



## NOVI CORPORATE CAMPUS PARCEL 2 JSP14-60

### NOVI CORPORATE CAMPUS PARCEL 2 JSP14-60

Public hearing at the request of Dembs Development, Inc for the approval of the Preliminary Site Plan, Wetlands Permit, Woodlands Permit and Stormwater Management Plan. The subject property is located in Section 9, north of Twelve Mile Road, east of West Park Drive in the I-1, Light Industrial District. The current submittal, Novi Corporate Campus Parcel 2, is approximately 4.85 acres and the applicant is proposing to build a one-story 52,500 square foot speculative office/warehouse building with accessory parking facilities on Lot 2 in the Novi Corporate Campus development.

### Required Action

Approval/Denial of the Preliminary Site Plan, Wetlands Permit, Woodlands Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	12-23-14	Items to be addressed on the final site plan submittal
Engineering	Approval recommended	12-23-14	Items to be addressed on the final site plan submittal
Traffic	Approval recommended	12-12-14	Items to be addressed on the final site plan submittal
Landscaping	Approval recommended	12-12-14	Items to be addressed on the final site plan submittal
Wetlands	Approval recommended	12-19-14	Items to be addressed on the final site plan submittal
Woodlands	Approval recommended	12-19-14	Items to be addressed on the final site plan submittal
Facade	Approval Recommended	12-21-14	Section 9 Waiver is not required. A sample board is requested with additional items to be addressed on the final site plan submittal
Fire	Approval recommended	12-09-14	All Comments addressed

## Motion sheet

### Approval – Preliminary Site Plan

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

### Approval – Wetland Permit

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

### Approval – Woodland Permit

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

### Approval – Stormwater Management Plan

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**Denial – Preliminary Site Plan**

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**Denial- Wetland Permit**

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **deny** the Wetland Permit...*(because the plan is not in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**Denial- Woodland Permit**

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **deny** the Woodland Permit...*(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**Denial – Stormwater Management Plan**

In the matter of Novi Corporate Campus Parcel 2 JSP14-60, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# Novi Corporate Campus: Parcel 2

Location



### Map Legend

 Subject Property



1 inch = 250 feet



## City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Sri Komaragiri  
Date: 01/05/2015  
Project: Novi Corporate Campus: Parcel 2  
Version #: 1

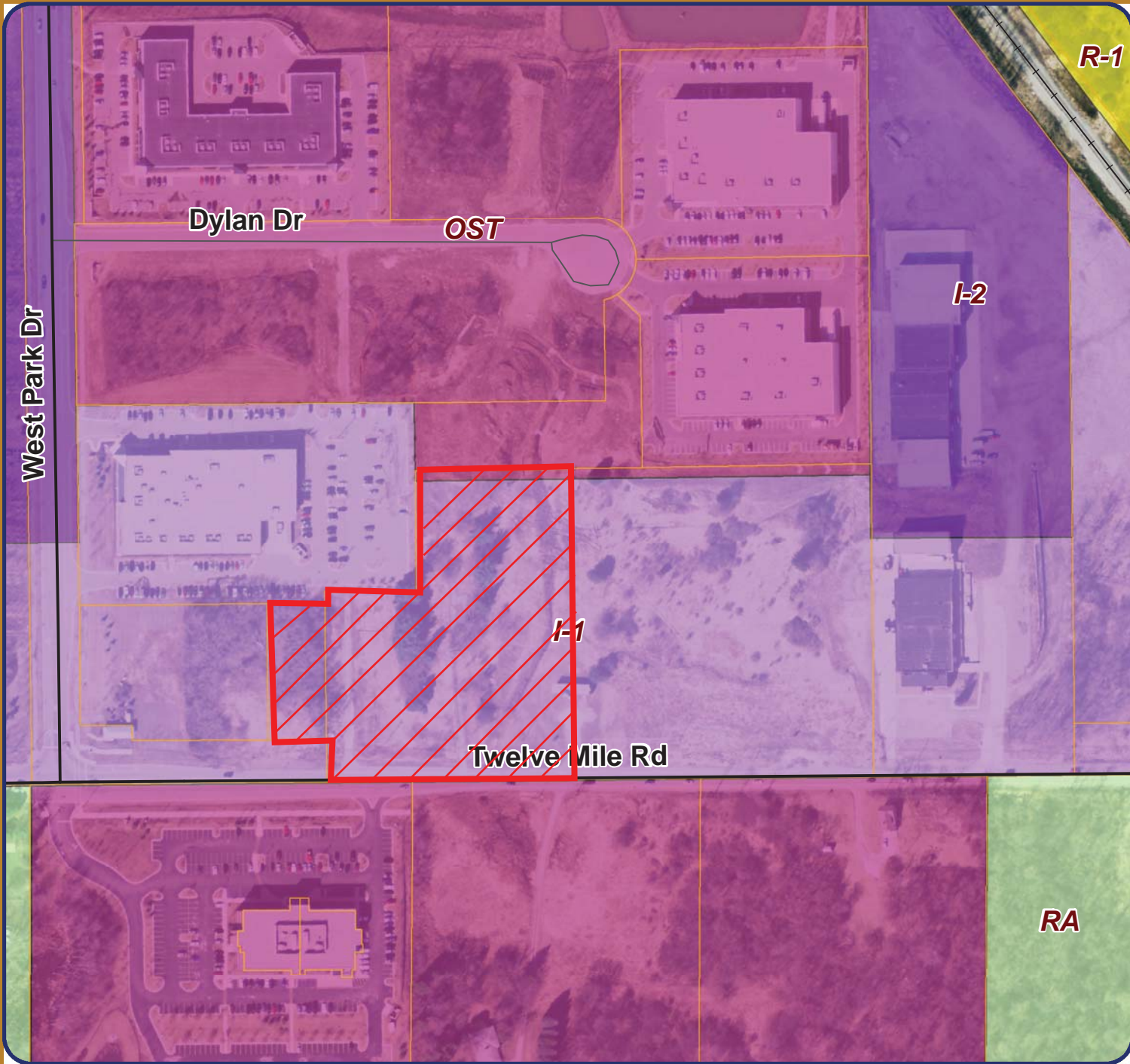
Amended By:  
Date:  
Department:

### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# Novi Corporate Campus: Parcel 2

Zoning



## Map Legend

-  Subject Property
-  R-A: Residential Acreage
-  R-1: One-Family Residential District
-  I-1: Light Industrial District
-  I-2: General Industrial District
-  OST: Office Service Technology



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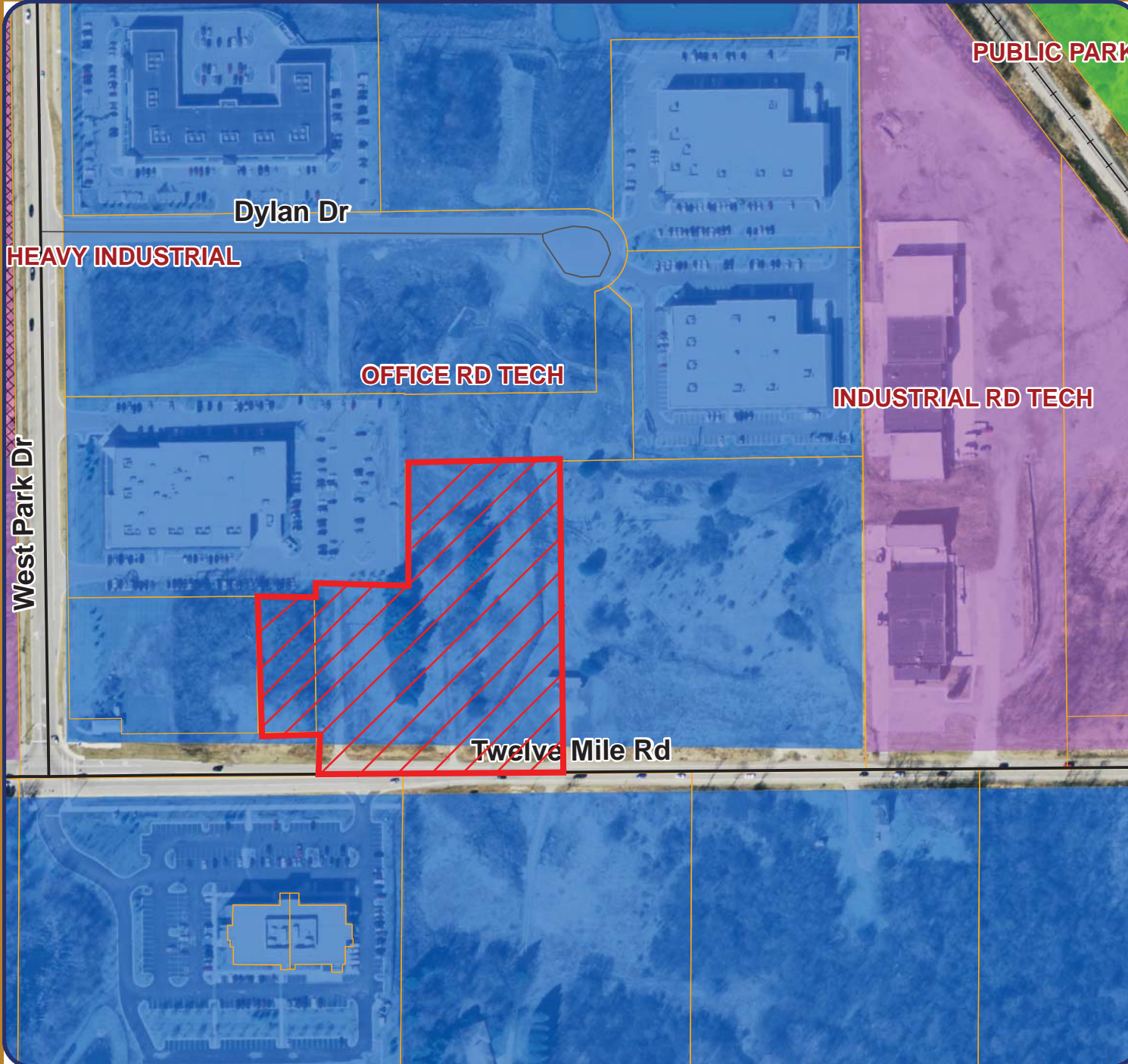
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# Novi Corporate Campus: Parcel 2

Future Land Use



### Map Legend

- Subject Property
- Future Land Use - 2010**
- Proposed Land Use**
- OFFICE RD TECHNOLOGY
- INDUSTRIAL RESEARCH DEVPT TECH
- HEAVY INDUSTRIAL
- PUBLIC PARK



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# Novi Corporate Campus: Parcel 2

Natural Features



## Map Legend

-  Subject Property
-  Waterways
-  Wetlands
-  Woodlands



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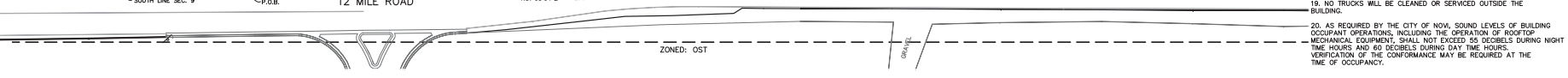
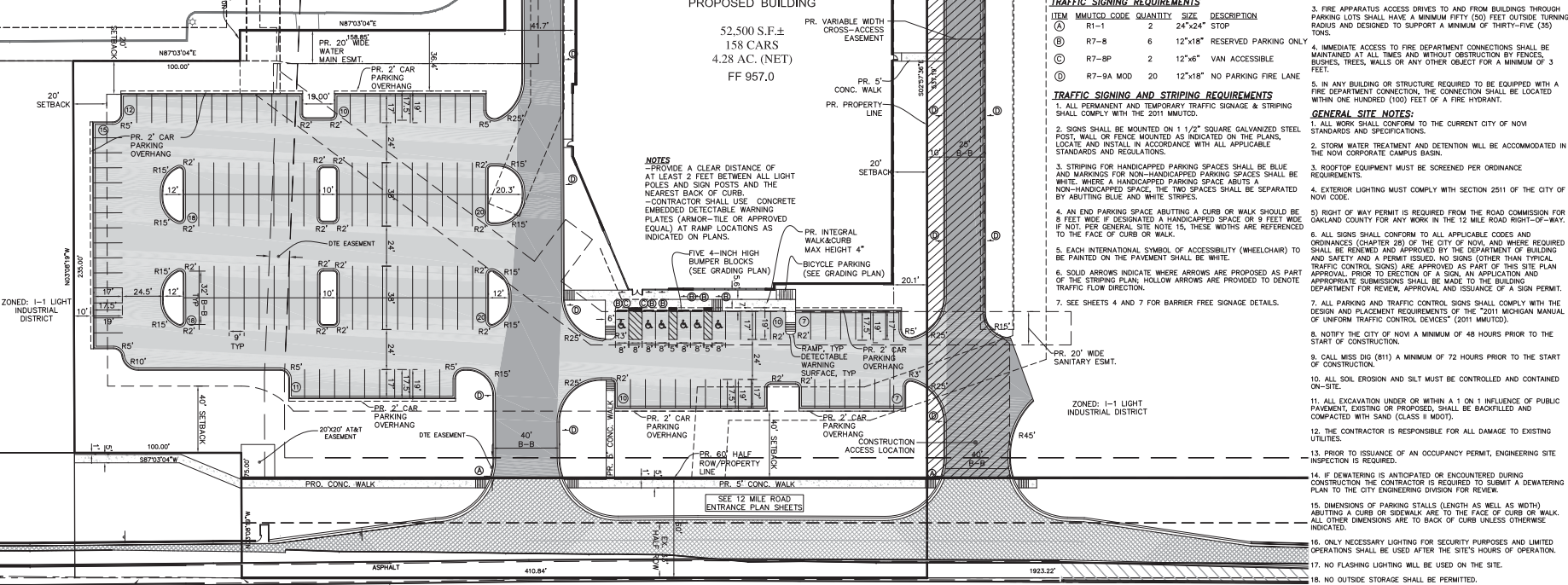
**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)

- ### LEGEND
- EXISTING STORM
  - EXISTING WATER MAIN
  - EXISTING SANITARY
  - EXISTING GAS
  - EX. CATCH BASIN
  - EX. MANHOLE
  - EX. END SECTION
  - EX. HYDRANT
  - EX. WATER SHUTOFF
  - EX. GATE VALVE
  - EX. SIGN
  - EX. PEDESTAL
  - EX. TRANSFORMER
  - EX. LIGHT POLE
  - FINISH FLOOR
  - PROP. DRAINAGE ARROW
  - PROP. TOP OF PAVEMENT ELEV.
  - PROP. TOP OF CURB ELEV.
  - PROP. GUTTER ELEV.
  - PROP. TOP OF WALK ELEV.
  - PROP. SPOT ELEV.
  - PROP. CONTOUR
  - PROP. CATCH BASIN
  - PROP. MANHOLE
  - PROP. END SECTION
  - PROP. STORM SEWER
  - PROP. SANITARY SEWER
  - PROP. WATER MAIN
  - PROP. GATE VALVE
  - PROP. HYDRANT
  - PROP. SAN. STR. NUMBER
  - PROP. STM. STR. NUMBER
  - PROP. GATE VALVE NUMBER
  - PROP. HYDRANT NUMBER
  - PITCH IN CURB AND GUTTER
  - PITCH OUT CURB AND GUTTER
  - CROSS-ACCESS EASEMENT

- ### NOTE:
- CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.
- ### NOTE:
- THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.
- ### NOTE:
- THE BUILDING IS DESIGNED AS A SPECULATIVE INDUSTRIAL SHELL WITH NO PROPOSED OCCUPANT AT PRESENT. AT THE TIME OF POTENTIAL TENANT OCCUPANCY, THE TENANTS CURRENT AND FUTURE (IF APPLICABLE) EMPLOYEE COUNT WILL BE USED TO VERIFY IF THE SITE HAS ADEQUATE PARKING TO ACCOMMODATE THE TENANTS NEEDS AND MEET THE CITY OF NOVI'S OFF-STREET PARKING REQUIREMENTS.

- ### PAVING LEGEND
- STANDARD PAVING
  - HEAVY DUTY PAVING
  - CONCRETE



### SITE DATA:

EXISTING AREA: 4.28 ACRES (NET, LESS ROW), 4.85 ACRES (GROSS)  
 INDUSTRIAL ZONING: I-1 LIGHT INDUSTRIAL  
 PROPOSED SPECULATIVE: 13,670 S.F. FIRST FLOOR OFFICE  
 12,340 S.F. SECOND FLOOR OFFICE  
 28,830 S.F. INDUSTRIAL/RESEARCH/DEVELOP.  
 64,840 S.F. GROSS FLOOR AREA

**REQUIRED BUILDING SETBACKS:** 40' FRONT MINIMUM  
 20' EACH SIDE MINIMUM  
 20' REAR MINIMUM

**REQUIRED PARKING:**  
 OFFICE: 24,710 S.F. (GROSS LEASABLE FLOOR AREA) / 222 S.F. = 111 SPACES  
 INDUSTRIAL/RESEARCH: 38,850 S.F. GROSS - 7,766 S.F. (NON-USABLE) = 31,084 S.F. USABLE FLOOR AREA / 700 S.F. = 44 SPACES  
 155 TOTAL SPACES REQUIRED  
 158 TOTAL PARKING SPACES PROVIDED (INCLUDES 6 H.F. SPACES)  
 8 BICYCLE PARKING SPACES

**REQUIRED BICYCLE PARKING:**  
 REQUIRED: 5% OF REQUIRED AUTO SPACES  
 = 158.00 = 8 BICYCLE PARKING SPACES  
 PROVIDED: 8 BICYCLE PARKING SPACES

**SOUTHERN YARD PARKING CALCULATIONS:**  
 PARKING OCCUPANCY REQUIRED: LESS THAN 50%  
 PARKING OCCUPANCY PROPOSED: 36%  
 SOUTHERN YARD PARKING SPACE AREA: 12,559 S.F.  
 SOUTHERN YARD AREA: 35,088 S.F.  
 SOUTHERN YARD PARKING OCCUPANCY: 36%

### PARCEL ID:

50-22-09-451-030 AND PART OF 50-22-09-451-028

### LEGAL DESCRIPTION:

(PART OF THE SOUTHEAST 1/4 OF SECTION 9, T11-N-R6, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 9, THENCE N87°03'04"E 510.00 FEET ALONG THE SOUTH LINE OF SAID SECTION TO THE POINT OF BEGINNING, THENCE N03°08'19"W 75.00 FEET, THENCE S87°03'04"W 100.00 FEET, THENCE N03°08'19"W 235.00 FEET, THENCE N87°03'04"E 158.85 FEET, THENCE N03°08'19"W 207.14 FEET, THENCE N86°40'14"E 253.67 FEET, THENCE S02°57'36"E 537.19 FEET, THENCE S07°03'04"W 410.84 FEET ALONG THE SOUTH LINE OF SAID SECTION 9 TO THE POINT OF BEGINNING, CONTAINING 4.85 ACRES OF LAND, MORE OR LESS, ALL OF THE ABOVE BEING SUBJECT TO EASEMENTS, RESTRICTIONS AND RIGHT-OF-WAYS OF RECORD.

### TRAFFIC SIGNING REQUIREMENTS

ITEM MULTICD CODE QUANTITY SIZE DESCRIPTION

Ⓐ	R1-1	2	24"x24"	STOP
Ⓑ	R7-8	6	12"x18"	RESERVED PARKING ONLY
Ⓒ	R7-8P	2	12"x6"	VAN ACCESSIBLE
Ⓓ	R7-9A MOD	20	12"x18"	NO PARKING FIRE LANE

### TRAFFIC SIGNING AND STRIPING REQUIREMENTS

- ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MUTUOD.
- SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS. LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
- STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
- AN END PARKING SPACE ABUTTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT; PER GENERAL SITE NOTE 15, THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.
- EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.
- SOLID ARROWS INDICATE WHERE ARROWS ARE PROPOSED AS PART OF THE STRIPING PLAN, HOLLOW ARROWS ARE PROVIDED TO DENOTE TRAFFIC FLOW DIRECTION.
- SEE SHEETS 4 AND 7 FOR BARRIER FREE SIGNAGE DETAILS.

### GENERAL SITE NOTES:

- ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
- STORM WATER TREATMENT AND DETENTION WILL BE ACCOMMODATED IN THE NOVI CORPORATE CAMPUS BASIN.
- ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
- EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
- RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY FOR ANY WORK IN THE 12 MILE ROAD RIGHT-OF-WAY.
- ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE REMOVED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
- ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (2011 MUTUOD).
- NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
- CALL MESS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
- ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
- ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS 1 MDO).
- THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
- PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
- IF DETERMINING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A Dewatering PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
- DIMENSIONS OF PARKING STALLS (LENGTH AS WELL AS WIDTH) ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO BACK OF CURB UNLESS OTHERWISE INDICATED.
- ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE USED AFTER THE SITE'S HOURS OF OPERATION.
- NO FLASHING LIGHTING WILL BE USED ON THE SITE.
- NO OUTSIDE STORAGE SHALL BE PERMITTED.
- NO TRUCKS WILL BE CLEANED OR SERVICED OUTSIDE THE BUILDING.
- AS REQUIRED BY THE CITY OF NOVI, SOUND LEVELS OF BUILDING OCCUPANT OPERATIONS, INCLUDING THE OPERATION OF ROOFTOP MECHANICAL EQUIPMENT, SHALL NOT EXCEED 55 DECIBELS DURING DAY HOURS AND 60 DECIBELS DURING DAY HOURS. VERIFICATION OF THE CONFORMANCE WILL BE REQUIRED AT THE TIME OF OCCUPANCY.

COMMERCIAL SITE PLANNING, SURVEYING, CIVIL ENGINEERING, CONSTRUCTION LAYOUT

RESIDENTIAL SITE PLANNING, SURVEYING, CIVIL ENGINEERING, CONSTRUCTION LAYOUT

ALPINE ENGINEERING, INC.

44992 WEST ROAD, NOVI, MICHIGAN 48377

(248) 946-3701 (MO), (248) 946-3702 (FX), WWW.ALPINE-ENGINEERING.COM

**811**

Know what's below  
Call before you dig.

DEMOS DEVELOPMENT, INC.

NOVI CORPORATE CAMPUS

PRELIMINARY SITE PLAN

SECTION 9

CITY OF NOVI, MICHIGAN

CLIENT: NOV DEVELOPMENT, INC.

REVISED

2014/12/01 PDP SUBMITTAL

DATE: 2014-09-17

DRAWN BY: TG

CHECKED BY: SD/TG

SCALE: 1" = 30' FT

14-127

**PLANNING REVIEW**



# PLAN REVIEW CENTER REPORT

December 23, 2014

## Planning Review

Novi Corporate Campus Parcel 2

**JSP14-60**

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### Petitioner

Dembs Development, Inc

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: North of 12 Mile, east of West Park Dr
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North and South: OST Office Service Technology, East and West: I-1 Light Industrial
- Current Site Use: Vacant
- Adjoining Uses: North : Novi Corporate Park (Office); South: Medical Office; East and West: Vacant
- School District: Novi School District
- Site Size: 4.85 acres (4,28 acres net without ROW)
- Plan Date: 12-01-2014

### Project Summary

The subject property is located in Section 9, north of Twelve Mile Road, east of West Park Drive in the I-1, Light Industrial District. The subject property is approximately 4.85 acres and the applicant is proposing to build a one-story 52,500 square foot speculative office/warehouse building with accessory parking facilities on Lot 2 in the Novi Corporate Campus development. The applicant also indicated a possibility of a second story with an additional 12,340 square foot office space area in their floor plan drawings. The Parking is calculated for the maximum 64,840 square foot office/warehouse space.

### Recommendation

Approval of the *Preliminary Site Plan is recommended*. The plan generally conforms to the requirements of the Zoning Ordinance; however there are **façade, traffic, wetlands and woodlands and landscape related items to be addressed on next Site Plan submittal**. Planning Commission approval of the Preliminary Site Plan is required.

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant on the Final Site Plan Submittal.

1. Allowable Uses: Note that potential tenant should check with Community Development regarding allowed uses prior to occupancy. Any uses that are not permitted by right as listed in the ordinance would need Planning Commission approval.
2. Building Square Footage: **The square footage listed on the site plan drawing (52,500 SF) and the square footage under site data (64,480 SF) are not the same and it is misleading. Please correct to reflect one number.**
3. Lighting and Photometric Plan: *Sec 2400. h. The Planning Commission finds that the parking area and lighting is compatible with surrounding development. Please clarify that the lighting will be compatible with surrounding development in your response letter. Provide a lighting and photometric plan along with final site plan.*

### Signage

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

### Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at [www.cityofnovi.org](http://www.cityofnovi.org) under the forms page of the Community Development Department. Please contact Jeannie Niland (248.347.0438 or [jniland@cityofnovi.org](mailto:jniland@cityofnovi.org)) in with any specific questions regarding addressing of sites.

### Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required **prior to consideration by the Planning Commission and with the next plan submittal.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri, Planner

## PLANNING REVIEW SUMMARY CHART

**Review Date:** 12 December 2014

**Project Name:** JSP 14-0060 Novi Corporate Campus Development Parcel 2

**Plan Date:** 01 December 2014

**Prepared by:** Sri Komaragiri, Planner **E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Preliminary Site Plan. Underlined items need to be addressed on the Final Site Plan.

S.No	Item	Required Code	Proposed	Meets Code?	Comments
<b>1.</b>	<b>Zoning and Use Requirements</b>				
1a.	Master Plan (adopted August 25, 2010)	Office Research Development & Technology	Manufacture and Office	Yes	
1b.	Zoning (Effective December 25, 2013)	L-1, Light Industrial	L-1	Yes	
1c.	Uses Permitted in L-1 District (Sec. 1901, Sec. 1902 & Sec. 1903)	Sec. 1901. Principal Uses permitted) Sec. 1903. Principal uses permitted, subject to special conditions when not abutting a residential district	A speculative industrial shell: Manufacture and Office	Cannot be determined.	<b>Note:</b> Potential Tenant should check with Community Development regarding allowed uses prior to occupancy.  Any uses that are not permitted by right as listed in the ordinance would need Planning Commission approval.
<b>2</b>	<b>Building Height and Setback Requirements</b>				
2a.	Building Height (Section 2400, Schedule of Regulations & 2503.2.E)	40 ft.	29'-4" T.O.S	Yes	
2b.	<b>Building Setbacks</b> Front @ 12 Mile Rd Side east interior Side west Rear north	40 ft. 20 ft. 20 ft. 20 ft.	40 ft. 20 ft. 20 ft. 20 ft.	Yes Yes Yes Yes	
2c.	<b>Parking Setbacks</b> Front south Side east interior Side west interior Rear north	40 ft. 10 ft. 10 ft. 10 ft.	40 ft. 10 ft. 10 ft. 10 ft.	Yes Yes Yes Yes	
<b>3.</b>	<b>Parking, Loading and Dumpster Requirements</b>				
3a.	Number of Parking		Office: 24,710	Yes	<b>The square footage listed</b>



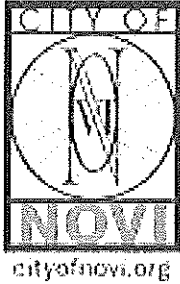
S.No	Item	Required Code	Proposed	Meets Code?	Comments
	Lanes (Sec. 2506)	drives. 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	sidewalk and landscaping  24 ft. two way drive	Yes	
3d.	End Islands (Section 2506.13)	End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.	Yes  End islands with varying width from 8' to 20'	Yes	
3e.	Barrier Free Spaces (Barrier Free Code)	3 barrier free spaces required: 0 standard barrier free, 3 van accessible (one for each potential business)	6 standard & 2 van accessible barrier free spaces	Yes	
3f.	Barrier Free Space Dimensions (Barrier Free Code)	8' wide with an 8' wide access aisle for van accessible spaces 5' wide with a 5' wide access aisle for regular accessible spaces	Access aisles provided	Yes	
3g.	Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signs at each space proposed	Yes	
3h.	Loading Spaces (Sec. 2507)	Provide in rear or interior side	Yes Provided in the rear side	Yes	
3i.	Dumpster (Chapter II, Section 21-145 and Sec. 2503.2.F)	Enclosure required for dumpster. Min. one foot taller than dumpster	Information not provided	Yes	
3j.	Dumpster Enclosure (Sec. 2503.2.F and Sec. 2520.1)	Dumpster enclosure to be located in rear yard, and set back from property line a	Located in side yard Meets setback requirements	No  Yes	



S.No	Item	Required Code	Proposed	Meets Code?	Comments
		distance equivalent to the parking lot setback. Enclosure to match building materials.	Located away from barrier free spaces	Yes	
<b>4.</b>	<b>Lighting and Other Equipment Requirements</b>				
4a.	Exterior lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	A lighting plan is not provided	No	<u>A lighting plan will be required with a final site plan.</u>
4b.	Roof top equipment and wall mounted utility equipment (Sec. 2503.2.E.(1))	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No roof top equipment proposed	Yes	
<b>5.</b>	<b>Sidewalks Requirements</b>				
5a.	Sidewalks (City Code Sec. 11-276(b))	A 5' -8' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts	5' Sidewalk along 12 mile is proposed	Yes	
5b.	Pedestrian Connectivity	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval ... Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets (Section 2516.2.b (3)).	Entrances connected to public walk with 5 ft. sidewalks	Yes	
<b>6.</b>	<b>Building Code and other design standard Requirements</b>				
6a.	Building Code	Building exits must be connected to sidewalk system or parking lot.	A 5' connector sidewalk is proposed	Yes	.

S.No	Item	Required Code	Proposed	Meets Code?	Comments
6b.	Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
6c.	General layout and dimension of proposed physical improvements,	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
6d.	Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

## ENGINEERING REVIEW



## PLAN REVIEW CENTER REPORT

12/23/2014

### Engineering Review

Parcel 2 Novi Corporate Park

JSP14-0060

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#### Applicant

DEMBS DEVELOPMENT

#### Review Type

Preliminary Site Plan

#### Property Characteristics

- Site Location: N. of 12 Mile Road and E. of Park Drive
- Site Size: 4.85 acres
- Plan Date: 12/01/14

#### Project Summary

- Construction of an approximately 52,500 square-foot building and associated parking. Site access would be provided by two curb cuts onto 12 Mile Road.
- Water service would be provided by an 8-inch extension from the existing 8-inch water main west of the site and looping to the existing 8-inch water main north east of the site. A 2-inch domestic lead and a 8-inch fire lead would be provided to serve the building, along with 4 additional hydrants.
- Sanitary sewer service would be provided would be provided by an 8-inch extension from the existing 8-inch water main west of the site.
- Storm water would be collected by a single storm sewer collection system and detained in an existing off-site basin.

#### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

#### Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments** (to be addressed prior to the Final Site Plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. A right-of-way permit will be required from the City of Novi and Oakland County.
4. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided at the time of Preliminary Site plan.
5. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
6. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
7. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
8. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
9. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.

Water Main

10. Provide a profile for all proposed water main 8-inch and larger.
11. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

12. Provide a sanitary sewer basis of design for the development on the utility plan sheet. Include the future development on the parcel to the east in the basis of design.
13. Note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5, and mains shall be SDR 26.

14. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
15. Provide sanitary sewer profiles, include pipe material and slope on the profile and layout.
16. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (11/07 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

#### Storm Sewer

17. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
18. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
19. Match the 0.80 diameter depth above invert for pipe size increases.
20. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
21. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
22. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
23. Show and label all roof conductors, and show where they tie into the storm sewer.

#### Storm Water Management Plan

24. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
25. Provide calculations verifying the post-development runoff rate directed to the proposed receiving drainage course does not exceed the pre-development runoff rate for the site.
26. Provide calculations showing that the combined 'C' factor for the proposed site does not exceed the combined 'C' factor used in the detention pond design calculations.
27. Provide calculations showing that there is adequate volume in the existing detention pond for the proposed runoff volume.

28. Provide additional information about the off-site flow entering the site in the existing low area and demonstrate the proposed storm sewer will adequately convey the off-site flow.

#### Paving & Grading

29. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
30. The right-of-way sidewalk shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 6/8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 6/8 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
31. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
32. Provide a traffic control plan for the work proposed in 12 Mile Road.

#### Off-Site Easements

33. Any off-site utility easements anticipated must be executed by both parties **prior to final approval of the plans**. Drafts of the easement shall be submitted at the time of the Preliminary Site Plan submittal for review, and shall be approved by the City prior to final signatures.
34. Approval from the neighboring property owner for the work associated with the off-site water main shall be forwarded to the Engineering Division **prior to site plan approval**.
35. Approval from the neighboring property owner for the work associated with the off-site storm sewer shall be forwarded to the Engineering Division **prior to site plan approval**.
36. An easement for the off-site sanitary sewer construction to the east will be required (signed by both property owners) **prior to site plan approval and prior to the submission of the MDEQ water main construction permit**.

#### **The following must be provided at the time of Preliminary Site Plan resubmittal:**

37. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan/revised PSP highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

#### **The following must be submitted at the time of Final Site Plan submittal:**

38. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

39. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

40. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
41. A draft copy of the private ingress/egress easement for shared use of the drive entry must be submitted to the Community Development Department.
42. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
43. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
44. A 20-foot wide easement where storm sewer or surface drainage crosses lot boundaries must be shown on the Exhibit B drawings of the Master Deed.
45. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

46. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
47. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
48. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
49. A permit for work within the right-of-way of 12 Mile Road must be obtained from the City of Novi. The application is available from the City Engineering



- Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
50. A permit for work within the right-of-way of 12 Mile Road must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
  51. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
  52. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
  53. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
  54. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
  55. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.

  
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cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Sri Komaragiri, Community Development Department  
Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW



December 12, 2014

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. 10 Mile Road  
Novi, MI 48375

**SUBJECT: Novi Corporate Campus Parcel 2, Traffic Review for Preliminary Site Plan  
JSP14-0060**

Dear Ms. McBeth,

URS has completed our review of the preliminary site plan submitted for the above referenced development. Our comments are as follows:

1. **General Comments** – Dembs Development is proposing the development of a 5.85 acre office/industrial site near 12 Mile Road and West Park Drive. The pre-application plans were reviewed by Clearzoning in September 2014, and are attached for reference.
2. **General Plan Comments** – The comments provided by Clearzoning in the pre-application phase appear to have been adequately addressed to meet City standards in the preliminary site plan submittal, with the exception of the following:
  - a. Clearzoning comment 4 recommended the inclusion of a left turn lane for eastbound traffic into the site. The City standard taper length for dropping a center left turn lane is 300' per the City's Design and Construction Standards Figure IX.7. The applicant is proposing a taper length of 540'. The applicant should include additional comments regarding why the 540' taper is being proposed instead of a 300' taper.
  - b. URS will review final proposed signage as part of the Final Site Plan review.
  - c. URS will review detailed ramp grading as part of the Final Site Plan review.
  - d. The applicant should consider detailing the existing pavement markings to indicate what will be removed as part of this project. The applicant should also consider adding more detail to the proposed striping plan.
3. **Recommendation for Approval** – URS recommends approval of the preliminary site plan with the exception of the items listed under section 2 above, which require further review prior to approval.

Sincerely,

**URS Corporation Great Lakes**

Matthew G. Klawon, PE  
Manager, Traffic Engineering and ITS Engineering Services

**URS Corporation**  
27777 Franklin Road, Suite 2000  
Southfield, Michigan 48034  
Tel: 248.204.5900  
Fax: 248.204.5901  
www.urs.com

September 29, 2014

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. 10 Mile Road  
Novi, MI 48375

**SUBJECT: Novi Corporate Campus/Park Parcel 2, Traffic Review for Pre-App Meeting of 10-07-14**

Dear Ms. McBeth:

At your request, we have reviewed the preliminary site plan submitted for the above pre-application meeting between City staff and the applicant. Our vicinity aerial is attached and our comments are as follows:

1. The proposed building – to contain a relatively large office area in addition to its manufacturing area – can be expected to generate an average of 451 one-way vehicle trips per day, 75 in the AM peak hour (64 in and 11 out) and 73 in the PM peak hour (17 in and 56 out). A traffic study is not warranted, but our projected entering volumes do affect needed road improvements.
2. The two proposed new access drives would be about 227 ft apart (near-curb to near-curb), or slightly less than the 230 ft required by the City's Design and Construction Standards for a 45 mph road (DCS Sec 11-216(d)(1)d). If the site plan is not adjusted to make up this small deficiency, a Planning Commission waiver will be required.
3. Since the existing commercial driveway across the road (and 93 ft west of the proposed new west access drive) was designed for right-in/right-out use only, the City's minimum opposite-side driveway spacing standard should not be considered applicable.
4. Since 12 Mile Road at this location is serving 20,000 or more vehicles per day, a peak-hour entering left-turn volume of only 10 vehicles warrants a left-turn lane (see DCS Fig IX.8). The improvements to 12 Mile Road should therefore include an extension of the existing left-turn lane at West Park to a point 35 ft beyond the centerline of the proposed east access drive (per DCS Fig IX.7), followed by a 300-ft-long taper back to the two-lane section further east.
5. DCS Fig IX.10 indicates that a right-turn deceleration taper is required at any commercial drive on a road serving a daily volume in excess of 17,000 vehicles, regardless of the peak-hour entering right-turn volume – or at both of the proposed drives in this case. Given the proposed driveway spacing and the City-standard tapers of 100 ft for deceleration and 75 ft for acceleration, a continuous auxiliary lane will have to be provided between the drives. Also, a 100-ft-long deceleration taper east of the east drive and a 75-ft-long acceleration taper west of the west drive will be needed. The back of curb at the road ends of all four new driveway curb returns should be 32.5 ft from the section line – not 26.5 ft from the existing physical centerline as now proposed (the latter veers to the south as one proceeds east along the site frontage, and likely would not be the physical centerline of the ultimate five-lane undivided road assumed).

6. Given the relative complexity of adapting the needed improvements to existing 12 Mile Road, the preliminary site plan should include a survey augmented to show the locations of existing lane striping, along with a separate sheet detailing the proposed road widening, lane striping, and (potentially) new signs needed.
7. The applicant should be asked to explain the particular designs proposed for the two internal driveway stubs to the east, which may be related to a conceptual design anticipated (if not already prepared) for the adjoining site. In a related matter, the proposed Truck Circulation Plan (sheet 8) does not provide a complete or convincing path for large trucks destined for the subject site's Loading Zone. It appears to us that the rear stub will need to be shifted south to align with that zone, and possibly extended further east as well (and include the designated cross-access easement).
8. The plan is unclear regarding the proposed sidewalk elevations along the south side of the building. Ramps are proposed at the west end of the main walk and south end of the stub – suggesting that the parking surface for the handicapped spaces would rise to become flush with the walk – yet another ramp is proposed at the easternmost such space – indicating that the walk would rise there rather than the pavement surface falling back to a lower elevation.
9. Bumper blocks should be proposed only where at least one wheel track of a parking vehicle would not align with a walk and/or ramp at least 2-3 inches high. Despite past our advice allowing a single block to serve two spaces, we now prefer a single 6-ft-long, 4-inch-high block centered on each parking space needing an added wheel stop; this permits pedestrians to pass between any two adjacent spaces without having to step over a block. Also, the plan should specify that the bumper blocks will be yellow (commercially formed rubber or plastic blocks are available in that factory-imposed color).
10. The three westernmost barrier-free sign installations are shown in the sidewalk, just 2 ft behind the parking face of proposed bumper blocks. It appears that the westernmost of the three signs could be placed at the back of walk, so as to reduce interference with pedestrian movements as well as the possibility of being struck by an overhanging vehicle.
11. Four additional NO PARKING FIRE LANE signs are needed:
  - a. On the west access drive, facing north about 50 ft north of the exiting STOP sign.
  - b. On the west access drive, facing south at a point 75 ft south of the southernmost such sign now proposed (just south of the sidewalk), and at a point another 75 ft south of that.
  - c. On the east access drive, facing north about 35 ft north of the exiting STOP sign.
12. All or at least some of the three proposed service doors (on the building's west, north, and east sides) may have to be equipped with ramps if they are intended to be available for emergency egress. The Fire Marshal should decide this issue.

Sincerely,  
CLEARZONING, INC.



Rodney L. Arroyo, AICP  
President



William A. Stimpson, P.E.  
Director of Traffic Engineering

Attachment:  
Aerial photo

## LANDSCAPE REVIEW



# PLAN REVIEW CENTER REPORT

December 12, 2014

## Landscape Review

Novi Corporate Park: Parcel 2

**JSP 14-60**

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### Petitioner

Dembs Development, Inc

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: North of 12 Mile, east of West Park Dr)
- Site Zoning: I-1 Light Industrial
- Adjoining Zoning: North and South: OST Office Service Technology, East and West: I-1 Light Industrial
- Current Site Use: Vacant
- Adjoining Uses: North : Novi Corporate Park (Office); South: Medical Office; East and West: Vacant
- School District: Novi School District
- Site Size: 4.28 acres
- Plan Date: 12-01-2014

### Recommendation

**Approval of the Final Site Plan for JSP 14-60 Novi Corporate Park Parcel 2 is recommended.** The plan generally conforms to the requirements of the Zoning Ordinance;

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 25 (General Provisions) Sec. 2509. - Landscape Standards, Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.

### Ordinance Considerations

1. Existing plant material (LDM 2.e. (2))  
**Add the "Save" tree symbol to the Key for better clarity. The size of symbol is visibly small and is hard to distinguish.**
2. Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)  
**Provide a cross section of the berm along 12 mile.**
3. Transformer Screening (LDM 1.d. (3))  
**Show Transformer location on Landscape Plan as well.**
4. Irrigation (Sec. 2509 3.f.(6)(b))  
**Provide irrigation plan with final site plan submittal. An estimated cost for the irrigation for the proposed improvements is required prior to stamping set approval.**



Please follow guidelines of the Zoning Ordinance, Landscape Design Manual Guidelines and the appropriate items in the applicable zoning classification. This review is a summary and not intended to substitute for any Ordinance.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or [skomaragiri@cityofnovi.org](mailto:skomaragiri@cityofnovi.org).



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Sri Ravali Komaragiri – Planner

**Landscape Review Summary Chart**

**Date: December 12, 2014**

Project Name: Novi Corporate Campus Unit 2  
 Project Location: Twelve Mile Road  
 Plan Date: 01 December 2014  
 Review Type: Preliminary Site Plan

Item	Required	Proposed	Meets Requirement	Comments
Name, address and telephone number of the owner and developer or association. (LDM 2.a.)	Yes	Yes	Yes	
Name, Address and telephone number of RLA (LDM 2.b.)	Yes	Yes	Yes	
Legal description or boundary line survey. (LDM 2.c.)	Yes	Yes	Yes	
Project Name and Address (LDM 2.d.)	Yes	Yes	Yes	
A landscape plan 1" -20' minimum Proper north (LDM 2.e.)	Yes	Yes	Yes	LA may approve larger scale.
Proposed topography. 2' contour minimum (LDM 2.e.(1))	Yes	Yes	Yes	
Existing plant material (LDM 2.e.(2))	Yes	Yes	Yes	<i>Add the "Save" tree symbol to the Key for better clarity. The size of symbol is visibly small and is hard to distinguish.</i>
Proposed plant material. (LDM 2.e.(3))	Yes	Yes	Yes	
Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))	Yes	Yes	Yes	
Clear Vision Zone (LDM 2.3.(5) -	Yes	Yes	Yes	

Item	Required	Proposed	Meets Requirement	Comments
2513)				
Zoning (LDM 2.f.)	I-1	I-1		
Sealed by LA. (LDM 2.g.)	Yes	Yes	Yes	Stamping Set must provide an original signature.
Plant List (LDM 2.h.)	Yes	Yes	Yes	Plant schedule that includes key, quantity, botanical name, common name, size, root, comments and cost estimate
Quantities	Yes	Yes	Yes	
Sizes	Yes	Yes	Yes	Canopy trees must be 3" in caliper Sub-Canopy trees must be 2.5" in caliper
Type and amount of mulch	Yes	Yes	Yes	
Turf	Yes	Yes	Yes	Must provide type and quantity of all ground cover.
Acceptable species	Yes	Yes	Yes	There are no prohibited plantings.
Diversity	Yes	Yes	Yes	
Planting Details/Info (LDM 2.i.)	Yes	Yes	Yes	
Deciduous Tree	Yes	Yes	Yes	
Evergreen Tree	Yes	Yes	Yes	
Shrub	Yes	Yes	Yes	
Perennial/ Ground Cover	Yes	Yes	Yes	
Transformers (LDM 1.e.5.)	Yes	Yes	Yes	Show locations and screening.
Berm Plantings (LDM 1)	Yes	Yes	Yes	
Walls (LDM 2.k.)	NA			Show materials, height and type of construction including footings.
Landscape Notes	Yes	Yes	Yes	
Miss Dig Note	Yes	Yes	Yes	
Mulch	Yes	Yes	Yes	Natural color, finely shredded hardwood bark required for all plantings. 4" thick bark mulch for trees in 4-foot diameter circle with 3" pulled away from trunk. 3" thick bark for shrubs and 2" thick bark for perennials.

Item	Required	Proposed	Meets Requirement	Comments
2 yr. Guarantee	Yes	Yes	Yes	
Approval of substitutions.	Yes	Yes	Yes	All substitutions or deviations from the landscape plan must be approved by the city prior to installation.
Tree stakes	Yes	Yes	Yes	Remove after one winter season.
Parking Area Landscape Calculations (LDM 2.0.)	Yes	Yes	Yes	Islands a minimum 300 square feet to qualify.
A. For: I-1 and I-2 1. Landscape area required due to # of parking spaces	Yes	Yes	Yes	A - Total square footage of parking spaces not including access aisles X 7% (parking space square footage x .07)  1,840 required.
B. For: I-1 and I-2 2. Landscape area required due to vehicular use area	Yes	Yes	Yes	B – Square footage of all additional paved Vehicular use areas under 50,000 sq. ft. x 2% (square footage x .02)  966 required.
C. For: I-1 and I-2 2. Landscape area required due to vehicular use area	NA			C – square footage of all additional paved vehicular use areas over 50,000 sq. ft. x 1% (square footage x .01)
Total A, B and C above = Total interior parking lot landscaping requirement	Yes	Yes	Yes	A+B+C =  2,806 square feet required 3,090 provided
Parking lot tree requirement	Yes	Yes	Yes	Total square footage requirement / 75 37 required 37 provided
Perimeter Canopy Tree Plantings	Yes	Yes	Yes	Minimum 1 per 35 linear feet as a minimum.

Item	Required	Proposed	Meets Requirement	Comments
Parking Lot Plants	Yes	Yes	Yes	Maintain shrubs at max. 24" in height within lot. No plants over 12" within 10 feet of fire hydrant. No evergreen trees in islands.
15 parking space limit	Yes	Yes	Yes	Only 15 permitted without island
Parking Land Banked	NA			
Foundation Landscape calculation (LDM.2.p.)	Yes	Yes	Yes	Square footage equal in quantity to the building perimeter x 8'. Minimum 4' required  7,704 required 9,023 provided
Snow Deposit (LDM.2.q.)	Yes	Yes	Yes	Location(s) shown.
Irrigation plan (LDM 2.s.)	Yes	No	No	<b><i>Provide with final landscape plan.</i></b>
Cost Estimate (LDM 2.t.)	Yes	Yes	Yes	
Plant Placement (LDM 3.a.(4))	Yes	Yes	Yes	All plants except creeping vine type plantings, shall not be located within 4' of a property line
Residential adjacent to non-residential	NA			
Berm (2509.3.a.)	NA			
Planting (LDM 1.a.)	NA			
Adjacent to Public Rights-of-Way	Yes	Yes	Yes	
Berm (2509.3.b.)	<b>Yes</b>	<b>No</b>	<b>No</b>	<b><i>Depict frontage berm on plan. 3' height with 3' crest. Provide a cross section of the berm along 12 mile.</i></b>
Street trees	Yes	Yes	Yes	
Detention Basin Plantings (LDM 1.d.(3))	NA			70-75% of basin rim planted.
Transformer Screening (LDM 1.d.(3))	Yes	Yes	Yes	Provide 8 to 10 feet of clear space in front of the doors. 24" clear on sides.  <b><i>Show Transformer location on Landscape Plan as well.</i></b>
R.O.W. Trees (2509.3.f - LDM	NA			

Item	Required	Proposed	Meets Requirement	Comments
1.d))				
Single Family	NA			
40 wide non-access greenbelt	NA			
Street Trees	NA			
Islands and boulevards	NA			Irrigated
Multi family	NA			
Condo Trees	NA			3 canopy of deciduous for each first floor unit
Street trees	NA			1 per 35 linear feet
Interior street trees	NA			1 per 35 linear feet Evergreens no closer than 20 feet.
Subcanopy trees	NA			3 per 40 linear feet
Basin plantings	NA			
Loading Zone (2507)	Yes	Yes	Yes	

NOTES:

1. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This table is a summary chart and not intended to substitute for any Ordinance. The appropriate section of the applicable ordinance is indicated in parenthesis.  
For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.
2. NA means not applicable.
3. Critical items that need to be addressed are in ***bold italics***.
4. For any further questions, please contact:  
Sri Komaragiri  
45175 W. Ten Mile Road  
Novi, Michigan 48375-3024  
(248) 735-5607  
(248) 735-5600 fax  
City web site [www.cityofnovi.org](http://www.cityofnovi.org)

FACADE REVIEW



December 21, 2014

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Final Site Plan**  
**Novi Corporate Campus Parcel 2, PSP14-0206**  
 Façade Region: 1, Zoning District: I-1

Dear Ms. McBeth;

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Faudie Architects, dated 12/1/14. The percentages of materials proposed for each façade are as shown below. Materials that are in violation of the Ordinance, if any, are shown on bold. A sample board was not provided at the time of this review.

	South (Front)	North	West	East	Façade Ordinance Section 2520 Maximum (Minimum)
Brick	75%	99%	90%	99%	100% (30% Min)
Flat Metal Panels (aluminum composite)	25%	1%	10%	1%	50%

This application consists of a 2 story building with primarily brick facades. The main entrance, located at the south west corner of the building, is defined by the flat composite aluminum panels and an overhanging canopy above the entrance doors. The large expanses of brick on all facades are delineated by brick soldier course accent bands. The proposed materials appear to be complementary and consistent with other buildings in the surrounding area. No roof equipment screens are indicated on the drawings. The applicant should note that roof equipment, if any, must be screened with compliant materials.

The drawings indicate the dumpster facades to be 100% split faced block. This material is not permitted in Façade Region 1. The Façade Ordinance requires the dumpster enclosure be constructed of compliant materials matching the primary building, in this case brick.



**Recommendation** – This application is in full compliance with the Façade Ordinance, contingent upon the following revisions and clarifications;

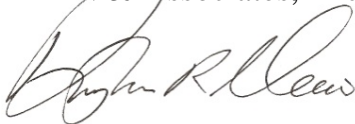
1. A sample board illustrating harmonious colors should be provided at least 5 days before the Planning Commission meeting.
2. The dumpster should be revised to brick.
3. Materials for any roof equipment screens should be indicated on the drawings. The material must comply with the Façade Chart, for example flat metal panels. It should be noted that ribbed metal panel are not permitted in façade Region 1.

**Inspections** – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

**FIRE REVIEW**



September 25, 2014

**December 9, 2014**

TO: Barbara McBeth- Deputy Director of Community Development  
Kristen Kapelanski- Plan Review Center  
Sri Komaragiri- Plan Review Center

**CITY COUNCIL**

**Mayor**

Bob Gatt

**Mayor Pro Tem**

Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Doreen Poupard

**City Manager**

Pete Auger

**Director of Public Safety**

**Chief of Police**

David E. Molloy

**Director of EMS/Fire Operations**

Jeffery R. Johnson

**Assistant Chief of Police**

Victor C.M. Lauria

**Assistant Chief of Police**

Jerrold S. Hart

RE: Pre-Application meeting notes for 10/7/14

PSP#14-0166 – Novi Corporate Park (Parcel #2)

**PSP#14-0206**

**Project Description:**

New construction of a I-1 light Industrial building, approx.. 64,840 sq FT. This is for a shell build-out as there is not a proposed tenant at this time. Total site is approx. 4.85 acres in size.

**Comments:**

~~Under the Fire Department notes section 1 item need modification:~~

~~#3 Fire apparatus access drives to and from buildings through parking lots shall have a minimum fifty (50) feet outside turning radius and designed to support a minimum of thirty five (35) tons. Plans list roadways for only 25 ton.~~

~~Additional items to be noted on plans:~~

~~All Fire Hydrants shall be spaced approximately three hundred (300) feet apart on line in commercial, industrial, and multiple-residential areas.~~

~~Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other object for a minimum of 3 feet (914 mm). (International Fire Code)~~

~~Proximity to hydrant: In any building or structure required to be equipped with a fire department connection, the connection shall be located within one hundred (100) feet of a fire hydrant. (Fire Prevention Ord. Sec. 15-17)~~

**Novi Public Safety Administration**

45125 W. Ten Mile Road

Novi, Michigan 48375

248.348.7100

248.347.0590 fax

cityofnovi.org

**12/9/14- All Items Corrected**

**Recommendation:**

The above plan is **Recommended for approval.**

Joseph Shelton

A handwritten signature in black ink, appearing to read 'Joseph Shelton', with a stylized flourish at the end.

Fire Marshal- City of Novi

APPLICANT RESPONSE LETTER



46892 West Road, Suite 109  
Novi, Michigan 48377  
Phone: (248) 926-3701  
Fax: (248) 926-3765  
Web: www.alpine-inc.net

January 6, 2015

Sri Komaragiri  
City of Novi Community Development Department  
45175 West 10 Mile Road  
Novi, Michigan 48375

Re: **Novi Corporate Campus Parcel 2  
Preliminary Site Plan Response Letter  
City of Novi Review# JSP14-60**

Dear Ms. Komaragiri:

This letter is in response to the Plan Review Center Report received on December 26, 2014 for the above referred project:

**Planning Review dated December 23, 2014**

2. The building square footage listed within the building envelope (52,500 SF) will be revised on the Final Site Plan drawings to match the square footage under site data (64,840 SF).
3. A lighting and photometric plan compatible with the surrounding development will be provided with the Final Site Plan submittal.

**Landscape Review dated December 12, 2014**

1. The "Save" tree symbol will be added and removal Key will be enlarged on the Final Woodland Plan submittal.
2. A cross-section for the berm along 12 mile will be added to the Final Landscape Plan submittal.
3. The transformer location will be shown on the Final Landscape Plan submittal and will be screened.
4. An irrigation plan will be provided at Final Site Plan submittal. Estimated cost for the irrigation will also be indicated on the plan.

**URS Review dated December 12, 2014**

- 2a. An extension of the existing left turn lane at West Park Drive is proposed beyond the centerline of the proposed east access drive, followed by a 540 foot long taper back to the one lane section further east since the existing conditions do not permit widening on both sides of the Road.
- 2b. Proposed signage will be shown on the Final Site Plan.
- 2c. Detailed ramp grading will be provided at Final Site Plan.
- 2d. Additional detail will be provided on the existing pavement markings to be removed and proposed pavement markings at Final Site Plan.

**ECT Wetland Review dated December 19, 2014**

1. Wetland boundaries (as delineated/surveyed) and 25-foot wetland buffer boundaries will be clearly portrayed on the Final Site Plan submittal.
2. Overall areas of the existing wetlands and wetland buffers as well as impacts will be clearly indicated on the Final Site Plan submittal.
- 3.-6. Comments noted.
7. The applicant will provide correspondence for required MDEQ wetland permits to ECT as part of the Final Site Plan approval process.

**ECT Woodland Review dated December 19, 2014**

1. Trees which fall outside the proposed building envelope cannot be preserved due to required grading, parking lot and utility improvements.
2. Where woodland replacements are installed in a current non-regulated woodland area, provisions will be made that replacements trees will be preserved as planted.
3. Woodland permit will be obtained as required.
4. Woodland Replacement financial guarantee will be provided as required.
5. Applicant will pay into the City of Novi Tree Fund for any woodland replacement trees that cannot be placed on-site.
6. Woodland replacement material will follow City requirements as required.

**DRN & Associates, Architects review Dated December 21, 2014**

1. Sample board will be provided by the applicant.
2. Dumpster will be revised to brick for Final Site Plan submittal.
3. Materials for any roof equipment screens will be indicated on the drawings and will comply with the Façade Chart.

**City of Novi Fire Department Review dated December 9, 2014**

No response necessary

**Engineering Review dated December 23, 2014**

**General**

1. A note is provided on the plans that all work shall conform to the current City of Novi standards and specifications.
2. City standard detail sheets will be provided with the Stamping Set submittal.
3. A right-of-way permit will be obtained from City of Novi and Oakland County prior to construction by the applicant.
4. Soil borings will be provided under separate cover by the applicant during the application process.
5. A note is provided on the plans that compacted sand backfill shall be provided for all utilities within the influence of pavement and will be indicated on the Final Site Plan profiles.
6. Construction materials table for proposed utilities will be provided on the Final Site Plan.
7. Detailed utility crossing information will be provided on the Final Site Plan.
8. All utilities will be shown on the landscape plan with minimum 5-foot horizontal separation provided.
9. Light pole locations with typical foundation depth will be shown on the Final Site Plan submittal.

**Water Main**

10. A profile for all proposed water mains 8-inch and larger will be provided on the Final Site Plan submittal.
11. MDEQ permit applications and plans will be submitted to City of Novi for review and permitting.

**Sanitary Sewer**

12. A sanitary basis of design will be provided on the Final Site Plan submittal.
13. Note will be provided the 6-inch leads shall be minimum SDR 23.5 and mains shall be SDR 26.
14. Testing bulkheads and temporary sump will be illustrated on the Final Site Plan submittal.
15. Sanitary sewer profiles with elevations, slopes, and materials will be provided on the Final Site Plan.
16. MDEQ Permit applications and plans will be submitted to City of Novi for review and permitting.

**Storm Sewer**

17. Minimum cover of 3-feet shall be maintained over all storm sewers. In situations where the minimum cover cannot be achieved, Class V pipe will be specified with an absolute minimum cover of 2-feet. An explanation will be provided where the minimum cover depth cannot be achieved.
18. 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or more occurs will be provided on the Final Site Plan submittal.
19. 0.80 diameter depth above invert for pipe size increases will be shown on the Final Site Plan.

20. Storm manholes with differences in invert elevations exceeding two feet shall be noted to contain a 2-foot deep plunge pool.
21. The 10-year HGL will be shown on the storm sewer profiles with HGL at least 1-foot below the structure rims.
22. A casting schedule for storm structures will be provided on the Final Site Plan.
23. Roof conductors and their connection into the storm sewer will be shown on the Final Site Plan.

Storm Water Management Plan

24. Comment noted.
25. Storm water runoff will outlet into storm sewers and detention basin which has been previously approved and constructed.
26. Please see sheet 7 for the runoff coefficient calculations.
27. Please see sheet 7 which shows adequate volume in the existing detention basin.
28. The existing storm sewer stub on the south side of Parcel 6 was designed to accommodate the off-site flow. The analysis is provided on the Storm Water Management Plan. Additional detail will be provided at Final Site Plan.

Paving & Grading

29. A note will be provided on the Grading Plan stating the right-of-way pathway shall match existing grades at both ends.
30. Additional details for the right-of-way sidewalk will be provided on the Final Site Plan submittal.
31. Additional proposed elevations will be provided on the Final Site Plan submittal.
32. Traffic control plan for proposed 12 Mile Road work will be provided on the Final Site Plan submittal.

Off-Site Easements

- 33.-36. Required easements will be provided.

Items required at time of Preliminary Site Plan resubmittal

37. Letter is provided.

Items required at time of Final Site Plan submittal

38. Letter will be provided at Final Site Plan submittal.
39. Cost estimate will be provided at Final Site Plan submittal.

Items required at time of Stamping Set submittal

- 40.-45. Required agreements and easements will be provided.

Items required prior to construction

- 46.-55. Required items will be provided prior to construction.

If you have any questions please feel free to call our office at (248) 926-3701.

Regards,  
Alpine Engineering Inc.

  
Tom Gizoni, PE

Enclosures

cc: Dembs Development, Inc.