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## CITY of NOVI CITY COUNCIL

Agenda Item J  
January 26, 2015

**SUBJECT:** Approval of the request of West Oaks 1 Renovation JSP14-57, for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is 20.12 acres in Section 15 of the City of Novi and located at 43741 West Oaks Drive in the RC, Regional Center district. The applicant is proposing a 17,291 square feet addition on the north and west sides of the existing center with associated parking and landscaping.

**SUBMITTING DEPARTMENT:** Community Development Department - Planning Division *Barry*

**CITY MANAGER APPROVAL:** *[Signature]*

### BACKGROUND INFORMATION:

The applicant is proposing to demolish a portion of the existing West Oaks I shopping center and construct an additional 17,291 sq. ft. on the north and west sides of the existing center with associated parking and landscaping. Existing tenants will be relocated and a new tenant has been proposed.

All staff and consultant reviews recommended approval of the plan. The planning review noted that Zoning Board of Appeals variances are required for the deficient northern (70 ft. proposed) and western (68 ft. proposed) yard building setbacks. Both are considered exterior side yards requiring 100 foot setbacks in the RC, Regional Center District. Additionally, a Zoning Board of Appeals variance is required to permit a loading zone in the exterior side yard. Staff supports these variances as the proposed development is generally consistent and compatible with the existing development on the subject property and surrounding developments in the area.

The landscape review notes a canopy tree must be provided in all proposed parking lot islands. The applicant did not include the required tree in one parking lot island and has agreed to do so in their response letter.

All developments in the RC District exceeding the standards for administrative approval must be approved by the City Council after the review and recommendation of the Planning Commission. The Planning Commission considered the Preliminary Site Plan and Storm Water Management Plan at the meeting of January 14, 2015 and recommended approval of both items. The action summary is attached.

**RECOMMENDED ACTION:** The following 2 motions are recommended:

#### Motion 1

Approval of the Preliminary Site Plan based on, with, and subject to the following:

- a) Zoning Board of Appeals variances are required for the deficient building setback in the northern yard (100 ft. required, 70 ft. provided) and western yard (100 ft. required, 68 ft. provided);
- b) Zoning Board of Appeals variance required to permit a loading zone in the exterior side yard;

- c) The applicant providing the required canopy tree in the proposed interior parking lot island; and
- d) The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

**Motion 2**

Approval of the Storm Water Management Plan, subject to the conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

	1	2	Y	N
Mayor Gatt				
Mayor Pro Tem Staudt				
Council Member Casey				
Council Member Markham				

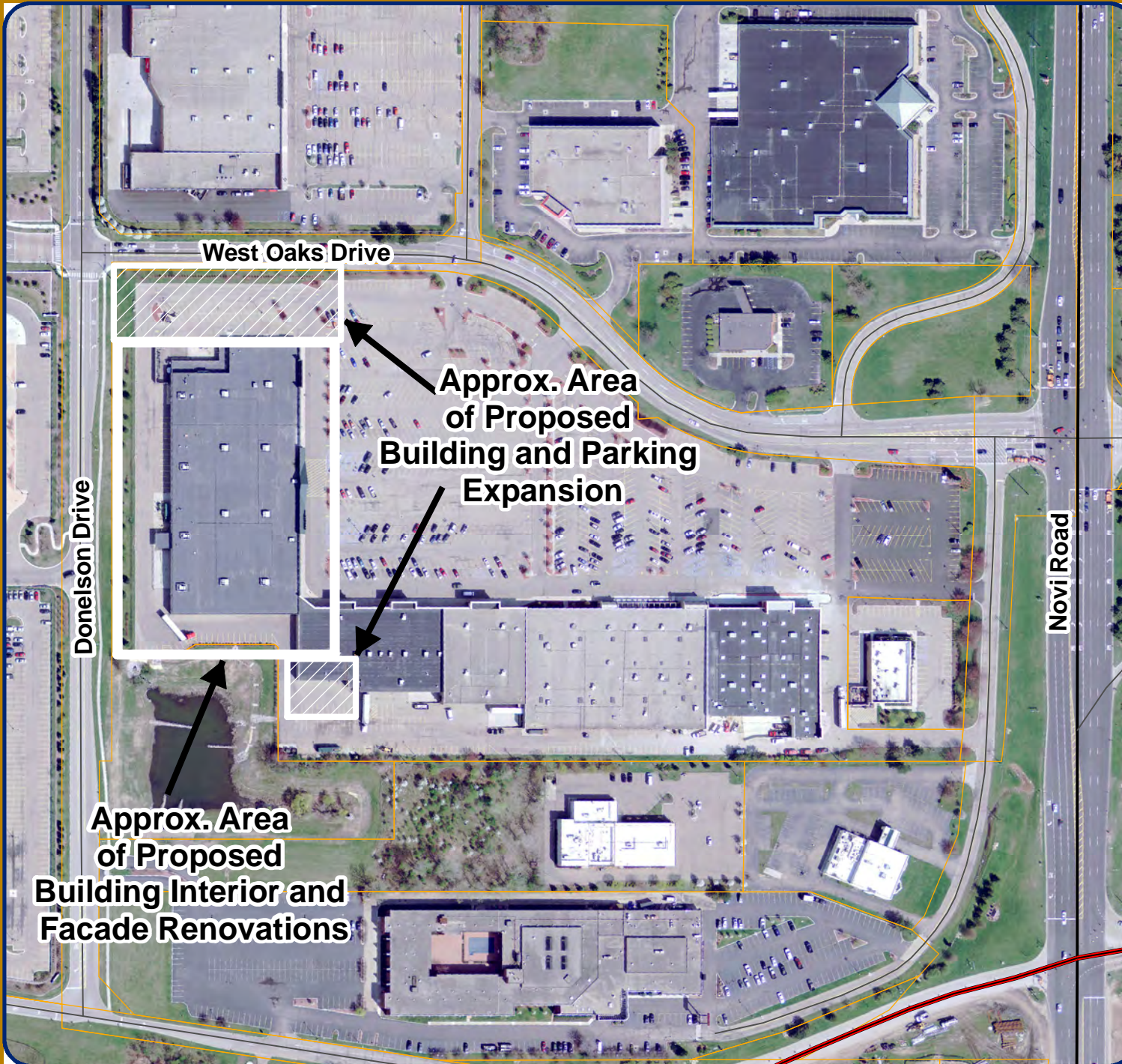
	1	2	Y	N
Council Member Mutch				
Council Member Poupard				
Council Member Wrobel				

Maps  
Location  
Zoning  
Future Land Use  
Natural Features



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# West Oaks I Renovation JSP14-57

Location



## Map Legend

-  Area of Proposed Building and Parking Expansion
-  Area of Proposed Facade and Interior Renovations



**City of Novi**  
Planning Division  
Community Development Dept.  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

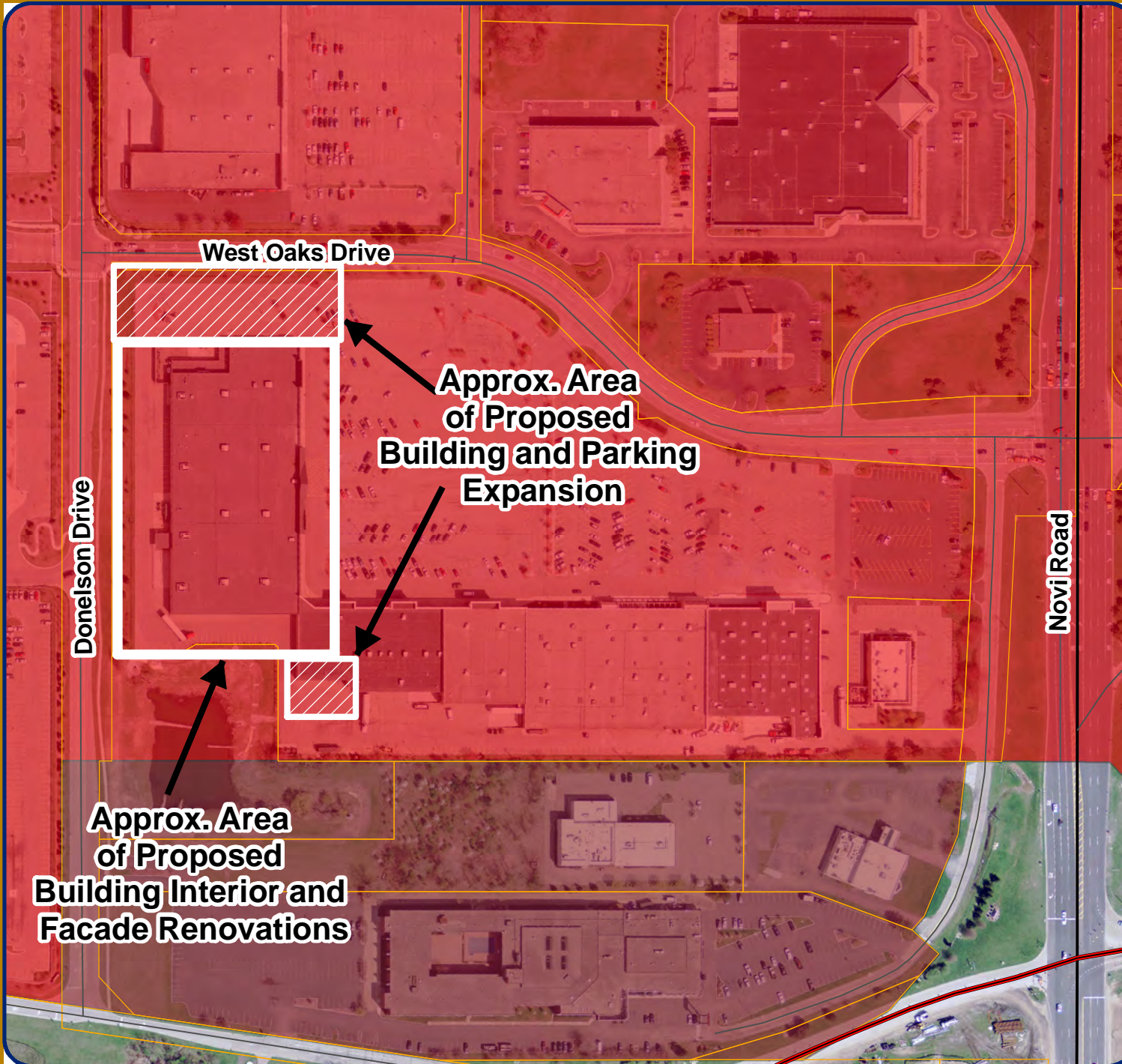
Map Author: Kristen Kapelanski  
Date: 01-07-15  
Project: West Oaks I Renovation JSP14-57  
Version #: 1.0

### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# West Oaks I Renovation JSP14-57

Zoning



## Map Legend

- Area of Proposed Building and Parking Expansion
- Area of Proposed Facade and Interior Renovations
- C: Conference District
- RC: Regional Center District



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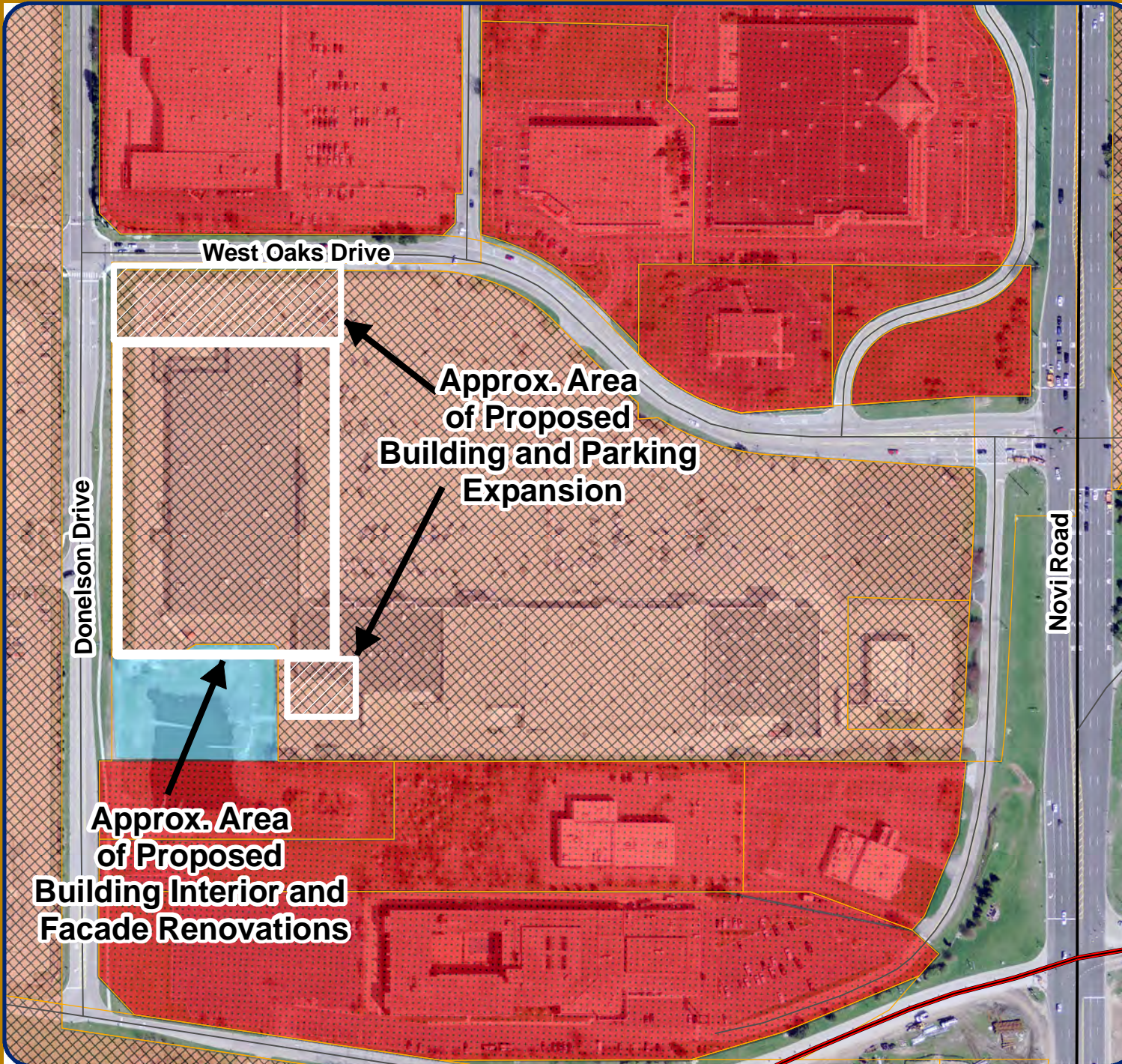
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# West Oaks I Renovation JSP14-57

Future Land Use



## Map Legend

-  Area of Proposed Building and Parking Expansion
-  Area of Proposed Facade and Interior Renovations
-  Regional Commercial
-  PD2
-  Public



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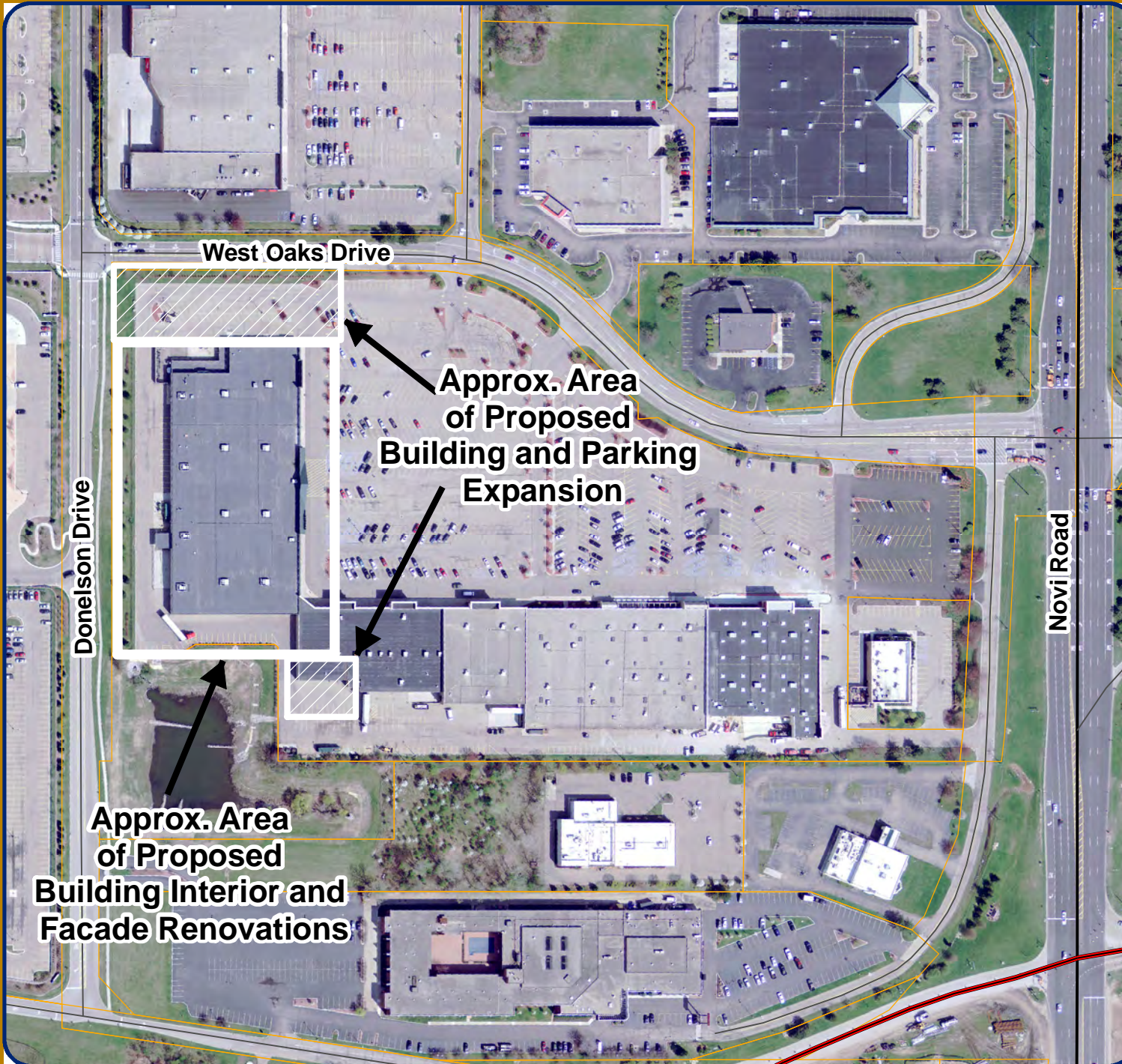
Map Author: Kristen Kapelanski  
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# West Oaks I Renovation JSP14-57

## Natural Features



### Map Legend

- Area of Proposed Building and Parking Expansion
- Area of Proposed Facade and Interior Renovations
- Wetlands
- Woodlands



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Site Plan

(Full plan set available for viewing at the Community Development Department.)

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**Planning Commission Action  
Summary – January 14, 2015**

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# PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI

Regular Meeting

**JANUARY 14, 2015 7:00 PM**

Council Chambers | Novi Civic Center | 45175 W. Ten Mile

(248) 347-0475

## CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

## ROLL CALL

**Present:** Member Giacometti, Member Greco, Member Lynch, Chair Pehrson, Member Zuchlewski

**Absent:** Member Anthony (excused), Member Baratta (excused)

**Also Present:** Barbara McBeth, Community Development Deputy Director; Kristen Kapelanski, Planner; Sri Komaragiri, Planner; Gary Dovre, City Attorney

## APPROVAL OF AGENDA

Motion to approve the January 14, 2015 Planning Commission revised agenda. *Motion carried 5-0.*

## CONSENT AGENDA

Motion to approve the Consent Agenda. *Motion carried 5-0.*

### 1. NHK INTERNATIONAL ADDITION

Consideration at the request of Dembs Development, Inc for approval of the Preliminary Site Plan and Stormwater Management Plan. The subject property is located in Section 9, north of Twelve Mile Road, west of West Park Drive in the I-1, Light Industrial District. The subject property is approximately 4.02 acres and the applicant is proposing to expand the existing 45,052 square foot one story building by adding approximately 5,000 square foot space. The entire building space will be further renovated in the interior to accommodate new offices for NHK international.

## PUBLIC HEARINGS

## MATTERS FOR CONSIDERATION

### 1. WEST OAKS I RENOVATION

Consideration of the request of West Oaks Renovation for recommendation of approval to the City Council of the Preliminary Site Plan and Stormwater Management Plan. The subject property is 20.12 acres in Section 15 of the City of Novi and located at 43741 West Oaks Drive in the RC, Regional Center district. The applicant is proposing a 17,291 sq. ft. addition on the north and west sides of the existing center with associated parking and landscaping.

**In the matter of West Oaks 1 Renovation, JSP 14-57, motion to recommend approval of the Preliminary Site Plan to the City Council based on and subject to the following:**

- a) Zoning Board of Appeals variances are required for the deficient building setback in the northern yard (100 ft. required, 70 ft provided) and western yard (100 ft. required, 68 ft. provided);
- b) Zoning Board of Appeals variance required to permit a loading zone in the exterior side yard;
- c) The applicant providing the required canopy tree in the proposed interior parking lot island; and
- d) The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5

of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 5-0.*

In the matter of West Oaks I Renovation, JSP14-57, motion to recommend approval of the Stormwater Management Plan to the City Council based on and subject to:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 5-0.*

3. APPROVAL OF THE DECEMBER 10, 2014 PLANNING COMMISSION MINUTES

Motion to approve the December 10, 2014 Planning Commission Minutes. *Motion carried 5-0.*

**ADJOURNMENT**

The meeting was adjourned at 7:11 PM.

Please note: Actual Language of motions subject to review.

## Planning Review

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# PLAN REVIEW CENTER REPORT

January 6, 2015

## Planning Review

West Oaks I Renovation

**JSP14-57**

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### Petitioner

Ramco-Gershenson Inc.

### Review Type

Revised Preliminary Site Plan

### Property Characteristics

- Site Location: 43741 West Oaks Drive (south of West Oaks Drive, west of Novi Road) (Section 15)
- Site Zoning: RC, Regional Center District
- Adjoining Zoning: North, East and West: RC; South: C, Conference District
- Current Site Use: Existing West Oaks shopping center
- Adjoining Uses: North, East and West: various retail and restaurant; South: retail and office
- School District: Novi School District
- Site Size: 20.12 acres
- Plan Date: 12-18-14

### Project Summary

The applicant is proposing to demolish a portion of the existing West Oaks I shopping center and construct an additional 17,291 sq. ft. on the north and west sides of the existing center with associated parking and landscaping. Existing tenants will be relocated a new tenant has been proposed. The applicant previously submitted a plan showing a 9,942 sq. ft. expansion but has since revised the plan to increase the expansion area.

### Recommendation

**Staff recommends approval of the Revised Preliminary Site Plan.** There are minor planning related items to be addressed on the Final Site Plan submittal. City Council approval of the plan is required after a recommendation from the Planning Commission per Section 1703.4 of the Zoning Ordinance. Zoning Board of Appeals variances are required.

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 17 (Regional Center District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Building Setbacks: Required building setbacks in the RC District are 100 feet. The proposed setbacks in the northern and western yards are 70 feet and 68 feet. **The applicant has applied for variances from the Zoning Board of Appeals for the deficient setbacks.** Plans will not be stamped approved until variances are granted. It should be noted that any previously submitted ZBA applications based on the previous plan iteration will need to be updated along with the ZBA application.
2. Loading Space: Loading space must be located in the rear yard or interior side yard. **The applicant has proposed a loading zone in the exterior side yard and has applied for a variance from the Zoning Board of Appeals for this deficiency.** Plans will not be stamped approved until this variance is granted.

3. Exterior Lighting: **A photometric plan with proposed lighting and manufacturer's details is required with the Final Site Plan submittal.**
4. Bicycle Parking: Bike parking spaces have been indicated on the east side of the proposed storefront. **The applicant should provide a detail of the bike parking layout consistent with the requirements outlined in the planning review chart.**
5. Economic Impact: **The applicant should provide the total cost of the site improvements, proposed building and approximate number of jobs during and after construction in the response letter.**
6. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

#### **Site Addressing**

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at [www.cityofnovi.org](http://www.cityofnovi.org) under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

#### **Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

#### **Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

#### **Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or [kkapelanski@cityofnovi.org](mailto:kkapelanski@cityofnovi.org).



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Kristen Kapelanski, Planner, 248.347.0586 or [kkapelanski@cityofnovi.org](mailto:kkapelanski@cityofnovi.org)  
Attachments: planning review chart



**Planning Review Summary Chart**

West Oaks 1 Renovation JSP14-57  
 Revised Preliminary Site Plan Review  
 Plan Date: 12-18-14

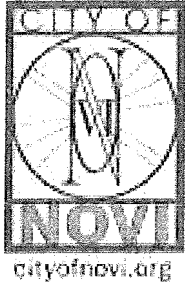
Item	Proposed	Meets Requirements?	Comments
<b>Master Plan</b> Regional Commercial	Regional Commercial	Yes	
<b>Zoning</b> RC, Regional Center	No change	Yes	
<b>Use</b> Various retail and business uses	Retail space	Yes	
<b>Max. Building Height (Sec. 2400)</b> 45 feet or 3 stories	~38 feet	Yes	
<b>Building Setbacks (Sec. 2400)</b>			
Front (north): 100 ft.	70 feet	No	The applicant has applied for variances from the Zoning Board of Appeals for the deficient setbacks
Sides (east and west): 100 ft.	100 feet + (east) 68 feet (west)	No	
Rear (south): 100 ft.	Existing building to remain	N/A	
<b>Parking Setbacks (Sec. 2400)</b>			
Front (north): 20 ft.	21 ft.	Yes	
Sides (east and west): 10 ft.	No additional spaces proposed (east) 39 ft. (west)	Yes	
Rear (south): 10 ft.	No additional spaces proposed	N/A	
<b>Number of Parking Spaces (Sec. 2303A.3)</b>  Shopping Center: 4 spaces per 1,000 sq. ft. GLA  254,027 sq. ft. = 1,017 spaces required	1,069 spaces provided	Yes	
<b>Parking Space Dimensions (Sec. 2506)</b> 9 ft. x 19 ft. parking spaces with 24 ft. drives  9 ft. x 17 ft. parking spaces along curbs	9 ft. x 17 ft. parking spaces with 24 ft. drives	Yes	The applicant should indicate 4" curbs wherever 17' spaces are proposed
<b>Barrier Free Spaces (Barrier Free Code)</b> 20 accessible spaces; 3 space must be van accessible	31 barrier free spaces provided throughout site (no new spaces proposed)	Yes	

Item	Proposed	Meets Requirements?	Comments
<b>Barrier Free Space Dimensions</b> (Barrier Free Code) 8 ft. wide with an 8 ft. wide access aisle for van accessible	N/A	N/A	
<b>Barrier Free Signs</b> (Barrier Free Design Graphics Manual) 1 barrier free sign per space	N/A	N/A	
<b>Loading Spaces</b> (Sec. 2507) 10 square feet per front foot of building = 208 x 10 = 2,080 sq. ft.  All loading shall be in the rear yard or interior side yard if a double-fronted lot	2,030 sq. ft. shown in exterior side yard	No	The applicant has applied for a variance from the Zoning Board of Appeals for the location of the proposed loading zone
<b>Loading Space Screening</b> (Sec. 2302A.1) View of loading & waiting areas must be shielded from rights of way & adjacent properties	Screen wall proposed	Yes	
<b>Accessory Structure Setback-Dumpster</b> (Sec. 2503) Located in the rear yard  Min. 10 ft. from any building unless structurally attached & setback the same as parking from all property lines	Trash compactor to be located in loading area and screened by proposed screen wall	Yes	
<b>Dumpster</b> (Chap. 21, Sec. 21-145) Screening of not less than 5 ft. on 3 sides of dumpster required, interior bumpers or posts must also be shown  Screening should be 1 foot taller than dumpster	Trash compactor adequately screened	Yes	
<b>Exterior Lighting</b> (Sec. 2511) Photometric plan & exterior lighting details needed at final site plan	No plan provided		Full photometric plan and details required by Final Site Plan submittal
<b>Sidewalks</b> (Non-Motorized Plan) No additional sidewalks required  Building exits must be connected to sidewalk system	Sidewalk and crosswalk connecting new building to parking area proposed	Yes	

Item	Proposed	Meets Requirements?	Comments
or parking lot			
<p><b>Bicycle Parking</b> (Sec. 2526)                      5% of required automobile spaces minimum 8 spaces                      Located along the building approach line &amp; easily accessible from the building entrance                      Max. 120 ft. from entrance being served or the nearest auto parking space to that entrance                      Must be accessible via a paved 6 ft. wide route &amp; separated from auto facilities                      4 ft. wide maneuvering lane required with a 6 ft. parking space width &amp; a depth of 2 ft. for single spaces &amp; 2.5 ft. for double spaces</p>	<p>8 bicycle parking spaces indicated                      No detail provided for layout                      Detail for bike rack provided</p>	<p><b>No</b></p>	<p><b>Applicant should provide bike parking layout detail per standards described</b></p>
<p><b>Economic Impact</b>                      Total cost of proposed building &amp; site improvements                      Number of jobs created (during construction &amp; after building is occupied if known)</p>	<p>None provided</p>	<p><b>No</b></p>	<p><b>Address economic impacts of project in site plan and/or response letter</b></p>
<p><b>Exterior Signs</b>                      Signage is not regulated by the Planning Division or Planning Commission</p>		<p>If a sign is proposed, contact Jeannie Niland at 248.347.0438 or <a href="mailto:jniland@cityofnovi.org">jniland@cityofnovi.org</a> for information</p>	

## Engineering Review

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# PLAN REVIEW CENTER REPORT

January 6, 2015

## Engineering Review

West Oaks 1 Renovations

JSP14-0057

### Applicant

RAMCO-GERSHENSON, INC.

### Review Type

Revised Preliminary Site Plan

### Property Characteristics

- Site Location: S. of West Oaks Drive and E. of Donelson Drive
- Site Size: 0.87 acres
- Plan Date: 12/18/14

### Project Summary

- Expansion of the existing building by an approximately 243,987 square-foot to a 261,278 square foot building and associated parking. Site access would be provided by existing curb cuts and driveways from West Oaks Drive and Donelson Drive.
- Water service would be relocated around the building expansion extending the existing 12-inch water main running through the site. Two 4-inch domestic lead and a 6-inch fire suppression lead, would be provided to serve the building along with an additional hydrant.
- Sanitary sewer service would be provided by a two 4-inch lead from the existing 15 inch sanitary sewer line running along the west side of the site.
- Storm water would be collected by a single storm sewer collection system and discharge into the existing storm water system. Net impervious area will decrease, no new detention is required.

### Recommendation

**Approval of the Revised Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments** (to be addressed prior to the Final Site Plan submittal):

General

1. The Non-domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
2. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
3. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.

Water Main

4. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.
5. Provide a profile for all proposed water main 8-inch and larger.
6. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

7. The Oakland County Water Resource Commission IWC form for non-domestic sites must be submitted prior to Final Stamping Set approval.

Storm Sewer

8. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
9. Match the 0.80 diameter depth above invert for pipe size increases.
10. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
11. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
12. Illustrate all pipes intersecting storm structures on the storm profiles.
13. Provide profiles for all proposed storm sewer.

Storm Water Management Plan

14. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
15. Provide a drainage area map.

Paving & Grading

16. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.
17. The plan currently shows 17 foot deep parking stalls adjacent to a 6-inch high curbed sidewalk on the north side of the building. If 17-foot deep stalls are provided, the curb height should be reduced to 4-inch.

**The following must be submitted at the time of Final Site Plan submittal:**

18. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

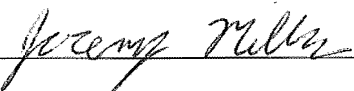
19. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department. The existing easement must be amended or a vacated.
20. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

21. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
22. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
23. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.

24. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
25. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
26. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
27. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Please contact Jeremy Miller at (248) 735-5694 with any questions.

  
\_\_\_\_\_

cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Michael Andrews, Water & Sewer Dept.



## Traffic Review

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December 30, 2014

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375

**SUBJECT: West Oaks I Renovation, JSP14-0057, Traffic Review of Revised Preliminary Site Plan, PSP14-0214**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

**Recommendation**

We recommend approval of the revised preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed by the final site plan.

**Issues to Resolve**

What Needs to Be Addressed to Provide a Satisfactory Plan?

1. The height of the new east-west curb nearest the building is correctly indicated on the Grading Plan - North (sheet C-4.1) as 0.33 ft high (necessary to permit the abutting 17-ft-long parking stalls), but the two associated labels on the Dimension Plan – North (sheet C-3.1) are inconsistent with this requirement. The label to the east reads ‘6” Straight Face Curb Typ. Refer to detail on sheet C-8.1,’ and the label to the west reads “Straight Face Curb Typ. Refer to detail on sheet C-8.1.’ **Both of these two labels should read ‘4” Concrete Straight Face Curb, Typ. Refer to Detail on Sheet C-8.1.’** (Note: This is the label used on the first version of the revised preliminary site plan, which we were asked not to review since the proposed building footprint and related parking lot features were being changed to those now under review.)
2. General note 1 on sheet C-3.1 is inconsistent with the dimensioning of the parking spaces along the north end of the building. Those spaces are correctly designed and dimensioned as 17 ft long to the face of curb, but the note appears to indicate that such dimensions are to back of curb. **Note 1 should be revised to specifically state that “parking space dimensions – length as well as width – are referenced to the face of curb or walk.”**
3. Since six customized parking signs are now proposed behind the above-cited curb, where they could be susceptible to impact damage from vehicles parking in the adjacent spaces, **a note should be added to the plan specifying that all signs shall be placed a minimum of 2 ft behind the curb** (the sign symbols now appearing are only about 1 ft behind the curb).

4. Since the proposed new north parking lot now has parking spaces on only one side, **the other (north) side of the lot needs to be posted NO PARKING FIRE LANE. A series of three uniformly spaced signs indicating such should be added to both the plan. In a related matter, general note 4 on sheet C-3.1 should either be deleted (since it is unnecessary in this case) or revised to reflect the 75-ft (not 100-ft) maximum sign spacing appearing in Sec 15-99(e)(1) of the Novi Fire Protection and Prevention Ordinance.**
5. **The Sign Legend now appearing on sheet C-3.1 should be retitled Sign Quantities, and it the table should list the quantities of each sign type required.**

Sincerely,  
CLEARZONING, INC.



Rodney L. Arroyo, AICP  
President



William A. Stimpson, P.E.  
Director of Traffic Engineering

## Landscape Review

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## PLAN REVIEW CENTER REPORT

January 6, 2014

### Preliminary Landscape Review West Oaks I Renovation JSP14-57

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#### Petitioner

Ramco Gershenson

#### Review Type

Revised Preliminary Site Plan

#### Property Characteristics

- Site Location: West Oaks Drive (adjacent parking lot)
- Site Zoning: RC – Regional Center
- Adjoining Zoning: RC – Regional Center
- Site Use(s): Commercial
- Adjoining Uses: Commercial
- Plan Date: 12-18-14

#### Recommendation

**Approval of the Revised Preliminary Site Plan for West Oaks I Renovation JSP14-57 is recommended.** Please address the concerns noted below.

#### Ordinance Considerations

##### Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The property is not adjacent to residential properties.

##### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. No alterations are proposed in the area of the public right-of-way. The existing vegetation will be maintained.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. Existing street trees will be maintained.

##### Parking Landscape (Sec. 2509.3.c.)

1. The existing parking lot will be reduced in size by the proposed building addition.
2. No more than 15 contiguous parking spaces are allowed. The applicant has met this requirement. **Canopy trees are required in all parking lot islands. A canopy tree should be added to island interior to the proposed row of parking. Alternately the Applicant could seek a waiver from the Planning Commission.**
3. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. This requirement has been met with the existing trees to be preserved.

##### Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required at the building foundation with the exception of access areas. The frontage of the proposed building renovation is entirely walkway as is typical of the commercial development as a whole. No foundation landscape is proposed at this access walkway.

2. Foundation landscape is proposed along the north face of the building addition. This is an improvement over the existing development that currently has no landscape at this end of the building. The minimum 4' wide landscape bed requirement has been met.
3. A total of 8' x the building foundation is required as foundation landscape area is required. This requirement has been met.

**Plant List (LDM)**

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

**Planting Details & Notations (LDM)**

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

**Storm Basin Landscape (Sec. 2509.3.e.(4) & LDM)**

1. No storm basin is proposed.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. All landscape areas are required to be irrigated. A note states such on the plan.

**General**

1. The loading dock has been appropriately screened with an 8' high brick screen wall.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

Reviewed by: Kristen Kapelanski, AICP

## Façade Review

---



January 7, 2014

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: **FACADE ORDINANCE – Revised Preliminary Site Plan Review**  
**West Oaks Renovations, PSP14-0214**  
 Façade Region: 1, Zoning District: RC

Dear Ms. McBeth:

The following is the Façade Review for Revised Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Wah Yee Associates, dated December 18, 2014. The applicant has made revisions in response to our prior review. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule, if any, are highlighted in **bold**.

Façade Region 1		Front (East)	North (Major)	West (Major)	Ordinance Maximum (Minimum)
1	Brick	30%	58%	30%	100% (30% Min)
2	EIFS	10%	25%	10%	25%
3	Cement Composite Panels	10%	14%	0%	50%
4	Aluminum Ribbon Accent Feature	10%	0%	0%	50%
5	Wood Beam Truss (log motif @ entrance gable)	10%	0%	0%	15%
6	Scored & Fluted CMU, painted (existing)	10%	0%	60%	10%
7	Cultured Stone (existing)	5%	0%	0%	50%
8	Cast Stone	1%	2%	1%	25%
9	Standing Seam Metal	10%	0%	0%	25%
10	Molded Cornice	4%	1%	NA	15%



This project consists of façade alterations and a building addition in accordance with Façade Ordinance Sections 2520.6 and 2520.7, respectively. The applicant has made minor revisions since our prior review consisting of increasing the size of the addition and relocation of certain tenant entrances. These revisions do not significantly affect the overall quality and quantity of façade materials with respect to the Façade Ordinance.

**Recommendation** – As shown above the design is in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project.

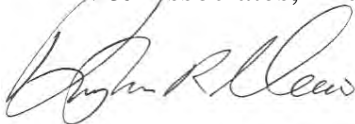
**Notes to the Applicant:**

1. It should be noted that any roof top equipment must be screened from view from all on-site and off-site vantage points using materials consistent with the building design.
2. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC



Douglas R. Necci, AIA

## Fire Review

---



December 30, 2014

TO: Barbara McBeth- Deputy Director of Community Development  
Kristen Kapelanski- Plan Review Center  
Sri Komaragiri- Plan Review Center

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Gwen Markham

Andrew Mutch

Wayne Wrobel

Laura Marie Casey

Doreen Poupard

**City Manager**  
Pete Auger

**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Victor C.M. Lauria

**Assistant Chief of Police**  
Jerrod S. Hart

RE: West Oaks I Renovations

**PSP#14-0214**

**Project Description:** Renovation of existing building known as David's Bridal and Gander Mountain.

**Comments:** Existing hydrants must be in service during demo and construction.

**Recommendation: Approval**

Sincerely,

Joseph Shelton- Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

Applicant Response Letter

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Wah Yee Associates  
Architects & Planners  
Since 1961

Response to the Plan Review Center Report of January 6, 2015  
West Oaks I Renovation  
JSP 14-57

January 8, 2015

Ms. Kristen Kapelanski, Planner  
City of Novi  
45175 Ten Mile Road  
Novi, MI 48375

Planning Review by Kristen Kapelanski, 1-7-2015

#### Ordinance Requirements

1. No response required
2. No response required
3. A Photometric Plan will be submitted with the Final Site Plan package.
4. Bicycle parking spaces will be detailed as required by ordinance with the Final Site Plan package.
5. Economic Impact: The total cost of the site improvements and proposed building renovation/addition will be around 7.5 million dollars. During the time of construction there will be an average of 45 jobs. These jobs will change as certain trades finish their work and new trades start. After construction, Ramco-Gershenson expects no new employees for Party City, David's Bridal or Gander Mountain. The new tenant expects to employ roughly 60 to 75 people.
6. No response required

Please refer to the Response Letter from Professional Engineering Associates of January 7, 2015 for the response to the Engineering, Traffic and Landscape review comments.

37911 West Twelve Mile Road  
Farmington Hills, MI 48331  
(248) 489-9160 FAX: (248) 489- 0133  
E-Mail: [wya@wahyeeassoc.com](mailto:wya@wahyeeassoc.com)





Wah Yee Associates  
Architects & Planners  
Since 1961

Façade Ordinance Review by Douglas R. Necci, January 7, 2015

1. Roof top equipment will be screened from view as required.
2. Façade material inspection will be scheduled as required.

Sincerely,  
Wah Yee Associates

A handwritten signature in blue ink that reads "C. E. Fosse". The signature is fluid and cursive.

Charles E. Fosse, NCARB  
Principal

37911 West Twelve Mile Road  
Farmington Hills, MI 48331  
(248) 489-9160 FAX: (248) 489- 0133  
E-Mail: [wya@wahyeeassoc.com](mailto:wya@wahyeeassoc.com)





**PROFESSIONAL ENGINEERING ASSOCIATES, INC.**

Civil Engineers | Land Surveyors | Landscape Architects

Corporate Office • 2430 Rochester Court • Suite 100 • Troy, MI 48083  
(P) 248.689.9090 • (F) 248.689.1044 • [www.peainc.com](http://www.peainc.com)

January 7, 2015  
PEA Project No: 2014-166

Ms. Kristen Kapelanski  
Planner  
City of Novi  
45175 W. 10 Mile Road  
Novi, MI, 48375

**RE: Preliminary Site Plan Review Comments  
West Oaks I Renovation JSP14-57**

Dear Ms. Kapelanski:

In response to the comments received from various City departments during the Preliminary Site Plan Review process, we offer the following responses:

Planning Review Comments dated January 6, 2015:

Responses are offered for only those items where a plan revision or typed response was necessary.

3. A photometric plan with proposed lighting and manufacturer's details will be submitted for Final Site Plan review.
4. The plans will provide a bike parking lot layout consistent with the requirements outlined in the planning review chart.

Engineering Department Review dated January 7, 2015:

Responses are offered for only those items where a plan revision or typed response was necessary.

General:

1. The non-domestic user survey will be submitted prior to Final Stamping Set approval
2. A sign table will be added to the plans with quantities. A note will also be provided stating "All traffic signage shall comply with the current MMUTCD standards".
3. City standard details will be included for the Final Stamping Set submittal.

Water Main:

4. A tapping sleeve, valve and well connecting to the existing water main will be shown on the plans.
5. Water main profiles will be included for the Final Site Plan submittal.
6. Three sealed sets of drawings for water main permitting will be submitted.

Sanitary Sewer:

7. The Oakland County Water Resources Commission IWC form for non-domestic sites will be submitted prior to Final Stamping Set submittal.

Storm Water Management Plan:

8. Due to existing constraints, we are not able to meet the requirements of the 0.1 foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs and match the 0.80 diameter depth above the invert for pipe size increases. We will submit the Request for Variance Design and Construction Standards form to obtain a variance for the 0.1 foot drop in inverts of all storm structures.
9. At the location where the pipe diameter changes, the plans will indicate the pipes match at the 0.80 diameter depth above the inverts of the 36 inch and 42 inch storm sewer.
10. Plunge pools will be added to manholes where difference of inverts exceeds 2 feet.
11. The 10-year HGL will be shown in the profiles.
12. All pipes intersecting a storm structure will be shown on the plans.
13. Profiles of all proposed storm sewers will be shown for the Final Site Plan submittal.

Storm Water Management Plan:

14. The storm water management will be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
15. A drainage area map will be shown on the drawings.

Paving and Grading:

16. The top of curb/walk and top of pavement/gutters will be shown to indicate height of curb adjacent to parking stalls or drive areas.
17. The curb height will be reduced from 6-inches to 4-inches where the parking stalls are adjacent to the parking stalls.

Final Site Plan Submittal:

18. An itemized cost opinion will be included for the Final Site Plan submittal.

Stamping Set Submittal:

19. – 20. Response not required – Items will be addressed prior to Final Stamping Set submittal.

Prior to Construction:

21. – 27. Responses not required. Items will be addressed prior to construction.

Traffic Review by Clearzoning dated December 30, 2014

Responses are offered for only those items where a plan revision or typed response was necessary.

1. The labels will be revised to read '4" Concrete Straight Face Curb, Typ. Refer to Detail on Sheet C-8.1'
2. Note 1 will be revised to specifically state that "parking space dimensions – length as well as width – are referenced to the face of curb or walk"
3. A note will be added to the plan specifying all signs shall be placed a minimum of 2 feet behind the back of curb.
4. No parking fire lane signs will be added in the landscaping area on the north side of the drive aisle. Note 4 will be revised accordingly.
5. The sign legend will be retitled to sign quantities and it will include the quantities of each sign type required.



Landscape Review Comments dated January 6, 2015

Responses are offered for only those items where a plan revision or typed response was necessary.

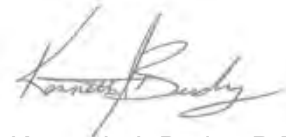
Parking Landscape

2. Plans will be revised to include a canopy tree in all parking lot islands.

If you should have any further questions or comments, please contact this office.

Sincerely,

**PROFESSIONAL ENGINEERING ASSOCIATES, INC.**

A handwritten signature in black ink, appearing to read "Kenneth J. Budry". The signature is written in a cursive style with a large initial "K".

Kenneth J. Budry, P.E.  
Project Engineer

PRELIMINARY SITE PLAN DRAWINGS FOR

# WEST OAKS I

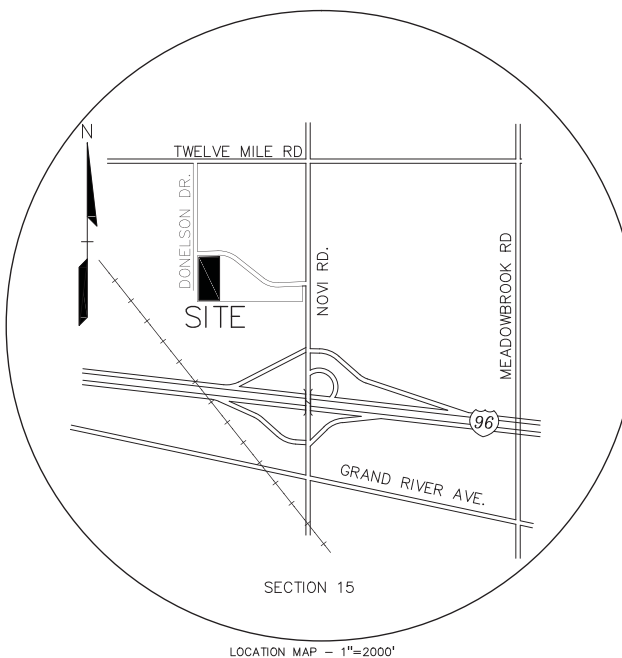
PART OF THE NE 1/4 OF SECTION 15, T. 01N, R.08E  
CITY OF NOVI, MICHIGAN

**LEGAL DESCRIPTIONS**

(Per First of American Title Insurance Company, Commitment No. 260335, in "ALTA/ACSM Land Title Survey – West Oaks, PEA Job #2000369)

**PARCEL NO 22-15-200-101**

The following is the description of a parcel of land located in the City of Novi, Oakland County, Michigan, and being more particularly described as follows: Town 1 North, Range 8 East, Section 15, part of the Northeast 1/4, beginning at point distant N01°49'18"W, 495.19 feet and S88°06'22"W, 194.59 feet from East 1/4 corner; thence S88°06'22"W, 1135.33 feet; thence N01°49'18"W, 190.00 feet; thence N46°53'38"W, 7.07 feet; thence S88°06'22"W, 131.67 feet; thence S58°21'40"W, 40.31 feet; thence S88°06'22"W, 105.00 feet; thence N01°49'18"W, 618.59 feet; thence N43°12'00"E, 31.05 feet; thence N88°17'58"E, 512.21 feet; thence along curve to right, radius 293.80 feet, chord bears S69°12'22"E, 224.10 feet, distance of 229.88 feet; thence S46°42'22"E, 138.52 feet; thence along curve to left, radius 406 feet, chord bears S50°23'04"E, 52.10 feet, distance of 52.13 feet; thence S01°49'18"E, 26.90 feet; thence N83°54'07"E, 35.10 feet; thence along curve to left, radius 406 feet, chord bears S74°10'00"E, 197.67 feet, distance of 199.68 feet; thence S88°15'22"E, 335.94 feet; thence S01°49'18"E, 80.05 feet; thence S01°02'27"W, 159.67 feet; thence S88°06'22"W, 178.17 feet; thence S01°49'38"E, 195.00 feet; thence N88°06'22"W, 168.17 feet; thence S04°15'23"W, 54.57 feet to the Point of Beginning.



LOCATION MAP – 1"=2000'

**APPLICANT:**  
RAMCO GERSHENSON INC.  
31500 NORTHWESTERN HWY., SUITE 200  
FARMINGTON HILLS, MI 48334  
CONTACT: ROSS GALLENTINE  
PHONE: (248) 592-6326  
FAX: (248) 592-6327

**PROJECT ARCHITECT:**  
WAH-YEE ASSOCIATES  
37911 WEST TWELVE MILE ROAD  
FARMINGTON HILLS, MICHIGAN 48331  
CONTACT: CHARLES FOSSE  
PHONE: (248) 489-9160

**INDEX OF DRAWINGS:**

- C-0 COVER SHEET
- C-1.0 TOPOGRAPHIC SURVEY – OVERALL
- C-1.1 TOPOGRAPHIC SURVEY – NORTH
- C-1.2 TOPOGRAPHIC SURVEY – SOUTH
- C-2.1 DEMOLITION PLAN – NORTH
- C-2.2 DEMOLITION PLAN – SOUTH
- C-3.1 DIMENSION PLAN – NORTH
- C-3.2 DIMENSION PLAN – SOUTH
- C-4.1 GRADING PLAN – NORTH
- C-4.2 GRADING PLAN – SOUTH
- C-5.1 UTILITY PLAN – NORTH
- C-5.2 UTILITY PLAN – SOUTH
- C-6.1 STORM WATER MANAGEMENT PLAN
- C-7.1 SOIL EROSION & SEDIMENT CONTROL PLAN – NORTH
- C-7.2 SOIL EROSION & SEDIMENT CONTROL PLAN – SOUTH
- C-8.1 NOTES & DETAIL SHEET
- C-8.2 M.D.O.T. SIDEWALK RAMP DETAILS

**ARCHITECTURAL PLANS:**

- A2.1 BUILDING PLAN
- A4.1 BUILDING ELEVATIONS
- A4.2 BUILDING ELEVATIONS
- A4.3 BUILDING ELEVATIONS

**LANDSCAPE PLANS:**

- L-1.1 LANDSCAPE PLAN

**CITY OF NOVI STANDARD DETAILS SHEETS**

- (NOT INCLUDED IN PLAN SET):**  
 SANITARY SEWER DETAILS (1 OF 2)  
 SANITARY SEWER DETAILS (2 OF 2)  
 O.C.D.P.W. SANITARY SEWER DETAILS  
 STORM SEWER DETAILS  
 WATER MAIN DETAILS (1 OF 2)  
 WATER MAIN DETAILS (2 OF 2)  
 O.C.W.R.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

**LANDSCAPE ARCHITECT:**

PROFESSIONAL ENGINEERING ASSOCIATES, INC.  
2900 E. GRAND RIVER AVENUE  
HOWELL, MI 48843  
CONTACT: JANET EVANS GRISCOM, L.L.A./JEFF SMITH, R.L.A., LEED AP  
PHONE: (517) 546-8583  
FAX: (517) 546-8973

**CIVIL ENGINEER:**

PROFESSIONAL ENGINEERING ASSOCIATES, INC.  
2430 ROCHESTER COURT, SUITE: 100  
TROY, MICHIGAN 48063  
CONTACT: DAVID N. HUNTER, P.E. / KENNETH J. BUDRY, P.E.  
PHONE: (248) 689-9090  
FAX: (248) 689-1044

**PRELIMINARY - NOT FOR CONSTRUCTION**

NETP: LL\2014\08\2\NOV\20\08\14-1086.DWG  
 PRINT: LL\2014\08\2\NOV\20\08\14-1086.DWG  
 PLOT: LL\2014\08\2\NOV\20\08\14-1086.DWG

NO.	BY	DATE	DESCRIPTION

REVISIONS



David N. Hunter

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THIS DOCUMENT AND ANY INFORMATION CONTAINED HEREIN IS UNCLASSIFIED AND IS BEING RELEASED TO THE PUBLIC. THIS DOCUMENT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM THE OFFICE OF THE PROFESSIONAL ENGINEER IN CHARGE OF THE PROJECT.

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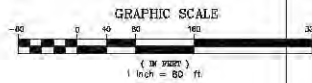
**PROFESSIONAL ENGINEERING ASSOCIATES**  
2430 Rochester Ct, Suite 100  
Troy, MI 48063-1939  
Phone: (248) 689-9090  
Fax: (248) 689-1044  
Website: www.pea.com

RAMCO GERSHENSON 2700 NORTHWESTERN HWY., SUITE 200 FARMINGTON HILLS, MI 48334	COVER SHEET	PART OF THE CITY OF NOVI PROJECT	WEST OAKS I	DWN   P.M.   OMM
	AUB   DNR   SUR   GWC	DES.   AUB   DNR   SUR   GWC		
	PROJECT ARCHITECT: WAH-YEE ASSOCIATES			

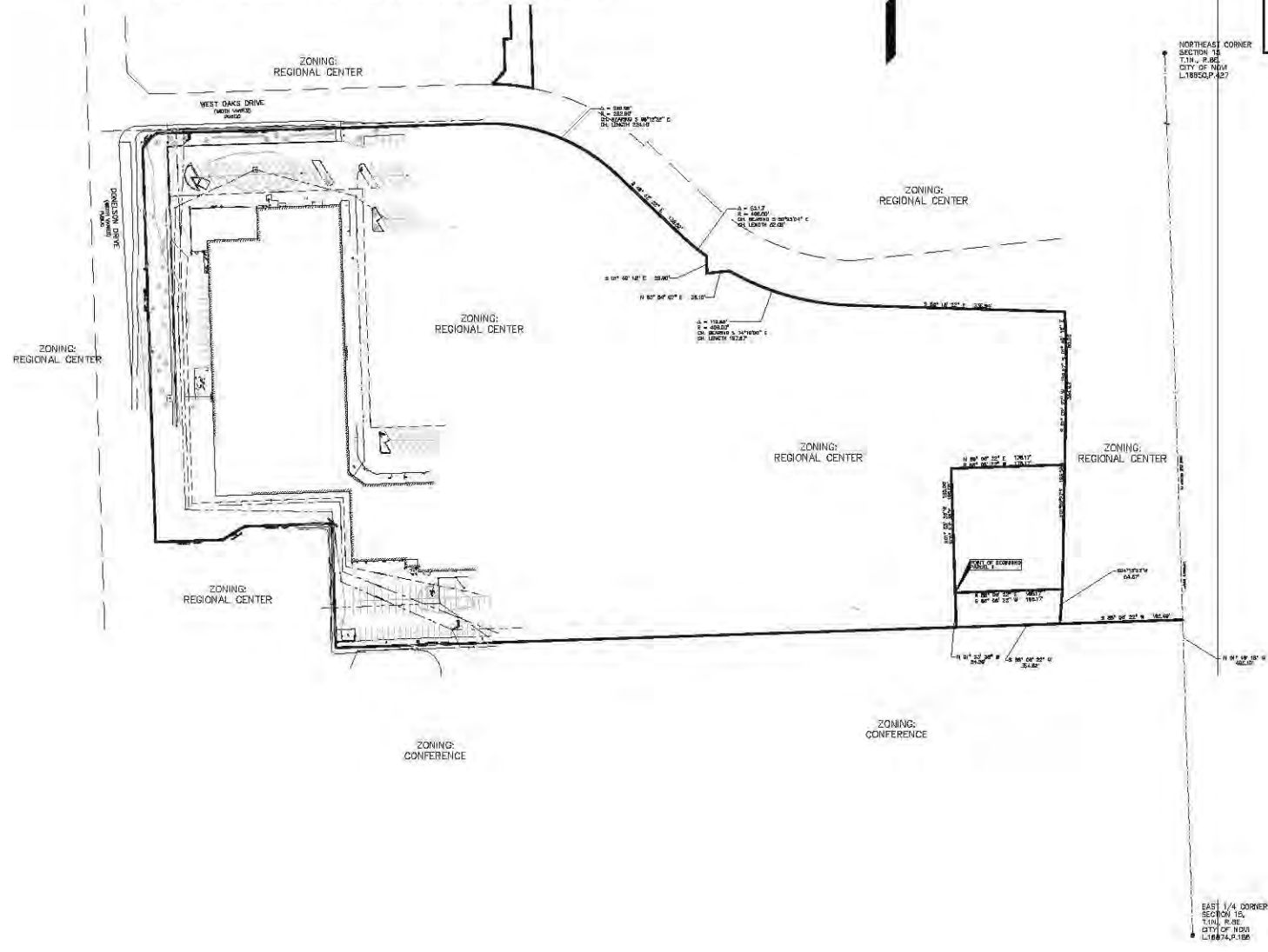
ORIGINAL ISSUE DATE: DEC. 18, 2014 REA JOB NO. 2014-166
SCALE: NONE
DRAWING NUMBER: <b>C-0</b>

BEACH MARKS  
 CITY OF NOLI DATUM  
 BM #300  
 N. RM. OF A SANITARY MANHOLE AT THE 30'  
 SOUTH OF THE SOUTH CURB OF WEST OAKS  
 DRIVE AND 100' EAST OF THE EAST CURB OF  
 DONELSON DRIVE. ELEV. 928.22  
 BM #301  
 N. RM. OF A SANITARY MANHOLE 20' NORTH  
 OF THE SOUTH PROPERTY LINE OF WEST OAKS  
 CENTER BEHIND (SOUTH) OF #43713 (DSW)  
 ELEV. 925.16

**LEGAL DESCRIPTIONS**  
 [Per First of American Title Insurance Company, Commitment No. 250335, in "ALTA/ACSH Land Title Survey - West Oaks, PEA Job #2000368"]  
**PARCEL NO. 22-15-200-101**  
 The following is the description of a parcel of land located in the City of Noli, Oakland County, Michigan, and being more particularly described as follows: Town 1 North, Range 8 East, Section 18, part of the Northeast 1/4 Beginning at point distant N01°49'18"W, 495.19 feet and S89°06'22"W, 102.48 feet from East 1/4 corner; thence S89°06'22"W, 1136.33 feet; thence N01°53'09"W, 150.00 feet; thence N46°53'38"W, 707 feet; thence S86°08'22"W, 121.87 feet; thence S68°21'42"W, 43.31 feet; thence S89°09'22"W, 105.00 feet; thence N01°53'08"W, 616.59 feet; thence N43°12'00"E, 31.05 feet; thence N68°17'38"E, 312.21 feet; thence along curve to right, radius 282.60 feet, chord bears S69°12'22"E, 224.10 feet, distance of 220.96 feet; thence S46°42'22"E, 133.32 feet; thence along curve to left, radius 406 feet, chord bears S30°23'04"E, 32.10 feet, distance of 52.13 feet; thence S01°49'18"W, 38.90 feet; thence N46°54'47"E, 38.10 feet; thence along curve to left, radius 406 feet, chord bears S74°10'00"E, 187.67 feet, distance of 199.65 feet; thence S68°15'22"E, 335.94 feet; thence S01°49'18"E, 80.05 feet; thence S01°02'27"W, 159.87 feet; thence S89°06'22"W, 776.17 feet; thence S01°53'38"E, 195.00 feet; thence N88°06'22"E, 168.17 feet; thence S54°15'23"W, 94.97 feet to the Point of Beginning.



NO.	BY	DATE	DESCRIPTION



**CAUTION!**  
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 2430 Rochester Ct. Suite 100  
 Troy, MI 48063-1375  
 Phone: (248) 689-9090  
 Fax: (248) 689-1044  
 Website: www.peaassoc.com

**RAMCO GERSHENSON**  
 2700 NORTHWESTERN AVE., SUITE 200  
 FARMINGTON HILLS, MI 48334  
**TOPOGRAPHIC SURVEY - OVERALL WEST OAKS I**  
 PART OF THE CITY OF NOLI, MICHIGAN  
 DES. K.A.B. | DN. K.A.B. | SUR. G.W.C. | P.M. D.M.  
 DATE: 11/14/14

ORIGINAL  
 ISSUE DATE: DEC. 18, 2014  
 REA JOB NO. 2014-166  
 SCALE: 1" = 80'  
 DRAWING NUMBER:  
**C-1.0**

PRELIMINARY - NOT FOR CONSTRUCTION











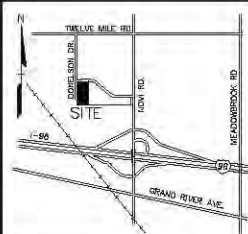


BENCH MARKS  
CITY OF NOVI DATUM  
BM #300  
N. RM. OF SANITARY MANHOLE AT THE 30'  
SOUTH OF THE SOUTH CURB OF WEST OAKS  
DRIVE AND 100' EAST OF THE EAST CURB OF  
DORRISON DRIVE. ELEV. 928.22  
BM #301  
N. RM. OF A SANITARY MANHOLE 20' NORTH  
OF THE SOUTH PROPERTY LINE OF WEST OAKS  
CENTER BEHIND (SOUTH) OF #43713 (DSW)  
ELEV. 925.16

**LEGEND**


**REFERENCE DRAWINGS**

- NEW CURB MAP
- NEW SIGN MAP
- NEW ROAD SET
- NEW MAIL VOUCHER
- NEW MAIL & CURB SET
- NEW SIGN
- NEW ROAD SET
- NEW MAIL VOUCHER
- NEW MAIL & CURB SET



LOCATION MAP - NOT TO SCALE

GRAPHIC SCALE  
(IN FEET)  
1 inch = 20 ft

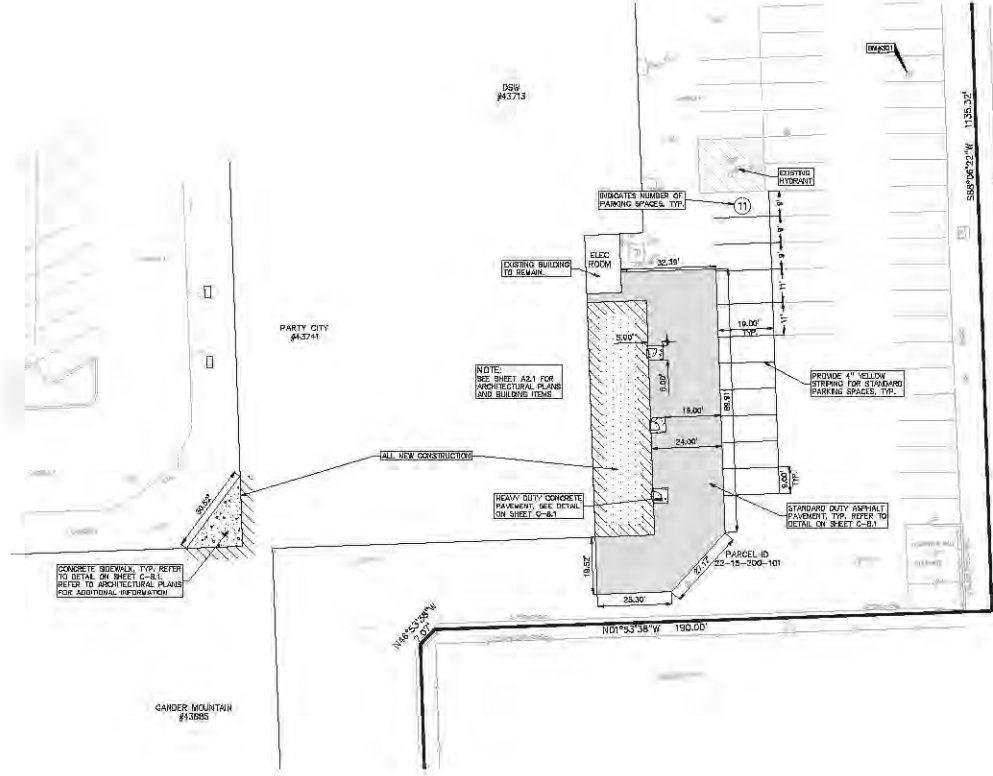
NO.	BY	DATE	DESCRIPTION

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website: www.pea.com

**RAMCO GERSHENSON**  
ENGINEERING ASSOCIATES, INC.  
3700 NORTHWESTERN AVENUE, SUITE 200  
FARMINGTON HILLS, MI 48334  
PART OF THE CITY OF NOVI, MICHIGAN  
**DIMENSION PLAN - SOUTH WEST OAKS I**  
DES: AUB DN: AUB SUR: GWC P: P.M. DMI: DMI



**CONSTRUCTION SITE ACCESS NOTE:**  
CONTRACTOR SHALL USE DRIVE APPROACHES OFF OF WEST OAKS DRIVE TO ACCESS THE SITE.

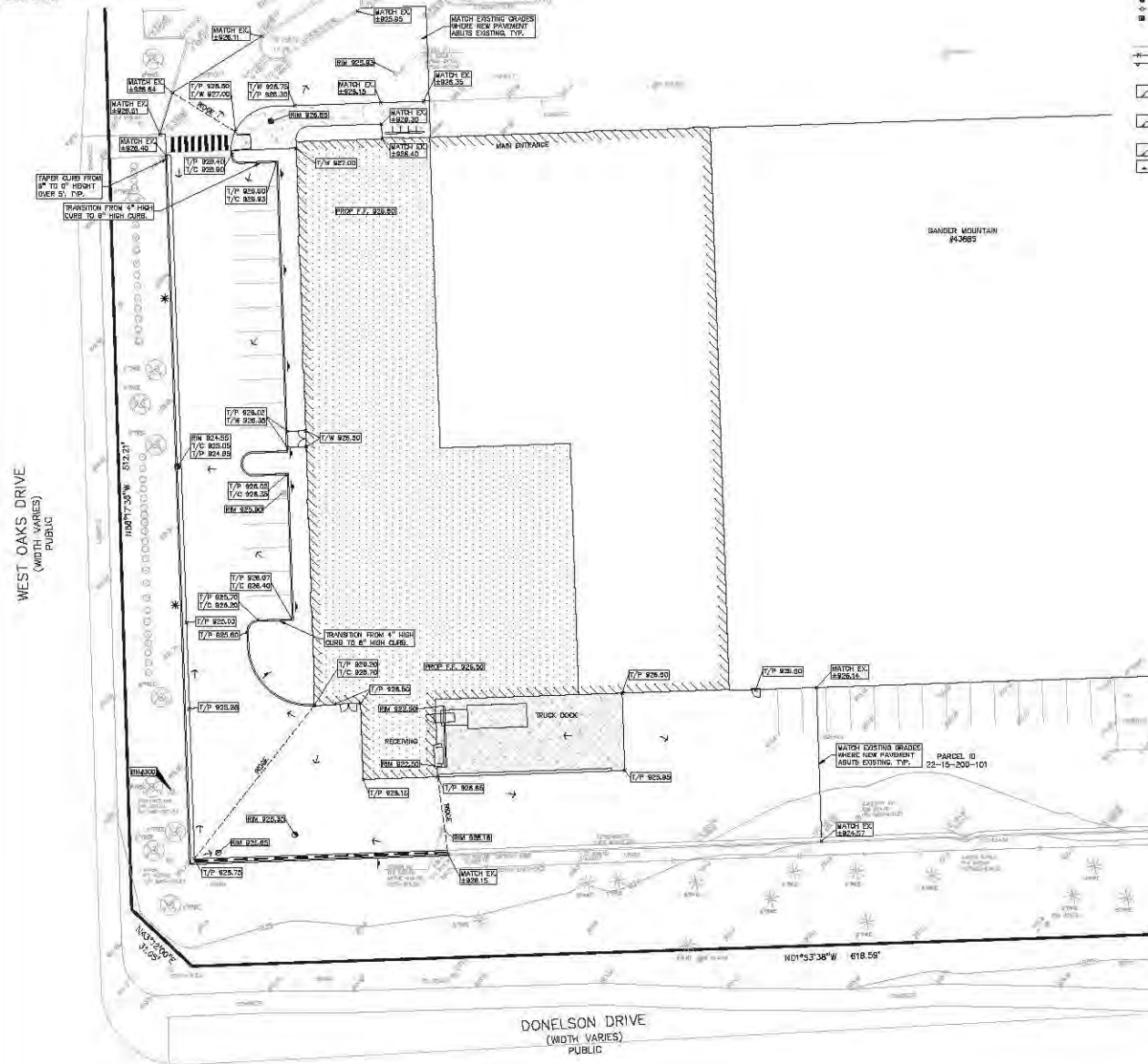
PRELIMINARY - NOT FOR CONSTRUCTION

ORIGINAL  
ISSUE DATE: DEC. 18, 2014  
REA JOB NO. 2014-166  
SCALE: 1" = 20'  
DRAWING NUMBER:  
**C-3.2**

BENCH MARKS  
CITY OF NOVI DATUM

BM #300  
N. RM. OF SANITARY MANHOLE AT THE 30'  
SOUTH OF THE SOUTH CURB OF WEST OAKS  
DRIVE 100' EAST OF THE EAST CURB OF  
DONELSON DRIVE. ELEV. 925.22

BM #301  
N. RM. OF A SANITARY MANHOLE 20' NORTH  
OF THE SOUTH PROPERTY LINE OF WEST OAKS  
CENTER BEHIND (SOUTH) OF #43713 (DSW)  
ELEV. 925.16



**LEGEND**

B	BENCH MARK	C	CONTRACTOR FOUND
D	DEEMED SET	DA	DEEMED ASSET
A	ASBESTOS		
F	FIELD SURVEY		

**GRADING**

-0'-00"-FINISH- PROPOSED FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-PROPOSED- PROPOSED FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-EXISTING- EXISTING FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-PROPOSED- PROPOSED FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-EXISTING- EXISTING FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-PROPOSED- PROPOSED FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

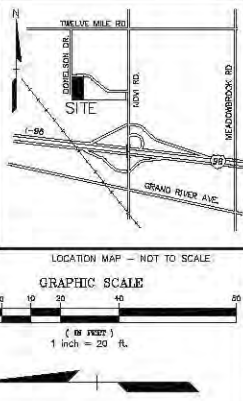
-0'-00"-EXISTING- EXISTING FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-PROPOSED- PROPOSED FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

-0'-00"-EXISTING- EXISTING FINISH GRADE TO BE EX. PROVIDED BY THE CONTRACTOR.

**REFERENCE DRAWINGS**

NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP  
NOV. 2014 MWP



**REVISIONS**

NO.	BY	DATE	DESCRIPTION

- GENERAL GRADING AND EARTHWORK NOTES:**
- CONTRACTOR TO FIELD VERIFY ALL EXISTING UTILITIES AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE.
  - ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED.
  - THE SCHEDULING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR.
  - ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF NOVI AND CRAWFORD COUNTY. AN EROSION CONTROL PERMIT MUST BE OBTAINED FROM THE CITY PRIOR TO CONSTRUCTION.
  - REFER TO O.C.W.P.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES.
  - ALL DISTURBED AREAS SHALL BE RESEED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED.
  - THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE CHANGED CRITICALLY, ANY TRENCHES FOUND TO HAVE SOFT, UNUSABLE OR UNDESIRABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOLOGICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.



**EARTHWORK BALANCING NOTE:**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING OR EXPORTING ALL MATERIALS AS REQUIRED TO PROPERLY GRADE THIS PROJECT TO THE FINISHED ELEVATIONS SHOWN ON THE APPROVED PLANS. THE CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION OF SOIL AND FILL QUANTITIES AND ALLOW FOR REMOVAL OF EXCESS OR IMPORTATION OF ADDITIONAL MATERIAL AT NO ADDITIONAL COST TO THE OWNER.

**SIDEWALK RAMP LEGEND:**

SIDEWALK RAMP 1" IN 4"

NOTE: TO SHEET E-0.2 FOR ADD'L 2"-20" STANDARD RAMP AND DETECTABLE WARNING DETAILS

**CONSTRUCTION SITE ACCESS NOTE:**

CONTRACTOR SHALL USE DRIVE APPROACHES OFF OF WEST OAKS DRIVE TO ACCESS THE SITE.

**CAUTION!**

THIS PLAN IS PRELIMINARY AND NOT FOR CONSTRUCTION. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES AND REMOVE ALL THAT ARE NECESSARY TO GRADE SITE. ALL GRADES ARE TO TOP OF PAVEMENT UNLESS OTHERWISE NOTED. THE SCHEDULING OF CONSTRUCTION ACTIVITIES SHALL OCCUR ONLY WITHIN THE SITE BOUNDARIES. ANY CONSTRUCTION ACTIVITIES OUTSIDE OF THE SITE BOUNDARIES SHALL BE AT THE SOLE RESPONSIBILITY AND RISK OF THE CONTRACTOR. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL MEET THE REQUIREMENTS OF THE CITY OF NOVI AND CRAWFORD COUNTY. AN EROSION CONTROL PERMIT MUST BE OBTAINED FROM THE CITY PRIOR TO CONSTRUCTION. REFER TO O.C.W.P.C. SOIL EROSION AND SEDIMENTATION CONTROL DETAILS SHEET FOR ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND NOTES. ALL DISTURBED AREAS SHALL BE RESEED AND MULCHED OR SODDED IN ACCORDANCE WITH THE LANDSCAPE PLANS. PROVIDE A MINIMUM OF 3" OF TOPSOIL IN THESE AREAS UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL NOTE EXISTING UNDERGROUND UTILITIES WITHIN AND ADJACENT TO THE SITE. BACKFILL FOR EXISTING UTILITY TRENCHES SHALL BE CHANGED CRITICALLY, ANY TRENCHES FOUND TO HAVE SOFT, UNUSABLE OR UNDESIRABLE BACKFILL MATERIAL, IN THE OPINION OF THE GEOLOGICAL ENGINEER, THAT ARE TO BE WITHIN THE ZONE OF INFLUENCE OF PROPOSED BUILDINGS OR PAVEMENT SHALL BE COMPLETELY EXCAVATED AND BACKFILLED WITH SUITABLE MATERIAL.

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FARMINGTON HILLS, MI 48334

**GRADING PLAN - NORTH WEST OAKS I**

PART OF THE CITY OF NOVI DEVELOPMENT

DES. K.A.B. DN. K.A.B. SUR. G.V.C. P. M.  
K.A.B. DN. K.A.B. SUR. G.V.C. P. M.

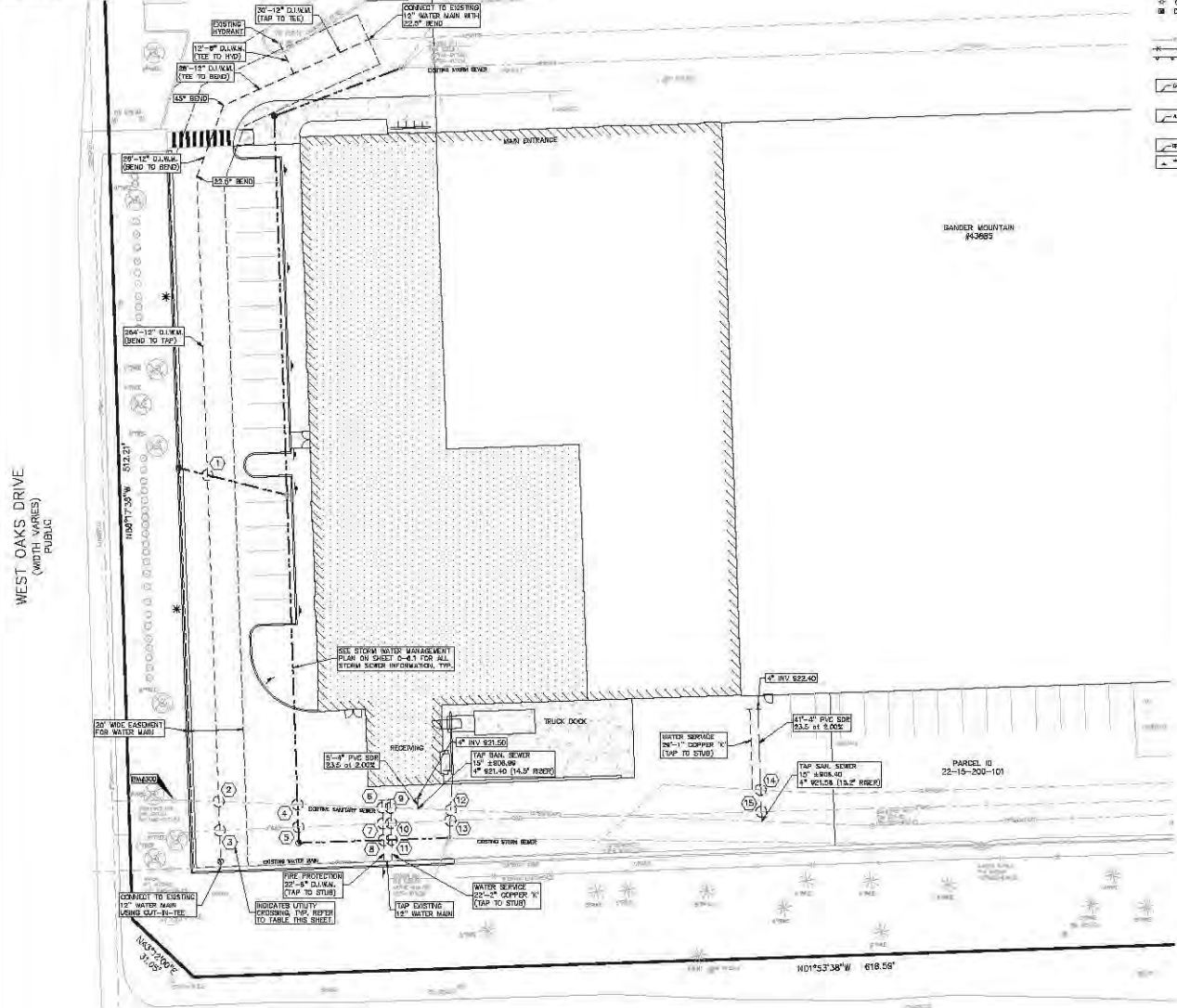
ORIGINAL  
ISSUE DATE: DEC. 18, 2014  
PEA JOB NO. 2014-166

SCALE: 1" = 20'  
DRAWING NUMBER:  
**C-4.1**

PRELIMINARY - NOT FOR CONSTRUCTION



BEACH MARKS  
CITY OF NOVI DATUM  
BM #300  
N. RM. OF SANITARY MANHOLE AT THE 30'  
SOUTH OF THE SOUTH CURB OF WEST OAKS  
DRIVE AND 100' EAST OF THE EAST CURB OF  
DONELSON DRIVE. ELEV. 928.22  
BM #301  
N. RM. OF A SANITARY MANHOLE 20' NORTH  
OF THE SOUTH PROPERTY LINE OF WEST OAKS  
DRIVE BEHIND (SOUTH) OF #43713 (DSW)  
ELEV. 925.16



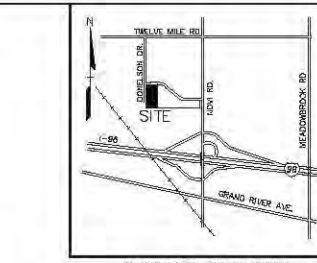
**LEGEND**

**NEW EXIST**  
 (Symbol) NEW EXIST  
 (Symbol) EXISTING FOUND  
 (Symbol) EXISTING FOUND  
 (Symbol) EXISTING FOUND

**CHANGES**  
 (Symbol) CHANGES  
 (Symbol) CHANGES  
 (Symbol) CHANGES

**GENERAL NOTES**  
 (Symbol) GENERAL NOTES  
 (Symbol) GENERAL NOTES  
 (Symbol) GENERAL NOTES

**REFERENCE DRAWINGS**  
 (Symbol) REFERENCE DRAWINGS  
 (Symbol) REFERENCE DRAWINGS  
 (Symbol) REFERENCE DRAWINGS



- GENERAL UTILITY NOTES:**
1. ALL UTILITY LINES, STRUCTURES AND TRENCHES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE CITY OF NOVI.
  2. NO PHYSICAL CONNECTION TO THE EXISTING WATER MAIN CAN BE MADE UNTIL ALL NEW WATER MAINS PASS PRESSURE AND BACTERIOLOGICAL TESTS TO THE SATISFACTION OF THE CITY.
  3. REFER TO DETAIL SHEETS C-5.1 FOR ADDITIONAL UTILITY DETAILS AND NOTES.
  4. ALL WATER MAIN AND FITTINGS (12" DIAMETER AND LARGER) SHALL BE DUCTILE IRON, CLASS 54.
  5. WATER MAIN SERVICE LEADS SHALL BE TYPE 'K' ANNEALED SEAMLESS COPPER WITH FLARED FITTINGS, UNLESS OTHERWISE NOTED.
  6. ALL WATER MAIN SHALL BE PROVIDED WITH 9" OF COVER UNLESS OTHERWISE NOTED.
  7. ALL FIRE HYDRANTS SHALL BE LEAF BEAR MODEL #350 PER CITY STANDARDS.
  8. ALL HYDRANTS TO BE A MINIMUM OF 3' FROM BACK OF CURB, TYP.
  9. ALL NECESSARY FITTINGS, SOCKET BLOCKS, RESTRAINING DEVICES, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE CITY OF NOVI.
  10. THE WATER MAIN CONTRACTOR SHALL NOTIFY THE INSPECTION SECTION OF THE DETROIT WATER AND SEWER DEPARTMENT AT (313) 824-4882 AT LEAST THREE WORKING DAYS IN ADVANCE OF STARTING CONSTRUCTION.
  11. ALL SANITARY SEWER 10" OR LARGER SHALL BE P.V.C. TRUSS PIPE (ASTM D2426) AND FITTINGS, WITH ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
  12. ALL SANITARY SEWER LEADS SHALL BE POLYETHYLENE GLYCOL (PE) 200, 215 PIPE AND FITTINGS. ALL JOINTS TO BE ELASTOMERIC GASKET JOINTS PER ASTM D3212 UNLESS OTHERWISE NOTED.
  13. SANITARY LEADS SHALL BE PROVIDED WITH CLEANOUTS EVERY 100 FEET AND AT EVERY BOND. AS SHOWN. ALL CLEANOUTS TO BE PROVIDED WITH 2.0" DIA. BRASS BOX OR EQUIV.
  14. PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE AND TO END OF FLARED END SECTION UNLESS NOTED OTHERWISE.
  15. THE CITY OF NOVI STANDARD DETAIL SHEETS ARE INCORPORATED INTO AND MADE A PART OF THESE PLANS. CONTRACTOR TO REFER TO THE CITY OF NOVI STANDARD DETAIL SHEETS FOR ALL STRUCTURE, PIPE MATERIALS, BEDDING, TRENCH, ETC. NOTES AND DETAILS.

**SAND BACKFILL NOTE:**  
ALL UTILITIES UNDER PAVEMENT OR WITHIN 3" OF THE EDGE OF PAVEMENT (OR WITHIN THE 45" LINE OF INCLUDES OF PAVEMENT) SHALL HAVE M.D.T. CLASS 2 GRANULAR BACKFILL COMPACTED TO 98% MAX. DRY DENSITY (ASTM D-1557).

**PUBLIC UTILITY EASEMENTS:**  
ALL SANITARY SEWER 10" AND LARGER IN DIAMETER ARE TO BE PUBLIC AND SHALL BE LOCATED IN A 20' WIDE EASEMENT. ALL WATER MAIN SHALL BE LOCATED IN A 20' WIDE EASEMENT.

**CONSTRUCTION SITE ACCESS NOTE:**  
CONTRACTOR SHALL USE DRIVE APPROACHES OFF OF WEST OAKS DRIVE TO ACCESS THE SITE.

**SANITARY SEWER QUANTITIES:**

8" PVC SDR 25.8 PIPE	44 LF
TAP EXISTING SEWER	2 EA.

**WATER MAIN QUANTITIES:**

1" COPPER 'K' WATER LEAD	39 LF
3" COPPER 'K' WATER LEAD	22 LF
8" D.I.W.M. CLASS 54	22 LF
8" D.I.W.M. CLASS 54	12 LF
12" D.I.W.M. CLASS 54	340 LF
12" O.V. AND WELL	1 EA.
12"x12" CUT-IN-TEE	1 EA.

**NOTE:**  
CONTRACTOR TO VERIFY ALL QUANTITIES. ANY VARIATIONS TO THE PLAN QUANTITIES SHALL BE REPORTED TO THE ATTENTION OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. FOR VERIFICATION, PRIOR TO BIDDING.

**UTILITY CROSSING INFORMATION:**

1	BOTTOM OF STORM-#18.83	TOP OF WATER-#17.43	30" WATER MAIN
2	BOTTOM OF WATER-#18.00	TOP OF EX. SANITARY-#20.78	
3	EX. GAS CROSSING#1	TOP OF WATER-#18.13	
4	BOTTOM OF STORM-#18.24	TOP OF EX. SANITARY-#20.65	
5	EX. GAS CROSSING#1	TOP OF STORM-#18.24	
6	BOTTOM OF WATER-#18.26	TOP OF EX. SANITARY-#20.60	
7	EX. GAS CROSSING#1	TOP OF WATER-#18.26	
8	BOTTOM OF STORM-#18.27	TOP OF WATER-#17.71	30" WATER
9	BOTTOM OF WATER-#18.28	TOP OF EX. SANITARY-#20.46	
10	EX. GAS CROSSING#1	TOP OF WATER-#18.28	
11	BOTTOM OF STORM-#18.27	TOP OF WATER-#17.71	30" WATER
12	BOTTOM OF STORM-#20.27	TOP OF EX. SANITARY-#20.39	
13	EX. GAS CROSSING#1	TOP OF STORM-#20.27	
14	BOTTOM OF EX. WATER MAIN-#21.80	TOP OF SANITARY-#20.00	
15	EX. GAS CROSSING#1	TOP OF SANITARY-#21.87	

**REVISIONS**

NO.	BY	DATE	DESCRIPTION

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**RAMCO GERSHENSON**  
27800 NORTHWESTERN AVENUE, SUITE 200  
FARMINGTON HILLS, MI 48334  
PART OF THE CITY OF NOVI UTILITY PLAN - NORTH WEST OAKS  
DES. DATE: DEC. 18, 2014  
JOB NO. 2014-166  
SCALE: 1" = 20'  
DRAWING NUMBER: C-5.1

**PRELIMINARY - NOT FOR CONSTRUCTION**



BENCH MARKS  
 CITY OF NOVY DATUM  
 BM #300  
 N. 80' W. OF SANITARY MANHOLE AT THE 30'  
 SOUTH OF THE SOUTH CURB OF WEST OAKS  
 DRIVE AND 100' EAST OF THE EAST CURB OF  
 DONELSON DRIVE. ELEV. 925.22  
 BM #301  
 N. 80' W. OF A SANITARY MANHOLE 20' NORTH  
 OF THE SOUTH PROPERTY LINE OF WEST OAKS  
 CENTER BEHIND (SOUTH) OF #43713 (DSW)  
 ELEV. 925.16

**LEGEND**

	NEW FOUND		EX. OTHER FOUND
	NEW REVE		EX. REVEAL FOUND
	NEW REVEAL		EX. REVEAL SET
	NEW & SUP SET		EX. CALCULATED

**STORM**

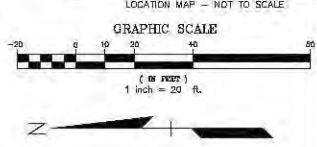
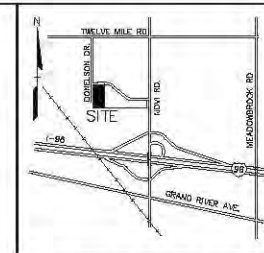
	12" DIA. RIBBED PIPE TO 8" DIA. PIPE @ 4" BY STEEL
	18" DIA. RIBBED PIPE TO 12" DIA. PIPE @ 4" BY STEEL
	24" DIA. RIBBED PIPE TO 18" DIA. PIPE @ 4" BY STEEL
	30" DIA. RIBBED PIPE TO 24" DIA. PIPE @ 4" BY STEEL
	36" DIA. RIBBED PIPE TO 30" DIA. PIPE @ 4" BY STEEL
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	60" DIA. RIBBED PIPE TO 54" DIA. PIPE @ 4" BY STEEL
	66" DIA. RIBBED PIPE TO 60" DIA. PIPE @ 4" BY STEEL
	72" DIA. RIBBED PIPE TO 66" DIA. PIPE @ 4" BY STEEL
	78" DIA. RIBBED PIPE TO 72" DIA. PIPE @ 4" BY STEEL
	84" DIA. RIBBED PIPE TO 78" DIA. PIPE @ 4" BY STEEL
	90" DIA. RIBBED PIPE TO 84" DIA. PIPE @ 4" BY STEEL
	96" DIA. RIBBED PIPE TO 90" DIA. PIPE @ 4" BY STEEL
	102" DIA. RIBBED PIPE TO 96" DIA. PIPE @ 4" BY STEEL
	108" DIA. RIBBED PIPE TO 102" DIA. PIPE @ 4" BY STEEL
	114" DIA. RIBBED PIPE TO 108" DIA. PIPE @ 4" BY STEEL
	120" DIA. RIBBED PIPE TO 114" DIA. PIPE @ 4" BY STEEL

**CONCRETE**

	6" CONC. SLAB & CURB
	8" CONC. SLAB
	10" CONC. SLAB
	12" CONC. SLAB
	15" CONC. SLAB
	18" CONC. SLAB
	20" CONC. SLAB
	22" CONC. SLAB
	24" CONC. SLAB
	26" CONC. SLAB
	28" CONC. SLAB
	30" CONC. SLAB
	32" CONC. SLAB
	34" CONC. SLAB
	36" CONC. SLAB
	38" CONC. SLAB
	40" CONC. SLAB
	42" CONC. SLAB
	44" CONC. SLAB
	46" CONC. SLAB
	48" CONC. SLAB
	50" CONC. SLAB
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	56" CONC. SLAB
	58" CONC. SLAB
	60" CONC. SLAB

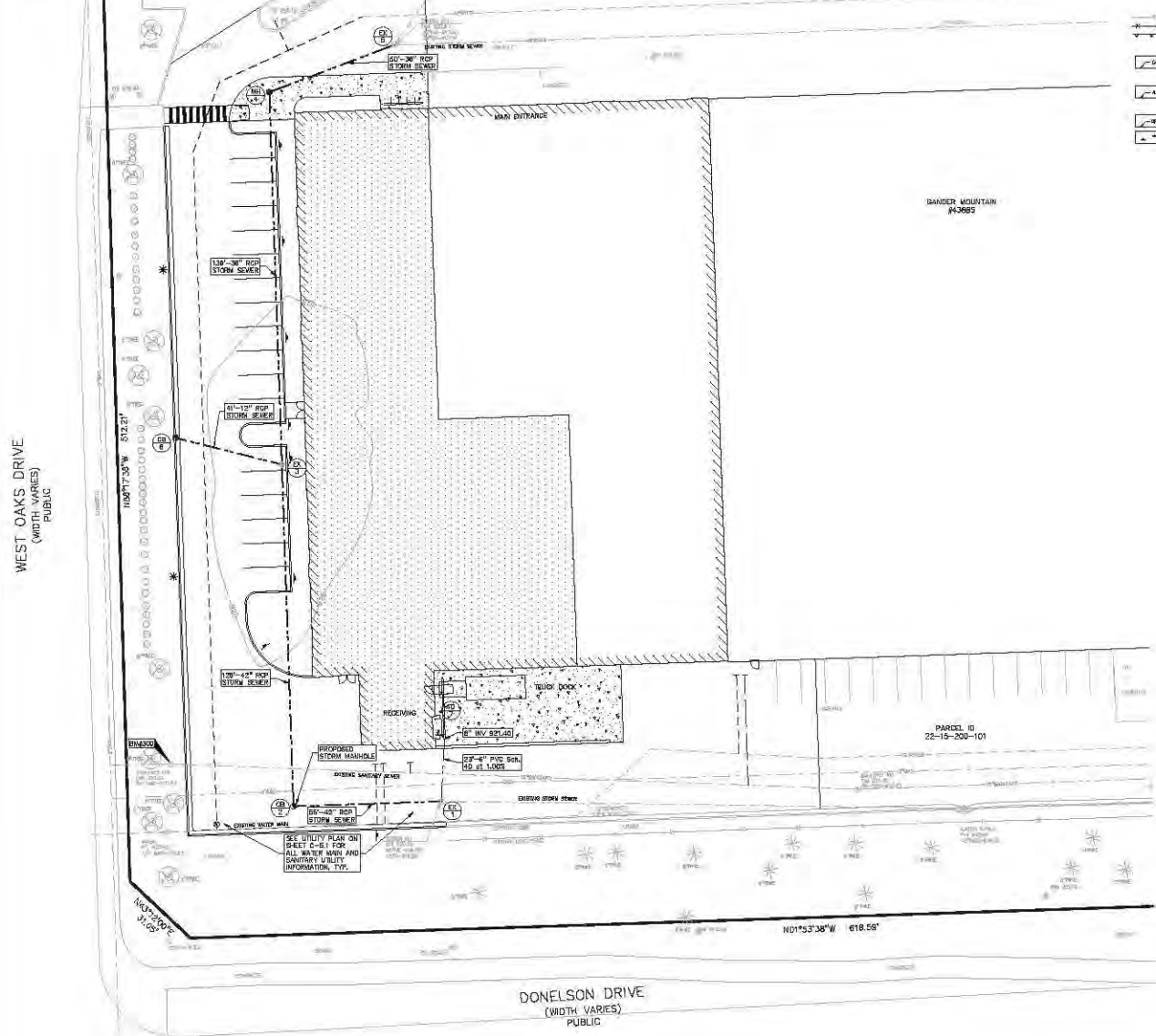
**REFERENCE DRAWINGS**

NOVY DR. MAP	NOVY DR. MAP
NOVY DR. MAP	NOVY DR. MAP
NOVY DR. MAP	NOVY DR. MAP
NOVY DR. MAP	NOVY DR. MAP
NOVY DR. MAP	NOVY DR. MAP
NOVY DR. MAP	NOVY DR. MAP



**REVISIONS**

NO.	BY	DATE	DESCRIPTION



**STORM SEWER UTILITY NOTES:**

- ALL STORM SEWER 12" DIAMETER OR LARGER SHALL BE REINFORCED CONCRETE PIPE (RCP) C-70 CLASS IV WITH MODIFIED JOINTS AND GROUND JOINTS WITH RUBBER GASKETS UNLESS SPECIFIED OTHERWISE. (FORM C-14-33)
- ALL STORM SEWER LEADS SHALL BE PVC SCHEDULE 40 WITH GULLED JOINTS UNLESS OTHERWISE NOTED.

**STORM SEWER STRUCTURES:**

	EXISTING MANHOLE RIM 928.18 42" x 42" x 18.00 42" H 918.26 6" E 918.17		EXISTING MANHOLE RIM 928.43 36" x 36" x 18.00 36" H 917.28 36" H 917.43
	(4" DIA.) E-W 2'x4' WITH TYPE 'W' COVER RIM 928.35 42" x 36" x 8.00 42" E 918.61		(4" DIA.) E-W 2'x4' WITH TYPE 'W' COVER RIM 924.50 12" x 36" x 12.00
	EXISTING CATCH BASIN ADJUST RIM 923.00 42" x 48" x 24.00 12" H 818.00		(4" DIA.) E-W 2'x4' WITH TYPE 'W' COVER RIM 925.90 36" x 36" x 24.00 36" H 917.24

REFER TO CITY OF NOVY STANDARD DETAIL SHEETS FOR ALL STORM SEWER STRUCTURES AND DETAILS.

**STORM SEWER QUANTITIES:**

6" PVC SCHEDULE 40 RPE	23 LF
12" RCP CL-V RPE	41 LF
18" RCP CL-V RPE	196 LF
24" RCP CL-V RPE	140 LF
4" DIA. CATCH BASIN	11 EA.
8" DIA. MANHOLE	1 EA.
8" DIA. CATCH BASIN	2 EA.
24" DIA. MANHOLE	2 EA.

**NOTE:**  
CONTRACTOR TO VERIFY ALL QUANTITIES. ANY DEVIATIONS TO THE PLAIN QUANTITIES SHALL BE BROUGHT TO THE ATTENTION OF PROFESSIONAL ENGINEERING ASSOCIATES, INC. FOR VERIFICATION PRIOR TO BIDDING.

**DRAINAGE NARRATIVES:**

THE SITE IMPROVEMENTS WILL RESULT IN A DECREASE IN THE AMOUNT OF IMPERVIOUS AREA ON THE PROPERTY WITHIN THE DISTURBED AREA. THE EXISTING AND PROPOSED IMPERVIOUS AND PERVIOUS AMOUNTS ARE NOTED BELOW.

**EXISTING**  
 IMPERVIOUS = 1.51 ACRES  
 PERVIOUS = 0.02 ACRES  
 TOTAL VALUE = 0.94

**PROPOSED**  
 IMPERVIOUS = 1.38  
 PERVIOUS = 0.07  
 TOTAL VALUE = 0.62

**DRAINAGE NOTE:**

REMOVING: 870 S.F. OF PERVIOUS AREA  
 ADDING: 2,888 S.F. OF PERVIOUS AREA  
 REMOVING AMOUNT OF IMPERVIOUS AREA BY 2,178 SF.

**CAUTION!**  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND ADEQUATELY PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM ALL AFFECTED AGENCIES AND ADEQUATELY PROTECTING ALL EXISTING UTILITIES AND STRUCTURES TO REMAIN.

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 Fax: (248) 689-1044  
 website: www.peainc.com

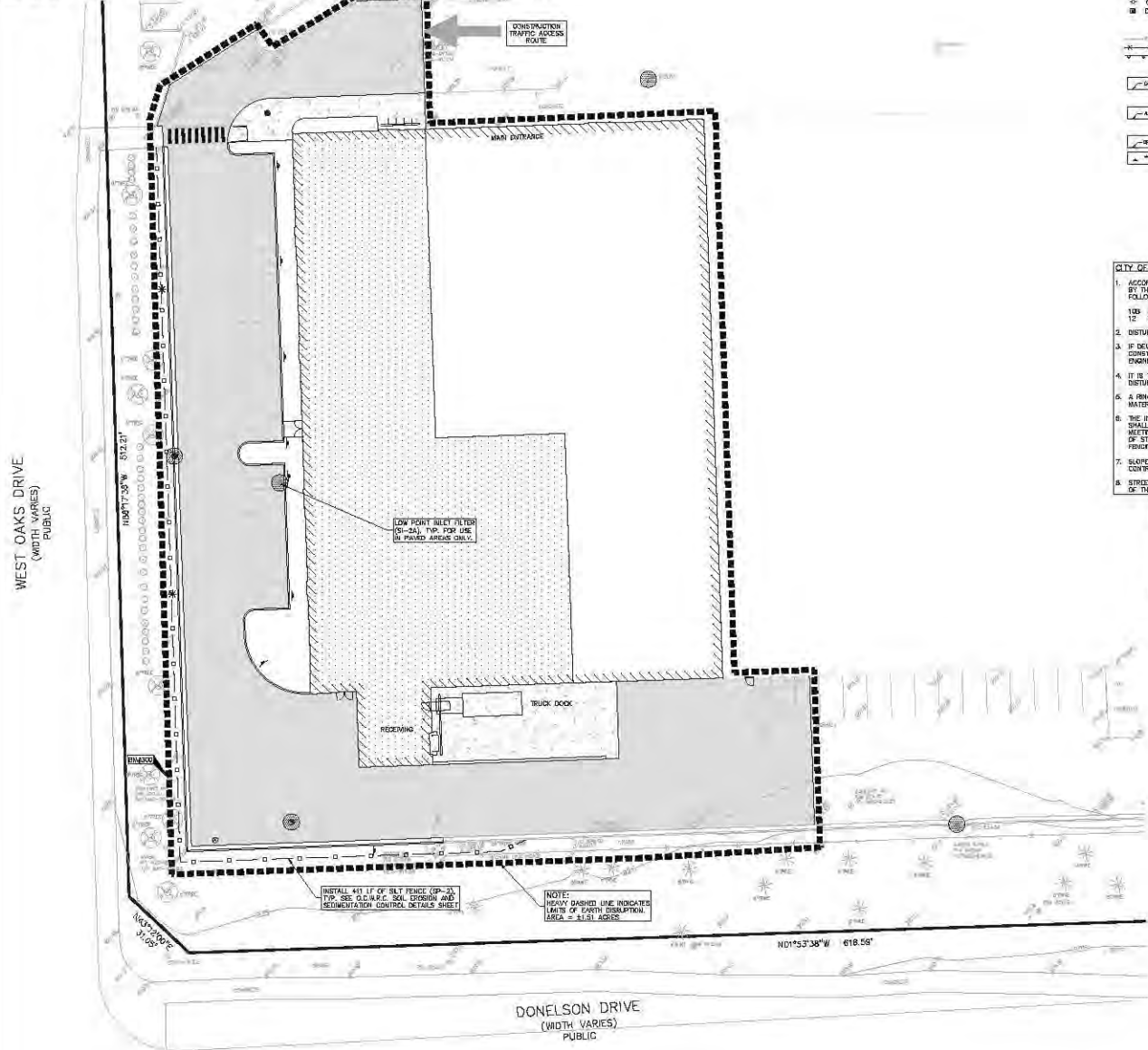
**RAMCO GERSHENSON**  
 2700 NORTHWESTERN AVE., SUITE 200  
 FARMINGTON HILLS, MI 48334

**STORM WATER MANAGEMENT PLAN WEST OAKS I**  
 PART OF THE CITY OF NOVY DEVELOPMENT

DRAWN BY: D.L. DATE: 12/18/2014  
 DESIGNED BY: S.R. DATE: 12/18/2014

ORIGINAL  
 ISSUE DATE: DEC. 18, 2014  
 PEA JOB NO. 2014-166  
 SCALE: 1" = 20'  
 DRAWING NUMBER:  
**C-6.1**

BEACH MARKS  
CITY OF NOWI DATUM  
BM #300  
N. RM. OF A SANITARY MANHOLE AT THE 30'  
SOUTH OF THE SOUTH CURB OF WEST OAKS  
DRIVE 100' EAST OF THE EAST CURB OF  
DONELSON DRIVE. ELEV. 926.22  
BM #301  
N. RM. OF A SANITARY MANHOLE 20' NORTH  
OF THE SOUTH PROPERTY LINE OF WEST OAKS  
DRIVE 100' EAST OF THE EAST CURB OF  
DONELSON DRIVE. ELEV. 925.16



**LEGEND**

NEW FOUND	REMOVED FOUND	SEC. CHANGES FOUND
EXISTING FOUND	REMOVED FOUND	REMOVED FOUND
NEW FOUND	REMOVED FOUND	REMOVED FOUND
NEW FOUND	REMOVED FOUND	REMOVED FOUND

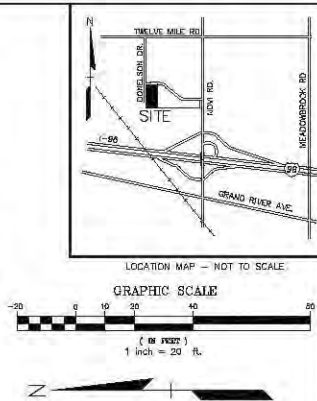
**SYMBOLS: EROSION CONTROL:**

- (SP-2) SILT FENCE
- (M-4) CURB AND GUTTER INLET FILTER

**EROSION CONTROL QUANTITIES:**

SILT FENCE	400 LF
LOW POINT INLET FILTER	6 EA

**DRAINAGE NOTE:**  
CONTRACTOR TO MAINTAIN POSITIVE DRAINAGE TO CATCH BASIN OR OTHER AREA AT THE END OF EACH PROPERTY.



**CITY OF NOWI ADDITIONAL NOTES:**

- ACCORDING TO THE SOIL SURVEY OF GALLAND COUNTY AS PUBLISHED BY THE USDA SOIL CONSERVATION SERVICE, THE FOLLOWING SOILS ARE PRESENT AT THIS PROJECT SITE:  
10B MARLETTE SANDY LOAM 1 TO 6 PERCENT SLOPES  
12 BROOKFIELD AND DOLLOMO CLAYS
- DISTURBED AREA = 2.158 ACRES
- IF DEWATERING IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION, A Dewatering PLAN MUST BE SUBMITTED TO THE ENGINEERING DIVISION FOR REVIEW.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBED AREAS DUE TO THE INSTALLATION OF PUBLIC UTILITIES.
- A RING OF SILT FENCE SHALL BE PLACED AROUND ANY STOCKPILED MATERIAL THAT IS STORED ON SITE FOR GREATER THAN 24 HOURS.
- THE INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. OTHER NECESSARY FEATURES EXIST ON THE SITE. INSPECTION OF STRAINS MAY BE REQUIRED PRIOR TO INSTALLATION OF THE FENCING.
- SLOPES STEEPER THAN 1:6 (16%) SHALL BE STABILIZED WITH EROSION CONTROL BLANKETS.
- STREET DRAINAGE AND DUST CONTROL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**SOIL EROSION MAINTENANCE SCHEDULE AND NOTES:**

- THE CONTRACTOR SHALL INSPECT THE SOIL EROSION AND SEDIMENTATION CONTROL FEATURES ONCE EACH WEEK, AND FOR UP TO 24 HOURS OF A RAINFALL EVENT WHICH RESULTS IN A STORM WATER DISCHARGE FROM THE SITE. THE FOLLOWING ITEMS SHALL BE IMPLEMENTED IF ANY DAMAGE HAS OCCURRED:  
1. ANY DEBRIS OR DIRT ON ANY PAVED AREA RESULTING FROM CONSTRUCTION TRAFFIC SHALL BE CLEANED IN A PROPER MANNER BY THE CONTRACTOR. THE CONSTRUCTION DRIVE SHALL BE CLEANED AT THE END OF EACH DAY.  
2. ALL DIRT AND MUD TRACKED ONTO PAVED AREAS SHALL BE CLEANED BY THE CONTRACTOR DAILY BY SCRAPING STREET CURBS IF REQUIRED NECESSARY.
- SILT FENCE MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY BUILT UP SEDIMENT WHEN THE SEDIMENT HEIGHT ACCUMULATES TO 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE. THE CONTRACTOR IS RESPONSIBLE TO REMOVE, REPLACE, REPAIR OR REBACKFILL THE SEDIMENT FENCES SHOULD IT FAIL OR BE DAMAGED DURING CONSTRUCTION.
- INLET FILTER MAINTENANCE SHALL INCLUDE THE REMOVAL OF ANY ACCUMULATED SILT OR OTHER DEBRIS. THE REMOVAL OF SILT SHOULD BE WITH THE USE OF A BRUSH BRISTLE BROOM OR SQUARE POINT SHOVEL. IF INLET FILTERS CAN NOT BE CLEANED OR ARE DAMAGED, THEN THE FABRIC MUST BE REPLACED.
- CONTRACTOR TO PROVIDE WATER TRUCK TO WATER DOWN THE SITE ON A DAILY BASIS AS REQUIRED TO MAINTAIN DUST CONTROL.

**SOIL EROSION AND SEDIMENTATION CONTROL SCHEDULE OF CONSTRUCTION:**

- SEE OHIO COUNTY SOIL EROSION AND SEDIMENTATION CONTROL DETAIL SHEET FOR ALL SOIL EROSION CONTROL RELATED DETAILS
- PLACE SILT FENCE IN INSTALL INLET FILTERS ON EXISTING STEEL SEWER STRUCTURES, ACCORDING TO PLANS.
- INSTALL TEMPORARILY CRUSHED CONCRETE ACCESS DRIVE AT CONSTRUCTION ENTRANCES. CRUSHED CONCRETE WITH MINIMUM OF 1"-3" CRUSHED CONCRETE - NO FIBERS.
- REMOVE CURB, PAVEMENT, TREES, ETC. AS DIRECTED ON SHEET C-2.
- STRIP AND STOCKPILE TOPSOIL FOR RESTORATION REQUIREMENTS.
- DISPOSE OF ALL EXCESS UNSUITABLE MATERIALS OFF SITE IN A LEGAL MANNER. NO BURN OR BURY PITS ALLOWED.
- UNSUITABLE MATERIALS CONSIST OF, BUT ARE NOT NECESSARILY LIMITED TO THE FOLLOWING: CHROMEITE, ASPHALT, TREES, BRUSH, STUMPS, ROOTS, OR OTHER MISCELLANEOUS DEBRIS OR TRASH.
- MASS GRADE THE SITE IN ACCORDANCE WITH THE PLANS.
- INSTALL SEED, MULCH AND EROSION CONTROL BLANKETS AS SHOWN ON THE PLAN WITHIN 5 DAYS OF COMPLETION OF MASS GRADING OR WHICHEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR OPERATOR. 4-1" TOPSOIL WILL BE LOOSE WIDE VEGETATION IS REQUIRED.
- COMPLETE ROUGH GRADING OF SITE AND INSTALL UTILITIES. PLACE INLET FILTERS AT ALL INLETS AND CATCH BASINS AS SHOWN.
- FINISH GRADE AND PAVE SITE AS PREPARED TO GRAB TO STEEL SEWER SYSTEM. REPAIR INLET FILTERS AS REQUIRED.
- APPLY TOPSOIL, SEED AND MULCH/ROOF TO ALL DISTURBED AREAS UPON COMPLETION OF GRADING. THE CONTRACTOR SHALL STRICTLY CONSTRUCTIVE ACTIVITIES IN ORDER TO MINIMIZE THE EXPOSURE OF UNSUITABLE AREAS.
- CURB PAVEMENT AND STORM SEWERS. REMOVE SILT FENCE AND INLET FILTERS ONCE VEGETATION HAS BEEN ESTABLISHED.
- ALL DIRT AND MUD TRACKED ONTO PUBLIC ROADS SHALL BE REMOVED DAILY.
- STREET CATCH BASINS TO BE PERIODICALLY CLEANED AND FILTER CLOTH CHANGED AND MAINTAINED.

**REVISIONS**

NO.	BY	DATE	DESCRIPTION

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**RAMCO GERSHENSON**  
2700 NORTHWESTERN AVE., SUITE 200  
FARMINGTON HILLS, MI 48334  
**SOIL EROSION & SEDIMENT CONTROL PLAN - SOUTH WEST OAKS I**  
PART OF THE CITY OF NOWI DEVELOPMENT  
DES. K.A.B. DN. K.A.B. SUR. G.V.C. P.M. DN.  
K.A.B. DN. K.A.B. SUR. G.V.C. P.M. DN.

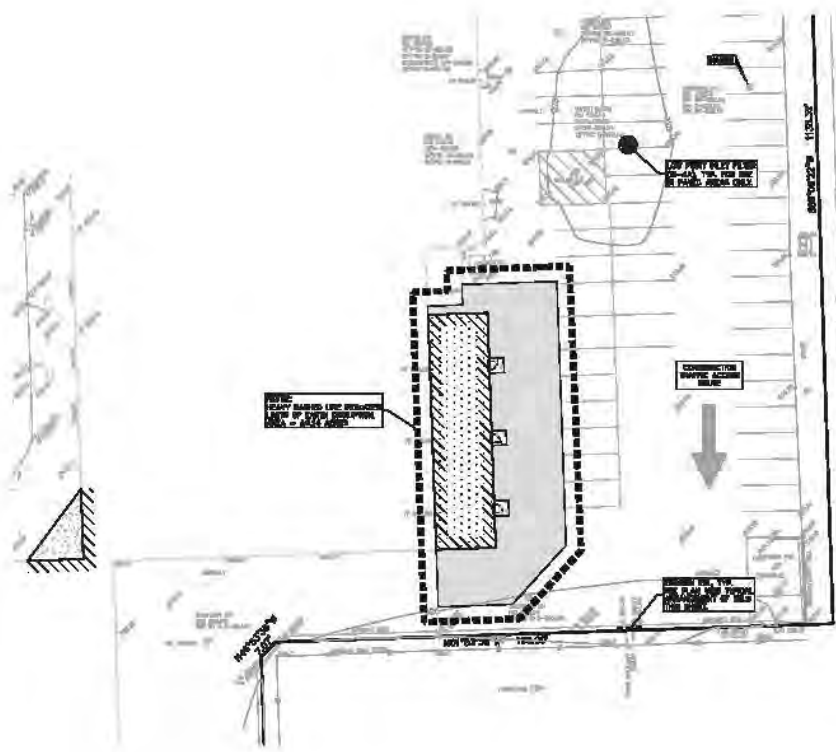
ORIGINAL  
ISSUE DATE: DEC. 18, 2014  
PEA JOB NO. 2014-166  
SCALE: 1" = 20'  
DRAWING NUMBER:  
**C-7.1**

**PRELIMINARY - NOT FOR CONSTRUCTION**

BENCH MARKS  
CITY OF MON DATUM

BM 4040  
N. 8th of SANITARY HARBOR AT THE 30'  
SOUTH OF THE SOUTH CURB OF WEST OAKS  
DRIVE AND 100' EAST OF THE EAST CURB OF  
BORELSON DRIVE ELEV. 826.52

BM 4021  
N. 8th of A SANITARY HARBOR 30' NORTH  
OF THE SOUTH PROPERTY LINE OF WEST OAKS  
CENTER SECOND (SOUTH OF #42713 (1994)  
ELEV. 825.16

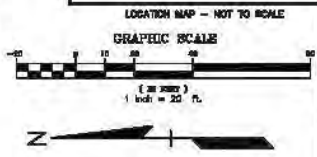
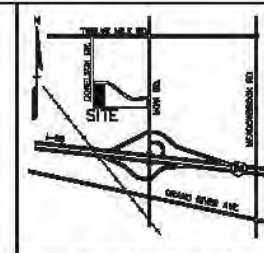


**LEGEND**

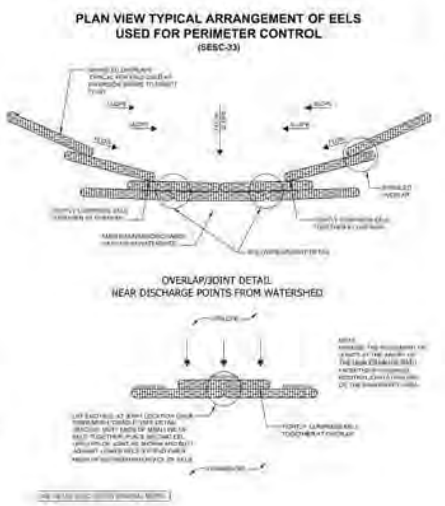
[Symbol]	ROAD RIGHT OF WAY
[Symbol]	PROPERTY LINE
[Symbol]	EXISTING CURB
[Symbol]	NEW CURB
[Symbol]	EXISTING PAVEMENT
[Symbol]	NEW PAVEMENT
[Symbol]	EXISTING SIDEWALK
[Symbol]	NEW SIDEWALK
[Symbol]	EXISTING DRIVEWAY
[Symbol]	NEW DRIVEWAY
[Symbol]	EXISTING UTILITY
[Symbol]	NEW UTILITY
[Symbol]	EXISTING FENCE
[Symbol]	NEW FENCE
[Symbol]	EXISTING WALL
[Symbol]	NEW WALL
[Symbol]	EXISTING CONC. SLAB
[Symbol]	NEW CONC. SLAB
[Symbol]	EXISTING GRAVEL
[Symbol]	NEW GRAVEL
[Symbol]	EXISTING ASPHALT
[Symbol]	NEW ASPHALT
[Symbol]	EXISTING SAND
[Symbol]	NEW SAND
[Symbol]	EXISTING SOIL
[Symbol]	NEW SOIL

**REFERENCE DRAWINGS**

- SEE SHEET 101
- SEE SHEET 102
- SEE SHEET 103
- SEE SHEET 104
- SEE SHEET 105
- SEE SHEET 106
- SEE SHEET 107
- SEE SHEET 108
- SEE SHEET 109
- SEE SHEET 110
- SEE SHEET 111
- SEE SHEET 112
- SEE SHEET 113
- SEE SHEET 114
- SEE SHEET 115
- SEE SHEET 116
- SEE SHEET 117
- SEE SHEET 118
- SEE SHEET 119
- SEE SHEET 120



NO.	DESCRIPTION	DATE



**GENERAL NOTES.**  
EROSION EELS USED IN PERIMETER CONTROL APPLICATIONS (SESC-35)

1. Erosion eels shall be installed in accordance with the following requirements:
  - a. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - b. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - c. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - d. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - e. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - f. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - g. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - h. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - i. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - j. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - k. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - l. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - m. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - n. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - o. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - p. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - q. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - r. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - s. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - t. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - u. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - v. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - w. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - x. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - y. Erosion eels shall be installed in a line perpendicular to the flow of water.
  - z. Erosion eels shall be installed in a line perpendicular to the flow of water.

**EROSION EEL**  
2" x 6" CLASSED AND BATTER BUILT PLAIN  
CONCRETE

**EROSION EEL**  
2" x 6" CLASSED AND BATTER BUILT PLAIN  
CONCRETE

**EROSION EEL**  
2" x 6" CLASSED AND BATTER BUILT PLAIN  
CONCRETE

PRELIMINARY - NOT FOR CONSTRUCTION

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THE INFORMATION CONTAINED HEREIN IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT TO BE USED FOR CONSTRUCTION. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF ALL INFORMATION AND FOR OBTAINING NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

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**SOIL EROSION & PERIMETER CONTROL PLAN - NORTH WEST OAKS I**  
PART OF THE CITY OF MON DATUM, ILLINOIS

DES. [ ] SUR. [ ] CIVIL [ ] P. [ ]

ORIGINAL  
ISSUE DATE: DEC. 18, 2014  
PEA JOB NO. 2014-166  
SCALE: 1" = 20'  
DRAWING NUMBER:  
**C-7.2**



**GENERAL NOTES:**

1. ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS TO THE CITY OF NEW YORK.
2. ALL NECESSARY PERMITS, TESTING FEES AND WARRANTIES ETC. SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL CITY INSPECTION FEES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
4. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE CITY OF NEW YORK TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER INTERFERING OR OTHER UTILITIES IN THE VICINITY OF THE WORK.
5. ALL IMPROVEMENTS OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DAMAGED OR OTHERWISE AFFECTED DUE TO CONSTRUCTION, SHALL BE REPLACED OR IMPROVED TO THE ORIGINAL STANDARD BY THE CONTRACTOR.
6. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRAULIC FRISKI DEVICES MUST BE SUITABLY DESIGNED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
7. CONTRACTOR SHALL REMOVE AND COMPARE IF NOT-SITE ANY TREES, BRUSH, SHRUBS, TREES OF OTHER UNWANTED GROWTH AT THE OWNER'S DISCRETION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORING SURVIVING OF TOWN, SQUARES OR OTHER SETBACKS SHALL NOT BE PERMITTED.
8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFETY LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTROL TRAFFIC IN ACCORDANCE WITH "MUTUITY".
9. ALL DIMENSIONS SHALL BE SHOWN, SHORED OR BRACED IN ACCORDANCE WITH ALL-OTHER REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY IDENTIFIED AND BRACED SCAFFOLD SYSTEM FOR EMPLOYEES WORKING IN AN ENCLOSURE THAT MAY EXCEED DIMENSIONS TO THE NUMBER OF WORKING LEVELS.
10. ALL IMPROVEMENTS TO ROADWAY SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE CURRENT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

**PAVING NOTES:**

1. ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NEW YORK.
2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
3. SUBGRADE UNDERLAYMENT, INCLUDING GROUNDING SHALL BE PERFORMED TO MEET NATIONAL SPECIFICATIONS TO PREPARE SOILS AND TO MEET ALL SOILS. ANY DEFICIENCIES THAT MAY BE REQUIRED UNDER THE TOPSOIL, IN FULL DETAIL FOR SOILS TO BE REMOVED IN FULL DETAIL, SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.
4. SUBGRADE UNDERLAYMENT SHALL BE PERFORMED WHERE NECESSARY AND THE UNDERLAYMENT SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF UNAXIAL UNIT WEIGHT (ASTM D-1557). ALL OTHER MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO USE OF THE MATERIALS UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED IN DETAILS.
6. ANY SUB-GRADE MATERIALS REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE SUBMITTED SEPARATELY TO THE JOB.

**GENERAL UTILITY NOTES:**

1. ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CITY OF NEW YORK.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY TO VERIFY THE LOCATION OF UNDERGROUND UTILITIES, WHICH MUST BE NOTED ON THE JOB.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) PERCENT OF UNAXIAL UNIT WEIGHT (ASTM D-1557) SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF UNAXIAL UNIT WEIGHT (ASTM D-1557). ALL OTHER MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO USE OF THE MATERIALS UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
4. TRENCHES UNDER MANHOLES OR UNDER THE LINE TO BE TRENCHED SHALL BE CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A FLANGE OF EIGHT (8) INCHES ABOVE THE TRENCH BOTTOM SURFACE.
5. LIGHT FIXTURES AND DEVICES OF UTILITIES ARE TO BE CHANGED EXACTLY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.
6. REFER TO CITY OF NEW YORK STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**STORM SEWER NOTES:**

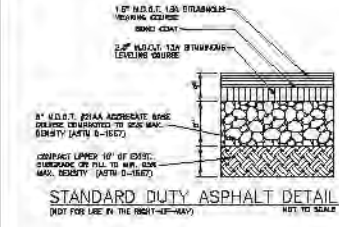
1. ALL NEW 24" C-V STORM SEWER SHALL BE INSTALLED ON CLASS 1 SECONDARY BATTERY SOIL DETAIL ON CONSTRUCTION PLANS FOR THE PER RECORDS.
2. JOINTS FOR ALL STORM SEWER 18" AND LARGER SHALL BE WEDGED TIGHT AND GROMMET JOINT WITH GROMMET GASKETS UNLESS SPECIFIED OTHERWISE (ASTM C-443).
3. ALL STORM SEWER 18" AND LARGER SHALL BE RED CLASS IV UNLESS OTHERWISE NOTED.
4. REFER TO CITY OF NEW YORK STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**WATER MAIN NOTES:**

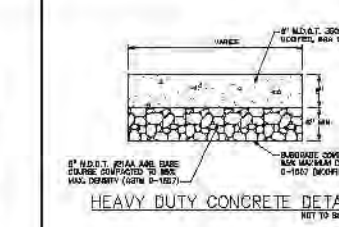
1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF SIX (6) INCHES FROM GRADE. WHEN WATER MAINS MUST BE INSTALLED UNDER A STORM SEWER OR SANITARY SEWER, THE BOTTOM MAINS ARE DEEPER THAN NORMAL SHALL BE TYPICAL TO A MINIMUM LENGTH BY THE USE OF VERTICAL TRENCH TWO (2) AND A HALF (1.5) DEGREE BENCH VERTICAL ANCHORAGE.
2. ALL DIMENSIONS AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NEW YORK.
3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) PERCENT OF UNAXIAL UNIT WEIGHT (ASTM D-1557) SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF UNAXIAL UNIT WEIGHT (ASTM D-1557). ALL OTHER MATERIALS SHALL BE APPROVED BY THE ENGINEER PRIOR TO USE OF THE MATERIALS UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
4. ALL TRENCHES, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
5. TRENCH CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNLESS THE TRENCH IS SIMULTANEOUSLY CONSTRUCTED.
6. MAINTAIN 18" MINIMUM CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY EXISTING SANITARY SEWER.
7. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF SIX (6) INCHES FROM GRADE.
8. REFER TO CITY OF NEW YORK STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.

**SANITARY SEWER NOTES:**

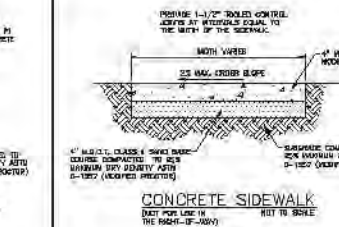
1. CONTRACTOR SHALL KEEP THE RECORDS DRAWING OR ANY RECORD THAT SHOWS THE LOCATION OF EXISTING WATER MAINS SHALL NOT BE ALLOWED TO DISAPPEAR WITH A SANITARY SEWER.
2. ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC 200 CLASS IV AT LEAST MINIMUM CLASS IV.
3. ALL SANITARY SEWER SHALL BE CONSTRUCTED OF PVC 200 CLASS IV WITH A MINIMUM DIAMETER OF 18" PER CITY REQUIREMENTS.
4. JOINTS FOR ALL SANITARY SEWER SHALL BE ELASTOMERIC (GROMMET GASKETS) AS SPECIFIED IN ASTM, REVISION D-2215.
5. MATERIAL ALL SANITARY SEWER ON VERTICAL IS SHOWN, REFER TO CITY OF NEW YORK STANDARD DETAIL SHEETS. REFER TO CONSTRUCTION PLANS FOR PER RECORDS.
6. REFER TO CITY OF NEW YORK STANDARD DETAIL SHEETS FOR ADDITIONAL INFORMATION.



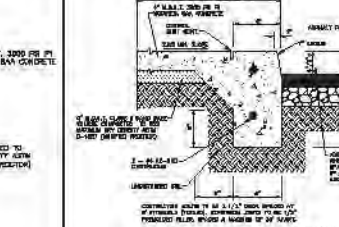
**STANDARD DUTY ASPHALT DETAIL**  
NOT TO SCALE



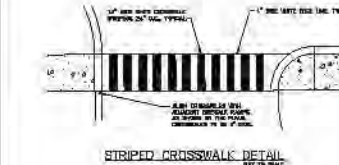
**HEAVY DUTY CONCRETE DETAIL**  
NOT TO SCALE



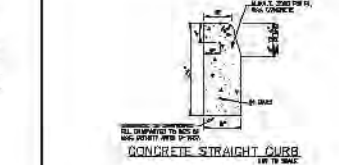
**CONCRETE SIDEWALK**  
NOT TO SCALE



**INTEGRAL CURB AND SIDEWALK**  
NOT TO SCALE



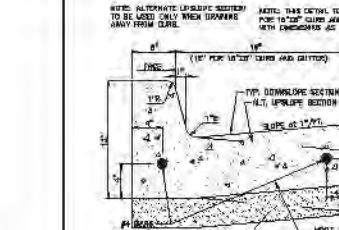
**STRIPED CROSSWALK DETAIL**  
NOT TO SCALE



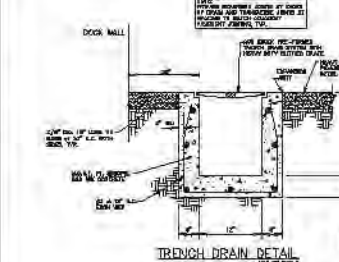
**CONCRETE STRAIGHT CURB**  
NOT TO SCALE



**NO PARKING FIRE LANE DETAIL**  
NOT TO SCALE



**24\"/>**



**TRENCH DRAIN DETAIL**  
NOT TO SCALE



**EMPLOYEE PARKING ONLY SIGN DETAIL**  
NOT TO SCALE

NO.	DATE	DESCRIPTION

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Fax: (248) 689-1044  
www.pea.com

**RAMCO GERSHENSON**  
2700 NORTHWESTERN AVENUE, SUITE 200  
FARMINGTON HILLS, MI 48334  
**NOTES & DETAIL SHEET**  
**WEST OAKS I**  
PART OF THE CITY OF WEST OAKS, ILLINOIS  
DES. G.A.B. DN. K.A.B. S.U.R. G.V.C. P.A.M. ONI

ORIGINAL  
ISSUE DATE: DEC. 18, 2014  
PEA JOB NO. 2014-166  
SCALE: NONE  
DRAWING NUMBER:  
**C-8.1**

NO.	BY	DATE	DESCRIPTION

**CAUTION!**  
 THE LOCATION AND DEPTH OF ANY DETECTABLE WARNING DEVICES MUST BE ACCURATELY LOCATED AND DEPTHS MUST BE ACCURATELY MAINTAINED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DETECTABLE WARNING DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DETECTABLE WARNING DEVICES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTNESS OF ALL DETECTABLE WARNING DEVICES.

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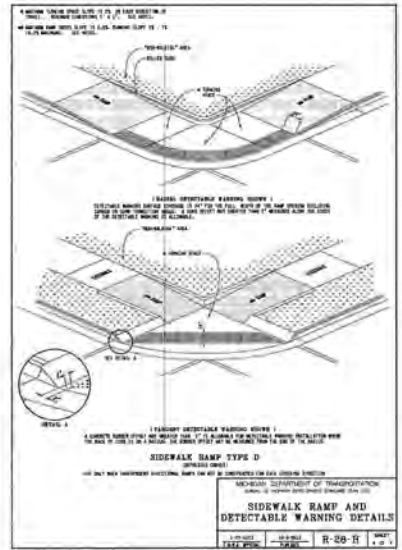
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 27800 NORTHWESTERN AVENUE, SUITE 200  
 FARMINGTON HILLS, MI 48334  
**M.D.O.T. - SIDEWALK RAMP DETAILS**  
**WEST OAKS I**  
 PART OF THE CITY OF WEST OAKS, ILLINOIS  
 DES. A.B. DN. SUR. G.V.C. I.P.M. DM

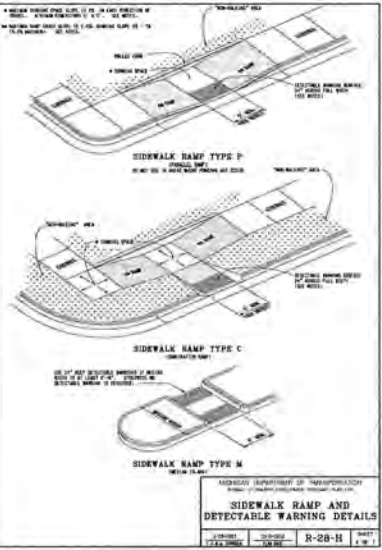
ORIGINAL  
 ISSUE DATE: DEC 18, 2014  
 REA JOB NO. 2014-186

SCALE: NONE  
 DRAWING NUMBER:

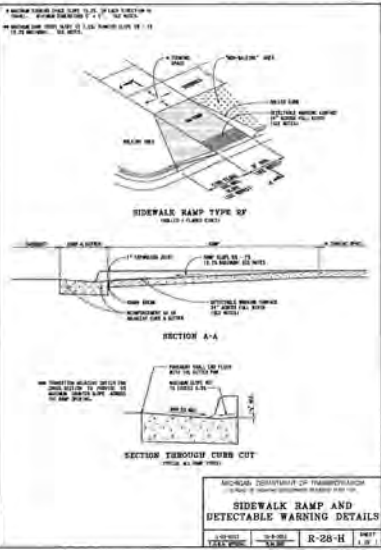
**C-8.2**



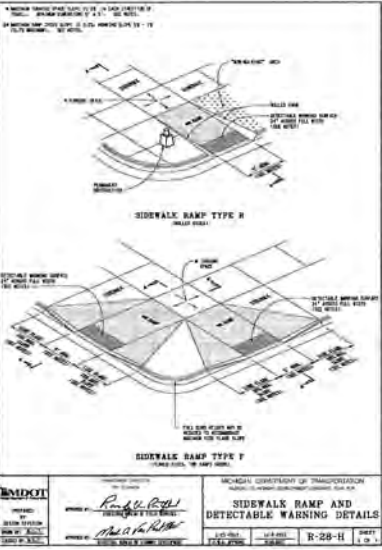
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 1 OF 1



**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 2 OF 1



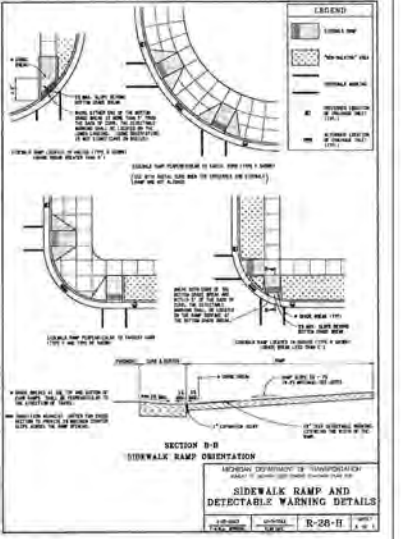
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 3 OF 1



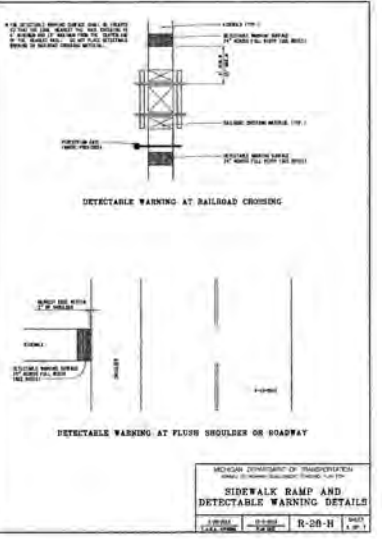
**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 4 OF 1



**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 5 OF 1

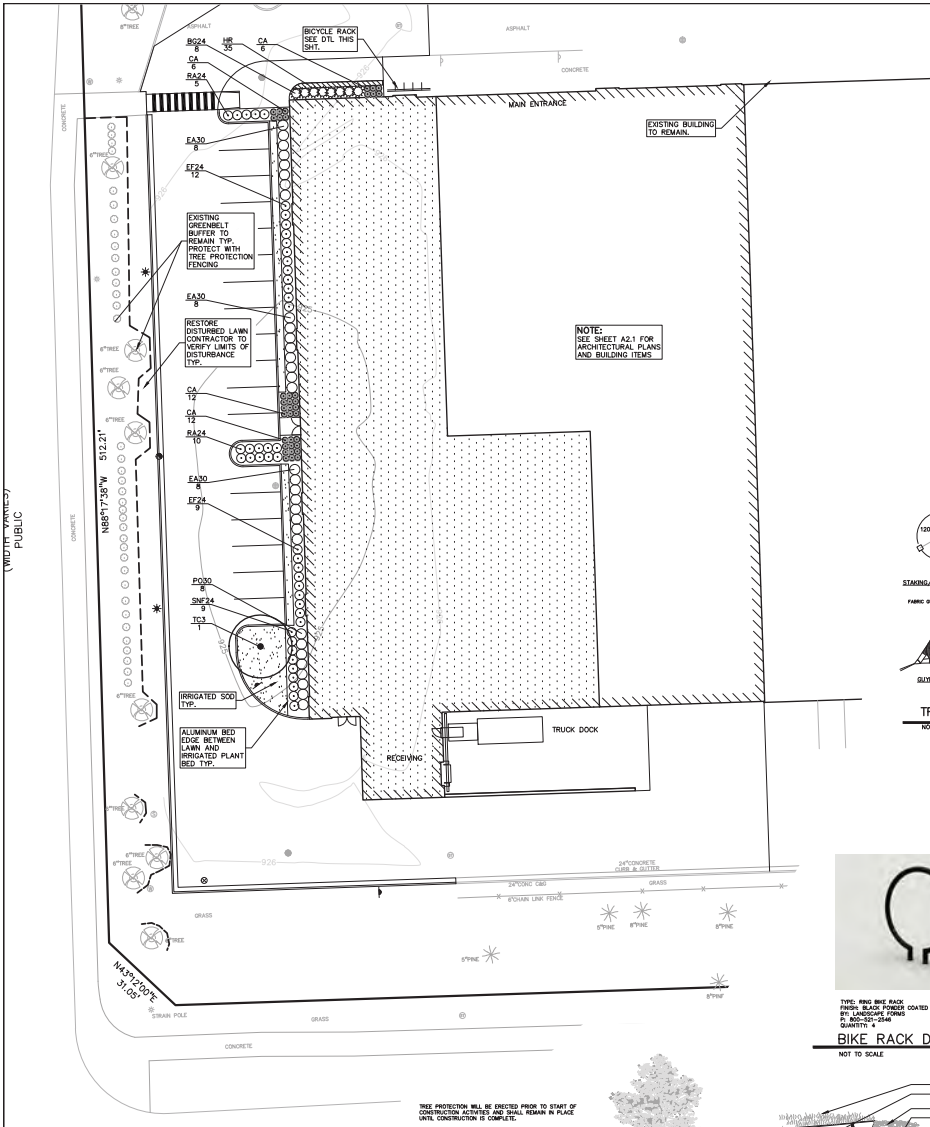


**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 6 OF 1



**SIDEWALK RAMP AND DETECTABLE WARNING DETAILS**  
 MICHIGAN DEPARTMENT OF TRANSPORTATION  
 ROAD & BRIDGE DIVISION  
 DATE: 11/11/14  
 R-28-H  
 7 OF 1

PRELIMINARY - NOT FOR CONSTRUCTION



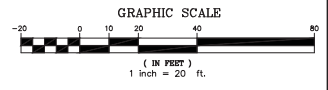
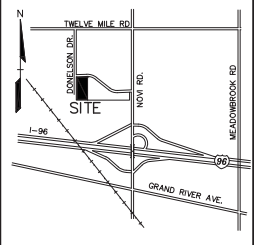
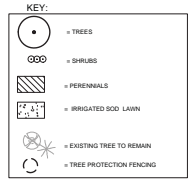
**LANDSCAPE CALCULATIONS**  
PER CITY OF NOW ZONING ORDINANCE

**FOUNDATION PLANTINGS**  
REQUIRED: 244 LF NEW BUILDING PERIMETER x 8 = 1,952 SF INTERIOR SITE LANDSCAPING  
PROVIDED: 2,189 SF OF INTERIOR SITE LANDSCAPING

**TREE REPLACEMENT**  
REQUIRED: 1 REPLACEMENT : 8" x 11" = 1 TREE  
REMOVE 1- 6" TREE = 1 REPLACEMENT REQUIRED  
PROVIDED: 1 TREE

**PLANT LIST:**

QUANTITY	KEY SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE	SPEC
1	TC3	Greenspire Linden	<i>Tilia cordata 'Greenspire'</i>	3" Cal.	BAB
8	BQ24	Green Velvet Boxwood	<i>Buxus x 'Green Velvet'</i>	24" HL	Cont.
24	EA30	Compact Burning Bush	<i>Euonymus alatus 'Compacta'</i>	30" HL	Cont.
21	EP24	Green Lane Euonymus	<i>Euonymus fortunei 'Green Lane'</i>	24" HL	Cont.
8	PD30	Summerwine Ninebark	<i>Physocarpus opulifolius 'Seward'</i>	30" HL	Cont.
15	RA24	Go Low Sumac	<i>Rhus aromatica 'Go-Low'</i>	24" HL	Cont.
9	SNF24	Neon Flash Spirea	<i>Spiraea japonica 'Neon Flash'</i>	24" HL	Cont.
36	CA	Feather Reed Grass	<i>Calamagrostis x acutiflora 'Karl Foerster'</i>	1 Gal.	Cont.
35	HR	Happy Returns Daylily	<i>Hemerocallis 'Happy Returns'</i>	1 Gal.	Cont.



**REVISIONS**

NO.	DATE	DESCRIPTION



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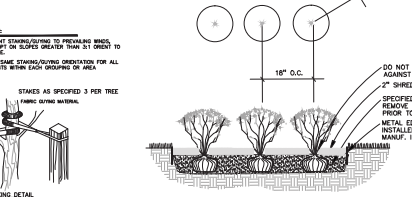
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**LANDSCAPE PLAN WEST OAKS I**  
PART OF THE CITY OF FARMINGTON HILLS  
DES. BY: DN, SUR. GWC, P.M. DNI  
CHECKED BY: DN, SUR. GWC, P.M. DNI  
DATE: 12/15/10



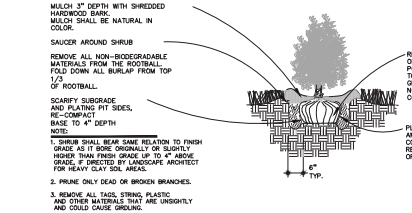
**TREE STAKING DETAIL**  
NOT TO SCALE



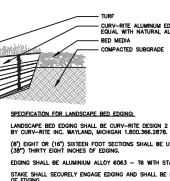
**PERENNIAL PLANTING DETAIL**  
NOT TO SCALE



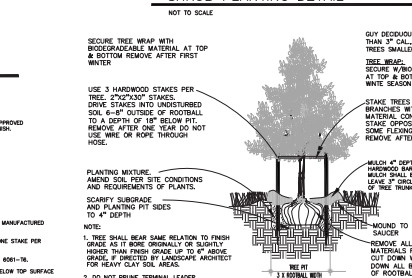
**BIKE RACK DETAIL**  
NOT TO SCALE



**SHRUB PLANTING DETAIL**  
NOT TO SCALE



**ALUMINUM EDGE DETAIL**  
NOT TO SCALE

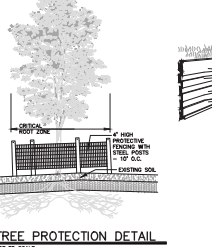


**DECIDUOUS TREE PLANTING DETAIL**  
NOT TO SCALE

**LANDSCAPE COST OPINION**

ESTIMATED QUANTITY	UNIT	DESCRIPTION	UNIT PRICE	ITEM PRICE
85	S-Y	Soil Lamin	\$6.00	\$510.00
15	C-Y	Mulch	\$45.00	\$675.00
70	C-Y	Plant mat	\$25.00	\$1,750.00
71	E.A.	Perennials	\$15.00	\$1,065.00
88	E.A.	Shrubs	\$50.00	\$4,400.00
120	L.F.	Manic Edge	\$8.00	\$960.00
1	E.A.	Deciduous Trees	\$400.00	\$400.00
1	E.A.	Irrigation	\$3,500.00	\$3,500.00
<b>TOTAL LANDSCAPING</b>			<b>\$13,490.00</b>	<b>\$13,490.00</b>

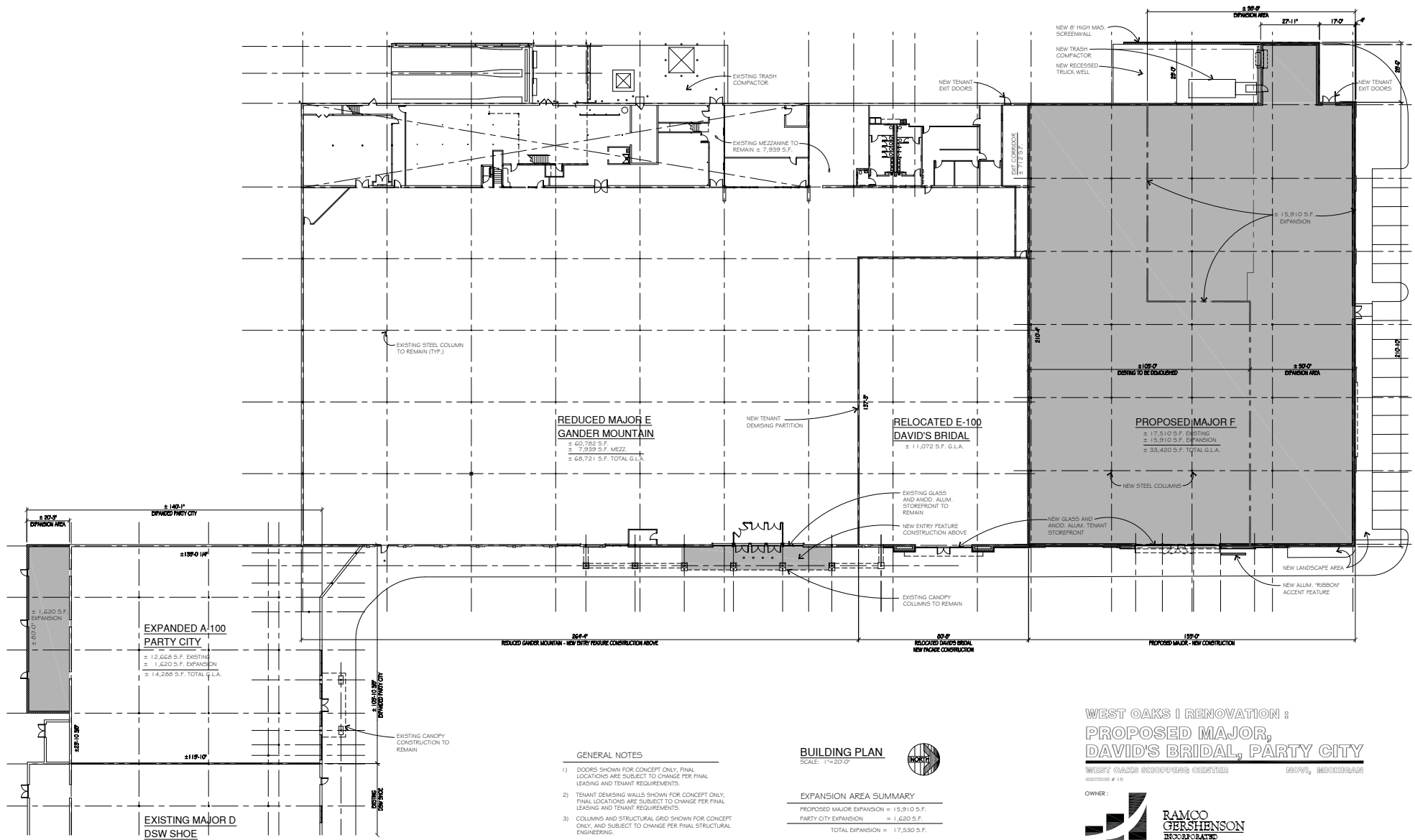
TREE PROTECTION WILL BE INSTALLED PRIOR TO START OF CONSTRUCTION AND TO REMAIN THROUGHOUT CONSTRUCTION. NO PERSONS MAY CONDUCT ANY ACTIVITY WITHIN THE DRP LINE OF ANY TREE. DAMAGE TO TREES MAY NOT OCCUR WITHIN THE DRP LINE OF PROTECTED TREES. DAMAGE TO TREES MAY NOT OCCUR WITHIN THE DRP LINE OF ANY TREE. DAMAGE TO TREES MAY NOT OCCUR WITHIN THE DRP LINE OF ANY TREE.



**TREE PROTECTION DETAIL**  
NOT TO SCALE

**PRELIMINARY - NOT FOR CONSTRUCTION**

ISSUE DATE: DEC. 18, 2014  
SCALE: 1" = 20'  
DRAWING NUMBER: L-1.1



**WEST OAKS I RENOVATION :**  
**PROPOSED MAJOR,**  
**DAVID'S BRIDAL, PARTY CITY**

WEST OAKS SHOPPING CENTER ROV1, MICHIGAN  
 PROJECT # 18

OWNER :



**RAMCO GERSHENSON**  
 ARCHITECTS & PLANNERS



**WAH YEE ASSOCIATES**  
 ARCHITECTS & PLANNERS

37911 WEST TWELVE MILE ROAD  
 FARMINGTON HILLS, MICHIGAN 48331  
 PHONE 248-489-5140 FAX 482-0133

PROJECT NO. 4794

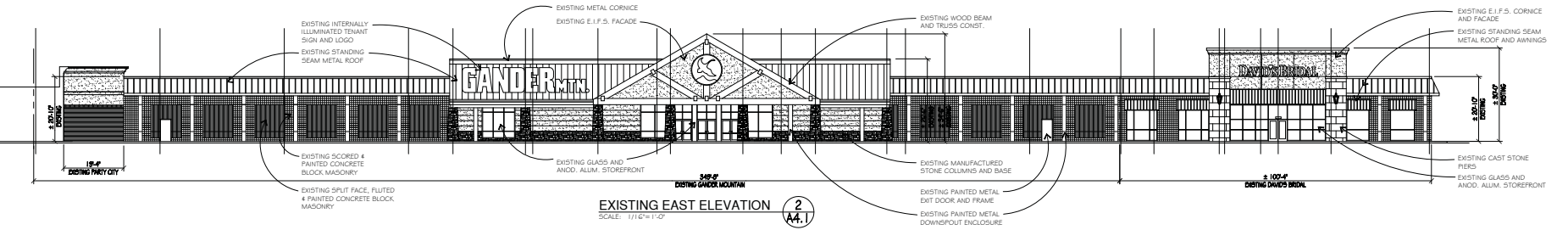
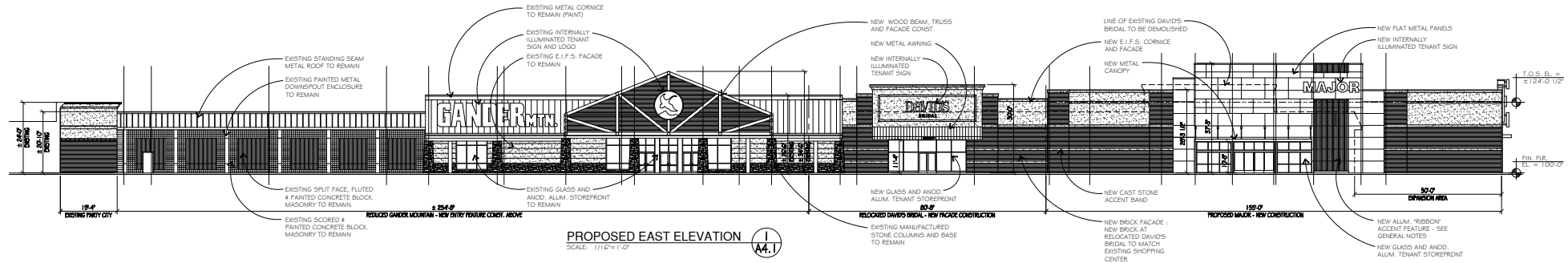
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**PRELIMINARY**  
 NOT FOR CONSTRUCTION

CAD DWG 4794 A2-1.12.18.14.DWG

A2.1

ISSUED FOR:  
 PRE-APP. SUB.  
 05.11.14  
 PRELIM. SITE  
 PLAN SUB.  
 10.17.14  
 REVISED  
 PRELIM. SITE  
 PLAN SUB.  
 12.16.14



**EAST FACADE MATERIALS  
RELOCATED DAVID'S BRIDAL**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FACE BRICK (NATURAL CLAY)	100%	702 S.F.	42.2%
E.I.F.S.	25%	716 S.F.	42.9%
CAST STONE	25%	64 S.F.	3.9%
METAL AWNING	25%	122 S.F.	9.7%
MOLDED CORNICE & TRIM	25%	24 S.F.	1.4%
TOTAL		1,648 S.F.	100.0%

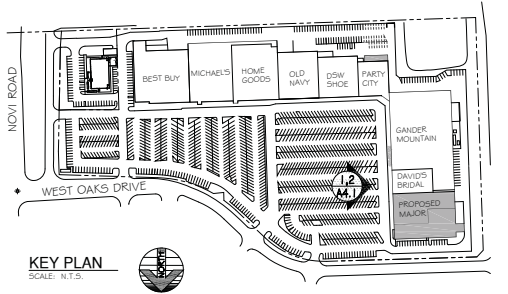
**EAST FACADE MATERIALS  
REDUCED GANDER MOUNTAIN**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
EXISTING E.I.F.S.	25%	530 S.F.	9.5%
EXIST. MANUFACTURED STONE	50%	511 S.F.	9.2%
EXIST. METAL CORNICE & TRIM	15%	388 S.F.	7.0%
EXIST. SPLIT FACE, FLUTED & PAINTED CONC. BLOCK MAS.	10%	644 S.F.	11.6%
EXIST. SCORED & PAINTED CONC. BLOCK MASONRY	0%	746 S.F.	13.4%
EXIST. STAND. SEAM MET. ROOF	25%	1,568 S.F.	28.2%
NEW WD. BEAM, TRUSS & FACADE		1,172 S.F.	21.1%
TOTAL		5,559 S.F.	100.0%

**EAST FACADE MATERIALS  
PROPOSED MAJOR**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FACE BRICK (NATURAL CLAY)	100%	1,487 S.F.	33.0%
E.I.F.S.	25%	747 S.F.	16.6%
CAST STONE	25%	85 S.F.	1.9%
MOLDED CORNICE & TRIM	15%	82 S.F.	1.8%
FLAT METAL PANELS	50%	2,104 S.F.	46.7%
TOTAL		4,505 S.F.	100.0%

- GENERAL NOTES**
- TENANT SIGNS SHOWN FOR CONCEPT ONLY. SIZE, COLOR, DESIGN AND LOCATIONS ARE SUBJECT TO CHANGE ON A PER TENANT BASIS SUBJECT TO LOCAL ORDINANCES. TO BE SUBMITTED SEPARATELY.
  - ROOF TOP MECHANICAL UNITS AT PROPOSED MAJOR WILL BE SCREENED AS REQUIRED BY BUILDING PARAPET WALLS. UNIT SIZES AND LOCATIONS ARE SUBJECT TO FINAL ENGINEERING.
  - TENANT DOORS SHOWN FOR CONCEPT ONLY. LOCATIONS ARE SUBJECT TO CHANGE PER FINAL TENANT INTERIOR LAYOUT.
  - NEW ALUMINUM "RIBBON" ACCENT FEATURE: 1. SILVER FACED METAL FINES WITH ALTERNATING COLOR SIDES OF PMS #185 RED, PMS #253 PURPLE, PMS #325 BLUE AND PMS #373 GREEN. ADDITIONAL INFORMATION AND DETAILS WILL BE AVAILABLE AT THE TIME OF FINAL SITE PLAN SUBMITTAL.



**WEST OAKS I RENOVATION :  
PROPOSED MAJOR,  
DAVID'S BRIDAL, PARTY CITY**

WEST OAKS SHOPPING CENTER NOVAT, MICHIGAN



**RAMCO  
GERSHENSON**  
ARCHITECTS & PLANNERS



**WAH YEE ASSOCIATES  
ARCHITECTS & PLANNERS**

37911 WEST TWELVE MILE ROAD  
FARMINGTON HILLS, MICHIGAN 48331  
PHONE 248-489-9140 FAX 489-0133  
PROJECT NO. 4794

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**REVISIONS**

NO.	DATE	DESCRIPTION
1	10-11-14	PRELIM SITE PLAN SUB.
2	10-17-14	PRELIM SITE PLAN SUB.
3	10-17-14	REVISED PRELIM SITE PLAN SUB.
4	12-18-14	REVISED PRELIM SITE PLAN SUB.

CAD DWG 4794 A4.1.13.18.14.DWG

A4.1

**PRELIMINARY  
NOT FOR CONSTRUCTION**



**PROPOSED EAST ELEVATION**  
SCALE: 1/8"=1'-0"



**EXISTING EAST ELEVATION**  
SCALE: 1/8"=1'-0"

**FAST FACADE MATERIALS  
RELOCATED DAVID'S BRIDAL**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FACE BRICK/NATURAL CLAY	100%	702 S.F.	42.2%
C.I.P.S.	25%	716 S.F.	42.5%
CAST STONE	25%	64 S.F.	3.8%
METAL AWNING	25%	162 S.F.	9.7%
MOLDED CORNICE & TRIM	25%	64 S.F.	3.8%
TOTAL		1,828 S.F.	100.0%

**FAST FACADE MATERIALS  
REDUCED GANDER MOUNTAIN**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
EXISTING C.I.P.S.	25%	532 S.F.	8.8%
EXIST. MANUFACTURED BRICK	40%	911 S.F.	9.2%
EXIST. METAL CORNICE & TRIM	15%	388 S.F.	7.0%
EXIST. SPLIT FACE, FLURRED & PRINTED CONC. BLOCK MASONRY	10%	244 S.F.	11.6%
EXIST. COORD. & PAINTED CONCR. BLOCK MASONRY	0%	745 S.F.	13.4%
EXIST. OF WALL SEAM MET. ROOF	10%	1,240 S.F.	45.2%
NEW W.D. BEAM, TRUSS & FACADE		1,172 S.F.	21.1%
TOTAL		5,952 S.F.	100.0%

**FAST FACADE MATERIALS  
PROPOSED MAJOR**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FACE BRICK/NATURAL CLAY	100%	1,487 S.F.	33.0%
F.I.P.S.	25%	747 S.F.	16.4%
CAST STONE	25%	45 S.F.	1.0%
MOLDED CORNICE & TRIM	15%	62 S.F.	1.2%
NEW METAL PANELS	20%	2,145 S.F.	48.7%
TOTAL		4,446 S.F.	100.0%

**GENERAL NOTES**

- TENANT SIGNS SHOWN FOR CONCEPT ONLY. SIZE, COLOR, DESIGN AND LOCATION OF SIGNS SUBJECT TO CHANGE AND A PER TENANT BASIS SUBJECT TO LOCAL ORDINANCES TO BE SUBMITTED TO CITY OFFICIALS.
- ROOF TOP MECHANICAL UNITS AT PROPOSED MAJOR WILL BE SCHEDULED AS REQUIRED BY BUILDING DEPARTMENT. UNITS SIZE AND LOCATIONS ARE SUBJECT TO FINAL ENGINEERING.
- TENANT DOORS SHOWN FOR CONCEPT ONLY. LOCATIONS ARE SUBJECT TO CHANGE PER FINAL TENANT INTERIOR LAYOUT.
- NEW ALUMINUM WEBCON ACCENT PANELS, SILVER FINISH METAL PANEL WITH ALTERNATING COLOR BODIES OF PANELS # 205 RED, # 205 REDS FLURRED, # 205 BLUE AND # 205 BROWN. ADDITIONAL INFORMATION AND DETAILS WILL BE AVAILABLE AT THE TIME OF FINAL SITE PLAN SUBMITTAL.

**WEST OAKS I RENOVATION:  
PROPOSED MAJOR,  
DAVID'S BRIDAL, PARTY CITY**

WEST OAKS CENTERPOINT WEST, LLC      3911 WEST TWELVE MILE ROAD  
ADDRESS # 14      PHOENIX, ARIZONA 85042



**RAMCO  
GERSHENSON  
INCORPORATED**

**WAH YIF ASSOCIATES  
ARCHITECTS & PLANNERS**  
3911 WEST TWELVE MILE ROAD  
PHOENIX, ARIZONA 85042  
PHONE: 480-976-1600 FAX: 480-976-1601

PROJECT NO. 074      DATE: 08/14/2014

**PRELIMINARY  
NOT FOR  
CONSTRUCTION**

**REVISIONS**  
NO.      DATE      DESCRIPTION



**NORTH FACADE MATERIALS PROPOSED MAJOR**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
PINK BRICK (NATURAL CLAY)	100%	3,555 S.F.	53.1%
E.F.P.S.	25%	1,452 S.F.	27.3%
CURT STONE	25%	210 S.F.	3.2%
MOLDED CORRUG. & TRIM	10%	35 S.F.	1.3%
FLAT METAL PANELS	35%	930 S.F.	14.1%
TOTAL		6,042 S.F.	100.0%

**WEST FACADE MATERIALS PROPOSED MAJOR**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FLAT BRICK (NATURAL CLAY)	100%	1,210 S.F.	31.1%
E.F.P.S.	25%	404 S.F.	10.6%
CURT STONE	25%	62 S.F.	1.6%
MOLDED CORRUG. & TRIM	15%	49 S.F.	1.3%
SPLIT FACE FLUTED & PAINTED LUMBER (BLOCK MASONRY)	35%	2,485 S.F.	65.4%
TOTAL		3,800 S.F.	100.0%

- GENERAL NOTES**
- 1) SHAW DESIGN GROUP HAS CONDUCTED VISUAL QUALITY DESIGN AND LOCATION ANALYSIS. THIS DRAWING IS A PRELIMINARY DESIGN SUBJECT TO LOCAL ORDINANCES TO BE OBTAINED SEPARATELY.
  - 2) EXISTING MECHANICAL EQUIPMENT TO BE REMOVED OR DISPOSED AS AVAILABLE. INSURE PROPER WALLS, CABINETS, PARTITIONS, ETC. ARE MAINTAINED TO PREVENT PROBLEMS.
  - 3) EXISTING DOORS OR WINDOWS TO BE REMOVED ARE SUBJECT TO CHANGE PER LOCAL TOWN INTERIOR JANUARY.
  - 4) NEW WALLS OR PARTITIONS TO BE REMOVED SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL ORDINANCES. THIS DRAWING IS A PRELIMINARY DESIGN SUBJECT TO LOCAL ORDINANCES TO BE OBTAINED SEPARATELY. ADDITIONAL INFORMATION AND DETAILS WILL BE AVAILABLE AT THE TIME OF THE FINAL DESIGN.



**WEST OAKS | RENOVATION |**  
**PROPOSED MAJOR,**  
**DAVID'S BRIDAL, PARTY CITY**  
WEST OAKS BUILDING CENTER      8201. MIDLAND

**OWNER:**

**RAMCO GERSHENSON INCORPORATED**

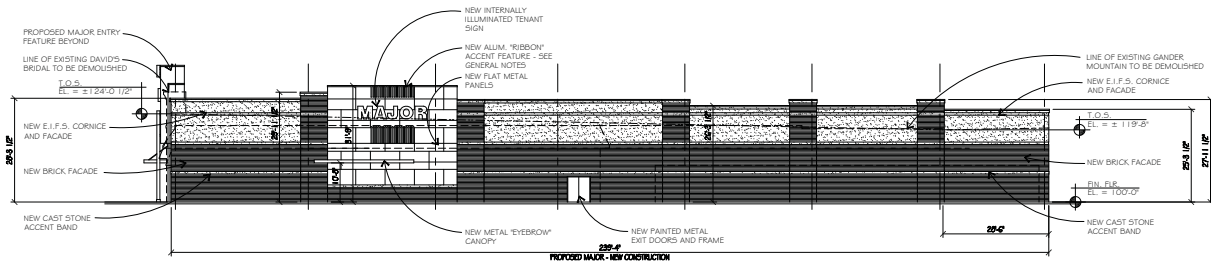
**Wah Yee Associates ARCHITECTS & PLANNERS**  
3711 WEST TWENTY-NINTH ROAD  
FARMINGTON HILLS, MICHIGAN 48334  
PHONE: 248-497-9160 FAX: 426-0733

**DESIGN NOTES:**  
This design development rendering is preliminary and subject to change. It is not intended to be used for construction purposes. It is intended for informational purposes only. The client acknowledges that the design is preliminary and subject to change. The client also acknowledges that the design is preliminary and subject to change. The client also acknowledges that the design is preliminary and subject to change.

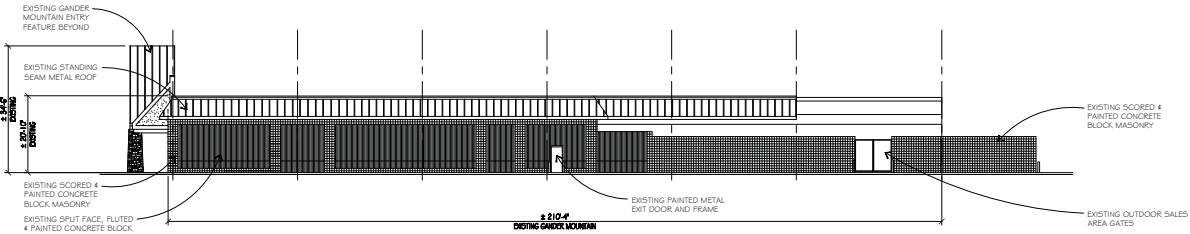
**ISSUED FOR:** PRELIMINARY  
DATE: 01.11.21  
PROJECT NO: 4794  
NOT FOR CONSTRUCTION



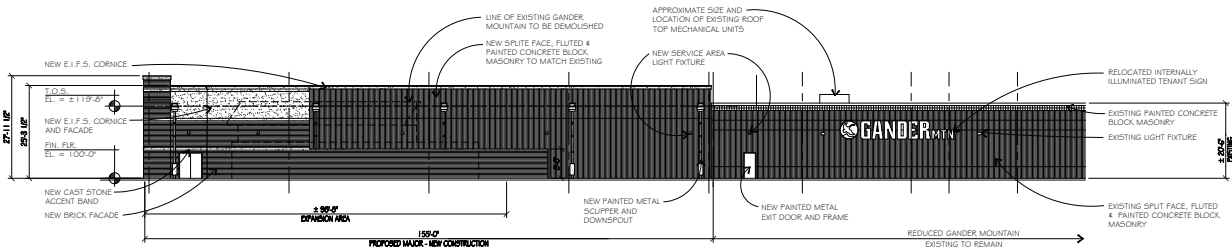




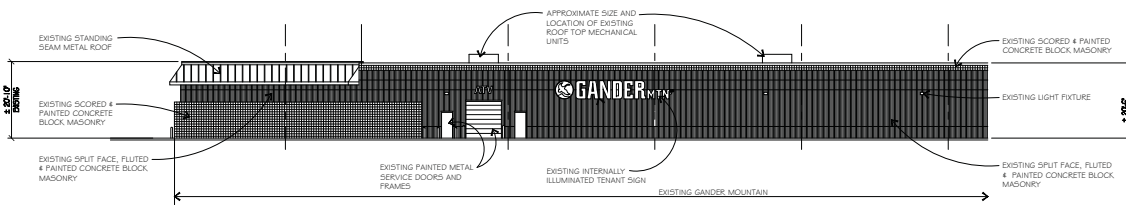
**PROPOSED NORTH ELEVATION**  
SCALE: 1/16"=1'-0"  
A4.2



**EXISTING NORTH ELEVATION**  
SCALE: 1/16"=1'-0"  
2  
A4.2



**PROPOSED WEST ELEVATION**  
SCALE: 1/16"=1'-0"  
3  
A4.2



**EXISTING WEST ELEVATION**  
SCALE: 1/16"=1'-0"  
4  
A4.2

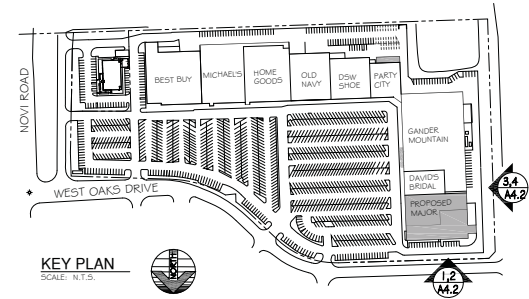
**NORTH FACADE MATERIALS PROPOSED MAJOR**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FACE BRICK (NATURAL CLAY)	100%	3,553 S.F.	53.5%
E.I.F.S.	25%	1,852 S.F.	27.9%
CAST STONE	25%	210 S.F.	3.2%
MOLDED CORNICE & TRIM	15%	89 S.F.	1.3%
FLAT METAL PANELS	50%	936 S.F.	14.1%
<b>TOTAL</b>		<b>6,642 S.F.</b>	<b>100.0%</b>

**WEST FACADE MATERIALS PROPOSED MAJOR**

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
FACE BRICK (NATURAL CLAY)	100%	1,210 S.F.	31.1%
E.I.F.S.	25%	425 S.F.	10.9%
CAST STONE	25%	62 S.F.	1.6%
MOLDED CORNICE & TRIM	15%	49 S.F.	1.3%
SPLUTE FACE, FLUTED & PAINTED CONC. BLOCK MASONRY	10%	2,142 S.F.	55.1%
<b>TOTAL</b>		<b>3,888 S.F.</b>	<b>100.0%</b>

- GENERAL NOTES**
- TENANT SIGNS SHOWN FOR CONCEPT ONLY. SIZE, COLOR, DESIGN AND LOCATIONS ARE SUBJECT TO CHANGE ON A PER TENANT BASIS SUBJECT TO LOCAL ORDINANCES. TO BE SUBMITTED SEPARATELY.
  - ROOF TOP MECHANICAL UNITS AT PROPOSED MAJOR WILL BE SCREENED AS REQUIRED BY BUILDING PARAPET WALLS. UNIT SIZES AND LOCATIONS ARE SUBJECT TO FINAL ENGINEERING.
  - TENANT DOORS SHOWN FOR CONCEPT ONLY. LOCATIONS ARE SUBJECT TO CHANGE PER FINAL TENANT INTERIOR LAYOUT.
  - NEW ALUMINUM RIBBON ACCENT FEATURE - SILVER FACED METAL FINS WITH ALTERNATING COLOR SIDES OF PMS #185 RED, PMS #253 PURPLE, PMS #325 BLUE AND PMS #276 GREEN. ADDITIONAL INFORMATION AND DETAILS WILL BE AVAILABLE AT THE TIME OF FINAL SITE PLAN SUBMITTAL.



**WEST OAKS I RENOVATION :**  
**PROPOSED MAJOR,**  
**DAVID'S BRIDAL, PARTY CITY**

WEST OAKS SHOPPING CENTER NOV1, MICHIGAN



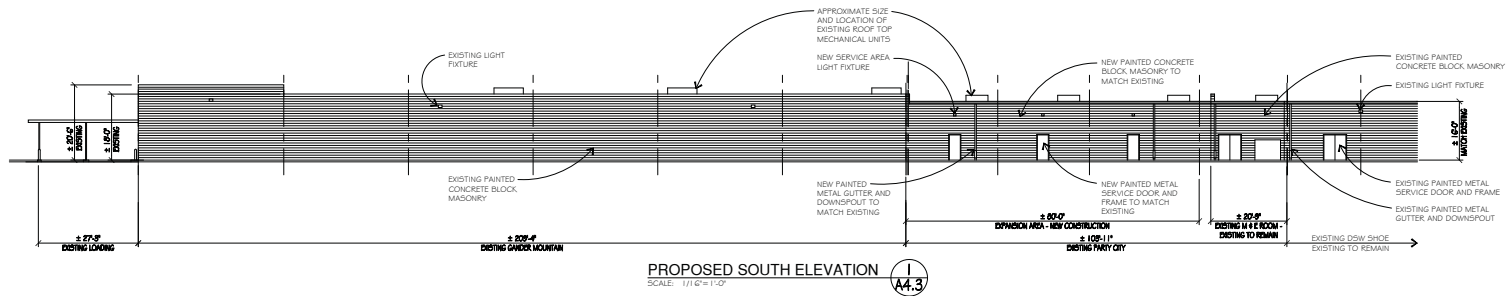
**RAMCO GERSHENSON**  
INCORPORATED



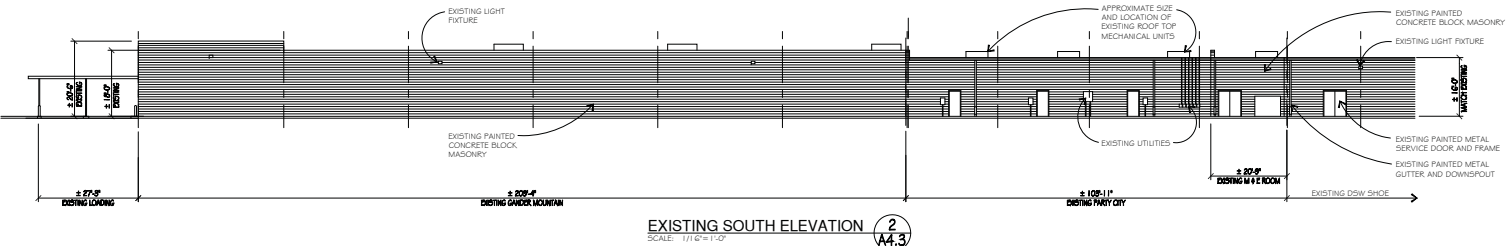
**WAH YEE ASSOCIATES**  
ARCHITECTS & PLANNERS  
37911 WEST TWELVE MILE ROAD  
FARMINGTON HILLS, MICHIGAN 48331  
PHONE: 248-489-5140 FAX: 489-20133  
PROJECT NO. 4794

ISSUED FOR:  
PRE-APP. SUB. 2-11-14  
PRELIM. SITE PLAN SUB. 10-17-14  
REVISED PRELIM. SITE PLAN SUB. 12-18-14

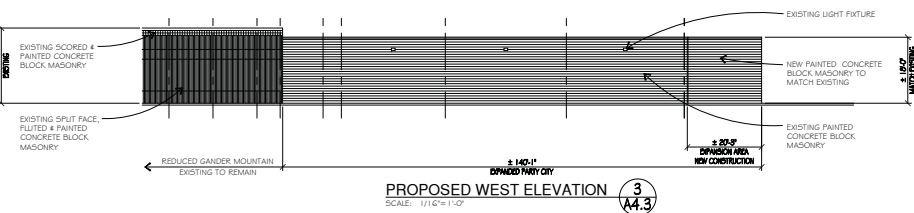
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**



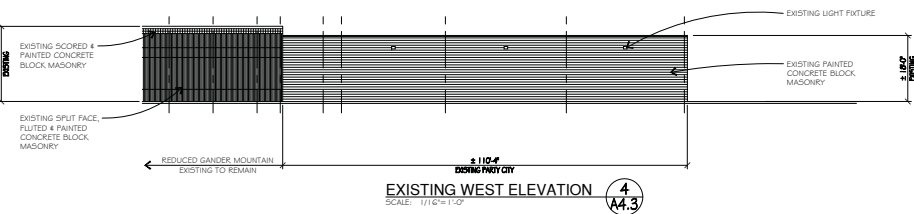
**PROPOSED SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"  
**A4.3**



**EXISTING SOUTH ELEVATION**  
SCALE: 1/16" = 1'-0"  
**A4.3**



**PROPOSED WEST ELEVATION**  
SCALE: 1/16" = 1'-0"  
**A4.3**



**EXISTING WEST ELEVATION**  
SCALE: 1/16" = 1'-0"  
**A4.3**

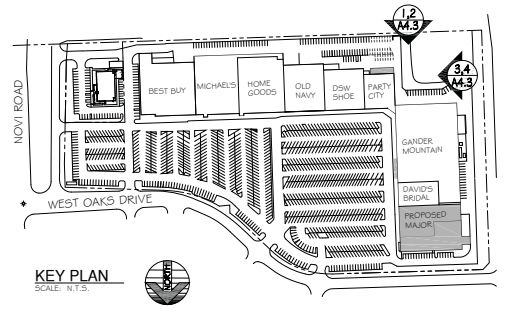
**SOUTH FACADE MATERIALS**  
EXPANDED PARTY CITY

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
PAINTED CONCRETE BLOCK MASONRY TO MATCH EXISTING	0%	1,333 S.F.	100.0%

**WEST FACADE MATERIALS**  
EXPANDED PARTY CITY

MATERIAL	ALLOWABLE	PROPOSED	PERCENTAGE
PAINTED CONCRETE BLOCK MASONRY TO MATCH EXISTING	0%	2,351 S.F.	100.0%

- GENERAL NOTES**
- TENANT SIGNS SHOWN FOR CONCEPT ONLY. SIZE, COLOR, DESIGN AND LOCATIONS ARE SUBJECT TO CHANGE ON A PER TENANT BASIS SUBJECT TO LOCAL ORDINANCES. TO BE SUBMITTED SEPARATELY.
  - ROOF TOP MECHANICAL UNITS AT PROPOSED MAJOR WILL BE SCREENED AS REQUIRED BY BUILDING PARAPET WALLS. UNIT SIZES AND LOCATIONS ARE SUBJECT TO FINAL ENGINEERING.
  - TENANT DOORS SHOWN FOR CONCEPT ONLY. LOCATIONS ARE SUBJECT TO CHANGE PER FINAL TENANT INTERIOR LAYOUT.



**KEY PLAN**  
SCALE: 1/8" = 1'-0"

**WEST OAKS I RENOVATION :  
PROPOSED MAJOR,  
DAVID'S BRIDAL, PARTY CITY**

WEST OAKS SHOPPING CENTER 1901, MICHAEL'S



**RAMCO  
GERSHENSON**  
INCORPORATED



**WAH YEE ASSOCIATES  
ARCHITECTS & PLANNERS**

37911 WEST TWELVE MILE ROAD  
FARMINGTON HILLS, MICHIGAN 48331  
PHONE: 248-489-5149 FAX: 489-201-153

PROJECT NO. 4794

**ISSUED FOR:**  
PRE-APP. SUB. 0-1-1-14  
PRELIM. SITE PLAN SUB. 10-17-14  
REVISED PRELIM. SITE PLAN SUB. 12-16-14

CAD DWG 4794 A4.1\_13.18.14.DWG



**PRELIMINARY  
NOT FOR CONSTRUCTION**