTY) -	FRONT (8 MILE) -	20'	34.2' TO BLD.
FRONT (HAGGERTY) -	FRONT (8 MILE) -	20'	32.0'
FRONT (HAGGERTY) -	FRONT (8 MILE) -	10'	7.0'
FRONT (HAGGERTY) -	FRONT (8 MILE) -	10'	0.4'

**PARKING CALCULATIONS:**

USE RETAIL STORE PARKING REQUIREMENT 1 SPACE PER 200 SF OF GROSS LEASABLE FLOOR AREA  
 GROSS LEASABLE FLOOR AREA 9,055 SF  
 REQUIRED PARKING 45 SPACES  
 TOTAL REQUIRED = 45 SPACES  
 TOTAL PROVIDED = 45 SPACES  
 INCL. 1 ADA VAN ACCESSIBLE SPACE

**TRAFFIC SIGNING:**

ITEM	AMUTOC CODE	DESCRIPTION	SIZE	QUANTITY
(A)	R-24	HANDICAP PARKING ONLY	12'X18'	2
(B)	R-28P	VAN ACCESSIBLE	18'X30'	2
(C)	R-11	STOP SIGN	30"X30"	1
(D)	R-3.2	NO LEFT TURN	24"X24"	1
(E)	S-4.1P	7:00-8:00 AM 3:00-7:00 PM	24"X10"	1

**FIRE MARSHALL NOTES:**

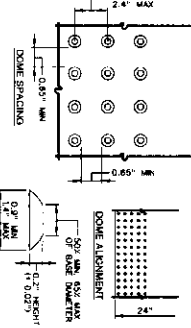
1. ALL FIRE HYDRANTS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY CONCRETE POUR. MATERIAL IS BROUGHT ON SITE FOR NEW BUILDINGS AND EXISTING BUILDINGS. CONCRETE MUST BE SET TO THE PROPOSED FINISH GRADE. THE FINAL INSPECTION OF THE FIRE ALARM AND FIRE SUPPRESSION PERMITS.

**FIRE TRUCK TURNING NOTE:**

SEE SITE DETAIL SHEET FOR FIRE TRUCK TURNING DIAGRAMS. NO WOODLANDS OR WETLANDS ARE BEING AFFECTED BY THE PROPOSED REDEVELOPMENT OF THE SITE.

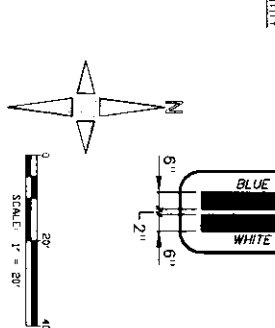
**BIKE RACK DETAIL NOTE:**

6" OF CLEAR SPACE SHALL BE PROVIDED IN FRONT OF THE PROPOSED BIKE RACK AT ALL TIMES. SEE LANDSCAPE PLAN FOR BIKE RACK LOCATION. SEE SITE DETAIL SHEET FOR BIKE RACK ENLARGED DETAIL.



**DETECTABLE WARNING NOTE:**

DETECTABLE WARNING SURFACES SHALL BE ECO METAL DETECTABLE WARNING PLATES OR APPROVED EQUIVALENT.



**PAVEMENT AREA: 18,884 SF**

**LEGEND**

**PAVEMENT QUANTITIES**

1" CONCRETE BENEATH	4,810 SF.
SHOULDER PAAP	2EA
DETECTABLE WARNING SURFACE	20 LF.
BLANKET BLOCK	2EA
CONCRETE CURB & GUTTER TYPE F	532 LF.
HAUL MOUNT SC	748 TN
HAUL MOUNT SC	141 TN
21AA ASPHALT	1,040 TN



Engineers  
 Surveyors  
 Planners  
 Landscape Architects

1025 East Maple Road  
 Suite 100  
 Birmingham, MI 48009  
 P (248) 625-3100  
 F (313) 962-5928  
 www.giffelswebster.com

Electronic  
 Designer: JH/JS  
 Manager: JH/JS  
 Quality Control: JH/JS  
 Scale: 1/4"=1'-0"=E  
 Sheet: 2  
 Project: 19955.00



DATE	REVISION
08/11/2021	ISSUE TO CLIENT
10/06/2021	FINAL SITE PLAN
11/09/2021	R.O.C. SUBMITTAL
11/09/2021	PERMITS
11/15/2021	PERMITS
12/22/2021	PERMITS
01/11/2022	PERMITS
01/24/2022	PERMITS
02/22/2022	PERMITS
04/04/2022	PERMITS

Client: EIGHT HAGGERTY VENTURE, LLC  
 6337 ORCHARD LAKE ROAD  
 WEST BLOOMFIELD, MI 48322  
 248.865.6336

**SITE AND PAVING PLAN**

TEJ NOMI  
 CITY OF NOVI  
 OAKLAND COUNTY  
 MICHIGAN

Date: 05.17.2021  
 Scale: 1" = 20'  
 Sheet: 4  
 Project: 19955.00