



## MERCEDES-BENZ SPRINTER SERVICE SHOP JSP21-20

### **MERCEDES-BENZ SPRINTER SERVICE SHOP JSP21-20**

Approval of Mercedes-Benz Sprinter Service Shop Preliminary Site Plan at the request of Mercedes-Benz of Novi. The subject property contains 2.31 acres and is located in Section 24, on the west side of Haggerty Road, north of Grand River Avenue. The applicant is proposing to remodel a former body and service facility for the servicing of Mercedes-Benz Sprinter Service Vans.

### **Required Action**

Approve/Deny the Preliminary Site Plan, Façade Waiver, and Landscape Waiver.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	7-30-21	<ul style="list-style-type: none"> <li>Items to be addressed on the Final Site Plan submittal</li> </ul>
Engineering	Approval recommended	7-26-21	<ul style="list-style-type: none"> <li>Items to be addressed on the Final Site Plan submittal</li> </ul>
Landscaping	Approval recommended	8-2-21	<ul style="list-style-type: none"> <li><b>Landscape waiver for a deficiency in street trees along Grand River Avenue (it is supported by staff due to potential conflicts with utilities and the Welcome to Novi sign)</b></li> <li>Items to be addressed on the Final Site Plan Submittal</li> </ul>
Traffic	Approval recommended	7-29-21	<ul style="list-style-type: none"> <li>Items to be addressed on the Final Site Plan Submittal</li> </ul>
Façade	Approval recommended	7-27-21	<ul style="list-style-type: none"> <li><b>A Section 9 Façade Waiver is required for an underage of Brick on all elevations, an overage of EIFS on the west and east elevations, and an overage of Painted CMU on the north and south elevations (it is supported by staff as the proposed façade is consistent with the intent and purpose of the Façade Ordinance)</b></li> <li>Items to be addressed on the Final Site Plan Submittal</li> </ul>
Fire	Approval recommended	7-15-21	<ul style="list-style-type: none"> <li>Items to be addressed on the Final Site Plan Submittal</li> </ul>

## **MOTION SHEET**

### **Approval – Preliminary Site Plan**

In the matter of Mercedes-Benz Sprinter Service Shop, JSP21-20, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Landscape waiver for a deficiency in street trees along Grand River Avenue *due to potential conflicts with utilities and the Welcome to Novi sign, which is hereby granted;*
- b. Section 9 Façade Waiver for an underage of Brick on all elevations, an overage of EIFS on the west and east elevations, and an overage of Painted CMU on the north and south elevations *because the overall design is consistent with the intent and purpose of the Façade Ordinance, which is hereby granted;*
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those being addressed on the Final Site Plan; and
- d. *(additional conditions here if any)*

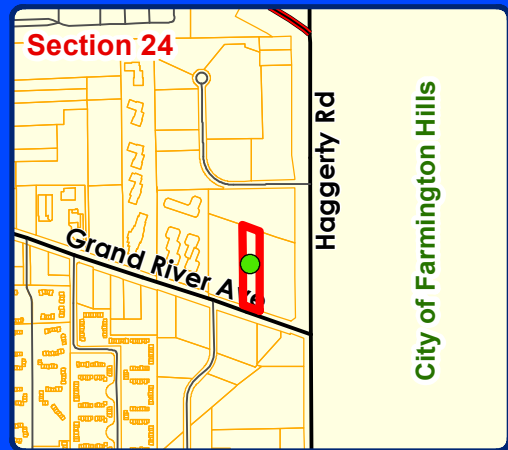
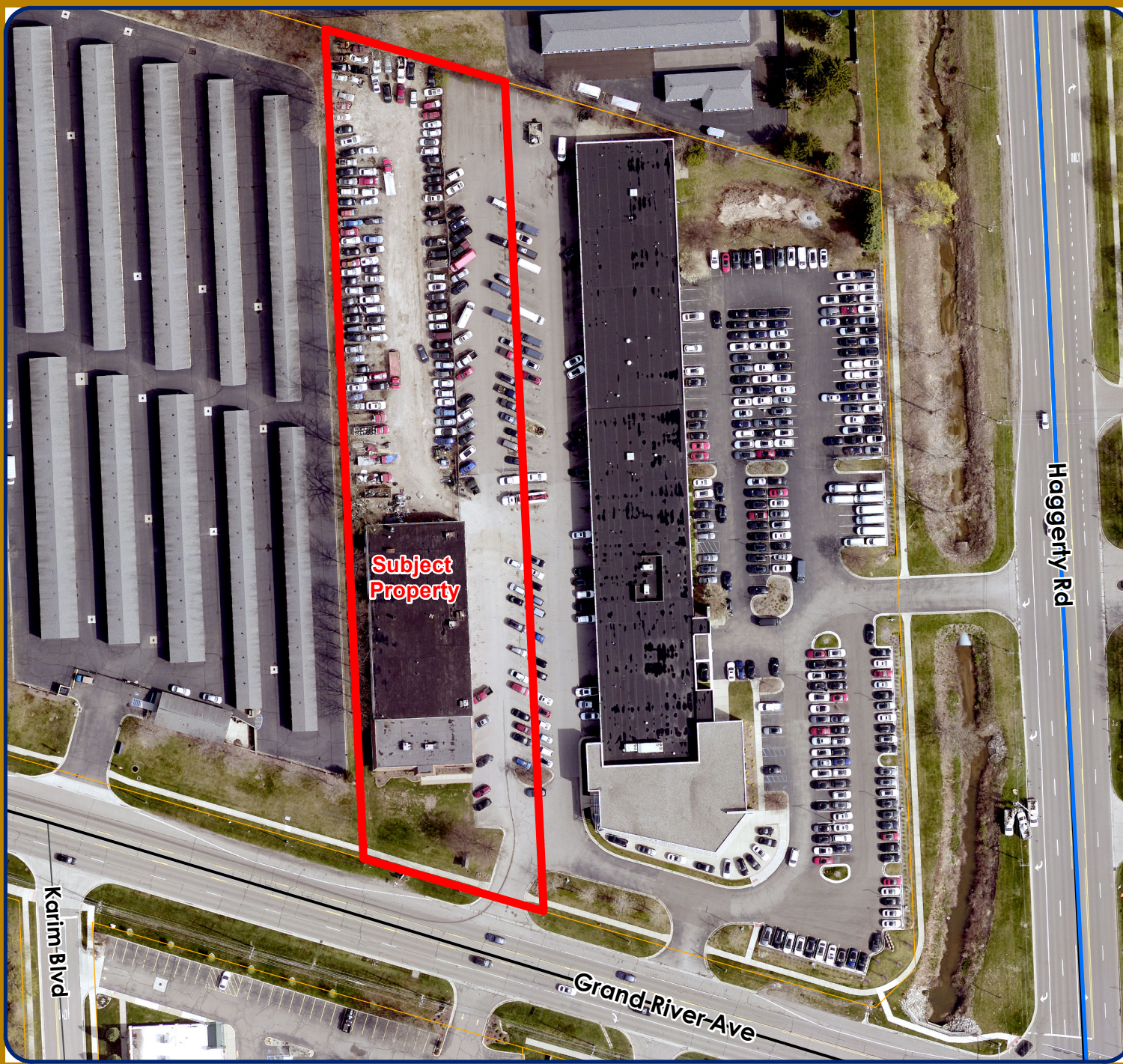
*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**MAPS**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**


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# JSP21-20 MERCEDES-BENZ SPRINTER SERVICE SHOP

## LOCATION



**LEGEND**


 Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Christian Carroll  
Date: 9/14/21  
Project: MERCEDES-BENZ SPRINTER SERVICE SHOP  
Version #: 1

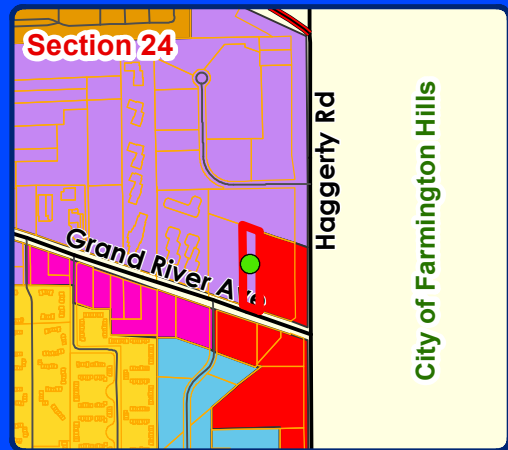
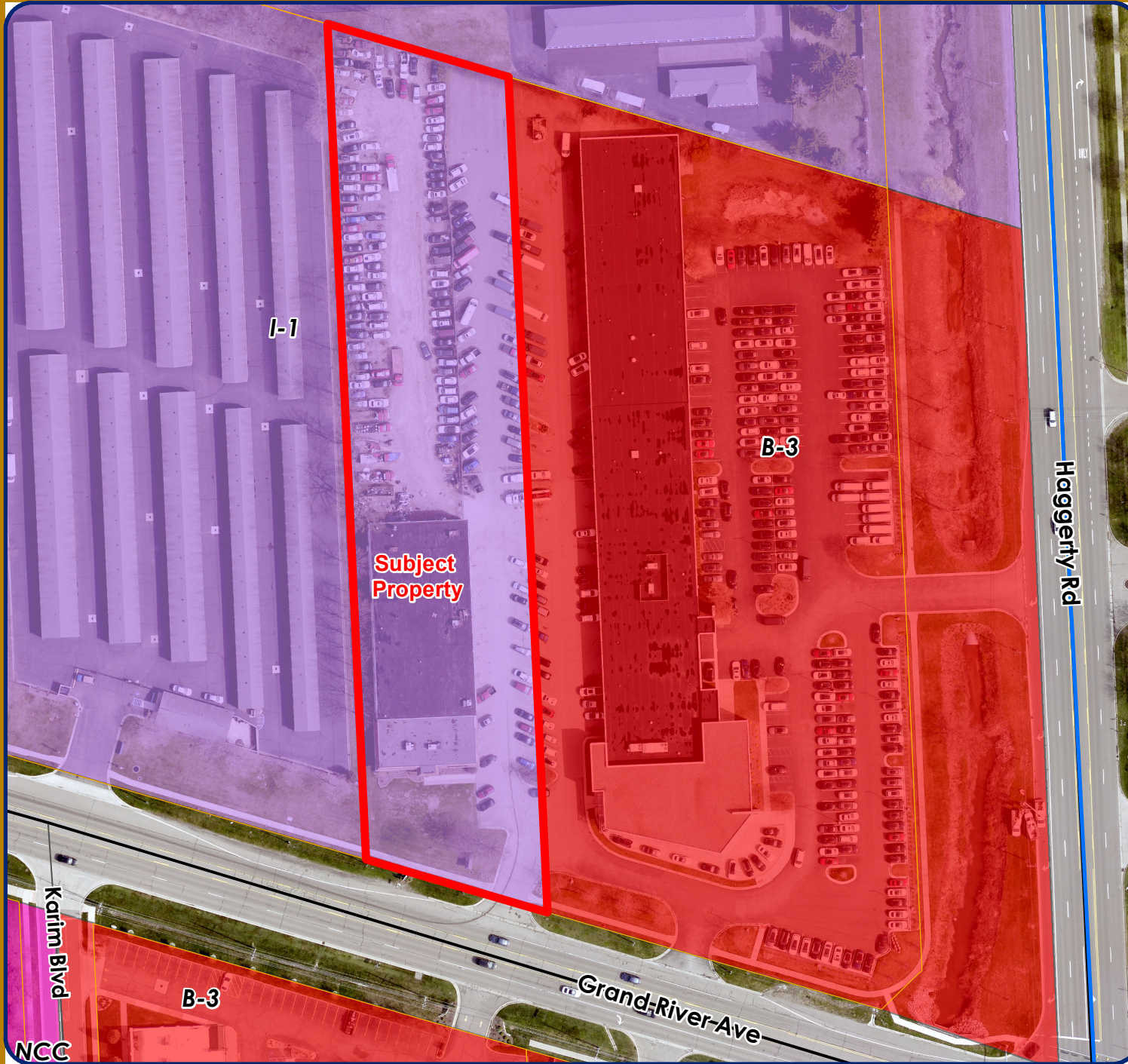
0 25 50 100 150 Feet  
1 inch = 119 feet



**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# JSP21-20 MERCEDES-BENZ SPRINTER SERVICE SHOP

## ZONING



**LEGEND**

	RM-1: Low-Density Multiple Family
	MH: Mobile Home District
	B-3: General Business District
	I-1: Light Industrial District
	NCC: Non-Center Commercial District
	OS-1: Office Service District
	Subject Property

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

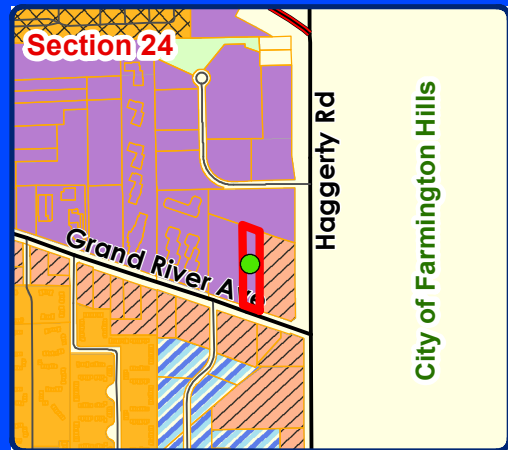
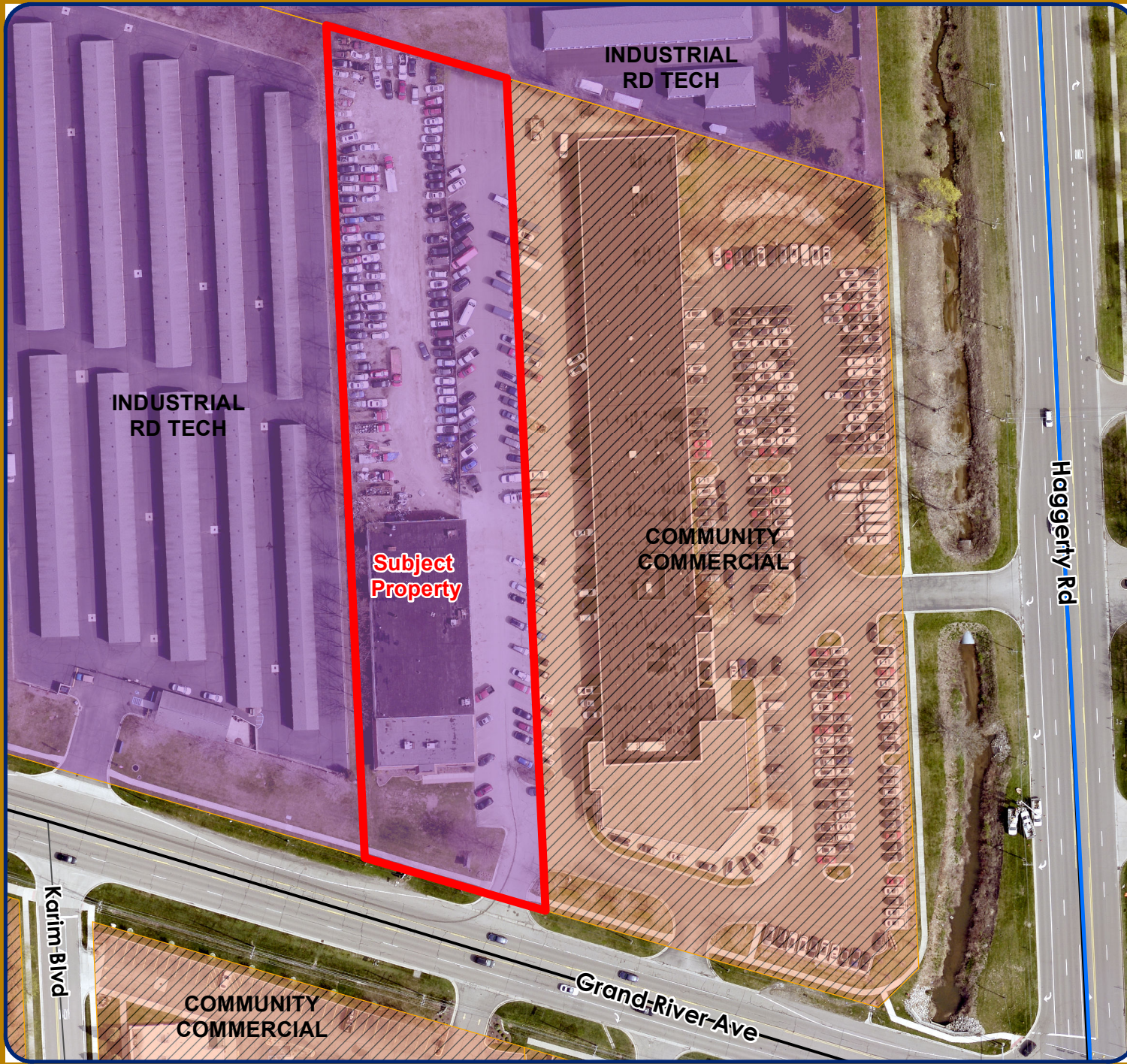
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# JSP21-20 MERCEDES-BENZ SPRINTER SERVICE SHOP

## FUTURE LAND USE



### LEGEND

- Multiple Family
- Mobile Home Park
- Community Office
- Industrial Research Development Technology
- Community Commercial
- Private Park
- Subject Property

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

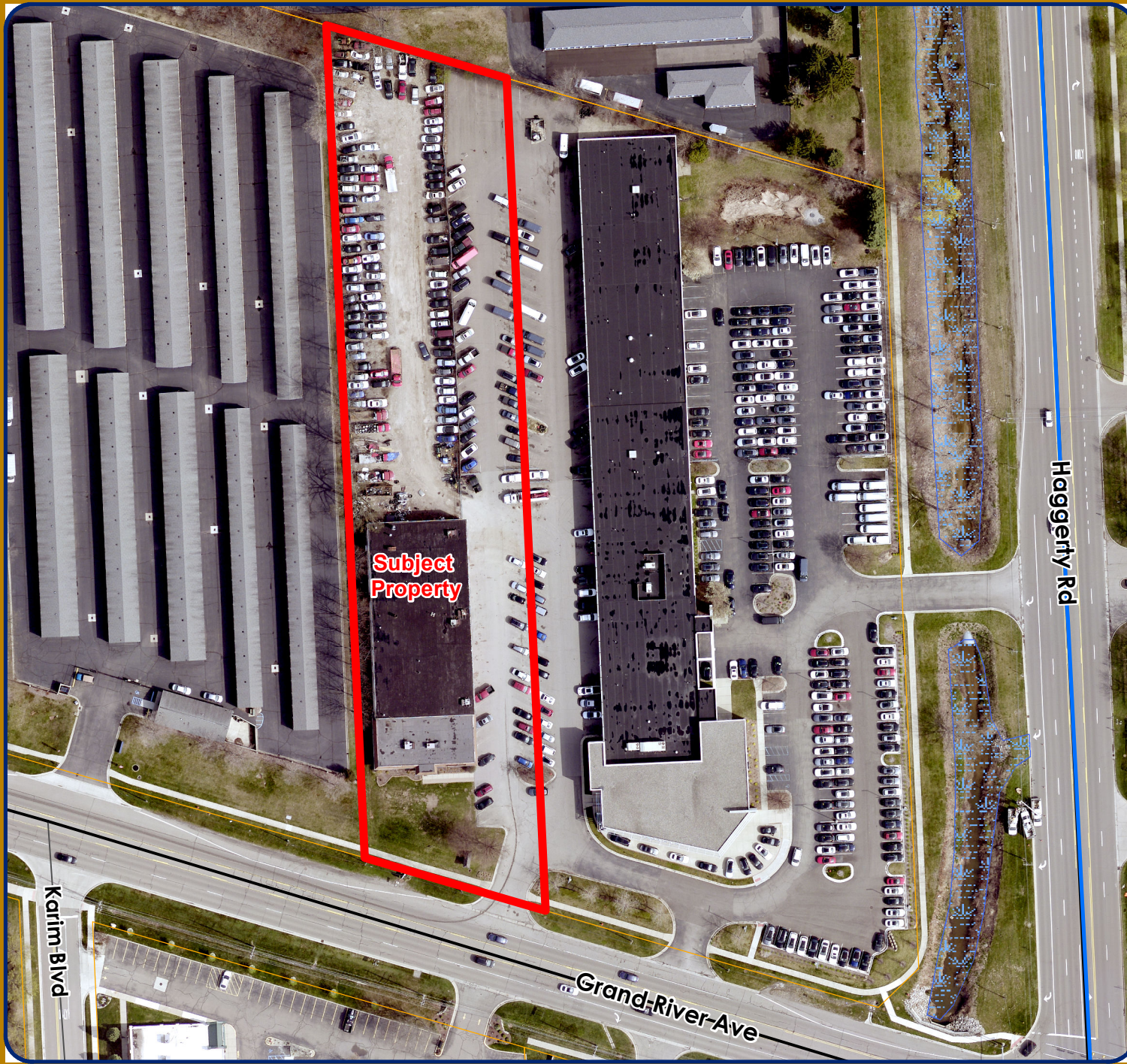
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# JSP21-20 MERCEDES-BENZ SPRINTER SERVICE SHOP

## NATURAL FEATURES



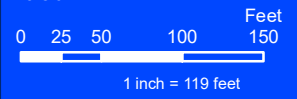
Haggerty Rd  
City of Farmington Hills

- LEGEND**
- WETLANDS
  - WOODLANDS
  - Subject Property



**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

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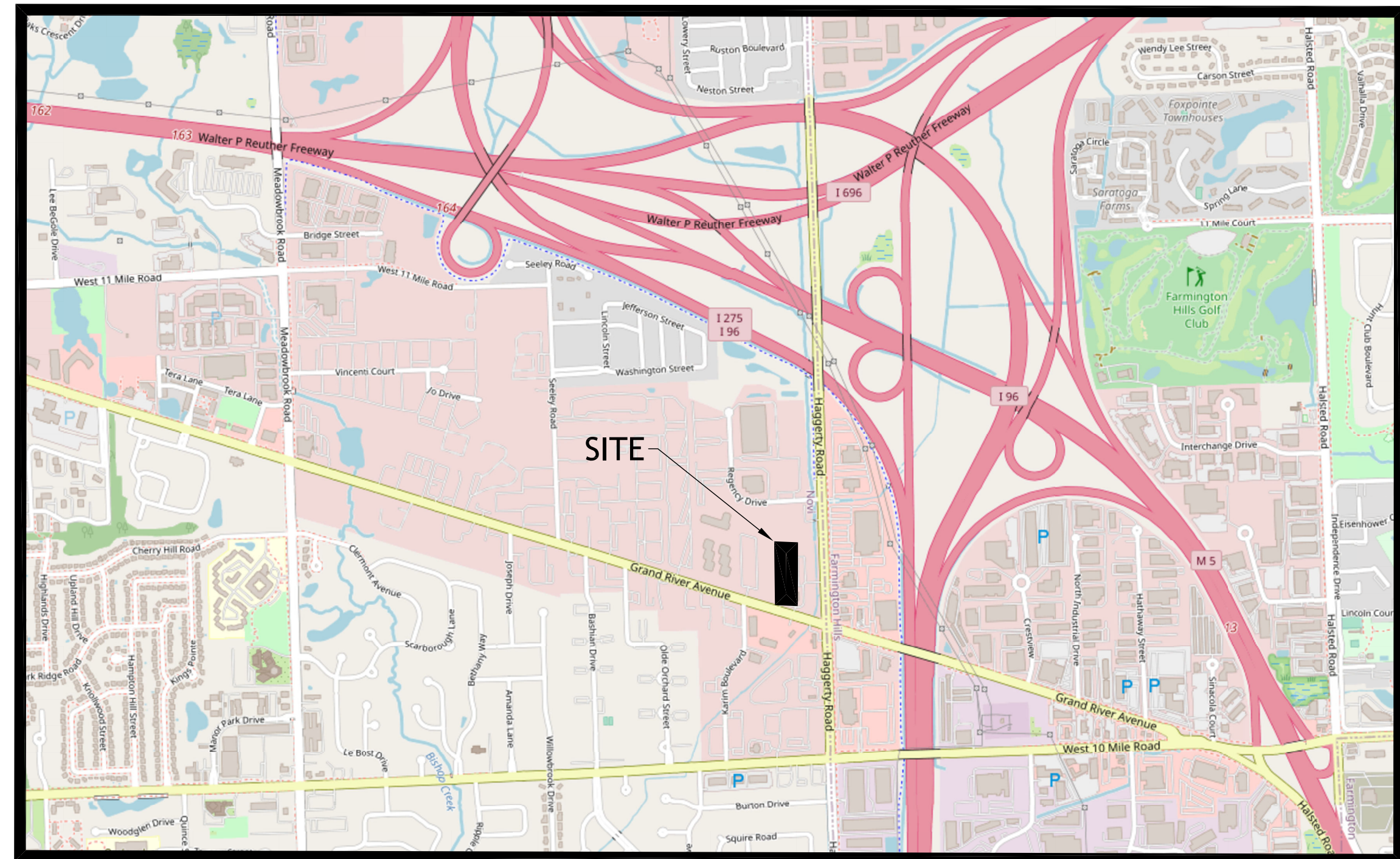
**SITE PLAN**

**(Full plan set available for viewing at the Community Development Department.)**



# SPRINTER BUILDING

## SURVEY AREA



### UTILITY COMPANY CONTACT INFORMATION:

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

OWNERS OF PUBLIC UTILITIES WILL NOT BE REQUIRED BY THE CITY TO MOVE ADDITIONAL POLES AND STRUCTURES THAT ARE NOT WITHIN GRADING OR STRUCTURE LIMITS IN ORDER TO FACILITATE THE OPERATION OF CONSTRUCTION EQUIPMENT, UNLESS IT IS DETERMINED BY THE ENGINEER THAT SUCH POLE LINE OR STRUCTURES CONSTITUTE A HAZARD TO THE PUBLIC OR ARE EXTRAORDINARILY DANGEROUS TO THE CONTRACTOR'S OPERATIONS.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.

CALL MISS DIG.  
72 HOURS  
3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
OR  
811



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72 HOURS  
3 WORKING DAYS  
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OR  
811  
TOLL FREE FOR THE LOCATION OF UNDERGROUND FACILITIES.

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## LOCATION

GRAND RIVER AVE  
CITY OF NOVI  
WAYNE COUNTY, MICHIGAN

## PROJECT INFORMATION

OWNER  
MERCEDES-BENZ OF NOVI  
39500 GRAND RIVER AVE  
NOVI, MICHIGAN 48375

CONTACT: LEE GHESQUIERE  
LEE@NOVIBENZ.COM  
248-821-9595

## DESIGN ENGINEER

HENNESSEY ENGINEERS, INC.  
13500 REECK ROAD  
SOUTHGATE, MICHIGAN 48195  
(734) 759-1600  
CONTACT: JOHN J. HENNESSEY, PE  
JJHENNESSEY@HENGINEERS.COM

## SHEET INDEX

CE1 COVER SHEET  
CE2 TOPOGRAPHIC SURVEY  
CE3 SITE PLAN

LS-1 LANDSCAPE PLAN

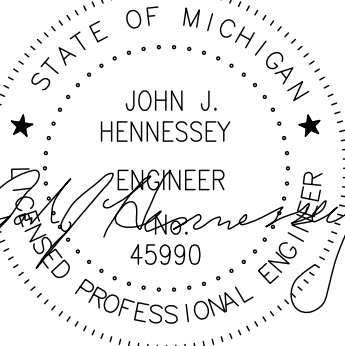
### LEGEND

☆ = LIGHT POLE	X — X = EXISTING FENCE
⊙ = POWER POLE	— — — = EXISTING CENTERLINE
□ = CATCH BASIN	— W — W = EXISTING WATER MAIN
⊕ = YARD CATCH BASIN	— S — S = EXISTING STORM SEWER
⊙ = SANITARY MANHOLE	— SS — SS = EXISTING SANITARY SEWER
⊙ = STORM MANHOLE	— C — C = EXISTING GAS
⊙ = HYDRANT	— OHU — OHU = EXISTING OVERHEAD LINES
⊙ = GATE VALVE & WELL	— UG-E — = EXISTING UNDERGROUND ELECTRIC
⊙ = WATER VALVE	— UG-PH — = EXISTING UNDERGROUND PHONE
⊙ = GAS VALVE	— UG-CB — = EXISTING UNDERGROUND CABLE
⊙ = SIGN	— UG-FO — = EXISTING UNDERGROUND FIBER OPTIC
⊙ = GUY WIRE	— 598 — = EXISTING CONTOUR
SPK.O = SPRINKLER	— — — = BUILDING SETBACK LINE
123 O = TREE & TAG NUMBER	< — < = SWALE
000.00 = EXISTING ELEVATION	— — — = TOP OF BANK
000.00 = PROPOSED ELEVATION	— — — = TREE/BRUSH LINE
F.G. = FINISHED GRADE	— — — = PROPERTY LINE
F.F. = FINISHED FLOOR	— — — = EASEMENT LINE
G.F.F. = FINISHED GARAGE FLOOR	[Pattern] = EXISTING CONCRETE
T/C = TOP CURB	[Pattern] = EXISTING ASPHALT
G = GUTTER	[Pattern] = EXISTING GRAVEL
⊙ = TREE	
⊙ = PINE, SPRUCE	
⊙ = BUSH, SHRUB	
⊙ = SOIL BORING	
⊙ = PHONE MANHOLE	
⊙ = DETROIT EDISON MANHOLE	

PROJECT NUMBER:	53657
DATE:	7/6/2021
SCALE:	
DESIGNED BY:	
DRAWN BY:	ARP
CHECKED BY:	
APPROVED BY:	

### REVISIONS

NO.	DESCRIPTION



ENGINEERING FOR RESULTS  
13500 REECK ROAD  
SOUTHGATE, MI 48195  
(734) 759-1600  
FAX (734) 282-6566  
WWW.HENGINEERS.COM

TITLE	COVER SHEET
	39580 GRAND RIVER AVENUE
	CITY OF NOVI
	OAKLAND COUNTY, MICHIGAN
SHEET	CE1

**LEGEND**

- ☆ = LIGHT POLE
- ⊙ = POWER POLE
- = CATCH BASIN
- ⊕ = YARD CATCH BASIN
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ⊕ = HYDRANT
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- ⊕ = GAS VALVE
- ⊕ = SIGN
- ⊕ = GUY WIRE
- ⊕ = SPRINKLER
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- 000.00 = PROPOSED ELEVATION
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- UG-CB — UG-CB = EXISTING UNDERGROUND CABLE
- UG-FO — UG-FO = EXISTING UNDERGROUND FIBER OPTIC
- 596 — 596 = EXISTING CONTOUR
- — — = BUILDING SETBACK LINE
- — — = SWALE
- — — = TOP OF BANK
- — — = TREE/BRUSH LINE
- — — = PROPERTY LINE
- — — = EASEMENT LINE
- [Pattern] = EXISTING CONCRETE
- [Pattern] = EXISTING ASPHALT
- [Pattern] = EXISTING GRAVEL

**BENCHMARKS:**

BM#1  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 859.03 (NAVD88)

BM#2  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 858.64 (NAVD88)

**PARCEL DISCIPTION:**

PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOWI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE INTERSECTION OF THE EAST LINE OF SAID SECTION 24 AND THE CENTERLINE OF GRAND RIVER AVENUE (VARIABLE WIDTH); THENCE NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 465.60 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 155.00 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE; THENCE NORTH 02 DEGREES 31 MINUTES 35 SECONDS WEST 736.76 FEET (RECORDED AS NORTH 01 DEGREES 47 MINUTES 00 SECONDS EAST 739.40 FEET); THENCE SOUTH 73 DEGREES 47 MINUTES 45 SECONDS EAST (RECORDED AS SOUTHEASTERLY) 155.00 FEET; THENCE SOUTH 02 DEGREES 31 MINUTES 35 SECONDS EAST 736.76 FEET (RECORDED AS SOUTH 01 DEGREES 47 MINUTES 00 SECONDS WEST 739.40 FEET) TO THE POINT OF BEGINNING, CONTAINING 2.483 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THAT PART OCCUPIED BY GRAND RIVER AVENUE, AND ALSO BEING SUBJECT TO ANY EASEMENTS AND/OR EXCEPTIONS, RECORDED OR OTHERWISE.

MEASURED BEARINGS ARE BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM.

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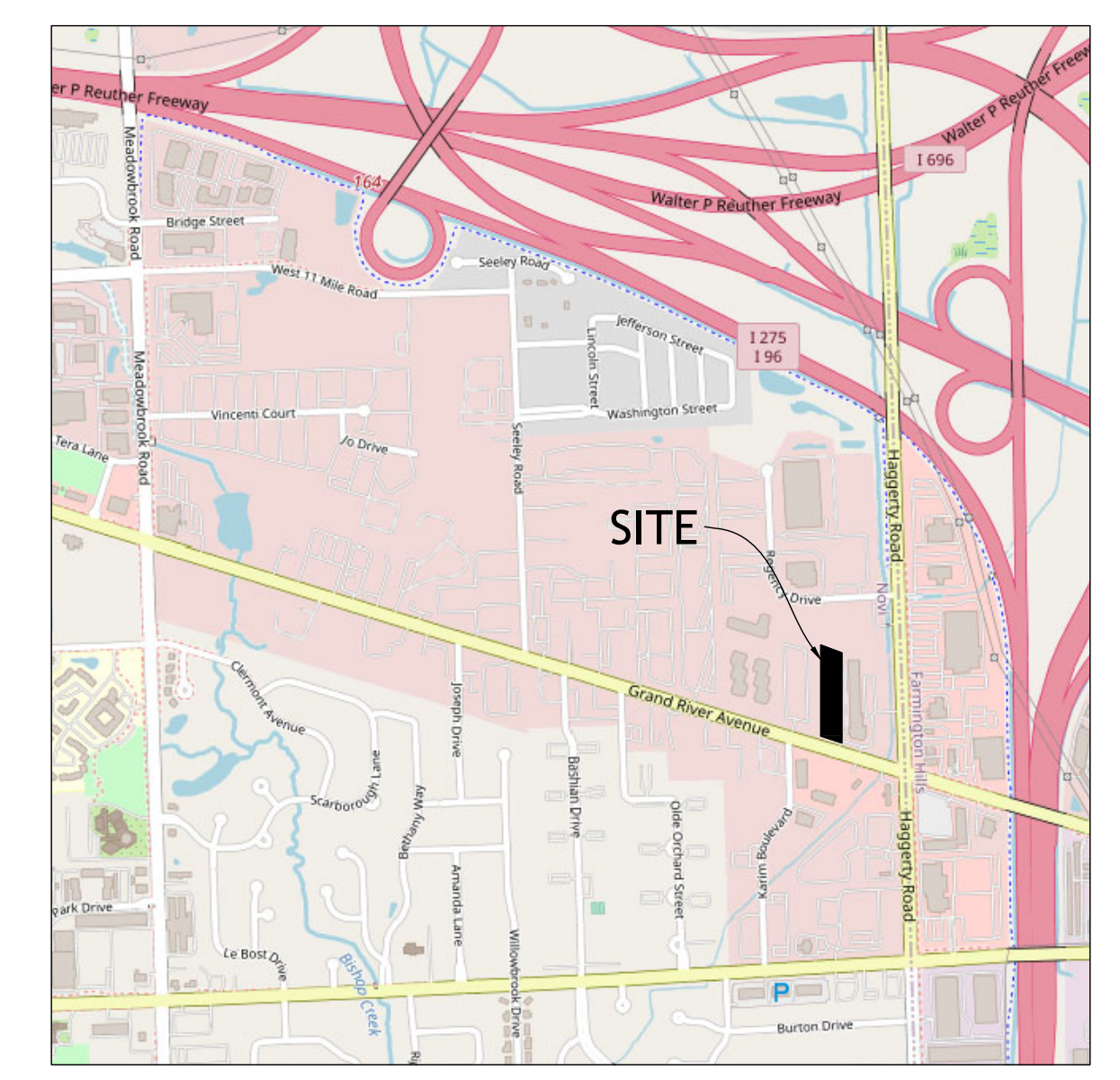
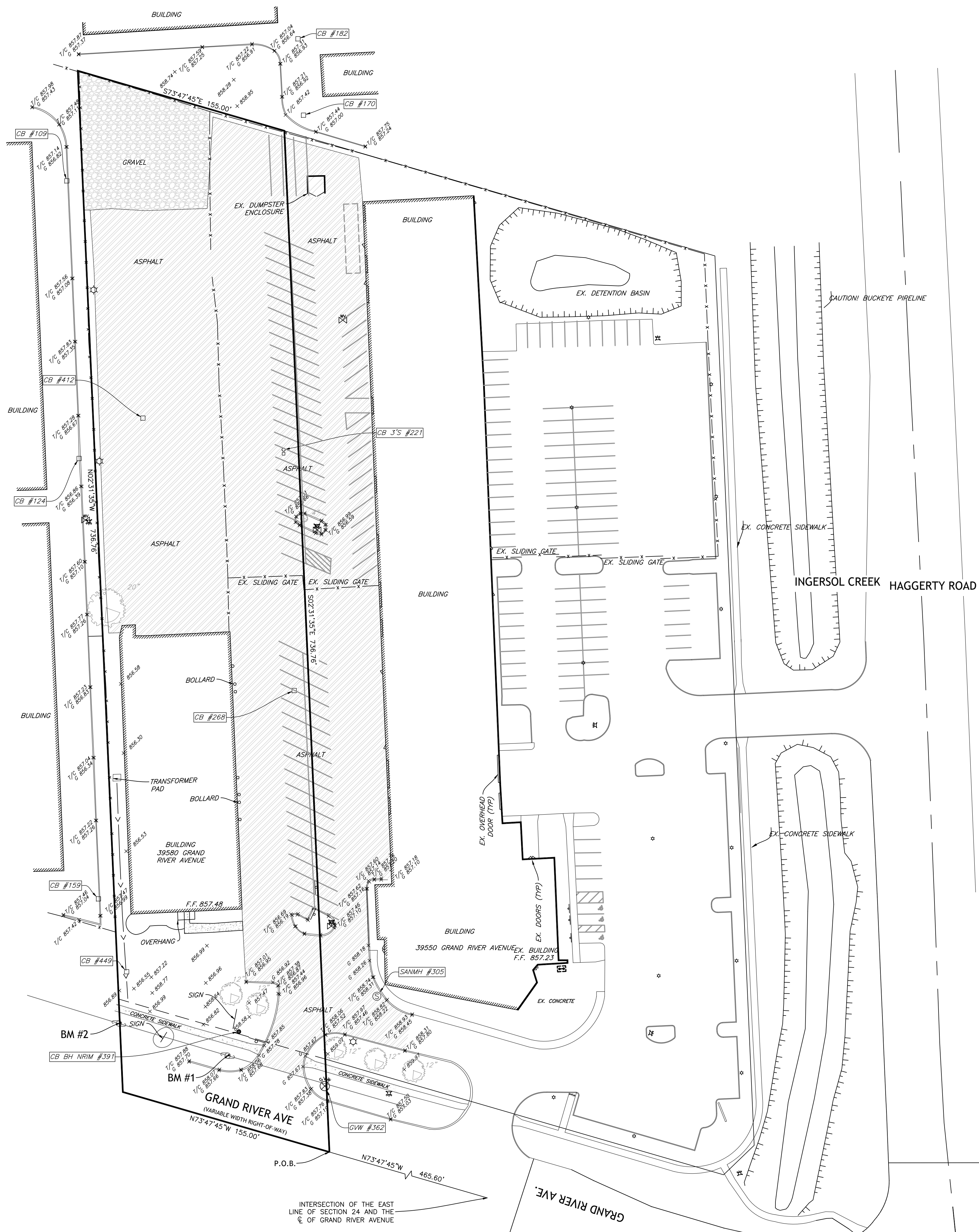
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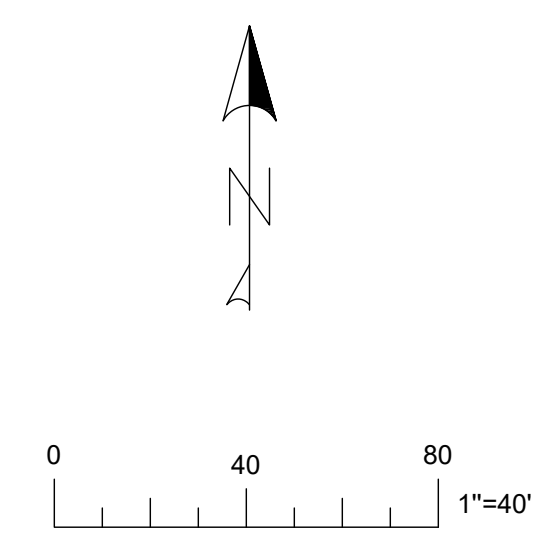
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**811**  
KNOW WHAT'S BELOW

72 HOURS BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
OR  
811  
(TOLL FREE) FOR THE LOCATION OF UNDERGROUND FACILITIES.



LOCATION MAP  
NOT TO SCALE



PROJECT NUMBER: 53657

DATE: 07/21/21

SCALE: 1"=40'

DESIGNED BY:

DRAWN BY: ARP

CHECKED BY: REH

APPROVED BY: REH

REVISIONS

ENGINEERING FOR RESULTS  
13500 REECK ROAD  
SOUTHGATE, MI 48195  
(734) 799-1600  
FAX (734) 282-6566  
WWW.HENNESSEYENGINEERS.COM

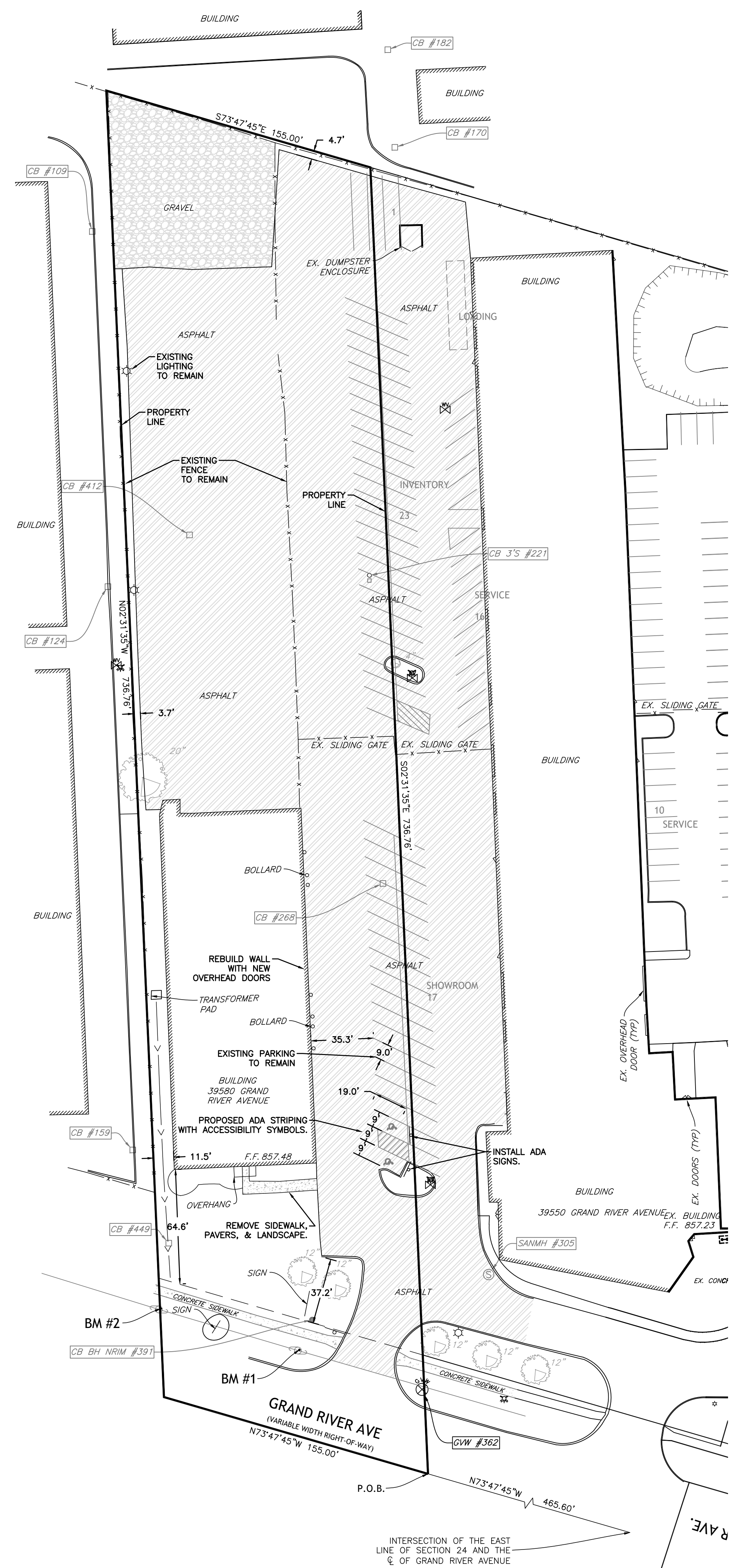
TITLE  
TOPOGRAPHIC SURVEY  
39580 GRAND RIVER AVENUE  
CITY OF NOWI  
OAKLAND COUNTY, MICHIGAN

SHEET  
CE2

PROJECT NUMBER:  
53657  
DATE:  
07/21/21  
SCALE:  
1"=40'  
DESIGNED BY:  
DRAWN BY:  
ARP  
CHECKED BY:  
REH  
APPROVED BY:  
REH  
REVISIONS

**LEGEND**

- ☉ = LIGHT POLE
- ⚡ = POWER POLE
- ☐ = CATCH BASIN
- ⊕ = YARD CATCH BASIN
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- ⊕ = HYDRANT
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- ⊕ = GAS VALVE
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- ☉ = BUSH, SHRUB
- ⊕ = SOIL BORING
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- UG-PH = EXISTING UNDERGROUND PHONE
- UG-CB = EXISTING UNDERGROUND CABLE
- UG-FO = EXISTING UNDERGROUND FIBER OPTIC
- 598 - = EXISTING CONTOUR
- - - = BUILDING SETBACK LINE
- < < = SWALE
- - - = TOP OF BANK
- - - = TREE/BRUSH LINE
- - - = PROPERTY LINE
- - - = EASEMENT LINE
- [Pattern] = EXISTING CONCRETE
- [Pattern] = EXISTING ASPHALT
- [Pattern] = EXISTING GRAVEL



**GENERAL NOTES**

1. REDEVELOPMENT OF FORMER AUTO REPAIR AND TOWING INTO SERVICE FOR SPRINTER VANS.
2. NO SIDE YARDS ABUT A STREET.
3. NO ADDITIONAL PARKING IS PROPOSED IN THE FRONT YARD.
4. THE PROPERTY DOES NOT ABUT A RESIDENTIAL AREA.
5. NO WETLANDS ON SITE.
6. NO WRECKED OR UNLICENSED VEHICLES WILL BE STORED OUTSIDE.
7. NO LOADING AREA IS PROPOSED.
8. NO DUMPSTER IS PROPOSED.
9. NO NEW ROOFTOP EQUIPMENT IS PROPOSED.
10. NO OUTDOOR STORAGE IS PROPOSED.
11. LONG TERM DELIVERY TRUCK PARKING IS NOT PERMITTED.
12. EXISTING FENCING IS TO REMAIN AS IS.
13. EXISTING LIGHTING IS TO REMAIN AS IS.

**SITE DATA**

Lot Area	Square Feet	Acres
Gross	108,149.79	2.48
Net (minus proposed ROW)	98,307.32	2.26

Use	Zoning
Automobile Service Establishment	Permitted

Zoning	Current	Proposed
Parcel	I-1 Light Industrial	I-1 No Change

Building Setbacks*	Required (Feet)	Provided to Lot Line (Feet)
West Side Yard Building Setback	20	10 No Change
East Side Yard Building Setback	20	53 No Change
North Rear Yard Building Setback	40	400 No Change
South Front Yard Building Setback	40	75 No Change

Number of Employees at One Time	Required	Provided
2 Spaces Per Ser		75

Parking Setbacks*	Required (Feet)	Provided to Lot Line (Feet)
West Side Yard Building Setback	10	NA
East Side Yard Building Setback	10	0 No Change
North Rear Yard Building Setback	10	0 No Change
South Front Yard Building Setback	3.6.2.E	NA

Off Street Parking	Required	Provided
Parking Per Employee & Per Bay Door	12	16
ADA Parking	2	2
<b>Total</b>		<b>18</b>

**PARCEL DISCRPTION:**

PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE INTERSECTION OF THE EAST LINE OF SAID SECTION 24 AND THE CENTERLINE OF GRAND RIVER AVENUE (VARIABLE WIDTH); THENCE NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 465.60 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 155.00 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE; THENCE NORTH 02 DEGREES 31 MINUTES 35 SECONDS WEST 736.76 FEET (RECORDED AS NORTH 01 DEGREES 47 MINUTES 00 SECONDS EAST 739.40 FEET); THENCE SOUTH 73 DEGREES 47 MINUTES 45 SECONDS EAST (RECORDED AS SOUTHEASTERLY) 155.00 FEET; THENCE SOUTH 02 DEGREES 31 MINUTES 35 SECONDS EAST 736.76 FEET (RECORDED AS SOUTH 01 DEGREES 47 MINUTES 00 SECONDS WEST 739.40 FEET) TO THE POINT OF BEGINNING, CONTAINING 2.483 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THAT PART OCCUPIED BY GRAND RIVER AVENUE, AND ALSO BEING SUBJECT TO ANY EASEMENTS AND/OR EXCEPTIONS, RECORDED OR OTHERWISE.

MEASURED BEARINGS ARE BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM.

**HENNESSEY ENGINEERS NOTES:**

HENNESSEY ENGINEERS, INC. SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE, NOR SHALL HENNESSEY ENGINEERS, INC., BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL IDENTIFY AND SAVE HARMLESS THE OWNER AND ENGINEER FROM ALL LIABILITIES FOR INJURY TO PERSON, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OF EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF THE EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLAN.

ALL FILL IN EXCESS OF TWO FEET (2') SHALL BE ENGINEERED FILL AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY UNLESS OTHERWISE DIRECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DENSITY TESTING.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.

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KNOW WHAT'S BELOW

72 HOURS  
3 WORKING DAYS  
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(TOLL FREE FOR THE LOCATION OF UNDERGROUND FACILITIES)

**BENCHMARKS:**

- BM#1**  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 859.03 (NAV088)
- BM#2**  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 858.64 (NAV088)

**ENGINEERING FOR RESULTS**  
13500 REECK ROAD  
SOUTHGATE, MI 48195  
(734) 799-1600  
FAX (734) 282-6566  
WWW.HENNESSEYENGINEERS.COM

**HENNESSEY ENGINEERS, INC.**

**TITLE**  
SITE PLAN  
39580 GRAND RIVER AVENUE  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN

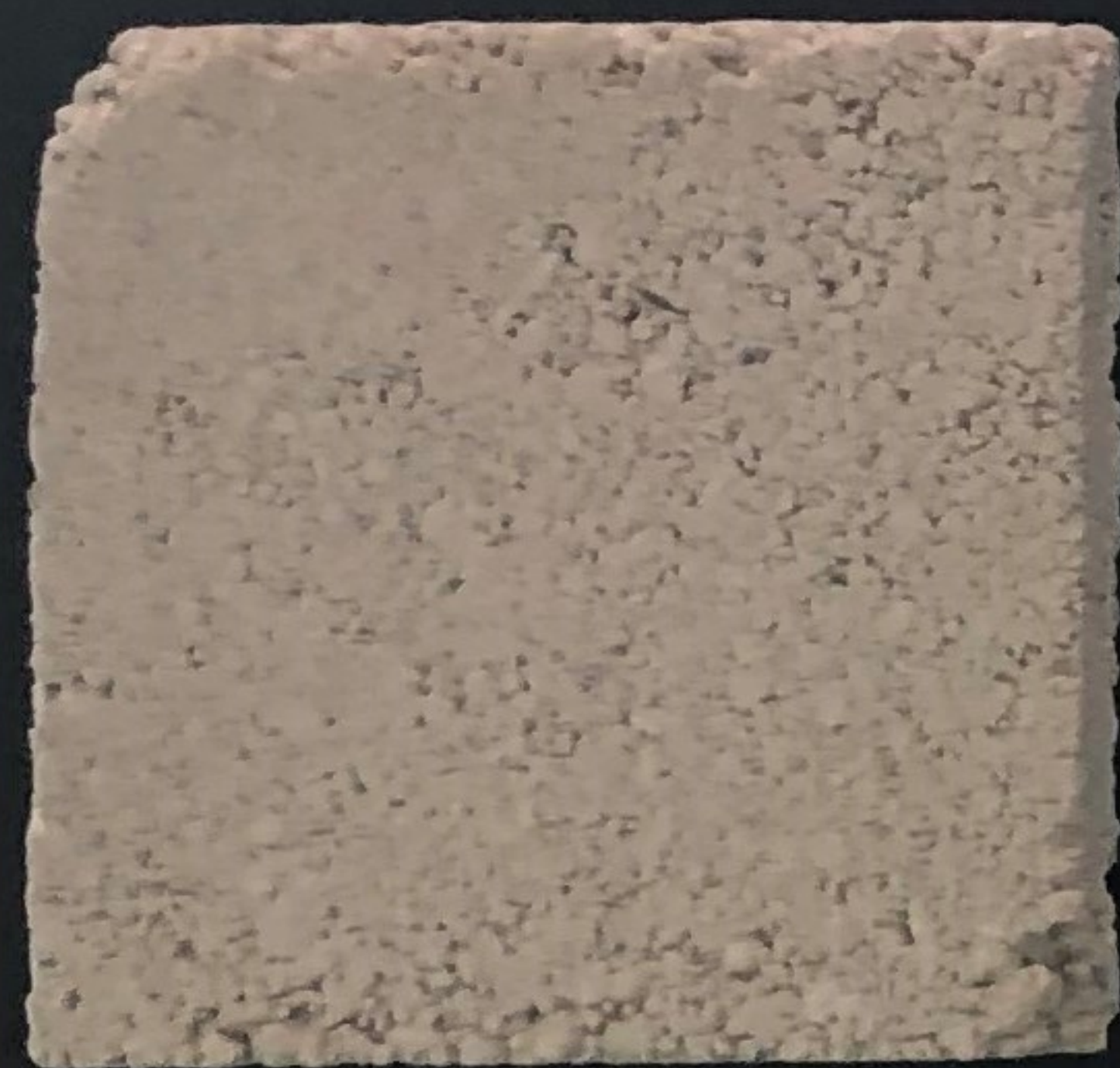
**SHEET**  
CE3



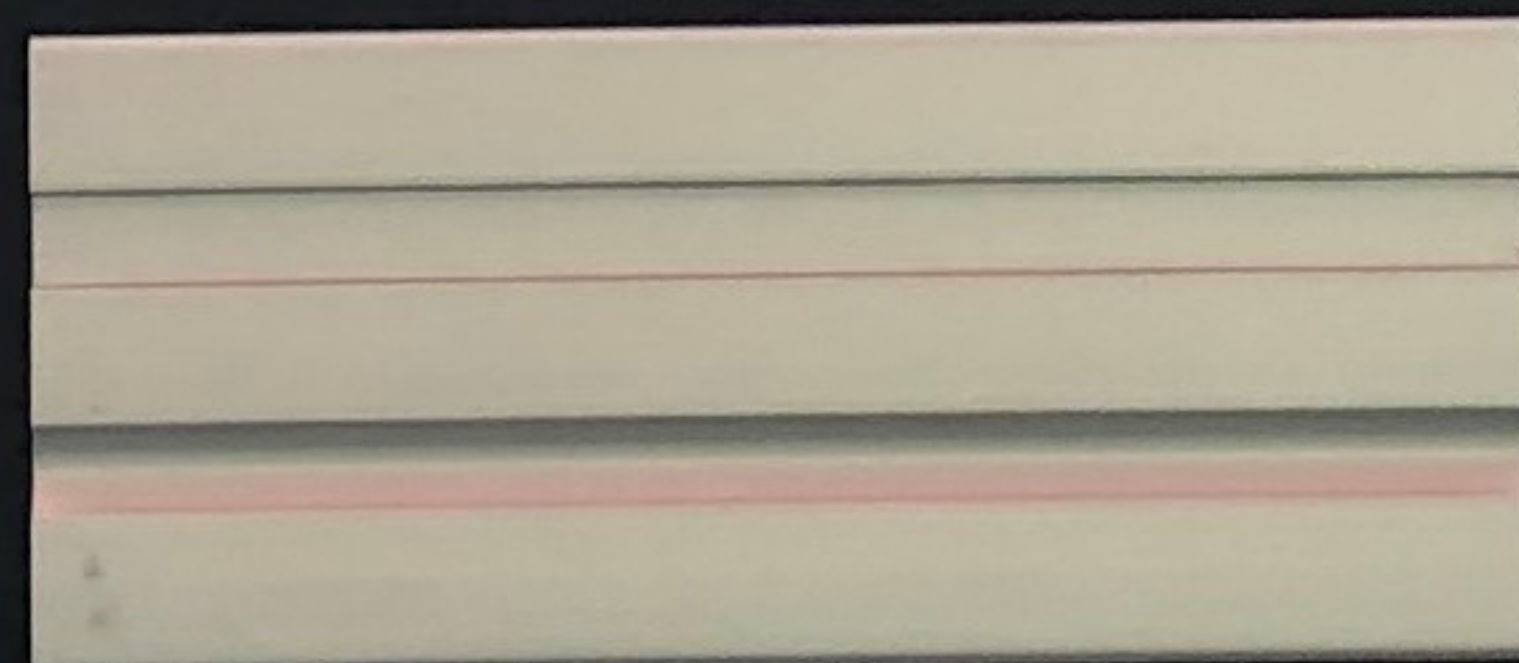
**FACADE MATERIALS, ELEVATIONS,  
AND FLOORPLAN**



ARCHITECTURAL METAL PANEL  
CANOPY



SMOOTH 'STUCCO' FINISH AND EXISTING  
CMU TO MATCH DEALERSHIP



CLEAR GLAZING IN ANODIZED ALUMINUM  
FRAMING TO MATCH EXISTING DEALERSHIP



**SOUTH ELEVATION**

SCALE: NTS

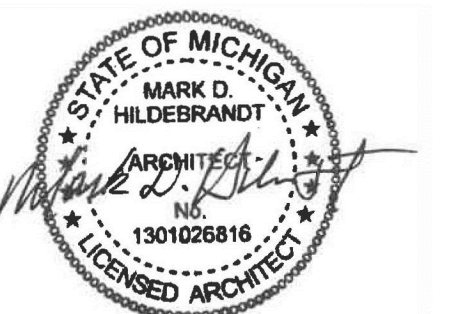
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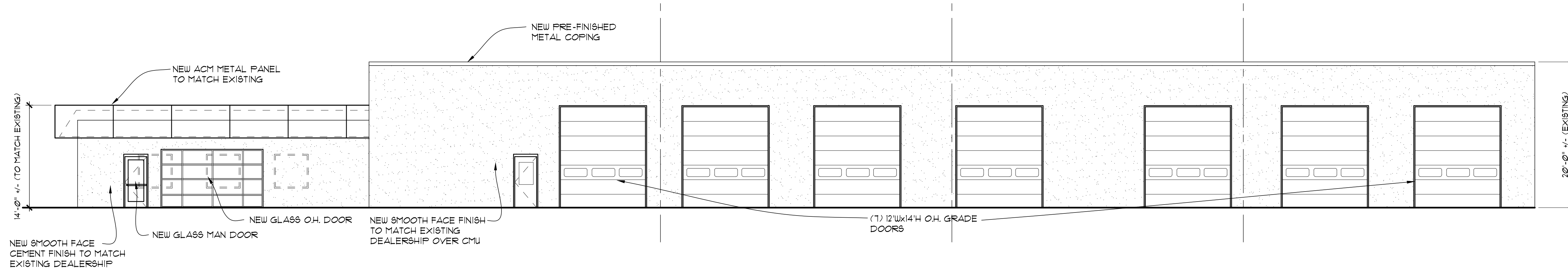


**EAST ELEVATION**

SCALE: NTS

2



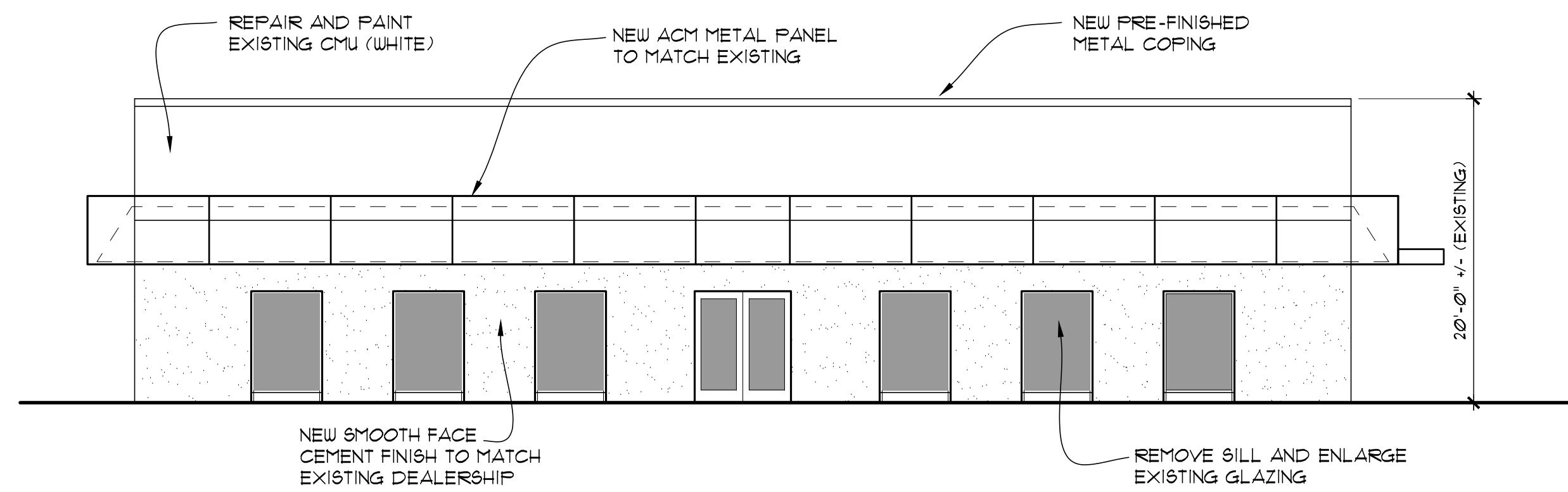


**EAST ELEVATION**

SCALE: 1/8" = 1'-0"

NOTE: SMOOTH FACE CEMENT BASED FINISH TO MATCH EXISTING DEALERSHIP BUILDING - (PAINTED TO MATCH)

1

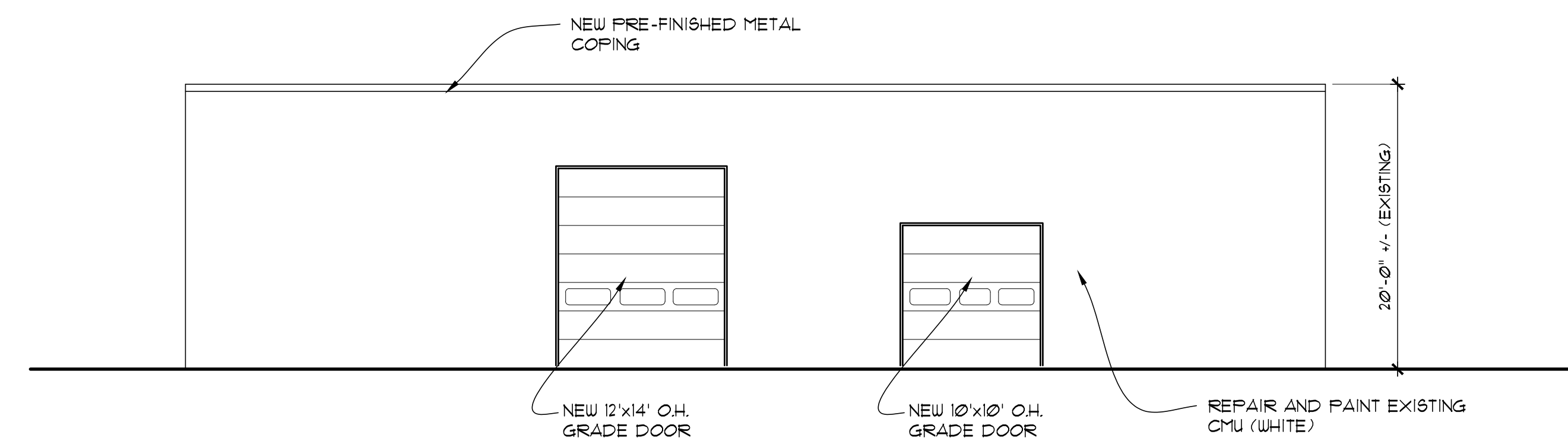


**SOUTH ELEVATION**

SCALE: 1/8" = 1'-0"

NOTE: SMOOTH FACE CEMENT BASED FINISH TO MATCH EXISTING DEALERSHIP - (PAINTED TO MATCH)

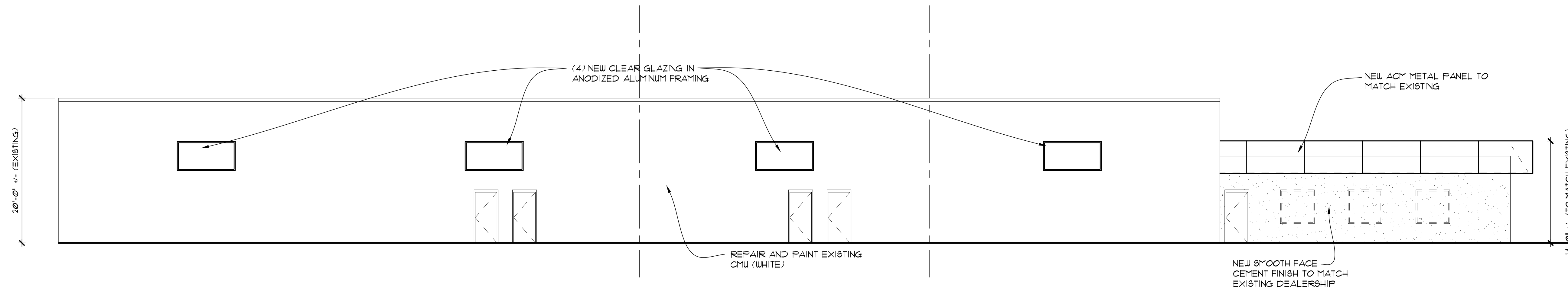
3



**NORTH ELEVATION**

SCALE: 1/8" = 1'-0"

2



**WEST ELEVATION**

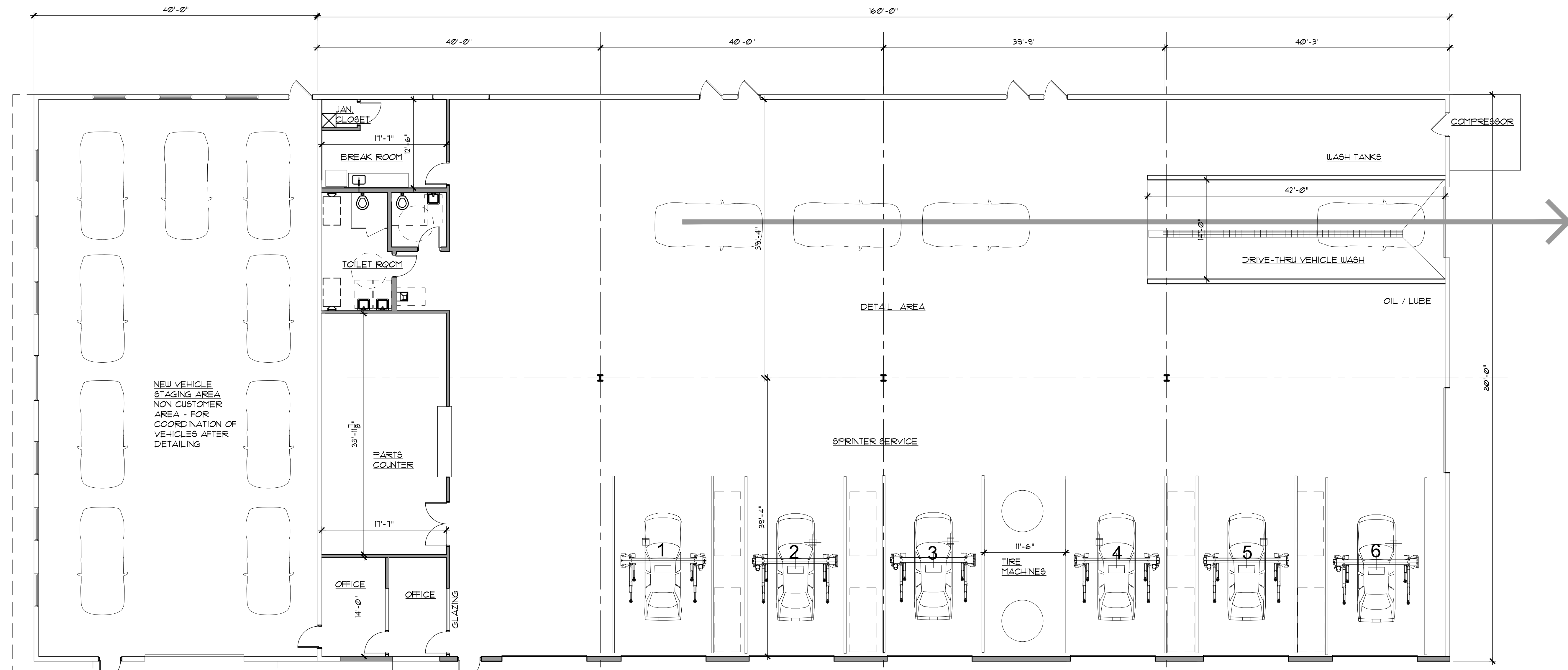
SCALE: 1/8" = 1'-0"

NOTE: SMOOTH FACE CEMENT BASED FINISH TO MATCH EXISTING DEALERSHIP - (PAINTED TO MATCH)

4







NEW VEHICLE STAGING AREA  
NON CUSTOMER AREA - FOR COORDINATION OF VEHICLES AFTER DETAILING

NEW 14'x8'h GLASS O.H. DOOR AND MAIN DOOR WITH CANOPY ABOVE

RE-BUILD MASONRY WALL WITH NEW 12'x14' H. O.H. DOORS FOR SERVICE STALLS

**WALL LEGEND**  
 — DENOTES EXISTING WALL CONSTRUCTION (FIELD VERIFY ALL EXISTING CONDITIONS)  
 — DENOTES NEW WALL CONSTRUCTION (INTERIOR WALLS OF METAL STUD AND GYP. BOARD - EXTERIOR WALL CONSTRUCTION TO MATCH EXISTING)

**PROPOSED RENOVATED FLOOR PLAN**  
 SCALE: 1/8"=1'-0" NORTH



## PLANNING REVIEW

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**PLAN REVIEW CENTER REPORT**  
**Planning Review**  
**Mercedes-Benz Sprinter Service Shop**  
 JSP 21-20  
 September 9, 2021

**PETITIONER**

Mercedes-Benz of Novi

**REVIEW TYPE**

Preliminary Site Plan

**PROPERTY CHARACTERISTICS**

Section	24	
Site Location	39580 Grand River Avenue; West of Haggerty Road, North of Grand River Avenue; 22-24-426-007	
Site School	Novi Community School District	
Site Zoning	I-1 General Industrial	
Adjoining Zoning	North	I-1 General Industrial
	East	B-3 General Business
	West	I-1 General Industrial
	South	B-3 General Business
Current Site Use	Keford Towing & Collision	
Adjoining Uses	North	CubeSmart Self Storage
	East	Mercedes-Benz of Novi
	West	Mini-U Storage
	South	Pheasant Run Plaza & 11/11 Burgers & Fries
Site Size	2.31 acres	
Plan Date	August 18, 2021	

**PROJECT SUMMARY**

The applicant is proposing to remodel a former body and service facility. The building will continue to be used as a body and service facility for the servicing of Mercedes Sprinter vans. These vans are currently being serviced on the existing dealership site, which is located east of this property. This existing site has some non-conformities, and the proposed improvements will help bring this site into compliance with current standards. The proposed improvements to the site include interior work, façade improvements, and restriping of the parking lot. The site is located at 39580 Grand River Avenue and is zoned I-1 General Industrial. The Future Land Use map indicates Industrial Research Development Technology.

**RECOMMENDATION**

**Approval of the Preliminary Site Plan is recommended by Planning Staff.** The plan mostly conforms to the requirements of the Zoning Ordinance, with any deviations noted below. All reviewers recommend

approval of the Preliminary Site Plan. **Please note that this project will require Planning Commission approval for a Section 9 Façade Waiver and Landscape Waiver.**

### **ORDINANCE REQUIREMENTS**

This project was reviewed for compliance with the Zoning Ordinance, with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other areas of the ordinance, as noted. The plans show general compliance with ordinance requirements. Please address the items in **bold** with the next submittal.

1. Historic Use of Property (Sec. 7.1): The project site is an existing legal non-conforming site within in the City and the proposed project intends on improving some of the nonconformities to fall closer into compliance with the Zoning Ordinance.
2. Number of Parking Spaces (Sec. 5.2.12.D/E): The site plan provided has indicated that there are 18 existing parking spaces. For automobile service establishments, 2 parking spaces per service bay and 1 parking space per employee is required. 6 service bays are proposed. However, the number of employees has not been provided. **Please provide the number of employees that will service this facility so that a proper parking requirement calculation can be made and provide an overall parking count if the properties are to be combined.**
3. Barrier Free Signs: Barrier Free signage has been shown on the site plan. However, a detail sheet has not been provided. **Please provide a signage detail sheet and refer to the Traffic Review for more comments.**
4. Dumpster Enclosure (Sec. 21-145 c.): No changes are currently proposed to the existing dumpster enclosure. Per the Façade Ordinance, the dumpster enclosure shall match the façade of the building. **Please paint the dumpster enclosure to match the proposed façade of the building and indicate the change on the plans.**
5. Automobile Service Establishment (Sec. 4.50): While the use of the site is not changing, standard notes are still to be provided on the plans. **Please provide the following notes on the site plan:**
  - a. Vehicle parking on site shall be limited to customers and employees, and not for vehicle storage longer than 24 hours, nor for used car sales.
  - b. No wrecked or partially dismantled vehicles or vehicles without current license plates may be stored outside.
  - c. No outdoor storage tanks are proposed for this project.
6. Hazardous Material Checklist: A Hazardous Material Checklist has been provided and will be review by the City of Novi Fire Department.
7. General Layout: **Please provide the following details on the next submittal:**
  - a. Please show the location of the doors and canopy on the site plan.
  - b. Please indicate if any sidewalk is proposed underneath the east canopy.
  - c. Please provide more detail on the staging area in the next response letter.
8. Economic Impact Information: Economic Impact Information was provided in a narrative submitted to the city, but it did not include any specific information. **Please include the total estimated cost of the proposed building and site improvements and number of anticipated temporary construction jobs created.**
9. Property Combination: Currently, the parcels are not being proposed to be combined. This creates a number of potential issues including a potential variance needed for the number of

parking spaces and the need to create a shared parking agreement between the two parcels. **Therefore, it is highly suggested that parcels be combined to fall into compliance with a number of ordinance requirements. Please submit this [application](#) to the Assessing Department prior to Electronic Stamping Set Submittal.**

10. **Signage:** Please submit any proposed signage [application\(s\)](#) to the Code Compliance Division once that stage is reached.
11. **Site Lighting (Sec. 5.7):** A photometric plan has not been provided by the applicant. Per Section 5.7.3.A, "Outdoor lighting shall be designed to achieve uniform illumination levels. The ratio of the average light level of the surface being lit to the lowest light of the surface being lit, measured in foot-candles &, shall not exceed four to one (4:1)." **Therefore, it is suggested that additional site lighting be added to make the lighting consistent with the adjacent property. Please indicate if any additional site lighting is proposed with the next submittal.**
12. **Façade:** The proposed facade does not have a minimum percentage of brick shown and the percentages of EIFS and Painted CMU exceed the maximum amount allowed by the Façade Ordinance. However, the proposed materials and colors will create a visual match with the existing primary dealership facility located to the east. **Therefore, a Section 9 Façade Waiver is required and is supported by the City's Façade Consultant for the underage of Brick and overage of EIFS and Painted CMU. In addition, the existing dumpster enclosure should be painted to match the adjacent buildings. The Section 9 Façade Waiver will require Planning Commission approval.**
13. **Planning Chart:** Please refer to the attached Planning Chart for additional comments to address in the next submittal.

#### **OTHER REVIEWS**

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- a. **Engineering Review:** Engineering is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan submittal.
- b. **Landscape Review:** Landscape is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- c. **Traffic Review:** Traffic is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan Submittal.
- d. **Façade Review:** Façade is recommending approval of the Preliminary Site Plan and a Section 9 Façade Waiver contingent upon the dumpster enclosure being painted to match the building.
- e. **Fire Review:** Fire is recommending approval of the Preliminary Site Plan with comments to be addressed as part of the Final Site Plan submittal.

#### **NEXT STEP: PLANNING COMMISSION MEETING**

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This Site Plan will be tentatively scheduled to go before the Planning Commission as a Matter for Consideration on **September 22, 2021**. Please provide the following via email by **September 15, 2021**, if you wish to be on the agenda for this meeting:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and [a request for waivers/variances as you see fit](#).
3. A color rendering of the Site Plan (optional, to be used for Planning Commission presentation).
4. A sample board of building materials.

#### **FINAL SITE PLAN SUBMITTAL**

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After receiving Planning Commission's approval of the Preliminary Site Plan, please submit the following for review:

1. **Six** copies of Final Site Plan sets (24" x 36", folded) addressing ALL comments from Preliminary Site Plan Review.
2. Response letter addressing ALL comments from ALL review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. [No Revision Façade Affidavit](#) (only if no façade changes have been made since the Preliminary Site Plan submittal)
6. An itemized engineering cost estimate including sanitary sewer, watermain, storm sewer, paving and grading costs, size 8.5" x 11" (The cost estimate should not include soil erosion or demolition costs.)
7. An itemized landscaping cost estimate including greenbelt and greenbelt ornamental trees, perennials, pond plantings, shrubs, edging, mulch, seed mix and seeded lawn, size 8.5" x 11" (The cost estimate should not include woodland trees, replacement trees or mitigation.)
8. An [Other Agencies Checklist](#)

### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, plans addressing the comments in all the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### **STAMPING SET APPROVAL**

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Stamping sets will be required for this project. After having received all the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with signature and seal (may be electronic)** to the Community Development Department for final Stamping Set approval.

### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction. If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [ccarroll@cityofnovi.org](mailto:ccarroll@cityofnovi.org).



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Christian Carroll, Planner



## PLANNING REVIEW CHART: I-1 Light Industrial

**Review Date:** September 9, 2021  
**Review Type:** Preliminary Site Plan  
**Project Name:** **JSP21-20 MERCEDES SPRINTER SERVICE BUILDING**  
**Location:** 39580 Grand River Ave; 22-24-426-007  
**Plan Date:** August 18, 2021  
**Prepared by:** Christian Carroll, Planner  
**E-mail:** [ccarroll@cityofnovi.org](mailto:ccarroll@cityofnovi.org) **Phone:** 248.735.5607

**Bold:** To be addressed with the next submittal  
*Italics:* Notes to be noted for future submittals

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b>	Industrial Research Development and Technology	No Change	Yes	
<b>Area Study</b>	The site does not fall under any special category	NA	NA	
<b>Zoning</b> <i>(Effective January 8, 2015)</i>	I-1: Light Industrial District	No Change	Yes	
<b>Uses Permitted</b> (Sec 3.1.18.B & C)	Sec 3.1.18.B Principal Uses Permitted Sec 3.1.18.C Special Land Uses	Automobile Service Establishment – Special Land Use.	Yes	<i>Existing Historic Use – changing ownership.</i>
<b>Height, bulk, density and area limitations</b> <i>(Sec 3.1.18)</i>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Grand River Ave	Yes	
<b>Access to Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive	No Change	NA	
<b>Minimum Zoning Lot Size</b> for each Unit in Ac <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet			NA	
<b>Open Space Area</b>	----	No Change	NA	
<b>Maximum % of</b>	<i>(Sec 3.6.2.D)</i>	No Change	NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>Lot Area Covered</b> (By All Buildings)				
<b>Building Height</b> (Sec. 3.1.18.D) Sec. 3.14.5.C)	40 ft. 25 ft. abutting residential	20 feet	Yes	
<b>Building Setbacks</b> (Sec 3.1.18.D)				
Front (South)	40 ft.	75 ft (No change)	Yes	Existing
Side (East)	20 ft.	53 ft (No change)	Yes	
Side (West)	20 ft.	10 ft (No change)	Yes	
Rear (North)	40 ft.	~400 ft (No change)	Yes	
<b>Parking Setback</b> (Sec 3.1.18.D) & Refer to applicable notes in Sec 3.6.2				
Front (South)	See 3.6.2.E	NA	NA	Existing
Side (East)	10 ft.	0 ft (No change)	Yes	
Side (West)	10 ft.	NA	Yes	
Rear (North)	10 ft.	0 ft (No change)	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No side yards abut a street.	NA	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard if - the site is a minimum 2 acre site, - does not extend into the minimum required front yard setback of the district, - cannot occupy more than 50% of the area between min. front yard setback & bldg. setback, - must be screened by brick wall or landscaped berm - lighting compatible with surrounding neighborhood	No additional parking is proposed in front yard	NA	
<b>Off-Street Parking in Side and Rear Yards</b> abutting residential (Sec 3.6.2.F)	Shall not occupy more than fifty (50) percent of the area of the side or rear yard abutting a residential district;	Side and rear yards do not abut residential.	NA	
	Off-street parking shall be setback no less than one-hundred (100) feet from the residential district.			



Item	Required Code	Proposed	Meets Code	Comments
<b>Setback from Residential District</b> (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one-hundred (100) feet, whichever is greater.	The property does not abut residential.	NA	
<b>Wetland/Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	No wetland.	NA	
<b>Additional Height</b> (Sec 3.6.2.O)	Additional height(s) for selected building(s) is allowed based on conditions listed in Sec 3.6.2.O		NA	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Section 5.5.3.	Existing parking	NA	
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q	Parking setbacks conform to the minimum required	NA	
<b>Parking, Loading and Dumpster Requirements</b>				
<b>Number of Parking Spaces</b> (Sec. 5.2.12.D/E)	<b>Automobile Service Establishment</b>  2 spaces for each service bay + 1 space per employee = <b>6 service bays x 2 + employees = 12+ spaces required</b>	18 spaces provided	Yes?	<b>Please provide the number of employees that will service this facility so that a proper parking requirement calculation can be made and provide an overall parking count if the properties are to be combined. Variance may be necessary and shared parking agreement is necessary if the parcels are not combined.</b>
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	Spaces are generally angled 9' x 19.' Maneuvering lane dimension is 35', curb height is 4"	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	- Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Complies	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>End Islands</b> (Sec. 5.3.12)	<ul style="list-style-type: none"> <li>- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles.</li> <li>- The end islands shall generally be at least 10 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance</li> </ul>	No additional end islands	Yes	
<b>Barrier Free Spaces</b> Barrier Free Code	Based on number of existing parking spaces. 1-25 spaces: 1 van; 26-50: 1 van, 1 BF	2 van accessible spaces provided	Yes	
<b>Barrier Free Space Dimensions</b> Barrier Free Code	<ul style="list-style-type: none"> <li>- 8' wide with an 8' wide access aisle for van accessible spaces</li> <li>- 8' wide with a 5' wide access aisle for regular accessible spaces</li> </ul>	9' wide with 9' wide access aisle	Yes	
<b>Barrier Free Signs</b> Barrier Free Code	One sign for each accessible parking space.	Signage shown on site plan	Yes	<b>Please provide a signage detail sheet.</b>
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	Five (5) percent of required automobile spaces, minimum two (2) spaces	Not required per Section 5.16.1	NA	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	<ul style="list-style-type: none"> <li>- No farther than 120 ft. from the entrance being served</li> <li>- When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations</li> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved sidewalk</li> </ul>		NA	
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double		NA	

Item	Required Code	Proposed	Meets Code	Comments
<b>Loading Spaces</b> (Sec. 5.4.3)	<ul style="list-style-type: none"> <li>- Loading area in the rear yard</li> <li>- Loading area in interior side yard if it is adjacent to I, EXPO or EXO district</li> </ul>	Not shown – no loading area proposed.	NA	
<b>Accessory Structures</b>				
<b>Dumpster</b> (Sec 4.19.2.F)	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or</li> <li>- No closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	No change to existing – no dumpster proposed.	NA	
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad.</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	No change to existing	No	<b>Paint existing dumpster enclosure to match the new façade.</b>
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No change to existing – no new rooftop equipment proposed.	NA	
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	No change to existing	NA	
<b>Automobile Service Establishment (Sec. 4.50)</b>				
<b>Lots adjacent to Major Thoroughfare</b> (Sec. 4.50.1)	<ul style="list-style-type: none"> <li>- Minimum site size of 2 acres</li> <li>-Minimum site frontage of 200 feet</li> <li>-No vehicle parking in front of actual building setback line</li> <li>-No vehicle parking in required side yard setbacks</li> </ul>	<ul style="list-style-type: none"> <li>- Approximately 2.31 acres</li> <li>- Site frontage of 155 feet</li> <li>- Existing vehicle parking in setback</li> <li>- Existing vehicle parking located in</li> </ul>	Yes	<i>Existing site.</i>

Item	Required Code	Proposed	Meets Code	Comments
	-No service bay doors shall face a major thoroughfare -No more than 1 curb cut shall be allowed to the major thoroughfare. Further, when deemed necessary by the Planning Commission (Sec. 6.1.2.D), marginal access roads may be required pursuant to design standards at Section 3.13.	east side yard setback - Service bay doors appear to face side yard - One curb cut existing on the property with another curb cut located on the property to the east		
<b>Vehicle Parking</b> (Sec. 4.50.2)	Vehicle parking on site shall be limited to customers and employees, and not for vehicle storage longer than 24 hours, nor for used car sales.	Not proposed	Yes	<b>Provide note indicating compliance with this requirement.</b>
<b>Dismantled Vehicles</b> (Sec. 4.50.3)	No wrecked or partially dismantled vehicles or vehicles without current license plates may be stored outside.	Not proposed	Yes	<b>Provide note indicating compliance with this requirement and provide a note indicating that no tanks will be stored outside.</b>
<b>Noise Impact Statement</b> (Sec. 4.50.4)	A noise impact statement is required subject to Section 5.14.10.B.	Existing use	Yes	
<b>I-1 District Required Conditions</b> (Sec 3.14)				
<b>Outdoor Storage of above ground storage tanks</b> (Sec. 3.14.1.B.ii)	Outdoor placement of above-ground storage tanks of not more than 600 capacities per tank and accessory to an otherwise permitted use. Additional conditions apply	None proposed	NA	
<b>Outdoor Storage of recreational equipment</b> (Sec. 3.14.1.B.iii)	-The equipment is licensed or registered as required under state law and has affixed to it a current registration plate, sticker, or other proof of required registration -The equipment is operable and must either have wheels making it moveable or must be on a trailer with wheels that are moveable; -The equipment is owned by the owner or occupant of the property; -No more than three (3) vehicles or other such piece	None proposed, note provided on plans	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	of equipment is stored on the property; a boat or similar vehicle that is on a trailer shall be considered a single piece of equipment: and -The equipment shall be stored only in an area where an accessory structure is permitted; -The property is developed with a building of at least five-thousand (5000) square feet and the equipment is clearly accessory to the principle permitted use of the site.			
<b>Other</b> (Sec 3.14.2)	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	None proposed	NA	
<b>Adjacent to Freeway ROW</b> (Sec 3.14.4)	Where a permitted use abuts a freeway right-of way, special conditions listed in section 3.14.4 apply	Not adjacent to freeway ROW	NA	
<b>Planning Commission findings for permitted uses (Sec 3.14.3)</b>				
<b>Impacts on residential district</b> (Sec 3.14.3.A)	The scale, size, building design, facade materials, landscaping and activity of the use is such that current and future adjacent residential uses will be protected from any adverse impact	The property does not abut residential	Yes	
<b>Long term truck parking</b> (Sec 3.14.3.B)	No long term delivery truck parking on site	None proposed, note provided on plans	Yes	
<b>Performance standards</b> (Sec 3.14.3.C)	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14	Complies	Yes	
<b>Storage and/use of material</b> (Sec 3.14.3.D)	The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials.	Checklist provided	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Hazardous material checklist</b> (Sec 3.14.3.E)	Compliance of City's hazardous materials checklist			
<b>Sidewalks and Pathways</b>				
<b>ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES</b> (Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05)	<ul style="list-style-type: none"> <li>- New streets, sidewalks required on both sides.</li> <li>- Arterials and collectors: 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan,"</li> <li>- industrial service streets: no sidewalk</li> <li>- local streets and private roadways: five (5) feet</li> </ul>	Existing 5' sidewalk on Grand River Avenue	Yes	
<b>Pedestrian Connectivity</b>	<ul style="list-style-type: none"> <li>- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets</li> <li>- Building exits must be connected to sidewalk system or parking lot.</li> </ul>	NA	Yes	
<b>Other Requirements</b>				
<b>Exterior lighting</b> (Sec. 5.7)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting plan is not provided	Yes	<b>Provide a photometric plan for any new site lighting to verify compliance.</b>
<b>Fencing</b> (Sec. 5.11)	<ul style="list-style-type: none"> <li>-no fence shall extend into a front or exterior side yard</li> <li>-no fence shall exceed 8 feet in height, except barbed wire placed along the top of a fence may project beyond the maximum height limitation of the fence, but no fence, including barbed wire, shall exceed an overall height of 11 feet</li> <li>-no fence shall carry electrical current or charge of electricity</li> <li>-nothing in this Section shall be interpreted to supersede the applicable requirements of Section 5.5.</li> </ul>	Existing fence to remain	Yes	<i>Any changes to the fencing would require review.</i>

Item	Required Code	Proposed	Meets Code	Comments
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	<b>Please show the location of the doors and canopy on the site plan. Please indicate if any sidewalk is proposed underneath the east canopy. Please provide more detail on the staging area in the next response letter.</b>
<b>Economic Impact Information</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	Not provided, number of existing employees to remain the same	<b>No</b>	<b>Please provide specific Economic Impact Information with the next submittal.</b>
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Not required	Yes	<u>Please contact Madeleine Daniels at 248-347-0579 or <a href="mailto:mdaniels@cityofnovi.org">mdaniels@cityofnovi.org</a> for more information.</u>
<b>Development/ Business Sign</b>	Signage if proposed requires a permit.	Not applicable at this time	NA	<u>Contact Ordinance at 248-735-5602 if any changes to existing signs are proposed</u>
<b>Property Split or Combination</b>	Property split or combinations should be reviewed and approved prior to final stamping set approval		NA	<b>It is highly suggested that parcels be combined to fall into compliance with a number of ordinance requirements.</b>
<b>Site Addressing</b>	Application for a new address can be submitted after Preliminary Site Plan approval		NA	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	A lighting and photometric plan is not provided	Yes	<b>Provide a photometric plan for any new site lighting to verify compliance.</b>

Item	Required Code	Proposed	Meets Code	Comments
<b>Lighting Plan</b> (Sec. 5.7.A.i)	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Not applicable	NA	
<b>Building Lighting</b> (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Not applicable	NA	
<b>Lighting Plan</b> (Sec.5.7.A.2.ii)	Specifications for all proposed & existing lighting fixtures	Not provided	NA	
	Photometric data	Not provided	NA	
	Fixture height	Not provided	NA	
	Mounting & design	Not provided	NA	
	Glare control devices (Also see Sec. 5.7.3.D)	Not provided	NA	
	Type & color rendition of lamps	Not provided	NA	
	Hours of operation	Not provided	NA	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Not provided	NA	
<b>Required Conditions</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (or 25 ft. where adjacent to residential districts or uses	Not provided	NA	
<b>Required Conditions</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Not provided	NA	
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred</li> </ul>	Not provided	NA	



Item	Required Code	Proposed	Meets Code	Comments
<b>Required Conditions</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Not provided	NA	
<b>Required Conditions</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	Not provided	NA	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	Not provided	NA	
	Loading & unloading areas: 0.4 min	Not provided	NA	
	Walkways: 0.2 min	Not provided	NA	
	Building entrances, frequent use: 1.0 min	Not provided	NA	
	Building entrances, infrequent use: 0.2 min	Not provided	NA	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Not provided	NA	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	when adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle	Does not abut residential	NA	

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

August 30, 2021

## Engineering Review

Mercedes Sprinter Shop  
JSP21-0020

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### Applicant

Mercedes-Benz of Novi

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: North of Grand River Ave, West of Haggerty Rd (39580 Grand River Ave)
- Site Size: 2.31 Acres
- Plan Date: 07/21/2021
- Design Engineer: Hennessey Engineers, Inc.

### Project Summary

- Removal of existing sidewalk from the parking lot to the building's main entrance. Engineering related site work is limited to the striping of two (2) ADA compliant parking spaces.
- No alterations to the existing water and sanitary sewer services are proposed.
- No changes to the storm water management plan are proposed nor required.

### Recommendation

**Approval of the Preliminary Site Plan is recommended.**

### Comments:

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

1. Provide a note on the plans stating that all work shall conform to the current City of Novi standards and specifications.
2. **If applicable**, install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required.

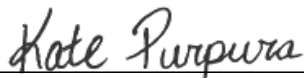
- Provide a detail showing the RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).
3. Provide a traffic control sign table listing the quantities of each **permanent** sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
  4. Provide additional details regarding the ADA parking spaces (dimensions, color, etc.) and signs.

**The following must be addressed prior to construction:**

5. Due to the limited scope of a work, a pre-construction meeting will not be required.
6. A traffic control sign financial guarantee in an amount of \$800 (\$400 per traffic control sign proposed) must be posted with Community Development prior to starting construction.
7. All traffic controls will be inspected internally by the Engineering Division. Contact Kate Purpura when the new ADA compliant parking stalls have been striped, and signs have been erected per the plan.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Purpura at (248) 347-0586 with any questions.



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Kate Purpura, EIT  
Project Engineer

cc: Christian Carroll, Community Development  
Ben Croy, PE; Engineering  
Humna Anjum, Engineering  
Victor Boron, Engineering

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

August 26, 2021

## Mercedes Benz Sprinter Service Preliminary Site Plan - Landscaping

### Review Type

Preliminary Site Plan Landscape Review

### Job #

JSP21-0020

### Property Characteristics

- Site Location: 39580 Grand River Ave.
- Site Acreage: 2.31 ac.
- Site Zoning: I-1
- Adjacent Zoning: North, West: I-1, East: B-3, South: Grand River, B-3
- Plan Date: 7/6/2021

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and is not intended to substitute for any Ordinance.

### **RECOMMENDATION:**

This project is **recommended for approval** for Preliminary Site Plan. The only waiver required is strongly supported by staff. The minor changes and additions required can be addressed on Final Site Plans.

### **LANDSCAPE WAIVERS REQUESTED**

Waiver to not provide the required street trees in the Grand River right-of-way due to conflicts with utilities and the Welcome to Novi sign. *Supported by staff.*

### Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))

Please show the overhead wires along Grand River and move the redbuds away from them if necessary.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

Two existing canopy trees exist in the site's greenbelt and are being retained, and fertilized.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to any residential property

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. As most of the site is not adjacent to parking, no berm is required.
2. Based on the current ordinance, two canopy trees and 3 subcanopy trees are required in the greenbelt. Only two canopy trees exist now, but the 2015 aerial photo indicates that there were also two evergreen trees on the site that were removed sometime in the

last five years (see below, circled in red). No additional trees are detectable then or in previous aerial photos so we will use the 4 trees noted as the base to be met.

3. Two redbuds in the front yard and a serviceberry near the building have been added, meeting the current greenbelt requirements.
4. **While three street trees are required in the Grand River right-of-way, overhead wires and the Welcome To Novi sign would compete with them, so the applicant is requesting a waiver for those trees.** *The request is supported by staff.*

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. No parking lot changes are proposed, so no new parking lot landscaping is required.
2. The existing trees in the front island will remain, and **shall be replaced whenever they die with deciduous canopy trees.**
3. As the site was constructed before perimeter trees seem to have been adopted as a requirement, no perimeter trees exist or are required.

Building foundation Landscaping (Zoning Sec 5.5.3.D)

1. The proposed landscaping in the front of the building exceeds the requirement for that frontage.
2. Since the building is not changing, no additional landscaping is required for the other sides of the building.

Plant List (LDM 2.h. and f.)

1. 4 of 10 species used (40%) are native to Michigan (Rozanne Geranium is not native). Please revise the plant list to use species native to Michigan for least 50% of the proposed plantings.
2. The percentage native is a count of the native species divided by total species used. The actual plant counts are not used in the calculation.

Planting Notations and Details (LDM)

1. Required planting details and notes are provided.
2. Please change General Landscape Note #5 to read substitutions shall be approved **in writing.**
3. Please revise Planting Landscape Note#2 to read that replacements should be made within three months, not one year.
4. Please add standard costs for the plants and mulch used in the project and a total cost of the landscape materials (\$375/ornamental tree, \$50/shrub and \$35/cyd for mulch).

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 3)

Not applicable

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term.
2. Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.

If the applicant has any questions concerning the above review, do not hesitate to contact me at 248.735.5621 or [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



**TRAFFIC REVIEW**

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AECOM  
 27777 Franklin Road  
 Southfield  
 MI, 48034  
 USA  
 aecom.com

**Project name:**  
 JSP21-20 – Mercedes Benz Sprinter Preliminary  
 Site Plan Traffic Review

**To:**  
 Barbara McBeth, AICP  
 City of Novi  
 45175 10 Mile Road  
 Novi, Michigan 48375

**From:**  
 AECOM

**Date:**  
 September 7, 2021

**CC:**  
 Lindsay Bell, Madeleine Daniels, Kate Purpura,  
 Victor Boron, Christian Carroll, Humna Anjum

# Memo

**Subject:** JSP21-20 – Mercedes Benz Sprinter Shop Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **approval** for the applicant to move forward with the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Mercedes-Benz of Novi, is proposing sidewalk and building modifications to the existing site.
2. The development is located on the north side of Grand River Ave, west of Haggerty Road. Grand River Ave is under the jurisdiction of Oakland County.
3. The site is currently zoned I-1.
4. There are no traffic-related deviations required at this time.

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows.

ITE Code: 942 (Automobile Care Center)  
 Development-specific Quantity: 16,000 SF  
 Zoning Change: No Change

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
<b>AM Peak-Hour Trips</b>	36	24	100	No
<b>PM Peak-Hour Trips</b>	50	26	100	No
<b>Daily (One-Directional) Trips</b>	No Data	N/A	750	No

2. The City of Novi generally requires a traffic impact study/statement if the number of trips generated by the proposed development exceeds the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour, or if the project meets other specified criteria.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

## TRAFFIC REVIEW

The following table identifies the aspects of the plan that were reviewed. Items marked O are listed in the City’s Code of Ordinances. Items marked with ZO are listed in the City’s Zoning Ordinance. Items marked with ADA are listed in the Americans with Disabilities Act. Items marked with MMUTCD are listed in the Michigan Manual on Uniform Traffic Control Devices.

The values in the ‘Compliance’ column read as ‘met’ for plan provision meeting the standard it refers to, ‘not met’ stands for provision not meeting the standard and ‘inconclusive’ indicates applicant to provide data or information for review and ‘NA’ stands for not applicable for subject Project. The ‘remarks’ column covers any comments reviewer has and/or ‘requested/required variance’ and ‘potential variance’. A potential variance indicates a variance that will be required if modifications are not made or further information is provided to show compliance with the standards and ordinances. The applicant should put effort into complying with the standards; the variances should be the last resort after all avenues for complying have been exhausted. Indication of a potential variance does not imply support unless explicitly stated.

EXTERNAL SITE ACCESS AND OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
1	Driveway Radii   O <a href="#">Figure IX.3</a>	N/A	-	No changes proposed
2	Driveway Width   O <a href="#">Figure IX.3</a>	N/A	-	No changes proposed
3	Driveway Taper   O <a href="#">Figure IX.11</a>			
3a	Taper length	N/A	-	No changes proposed
3b	Tangent	N/A	-	No changes proposed
4	Emergency Access   O <a href="#">11-194.a.19</a>	N/A	-	No changes proposed
5	Driveway sight distance   O <a href="#">Figure VIII-E</a>	N/A	-	No changes proposed
6	Driveway spacing			
6a	Same-side   O <a href="#">11.216.d.1.d</a>	N/A	-	No changes proposed
6b	Opposite side   O <a href="#">11.216.d.1.e</a>	N/A	-	No changes proposed
7	External coordination (Road agency)	N/A	-	No changes proposed
8	External Sidewalk   <a href="#">Master Plan &amp; EDM</a>	N/A	-	No changes proposed
9	Sidewalk Ramps   <a href="#">EDM 7.4 &amp; R-28-J</a>	N/A	-	No changes proposed
10	Any Other Comments:			

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
11	Loading zone   <a href="#">ZO 5.4</a>	Indicated as existing	Met	
12	Trash receptacle   <a href="#">ZO 5.4.4</a>	Indicated as existing	Met	
13	Emergency Vehicle Access	N/A	-	No changes proposed

INTERNAL SITE OPERATIONS				
No.	Item	Proposed	Compliance	Remarks
14	Maneuvering Lane   <a href="#">ZO 5.3.2</a>	N/A	-	No changes proposed
15	End islands   <a href="#">ZO 5.3.12</a>			
15a	Adjacent to a travel way	N/A	-	No changes proposed
15b	Internal to parking bays	N/A	-	No changes proposed
16	Parking spaces   <a href="#">ZO 5.2.12</a>	N/A	-	No changes proposed
17	Adjacent parking spaces   <a href="#">ZO 5.5.3.C.ii.i</a>	N/A	-	No changes proposed
18	Parking space length   <a href="#">ZO 5.3.2</a>	N/A	-	No changes proposed
19	Parking space Width   <a href="#">ZO 5.3.2</a>	N/A	-	No changes proposed
20	Parking space front curb height   <a href="#">ZO 5.3.2</a>	N/A	-	No changes proposed
21	Accessible parking – number   <a href="#">ADA</a>	N/A	-	No changes proposed. Label existing accessible spaces on future plans.
22	Accessible parking – size   <a href="#">ADA</a>	N/A	-	No changes proposed
23	Number of Van-accessible space   <a href="#">ADA</a>	N/A	-	No changes proposed
24	Bicycle parking			
24a	Requirement   <a href="#">ZO 5.16.1</a>	N/A	-	No changes proposed to parking lot or building area
24b	Location   <a href="#">ZO 5.16.1</a>	N/A	-	No changes proposed to parking lot or building area
24c	Clear path from Street   <a href="#">ZO 5.16.1</a>	N/A	-	No changes proposed to parking lot or building area
24d	Height of rack   <a href="#">ZO 5.16.5.B</a>	N/A	-	No changes proposed to parking lot or building area
24e	Other (Covered / Layout)   <a href="#">ZO 5.16.1</a>	N/A	-	No changes proposed to parking lot or building area
25	Sidewalk – min 5' wide   <a href="#">Master Plan</a>	Not indicated	<b>Inconclusive</b>	Dimension on future plans if replacement sidewalk to front door is being installed.
26	Sidewalk ramps   <a href="#">EDM 7.4</a> & <a href="#">R-28-J</a>	N/A	-	No changes proposed
27	Sidewalk – distance back of curb   <a href="#">EDM 7.4</a>	N/A	-	No changes proposed
28	Cul-De-Sac   O <a href="#">Figure VIII-F</a>	N/A	-	
29	EyeBrow   O <a href="#">Figure VIII-G</a>	N/A	-	
30	Minor/Major Drives   <a href="#">ZO 5.10</a>	N/A	-	-
31	Any Other Comments:	Clearly indicate on future plans location of existing sidewalk to be removed and any other proposed revisions.		

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
32	Signing: Sizes   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	Provide proposed sizes, if applicable.
33	Signing table: quantities and sizes	Not included	<b>Not Met</b>	
34	Signs 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	

SIGNING AND STRIPING				
No.	Item	Proposed	Compliance	Remarks
35	Signs greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
36	Sign bottom height of 7' from final grade   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
37	Signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
38	FHWA Standard Alphabet series used for all sign language   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
39	High-Intensity Prismatic (HIP) sheeting to meet FHWA retro-reflectivity   <a href="#">MMUTCD</a>	Not included	<b>Not Met</b>	
40	Parking space striping notes	Not included	<b>Not Met</b>	Include applicable notes regarding color and size if pavement markings are proposed.
41	The international symbol for accessibility pavement markings   ADA	Not included	<b>Not Met</b>	
42	Crosswalk pavement marking detail	N/A	-	
43	Any Other Comments:	Clearly indicate on future plans any revisions/additions to the signing and pavement markings.		

Note: Hyperlinks to the standards and Ordinances are for reference purposes only, the applicant and City of Novi to ensure referring to the latest standards and Ordinances in its entirety.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Patricia Thompson, EIT  
Traffic Engineer



Paula K. Johnson, PE  
Senior Transportation Engineer



Saumil Shah, PMP  
Project Manager

## FAÇADE REVIEW

---



September 7, 2021

**Status: Approved**  
**Section 9 Waiver Recommended**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE Preliminary Site Plan  
**Mercedes Sprinter Shop, JSP21-20**  
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth:

The following Façade Review is based on the drawings prepared by Gillett Associates, Architects, dated 8/17/21. The percentages of materials for each façade are shown on the table below. The maximum and minimum percentages required by the Ordinance Section 5.15 are shown in the right-hand column. Materials in non-compliance are highlighted in bold. A material sample board as required by Section 5.15.4.D of the Ordinance was not provided at the time of this review. This application is considered a Façade Alteration as described in Section 5.15.6 of the Ordinance.

	North	South (Front)	East	West	Ordinance Maximum (Minimum)
Brick	<b>0%</b>	<b>0%</b>	<b>0%</b>	<b>0%</b>	100% (30%)
EIFS (Smooth Finish)	0%	25%	<b>85%</b>	<b>85%</b>	25%
Exst. CMU (painted white)	<b>100%</b>	<b>35%</b>	0%	0%	0%
Flat Metal Panel	0%	40%	15%	15%	50%

This application represents an alteration to an existing façade. As shown above the minimum percentage of Brick is not provided and the percentages of EIFS and Painted CMU exceed the maximum amount allowed by the Façade Ordinance. The applicant has stated that the design intent is to create a visual match with the existing primary dealership facility located to the east. The proposed materials and colors will accomplish this intent and will act as a unifying element between the two buildings. In this case strict application of the Façade Ordinance would not significantly enhance the overall design.

Recommendation – For the reasons stated above, it is our recommendation that proposed facades are consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the underage of Brick and overage of EIFS and Painted CMU. The existing dumpster enclosure is proposed to be reused and should be painted to match the adjacent buildings.

## Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,  
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

## FIRE REVIEW

---





August 26, 2021

TO: Barbara McBeth - City Planner  
Lindsay Bell - Plan Review Center  
Christian Carroll - Plan Review Center  
Madeleine Daniels - Planning Assistant

**CITY COUNCIL**

**Mayor**

Bob Gatt

**Mayor Pro Tem**

Dave Staudt

Andrew Mutch

Laura Marie Casey

Hugh Crawford

Justin Fischer

Julie Maday

**City Manager**

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**Director of Public Safety**

**Chief of Police**

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**Fire Chief**

Jeffery R. Johnson

**Assistant Chief of Police**

Erick W. Zinser

**Assistant Chief of Police**

Scott R. Baetens

**Assistant Fire Chief**

John B. Martin

RE: Mercedes Benz Sprinter Shop

**PSP21-0077**

PSP# 21-0041 (Pre-App)

**Project Description:**

Addition to existing building on the south side of the structure.  
Building located at 39500 Grand River.

**Comments:**

- MUST tie into existing fire alarm and fire suppression systems.

**Recommendation:**

**APPROVED WITH CONDITIONS**

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**

45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER**

---

Plan Review City of Novi  
Response Letter

Re: Mercedes-Benz Sprinter Service Shop, 39580 Grand River Avenue  
JSP 21-20

Please see responses to 'bold' comments from the September 9<sup>th</sup> Plan Review Center Report. Mercedes-Benz of Novi requests a Section 9 Façade Waiver and necessary Landscape Waiver. Attached with this letter are the revised site plan submittal drawings and jpg image of sample board for building materials. Revised Landscape plans are also attached in response to comments from Landscape Review letter, pages 18 and 19.

Comments and responses:

Number of Parking Spaces (Sec. 5.2.12.D/E): The site plan provided has indicated that there are 18 existing parking spaces. For automobile service establishments, 2 parking spaces per service bay and 1 parking space per employee is required. 6 service bays are proposed. However, the number of employees has not been provided. **Please provide the number of employees that will service this facility so that a proper parking requirement calculation can be made and provide an overall parking count if the properties are to be combined.** – Please refer to sheet CE3, Site Data Off Street Parking attached with this letter

Barrier Free Signs: Barrier Free signage has been shown on the site plan. However, a detail sheet has not been provided. **Please provide a signage detail sheet and refer to the Traffic Review for more comments.** – Please refer details on sheet CE3 attached with this letter

Dumpster Enclosure (Sec. 21-145 c.): No changes are currently proposed to the existing dumpster enclosure. Per the Façade Ordinance, the dumpster enclosure shall match the façade of the building. **Please paint the dumpster enclosure to match the proposed façade of the building and indicate the change on the plans.** – Existing dumpster at the edge of the dealership side of the parcel will be painted to match both the dealership and the renovated façade of the Sprinter Service building.

Automobile Service Establishment (Sec. 4.50): While the use of the site is not changing, standard notes are still to be provided on the plans. **Please provide the following notes on the site plan:**

- a. Vehicle parking on site shall be limited to customers and employees, and not for vehicle storage longer than 24 hours, nor for used car sales.
- b. No wrecked or partially dismantled vehicles or vehicles without current license plates may be stored outside.
- c. No outdoor storage tanks are proposed for this project.

Please refer additional notation on sheet CE3 attached with this letter.

General Layout: **Please provide the following details on the next submittal:**

- a. Please show the location of the doors and canopy on the site plan.
- b. Please indicate if any sidewalk is proposed underneath the east canopy.

Please refer to sheets CE2 and CE3 attached with this letter.

- c. Please provide more detail on the staging area in the next response letter.

Please refer to revised notation on sheet PFP-4, Vehicle Staging Area (this area is to coordinate and maintain vehicles after extensive detailing or repair work for customers, the interior space is not for customer use. Service department workers only)

Economic Impact Information: Economic Impact Information was provided in a narrative submitted to the city, but it did not include any specific information. **Please include the total estimated cost of the proposed building and site improvements and number of anticipated temporary construction jobs created.** – Estimated costs of site and building improvements is approximately \$800,000.00, anticipated construction jobs created to be 30 – 40, depending on work force availability.

**Property Combination:** Currently, the parcels are not being proposed to be combined. This creates a number of potential issues including a potential variance needed for the number of parking spaces and the need to create a shared parking agreement between the two parcels. **Therefore, it is highly suggested that parcels be combined to fall into compliance with a number of ordinance requirements. Please submit this [application](#) to the Assessing Department prior to Electronic Stamping Set Submittal.** – The owner currently does not plan to combine the parcels but, can provide the application prior to final submittal and stamping set.

**Signage:** Please submit any proposed signage [application\(s\)](#) to the Code Compliance Division once that stage is reached. – No new building signage is proposed currently. Future proposed signage will be submitted under separate cover by owner.

**Site Lighting (Sec. 5.7):** A photometric plan has not been provided by the applicant. Per Section 5.7.3.A, “Outdoor lighting shall be designed to achieve uniform illumination levels. The ratio of the average light level of the surface being lit to the lowest light of the surface being lit, measured in foot-candles  $\square$ , shall not exceed four to one (4:1).” **Therefore, it is suggested that additional site lighting be added to make the lighting consistent with the adjacent property. Please indicate if any additional site lighting is proposed with the next submittal.** – NO new site lighting is proposed. Existing lighting will be maintained.

**Façade:** The proposed façade does not have a minimum percentage of brick shown and the percentages of EIFS and Painted CMU exceed the maximum amount allowed by the Façade Ordinance. However, the proposed materials and colors will create a visual match with the existing primary dealership facility located to the east. **Therefore, a Section 9 Façade Waiver is required and is supported by the City’s Façade Consultant for the underage of Brick and overage of EIFS and Painted CMU. In addition, the existing dumpster enclosure should be painted to match the adjacent buildings. The Section 9 Façade Waiver will require Planning Commission approval.** – Owner is requesting a Section 9 Façade Waiver. Material building finishes include smooth cement ‘stucco’ finish at the existing brick to match the finish of the existing dealership. Existing CMU will be repaired and painted to match the existing Dealership. The existing Canopy at the office will be replaced with architectural metal panel to match the existing Dealership façade.



Please refer to all attachments with this letter. We hope this helps and provides us a spot on the September 22<sup>nd</sup> Planning Commission meeting. If there is further information required, please don't hesitate to contact Matthew Madden at Gillett Associates, Inc., [mmadden@gillettassociates.com](mailto:mmadden@gillettassociates.com).

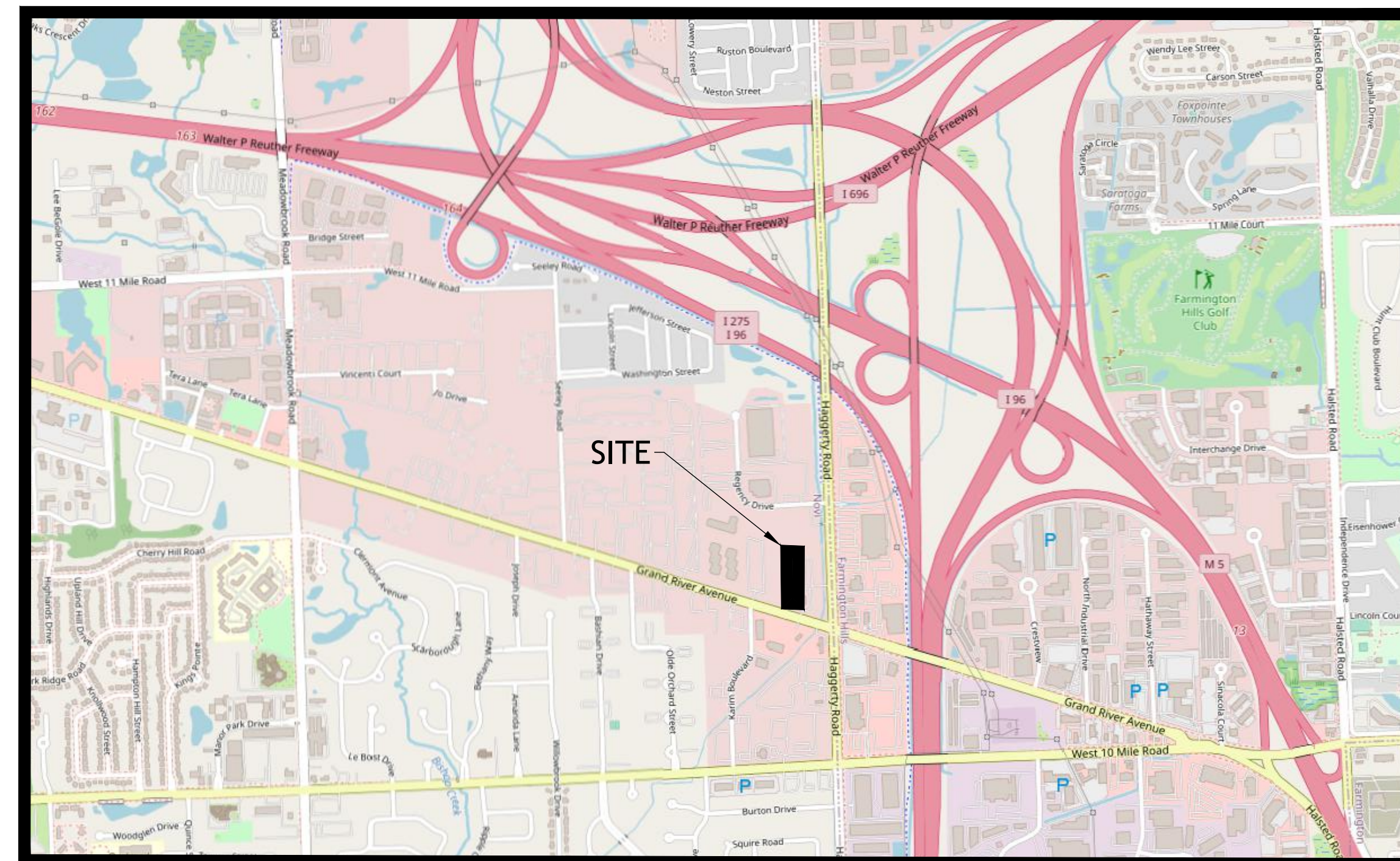
Sincerely  
Gillett Associates, Inc.



Matthew Madden  
Project Manager

# SPRINTER BUILDING

## SURVEY AREA



### UTILITY COMPANY CONTACT INFORMATION:

THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THESE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO BE SATISFIED AS TO ITS ACCURACY AND THE LOCATION OF EXISTING UTILITIES.

OWNERS OF PUBLIC UTILITIES WILL NOT BE REQUIRED BY THE CITY TO MOVE ADDITIONAL POLES AND STRUCTURES THAT ARE NOT WITHIN GRADING OR STRUCTURE LIMITS IN ORDER TO FACILITATE THE OPERATION OF CONSTRUCTION EQUIPMENT, UNLESS IT IS DETERMINED BY THE ENGINEER THAT SUCH POLE LINE OR STRUCTURES CONSTITUTE A HAZARD TO THE PUBLIC OR ARE EXTRAORDINARILY DANGEROUS TO THE CONTRACTOR'S OPERATIONS.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES.

CALL MISS DIG:  
72 HOURS  
3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
OR  
811



CALL MISS DIG  
72 HOURS  
3 WORKING DAYS  
BEFORE YOU DIG  
CALL MISS DIG  
1-800-482-7171  
OR  
811  
TOLL FREE FOR THE  
LOCATION OF UNDER  
GROUND FACILITIES.

### HENNESSEY ENGINEERS NOTES:

HENNESSEY ENGINEERS, INC., SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE, NOR SHALL HENNESSEY ENGINEERS, INC., BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

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## LOCATION

GRAND RIVER AVE  
CITY OF NOVI  
WAYNE COUNTY, MICHIGAN

## PROJECT INFORMATION

OWNER  
MERCEDES-BENZ OF NOVI  
39500 GRAND RIVER AVE  
NOVI, MICHIGAN 48375

CONTACT: LEE GHESQUIERE  
LEE@NOVIBENZ.COM  
248-821-9595

## DESIGN ENGINEER

HENNESSEY ENGINEERS, INC.  
13500 REECK ROAD  
SOUTHGATE, MICHIGAN 48195  
(734) 759-1600  
CONTACT: JOHN J. HENNESSEY, PE  
JJHENNESSEY@HENGINEERS.COM

## SHEET INDEX

CE1 COVER SHEET  
CE2 TOPOGRAPHIC SURVEY  
CE3 SITE PLAN

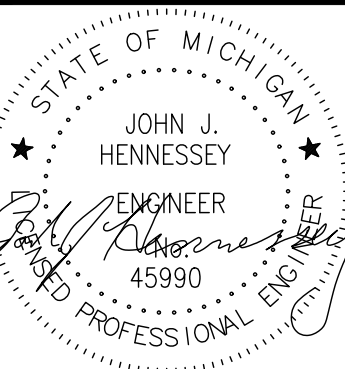
LS-1 LANDSCAPE PLAN

### LEGEND

☆	= LIGHT POLE	X	X	= EXISTING FENCE
⊙	= POWER POLE	- - -	- - -	= EXISTING CENTERLINE
□	= CATCH BASIN	W	W	= EXISTING WATER MAIN
⊕	= YARD CATCH BASIN	S	S	= EXISTING STORM SEWER
⊕	= SANITARY MANHOLE	SS	SS	= EXISTING SANITARY SEWER
⊕	= STORM MANHOLE	G	G	= EXISTING GAS
⊕	= HYDRANT	OHU	OHU	= EXISTING OVERHEAD LINES
⊕	= GATE VALVE & WELL	UG-E	UG-E	= EXISTING UNDERGROUND ELECTRIC
⊕	= WATER VALVE	UG-PH	UG-PH	= EXISTING UNDERGROUND PHONE
⊕	= GAS VALVE	UG-CB	UG-CB	= EXISTING UNDERGROUND CABLE
⊕	= SIGN	UG-FO	UG-FO	= EXISTING UNDERGROUND FIBER OPTIC
⊕	= GUY WIRE	- - -	- - -	= EXISTING CONTOUR
⊕	= SPRINKLER	- - -	- - -	= BUILDING SETBACK LINE
123 O	= TREE & TAG NUMBER	<	<	= SWALE
000.00	= EXISTING ELEVATION	---	---	= TOP OF BANK
000.00	= PROPOSED ELEVATION	---	---	= TREE/BRUSH LINE
F.G.	= FINISHED GRADE	---	---	= PROPERTY LINE
F.F.	= FINISHED FLOOR	---	---	= EASEMENT LINE
G.F.F.	= FINISHED GARAGE FLOOR	---	---	= EXISTING CONCRETE
T/C	= TOP CURB	---	---	= EXISTING ASPHALT
G	= GUTTER	---	---	= EXISTING GRAVEL
⊕	= TREE			
⊕	= PINE, SPRUCE			
⊕	= BUSH, SHRUB			
⊕	= SOIL BORING			
⊕	= PHONE MANHOLE			
⊕	= DETROIT EDISON MANHOLE			

PROJECT NUMBER:	53657
DATE:	7/6/2021
SCALE:	
DESIGNED BY:	
DRAWN BY:	ARP
CHECKED BY:	
APPROVED BY:	

REVISIONS



ENGINEERING FOR RESULTS  
13500 REECK ROAD  
SOUTHGATE, MI 48195  
(734) 759-1600  
FAX (734) 282-6566  
WWW.HENGINEERS.COM

TITLE	COVER SHEET
	39580 GRAND RIVER AVENUE
	CITY OF NOVI
	OAKLAND COUNTY, MICHIGAN
	SHEET
	CE1

**LEGEND**

- ☆ = LIGHT POLE
- ⊙ = POWER POLE
- = CATCH BASIN
- ⊕ = YARD CATCH BASIN
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- ⊙ = HYDRANT
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- X — X = EXISTING FENCE
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- SS — = EXISTING SANITARY SEWER
- G — = EXISTING GAS
- OHU — = EXISTING OVERHEAD LINES
- UG-E — = EXISTING UNDERGROUND ELECTRIC
- UG-PH — = EXISTING UNDERGROUND PHONE
- UG-CB — = EXISTING UNDERGROUND CABLE
- UG-FO — = EXISTING UNDERGROUND FIBER OPTIC
- 598 — = EXISTING CONTOUR
- — — = BUILDING SETBACK LINE
- — — = SWALE
- — — = TOP OF BANK
- — — = TREE/BRUSH LINE
- — — = PROPERTY LINE
- — — = EASEMENT LINE
- [Pattern] = EXISTING CONCRETE
- [Pattern] = EXISTING ASPHALT
- [Pattern] = EXISTING GRAVEL

**BENCHMARKS:**

BM#1  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 859.03 (NAVD88)

BM#2  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 858.64 (NAVD88)

**PARCEL DISCRPTION:**

PART OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOWI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE INTERSECTION OF THE EAST LINE OF SAID SECTION 24 AND THE CENTERLINE OF GRAND RIVER AVENUE (VARIABLE WIDTH); THENCE NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 465.60 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 155.00 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE; THENCE NORTH 02 DEGREES 31 MINUTES 35 SECONDS WEST 736.76 FEET (RECORDED AS NORTH 01 DEGREES 47 MINUTES 00 SECONDS EAST 739.40 FEET); THENCE SOUTH 73 DEGREES 47 MINUTES 45 SECONDS EAST (RECORDED AS SOUTHEASTERLY) 155.00 FEET; THENCE SOUTH 02 DEGREES 31 MINUTES 35 SECONDS EAST 736.76 FEET (RECORDED AS SOUTH 01 DEGREES 47 MINUTES 00 SECONDS WEST 739.40 FEET) TO THE POINT OF BEGINNING, CONTAINING 2.483 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THAT PART OCCUPIED BY GRAND RIVER AVENUE, AND ALSO BEING SUBJECT TO ANY EASEMENTS AND/OR EXCEPTIONS, RECORDED OR OTHERWISE.

MEASURED BEARINGS ARE BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM.

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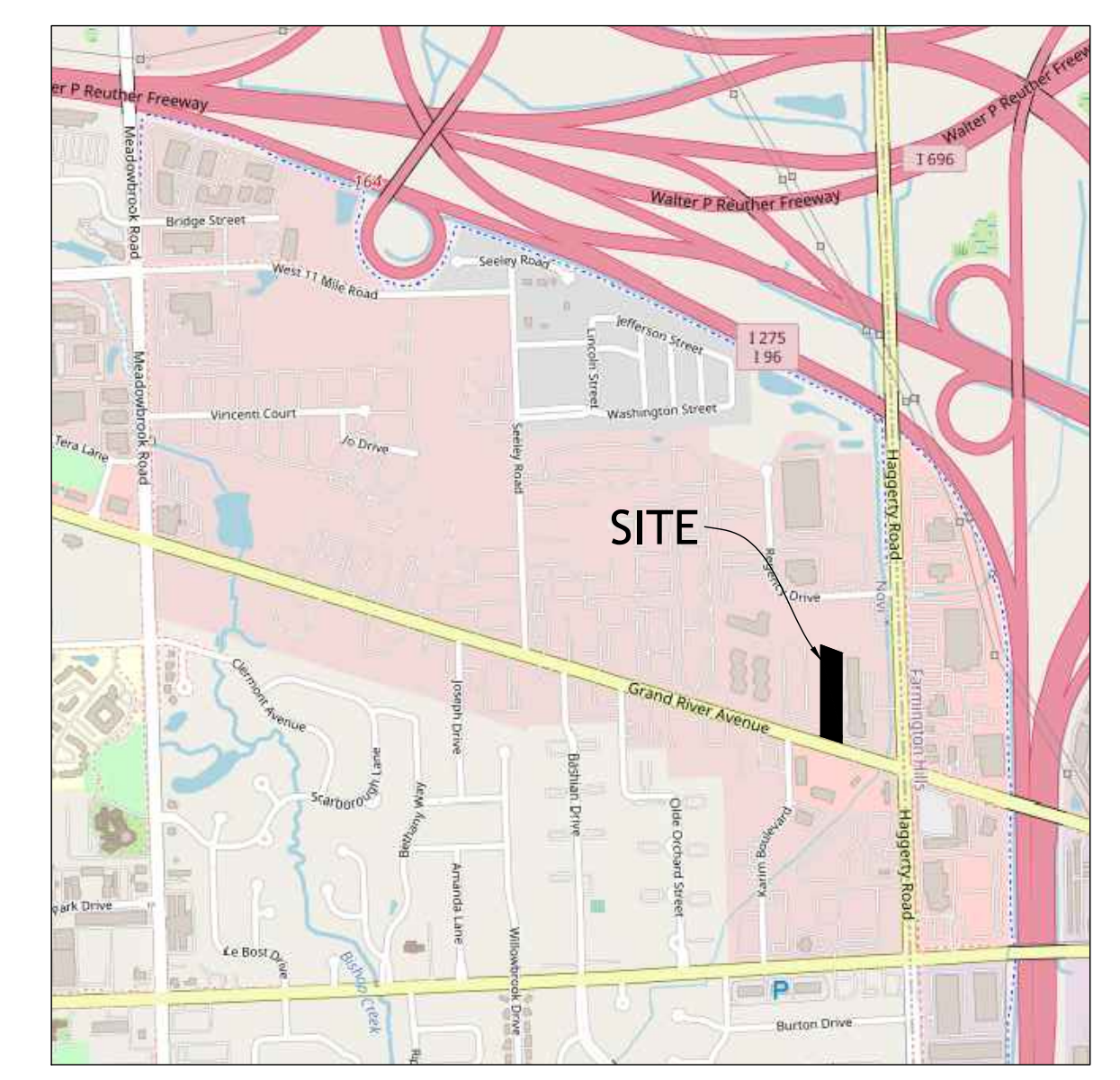
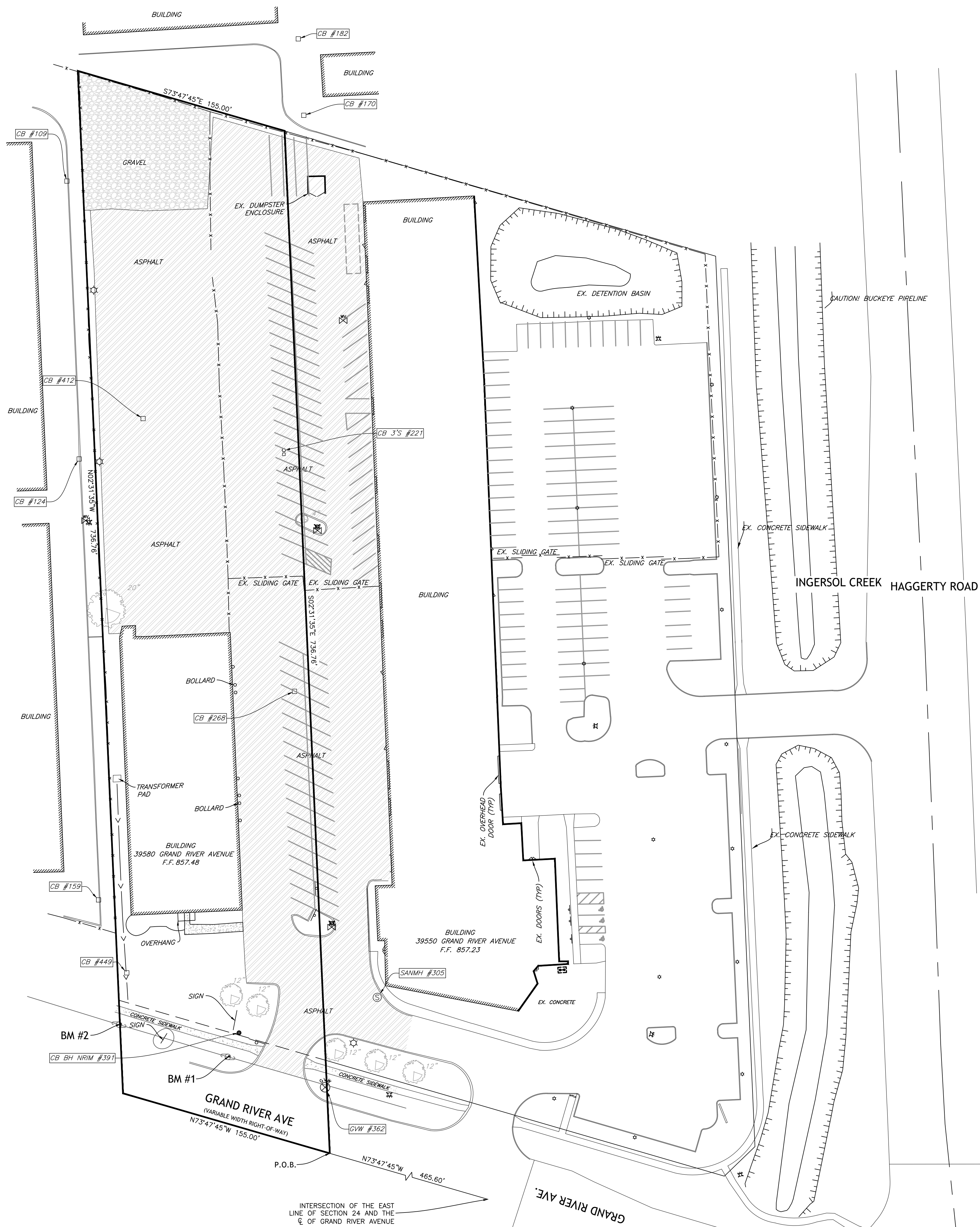
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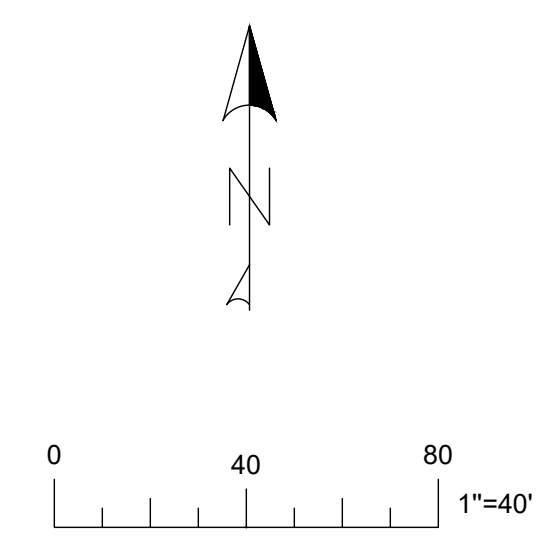
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DURING CONSTRUCTION, CONTRACTOR SHALL USE EXTREME CAUTION WHEN OPERATING NEAR OVERHEAD AND/OR BURIED UTILITIES. CALL MISS DIG.

72 HOURS BEFORE YOU DIG CALL MISS DIG 1-800-482-7171 OR 811 (TOLL FREE) FOR THE LOCATION OF UNDERGROUND FACILITIES.



LOCATION MAP NOT TO SCALE



PROJECT NUMBER:	53657
DATE:	07/21/21
SCALE:	1"=40'
DESIGNED BY:	
DRAWN BY:	ARP
CHECKED BY:	REH
APPROVED BY:	REH
REVISIONS	

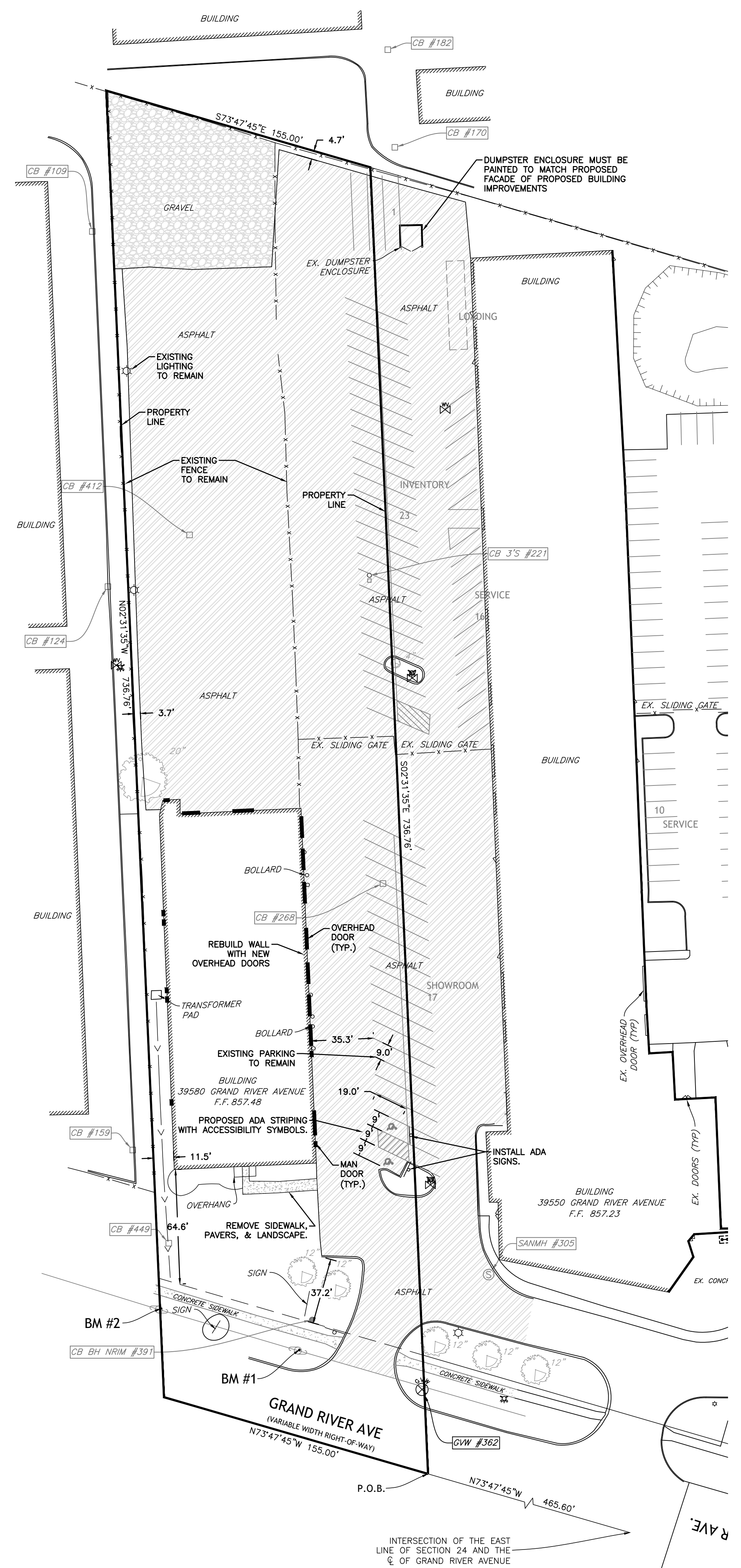
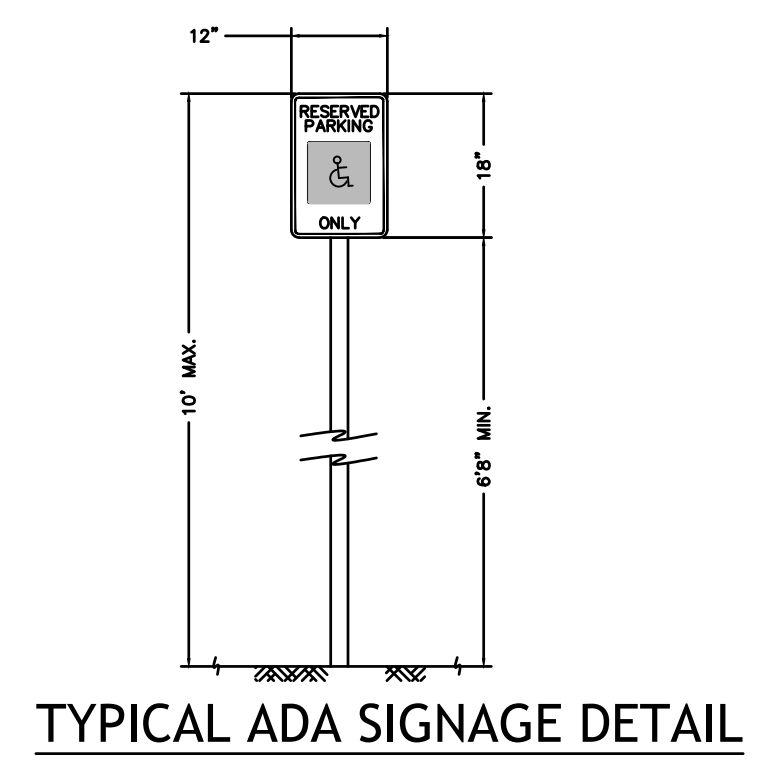
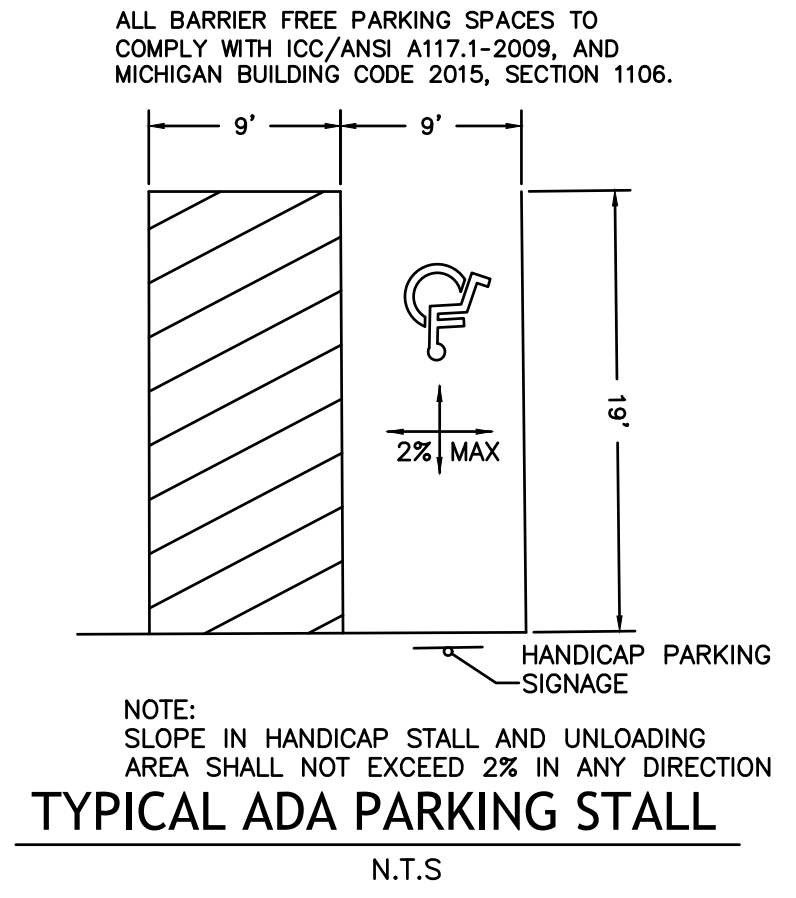
ENGINEERING FOR RESULTS  
13500 REECK ROAD  
SOUTHGATE, MI 48195  
(734) 759-1600  
FAX (734) 282-6566  
WWW.HENNESSEYENGINEERS.COM

TITLE	TOPOGRAPHIC SURVEY
	39580 GRAND RIVER AVENUE
	CITY OF NOWI
	OAKLAND COUNTY, MICHIGAN
SHEET	CE2



**LEGEND**

- ☉ = LIGHT POLE
- ⊕ = POWER POLE
- = CATCH BASIN
- ⊙ = YARD CATCH BASIN
- ⊕ = SANITARY MANHOLE
- ⊕ = STORM MANHOLE
- ⊕ = HYDRANT
- ⊕ = GATE VALVE & WELL
- ⊕ = WATER VALVE
- ⊕ = GAS VALVE
- ⊕ = SIGN
- ⊕ = GUY WIRE
- SPK. O = SPRINKLER
- 123 O = TREE & TAG NUMBER
- 000.00 = EXISTING ELEVATION
- 000.00 = PROPOSED ELEVATION
- F.G. = FINISHED GRADE
- F.F. = FINISHED FLOOR
- G.F.F. = FINISHED GARAGE FLOOR
- T/C = TOP CURB
- G = GUTTER
- ☉ = TREE
- ☉ = PINE, SPRUCE
- ☉ = BUSH, SHRUB
- ⊕ = SOIL BORING
- ⊕ = PHONE MANHOLE
- ⊕ = DETROIT EDISON MANHOLE
- X X = EXISTING FENCE
- — = EXISTING CENTERLINE
- W — W = EXISTING WATER MAIN
- S — S = EXISTING STORM SEWER
- SS — SS = EXISTING SANITARY SEWER
- G — G = EXISTING GAS
- OHU — OHU = EXISTING OVERHEAD LINES
- UG-E — UG-E = EXISTING UNDERGROUND ELECTRIC
- UG-PH — UG-PH = EXISTING UNDERGROUND PHONE
- UG-CB — UG-CB = EXISTING UNDERGROUND CABLE
- UG-FO — UG-FO = EXISTING UNDERGROUND FIBER OPTIC
- 598 — 598 = EXISTING CONTOUR
- — = BUILDING SETBACK LINE
- < < = SWALE
- — = TOP OF BANK
- — = TREE/BRUSH LINE
- — = PROPERTY LINE
- — = EASEMENT LINE
- [Pattern] = EXISTING CONCRETE
- [Pattern] = EXISTING ASPHALT
- [Pattern] = EXISTING GRAVEL



**GENERAL NOTES**

1. REDEVELOPMENT OF FORMER AUTO REPAIR AND TOWING INTO SERVICE FOR SPRINTER VANS.
2. NO SIDE YARDS ABUT A STREET.
3. NO ADDITIONAL PARKING IS PROPOSED IN THE FRONT YARD.
4. THE PROPERTY DOES NOT ABUT A RESIDENTIAL AREA.
5. NO WETLANDS ON SITE.
6. NO WRECKED OR UNLICENSED VEHICLES WILL BE STORED OUTSIDE. NO PARTIALLY DISMANTLED VEHICLES MAY BE STORED OUTSIDE.
7. NO LOADING AREA IS PROPOSED.
8. NO DUMPSTER IS PROPOSED.
9. NO NEW ROOFTOP EQUIPMENT IS PROPOSED.
10. NO OUTDOOR STORAGE IS PROPOSED.
11. LONG TERM DELIVERY TRUCK PARKING IS NOT PERMITTED.
12. EXISTING FENCING IS TO REMAIN AS IS.
13. EXISTING LIGHTING IS TO REMAIN AS IS. NO NEW LIGHTING.
14. VEHICLE PARKING ON SITE SHALL BE LIMITED TO CUSTOMERS AND EMPLOYEES, AND NOT VEHICLE STORAGE LONGER THAN 24 HOURS, NOR FOR USED CAR SALES.
15. NO OUTDOOR STORAGE TANKS ARE PROPOSED FOR THIS PROJECT.
16. NO SIDEWALK IS PROPOSED FOR THIS SITE PLAN.
17. THE NUMBER OF EXPECTED EMPLOYEES IS 10.
18. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.

**SITE DATA**

Lot Area	Square Feet	Acres
Gross	108,149.79	2.48
Net (minus proposed ROW)	98,307.32	2.26

Use	Zoning
Automobile Service Establishment	Permitted

Zoning	Current	Proposed
Parcel	I-1 Light Industrial	I-1 No Change

Building Setbacks*	Required (Feet)	Provided to Lot Line (Feet)
West Side Yard Building Setback	20	10 No Change
East Side Yard Building Setback	20	53 No Change
North Rear Yard Building Setback	40	400 No Change
South Front Yard Building Setback	40	75 No Change

Number of Employees at One Time	Required	Provided
2 Spaces Per Ser		75

Parking Setbacks*	Required (Feet)	Provided to Lot Line (Feet)
West Side Yard Building Setback	10	NA
East Side Yard Building Setback	10	0 No Change
North Rear Yard Building Setback	10	0 No Change
South Front Yard Building Setback	3.6.2.E	NA

Off Street Parking	Required	Provided
Expected Number of Employees	10	
(1) Parking Space Per Employee	10	16
ADA Parking	2	2
<b>Total</b>	<b>12</b>	<b>18</b>

**PARCEL DISCRPTION:**

PART OF THE EAST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE INTERSECTION OF THE EAST LINE OF SAID SECTION 24 AND THE CENTERLINE OF GRAND RIVER AVENUE (VARIABLE WIDTH); THENCE NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 465.60 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE TO THE POINT OF BEGINNING; THENCE CONTINUING NORTH 73 DEGREES 47 MINUTES 45 SECONDS WEST (RECORDED AS NORTHWESTERLY) 155.00 FEET ALONG THE CENTERLINE OF GRAND RIVER AVENUE; THENCE NORTH 02 DEGREES 31 MINUTES 35 SECONDS WEST 736.76 FEET (RECORDED AS NORTH 01 DEGREES 47 MINUTES 00 SECONDS EAST 739.40 FEET); THENCE SOUTH 73 DEGREES 47 MINUTES 45 SECONDS EAST (RECORDED AS SOUTHEASTERLY) 155.00 FEET; THENCE SOUTH 02 DEGREES 31 MINUTES 35 SECONDS EAST 736.76 FEET (RECORDED AS SOUTH 01 DEGREES 47 MINUTES 00 SECONDS WEST 739.40 FEET) TO THE POINT OF BEGINNING, CONTAINING 2.483 ACRES OF LAND, MORE OR LESS, BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THAT PART OCCUPIED BY GRAND RIVER AVENUE, AND ALSO BEING SUBJECT TO ANY EASEMENTS AND/OR EXCEPTIONS, RECORDED OR OTHERWISE.

MEASURED BEARINGS ARE BASED ON THE MICHIGAN STATE PLANE COORDINATE SYSTEM.

**HENNESSEY ENGINEERS NOTES:**

HENNESSEY ENGINEERS, INC., SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, PROCEDURES, TECHNIQUES, OR SEQUENCES OF CONSTRUCTION, NOR FOR SAFETY ON THE JOB SITE, NOR SHALL HENNESSEY ENGINEERS, INC., BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

THE CONTRACTOR SHALL IDENTIFY AND SAVE HARMLESS THE OWNER AND ENGINEER FROM ALL LIABILITIES FOR INJURY TO PERSON, OR DAMAGE TO OR LOSS OF PROPERTY, OR ANY OTHER LOSS, COST OF EXPENSE, AS A RESULT OF THE ACTIONS OF THE CONTRACTOR, HIS EMPLOYEES, AGENTS, OR SUBCONTRACTORS.

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF THE EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLAN.

ALL FILL IN EXCESS OF TWO FEET (2') SHALL BE ENGINEERED FILL AND SHALL BE COMPACTED TO 95% MAXIMUM DENSITY UNLESS OTHERWISE DIRECTED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DENSITY TESTING.

UTILITY INFORMATION, AS SHOWN, INDICATES APPROXIMATE LOCATIONS AND TYPES OF FACILITIES ONLY, AS DISCLOSED TO THIS FIRM BY THE VARIOUS UTILITY COMPANY'S RECORDS. NO GUARANTEE IS GIVEN OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.

PRIOR TO CONSTRUCTION, ALL LOCATIONS AND DEPTHS OF EXISTING OVERHEAD AND UNDERGROUND UTILITIES (IN CONFLICT WITH THE CONSTRUCTION OF PROPOSED IMPROVEMENTS) SHALL BE VERIFIED IN THE FIELD.

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**811**  
KNOW WHAT'S BELOW

72 HOURS  
3 WORKING DAYS  
**BEFORE YOU DIG**  
CALL MISS DIG  
1-800-482-7171  
OR  
811  
(TOLL FREE FOR THE LOCATION OF UNDERGROUND FACILITIES)

**BENCHMARKS:**

- BM#1  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 859.03 (NAVDB8)
- BM#2  
BENCH TIE IN THE NORTHERN FACE OF THE LIGHT POLE IN FRONT OF 39586 GRAND RIVER AVE  
ELEV: 858.64 (NAVDB8)

**ENGINEERING FOR RESULTS**  
13500 REECK ROAD  
SOUTHGATE, MI 48195  
(734) 799-1600  
FAX (734) 282-6566  
**HENNESSEY ENGINEERS, INC.**

**TITLE**  
SITE PLAN  
39580 GRAND RIVER AVENUE  
CITY OF NOVI  
OAKLAND COUNTY, MICHIGAN  
**SHEET**  
**CE3**

# plant material list

key	quant.	botanical name	common name	size	comments	native & non native	unit cost	cost
<b>SMALL DECIDUOUS TREES</b>								
AC	1	AMELANCHIER CANADENSIS 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	8' BB	MULTI-STEM	NATIVE	1400	1400
CC	2	CERCIS CANADENSIS	EASTERN REDBUD	8' BB	MULTI-STEM	NATIVE	1375	1750
<b>SHRUBS</b>								
FO	3	PHYSCARPUS OPULIFOLIUS 'BEWARD'	SUMMER WINE NINEBARK	15' CONT	30" HIGH-36" SPACING	NATIVE	150	150
RAJ	8	RHUS AROMATICA 'WALKERS LOW'	WALKERS LOW FRAGRANT SUMAC	15' CONT	36" SPACING O.C.	NATIVE	150	1400
BU	25	BUXUS S. VARDAR VALLEY	VARDAR VALLEY BOXWOOD	18" BB	24" SPACING O.C.	NON	150	11250
HP	3	HYDRANGEA QUERCIFOLIA 'FEE WEE'	FEE WEE HYDRANGEA	15' CONT	48" SPACING O.C.	NON	150	150
FF	4	POTENTILLA FRUITICOSA	BUSH CINQUEFOIL	15' CONT	36" SPACING O.C.	NATIVE	150	1200
HE	3	HYDRANGEA MACROPHYLLA 'BAILMER'	ENDLESS SUMMER HYDRANGEA	15' CONT	36" SPACING O.C.	NON	150	1150
<b>PERENNIALS AND GRASSES</b>								
PVR	26	PANICUM VIRGATUM 'ROTSTRAHBUSH'	RED SWITCH GRASS	15' CONT	36" SPACING O.C.	NATIVE	115	1390
SED	110	SEDUM X NEON	NEON SEDUM	1" CONT	10" SPACING O.C.	NON	115	12550
							<b>TOTAL</b>	<b>16,390</b>

### cost estimate summary

TOTAL ESTIMATED PLANT MATERIALS COST	16,390
TOTAL ESTIMATED SOD COST (16.7 SQ.YD. X 10 PER SQ.YD. = 1100)	1100
TOTAL ESTIMATED MULCH COST 7.6 CU.YD. X 135 PER CU.YD. = 1266	1266
<b>TOTAL ESTIMATED LANDSCAPE COST</b>	<b>16,756</b>

## general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK, CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES, GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-1111. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN-DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY CITY OF NOVI AND LANDSCAPE ARCHITECT IN WRITING.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.

- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARDWOOD MULCH.
- DIG SHRUB PITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN LANDSCAPE STANDARDS.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
  - SHADE TREES \_\_\_\_\_ 5 FT.
  - ORNAMENTAL AND EVERGREEN TREES (CRAB, PINE, SPRUCE, ETC.) \_\_\_\_\_ 10 FT.
  - SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY \_\_\_\_\_ 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.

- ALL TREE PITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING, PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- LAWN:
  - SOD LAWN AREAS SHALL BE KENTUCKY BLUE GRASS BLEND GRASS IN A SOD NURSERY ON LOAM SOIL. SOD TO BE INSTALLED ON MINIMUM 2" TOPSOIL.
  - SEEDED LAWN AREAS SHALL CONSIST OF THE FOLLOWING TYPES AND PROPORTIONS:
    - 5% PERENNIAL RYE GRASS
    - 10% RED FESCUE
    - 15% CHELSEA FESCUE
    - 60% KENTUCKY BLUE GRASS
 SEED MIX SHALL BE APPLIED AT A RATE OF 200 POUNDS PER ACRE AND WEED CONTENT SHALL NOT EXCEED 1%. SEED. PROVIDE A MINIMUM 4" TOP SOIL ON ALL SEEDED LAWN AREA.
- ALL LAWN AND LANDSCAPE AREAS TO BE IRRIGATED.

## planting landscape notes:

- GENERAL NOTES:**
- PLANT MATERIALS TO BE INSTALLED ACCORDING TO THE CITY OF NOVI LANDSCAPE STANDARDS AND CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS.
  - PLANT MATERIALS TO BE GUARANTEED FOR 2 YEARS. REPLACE FALLING MATERIAL WITHIN 9 MONTHS, OR THE NEXT APPROPRIATE PLANTING PERIOD.
  - PLANT MATERIALS TO BE OF PREMIUM QUALITY, NO. 1 GRADE NORTHERN NURSERY GROWN IN HEALTHY CONDITION, FREE OF PESTS AND DISEASES.
  - MULCH IS TO BE NATURAL COLORED, FINELY SHREDDED HARDWOOD BARK OF 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE W/3" PULLED AWAY FROM TRUNK, 3" THICK BARK MULCH FOR SHRUBS AND 2" THICK BARK MULCH FOR PERENNIALS.
  - CALL MISS DIG AT 1-800-482-1111 PRIOR TO ANY CONSTRUCTION.
- DECIDUOUS & EVERGREEN TREE:**
- TREE SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
  - DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.
  - REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.
  - REMOVE TREE STAKES, GUY WIRES AND TREE WRAP AFTER ONE WINTER SEASON.
- SHRUB:**
- SHRUB SHALL BE INSTALLED SAME RELATIONSHIP TO FINISH GRADE AS IT BORE ORIGINALLY OR SLIGHTLY HIGHER THAN FINISH GRADE UP TO 4" ABOVE GRADE, IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOIL AREAS.
  - DO NOT PRUNE TERMINAL LEADER, PRUNE ONLY DEAD OR BROKEN BRANCHES.
  - REMOVE ALL TAGS, STRING, PLASTICS AND OTHER MATERIALS THAT ARE UNSIGHTLY AND COULD CAUSE GIRDLING.

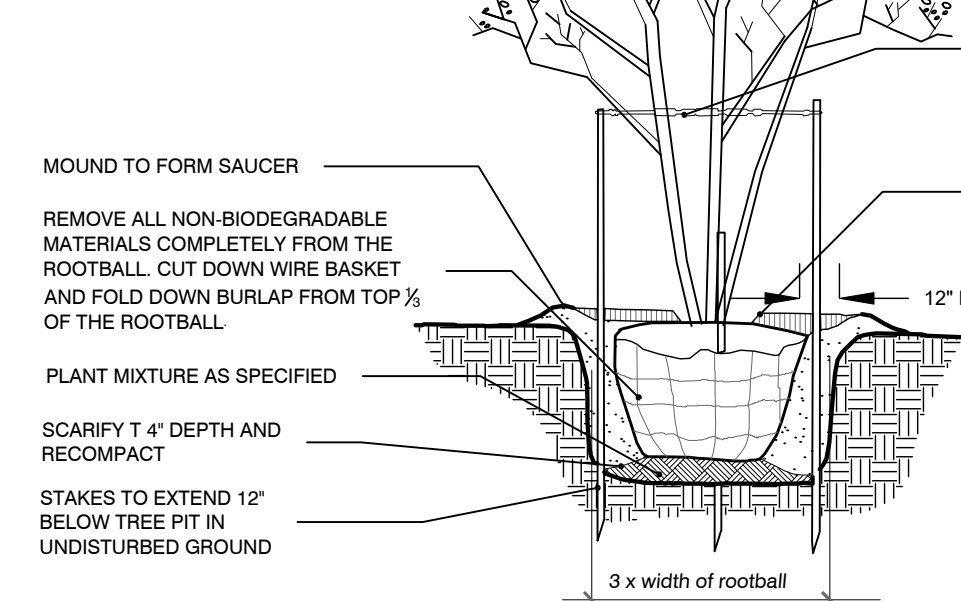
## landscape requirements: (zoned Industrial)

street street (Grand River Ave.)			
TOTAL LIN.FT. OF STREET FRONTAGE	REQUIRED	PROVIDED	
ONE (1) CANOPY TREE PER 45' (155 FT. / 91' x 124' / 40 LIN.FT. = 9.5 TREES)	4	"A" MAIVER	REQUESTED
greenbelt			
TOTAL LIN.FT. OF ROW FRONTAGE (LESS ACCESS DRIVE) (155' ROW, LESS 31' DRIVE = 124')	REQUIRED	PROVIDED	
ONE (1) DECIDUOUS TREE PER 60 FEET (124 FT. / 60 LIN.FT. = 2.06 TREES)	2	2-EXISTING	
ONE (1) ORNAMENTAL TREE PER 40 FEET (124 FT. / 40 LIN.FT. = 3.1 TREES)	3	3	
building foundation			
TOTAL LIN.FT. OF BUILDING FRONT	REQUIRED	PROVIDED	
BUILDING FOUNDATION AREA (80' BLDG. FRONT X 8' = 640 SQ.FT.)	640	820	

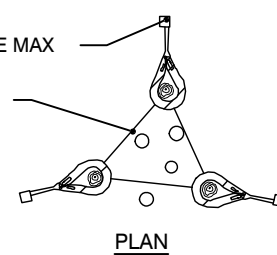
(A) MAIVER FOR STREET TREES BETWEEN SIDEWALK AND CURB DUE TO LOW OVERHEAD UTILITY WIRE AND EXISTING CITY OF NOVI WELCOME SIGN PER STAFF RECOMMENDATION.

EXISTING TREES ON SITE TO BE REPLACED UPON DEATH WITH DECIDUOUS CANOPY TREES AS REQUIRED.

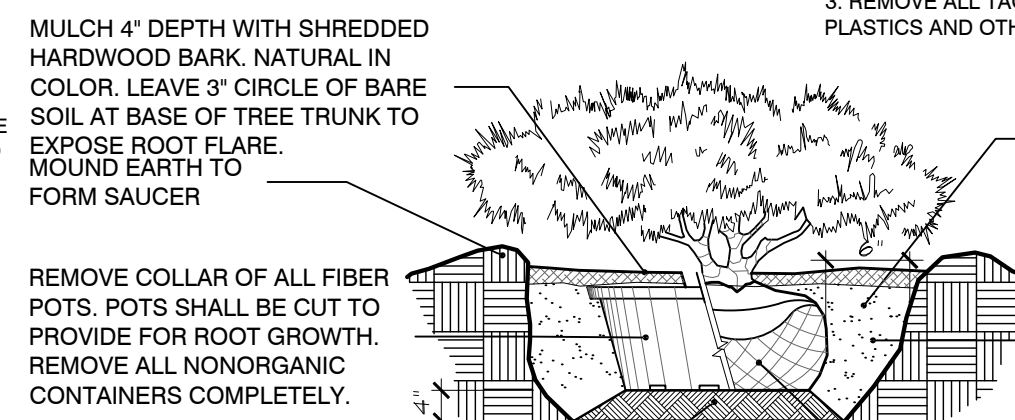
NOTES:  
PRUNE AS SPECIFIED STAKE 3 LARGEST STEMS, IF TREE HAS MORE THAN 3 LEADERS SET TREE STAKES VERTICAL AND AT SAME HEIGHT.



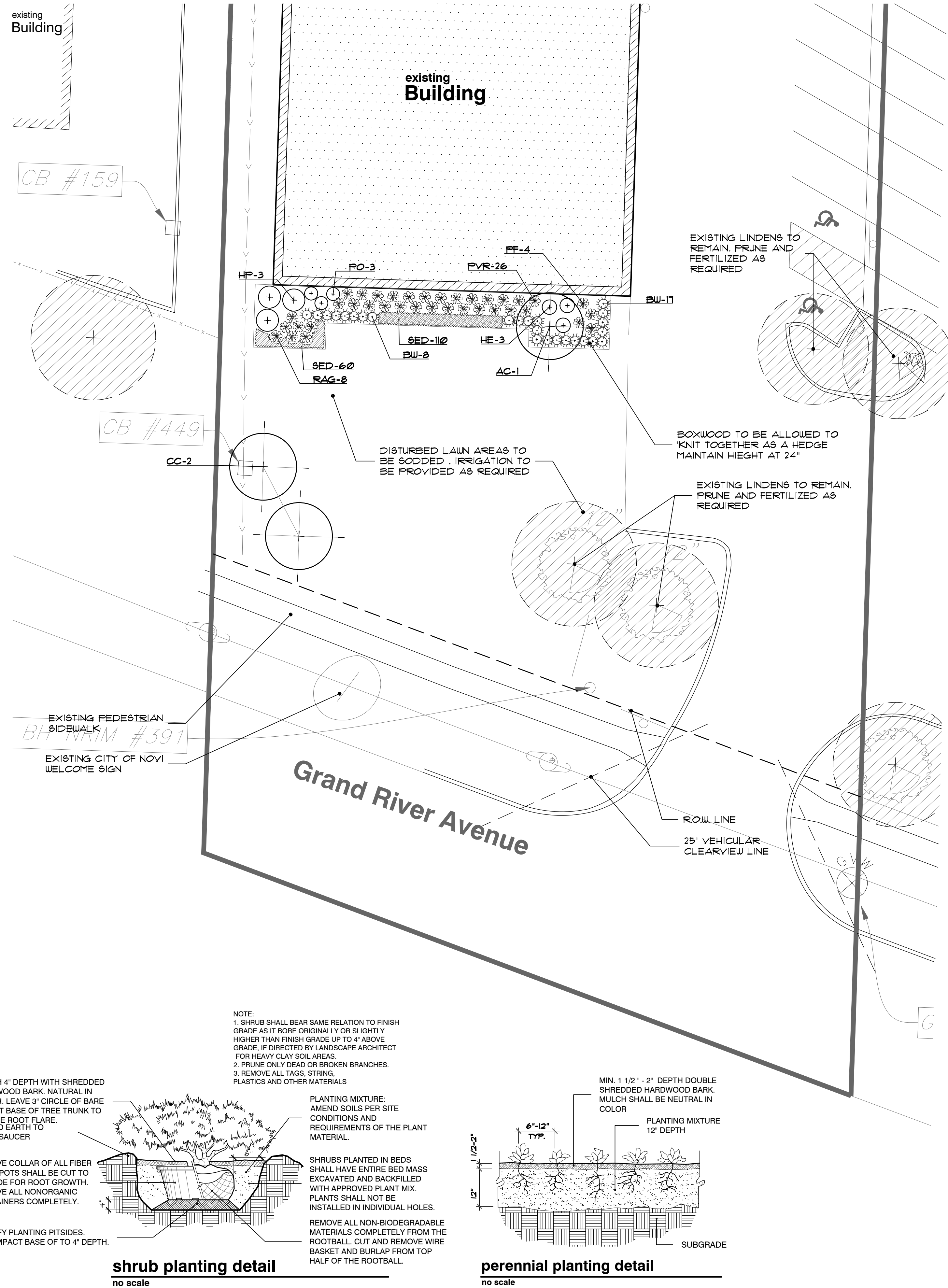
**multi-stem tree planting detail**  
no scale



**shrub planting detail**  
no scale



**perennial planting detail**  
no scale



client:  
**Mercedes-Benz of Novi**  
39500 Grand River Avenue Novi, Michigan 48375

project:  
**Sprinter Building**

project location:  
City of Novi, Michigan  
Grand River Avenue

sheet title:  
**LANDSCAPE PLANTING DETAIL**

job no./issue/revision date:  
LS21.105.8 SPA 8-16-2021  
LS21.105.9 SPA 9-15-2021

drawn by:  
**JP, PH**  
checked by:  
**FP**  
date:  
**8-5-2021**

notice:  
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Do Not scale drawings. Use figured dimensions only



The location and elevations of existing underground utilities as shown on this drawing are only approximate. No guarantee is either expressed or implied as to the completeness of accuracy. Contractor shall be exclusively responsible for determining the exact location and elevation prior to the start of construction.

project no.:  
**LS21.105.08**

sheet no.:  
**LS-1**