



TODAY'S DENTAL JSP16-47

Today's Dental JSP16-47

Public Hearing at the request of Dr. John Halmaghi for approval of Preliminary Site Plan, Woodland Permit, and Storm water Management Plan. The subject property is located in Section 15 of the City of Novi, south of Grand River Avenue and east of Taft Road, at 44911 Grand River Avenue. The applicant is proposing to construct a 6,688 square foot single-story office building with two tenant spaces and associated site improvements.

Required Action

Approval of the Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	03-08-18	<ul style="list-style-type: none"> • Planning Commission waiver for lack of berm along south edge of property adjacent to residential. • Items to be addressed on the final site plan submittal.
Engineering	Approval recommended	03-12-18	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.
Landscaping	Approval recommended	03-02-18 (Revised 03-23-18)	<ul style="list-style-type: none"> • Waiver for not meeting the minimum size requirement for landscape end island. • Waiver for allowing a painted island in lieu of required landscaped end island. • Waiver for reduction of required street trees. • Waiver for relocating building foundation landscape. • Items to be addressed on the final site plan submittal.
Wetland	Approval recommended	12-21-16	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.
Woodland	Approval recommended	12-21-16	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.
Traffic	Approval recommended		<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.
Façade	Approval recommended with a Section 9 Waiver.	03-07-18	<ul style="list-style-type: none"> • Requires a Section 9 Façade Waiver for not meeting the minimum brick on West and East facades • Items to be addressed on the final site plan submittal.
Fire	Approval recommended	02-21-18	<ul style="list-style-type: none"> • Items to be addressed on the final site plan submittal.

MOTION SHEET

Approval – Preliminary Site Plan

In the matter of Today's Dental, JSP16-47, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Section 9 Façade Waiver to allow reduction of percentage of minimum brick on West(30% minimum required, 20% provided) and East façades(30% minimum required, 27% provided) because the design is consistent with the intent of Façade Ordinance, which is hereby granted;
- b. A landscape waiver from Sec. 3.14.5.E and Sec. 5.5.3.A.vii for not providing a berm along the southern edge of the property adjacent to residential due to significant wetland and woodlands already existing, which is hereby granted;
- c. A landscape waiver from Section 5.5.3.C. for not meeting the minimum required square footage for landscape end island and not providing a tree within the island due to conflict with location of proposed fire hydrant, which is hereby granted;
- d. A landscape waiver for allowing a painted island in lieu of landscape end island to allow for convenient fire access within the site, which is hereby granted;
- e. A landscape waiver from Section 5.5.3.E.i.c and LDM 1.d. of Zoning Ordinance for absence of required street trees due to conflicts with utility lines, which is hereby granted;
- f. A landscape waiver from Section 5.5.3.D. for providing 276 square feet of required building foundation landscape in an area not adjacent to the building as it meets the intent of requirement, which is hereby granted;
- g. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- h. *(additional conditions here if any).*

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

- AND -

Approval – Woodland Permit

In the matter of Today's Dental, JSP16-47, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any).*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Today's Dental, JSP16-47, motion to recommend **approval** of the Stormwater Management Plan to the City Council based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. (additional conditions here if any).

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

- OR -

Denial – Preliminary Site Plan

In the matter of Today's Dental, JSP16-47, motion to **deny** the Preliminary Site Plan...(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Denial – Woodland Permit

In the matter of Today's Dental, JSP16-47, motion to **deny** the Woodland Permit...(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- AND -

Denial – Stormwater Management Plan

In the matter of Today's Dental, JSP16-47, motion to **deny** the Stormwater Management Plan...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

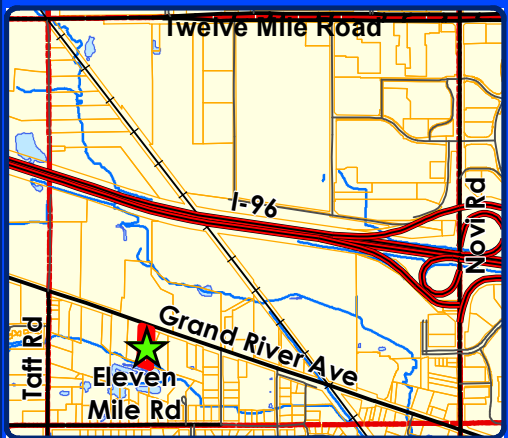
MAPS
Location
Zoning
Future Land Use
Natural Features

Today's Dental Location Map




**Subject
Property**

Section 15



LEGEND

 Sections



City of Novi

Community Development Department
Civic Center
45175 W Ten Mile Road
Novi, MI 48375
www.cityofnovi.org

Map Author: Kirsten Mellem
Date: 12/12/2016
Project: Today's Dental
Version #: 1



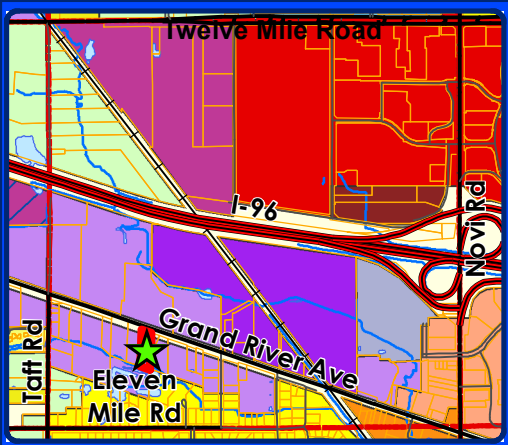
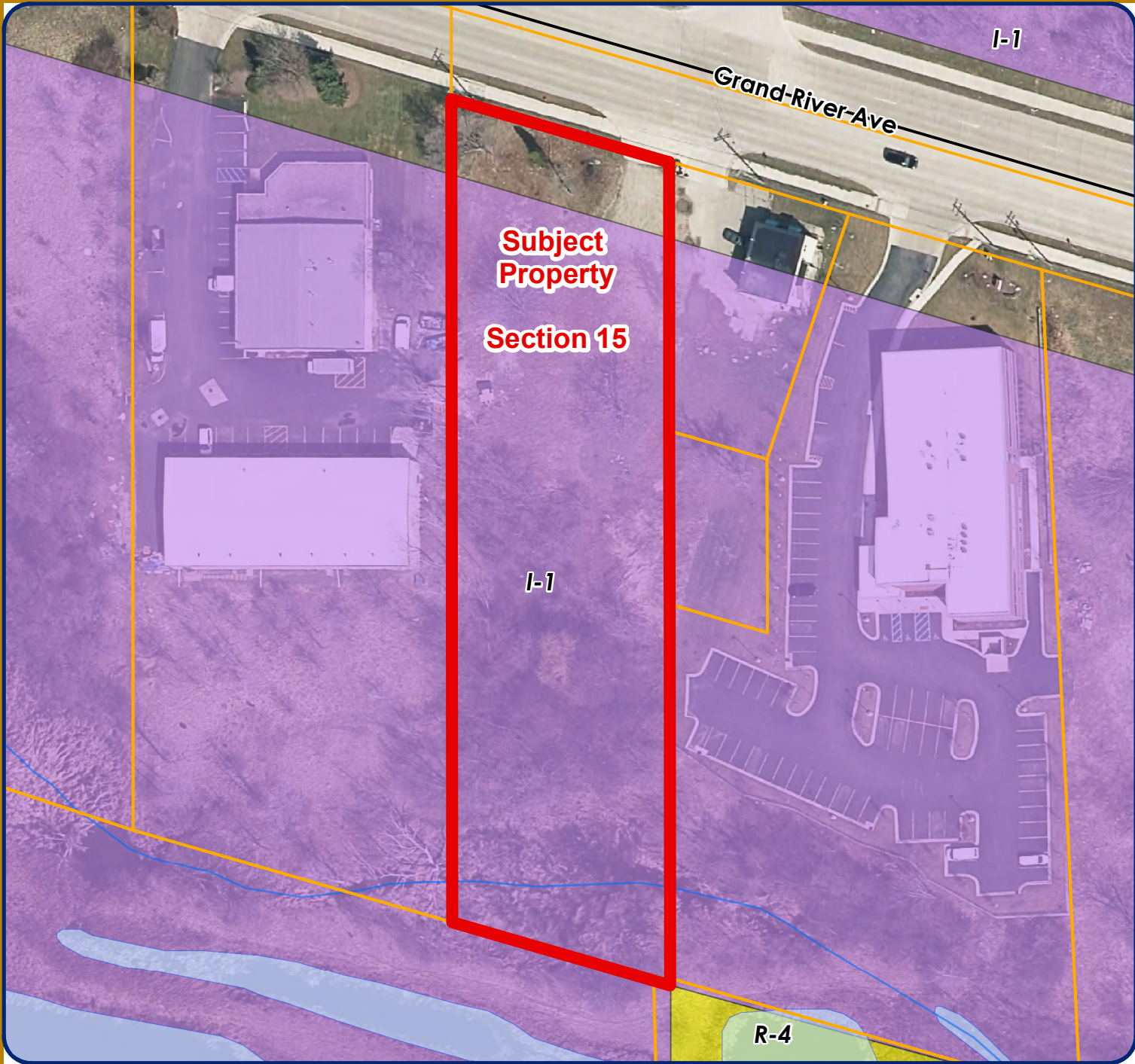
1 inch = 83 feet



MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City of Novi GIS Manager to confirm source and accuracy information related to this map.

Today's Dental Zoning Map



LEGEND

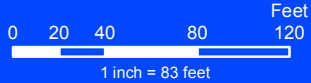
- Sections
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- B-3: General Business District
- C: Conference District
- EXO: OST District with EXO Overlay
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OST: Office Service Technology
- RC: Regional Center District
- TC: Town Center District
- TC-1: Town Center -1 District



City of Novi

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Civic Center
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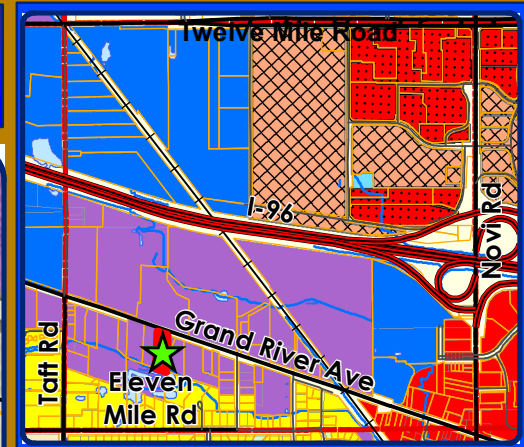
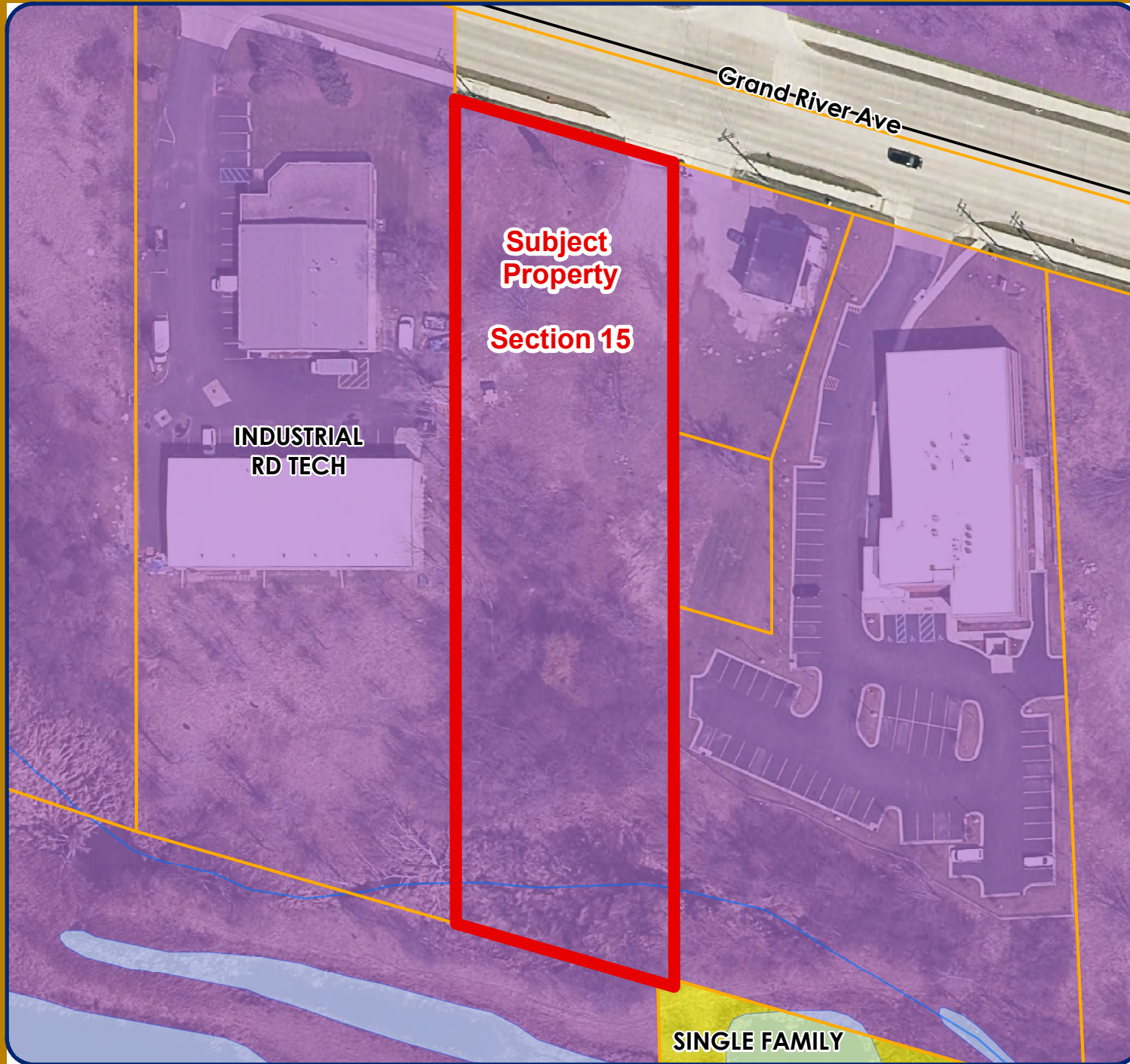
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Today's Dental Future Land Use Map



LEGEND

- Sections
- FUTURE LAND USE**
- Single Family
- Multiple Family
- Community Office
- Office RD Tech
- Industrial RD Tech
- Regional Commercial
- TC Commercial
- PD2
- Educational Facility
- Public
- Public Park
- Private Park
- Cemetery

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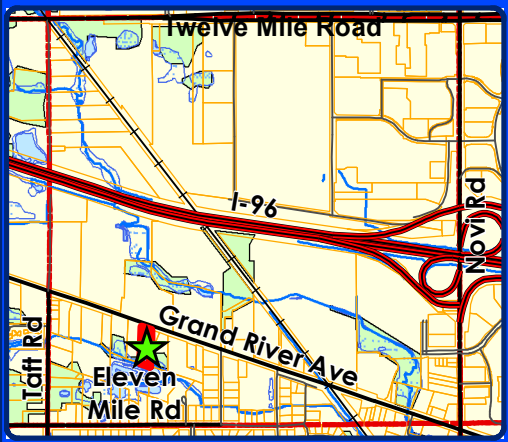
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0 20 40 80 120 Feet
 1 inch = 83 feet

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Today's Dental Future Land Use Map



LEGEND

- Sections
- WETLANDS
- WOODLANDS

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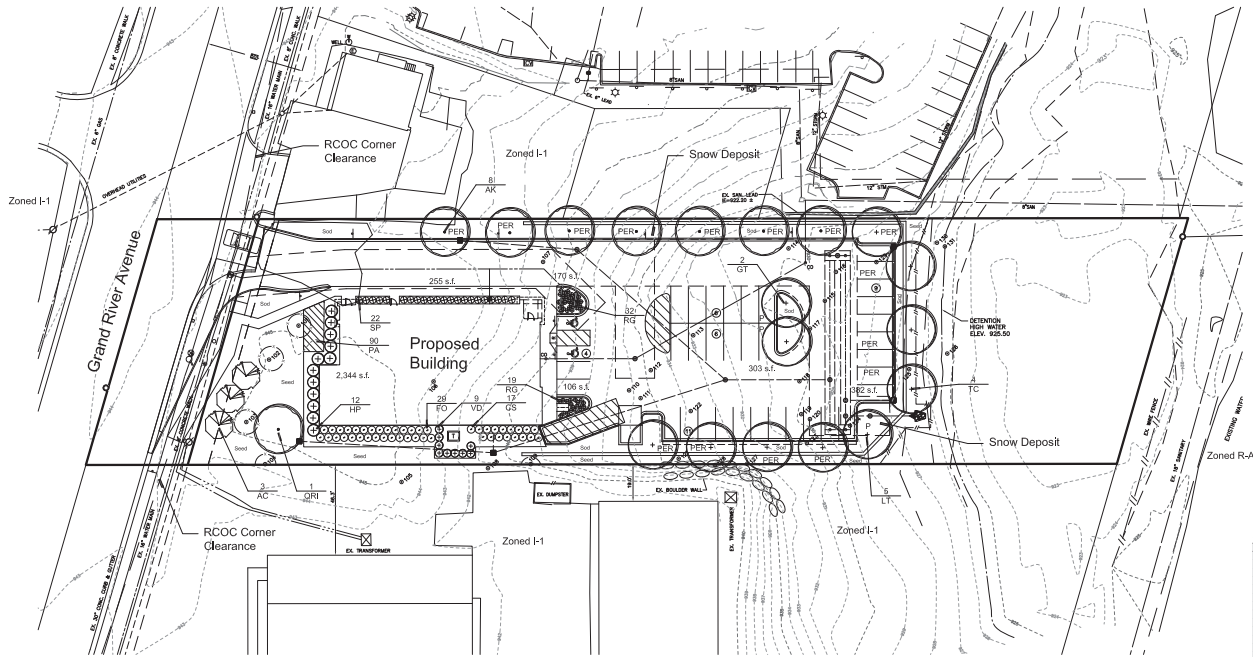
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



Landscape Summary

Existing Zoning	I-1
Parking Lot Landscaping	
Vehicular Use Area	10,488 s.f.
Landscape Area Required	835 s.f.
10,488 s.f. x 5% = 835 s.f.	
Landscape Area Shown	685 s.f.
Canopy Trees Required	3 Trees (685 / 200)
Canopy Trees Shown	3 Trees
Parking Lot Perimeter	
Perimeter	532 Lf
Trees Required	15 Trees (532 Lf / 35')
Trees Shown	15 Trees
Building Foundation Landscaping	
Perimeter of Building	352 Lf
Landscape Area Required	2,816 s.f. (352 Lf. x 8')
Landscape Area Shown	2,875 s.f.
Greenbelt Plantings	
Street Frontage	92 Lf. (130' - 38' drive opening)
Trees Required	2 Trees (92 Lf. / 40')
Trees Shown	3 Trees (3 Existing)
Sub-Canopy Trees Required	2 Trees (92 Lf. / 40')
Sub-Canopy Trees Shown	3 Trees
Street Lawn	
Street Frontage	130 Lf.
Trees Required	2.8 Trees (130 Lf. / 45')
Trees Shown	0 Trees
Woodland Replacement Requirements	
Required Replacements	1 Tree
Replacements Provided	1 Tree
Requested Waivers:	
1. Land Use Screening Berm Along South Edge of Site	
2. Street Lawn Plantings Cannot be Planted Due to Sight Visibility.	
3. Interior Parking Lot Landscape Area.	



Plant List

Qty	Botanical name	Common name	Caliper	Spacing	Root	Height	Price	Total
AC	Amelanchier canadensis 'Shadblow'	Shadblow Serviceberry	2.5"	as shown	B&B	8'	\$ 250.00	\$ 750.00
AK	Acer x. Freemanii 'Autumn Blaze'	Autumn Blaze Maple	3.0"	as shown	B&B	8'	\$ 400.00	\$ 3,200.00
CS	Cornus sericea	Red Osier Dogwood	30" - 36"	as shown	B&B	5'	\$ 50.00	\$ 850.00
FO	Forsythia x. intermedia	Forsythia	36"	as shown	B&B	5'	\$ 50.00	\$ 1,450.00
HP	Hydrangea p. 'Limo Light'	Limo Light Hydrangea	36"	as shown	cont	5'	\$ 50.00	\$ 800.00
GT	Gleditsia triacanthos v. 'Nimbus'	Honeylocust	3.0"	as shown	B&B	8'	\$ 400.00	\$ 800.00
LT	Liriodendron tulipifera	Tulip Tree	3.0"	as shown	B&B	8'	\$ 400.00	\$ 2,000.00
PA	Pennisetum alopecuroides 'Hameln'	Chief Fountain Grass		Full, well rooted 1 gal.		15.00'	\$ 15.00	\$ 1,350.00
RS	Rudbeckia l. 'Goldstrum'	Black Eyed Susan		as shown	No. 2 Cont.	15.00'	\$ 15.00	\$ 750.00
SP	Spirea 'Magd' 'Casper'	Magd' Casper Spirea	30"	as shown	cont	5'	\$ 50.00	\$ 1,100.00
TC	Tilia cordata 'Oreospire'	Oreospire Linden	3.0"	as shown	B&B	8'	\$ 400.00	\$ 1,600.00
VD	Viburnum dentatum	Aronwood Viburnum	30" - 36"	as shown	B&B	5'	\$ 50.00	\$ 450.00
S48	Sod (s.v.)					6.00'	\$ 6.00	\$ 3,288.00
S63	Sod (s.v.)					2.00'	\$ 2.00	\$ 1,308.00
Match	55' 4" Deep Shredded Hardwood Bark Match					885 s.v.	\$ 1	\$ 1,825.00
	Irrigation							\$ 8,000.00
Woodland Replacement								
Qty	Botanical name	Common name	Caliper	Spacing	Root	Height	Price	Total
OR	Quercus rubra	Red Oak	2.5"	as shown	B&B	8'	\$ 400.00	\$ 400.00
1	Thee Provided							
							Total	\$ 29,834.00

Seal:



Title:

Landscape Plan

Project:

Today's Dental
Novi, Michigan

Prepared for:

Alpine Engineering
46892 West Road
Novi, Michigan 48377
248.926.3701

Revision:

Issued:

Submission: November 18, 2016
Revised: February 9, 2018

Job Number:

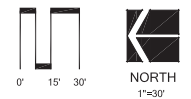
16-084

Drawn By:

Checked By:

ja

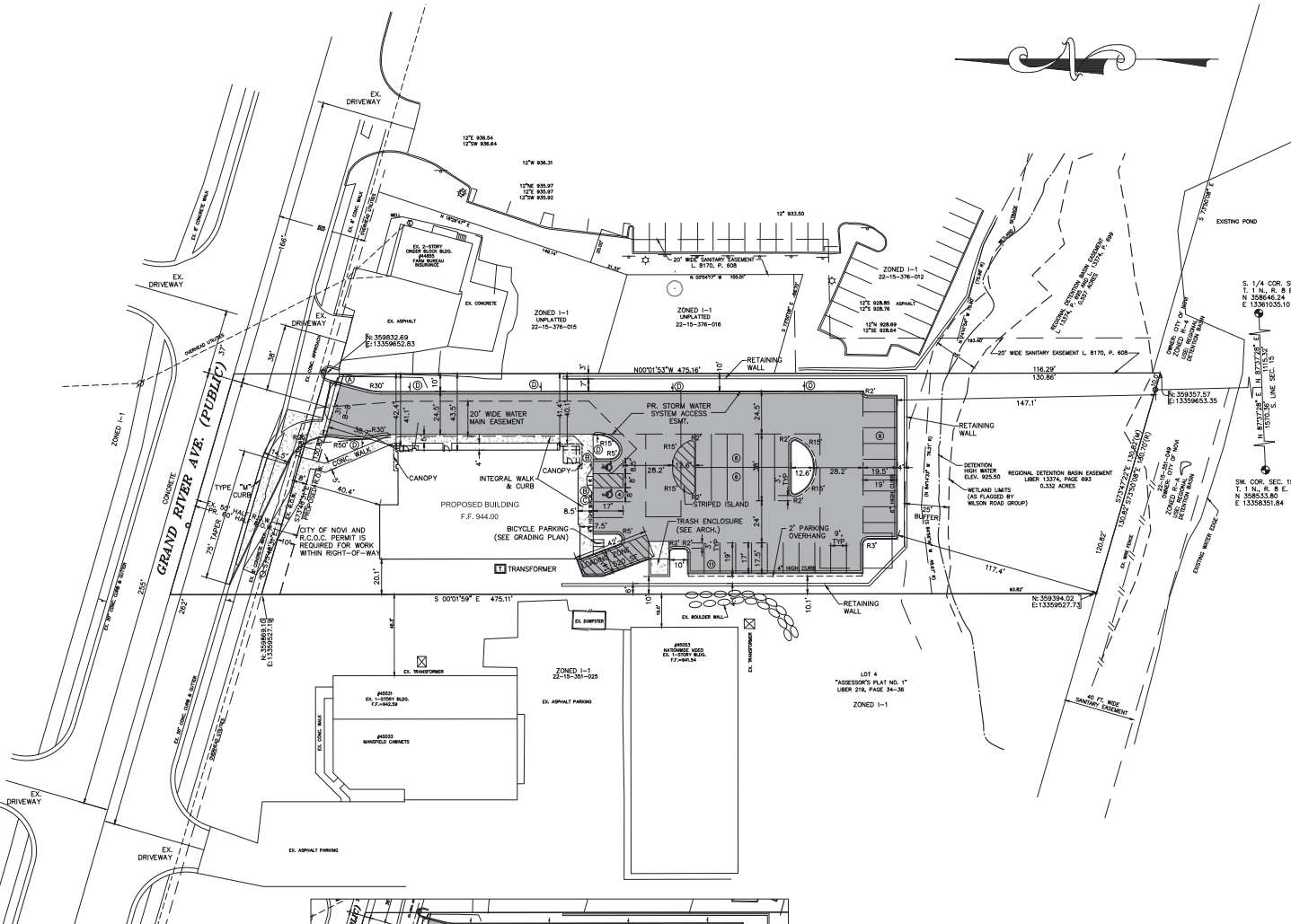
ja



Sheet No.



L-1



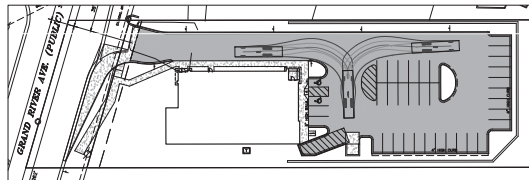
SITE DATA:
 ZONING: I-1 LIGHT INDUSTRIAL DISTRICT
 SITE AREA: 1.37 AC.± GROSS (1.34 AC.± NET-LESS ROW)
 PARCEL ID: 22-15-351-015
 BUILDING: GROSS BUILDING AREA 6,654 SF
 GROSS LEASABLE AREA 6,256 SF
 BUILDING COVERAGE: 11.6%
 OPEN SPACE: 50.7%
 BUILDING SETBACKS:
 FRONT (NORTH): 40 FT
 SIDE (EAST): 20 FT
 SIDE (WEST): 20 FT
 REAR (SOUTH): 100 FT
 PARKING SETBACKS:
 FRONT (NORTH): 40 FT
 SIDE (EAST): 10 FT
 SIDE (WEST): 10 FT
 REAR (SOUTH): 10 FT
 PARKING CALCULATIONS:
 PARKING REQUIRED: MEDICAL-DENTAL 1 SPACE / 175 S.F. OF GROSS LEASABLE AREA (6,256 / 175) = 36 SPACES
 PARKING PROVIDED: 36 SPACES ON-SITE (INCLUDES 2 H.C. SPACES)
 REQUIRED BICYCLE PARKING:
 REQUIRED: 1 SPACE FOR EACH 20 EMPLOYEES ON THE MAXIMUM SHIFT MINIMUM OF 2 SPACES
 MAX. EMPLOYEE SHIFT = 10
 2 SPACES REQUIRED
 PROVIDED: 2 BICYCLE PARKING SPACES
 SIDE AND REAR YARD PARKING CALCULATION:
 PARKING OCCUPANCY REQUIRED: LESS THAN 50%
 PARKING OCCUPANCY PROPOSED:
 SIDE AND REAR YARD AREA: 59,204 S.F.
 PARKING AREA: 6,270 S.F.
 SIDE AND REAR YARD PARKING OCCUPANCY: 16.0%

FIRE DEPARTMENT NOTES:
 1. WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
 2. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3" HIGH ON A CONTRASTING BACKGROUND.
 3. FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
 4. IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.
 5. IN ANY BUILDING OR STRUCTURE REQUIRED TO BE EQUIPPED WITH A FIRE DEPARTMENT CONNECTION, THE CONNECTION SHALL BE LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT.

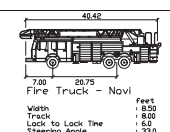
GENERAL SITE NOTES:
 1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOVI STANDARDS AND SPECIFICATIONS.
 2. ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
 3. EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOVI CODE.
 4. RIGHT OF WAY PERMIT IS REQUIRED FROM THE ROAD COMMISSION FOR OAKLAND COUNTY AND CITY OF NOVI FOR ANY WORK IN THE GRAND RIVER AVENUE ROAD RIGHT-OF-WAY.
 5. ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOVI, AND WHERE REQUIRED SHALL BE REVIEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
 6. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (2011 MUTCD).
 7. NOTIFY THE CITY OF NOVI A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
 8. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
 9. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
 10. ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDOT).
 11. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
 12. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
 13. IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DEWATERING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
 14. LIMITED TIMES FOR REFUSE PICKUP ARE 7AM TO 5PM.
 15. LONG TERM DELIVERY TRUCK PARKING IS NOT ALLOWED ON SITE.
 16. EXISTING DETENTION BASIN AND RETAINING WALL WILL PROVIDE SEPARATION FROM RESIDENTIAL ZONING.
 17. NO ADVERSE IMPACTS ANTICIPATED FOR THE PROPOSED OFFICE USE. USE WILL MEET THE PERFORMANCE STANDARDS.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.



FIRE TRUCK CIRCULATION PLAN
 SCALE: 1" = 50 FEET



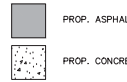
TRAFFIC SIGNING REQUIREMENTS

ITEM	MUTCD CODE	QUANTITY	SIZE	DESCRIPTION
Ⓐ	R1-1	1	24"x24"	STOP
Ⓑ	R7-8	2	12"x18"	RESERVED PARKING ONLY
Ⓒ	R7-BP	1	12"x6"	VAN ACCESSIBLE
Ⓓ	R7-9A MOD	6	12"x18"	NO PARKING FIRE LANE

TRAFFIC SIGNING AND STRIPING REQUIREMENTS

1. ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MUTCD.
2. SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS, LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
3. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE AND MARKINGS FOR NON-HANDICAPPED PARKING SPACES SHALL BE WHITE. WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY A BUTTING BLUE AND WHITE STRIPES.
4. AN END PARKING SPACE ADJUTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT. THESE WIDTHS ARE REFERENCED TO THE FACE OF CURB OR WALK.
5. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.

LEGEND:



COMMERCIAL SURVEYING
 SITE ENGINEERING
 INDUSTRIAL MULTISCALE
 CONSTRUCTION LAYOUT

RESIDENTIAL SURVEYING
 SITE ENGINEERING
 MULTISCALE CONSTRUCTION LAYOUT



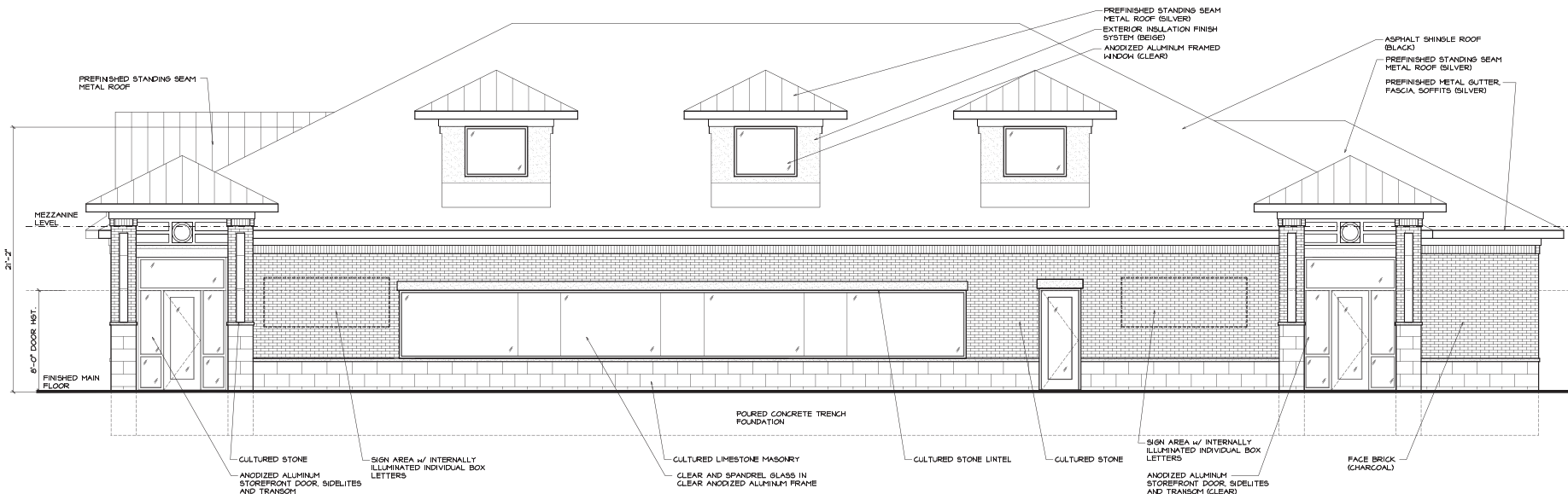
811
 Know what's below
 Call before you dig.

JOHN HALMAGHI D.D.S.
PRELIMINARY SITE PLAN
 DENTAL OFFICE BUILDING - 44911 GRAND RIVER AVE
 TOWNSHIP: 15
 SECTION: 15
 OAKLAND COUNTY MICHIGAN

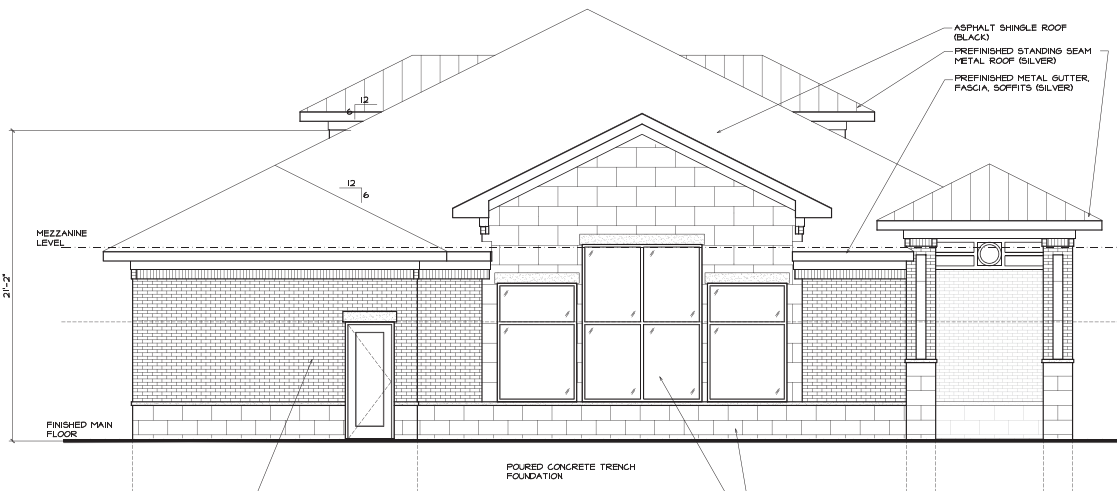
CLIENT:
 REVISED
 2017-12-04 PER CLIENT
 2018-02-09 REV. PER CITY

DATE: 2016-11-18
 DRAWN BY: TC
 CHECKED BY: SD/TC

SCALE: HOR 1"=30 FT
 VER 1"=6 FT
 16-397



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH (PARKING LOT) ELEVATION
SCALE: 1/4" = 1'-0"



FAÇADE FINISH MATERIAL TAKEOFF

EAST ELEVATION

BRICK	571 SF = 27%
CULTURE LIMESTONE MASONRY	309 SF = 15%
EPIC	57 SF = 3%
SPANDREL GLASS	51 SF = 2%
ASPHALT SHINGLE ROOF	669 SF = 32%
STANDING SEAM ROOF	227 SF = 11%
TOTAL	2063 SF = 100%

NORTH ELEVATION

BRICK	763 SF = 49%
CULTURE LIMESTONE MASONRY	171 SF = 11%
SPANDREL GLASS	34 SF = 2%
ASPHALT SHINGLE ROOF	509 SF = 32%
STANDING SEAM ROOF	87 SF = 5%
TOTAL	1564 SF = 100%

WEST ELEVATION

BRICK	425 SF = 20%
CULTURE LIMESTONE MASONRY	351 SF = 16%
EPIC	57 SF = 3%
SPANDREL GLASS	119 SF = 6%
ASPHALT SHINGLE ROOF	1035 SF = 47%
STANDING SEAM ROOF	227 SF = 10%
TOTAL	2214 SF = 100%

SOUTH ELEVATION

BRICK	345 SF = 31%
CULTURE LIMESTONE MASONRY	331 SF = 29%
ASPHALT SHINGLE ROOF	365 SF = 32%
STANDING SEAM ROOF	87 SF = 8%
TOTAL	1127 SF = 100%

Sheet Title:
Elevations

Project Number: 16633
Drawn By: RW
Checked By: RJC
Approved By: AJM
Date: 9-1-16

ISSUED:	Updated
Owner Review 10-12-16	01-09-18
Owner Review 10-19-16	Site Plan Review Resubmitted 02-08-18
Owner Review 11-2-16	
Owner Review 11-11-16	
Owner Review 11-16-16	
Owner Review 11-23-16	
Owner Review 11-30-16	
Owner Review 12-17-17	

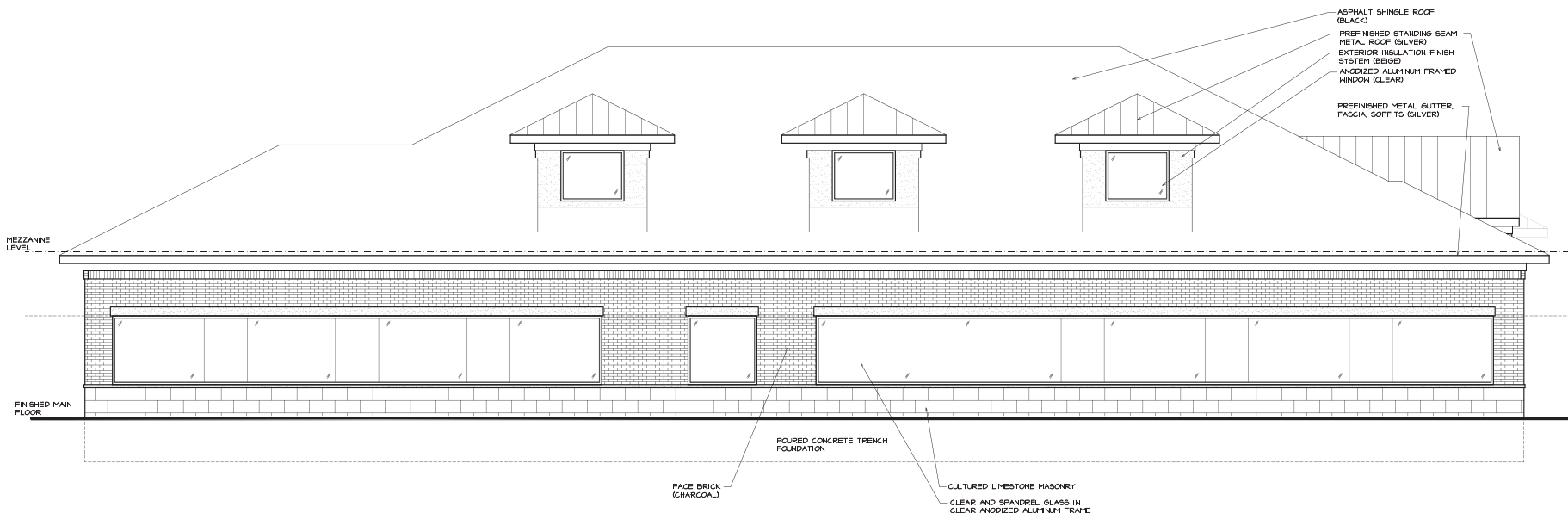
Sheet Number:

A-3

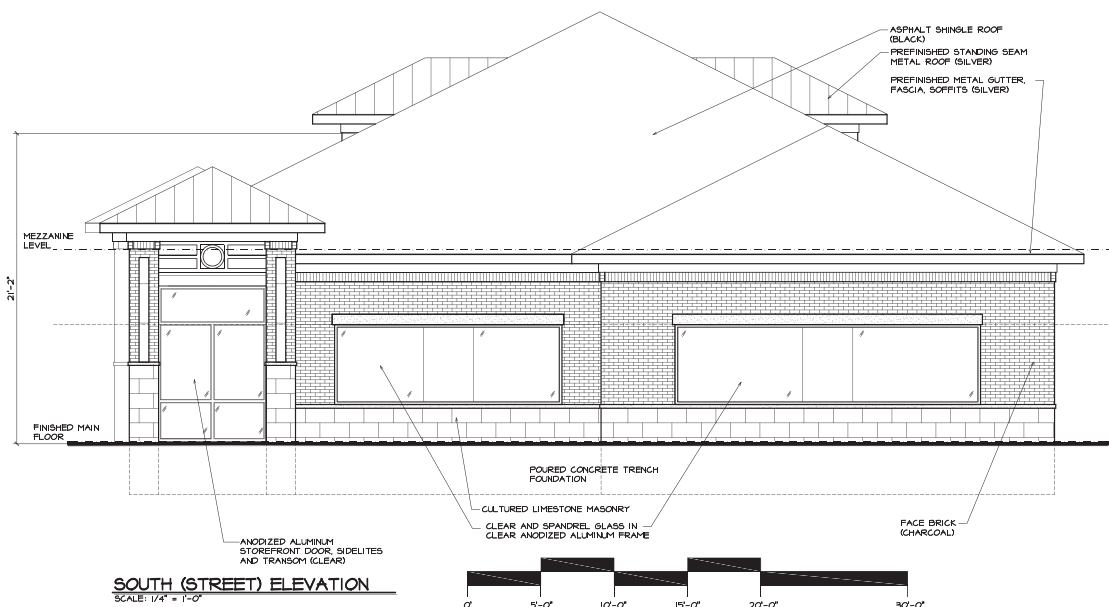
THE DESIGN PROFESSIONAL IN CHARGE FOR MGA ARCHITECTS IS ANDREW J. MOISEW, MIA LICENSE NUMBER 31108



ISSUED:	Updated
Owner Review 10-12-16	01-09-18
Owner Review 10-19-16	Site Plan Review Resubmitted 02-09-18
Owner Review 11-2-16	
Owner Review 11-11-16	
Owner Review 11-16-16	
Owner Review 11-23-16	
Site Plan Review 11-30-16	
Owner Review 12-17-17	



WEST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH (STREET) ELEVATION
SCALE: 1/4" = 1'-0"

FAÇADE FINISH MATERIAL TAKEOFF

EAST ELEVATION

BRICK	571 SF = 27%
CULTURE LIMESTONE MASONRY	309 SF = 15%
EIFS	571 SF = 28%
SPANDREL GLASS	51 SF = 2%
ASPHALT SHINGLE ROOF	666 SF = 32%
STANDING SEAM ROOF	227 SF = 11%
	2083 SF = 100%

NORTH ELEVATION

BRICK	763 SF = 49%
CULTURE LIMESTONE MASONRY	171 SF = 11%
SPANDREL GLASS	34 SF = 2%
ASPHALT SHINGLE ROOF	509 SF = 32%
STANDING SEAM ROOF	61 SF = 4%
	1564 SF = 100%

WEST ELEVATION

BRICK	425 SF = 20%
CULTURE LIMESTONE MASONRY	351 SF = 16%
EIFS	571 SF = 28%
SPANDREL GLASS	119 SF = 5%
ASPHALT SHINGLE ROOF	1035 SF = 47%
STANDING SEAM ROOF	227 SF = 10%
	2214 SF = 100%

SOUTH ELEVATION

BRICK	345 SF = 31%
CULTURE LIMESTONE MASONRY	331 SF = 29%
ASPHALT SHINGLE ROOF	365 SF = 32%
STANDING SEAM ROOF	61 SF = 5%
	1127 SF = 100%

TODAY'S DENTAL OFFICE
BUILDING
EXTERIOR FINISH
SAMPLE BOARD
Grand River Avenue
Project #PSP16-0190



WINDOWS
Clear Anodized Aluminum Storefront
Window System
Grey Tint Glass



ASPHALT SHINGLES
Owens Corning-Oakridge Shingle
Twilight Black



EIFS AT DORMERS
Grey



FACE BRICK
Glen-Gery Brick
Black Pearl wirecut



STANDING SEAM METAL ROOF
ROOF TRIM, FASCIA,
SOFFITS AND GUTTERS
Factory applied Silver Paint Finish

CULTURED LIMESTONE
Amicraft REN758



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

Mach 8, 2018

Planning Review

Today's Dental

JSP 16-47

PETITIONER

John Halmaghi

REVIEW TYPE

Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	15	
Site Location	44911 Grand River Avenue	
Site School District	Novi Community School District	
Site Zoning	I-1: Light Industrial	
Adjoining Zoning	North	I-1: Light Industrial
	East	I-1: Light Industrial
	West	I-1: Light Industrial
	South	I-1: Light Industrial and R-4: One-Family Residential (SE corner)
Current Site Use	Vacant	
Adjoining Uses	North	Light Industrial, Prairie Material
	East	Office, Homesite Mortgage
	West	Office, Mansfield Cabinets
	South	Regional Detention Basin
Site Size	1.37 acres	
Plan Date	February 09, 2018	

PROJECT SUMMARY

The applicant is proposing 6,688 sq. ft. office building with two tenant spaces, which one is proposed as a dental office, and associated site improvements.

The current submittal is made to address concerns from Fire and Façade review as they were not recommending approval earlier. The applicant was unable to get an access easement from the neighbor's property to propose a secondary access easement. As an alternative, he proposed a T-turn around in the parking lot per Fire's recommendation.

RECOMMENDATION

Approval of the revised ***Preliminary Site Plan is recommended***. The plan mostly conforms to the requirements of the Zoning Ordinance, with a few items needing to be addressed. **Planning Commission's approval for Preliminary Site Plan, Woodland Permit, and Stormwater Management Plan is required.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached chart for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. **I-1 Adjacent to Residential (Sec. 3.14.5.E) and (Sec. 5.5.3.A.vii):** For I-1 districts, adjacent to any residential district, an earth berm and plantings are required. Planning Commission may waiver or modify the requirements for an earth berm when adjacent to a woodland. Woodland areas shall provide sufficient width and density to provide the visual and audio screening that the

berm or wall would provide. **Applicant is requesting a waiver from Planning Commission of the earth berm requirement because of adjacent woodlands and existing regional detention basin easement.**

2. Exterior Lighting (Sec. 5.7): **Provide photometric plan with Final Site Plan submittal.**
3. Economic Impact Information: **Provide economic impact information (total cost of the proposed building and site improvements, number of anticipated jobs created – during and after construction) in the response letter for the Planning Commission meeting.**

OTHER REVIEWS

- a. Engineering Review: **Engineering recommends approval.**
- b. Landscape Review (03-02-18): **Landscape recommends approval.** Several waivers may be required.
- c. Wetlands Review (12-21-17): **Wetlands recommends approval.** No wetland permit is required; however an MDEQ determination letter is required. A wetland buffer authorization is required.
- d. Woodlands Review (12-21-17): **Woodland recommends approval.** A woodland permit, fence, and conservation easement is required.
- e. Traffic Review (12-22-17): Additional comments to be addressed with Final Site Plan. Fire recommends conditional approval.
- f. Façade Review (03-07-18): Façade is recommending approval of Section 9 waiver. Façade **recommends approval.**
- g. Fire Review (02-21-18): Additional comments to be addressed with Final Site Plan. Fire recommends conditional approval.

NEXT STEP: PLANNING COMMISSION MEETING

All reviews are recommending approval. The site plan is scheduled for a Public hearing on March 28th meeting. Please provide the following **no later than March 16, 2018.**

1. Original Site Plan submittal in PDF format dated 02-09-2018(maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and **a request for waivers as you see fit.**
3. A color rendering of the Site Plan, if any.
4. A sample board of building materials as requested by our Façade Consultant. The applicant can bring the material samples to the Planning Commission meeting.

FINAL SITE PLAN SUBMITAL

After receiving the Preliminary Site Plan approval, please submit the following for Final site plan review and approval

1. Seven copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. [Hazardous Materials Packet](#)
9. [Non-Domestic User Survey](#)
10. [No Revision Façade Affidavit](#) (if no changes are proposed for Façade)

ELECTRONIC STAMPING SET SUBMITAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

A new address is required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

This project does not require approval from the Street and Project Naming Committee.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri – Planner



PLANNING REVIEW CHART

Review Date: March 6, 2018
Review Type: Revised Preliminary Site Plan
Project Name: Today's Dental
Plan Date: February 09, 2018
Prepared by: Sri Ravali Komaragiri, Planner
E-mail: skomaragiri@cityofnovi.org; **Phone:** 248.735.5607

Items in **Bold** need to be addressed by the applicant before approval of the Final Site Plan. Underlined items need to be addressed on the Electronic Stamping sets.

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Industrial Research Development and Technology	No Change	Yes	
Area Study	The site does not fall under any special category	NA	NA	
Zoning <i>(Eff. Dec. 25, 2013)</i>	I-1: Light Industrial District	No Change	Yes	
Uses Permitted <i>(Sec 3.1.18.B & C)</i>	Sec 3.1.18.B Principal Uses Permitted. Sec 3.1.18.C Special Land Uses	6,588 sq. ft. dental/professional office building	Yes	
Height, bulk, density and area limitations (Sec 3.1.18)				
Frontage on a Public Street. <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Grand River Ave	Yes	
Access to Major Thoroughfare <i>(Sec. 5.13)</i>	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive	Access to Grand River Ave. provided	Yes	
Minimum Zoning Lot Size for each Unit in Ac <i>(Sec 3.6.2.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	

Item	Required Code	Proposed	Meets Code	Comments
Open Space Area	----	50.7%	Yes	
Maximum % of Lot Area Covered (By All Buildings)	(Sec 3.6.2.D)	11.6%	Yes	
Building Height (Sec. 3.1.18.D)	25 ft. (Sec. 3.14.5.C)	25 ft.	Yes	
Building Setbacks (Sec 3.1.18.D)				
Front (north)	40 ft.	40.4 ft.	Yes	100 ft. from southeast corner because it abuts residential – 147 ft. provided
Rear (south)	100 ft. (3.6.2.H)	297 ft.	Yes	
Side (east)	20 ft.	41.4 ft.	Yes	
Side (west)	20 ft.	20.1 ft.	Yes	
Parking Setback (Sec 3.1.18.D)& Refer to applicable notes in Sec 3.6.2				
Front (north)	40 ft. (See 3.6.2.E)	NA	Yes	No front yard parking proposed.
Rear (south)	10 ft.	117.4 ft.	Yes	
Side (east)	10 ft.	10 ft.	Yes	
Side (west)	10 ft.	10 ft.	Yes	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	No side yard abutting street	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	Off-street parking is allowed in front yard if: - the site is a min. 2 acres - does not extend into the min. req. front yard setback - cannot occupy more than 50% of the area between min. front yard setback & bldg. setback - must be screened by brick wall or landscaped berm - lighting compatible with surrounding neighborhood	No Parking proposed in front yard Site is 1.357 acres	NA	
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking is allowed in side and rear yards. However, if abuts residential the following conditions apply: - Cannot occupy more than 50% of the side or rear yard abutting a residential district. - Off-street parking shall be setback 100 ft. from the	16.4% parking occupies side/rear yards. 147.1 ft. from residential	Yes	Adjacent to residential on the southeast corner

Item	Required Code	Proposed	Meets Code	Comments
	residential district.			
Building Setback from Residential District (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one-hundred (100) feet, whichever is greater.	25 ft. x 5 ft. = 125 ft. 297 ft. proposed	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	A setback of 25ft from wetlands and from high watermark course shall be maintained	Buffer provided from regional detention pond.	Yes	
Additional Height (Sec 3.6.2.O)	Additional heights for selected building is allowed based on conditions listed in Sec 3.6.2.O	21.2 ft. proposed, applicant is not requesting additional height	NA	
Parking setback screening (Sec 3.6.2.P)	Required parking setback area shall be landscaped per sec 5.5.3.	Proposed	Yes	<i>See Landscape Review Letter for additional comments.</i>
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q	Parking setbacks conform to the minimum required.	NA	
Parking, Loading and Dumpster Requirements				
Number of Parking Spaces (Sec. 5.2.12) Professional offices of doctors, dentists, vets, etc.	1 for each 175 sq. ft. GLA for buildings over 5,000 sq. ft. 6,302 sq. ft. / 175 = 36 parking spaces required.	36 spaces proposed	Yes	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	9 ft. x 19 ft. spaces with 24 ft. drives 9 ft. x 17 ft. perimeter spaces along landscaping	Yes	Show 9' wide typical for parking spaces
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	No parking is near the street ROW or sidewalk	Yes	
End Islands (Sec. 5.3.12)	-End Islands with landscaping and raised curbs are required	Proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 ft. wide, have an outside radius of 15 ft., and be constructed 3 ft. shorter than the adjacent parking stall as illustrated in the Zoning Ordinance.	Proposed		
Barrier Free Spaces <i>Barrier Free Code</i>	2 barrier free parking spaces (for total 26 to 50) with 1 being van accessible	2 barrier free van accessible spaces are provided.	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	- 8 ft. wide with an 8 ft. wide access aisle for van accessible spaces - 5 ft. wide with a 5 ft. wide access aisle for regular accessible spaces	2 van accessible spaces with one shared access aisle provided.	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Proposed.	Yes	
Minimum number of Bicycle Parking (Sec. 5.16.1) <i>Medical Offices</i>	1 space for each 20 employees on the maximum shift, minimum of 2 spaces 10 employees = 2 spaces required	1 bike rack proposed for 2 bicycles	Yes	
Bicycle Parking General requirements (Sec. 5.16)	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk	Proposed NA Proposed Proposed	Yes	
Bicycle Parking Lot layout (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Proposed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Loading Spaces (Sec. 5.4.3)	Loading area in the rear yard AND in interior side yard if it is adjacent to I, EXPO or EXO	Loading area is proposed in the interior side yard.	Yes	
Accessory Structures				
Dumpster (Sec 4.19.2.F)	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building OR - Greater than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft. from property line. - Away from Barrier free Spaces 	Yes No Yes Yes Yes	Yes	
Dumpster Enclosure (Sec. 21-145. (c))	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 	Yes Yes Yes Yes Face brick to match building	Yes	
Roof top equipment and wall mounted utility equipment (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building		Yes	Note provided on Sheet 2, General Site Notes #2
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.		Yes	Note provided on Sheet 2, General Site Notes #2
I-1 District Required Conditions (Sec 3.14)				
Outdoor Storage of above ground storage tanks (Sec. 3.14.1.B.ii)	Outdoor placement of above-ground storage tanks of not more than 600 gallon capacity per tank and accessory to an otherwise permitted use. Additional conditions apply	None Proposed	NA	

Item	Required Code	Proposed	Meets Code	Comments
Outdoor Storage of recreational equipment (Sec. 3.14.1.B.iii)		None Proposed	NA	
Other (Sec 3.14.2)	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	Dental Office	Yes	Professional offices are not retail. No retail establishments allowed in the building.
Adjacent to Freeway ROW (Sec 3.14.4)	Where a permitted use abuts a freeway right-of way , special conditions listed in section 3.14.4 apply.	Not adjacent to Freeway ROW	NA	
Adjacent to Residential district (Sec 3.14.5)	Where a permitted use abuts a residential district, special conditions listed in section 3.14.5 apply.	Adjacent to R-4 at Southeast corner	Yes	
A. Truck Well, Loading Dock	No truck well, loading dock shall be permitted on or in wall faces the abutting residential district. Only emergency doors.	None proposed.	Yes	
B. Off-Street Parking	No outside storage except a dumpster. Limited hours of pickup from 7am-5pm. 100 ft. from boundary of residential district and screened.	Dumpster proposed and note provided.	Yes	Note provided on Sheet 2, General Site Notes #14 & #15
C. Max Height	25 ft. max height	25 ft.	Yes	
D. Exterior Lighting	No floodlighting	Unknown	No	Provide lighting plan.
E. Earth Berm	Earth berm and plantings are required, may be modified or waived by Planning Commission if adjacent to a woodland.	None proposed, adjacent to a woodland.	Yes	Note provided on Sheet 2, General Site Notes #16. Planning Commission waiver for woodland area instead of required berm (Sec. 5.5.3.A.vii).
F. Windows & Doors	Windows/doors of non-office use may not be left open	All uses are office.	Yes	
Planning Commission findings for permitted uses (Sec 3.14.3)				
Adverse Impacts (Sec 3.14.3.A)	Protecting current and future residential uses from development impact.	Adjacent to R-4 at southeast corner.	Yes	Conservation Easements, Sanitary Easement, and Regional Detention Basin Easement separate this use from the Residential District.

Item	Required Code	Proposed	Meets Code	Comments
Long term truck parking (Sec 3.14.3.B)	No long term delivery truck parking on site.	None proposed.	Yes	Note provided on Sheet 2, General Site Notes #15
Performance standards (Sec 3.14.3.C)	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14	Office use, no adverse impacts anticipated.	Yes	Note provided on Sheet 2, General Site Notes #17
Storage and/use of material (Sec 3.14.3.D)	The storage and/or use of any volatile, flammable, or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or hazardous materials.	Checklist and form provided.	Yes	
Hazardous material checklist (Sec 3.14.3.E)	Compliance of City's hazardous materials checklist	Checklist and form provided.	Yes	
Sidewalks and Pathways				
ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05,	<ul style="list-style-type: none"> - In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway. - Sidewalks along arterials and collectors shall be 6 ft. or 8 ft. wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance - Whereas sidewalks along local streets and private roadways shall be 5 ft. wide. 	No sidewalks proposed. Only access sidewalk to building from Grand River Ave. proposed.	Yes	Sidewalk already exists on Grand River Ave.
Pedestrian Connectivity	<ul style="list-style-type: none"> - Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets - Building exits must be 	Proposed sidewalk connection from all building entrances to parking lot and sidewalk access to Grand River Ave. from parking lot and building.	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	connected to sidewalk system or parking lot.			
Other Requirements				
Exterior lighting (Sec. 5.7)	Photometric plan and exterior lighting details needed with Final Site Plan submittal	None provided.	No	Provide lighting plan with Final Site Plan submittal.
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
Economic Impact Information	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known)	None provided.	No	Provide information on total cost of the proposed building & site improvements, number of anticipated jobs created during construction and after building occupied.
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Business name is Today's Dental – franchise name, no committee approval required.		
Development/ Business Sign	Signage if proposed requires a permit from Ordinance. It is not regulated by the Planning Commission or the Planning Division.	Proposed		<u>For sign permit information contact Ordinance 248-347-0438.</u>

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. **Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.**

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

03/12/2018

Engineering Review

Today's Dental Office
JSP16-0047

Applicant

HALMAGHI, VICTOR TRUST

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: South of Grand River, East of Taft Road
- Site Size: 1.357 acres
- Plan Date: 02/09/2018
- Design Engineer: Alpine Engineering, Inc.

Project Summary

- Construction of an approximately 6,770 square-foot dental office building and associated parking. Site access would be provided by a single curb cut off Grand River Avenue.
- Water service would be provided by a 2-inch lead from the existing 16-inch water main along the south side of Grand River Avenue.
- Sanitary sewer service would be provided by a 6-inch lead to the existing 8-inch sanitary sewer along the east property line of the parcel to the east.
- Storm water would be collected by a single storm sewer collection system with on-site underground detention for the bankfull volume, discharged to the Grand River Regional Detention Basin.

Recommendation

Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed upon Final Site Plan submittal):

General

1. A right-of-way permit will be required from the City of Novi and the Road Commission for Oakland County.
2. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
3. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
4. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided; or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
5. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
6. Show the locations of all light poles on the utility plan and indicate the typical foundation depth for the pole to verify that no conflicts with utilities will occur. Light poles in a utility easement will require a License Agreement.
7. The City standard detail sheets should NOT be included in the Final Site Plan submittal. They will be required with the Stamping Set submittal. Newly revised City standard detail sheets for water main, sanitary sewer, storm sewer, paving, and pathways and boardwalks are to be included with the stamping sets. These newly updated standard detail sheets are available on the City's website at <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>.

Water Main

8. Provide a profile for all water main 8-inch and larger.
9. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are

anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

10. Provide a sanitary sewer basis of design using the City's standard sewer unit factors on the utility plan.

Storm Sewer

11. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
12. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
13. Match the 0.80 diameter depth above invert for pipe size increases.
14. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
15. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the underground detention system, unless the pre-treatment unit provides for oil/water separation.
16. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
17. Illustrate all pipes intersecting storm structures on the storm profiles.
18. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

Storm Water Management Plan

19. Provide the overland routing that would occur in the event the underground system cannot accept flow. This route shall be directed to a recognized drainage course or drainage system.
20. Provide soil borings in the vicinity of the proposed underground detention system to determine bearing capacity and the high water elevation of the groundwater table.
21. Provide a table or note addressing the required bedding depth vs. bearing capacity of the underlying soils in the vicinity of the underground detention system per the manufacturer's specifications. Include a note that the owner's geotechnical engineer shall verify the bearing capacity of the native soils to verify adequate bedding depth is provided.
22. Provide an isolator row in the underground detention system in addition to pre-treatment unit.
23. The underground storage system shall include 4-foot diameter manholes at one end of each row for maintenance access.
24. Provide critical elevations (low water, first flush, bank full, top of pipe, and pavement elevation) on the underground detention system cross-section. Ensure there is at least 1 foot of freeboard between high water elevation and the subgrade elevation under the pavement.

25. The underground detention system shall be kept outside the influence of any planting areas.

Paving & Grading

26. Refer to the newly issued City standard paving details and delete any redundant details from the plan set.

Soil Erosion and Sediment Control

27. A SESC permit is required. The review checklist detailing all SESC requirements is attached to this letter. Submit SESC permit application and plans under separate cover to the Community Development department.

Off-Site Easements

28. Any off-site utility, access or temporary grading easements anticipated must be executed **prior to final approval of the plans**. Drafts of the easements and a recent title search shall be submitted to the Community Development Department as soon as possible for review, and shall be approved by the Engineering Division and the City Attorney prior to executing the easements.

The following must be submitted at the time of Final Site Plan submittal:

29. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
30. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.
31. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of Stamping Set submittal:

32. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.

33. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
34. A draft copy of the 20-foot wide access easement to the sanitary sewer monitoring manhole on the site must be submitted to the Community Development Department.
35. A draft copy of the warranty deed for the additional right-of-way along Grand River Avenue must be submitted for acceptance by the City.
36. Executed copies of any required off-site easements must be submitted to the Community Development Department.

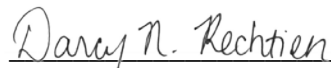
The following must be addressed prior to construction:

37. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
38. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. There is no fee for this permit.
39. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
40. A permit for work within the right-of-way of Grand River Avenue must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
41. A permit for work within the right-of-way of Grand River Avenue must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
42. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
43. Construction Inspection Fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.
44. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction

- meeting. An exact figure will be determined at the time of Final Site Plan approval.
45. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted with Community Development.
 46. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at Community Development.
 47. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechtien at (248) 735-5695 with any questions.



Darcy N. Rechtien, P.E.

cc: Theresa Bridges, Engineering
George Melistas, Engineering
Sri Komaragiri, Community Development

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

March 2, 2018 (Revised 03-23-18)

Revised Preliminary Site Plan -

Landscaping

Dental Office Building

Review Type

Revised Preliminary Site Plan Landscape Review

Property Characteristics

- Site Location: 44911 Grand River Ave
- Site Acreage: 1.4 acres
- Site Zoning: I-1
- Adjacent Zoning: East, South, West, North: I-1
- Plan Date: February 9, 2018

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary/Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

The plan is **recommended for approval**. Please make the changes requested below on the Final Site Plans.

Landscape Waivers

Three landscape waivers are required, and a fourth may be:

1. A waiver to allow 276 sf of the provided building foundation landscape area in locations not at the building base. *Supported by staff because those areas are behind the building and are only across the access way from the building.*
2. A waiver is required for the lack of an interior parking lot endcap island. *This configuration was arrived at in cooperation with the Fire Marshal so it is supported by staff.*
3. A waiver to not plant the required street tree because of utility conflicts may be requested if conflicts take away any suitable place for the tree. *This would be supported by staff.*

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. A complete tree survey and removal plan is provided.
2. Three existing trees are being preserved at the north end of the site. The wetland at the south end of the site is completely preserved.
3. **In order to improve the view to the wetland south of the site, it is recommended that the applicant remove the dense tangle of large invasive shrubs (mainly honeysuckle) in the preserved area to the south and treat the cut stumps with herbicide to prevent their re-growth. This is not a requirement, but it would add to the visual and ecological quality of the site.**

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential so no screening berms are required.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. As the parking lot is entirely behind the building, no berm is required in the greenbelt.
2. Based on the 131 linear feet of frontage, less the width of the access way, 2 canopy trees or large evergreens, and 3 subcanopy trees are required. 3 existing trees to remain meet this requirement.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. Based on the frontage, less the width of the RCOC sight vision clearance zone, only 1 street tree is required. None are provided.
2. **If there is not room for a tree due to underground utility conflicts, a landscape waiver request for that tree would be supported by staff.**
3. **If there is room for the tree add it. If the RCOC does not allow it, it doesn't need to be planted, but documentation of the RCOC's decision needs to be provided to the city.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Please indicate which areas are used for the area calculation, and for the perimeter calculation.
2. Based on the area provided, 524 sf of landscape islands are required, along with 3 trees.
3. 682sf of island space and 3 trees are provided, but the central island is not large enough to support 2 trees at 200sf/tree.
4. A second interior island would normally be required as an endcap for the central parking spaces. As the applicant was not able to obtain a secondary access point from the property to east and site grades did not allow an access point to the west, the island was removed at the request of the Fire Marshal. The required area and trees can be made up elsewhere on the site. *For these reasons, staff supports this landscape waiver request.*
5. **Please enlarge the endcap island at the southeast corner of the building to at least 200 sf and move one of the trees from the central island to that island. The proposed hydrant will probably have to be shifted to keep the tree 10 feet away from the hydrant and out of the water easement.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

1. As noted above, **please show a line used as the basis of the perimeter.** It should include all of the access drive and parking lot, except for the sections immediately adjacent to the building. Based on this I measure the perimeter to be 613 lf, not 523 lf.
2. **3 additional canopy trees should be located along the access drive north of the building.**

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zone is blocked from Grand River by the building so no additional screening is required.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. Based on the building perimeter, 2816 sf of area is required, and 2875 sf are provided.
2. **As 276 sf of the provided area are not adjacent to the building, a landscape waiver is required. It would be supported by staff as the provided areas are in the rear and are just across the accessway from the building.**

Plant List (LDM 2.h. and t.)

Provided.

Planting Notations and Details (LDM)

Please revise the details and notes per the instructions on the landscape chart.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

1. Underground detention is provided so no detention landscaping is required.
2. If above-ground detention is required, it shall be landscaped per the ordinance.

Irrigation (LDM 1.a.(1)(e) and 2.s)

The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

1. Sixteen credits are taken for the 3 trees preserved along the northern edge of the property. This is allowed by the Landscape Design Manual.
2. **Please consider planting the replacement red oak in the wetland buffer instead of in the greenbelt to provide a better environment for its growth and to enhance the ecological benefits it will provide.**

Phragmites Control (Zoning Sec 5.5.6.C)

1. **Please survey the site for any populations of *Phragmites australis*.**
2. **If any are found (even a single plant), please show that on the topographical survey. If none are found, please add a note stating that.**
3. **If Phragmites is found, please add a treatment/control plan to the landscape plan and carry it out until the Phragmites are completely removed from the site.**
4. **Please continue to control the Phragmites on an ongoing basis.**

Corner Clearance (Zoning Sec 5.9)

RCOC clearance is provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or meader meader@cityofnovi.org.



LANDSCAPE REVIEW SUMMARY CHART – Revised Preliminary Site Plan

Review Date: March 2, 2018
Project Name: JSP16 – 0047: Dental Office Building
Plan Date: February 9, 2018
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan. Underlined items need to be addressed for Final Site Plan.

Three landscape waivers are required, and a fourth may be, but all would be supported by staff:

1. A waiver to allow 276 sf of the provided building foundation landscape area in locations not at the building base. *Supported by staff because those areas are behind the building and are only across the access way from the building.*
2. A waiver is required for the lack of an interior parking lot endcap island. *This configuration was arrived at in cooperation with the Fire Marshal so it is supported by staff.*
3. A waiver to not plant the required street tree because of utility conflicts may be requested if conflicts take away any suitable place for the tree. *This would be supported by staff.*

Please modify the list of requested waivers provided on the landscape plan as necessary.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	1"=30'	Yes	
Project Information <i>(LDM 2.d.)</i>	Name and Address	On cover sheet and Engineer title blocks	Yes	Please add project address to Landscape Plan.
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	Name, address and telephone number of the owner and developer or association	On cover sheet and Engineer title blocks	Yes	Please add project info to Landscape Plan.
Landscape Architect contact information <i>(LDM 2.b.)</i>	Name, Address and telephone number of RLA	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
Zoning (LDM 2.f.)	Include all adjacent zoning	<u>Parcel: I-1</u> <u>East, South, West,</u> <u>North: I-1</u>	Yes	Please correct zoning on parcel to south.
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	Sheet 3	Yes	
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	Sheet L-3	Yes	Tree labels, tree chart, proposed removals are all provided.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	No	No	Please include in plan set and refer to location on Landscape Sheet L-1.0 if not included on that sheet.
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants		Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Spot elevations are provided on Sheet 4. TW/BW elevations also provided on Sheet 4.	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	<ul style="list-style-type: none"> ▪ RCOC clear vision zone is provided at Grand River ▪ No evergreens are proposed. 	Yes	No trees or shrubs are proposed within clear vision zone.
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Sod is indicated on islands and around perimeter adjacent to parking.	Yes	Sod is indicated on islands.

Item	Required	Proposed	Meets Code	Comments
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ A minimum of 200sf unpaved area per tree planted in an island ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	All islands are labeled with their square footage	No	<ol style="list-style-type: none"> 1. Please increase the area of the island at the southeast corner of the building to at least 200sf and add a deciduous canopy tree there. 2. The fire hydrant may have to be shifted to the east to allow room for the required tree. 3. The center island shouldn't have 2 trees in it. The revised ordinance requires at least 200sf per tree. Please move one of those to a different location, such as the island at the southeast corner of the building, or in the island south of the dumpster (the perimeter tree can be shifted north).
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes/No	Yes	The spaces in the southern bay could be shortened to 17' if the curb is lowered to 4".
Contiguous space limit (j)	Maximum of 15 contiguous spaces	11 is maximum bay length	Yes	<ol style="list-style-type: none"> 1. Endcap islands and islands used to break up bays must be landscaped with a deciduous canopy tree. 2. Please add a tree to the endcap island at the southeast corner of the building.
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No	Yes	<ol style="list-style-type: none"> 1. As noted above, the island at the southeast corner of the building needs to be enlarged, and needs a tree. 2. When this occurs, please shift the

Item	Required	Proposed	Meets Code	Comments
				hydrant location such that the hydrant and water easement allow a tree to be planted at least 10 feet from the hydrant and 3 feet behind the curb.
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	The RCOC clear vision zone is provided at the entry.	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> A = x sf * 7.5 % = A sf 50,000 * 7.5% = 3750 sf 	NA		
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> B = x sf * 1% = B sf (xxx – 50000) * 1% = xxx sf 	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$ $A = 10488 * 5\% = 524 \text{ sf}$	NA		<ol style="list-style-type: none"> Please graphically indicate the area used for the calculation. Only the area of drive and parking starting at the southeast corner of the building and continuing southward needs to be used for this calculation. Perimeter plantings will still be required for the drive north of that point to the right-of-way line.
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		

Item	Required	Proposed	Meets Code	Comments
All Categories				
C = A+B Total square footage of landscaped islands	524 + 0 = 524 SF	682 sf	Yes	
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> 524/200 = 3 Trees 	3 trees	Yes/No	Please move one of the trees in the central island to the island at the southeast corner of the building.
Perimeter Green space	<ul style="list-style-type: none"> 1 Canopy tree per 35 lf 613/35 = 18 trees 	15 provided	No	1. Perimeter plantings are required along the entire paved perimeter, including the entry drive, less the edges adjacent to the building. 2. Please add 3 more trees along the drive at the north end of the site.
Parking land banked	<ul style="list-style-type: none"> NA 	None		
Berms, Walls and ROW Planting Requirements				
Berms				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	Landscaped berm 4.5-6 feet high required around all of residential part of project	None – the site does not abut any residential property		
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	No berms are required as the parking is entirely behind the building.			
Cross-Section of Berms (LDM 2.j)				
Slope, height and width	<ul style="list-style-type: none"> Label contour lines Maximum 33% Min. 3 feet flat horizontal area Minimum 3 feet high Constructed of loam with 6' top layer of topsoil. 	NA		
Type of Ground Cover		NA		

Item	Required	Proposed	Meets Code	Comments
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Retaining walls of varying heights are proposed around the parking lot.		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer				An engineer will need to design the walls, which will be reviewed with the building permits.
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	Not adj. to Pkg: 25ft	40 ft to building	Yes	
Min. berm crest width	None required	No	No	
Minimum berm height (9)	None required	No	No	
3' wall	(4)(7)	No		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ Not adj to Pkg: 1 per 60 ft ▪ $(131-30)/60 = 2$ trees 	3 existing trees	Yes	
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ Not adj to Pkg: 1 per 40 ft ▪ $(131-30)/40 = 3$ trees 	3 trees	Yes	
Canopy deciduous trees in area between sidewalk and curb <i>(Novi Street Tree List)</i>	<ul style="list-style-type: none"> ▪ Parking & No Parking: 1 tree per 35 lf ▪ $(131-96)/35 = 1$ trees 	0 trees	No	<ol style="list-style-type: none"> 1. If there is not room for the required street tree due to existing utilities, as appears to be the case, the applicant can request a landscape waiver, which would be supported by staff. 2. If there is no conflict, and the tree is proposed outside of the RCOC clear vision zone but the RCOC still doesn't allow it to be planted, it doesn't have to be planted elsewhere but

Item	Required	Proposed	Meets Code	Comments
				documentation of the RCOC's decision must be provided.
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Interior Street to Industrial subdivision (LDM 1.d.(2))	<ul style="list-style-type: none"> ▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW ▪ No evergreen trees closer than 20 ft. ▪ 3 sub canopy trees per 40 l.f. of total linear frontage ▪ Plant massing for 25% of ROW 	NA		
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)	Loading zones are to be in rear yard and screened from residential property.	The loading zone is screened from Grand River by the building, but is not screened to the sides.	Yes	As the site is not adjacent to residential property, the loading zone is sufficiently screened.
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	<ul style="list-style-type: none"> ▪ The transformer is located on the west side of the site. ▪ It is sufficiently screened. 	Yes	
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ 352 lf x 8ft = 2816 SF 	2875 sf	Yes	<ol style="list-style-type: none"> 1. Two of the landscape areas are across the sidewalk from the rear of the building. 2. As they are not immediately adjacent to the building, a landscape waiver is required for those areas, but it would be supported by staff as they are in the rear of the site and are close to the building.
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	If visible from public street a minimum of 60% of the exterior building	100% of the building frontage facing Grand River will be	Yes	

Item	Required	Proposed	Meets Code	Comments
	perimeter should be covered in green space	landscaped.		
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	Underground detention is proposed so no landscaping is required.	Yes	If above-ground detention is required, it will need to be landscaped per the ordinance requirements.
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> ▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	<ol style="list-style-type: none"> 1. Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its removal. 2. If none is found, please indicate that on the survey.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	Between Mar 15 and Nov 15.	No	Please add note
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	<ol style="list-style-type: none"> 1. The note regarding the 2-year period is provided. 2. The note regarding cultivation is not provided. 	Yes/No	Please add the cultivation note.
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	No		Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival. If xeriscaping is used, please provide information about plantings included.
Other information (LDM 2.u)	Required by Planning Commission	NA		1. Please change peat to compost in the planting mix in

Item	Required	Proposed	Meets Code	Comments
				Landscape Note #8. 2. Please change City of Novi Note #6 to say replacements of failed material should be within 3 months, or next appropriate planting period.
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) - Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		Yes	Yes	<u>Please change the unit cost for seed to \$3/sy.</u>
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Yes	Yes	
Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	Please add a callout stating that root ball dirt should be removed to expose the root flare.
Evergreen Tree		Yes	Yes	See above
Multi-stem Tree		Yes	Yes	See above
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	Please add note near property lines stating this.
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Landscape tree credit (LDM3.b.(d))		A total of 16 credits are earned by preserving the 3 trees in the front greenbelt.	Yes	Since the 3 existing greenbelt trees are being used for that requirement, an additional 3 replacement trees (for a total of 4) should be planted on the site.
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	2.5" canopy trees 6' evergreen trees		Yes	Please consider planting the red oak replacement tree in the wetland buffer instead of in the front yard to provide a better growing environment.
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are proposed.		
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities		TBD	1. Please clearly indicate any overhead lines. 2. If none exist, please add a note to landscape plan stating this.
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

WETLAND REVIEW

December 21, 2016

Ms. Barbara McBeth
City Planner
Community Development Department
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Today's Dental Office (JSP16-0047)
Wetland Review of the Preliminary Site Plan (PSP16-0190)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Today's Dental Office project prepared by Alpine Engineering, Inc. dated November 18, 2016 and stamped "Received" by the City of Novi Community Development Department on December 5, 2016 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance.

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter prior to the submittal of the Final Site Plan.

The following wetland related items are required for this project:

Item	Required/Not Required/Not Applicable
Wetland Permit (specify Non-Minor or Minor)	Not Required
Wetland Mitigation	Not Required
Wetland Buffer Authorization	Required
MDEQ Permit	Not Required
Wetland Conservation Easement	Not Required (Existing Regional Detention Basin Easement is already in place (Liber 13374, pp.695 and Liber 13374, pp. 699))

The proposed project is located south of Grand River Avenue between Taft Road and Clark Road in Section 15. The Plan proposes the construction of an approximately 6,700 square foot dental office, associated parking, utilities, and underground stormwater storage system.

Based on our review of the application, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached) it appears as if this proposed project site contains both City-Regulated Woodlands and City-Regulated Wetland areas. A regional stormwater detention basin easement also appears to be located on the south end of the subject property (Liber 13374, page 693, 695, and 699).

On-Site Wetland Evaluation

ECT visited the site on Wednesday, December 21, 2016 for the purpose of a Wetland Boundary Verification. The wetland flagging and tree identification provided on the Plan appears to have been completed by Wilson Road Group.

The wetland (Wetland A) was marked with pink survey tape flagging. The overall on-site wetland acreage is listed as 0.28-acr. Based on our site inspection, the wetland boundaries appeared to be accurately depicted on the Plan. This wetland area appears to be of fair to good quality.

Wetland A is a scrub-shrub/emergent wetland located on the south side of the subject property. Due to heavy snow cover at the time of our site visit, it was difficult to assess all of the wetland vegetation within the wetland. Reed canary grass (*Phalaris arundinacea*), box elder (*Acer negundo*) and common reed (*Phragmites australis*) were the most common plant species found in and adjacent to Wetland A.

As noted above, this area of wetland is adjacent to an area designated on the Plan as Regional Stormwater Detention Basin. This area south of the subject property is part of a drainage easement owned by the City of Novi.

Wetland Impact Review and Regulatory Status

This existing wetland area does appear to be considered regulated, essential wetland by the City of Novi and any impacts to wetlands or wetland buffers would require approval and authorization from the City of Novi. This wetland could be regulated by the Michigan Department of Environmental Quality (MDEQ) as well. The wetland does not appear to be contiguous to a pond, stream, drain or lake; however, the wetland may be larger than five (5) acres in overall size when taking into account wetland areas extending off of the subject site. Final determination of regulatory status should be made by the MDEQ however. A permit from this agency may be required for any direct impacts, or potentially for storm water discharge from the proposed underground stormwater detention system. It is the applicant's responsibility to contact the MDEQ in order to determine the need for a wetland use permit. **The current Plan does not, however, appear to propose direct impacts (i.e., cut or fill) to wetlands.**

In addition to wetlands, the City seeks to preserve the 25-foot wetland buffer. Although the Plan does not appear to propose direct impacts to wetlands, it does propose relatively minor impacts to the 25-foot natural features setback of all of Wetland A. As such, the project would require a City of Novi *Authorization to encroach the 25-foot Wetland Buffer*. The Plan (Preliminary Grading plan includes a total wetland buffer impact of 560 square feet (0.013-acre) and 26 cubic yards of fill for the purpose of constructing a retaining wall and two (2) storm water outfalls. The applicant shall indicate any areas of proposed temporary wetland buffer impacts as well that may be necessary to complete the proposed construction. Any proposed temporary wetland buffer impacts shall be restored using a native wetland buffer restoration seed mix. If applicable, details pertaining to the proposed native restoration seed mix shall be included on subsequent site plan submittals. The applicant is urged to minimize all impacts to existing wetlands and the associated 25-foot setbacks. The applicant should attempt to keep the proposed retaining wall and stormwater outfalls outside of the wetland buffer. It is recommended that any proposed storm water discharge pipes end at the upland edge of the 25-foot wetland setback in order to maximize the nutrient and pollutant removal from storm water runoff prior to entering the wetland area.

The Applicant shall provide wetland conservation easements as directed by the City of Novi Community Development Department for any areas of remaining on-site wetland. A Conservation Easement shall be executed covering all remaining wetland areas on site as shown on the approved plans. This language shall be submitted

to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Wetland and Watercourse permit.

Permits & Regulatory Status

The City of Novi Code of Ordinances Chapter 12, Article 5 *Wetlands and Watercourse Protection* regulates all wetlands over two acres in size, all wetlands contiguous to watercourses, and all wetlands considered essential. It is ECT's opinion that the wetland identified on the site provide functions which would meet the essentiality criteria as described in the City's wetland ordinance (i.e., storm water storage/flood control, wildlife habitat, etc.), and therefore should be considered City regulated wetland. The Applicant will need a City of Novi Wetland Permit and Wetland Buffer Authorization for any proposed impacts to wetlands and wetland buffers. The current Plan does not proposed direct impacts to wetlands but does propose impacts to the 25-foot wetland setback. The project as proposed will require a City of Novi *Authorization to Encroach the 25-Foot Natural Features Setback*. This authorization is required for the proposed impacts to the regulated wetland setbacks.

The Michigan Department of Environmental Quality (MDEQ) generally regulates wetlands that are within 500 feet of a watercourse/regulated drain or part of larger wetland systems that are greater than 5 acres in size. It should however, be noted that final determination of regulatory status should be made by the MDEQ. It is the Applicant's responsibility to contact MDEQ in order to determine the regulatory status of the on-site wetlands and determine if a permit is required for the discharge of stormwater to the wetland.

The Applicant should provide a copy of any MDEQ permit application or other related correspondence or the current project to the City for review, when available.

Wetland Comments

Please consider the following comments when preparing subsequent site plan submittals:

1. In addition to wetlands, the City seeks to preserve the 25-foot wetland buffer. The applicant is urged to minimize all impacts to existing wetlands and the associated 25-foot setbacks. The applicant should attempt to keep the proposed retaining wall and stormwater outfalls outside of the wetland buffer. It is recommended that any proposed storm water discharge pipes end at the upland edge of the 25-foot wetland setback in order to maximize the nutrient and pollutant removal from storm water runoff prior to entering the wetland area.
2. Although the Plan does not appear to propose direct impacts to wetlands, it does propose relatively minor impacts to the 25-foot natural features setback of all of Wetland A. As such, the project would require a City of Novi *Authorization to encroach the 25-foot Wetland Buffer*.
3. The applicant shall indicate any areas of proposed temporary wetland buffer impacts that may be necessary to complete the proposed construction. Any proposed temporary wetland buffer impacts shall be restored using a native wetland buffer restoration seed mix. If applicable, details pertaining to the proposed native restoration seed mix shall be included on subsequent site plan submittals
4. It is the Applicant's responsibility to contact MDEQ in order to determine the regulatory status of the on-site wetlands and determine if a permit is required for the discharge of stormwater to the wetland. The

Today's Dental Office (JSP16-0047)
Wetland Review of the Preliminary Site Plan (PSP16-0190)
December 21, 2016
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applicant should provide a wetland determination letter or other correspondence from the MDEQ stating that no permit is required for the proposed project.

Recommendation

ECT currently recommends approval of the Preliminary Site Plan for Wetlands. ECT recommends that the Applicant address the items noted in the *Wetland Comments* section of this letter prior to the submittal of the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner
Richelle Leskun, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect
Kirsten Mellem, City of Novi Planner

Attachments: Figure 1 – City of Novi Regulated Wetland & Woodland Map
Site Photos

Site Photos



Photo 1. Looking southwest at Wetland A from parking lot on property directly adjacent (east) to the subject site (ECT, December 21, 2016).



Photo 2. Looking east along edge of Wetland A (ECT, December 21, 2016).

WOODLAND REVIEW

December 21, 2016

Ms. Barbara McBeth, AICP
City Planner
Community Development Department
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: Today's Dental Office (JSP16-0047)
Woodland Review of the Preliminary Site Plan (PSP16-0190)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed Today's Dental Office project prepared by Alpine Engineering, Inc. dated November 18, 2016 and stamped "Received" by the City of Novi Community Development Department on December 5, 2016 (Plan). The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37.

ECT recommends approval of the Preliminary Site Plan for woodlands with the condition that the Applicant satisfactorily address the items noted in the "Woodland Comments" section of this letter at the time of Final Site Plan submittal.

The following woodland related items are required for this project:

Item	Required/Not Required/Not Applicable
Woodland Permit	Required
Woodland Fence	Required
Woodland Conservation Easement	Required

The purpose of the Woodlands Protection Ordinance is to:

- 1) Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- 2) Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
- 3) Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

The proposed project is located south of Grand River Avenue between Taft Road and Clark Road in Section 15. The Plan proposes the construction of an approximately 6,700 square foot dental office, associated parking, utilities, and underground stormwater storage system.

Based on our review of the application, Novi aerial photos, Novi GIS, the City of Novi Official Wetlands and Woodlands Maps (see Figure 1, attached) it appears as if this proposed project site contains City-Regulated Woodlands as well as City-Regulated Wetland area.

What follows is a summary of our findings regarding on-site woodlands associated with the proposed project.

Woodlands

The site does contain areas noted as City of Novi Regulated Woodlands. The area designated as Regulated Woodland is located in the southern half of the site (see Figure 1). The current Plan includes a *Woodland Plan* (Sheet L-3). The *Woodland Plan* includes a Tree List and Woodland Summary that indicates the existing trees and the proposed tree removals.

Based on the Woodland Plan and our site inspection, on-site woodland contains eastern cottonwood (*Populus deltoides*), box elder (*Acer negundo*), sugar maple (*Acer saccharum*), common buckthorn (*Rhamnus cathartica*), American elm (*Ulmus americana*), black cherry (*Prunus serotina*), Norway maple (*Acer platanoides*), northern white cedar (*Thuja occidentalis*), and several other species.

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite woodland evaluation on Wednesday, December 21, 2016. The entire site is approximately 1.37 acres, however the area designated as City Regulated Woodland covers approximately the southern 40% of the site. The surveyed trees have been marked with metal tree tags allowing ECT to compare the tree diameters reported on the tree list to the existing tree diameters in the field. ECT took numerous diameter-at-breast-height (d.b.h.) measurements and found that the data provided on the Plan is consistent with the field measurements.

Woodland Impact Review & Required Replacements

The Plan indicates a total of thirty-one (31) total surveyed trees on-site. Many of the existing on-site trees are located outside of the area designated as Regulated Woodland on the City of Novi's Regulated Woodland map. In terms of habitat quality and diversity of tree species, the woodland areas on the project site are of fair quality. Much of the wooded area on site is dominated by invasive species such as common buckthorn (*Rhamnus cathartica*). The majority of the woodland areas consist of relatively-immature growth trees of fair health. This wooded area does not appear to provide a high level of environmental benefit, and the subject property is surrounded by existing commercial uses on the west, north and east sides. Grand River Avenue borders the site to the north as well. In terms of a scenic asset, wind block, noise buffer or other environmental asset, the woodland areas proposed for impact are considered to be of fair quality. The current plan proposes to impact the majority of the existing on-site trees.

As shown, the Plan proposes the removal of thirteen (13) of the eighteen (18) regulated trees on-site (72% removal). It should be noted that the City of Novi replacement requirements pertain to regulated trees with d.b.h. greater than or equal to 8 inches and located within the areas designated as woodland on the City's Regulated Woodland Map. The replacement requirements also pertain to any tree greater than or equal to 36-inches in diameter.

A *Woodland Summary* Table has been included on Sheet L-3 (*Woodland Plan*). The Applicant has noted the following woodland impacts associated with the project:

- Total Trees: 31 (includes dead & unregulated trees)
- Net Regulated Trees: 18
- Regulated Trees Removed: 13
- Regulated Trees Preserved: 5

- Stems to be Removed 8" to 11": 3 x 1 replacement (Requiring 3 Replacements)
- Stems to be Removed 11" to 20": 5 x 2 replacements (Requiring 10 Replacements)
- Stems to be Removed 20" to 30": 0 x 3 replacements (Requiring 0 Replacements)
- Stems to be Removed 30"+: 1 x 4 replacements (Requiring 4 Replacements)
- Multi-Stemmed Trees (0 trees): (Requires 0 Replacements)

- Sub-Total Replacement Trees Required: 17
- Credit for Non-Woodland Tree Preservation: 14 (preservation of 4 Non-Woodland trees)

- Total Woodland Replacements Required: 3

It should be noted that the purpose of the City of Novi Woodland Protection Ordinance (Chapter 37) is to:

1. *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
2. *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*
3. *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

A Woodland Permit from the City of Novi would be required for proposed impacts to any trees 8-inch DBH or greater and located within an area designated as City Regulated Woodland, or any tree 36-inches DBH regardless of location on the site. Such trees shall be relocated or replaced by the permit grantee. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater and all coniferous replacement trees shall be six (6) feet in height (minimum). All Woodland Replacement trees shall be species that are listed on the City's Woodland Tree Replacement Chart (attached).

It should be noted that the current Plan proposes a total of three (3) on-site replacement trees:

- 2 x 2.5-inch sugar maple;
- 1 x 2.5-inch red oak.

A Woodland Replacement Performance financial guarantee for the planting of replacement trees will be required. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.

Based on a successful inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. A Woodland Maintenance and Guarantee bond equal to twenty-five percent (25%) of the value of the original Woodland Replacement material will then be kept for a period of 2-years after the successful inspection of the tree replacement installation.

Comments

Please consider the following comments when preparing the Final Site Plan:

1. The Applicant shall provide preservation/conservation easements as directed by the City of Novi Community Development Department for any areas of remaining woodland and woodland replacement trees. The applicant shall demonstrate that the all proposed woodland replacement trees and existing regulated woodland trees to remain will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city. This language shall be submitted to the City Attorney for review. The executed easement must be returned to the City Attorney within 60 days of the issuance of the City of Novi Woodland permit. In addition, all proposed conservation easements shall be indicated and clearly labeled on the Plan.
2. The Woodland Replacement Performance financial guarantee for the planting of replacement trees will be \$1,200 (3 Woodland Replacement Credits required x \$400/credit).

Based on a successful inspection of the installed on-site Woodland Replacement trees, the Woodland Replacement Performance Guarantee shall be returned to the Applicant. A Woodland Maintenance and Guarantee bond equal to twenty-five percent (25%) of the value of the original Woodland Replacement material will then be kept for a period of 2-years after the successful inspection of the tree replacement installation. The City has a minimum Woodland Maintenance Guarantee value of \$1,000.

3. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement trees spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the City of Novi *Landscape Design Manual*.
4. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site.

Today's Dental Office (JSP16-0047)
Woodland Review of the Preliminary Site Plan (PSP16-0190)
December 21, 2016
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Recommendation

ECT recommends approval of the Preliminary Site Plan for woodlands with the condition that the Applicant satisfactorily address the items noted in the "Woodland Comments" section of this letter at the time of Final Site Plan submittal.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner
Richelle Leskun, City of Novi Planning Assistant
Rick Meader, City of Novi Landscape Architect
Kirsten Mellem, City of Novi Planner

Attachments: Figure 1 – City of Novi Regulated Wetland & Woodland Map
Site Photos

Site Photos



Photo 1. Tree #103 – 34" sugar maple, located in the northwest portion of the site. Tree to be preserved during the development (ECT, December 21, 2016).



Photo 2. Tree #103 – 34" sugar maple, located in the northwest portion of the site. Tree to be preserved during the development (ECT, December 21, 2016).



Photo 3. Looking south towards regulated woodland area (ECT, December 21, 2016).



Photo 4. Looking west at area of regulated woodland, dominated by common buckthorn and box elder trees (ECT, December 21, 2016).

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP16-0047 Today's Dental Preliminary Traffic Review

From:
 AECOM

Date:
 December 22, 2016

To:
 Barbare McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Sri Komaragiri, Kirsten Mellem, George Melistas,
 Adrianna Jordan, Jeremy Miller, Richelle Leskun

Memo

Subject: Today's Dental Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, John Halmaghi, are proposing a 6,688 square foot dental office at the location of 44911 Grand River Avenue, which is located on the south side of Grand River Avenue east of Taft Road.
2. Grand River Avenue is under the jurisdiction of the Road Commission for Oakland County (RCOC).
3. The site is currently zoned I-1 (Industrial). There are no proposed zoning changes.

TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 9th Edition, as follows:

ITE Code: 720 (Medical-Dental Office Building)
 Development-specific Quantity: 6,688 square feet of gross floor area
 Zoning Change: N/A

Trip Generation Summary			
	City of Novi Threshold	Estimated Trips	Analysis
AM Peak-Hour, Peak-Direction Trips	100	13	Average Rate
PM Peak-Hour, Peak-Direction Trips	100	18	Fitted Curve Equation

Daily (One-Directional) Trips	750	59	Fitted Curve Equation
--------------------------------------	-----	----	-----------------------

2. The number of trips does not exceed the City’s threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City’s requirements:

Traffic Impact Study Recommendation	
Type of Study	Justification
None	N/A

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The entrance to this site has been constructed at a previous date. Modifications to the existing entrance and driveway are in compliance with City standards
2. The applicant is proposing a 75 foot entrance taper for the existing driveway, which is in compliance with RCOC standards.
3. The applicant should provide details on how traffic will be maintained on Grand River Avenue during construction of the entrance and taper in the next submittal.
4. Because the driveway was previously constructed, it is assumed that it meets all requirements for sight distance and driveway spacing.
5. There are an adequate number of site access drives provided.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
 - a. Large trucks and emergency vehicles are able to access and maneuver throughout the site.
 - b. The proposed loading zone is compliant with City standards.
 - c. The trash receptacle is not expected to interfere with parking operations.
2. Parking Facilities
 - a. The applicant has calculated the number of required spaces one space for every 175 sq. ft. gross leasable floor area (GLA) which is compliant with the methodology in the City's ordinance.
 - b. The site requires 36 total parking spaces and the applicant has provided 37 total parking spaces.
 - c. Parking space dimensions and curb heights are compliant with City standards.
 - d. Parking-related pavement markings are in compliance with the MMUTCD
 - e. Handicap parking is in compliance with the ADA design manual.
 - f. End islands and end peninsulas are three feet shorter than the adjacent parking space.
 - g. The City's Zoning Ordinance requires two bicycle parking spaces and the applicant has provided two bicycle parking spaces.
 - h. Aisle widths and radii are in compliance with City standards.
3. Sidewalk Requirements
 - a. Sidewalk widths are in compliance with City standards.
4. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD).

Memo

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM

A handwritten signature in blue ink, appearing to read "Sterling Frazier".

Sterling J. Frazier, E.I.T.
Reviewer, Traffic/ITS Engineer

A handwritten signature in blue ink, appearing to read "Matthew G. Klawon".

Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services

FACADE REVIEW



March 7, 2018

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Façade Review Status Summary:
Approved, Section 9 Waiver Not Recommended

Re: **FACADE ORDINANCE REVIEW Revised Preliminary Site Plan**
Today's Dental, JSP17-0080
 Façade Region: 1, Zoning District: I-1,

Dear Ms. McBeth;

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by MGA Architects, dated 2/9/18. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by Ordinance Section 5.15 are shown in the right hand column. Materials that are in noncompliance with the Ordinance are identified in bold.

	North (Front)	South	West	East	Ordinance Maximum (Minimum)
Brick	49%	31%	20%	27%	100% (30% Min.)
Limestone (Cultured)	11%	29%	16%	15%	50%
Spanderl Glass	2%	0%	5%	2%	50%
EIFS	0%	0%	2%	3%	25%
Standing Seam Metal	6%	8%	10%	11%	25%
Asphalt Shingles	32%	32%	47%	42%	50% (Note 14)

As shown above the percentage of Brick is below the minimum amount required by the Ordinance on the West and East facades. The overall design exhibits a well-balanced selection of materials with significant percentages of masonry (brick and stone combined). The asphalt shingle roof is delineated by dormers and is well-proportioned with the overall building.

Recommendation - For the above reasons it is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the minor underage of Brick on the west and east facades.

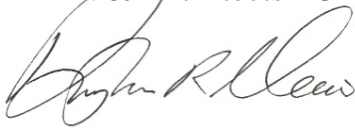
Notes to the Applicant:

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.

2. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board (in this case the adjacent existing material) will be compared to materials to be installed. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

FIRE REVIEW



February 21, 2018

TO: Barbara McBeth- City Planner
Sri Ravali Komaragiri- Plan Review Center
Lindsay Bell-Plan Review Center
Hannah Smith-Planning Assistant

RE: Today's Dental

PSP# 18-0022

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

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Kelly Breen

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Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

Project Description:

Build a 6,654 S.Q.F.T. building at 44911 Grand River.

Comments:

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.

Recommendation:

APPROVED

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



46892 West Road, Suite 109
Novi, Michigan 48377
Phone: (248) 926-3701
Fax: (248) 926-3765
Web: www.alpine-inc.net

March 16, 2018

Sri Komaragiri
City of Novi Community Development Department
45175 West 10 Mile Road
Novi, Michigan 48375

**Re: Today's Dental (Dr. John Halmaghi)– Dental Office Building
Preliminary Site Plan – Revised Submittal
Grand River Ave, Novi
JSP-15-81**

Dear Sri:

On behalf of our client, Dr. John Halmaghi, please find the following responses to the reviews received on March 13, 2018 via email for the above referenced project:

Planning Review Chart (dated March 8, 2018)

- A Lighting Plan will be provided for the Final Site Plan (FSP) submittal.
- The total estimated cost of the building & site improvements is \$2,000,000. Approximately 110 construction jobs for all the trades over the course of construction and 10 permanent jobs will be created.

Engineering Review (dated March 12, 2018)

1. Permits from City of Novi and Oakland County will be obtained for work within the Grand River Ave. right-of-way prior to construction.
2. Utility construction materials table will be provided on the FSP.
3. Paving construction materials table will be provided on the FSP.
4. Utility crossings table will be provided on the FSP.
5. Comment noted. Utilities will be shown on the landscape plan.
6. The location of proposed light poles will be provided on the FSP.
7. The City standard detail sheets will be provided on the Stamping Set submittal.
8. Water main 8-inches or larger will be profiled on the FSP.
9. Pertinent drawings and the MDEQ permit application will be submitted after the FSP submittal.
10. Sanitary basis of design will be provided on the FSP.
11. Storm sewer design will be provided on the FSP.
12. Storm sewer design will be provided on the FSP.
13. Storm sewer design will be provided on the FSP.
14. Storm sewer design will be provided on the FSP.
15. Storm sewer profiles will be provided on the FSP.
16. Storm sewer design will be provided on the FSP.
17. Storm sewer profiles will be provided on the FSP.
18. A schedule listing the casting types will be provided on the FSP.
19. The emergency overland route will be indicated on the FSP.
20. Soil borings will be submitted under separate cover by the Applicant.
21. A note indicating the City will verify the bearing capacity will be provided on the FSP.
22. Additional information regarding the underground storm detention system will be provided on the FSP.
23. Additional information regarding the underground storm detention system will be provided on the FSP.
24. Additional information regarding the underground storm detention system will be provided on the FSP.

25. Comment noted.
26. Comment noted.
27. A SESC permit will be obtained prior to construction.
28. Comment noted.
29. thru 31. Pertinent items listed will be submitted at the time of the Final Site Plan submittal.
32. thru 36. Pertinent items listed will be submitted at the time of the Stamping Set submittal.
37. thru 47. Pertinent items listed will be addressed prior to start of construction.

Landscape Review (dated March 2, 2018)

A response to review prepared by Allen Design is provided.

ECT – Wetland Review (dated December 21, 2016)

1. No impacts to the wetland are proposed. Impacts to the wetland buffer have been minimized by adding a retaining wall at the buffer limits. Refer to Sheet 4, Preliminary Grading Plan.
2. It is understood that the Applicant will need City of Novi authorization to encroach into the 25-foot wetland buffer.
3. Areas of proposed temporary wetland buffer impacts are indicated on the plans. Refer to Sheet 4, Preliminary Grading Plan.
4. It is understood that the Applicant will need to contact the MDEQ regarding regulatory status of the wetland.

ECT – Woodland Review (dated December 21, 2016)

A response to review prepared by Allen Design is provided.

AECOM – Traffic Review (dated December 22, 2016)

External Site Access and Operations

1. No comment.
2. No comment.
3. Information regarding Grand River Avenue construction and traffic flow will be included on the FSP.
4. No comment.
5. No comment.

Internal Site Operations

- 1a. No comment.
- 1b. No comment.
- 1c. No comment.
- 2a. No comment.
- 2b. No comment.
- 2c. No comment.
- 2d. No comment.
- 2e. No comment.
- 2f. No comment.
- 2g. No comment.
- 2h. No comment.
- 3a. No comment.
4. No comment.

DRN & Associates, Architects, PC Façade Review (dated March 7, 2018)

Recommends approval. Section 9 Façade waiver requested.

City of Novi Fire Department Review (dated February 21, 2018)

No Comment. Recommends approval

If you have any questions, please feel free to contact me at (248) 926-3701. Thank you.

Sincerely,
Alpine Engineering, Inc.



Thomas Gizoni, PE

cc: Dr. John Halmaghi (vie e-mail)

February 9, 2018

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: Today's Dental

Dear Mr. Meader:

Below are our responses to your review of plans dated February 9, 2018.

Landscape Review

- We will look into the removal of the invasive species near the southern wetland.
- We are requesting a waiver to allow the 3 large existing trees in the front greenbelt count towards the greenbelt requirement.
- The only available place for a street tree within the Grand River Avenue ROW and located outside of the sight distance requirement is at the western edge. Unfortunately there is only 6' of greenspace from the walk to the ROW line and a watermain is located within this space. No trees are proposed due to the utility conflict.
- We will attempt to enlarge the island located at the SE corner of the building. If it can be enlarged one of the trees in the center island will be relocated there. If not, one of the center island trees will be relocated adjacent to the parking lot.
- The parking lot perimeter will be graphically shown and an additional 3 trees will be added to the access drive.
- We are requesting a waiver to include the 2 southern islands adjacent to the building to be counted towards the foundation landscape requirement.
- The landscape note and details will be revised per the landscape chart.
- Landscaping will be watered by an automatic underground irrigation system.
- The replacement Red Oak will be relocated to the wetland buffer.
- We will survey the site for Phragmites. If the species is found it will be located on the plan and eradicated.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.