



CITY of NOVI CITY COUNCIL

Agenda Item G
March 24, 2014

SUBJECT: Approval of the request of Erickson Living for JSP 13-64 Fox Run Revised Preliminary Site Plan with PD-1 Option (and associated Third Amendment to the Development Agreement) and Revised Phasing Plan. The property is located in Section 1 of the City north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family Residential District and totals 102.8 acres. The applicant is proposing to slightly revise the approved landscaping and phasing of the remaining buildings in Phase II from what was approved by the City Council on January 11, 2014.

SUBMITTING DEPARTMENT: Community Development Department - Planning ^{Banks}

CITY MANAGER APPROVAL: 

BACKGROUND INFORMATION:

The applicant is proposing changes to portions of the recently approved revised second phase of the multi-phase Fox Run Village project. The first phase of the project and portions of Phases II and IV have been constructed. The City Council approved the Revised Special Land Use Permit, Revised Preliminary Site Plan with PD-1 Option and the Second Amendment to the Development Agreement, the Revised Phasing Plan, the Revised Woodland Permit and the Revised Stormwater Management Plan on January 11, 2014. (Relevant meeting minutes are attached.) The City Council's approval included several changes the applicant wished to make to the remaining portions of the second phase of the project that also impacted Phase III of the project. These changes included elimination of the building formally listed as Phase 3.1 as well as changes to the building footprints and surface parking lots in Phases 2.3, 2.4 and 2.5.

Following the City Council's approval in January, the applicant identified additional changes to the plan that will again require approval by the City Council. In the most recent submittal, the phase lines of the plans have been modified to move the parking lot south of Phase 2.5 into Phase 2.3 in order to address construction concerns with the underground utilities. The applicant (after working with the Lenox Park Homeowner's Association) has also added the suggested landscape screening near the emergency access drive to the adjacent Lenox Park development. The applicant has confirmed that the northern secondary emergency access to Lenox Park, will be constructed with Phase 2.3, as shown on the plans. The total number of units in all four phases (1,497 units) of the project remains unchanged. All staff and consultant review letters are recommending approval of revisions.

The originally approved plans and the updated plans have both utilized the Planned Development, PD-1 Option. There are several factors noted in the planning review letter the City Council should consider as part of their review. Although the PD-1 Option allows the City Council to grant deviations from the Zoning Ordinance standards, the applicant has not requested any.

Planning Commission Recommendation

The Planning Commission considered the request on March 12, 2014. At that meeting, the Planning Commission recommended approval of the revised Preliminary Site Plan with PD-1 Option and Revised Phasing Plan. Relevant draft minutes from the Planning Commission meeting are attached.

City Council Action

The City Council is asked to approve the following:

1. Revised Preliminary Site Plan with PD-1 Option (and associated Third Amendment to the Development Agreement), and
2. Revised Phasing Plan

RECOMMENDED ACTION:

The City Council is asked to consider the following 2-part motion:

Motion 1

Revised Preliminary Site Plan with PD-1 Option and Third Amendment to the Development Agreement

Approval of the request of Erickson Living for Fox Run for a Revised Preliminary Site Plan with a PD-1 Option and the Third Amendment to the Development Agreement, based on and subject to the following:

- a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Motion 2

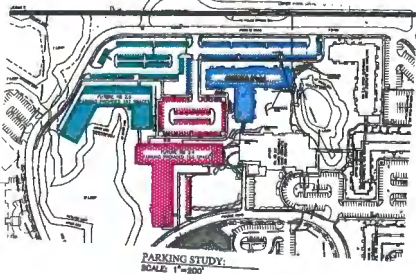
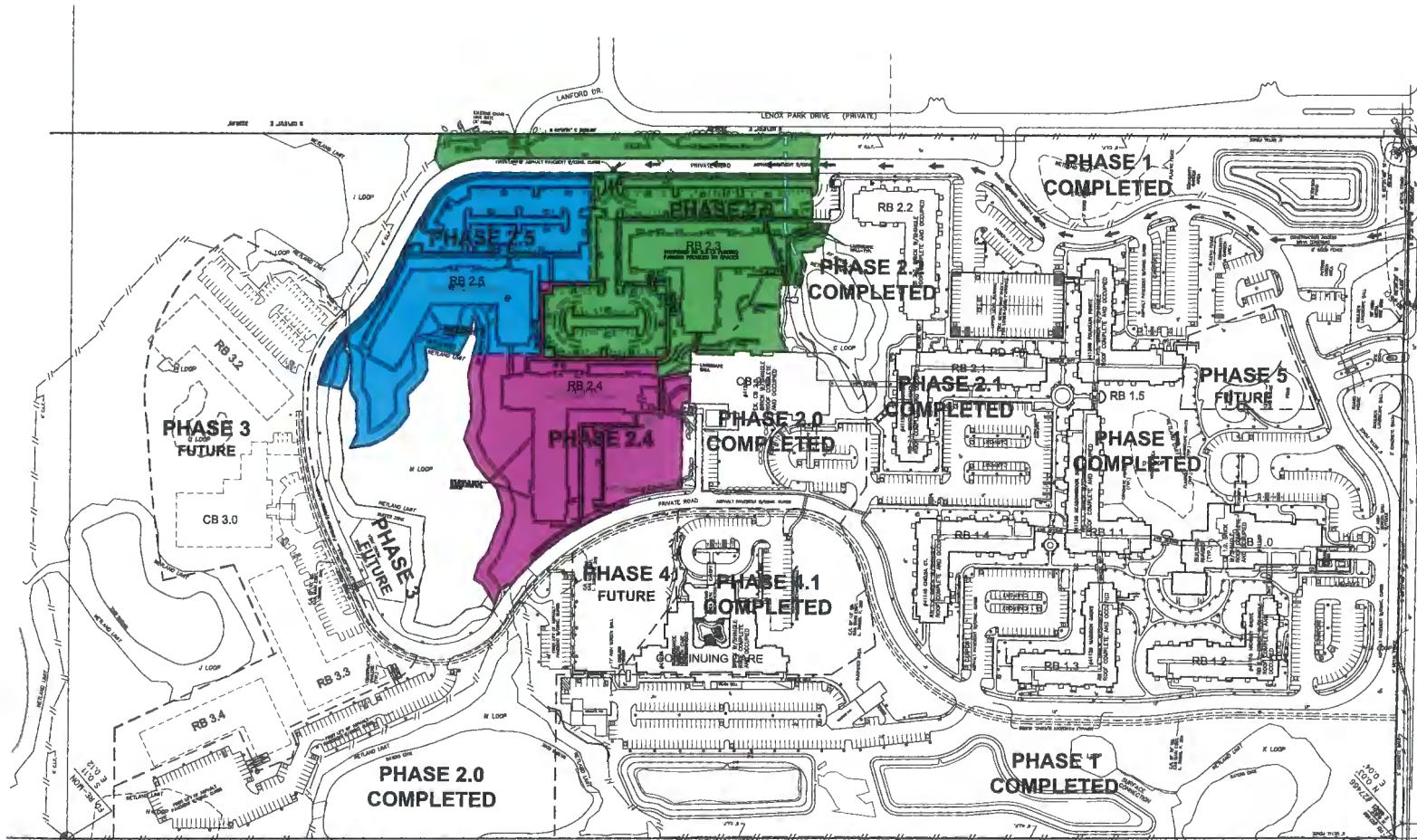
Revised Phasing Plan

Approval of the request of Erickson Living for Fox Run for a Revised Phasing Plan, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

	T	2	Y	N
Mayor Gatt				
Mayor Pro Tem Staudt				
Council Member Casey				
Council Member Fischer				

	1	2	Y	N
Council Member Markham				
Council Member Mutch				
Council Member Wrobel				

SITE PLAN



SCALE: 1" = 100'

0 50' 100' 200'

DENSITY CALCULATION TABLE

Unit Type	Number of Units	Site Area Req'd per Unit	Number of Units	Net Site Area Req'd
Single	2,700	62	2,700	167,400
One Bedroom	1,400	62	1,400	86,800
One Bedroom + Den	2,100	72	2,100	151,200
Two Bedroom + Den	2,100	83	2,100	1,738,200
Totals			1,487	8,824,800
Asst. Living Unit	n/a	1,800	182	328,800
Shared Nursery Unit	n/a	1,800	182	328,800
Total Site Area Required			390	987,800
Total Site Area Available		3,794,107		

102,817 Acres = 18,405 Acres Regulated Wetlands over 2 Acres = 86,412 Acres

PARKING PROVIDED SUMMARY

Phase	Storages	Barrier Free - Car	Barrier Free - Van
Phase 1	300	11	0
Phase 2	200	12	0
Phase 3	200	6	0
Phase 4	200	6	0
Phase 5	200	1	1
Subt	1800	67	18

SITE DATA

ITEM	PROVIDED	REQUIRED
MINIMUM BUILDING HEIGHT	10'	10'
MINIMUM BUILDING LENGTH	30'	30'
FRONT YARD SETBACK	30'	30'
SIDE YARD SETBACK	5'	5'
REAR YARD SETBACK	10'	10'
OPEN SPACE AREA	750	750
CONCRETE DRIVEWAY FLOOR AREA	317,885 S.F.	341,745 S.F.
MINIMUM LOT COVERAGE	25%	25%
PAVE NEWLY AREA	192,280 S.F.	

UNIT AND PARKING DATA BY PHASE

Phase	Number of Units	Barrier Free - Car	Barrier Free - Van
Phase 1	300	11	0
Phase 2	200	12	0
Phase 3	200	6	0
Phase 4	200	6	0
Phase 5	200	1	1
Subt	1800	67	18

EMERY WISAL
LANDSCAPE ARCHITECTURE

3000 BUCKINGHAM LANE, ANN ARBOR, MI 48106-1500
734.769.7111
734.769.7112
WWW.EMERYWISAL.COM

ZEMET WOZNAK
CIVIL ENGINEERS & LAND SURVEYORS

1000 BURNHAM DRIVE, SUITE 100
ANN ARBOR, MI 48106-1500
734.769.7111
WWW.ZEMETWOZNAK.COM

Lantz-Boggio Architects, P.C.

8600 DTC HWY 1, Suite 100 | Englewood | CO 80111
PH: 303.773.0458 | Fax: 303.773.8700

Erickson Living
701 Madison Charles Lane
Baltimore, MD 21228
Project Manager: James L. Wilbur
[443] 868-2166
james.wilbur@erickson.com

FOX RUN
NOVI, MICHIGAN

MISSING SYSTEMS, INC.
701 Madison Charles Lane
Baltimore, MD 21228
Project Manager: James L. Wilbur
[443] 868-2166
james.wilbur@erickson.com

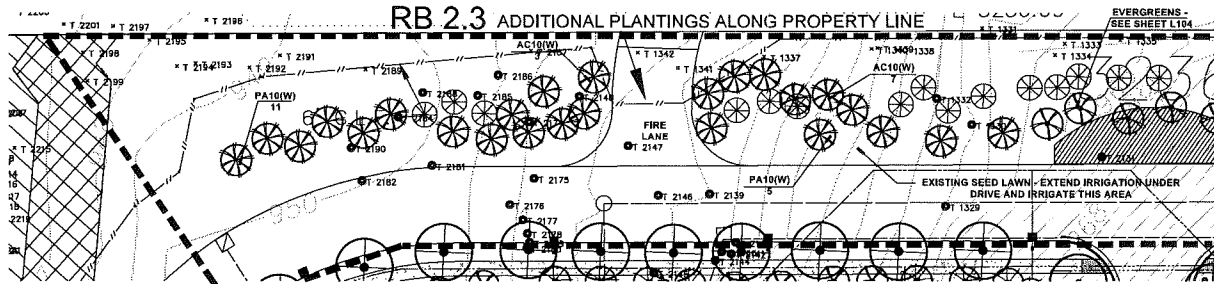
Project: **Fox Run**
Novi, Michigan
Section 1

Phase: **PHASE 2 FINAL SITE PLAN**
OVERALL SITE PHASING PLAN

Issue For: _____
Prepared By: _____
Checked By: _____
Date: **01-14-14**
Scale: **1"=100'**

Revised: _____
01-14-14 OWNER
01-22-14 FINAL SITE PLAN

Sheet Number: **C103**



RB 2.3 LANDSCAPE PLAN

SCALE 1" = 20'



RB 2.3 PLANT LIST

PLANT LIST - PARKING (P)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
20	GT3	Thornless Honeylocust <i>Gleditsia 'Sylvia'</i>	3" Cal.	B&B
12	QR3	Northern Red Oak <i>Quercus rubra</i>	3" Cal.	B&B
9	UA3	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal.	B&B
11	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal.	B&B
5	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Hl.	B&B

PARKING LOT CANOPY TREES

187 PARKING SPACES = 28,760 S.F. X 105' = 2028
PARKING AREAS = 26260 S.F. X 35' = 1428
8205 = 1428 = 6774/75 = 91 TREES REQUIRED

57 REQUIRED

57 PROVIDED

COSTS - (P) PARKING

\$32,850 = 57 SHADE TREES X \$400 EACH
\$4,240 = TOTAL

PLANT LIST - WOODLAND (W)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
3	CA	American Hornbeam <i>Carpinus Caroliniana</i>	2.5" cal.	B&B
18	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Hl.	B&B
4	PS	White Pine <i>Pinus strobus</i>	7' Hl.	B&B
8	PP	Colorado Green Spruce <i>Picea pungens</i>	7' Hl.	B&B
11	PD10	Black Hills Spruce <i>Picea g. 'Densata'</i>	10' Hl.	B&B
18	PP10	Colorado Green Spruce <i>Picea pungens</i>	10' Hl.	B&B
18	PA10	Norway Spruce <i>Picea abies</i>	10' Hl.	B&B
10	ACT0	Concolor Fir <i>Abies concolor</i>	10' Hl.	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET L103
113 TREES REQUIRED

112 REQUIRED

89 PROVIDED

COSTS - (W) WOODLAND

\$1,200 = 3 SHADE TREES X \$400 EACH
\$27,850 = 88 EVERGREEN TREES X \$325 EACH
\$29,050 = TOTAL TREES PROVIDED
\$2,250 = 23 SHADE TREES TO TREE BANK X \$400 EACH
\$31,300 = TOTAL

PLANT LIST - MULTI-FAMILY (M)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
4	AS3	Sugar Maple <i>Acer saccharum</i>	3" Cal.	B&B
3	GD3	Kentucky Coffee Tree <i>Gymnocladus dioica</i>	3" Cal.	B&B
14	LT3	Tulip Tree <i>Liriodendron tulipifera</i>	3" Cal.	B&B
15	UA3	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal.	B&B
7	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Hl.	B&B
8	PP	Colorado Green Spruce <i>Picea pungens</i>	7' Hl.	B&B
17	AA	Red Chokeberry <i>Aronia arbutifolia 'Brilliantissima'</i>	36" Hl.	Cont.
22	AT	Butterfly Weed <i>Asclepias tuberosa</i>	1 Gal.	Cont.
18	CAT	New Jersey Tea <i>Ceanothus americanus</i>	36" Hl.	B&B
8	CB	Blottonbush <i>Chepalacanthus occidentalis</i>	36" Hl.	B&B
4	CS	Red-Osier Dogwood <i>Cornus sericea</i>	24" HL	
36	JNB	New Blue Tama Juniper <i>Juniperus t. 'New Blue'</i>	24" Spr.	Cont.
38	LA	Amur Privet <i>Ligustrum amurense</i>	Full	B&B
29	RA	Gro-low Fragrant Gumbo <i>Rhus aromatica 'Gro-low'</i>	24" HL	Cont.
38	SAW	Anthony Waterer Spirea <i>Spirea 'Anthony Waterer'</i>	24" HL	Cont.
8	VD	Arrowood Viburnum <i>Viburnum dentatum</i>	36" Hl.	Cont.
3	VT	Mariesi Doublefile Viburnum <i>Viburnum p. L. 'Mariesii'</i>	36" Hl.	Cont.

MULTI-FAMILY DWELLING UNIT

3 TREES PER FIRST FLOOR UNIT
FIRST FLOOR UNITS = 19 X 3 = 57 TREES REQUIRED

57 REQUIRED

57 PROVIDED

COSTS - (M) MULTI-FAMILY

\$14,400 = 36 SHADE TREES X \$400 EACH
\$4,875 = 15 EVERGREEN TREES X \$325 EACH
\$9,500 = 190 SHRUBS X \$50 EACH
\$220 = 22 PERENNIALS X \$10 EACH
\$15,040 = 3,700 SQ. YD. X \$4/37
\$1,000 = 25 CY MULCH X \$40/CT
\$46,035 = TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
12	C03	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B

INTERIOR ROADWAY STREET TREES

1 TREE PER 35 L.F.
ROADWAY = 421 L.F./35 = 12 TREES REQUIRED

12 REQUIRED

12 PROVIDED

COSTS - (S) STREET TREES

\$4,800 = 12 SHADE TREES X \$400 EACH
\$4,800 = TOTAL



FOX RUN
NOVI, MICHIGAN

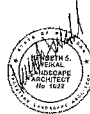


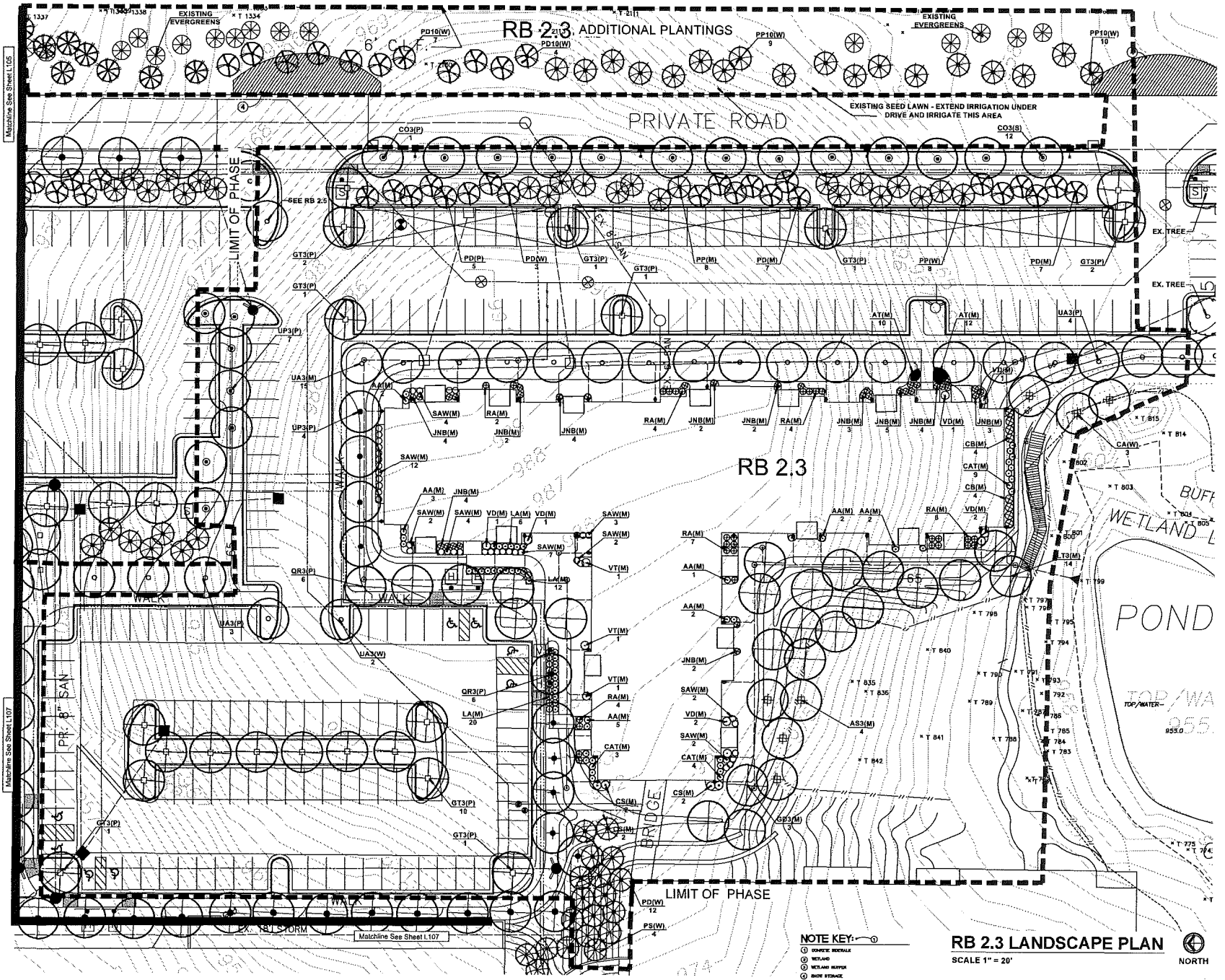
Project: Fox Run
Novi, Michigan
Section 1

Sheet: PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 CALCULATIONS

Issue For: _____
Project Number: _____
Date: _____
Checked: _____
Date: 9-17-13
Scale: _____

Revised: 10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



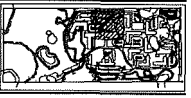


ZEMET WÓZNIAK
Civil Engineers & Land Surveyors
5400 DTC Drive, Suite 200 | Englewood | CO 80111
PH: 303.770.0346 | Fax: 303.770.8709

Lantz-Boggio Architects, P.C.
5600 DTC Drive, Suite 200 | Englewood | CO 80111
PH: 303.770.0346 | Fax: 303.770.8709

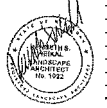
How Home Living is your Life?
Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Project:	Fox Run Novi, Michigan Section 1
Sheet:	PHASE 2 PRELIMINARY SITE PLAN RB 2.3 LANDSCAPE PLAN
Issue For:	
Project Number:	
Drawn:	
Checked:	
Date:	9-17-13
Scale:	1" = 20'-0"

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



Sheet Number: L104

NOTE KEY:
 ○ CONCRETE MEDIAN
 ⊙ WETLAND
 ⊙ WETLAND BUFFER
 ⊙ SAND STORM

RB 2.3 LANDSCAPE PLAN
SCALE 1" = 20'



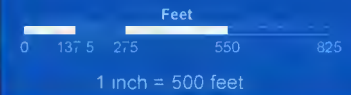
MAPS
Location
Zoning
Future Land Use
Natural Features

Fox Run JSP13-64

Location



Map Legend
Subject Property



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Kristen Kapelanski
Date: 12-03-13
Project: Fox Run JSP13-64
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.





Fox Run JSP13-64

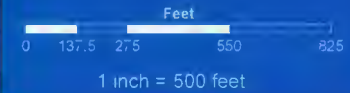
Zoning



Map Legend

Subject Property

-  R-A: Residential Acreage
-  R-2: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  MH: Mobile Home District



City of Novi
Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

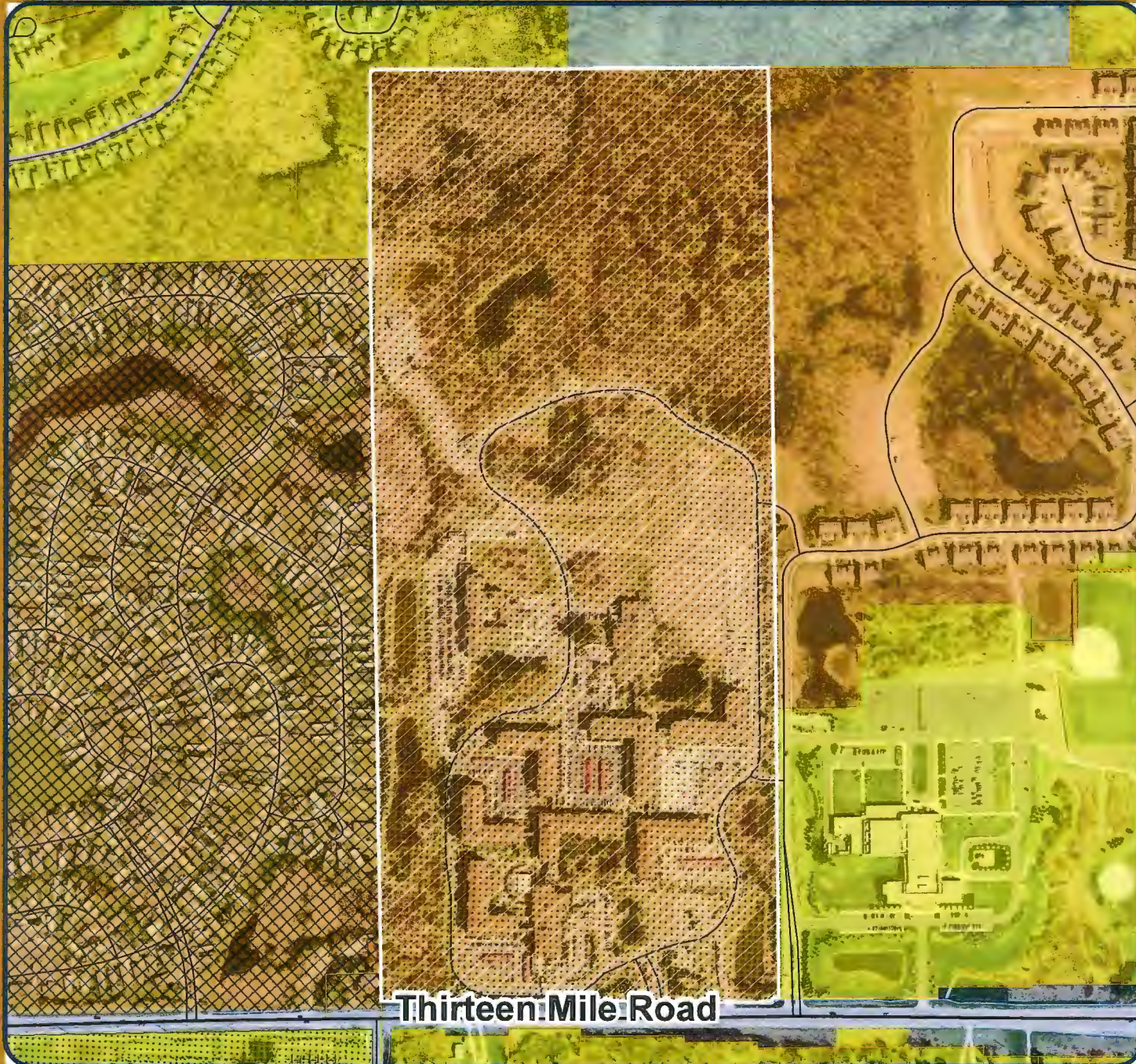
Map Author: Kristen Kapelanski
Date: 12-03-13
Project: Fox Run JSP13-64
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Fox Run JSP13-64

Future Land Use



Map Legend

Subject Property

- Single Family
- PUD
- Multiple Family
- PD1
- Mobile Home Park
- Private Park



1 inch = 500 feet



City of Novi
 Planning Division
 Community Development Dept.
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org

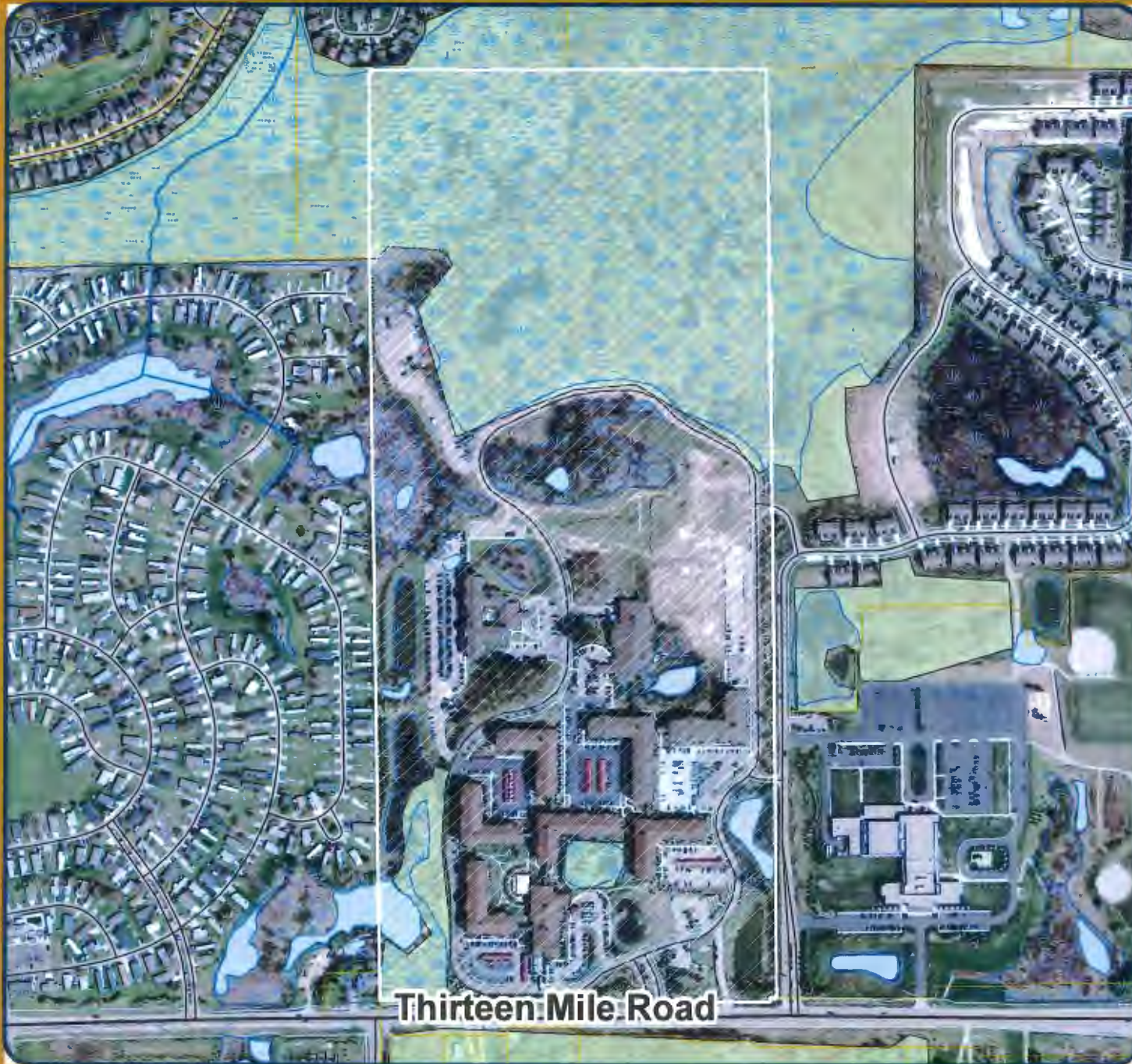
Map Author: Kristen Kapelanski
 Date: 12-03-13
 Project: Fox Run JSP13-64
 Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Fox Run JSP13-64

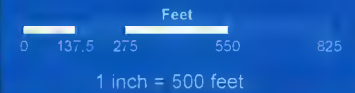
Natural Features



Map Legend

Subject Property

-  Wetlands
-  Woodlands



City of Novi

Planning Division
Community Development Dept.
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

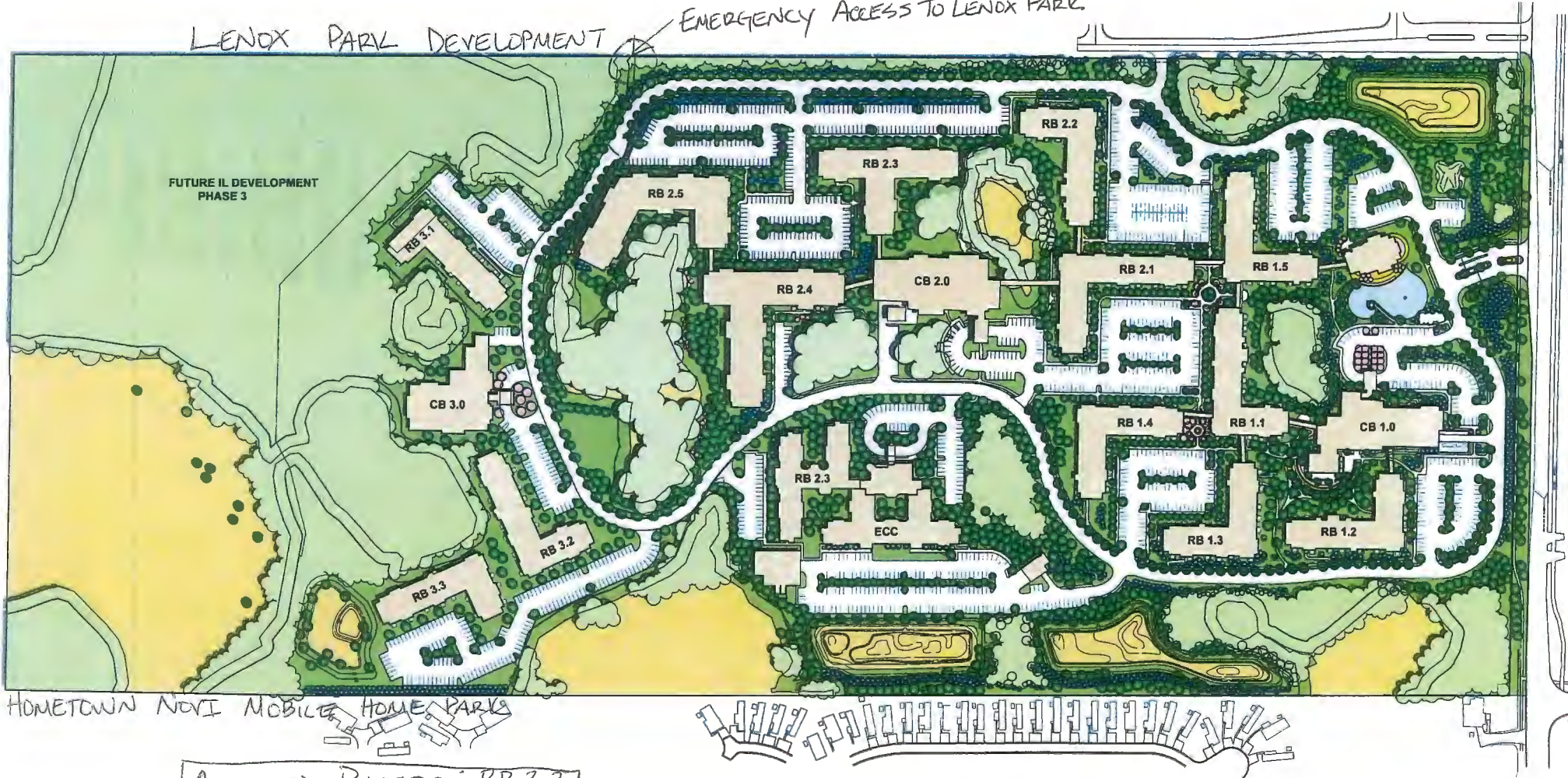
Map Author: Kristen Kapelanski
Date: 12-03-13
Project: Fox Run JSP13-64
Version #: 1.0

MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

SITE PLAN

LENOX PARK DEVELOPMENT EMERGENCY ACCESS TO LENOX PARK



ALTERED PHASES: RB 2.3
RB 2.4
RB 2.5



FOX RUN MASTERPLAN 2013
9-28-2013



AMENDED DEVELOPMENT AGREEMENT



JOHNSON ROSATI SCHULTZ JOPPICH PC

34405 W. Twelve Mile Road, Suite 200 ~ Farmington Hills, Michigan 48331-5627
Phone: 248.489.4100 | Fax: 248.489.1726

Elizabeth Kudla Saarela
esaarela@jrsjlaw.com

www.jrsjlaw.com

March 19, 2014

Barb McBeth
Deputy Community Development Director
City of Novi
45175 Ten Mile Road
Novi, MI 48375-3024

**RE: Fox Run
Proposed Amendments to Development Agreement**

Dear Ms. McBeth:

We have received and reviewed the following proposed amendments to the Development Agreement for Fox Run, copies of which are enclosed:

1. First Amendment to Development Agreement
2. Second Amendment to Development Agreement
3. Third Amendment to Development Agreement

Each of the above, amendments acknowledges the approval of a revised preliminary site plan for the project. Though the First Amendment was approved in 2003, a final executed First Amendment could not be located by either party. The First Amendment is being provided at this time to acknowledge and document the 2003 amendment.

The Second Amendment to Development Agreement adopts and incorporates the revised preliminary site plan approved by the City on January 11, 2014.

Subsequent to the approval of the Second Amendment, the developer proposed additional minor revisions to the preliminary site plan. The Third Amendment to Development Agreement adopts and incorporates the revised preliminary site plan to be considered by the City on March 24, 2014. We note that the date currently noted in the Agreement references the Planning Commission's approval to make a positive recommendation to City Council. The date referenced in the Third Amendment should be updated to March 24, 2014 prior to execution. Additionally, it appears the preliminary site plan identified in the Third Amendment should be updated to reference the most recent revision of February 14, 2014.

Barb McBeth, Deputy Community Development Director
March 19, 2014
Page 2

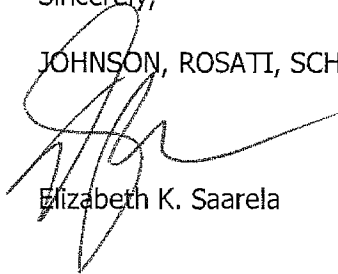
Subject to the above minor date modifications, the Amendments appear to be acceptable to amend the approved preliminary site plan for the development. No other terms of the Development Agreement are modified by the amendments.

Once executed, the original executed Agreements will remain on file with the City and our office will record the enclosed Affidavit acknowledging the Agreements for consistency with past recording practices for this project.

Should you have any questions or concerns relating to the issues set forth above, please feel free to contact me I that regard.

Sincerely,

JOHNSON, ROSATI, SCHULTZ & JOPPICH, P.C.



Elizabeth K. Saarela

EKS

C: Maryanne Cornelius, Clerk
Charles Boulard, Community Development Director
Kristen Kapelanski, Planner
Sheila Weber and Kristin Pace, Treasurer's Office
Sarah Marchioni, Building Permit Coordinator
Sue Troutman, City Clerk's Office
James Wilhour, Erickson Living
Matthew C. Quinn, Esquire
Thomas R. Schultz, Esquire

AFFIDAVIT DISCLOSING DEVELOPMENT AGREEMENT

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

Elizabeth K. Saarela, in her capacity as Assistant City Attorney for the City of Novi, being first duly sworn, deposes and states that First Amendment to Development Agreement dated March 24, 2014, between Redwood-ERC Novi, LLC and the City of Novi, the Second Amendment to Development Agreement, dated March 24, 2014, and the Third Amendment to Development Agreement, dated March 24, 2014 between Redwood-ERC Novi, LLC and the City of Novi (collectively the "Amendments"), were entered into relative to the property described on the attached and incorporated Zoning Map Amendment, and are on file with the City of Novi, City Clerk's Office. The Amendments affect rights and obligations with regard to the use and development of the described property.

Dated: March _____, 2014

CITY OF NOVI,
a Michigan Municipal Corporation

By: _____
Elizabeth K. Saarela
JOHNSON ROSATI SCHULTZ & JOPPICH, P.C.
34405 W. Twelve Mile Road, Suite 200

Farmington Hills, Michigan 48331-5627
(248) 489-4100

SUBSCRIBED AND SWORN TO before me
this _____ day of February, 2014.

Notary Public
Acting in Oakland County, Michigan
My Commission Expires: _____

Drafted By:
Elizabeth K. Saarela
JOHNSON ROSATI SCHULTZ & JOPPICH, P.C.
34405 W. Twelve Mile Road, Suite 200
Farmington Hills, Michigan 48331-5627
(248) 489-4100

When Recorded Return To:
Maryanne Cornelius, City Clerk
City of Novi
45175 Ten Mile Road
Novi, Michiga 48375

FIRST AMENDMENT TO DEVELOPMENT AGREEMENT

THIS FIRST AMENDMENT TO DEVELOPMENT AGREEMENT, by and between **Redwood-ERC Novi, LLC**, a Maryland limited liability company, whose address is 701 Maiden Choice Lane, Baltimore, MD 21228 (the "Owner"), and the **CITY OF NOVI**, 45175 West Ten Mile Road, Novi, Michigan 48375-3024 ("City").

RECITATIONS:

- I. It is represented to the City by the Owner that the Owner owns all interest in the land described on the attached and incorporated Property Description Exhibit ("Property").
- II. On or about January 25, 2002, Owner's predecessor in title and the City entered into a certain "Development Agreement" with respect to the rezoning of the Property for improvement and use as a retirement community. The Development Agreement incorporated a Preliminary Site Plan in respect to the development of the Property.
- III. On August 11, 2003, City Council approved a revised Preliminary Site Plan with a PD-1 option in respect to the Property for the purposes of adding a walkway, consolidating certain parking, rotating a building thereby preserving high quality trees, and modifying facades to distinguish between Phase I and Phase II.
- IV. The Owner and the City wish to enter into this First Amendment to Development Agreement for the purposes of incorporating the revised Preliminary Site Plan into the Development Agreement.*

NOW. THEREFORE, IT IS AGREED AS FOLLOWS:

1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan with a PD-1 option, attached and incorporated herein as Exhibit B. All previous Site Plans approved in respect to the Property, on file with the City, are hereby null and void in accordance with the action of City Council of August 11, 2003.

2. Except for the incorporation of the revised Preliminary Site Plan, the Development Agreement shall remain in full force and effect.

3. This Agreement may be signed in counterparts.

OWNER

REDWOOD-ERC NOVI, LLC

By: _____

STATE OF _____)

COUNTY OF _____)

On this _____ day of _____, 2014, before me appeared _____, authorized representative of Owner, who states that he/she has signed this document of his/her own free will on behalf of Owner.

Notary Public

_____, County, _____

My commission expires: _____

Acting in _____, County, _____

CITY OF NOVI

By: _____

Robert J. Gatt, Mayor

By: _____

Maryanne Cornelius, Clerk

STATE OF MICHIGAN)

COUNTY OF OAKLAND)

On this _____ day of _____, 2014, before me appeared Robert J. Gatt, Mayor and Maryanne Cornelius, Clerk of the City of

Novi, authorized representatives of Owner, who state that they have signed this document of their own free will on behalf of Owner.

Notary Public
Oakland County, MI
My commission expires: _____
Acting in Oakland, County, MI

Drafted by:
Matthew C. Quinn
28345 Beck Road, Suite 401
Wixom, MI 48393

When recorded return to:
Maryanne Cornelius, Clerk
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

* Owner's predecessor sought the First Amendment to Development Agreement, which was approved by the City of October 20, 2003. It was discovered that Owner's predecessor did not execute the First Amendment but that the amended Preliminary Site Plan, approved on August 11, 2003, was acted upon and became effective. Owner hereby executes the First Amendment to Development Agreement to acknowledge and ratify the terms and conditions of the First Amendment of Development Agreement.

SECOND AMENDMENT TO DEVELOPMENT AGREEMENT

THIS AGREEMENT, by and between Redwood-ERC Novi, LLC, a Maryland limited liability company, whose address is 701 Maiden Choice Lane, Baltimore, MD 21228 (the "Owner") and the City of Novi, a Michigan municipal corporation, 45175 West Ten Mile Road, Novi, MI 48375 (the "City").

RECITALS:

- I. The Owner owns all interest in the Land described on the attached and incorporated Property Description Exhibit A (Property).
- II. On or about January 25, 2002, the Owner's predecessors and City entered into a certain "Development Agreement" with respect to the rezoning of the Property for improvement and use as a retirement community. The Development Agreement incorporated a Preliminary Site Plan in respect to the development of the Property. The Development Agreement is on file with the Novi City Clerk, and an Affidavit Disclosing Development Agreement was recorded at Liber 26325, page(s) 514-515, Oakland County Register of Deeds.
- III. On October 20, 2003, the Owner's predecessor sought, and the City approved, the First Amendment to the Development Agreement for purposes of incorporating a revised Preliminary Site Plan with a PD-1 option with respect to the Property for the purposes of adding a walkway, consolidating certain parking, rotating a building thereby preserving high quality trees, and modifying facades to distinguish between Phase I and Phase II. This First Amendment to the Development Agreement was executed on _____, 2014 and is on file with the Novi City Clerk.
- IV. On January 11, 2014, Owner sought, and the City approved, a revised Preliminary Site Plan with a PD-1 option in respect to the property for purposes of reconfiguring the building located within Phase II.3 and demonstrating its relationship with future Phases II.4, II.5, Phase III and Phase IV.
- V. The Owner and City wish to enter into this Second Amendment to Development Agreement to incorporate the revised Preliminary Site

Plan with PD-1 Option into the Development Agreement for the purpose of revising portions of Phase 2 and Phase 3 of the development with respect to the number, layout and footprint of buildings and associated parking lots.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

- 1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan with a PD-1 option, dated September 17, 2013, attached hereto and incorporated as Exhibit B. The revised Preliminary Site Plan hereby supersedes all previous site plans on file with the City.
- 2. Except for the incorporation of the revised Preliminary Site Plan, the Development Agreement shall remain in full force and effect.
- 3. This Agreement may be signed in counter-parts.

OWNER

REDWOOD-ERC NOVI, LLC

By: _____

STATE OF _____)
COUNTY OF _____)

On this _____ day of _____, 2013, before me appeared _____, authorized representative of Owner, who states that he/she has signed this document of his/her own free will on behalf of Owner.

Notary Public

County, _____

My commission expires: _____

Acting in _____ County, _____

CITY OF NOVI

By: _____
Robert J. Gatt, Mayor

By: _____
Maryanne Cornelius, Clerk

STATE OF MICHIGAN)
)
COUNTY OF OAKLAND)

On this _____ day of _____, 2013, before me appeared
Robert J. Gatt, Mayor and Maryanne Cornelius, Clerk of the City of Novi,
authorized representatives of Owner, who state that they have signed this
document of their own free will on behalf of Owner.

Notary Public
Oakland County, MI
My commission expires: _____
Acting in Oakland County, MI

Drafted by:
Matthew C. Quinn
28345 Beck Road, Suite 401
Wixom, MI 48393

When recorded return to:
Maryanne Cornelius, Clerk
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

THIRD AMENDMENT TO DEVELOPMENT AGREEMENT

THIS AGREEMENT, by and between Redwood-ERC Novi, LLC, a Maryland limited liability company, whose address is 701 Maiden Choice Lane, Baltimore, MD 21228 (the "Owner") and the City of Novi, a Michigan municipal corporation, 45175 West Ten Mile Road, Novi, MI 48375 (the "City").

RECITALS:

- I. The Owner owns all interest in the Land described on the attached and incorporated Property Description Exhibit A (Property").
- II. On or about January 25, 2002, the Owner's predecessors and City entered into a certain "Development Agreement" with respect to the rezoning of the Property for improvement and use as a retirement community. The Development Agreement incorporated a Preliminary Site Plan in respect to the development of the Property. The Development Agreement is on file with the Novi City Clerk, and an Affidavit Disclosing Development Agreement was recorded at Liber 26325, page(s) 514-515, Oakland County Register of Deeds.
- III. On October 20, 2003, the Owner's predecessor sought, and the City approved, the First Amendment to the Development Agreement for purposes of incorporating a revised Preliminary Site Plan with a PD-1 option with respect to the Property for the purposes of adding a walkway, consolidating certain parking, rotating a building thereby preserving high quality trees, and modifying facades to distinguish between Phase I and Phase II. This First Amendment to the Development Agreement was executed on _____, 2014 and is on file with the Novi City Clerk.
- IV. On January 11, 2014, Owner sought, and the City approved, a revised Preliminary Site Plan with a PD-1 option in respect to the property for purposes of reconfiguring the building located within Phase II.3 and demonstrating its relationship with future Phases II.4, II.5, Phase III and Phase IV. The Second Amendment to the Development Agreement was executed on _____ day of _____, 2014 and is on file with the Novi City Clerk.

- V. On the 24th day of March, 2014 the Owner sought, and the City approved, a revised Preliminary Site Plan with the PD-1 Option and a revised phasing plan as the Developer has adjusted the phasing lines of the plan to include the parking lot south of Phase 2.5 into Phase 2.3. This parking lot was previously a part of Phase 2.4. Additionally, additional landscape screening has been added along the property line bordering the Lenox Park Development.
- VI. The Owner and City wish to enter into this Third Amendment to the Development Agreement to incorporate the revised Preliminary Site Plan with PD-1 Option into the Development Agreement for the purpose of revising portions of the phasing plan.

NOW, THEREFORE, IT IS AGREED AS FOLLOWS:

- 1. The Development Agreement is hereby amended to include the revised Preliminary Site Plan with a PD-1 option, dated 14th day of February, 2014 attached hereto and incorporated as Exhibit B. The revised Preliminary Site Plan hereby supersedes all previous site plans on file with the City.
- 2. Except for the incorporation of the revised Preliminary Site Plan, the Development Agreement , as amended, shall remain in full force and effect.
- 3. This Agreement may be signed in counter-parts.

OWNER

REDWOOD-ERC NOVI, LLC

By: _____

STATE OF _____)
)
 COUNTY OF _____)

On this _____ day of _____, 2014, before me appeared _____, authorized representative of Owner, who states that he/she has signed this document of his/her own free will on behalf of Owner.

 Notary Public
 _____ County, _____
 My commission expires: _____
 Acting in _____ County, _____

CITY OF NOVI

By: _____
Robert J. Gatt, Mayor

By: _____
Maryanne Cornelius, Clerk

STATE OF MICHIGAN)
)
COUNTY OF OAKLAND)

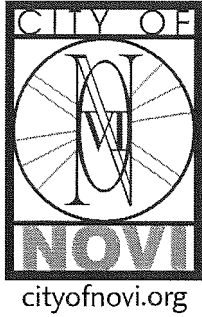
On this _____ day of _____, 2014, before me appeared Robert J. Gatt, Mayor and Maryanne Cornelius, Clerk of the City of Novi, authorized representatives of Owner, who state that they have signed this document of their own free will on behalf of Owner.

Notary Public
Oakland County, MI
My commission expires: _____
Acting in Oakland County, MI

Drafted by:
Matthew C. Quinn
28345 Beck Road, Suite 401
Wixom, MI 48393

When recorded return to:
Maryanne Cornelius, Clerk
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

PLANNING COMMISSION DRAFT MINUTES – EXCERPT
March 12, 2014



PLANNING COMMISSION MINUTES

CITY OF NOVI

Regular Meeting

March 12, 2014 7:00 PM

Council Chambers | Novi Civic Center | 45175 W. Ten Mile
(248) 347-0475

CALL TO ORDER

The meeting was called to order at or about 7:00 PM.

ROLL CALL

Present: Member Anthony, Member Baratta, Member Giacometti, Member Greco, Member Lynch, Chair Pehrson

Absent: Member Zuchlewski (excused)

Also Present: Barbara McBeth, Deputy Director of Community Development; Sara Roediger, Planner; Kristen Kapelanski, Planner; Adam Wayne, Engineer; David Beschke, Landscape Architect; Gary Dovre, City Attorney; Doug Necci, City's Façade Consultant; Victor Cardenas, Interim City Manager; Brian Coburn, Engineering Manager.

PLEDGE OF ALLEGIANCE

Member Greco led the meeting attendees in the recitation of the Pledge of Allegiance.

APPROVAL OF AGENDA

Moved by Member Lynch, seconded by Member Baratta:

VOICE VOTE ON THE AGENDA APPROVAL MOTION MADE BY MEMBER LYNCH AND SECONDED BY MEMBER BARATTA:

Motion to approve the March 12, 2014 Planning Commission Agenda. Motion carried 6-0.

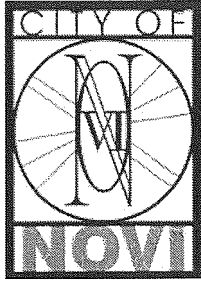
CONSENT AGENDA - REMOVALS AND APPROVAL

1. FOX RUN JSP13-64

Approval of the request of Erickson Living for Planning Commission's recommendation to the City Council of a Revised Preliminary Site Plan with a PD-1 Option and Revised Phasing Plan. The subject property is 102.8 acres in Section 1 of the City of Novi and located north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family District. The applicant has made minor adjustments to the phasing plan and landscape plan for the remaining buildings in Phase 2.

Motion to approve the Consent Agenda. Motion carried 6-0.

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

February 28, 2014

Planning Review

Fox Run – Revised Preliminary Site Plan
JSP13-64

Petitioner

Erickson Living

Review Type

Revised Preliminary Site Plan with PD-1 Option

Property Characteristics

- Site Location: North of Thirteen Mile Road, West of M-5 (Section 1)
- Site Zoning: RM-1, Low Density, Low-Rise Multiple-Family Residential
- Adjoining Zoning: North: RA, Residential Acreage, R-2, One-Family Residential; East: MH, Mobile Home; South and West: RA, Residential Acreage;
- Adjoining Uses: North: Haverhill Farms, The Maples of Novi; East: Brightmoor Tabernacle; West: Hometown Novi; South: Single-family homes, Vacant
- School District: Walled Lake School District
- Site Size: 102.8 acres
- Plan Date: 02-14-14

Project Summary

The applicant is proposing changes to portions of the second and third phase of the multi-phase Fox Run Village project. The first phase of the project and portions of Phases II and IV have been constructed. In working on the site, the applicant realized there were several changes they wished to make to the remaining portions of the second phase of the project that also impact Phase III of the project. These changes include elimination of the building formally listed as Phase 3.1 as well as changes to the building footprints and surface parking lots in Phases 2.3, 2.4 and 2.5. The most recent update to the previously approved plan was approved by the City Council on August 11, 2003. The total number of units in all four phases of the project has not changed, rather some of the units have been shifted from one building to another as part of this submittal.

The applicant has now adjusted the phase lines of the plan to include the parking lot south of Phase 2.5 in Phase 2.3. This parking lot was previously a part of Phase 2.4. Additionally, per the conditions of the revised Preliminary Site Plan approval motion, additional landscape screening has been added along the property line bordering the Lenox Park development.

Planning Commission and City Council Actions

The Planning Commission recommended approval of the Preliminary Site Plan with PD-1 Option, Special Land Use Permit, Woodland Permit, Phasing Plan and Stormwater Management Plan on December 11, 2013.

The City Council approved the site plan with PD-1 Option, Special Land Use Permit, Woodland Permit, Phasing Plan and Stormwater Management Plan on January 11, 2013 with the following motions:

Motion to approve the request of Erickson Living for Fox Run for a Revised Special Land Use Permit for JSP 13-64 based on the following findings: Relative to other feasible uses of the site:

- The proposed use will not cause any detrimental impact on existing thoroughfares (as indicated in the traffic review letter);*
- Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities*

(because the plan adequately addresses and provides for water and sanitary sewer service and management of stormwater volumes);

•The proposed use is compatible with the natural features and characteristics of the land (as no new impacts to natural features are proposed);

•The proposed use is compatible with adjacent uses of land (as indicated in the staff and consultant review letters);

•The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;

•The proposed use will promote the use of land in a socially and economically desirable manner; and

•The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Motion to approve the request of Erickson Living for Fox Run for a Revised Preliminary Site Plan with a PD-1 Option and the Second Amendment to the Development Agreement based on and subject to the following:

a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;

b. Applicant providing a material sample board that demonstrates that the proposed colors will be harmonious with the existing buildings;

c. Applicant working with staff and the adjacent Lenox Park development representatives to explore eliminating the existing emergency access connection and providing additional landscape screening as discussed at the December 11, 2013 Planning Commission meeting;

d. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

To approve the request of Erickson Living for Fox Run for a Revised Phasing Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

To approve the request of Erickson Living for Fox Run for a Revised Woodland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

To approve the request of Erickson Living for Fox Run for a Revised Stormwater Management, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

Recommendation

Staff recommends approval of the revised Preliminary Site Plan. City Council approval of the revised Preliminary Site Plan and amended Development Agreement is required following a recommendation from the Planning Commission.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 6 (RM-1 Low Density Low-Rise Multiple-Family Residential District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant or the Planning Commission/City Council.

1. **Photometric Plan: There are several minor items noted in the lighting review chart that should be addressed on the Final Site Plan submittal.**
2. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.
3. Outstanding Construction and Site Close-Out Issues: There are several outstanding issues related to site work and construction of the phases that have been started or completed. These issues must be addressed. The applicant should work with Sarah Marchioni (248.347.430) in the Building Division regarding these items and should provide documentation they are working toward resolution prior to the Planning Commission meeting.

Special Land Use Considerations

When the PD-1 Option is utilized, all uses fall under the Special Land Use requirements (Section 1903.11). Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review and recommendation to City Council of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Planning Review

Fox Run
JSP13-64

February 28, 2014

Page 4 of 4

Planned Development Option

Section 2404.4 of the ordinance outlines the review procedures for Site Plans using the PD Option. This requires the Preliminary Site Plan to receive a recommendation for approval or denial from the Planning Commission with City Council ultimately approving or denying the proposed plan. A revised Planned Development Option Agreement is also required for this project and has been submitted.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to the Planning Commission meeting and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP, Planner

Planning Review Summary Chart

Fox Run JSP13-64

2nd Revised Preliminary Site Plan- Phase II

Plan Dated: 02-14-14

Bolded items must be addressed by the applicant.

Item	Proposed	Meets Required?	Comments
Property is Master Planned residential, with a PD-1 option	No change	Yes	PD-1 option was approved with initial approval. Revised approval of PD Agreement and Concept Plan required.
Zoning is currently RM-1	No change	Yes	
Uses allowed include elderly care facilities	All inclusive elderly care campus	Yes, subject to special conditions	Minimum land ratio (1,500 sq. ft. per bed)- N/A (Only for assisted living portion in Phase III) No building closer than 40 ft. to property line- OK
General Regulations			
Minimum Lot Requirements (Sec. 2400(d))			
Total number of rooms may not exceed the net site area/2000	See PD-1 section for superseding requirement	N/A	
All public utilities should be available at the site	Public utilities are already onsite	Yes	
Up to 30% of the units in an assisted living facility may be efficiency type apartments.	See PD-1 section for superseding requirement	N/A	
For assisted living facilities, 1,500 square feet of land area shall be provided for each bed.	There is no assisted living proposed in this portion of the development	N/A	
Building shall not exceed 180 feet in length without additional setbacks; maximum length is 360 feet	Maximum length of buildings is 305'	Yes	
Setback Requirements (Sec. 2400)			
Yard Setbacks: Front-75 feet Side- 75 feet Rear- 75 feet	Phase II: Front: 100'+ Sides: 100 ft.+ Rear: 100'+	Yes	All buildings appear to be setback to allow for additional height
Parking Setbacks (Sec. 2400(b)) Front- 75 feet Both Sides- 20 feet	Phase II: Front: 100'+ Sides: 100 ft.+ Rear: 100'+	Yes	

Item	Proposed	Meets Required?	Comments
Rear- 20 feet			
Parking Area Requirements (Section 2505 and 2506)			
¾ space per each 1 unit in the congregate care portion –and– ¼ space per each bed in the assisted living portion – and– 1 space for each employee Total required for entire site: spaces: 1,634	1,642 spaces provided throughout the site	Yes	
Parking Space Dimensions and Maneuvering Lanes	9'x19' and 9'x17' (with 2' overhang) shown with 26' maneuvering lane	Yes	
Barrier Free Spaces- 26 spaces required	58 spaces provided throughout site	Yes	
Van accessible spaces- 1 per 6 barrier free spaces (10 required)	18 van accessible spaces throughout site	Yes	
Barrier Free Signage- 1 sign per space	Signage shown	Yes	
Up to 30% of the required setbacks may be used for parking spaces, maneuvering lanes, service drives, or loading areas. (Sec. 2400(d)(5))	This requirement appears to have been met	Yes	
Off street parking and drives must be a minimum of: - 25 feet from any wall with windows. - 8 feet from any wall without windows - 20 feet from any Right of Way or property line (Sec. 2400(d)(6))	This requirement has been met	Yes	
General Building Requirements (Section 2400(d))			
The maximum building height is 2 stories or 35 feet	See PD-1 section for superseding requirement	N/A	

Item	Proposed	Meets Required?	Comments
All buildings should be aligned at a 45 degree angle to the property lines	Some of the buildings in the complex are not oriented at a 45 degree angle	Yes, with previous waiver	Planning Commission waiver of this requirement was previously granted.
5 foot sidewalks are required throughout the site	5 to 7 foot sidewalks are provided throughout the site	Yes	
Maximum lot coverage by all buildings cannot exceed 25%	Maximum lot coverage on site is 12%	Yes	
Minimum floor area per unit: Efficiency- 400 sq. ft. 1 BR- 500 sq. ft. 2 BR- 750 sq. ft.	All units over 750 sq. ft. in provided floor plan	Yes	
The minimum amount of usable open space per unit shall be 200 sq. ft. 1,497 units * 200 sq ft= 299,400 square feet required	Many of the units in the project have direct access to balconies and there is over 30 acres of open space on the site. Over 317,600 sq. ft. of open space has been provided.	Yes	
A photometric plan is required at Preliminary Site Plan submittal, due to adjacent residential developments	Plan provided		See lighting review chart
PD-1 Requirements (Section 2406)			
If exceeding the height limitations of the RM-1 District, the building must be between 3 and 5 stories	Remaining buildings in Phase II are all 5 stories	Yes	
Total number of rooms on site shall not be more than the total area of the parcel/700. 585,000 sf/ 700= 836 rooms congregate care rooms permitted	390 congregate care rooms provided	Yes	
A maximum of 10% of the units on site can be of the efficiency type	1.4% of all units on site will be efficiency.	Yes	

Item	Proposed	Meets Required?	Comments
Additional 1 foot of building setback required for each foot of height over the maximum allowed under RM-1	All buildings setback appropriately to allow for additional height	Yes	
A Community Impact Statement is required for the PD-1 option	N/A	Yes	The CIS was submitted with the overall site. Since the changes proposed do not change the overall impact of the project, an update is not required.
A Traffic Impact Statement is required for the PD-1 option	N/A	Yes	The TIS was submitted with the overall site. Since the changes proposed do not change the overall impact of the project, an update is not required.

Review Prepared by Kristen Kapelanski, AICP

Lighting Review Summary Chart

Fox Run JSP13-64

Revised Preliminary Site Plan Review

Plan Date: 10-17-13

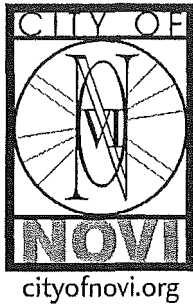
Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> ▪ Photometric data ▪ Fixture height ▪ Mounting & design ▪ Glare control devices ▪ Type and color rendition of lamps ▪ Hours of operation ▪ Photometric plan 	No	Hours of operation not included.
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district (30 feet) or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes	- Electrical service to	No	Required notes must be

Item	Required	Meets Requirements?	Comments
(Section 2511.3.b)	light fixtures shall be placed underground - No flashing light shall be permitted - Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.		added to the plan.
Required conditions (Section 2511.3.e)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.	Yes	
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	- Parking areas- 0.2 min - Loading and unloading areas- 0.4 min - Walkways- 0.2 min - Building entrances, frequent use- 1.0 min - Building entrances, infrequent use- 0.2 min	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a residential district, maximum illumination at the property line shall not exceed 0.5 foot candle	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

Prepared by Kristen Kapelanski, AICP
kkapelanski@cityofnovi.org

(248) 347-0586

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

February 28, 2014

Engineering Review

Fox Run Phase 2

JSP13-0064

Petitioner

Erickson Living, applicant

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: N. of Thirteen Mile Rd. and E. of M-5
- Site Size: 12.34 acres
- Plan Date: February 14, 2014

Project Summary

- Construction of three multi-story buildings totaling in 369 units and associated parking. Site access would be provided access points off of Fox Run Rd.
- Water service would be provided by an 8-inch extension from the existing 12-inch water main Fox Run Rd. A 6-inch domestic lead and a 6-inch fire lead would be provided to serve each building, along with three additional hydrants.
- Sanitary sewer service would be provided by re-aligning the existing 8-inch sanitary sewer. A 6-inch sanitary sewer lead is provided for each building.
- Storm water would be collected by connecting to the existing storm sewer network for the development.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.

2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Revise the plan set to specifically identify any bridges or constructed walkways which connect the proposed buildings.
4. Provide a note stating that it is the Contractor's responsibility to televise and verify that the existing utilities are fully functional. Any defective or broken material must be replaced as part of this site plan.
5. Revise the plan set to thoroughly detail any and all utility work that does not fall completely within phase lines. **All utilities must be clearly delineated by phase via differing line types, weights, and/or callouts.**
6. Please note that all paving will be limited to the extents as depicted by the proposed phase lines.
7. Revise the plan set to reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on cityofnovi.org.
8. Provide a minimum of two ties to established section or quarter section corners. The associated section or quarter section corners must clearly be labeled on the plan set.
9. Please note that each phase requires individual final site plan approval.

Water Main

10. Provide a profile for all proposed water main with a note stating that a minimum cover of five and one-half (5½) feet shall be maintained at all times.

Sanitary Sewer

11. Provide a profile for all proposed sanitary sewer with a note stating that a minimum cover of four (4) feet shall be maintained at all times.
12. Revise the plan set to provide a sanitary sewer monitoring manhole for each proposed building lead. This manhole must be located in a public sanitary sewer easement or separate sanitary sewer monitoring manhole access easement. Currently there is no monitoring manhole shown for unit 2.4.
13. Consider enclosing the sanitary sewer within a casing wherever the proposed sanitary sewer passes under an elevated bridge between buildings.

Storm Sewer

14. Provide a separate plan sheet for the proposed storm sewer. This plan sheet must contain the diameter, material type, and inverts for all storm sewer related work in Phase 2.
15. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps.

Paving & Grading

16. Provide top of wall and bottom of wall elevations for all proposed boulder retaining walls at intervals no greater than 50 feet along the face of wall.

17. Provide detailed grading for the ramps adjacent to the proposed barrier-free parking stalls with elevations to demonstrate a level landing adjacent to each ramp and general ADA compliance. 4-inch wheel stops at the sidewalk edge line or sign posts off-set two feet from the sidewalk edge line are required where barrier-free parking stalls do not abut a raised sidewalk/curb.
18. Provide a pathway cross-section indicating a maximum cross-slope of 2%.

The following must be submitted at the time of Final Site Plan submittal:

19. A letter from either the applicant or the applicant's engineer must be submitted with the revised PSP highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

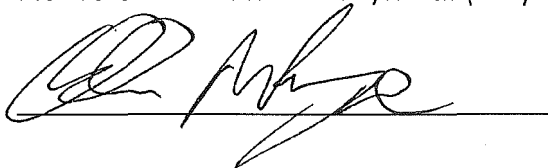
21. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring to be constructed on the site must be submitted to the Community Development Department.

The following must be addressed prior to construction:

22. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
23. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
24. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.

27. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
28. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
29. An incomplete site work performance guarantee, equal to 1.5 times the amount required to complete the site improvements (excluding the storm water detention facilities) as specified in the Performance Guarantee Ordinance, must be posted at the Treasurer's Office.
30. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
31. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.

A handwritten signature in black ink, appearing to read "Adam Wayne", is written over a horizontal line.

cc: Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW

February 25, 2014

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

SUBJECT: Fox Run Phases 2.3-2.5, JSP13-0064, Traffic Review of Second Revised Preliminary Site Plan, PSP14-0019

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the second revised preliminary site plan, subject to the issues shown below in **bold** being satisfactorily addressed by the final site plan.

Site Description

What is the applicant proposing?

1. The applicant is proposing to construct several parking lots, containing a total of 280 parking spaces, to serve Buildings RB 2.3, RB 2.4, and RB 2.5.
2. The only significant change we are able to identify relative to the first revised preliminary site plan is that the central parking lot formerly part of Phase 2.4 would now be part of Phase 2.3 (as can be seen by comparing sheet CE 100 of the current plan to the corresponding sheet in the plan reviewed last October). This change does not affect our previous design-related review comments.
3. None of the bolded comments in our last traffic review, dated 10-28-13, have been addressed and are repeated below for the applicant's convenience.

Traffic Study and Trip Generation

Was a traffic study submitted and was it acceptable? How much new traffic would be generated?

4. A traffic study is unwarranted, and a trip generation forecast is inappropriate and unnecessary.

Vehicular Access Locations

Do the proposed "driveway" locations meet City spacing standards?

5. The three proposed parking lot access drives are all separated from other existing or proposed drives by more than the City-minimum for 25-mph Fox Run Drive (105 ft).

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

6. No.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

7. The east parking lot access drive has been appropriately dimensioned as 24 ft wide. Per the City's Design and Construction Standards and typical engineering practice, this width is from back-of-curb to back-of-curb. However, a note in the lower right corner of sheet CE 101 now reads "All dimensions are from face of curb." **This note should be reworded to indicate that "All driveway widths and curb radii are referenced to back of curb. Unless otherwise specified, dimensions of parking spaces, drive aisles, sidewalks, and other elements are to face of curb or walk."**
8. A STOP sign of unspecified size is now proposed at each parking lot egress point. **The size of the octagon containing the word STOP should be specified, and if overall Fox Run traffic signing standards call for an alternative background panel for the octagon, a facsimile of the total sign installation should be detailed on the plans.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

9. It appears that the proposed locations and types of sidewalk ramps will result in the eight barrier-free parking spaces in the lot northwest of Building RB 2.3 not abutting raised sections of sidewalk. **The City's ADA Compliance Officer should indicate whether or not this is acceptable. If wheel stops are called for, they should be limited to 4 inches in height and have their parking face positioned 17 ft from the aisle ends of the parking stripes.**

Circulation

Do the parking lots meet City design standards? Can vehicles safely and conveniently maneuver through the site?

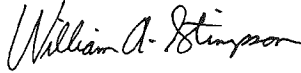
10. The plan now shows a total of three van-accessible parking spaces, not two as indicated in the engineer's transmittal letter. Regardless of the number of van-accessible spaces required by ADA regulations, every space adjacent to an 8-ft-wide access aisle qualifies as van accessible and should be signed as such. **As now configured, six of the twelve barrier-free spaces should be signed as van-accessible.**
11. The Barrier Free Parking Sign Detail (on sheet CE 101) must show the correct conceptual sign design and MMUTCD sign codes:
 - a. **The R7-8 must include the word ONLY below in the white space below the wheelchair.**
 - b. **According to the 2011 MMUTCD, the VAN ACCESSIBLE sign is now a R7-8P.**

12. **The Sign Legend should be converted to a Sign Quantities Table, and said table should list each sign type by verbal description, MMUTCD sign code, and quantity required.**
13. Overall, the revised parking lot dimensions better comply with City standards and will provide for satisfactory circulation by all anticipated vehicle types.

Sincerely,
CLEARZONING, INC.

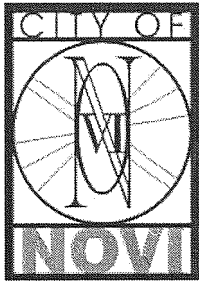


Rodney L. Arroyo, AICP
President



William A. Stimpson, P.E.
Director of Traffic Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

February 28, 2014

Revised Landscape Review

Fox Run JSP13-64

Petitioner

Erickson Living

Review Type

Revised Preliminary Site Plan with PD-1 Option

Property Characteristics

- Site Location: North of Thirteen Mile Road, West of M-5 (Section 1)
- Site Zoning: RM-1, Low Density, Low-Rise Multiple-Family Residential
- Adjoining Zoning: North: RA, Residential Acreage, R-2, One-Family Residential; East: MH, Mobile Home; South and West: RA, Residential Acreage;
- Adjoining Uses: North: Haverhill Farms, The Maples of Novi; East: Brightmoor Tabernacle; West: Hometown Novi; South: Single-family homes, Vacant
- School District: Walled Lake School District
- Site Size: 102.8 acres
- Plan Date: 2-14-14

Recommendation

Approval of the Revised Preliminary Site Plan for Fox Run Phase 2 - JSP13-64 is recommended.

Ordinance Considerations

Adjacent to Residential – Buffer (Sec. 2509.3.a.)

1. The existing vegetative buffer will remain undisturbed.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. No berm is required for this phase of the project.

Street Tree Requirements (Sec. 2509.3.b.)

1. Street trees are required at one per 35 l.f. along the internal roadways. This requirement has been met along access routes as well.

Parking Landscape (Sec. 2509.3.c.)

1. Parking lot landscape islands have been provided. This requirement has been met.
2. Parking lot canopy trees have been provided as required.
3. Perimeter Parking Lot Canopy Trees are required at one per 35 LF. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required at the building foundation with the exception of access points. This requirement has been met.
2. Adequate building foundation landscape area has been provided as required.

3. Three (3) canopy trees are required for each residential unit. This requirement has been met.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.

Planting Details & Notations (LDM)

1. Planting Details and Notations meet the requirements of the Ordinance and Landscape Design Manual.

Storm Basin Landscape (Sec. 2509.3.e.(4)) & LDM

1. No above ground storm basin is proposed.

Irrigation (Sec. 2509 3.f.(6)(b))

1. All landscape areas are required to be irrigated. It is noted that irrigation will be provided to all landscape areas. Please provide an irrigation plan with the stamping set submittal.

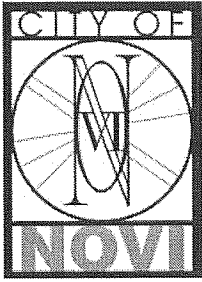
General

1. Please note that the phase lines have been appropriately revised to include extensive buffer landscape and the fire safety access drive located between Fox Run and the Lenox Park project. These plantings are not required under the ordinance, but were added as an aesthetic improvement.
2. Please see woodland and wetland reviews for additional comments.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification. Also see the Woodland and Wetland review comments.

Reviewed by: David R. Beschke, RLA

FIRE REVIEW



February 20 2014

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

TO: Barbara McBeth, Deputy Director of Community Development
Kristen Kapelanski
Sara Roediger

RE: Fox Run Concept Plan

SP#: PSP13-0153

SP# PSP13-0170

SP# PSP14-0019

Project Description:

Additional building to the Fox Run complex (RB 2.3)

Comments:

Site Plan Meets Fire Department Standard

Recommendation:

02/20/2014---Recommended for Approval

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

Z EIMET W OZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

March 3, 2014

Ms. Kristen Kapelanski, AICP
City of Novi
Community Development Department
45175 W. Ten Mile Road
Novi, MI 48375

Re: Revised Phasing for
Fox Run Phase 2
JSP13-0064, JSP14-0019

Dear Ms. Kapelanski:

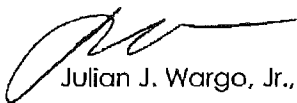
Thank you for recommending approval of the revised Preliminary Site Plan showing the revised phasing for this project on February 28, 2014.

The minor comments regarding the site lighting shall be addressed on the Final Site Plan submittal.

We look forward to working with you as we move forward with the Final Site Plan documents.

Thank you for assistance with this project. Please contact us if you have any questions or comments.

Very truly yours,



Julian J. Wargo, Jr., PE

Encl.

PC: James Wilhour, Erikson Living
Christian Fussy, Lantz-Boggio
Ken Weikal, KWLA

Z:00144.Letter71

Z EIMET W OZNAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

March 3, 2014

Mr. Adam Wayne, Staff Engineer
City of Novi
Public Services Department - Engineering Division
45175 W. ten Mile Road
Novi, MI 48375

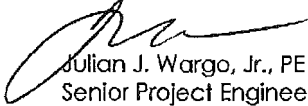
Re: Fox Run - Revised Preliminary Site Plan - File No. JSP13-64, JSP14-19

Dear Mr. Wayne:

Thank you for recommending approval of the revised Preliminary Site Plan and Preliminary Stormwater Management Plan showing the revised phasing for this project on February 28, 2014.

We look forward to working with you as we move forward with the Final Site Plan.

Very truly yours,



Julian J. Wargo, Jr., PE
Senior Project Engineer

PC: Mr. James Wilhour, Erikson
Mr. Christian Fussy, Lantz Boggio Architects
Mr. Ken Weikal

Z:00144.Letter68

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

March 3, 2014

Mr. David Beschke, RLA
City of Novi
Community Development Department
45175 W. Ten Mile Road
Novi, MI 48375

**Re: Revised Phasing for
Fox Run Phase 2
JSP13-0064, JSP14-0019**

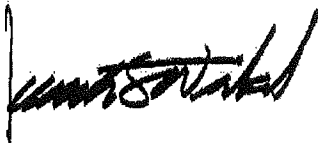
Dear Mr. Beschke:

Thank you for recommending approval of the revised Preliminary Site Plan showing the revised phasing for this project on February 28, 2014.

We look forward to working with you as we move forward with the Final Site Plan documents.

Sincerely,

KENNETH WEIKAL LANDSCAPE ARCHITECTURE



Kenneth S. Weikal - Principal

PC: James Wilhour, Erikson Living
Christian Fussy, Lantz-Boggio
Julian Wargo, Zeimet Wozniak

33203 BIDDESTONE FARMINGTON HILLS, MICHIGAN 48334-4313
(248) 477- 3600 kweikal@kw-la.com

Z EIMET W OZNAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

March 3, 2014

Mr. Rodney L. Arroyo, AICP
Clearzoning, Inc.
28021 Southfield Road
Lathrup Village, MI 48076

Re: Fox Run Phases 2.4 - 2.5, JSP13-0064,
Traffic Review of Revised Preliminary Site Plan, PSP14-0019

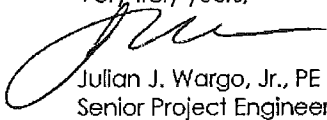
Dear Mr. Arroyo:

Thank you for recommending approval of the revised Preliminary Site Plan showing the revised phasing for this project on February 25, 2014.

We understand that your approval is subject to addressing your comments from your last traffic review on the Final Site Plan.

Thank you for assistance. We look forward to working with you as the Final Site Plan moves forward.

Very truly yours,



Julian J. Wargo, Jr., PE
Senior Project Engineer

PC: Mr. James Wilhour, Erikson
Mr. Christian Fussy, Lantz Boggio Architects
Mr. Ken Weikal

Z:00144.Letter70

Z EIMET W OZNIAK
& ASSOCIATES

Civil Engineers & Land Surveyors

55800 Grand River Avenue, Suite 100
New Hudson, Michigan 48165-9318
248.437.5099 · 248.437.5222 fax
www.zeimetwozniak.com

March 3, 2014

Mr. Joseph Shelton, Fire Marshal
City of Novi
Public Safety Administration - Fire Department
45125 W. Ten Mile Road
Novi, MI 48375

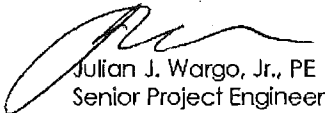
Re: Fox Run - Revised Preliminary Site Plan
File No. PSP13-0153, PSP13-0170, PSP14-009

Dear Mr. Shelton:

Thank you for recommending approval of the revised Preliminary Site Plan for this project showing the revised phasing on February 20, 2014.

We look forward to working with you as we move forward with the Final Site Plan.

Very truly yours,



Julian J. Wargo, Jr., PE
Senior Project Engineer

PC: Mr. James Wilhour, Erikson
Mr. Christian Fussy, Lantz Boggio Architects
Mr. Ken Weikal

Z:00144.Letter69

CITY COUNCIL MINUTES – EXCERPT
January 11, 2014

**REGULAR MEETING OF THE COUNCIL OF THE CITY OF NOVI
SATURDAY, JANUARY 11, 2014 AT 8:00 A.M.
COUNCIL CHAMBERS – NOVI CIVIC CENTER – 45175 W. TEN MILE ROAD**

Mayor Gatt called the meeting to order at 8:00 A.M.

PLEDGE OF ALLEGIANCE

ROLL CALL: Mayor Gatt, Mayor Pro Tem Staudt, Council Members Casey, Fischer, Markham, Mutch, Wrobel

ALSO PRESENT: Clay Pearson, City Manager
Victor Cardenas, Assistant City Manager
Thomas Schultz, City Attorney

APPROVAL OF AGENDA:

**CM 14-01-001 Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY: To
approve the Agenda as presented.**

**Roll call vote on CM 14-01-001 Yeas: Staudt, Casey, Fischer, Markham,
Mutch, Wrobel, Gatt
Nays: None**

MATTERS FOR COUNCIL ACTION

1. Approval of the request of Erickson Living for JSP 13-64 Fox Run Revised Preliminary Site Plan with PD-1 Option (and associated Second Amendment to the Development Agreement), Revised Special Land Use Permit, Revised Phasing Plan, Revised Woodland Permit and Revised Stormwater Management Plan. The property is located in Section 1 of the City north of Thirteen Mile Road and west of M-5 in the RM-1, Low Density Low-Rise Multiple-Family Residential District and totals 102.8 acres. The applicant is proposing to revise the original approval and layout of the remaining buildings in Phase II.

City Manager Pearson said the next phase has already been approved but through experience from the first phase they are making some changes to the building layouts and configurations. The changes have a favorable recommendation from the Planning Commission and staff.

Matthew Quinn, representing Erickson Fox Run, said they are expanding and are combining four buildings into three that results in a revised phasing plan. The only thing brought up from the Planning Commission was some adjacent neighbors from Lenox Park asked if Fox Run would consider putting in additional buffering at the border. It was agreed upon by both parties. There have been positive approvals from staff and consultants on the project.

Member Markham asked about the elimination of the emergency access. Mr. Quinn said they found out after the Planning Commission meeting that the gate was on Lenox Park property. They are still discussing it. Lenox Park will be repaving one of their roads in that area and then it will be addressed if they need an easement for any construction.

Member Mutch was not comfortable with the secondary access point being eliminated. He knew that Fox Run does have a secondary access closer to Thirteen Mile off the entrance drive

that goes to Lenox Park. In light of the size of the development, he feels there may be a need for emergency vehicles to access the development. He recommended being very cautious about eliminating the access. The other concern of the Lenox Park residents was the storm water runoff. City of Novi ordinances don't allow storm water flow going onto the adjacent property and asked how that was being handled by the Fox Run development. Julian Wargo, Zeimet, Woniak & Associates, 41637 Steinbeck Glen, said he is the civil engineer for Fox Run and Lennox Park developments. He said Fox Run's storm water management program does not affect Lenox Park in any way. There is a divide that runs along the property line between the two developments. He was involved with the design of Fox Run in the beginning and with the close out of Lenox Park; he said one does not impact the other. Member Mutch said he wanted to make sure those concerns were properly addressed and thanked Mr. Wargo.

CM 14-01-003 Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY: To

approve the request of Erickson Living for Fox Run for a Revised Special Land Use Permit for JSP 13-64 based on the following findings:

Relative to other feasible uses of the site:

- **The proposed use will not cause any detrimental impact on existing thoroughfares (as indicated in the traffic review letter);**
- **Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities (because the plan adequately addresses and provides for water and sanitary sewer service and management of stormwater volumes);**
- **The proposed use is compatible with the natural features and characteristics of the land (as no new impacts to natural features are proposed);**
- **The proposed use is compatible with adjacent uses of land (as indicated in the staff and consultant review letters);**
- **The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;**
- **The proposed use will promote the use of land in a socially and economically desirable manner; and**
- **The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.**

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-003

**Yeas: Fischer, Markham, Mutch, Wrobel, Gatt,
Staudt, Casey**

Nays: None

CM 14-01-004 Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Preliminary Site Plan with a PD-1 Option and the Second Amendment to the Development Agreement based on and subject to the following:

- a. City Council finding that the standards of Section 2404.4.A of the Zoning Ordinance are adequately addressed;
- b. Applicant providing a material sample board that demonstrates that the proposed colors will be harmonious with the existing buildings;
- c. Applicant working with staff and the adjacent Lenox Park development representatives to explore eliminating the existing emergency access connection and providing additional landscape screening as discussed at the December 11, 2013 Planning Commission meeting;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-004 Yeas: Markham, Mutch, Wrobel, Gatt, Staudt,
Casey, Fischer
Nays: None

CM 14-01-005 Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Phasing Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Article 6, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-005 Yeas: Mutch, Wrobel, Gatt, Staudt, Casey,
Fischer, Markham
Nays: None

CM 14-01-006 Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Woodland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

Roll call vote on CM 14-01-006 Yeas: Wrobel, Gatt, Staudt, Casey, Fischer,
Markham, Mutch
Nays: None

CM 14-01-007 Moved by Casey, seconded by Wrobel; CARRIED UNANIMOUSLY:

To approve the request of Erickson Living for Fox Run for a Revised Stormwater Management, based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

Roll call vote on CM 01-14-007

Yeas: Gatt, Staudt, Casey, Fischer, Markham,
Mutch, Wrobel

Nays: None

FOX RUN

PHASE 2 PRELIMINARY SITE PLAN

41 000 THIRTEEN MILE ROAD NOVI, MICHIGAN



FOX RUN

NOVI, MICHIGAN



Sheet Index

Surveying and Engineering

- CE 100 Overall Site Phasing Plan
- CE 101 Site Dimension Plan
- CE 102 Site Grading & Drainage Plan
- CE 102.1 Erosion Control Plan
- CE 103 Utility Plan
- CE 104 Boundary Survey
- CE 105 Topographic Survey
- CE 106 Tree Location Survey
- CE 107 Storm Area Plan
- CE 108 Storm Water Management Analysis

Landscape Architecture

- L100 Overall Plan/ Key Plan
- L101 Natural Features Plan
- L102 Tree Removal Plan
- L103 RB 2.3 Tree Removal Chart
- L104 RB 2.3 Landscape Plan
- L105 RB 2.3 Calculations
- L106 RB 2.4 Tree Removal Chart
- L107 RB 2.4 Landscape Plan
- L108 RB 2.4 Landscape Plan
- L109 RB 2.4 Calculations
- L110 RB 2.5 Tree Removal Chart
- L111 RB 2.5 Landscape Plan
- L112 RB 2.5 Landscape Plan
- L113 RB 2.5 Calculations
- L114 Planting Details

Architectural

- A 100 RB 2.3 North & West Elevations
- A 101 RB 2.3 South & East Elevations
- A 102 Phase Preliminary Material Board
- A 103 RB 2.3 Level 1 Plan
- A 104 RB 2.3 Level 2 Plan
- A 105 RB 2.3 Level 3-5 Plan
- A 106 RB 2.4 North & West Elevations
- A 107 RB 2.4 South & East Elevations
- A 108 RB 2.5 North & East Elevations
- A 109 RB 2.5 South & West Elevations
- SL1 Site Photometric Plan
- SL2 Luminaire Submittals

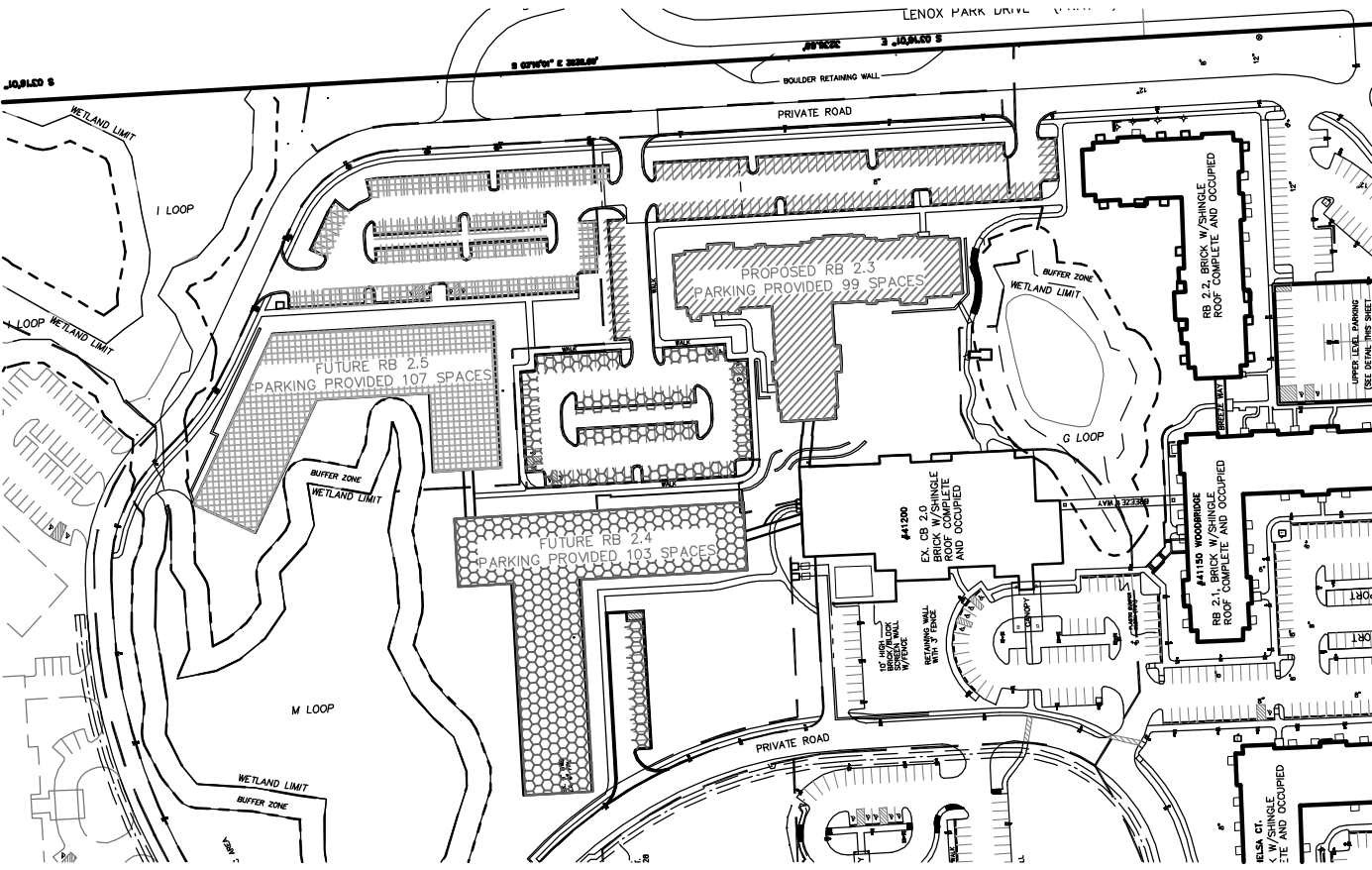
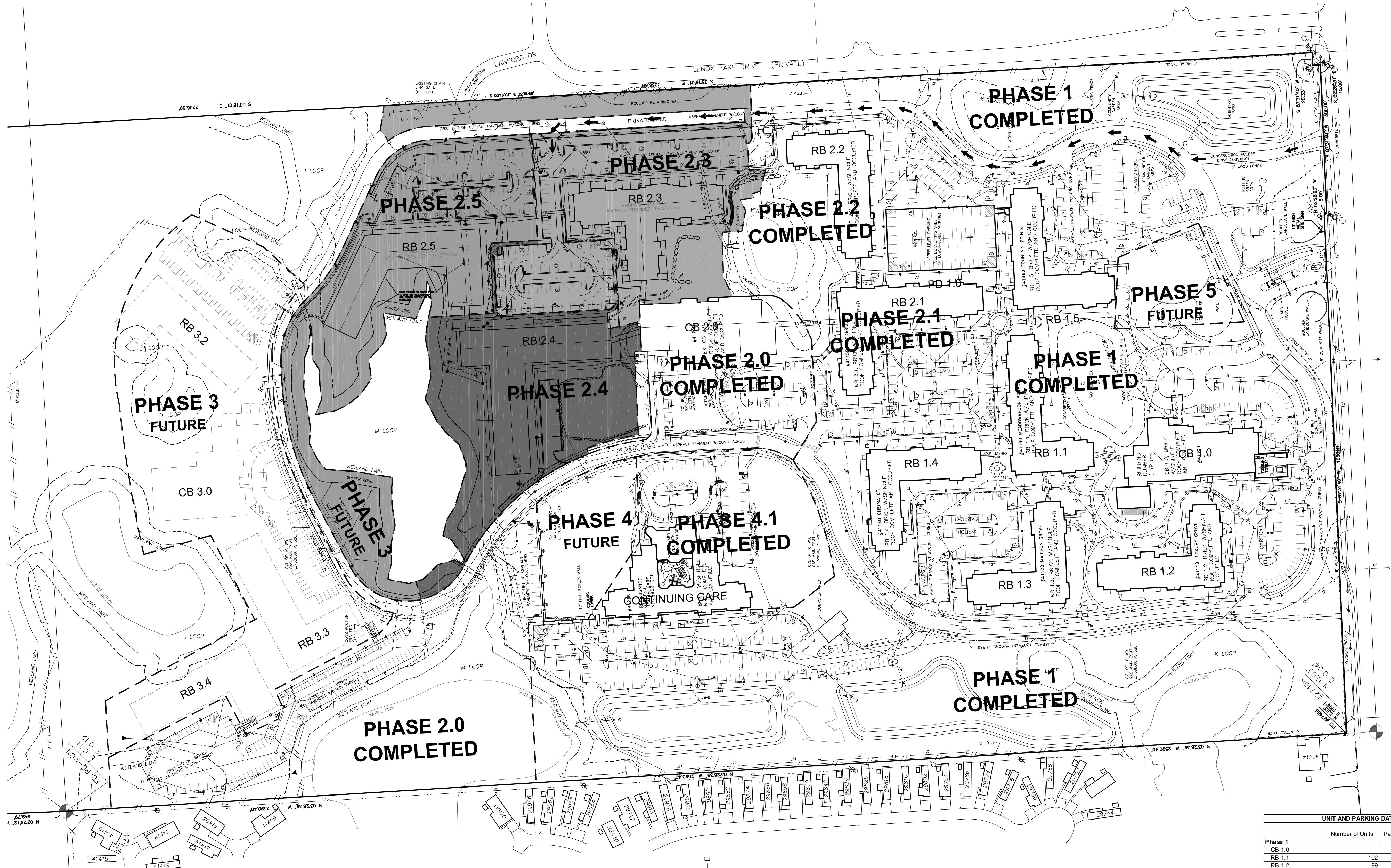


Project:	Fox Run
	Novi, Michigan
	Section 1
Sheet:	PHASE 2 PRELIMINARY SITE PLAN COVER
Issue For:	
Project Number:	
Drawn:	
Checked:	
Date:	9-17-13
Scale:	

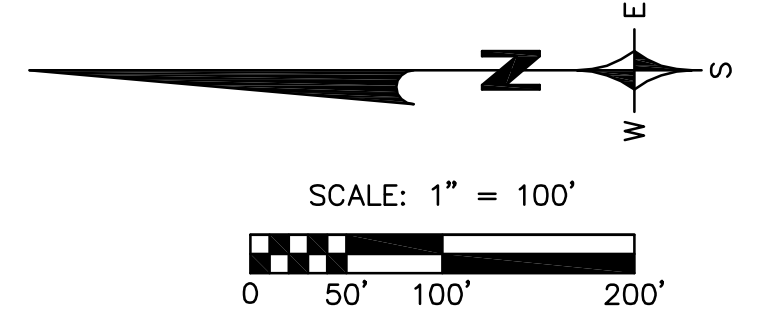
Revised:	
10-09-13	CITY REVIEW
10-17-13	PER CITY REVIEW COMMENTS
02-14-14	REVISED PHASING

Sheet Number: COVER

Z:\Projects\146\146\BACKUP\PRELIM SITE PLAN 10-17-13 W REVISED PHASING 2-14-14 10:40:01AM PHASE 2 SITE PLAN.dwg COVER, 2/16/2014 8:52:38 AM, dbrimbyer



PARKING STUDY:
SCALE: 1"=200'



DENSITY CALCULATION TABLE

Unit Type	Number of Rooms	Site Area Req'd per Unit	Number of Units	Net Site Area Req'd
Studio	1	700	21	14,700
One Bedroom	2	1,400	462	646,800
One Bedroom + Den	3	2,100	172	361,200
Two Bedroom	3	2,100	823	1,728,300
Two Bedroom + Den	4	2,800	19	53,200
Totals			1,497	2,804,200

Asst. Living Unit	n/a	1,500	192	288,000
Skilled Nursing Unit	n/a	1,500	198	297,000
			390	585,000

Total Site Area Required = 3,389,200
 Total Site Area Available = 3,764,107
 102.817 Acres - 16.405 Acres Regulated Wetlands over 2 Acres = 86.412 Acres

	Standard	Barrier Free - Car	Barrier Free - Van	
Phase 1	401	17	8	
Phase 2	502	12	4	
Phase 3	247	6	4	
Phase 4	45	4	1	
Phase 5	23	1	1	
Staff	366	0	0	
Total	1584	40	18	

	PER ORDINANCE	PROVIDED
MAXIMUM BUILDING HEIGHT	5 STORIES / 65'	5 STORIES / 65'
MAXIMUM BUILDING LENGTH	360'	315'
FRONT YARD SETBACK	50'	150'
SIDE YARD SETBACK	75'	95'
REAR YARD SETBACK	75'	790'
OPEN SPACE AREA	317,600 S.F.	OVER 317,600 S.F.
GROSS GROUND FLOOR AREA		544,741 S.F.
MAXIMUM LOT COVERAGE	25%	12%
PAVEMENT AREA		102,368 S.F.

Phase	Number of Units	Parking Required	Parking Provided
Phase 1			
CB 1.0		25	25
RB 1.1	102	77	81
RB 1.2	93	73	71
RB 1.3	110	83	86
RB 1.4	112	84	72
RB 1.5	119	90	91
Total	542	434	426
Phase 2			
CB 2.0		25	25
RB 2.1	135	102	103
RB 2.2	81	61	81
RB 2.3	96	72	99
RB 2.4	137	103	103
RB 2.5	137	103	107
Total	585	466	518
Phase 3			
CB 3.0		25	25
RB 3.2	123	93	77
RB 3.3	123	93	77
RB 3.4	124	93	78
Total	370	304	257
Phase 4			
Assisted Living Unit	192	48	25
Skilled Nursing Unit	198	50	25
Total	390	98	50
Phase 5			
Chapel	25		25
Staff Parking		307	366
Parking Grand Total		1634	1642

KENNETH WEIKAL
 LANDSCAPE ARCHITECTURE
 248 477 3600 TEL.
 388 877 3688 FAX
 33203 BODSTONE LANE, FARMINGTON HILLS, MICHIGAN 48304-6313
 www.kw-la.com

ZEMET WOZNIAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 55800 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zemewozniak.com

Lantz-Boggio Architects, P.C.
 5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
 Add more Living to your Life!
 701 Maiden Choice Lane
 Baltimore, MD 21228
 Project Manager: James J. Wilhour (443) 388-2156
 james.wilhour@erickson.com

FOX RUN
 NOVI, MICHIGAN

MISS DIG SYSTEM, INC.
 THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM
 1-800-482-7171

Project:
Fox Run
 Novi, Michigan
 Section 1

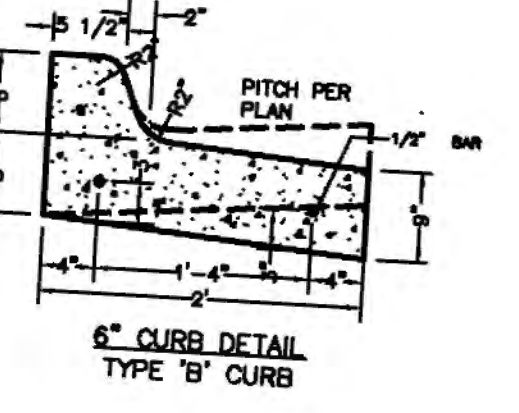
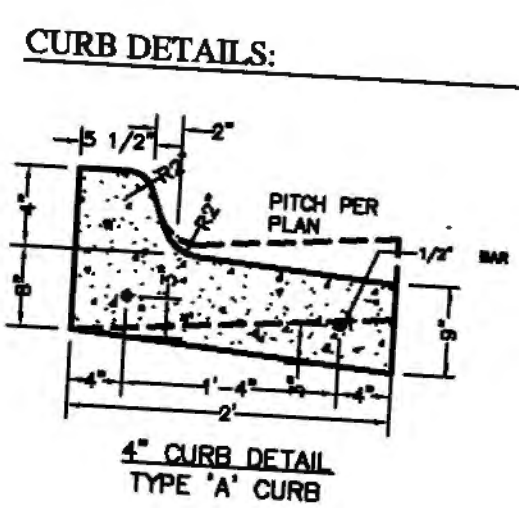
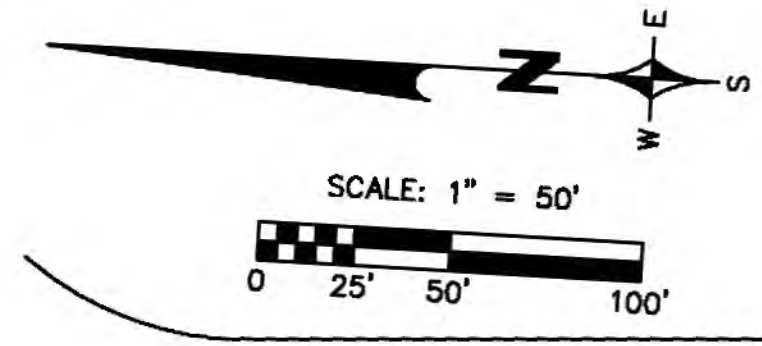
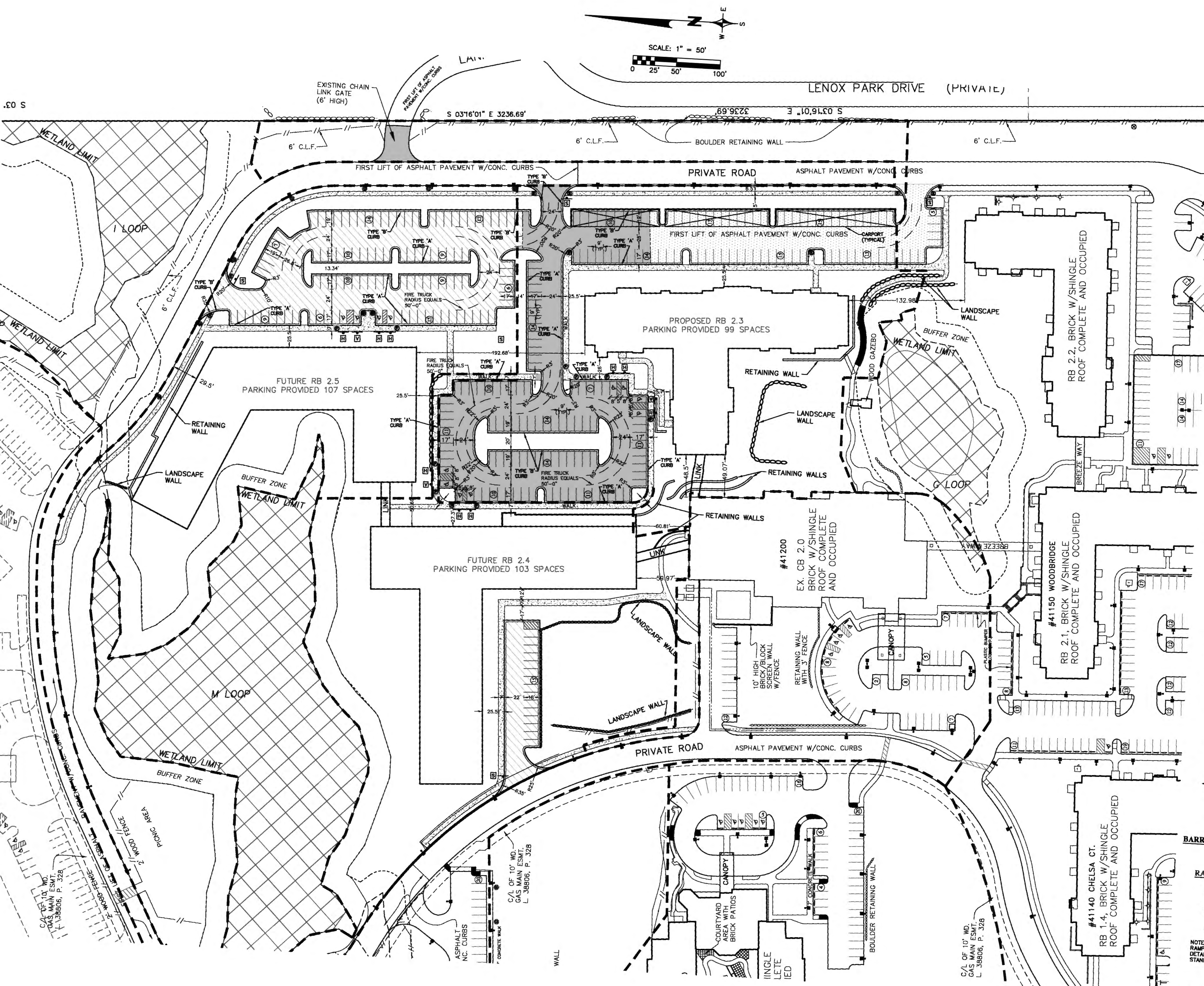
Sheet:
PHASE 2 PRELIMINARY SITE PLAN
OVERALL SITE PHASING PLAN

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date: 9-17-13
 Scale: 1"=100'

Revised:
 10-09-13 CITY REVIEW
 10-17-13 PER CITY REVIEW COMMENTS
 02-14-14 REVISED PHASING

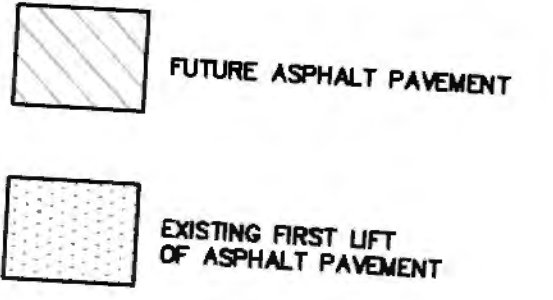
Sheet Number: **CE 100**

Z:\Projects\00144\dwg\BACKUP\PRELIM SITE PLAN 10-17-13 REVISED PHASING 2-14-14 0014400144 PHASE 2 SITE PLAN.dwg PHASING 2/18/2014 8:52:11 AM dbmayer



PAVEMENT SPECIFICATIONS:

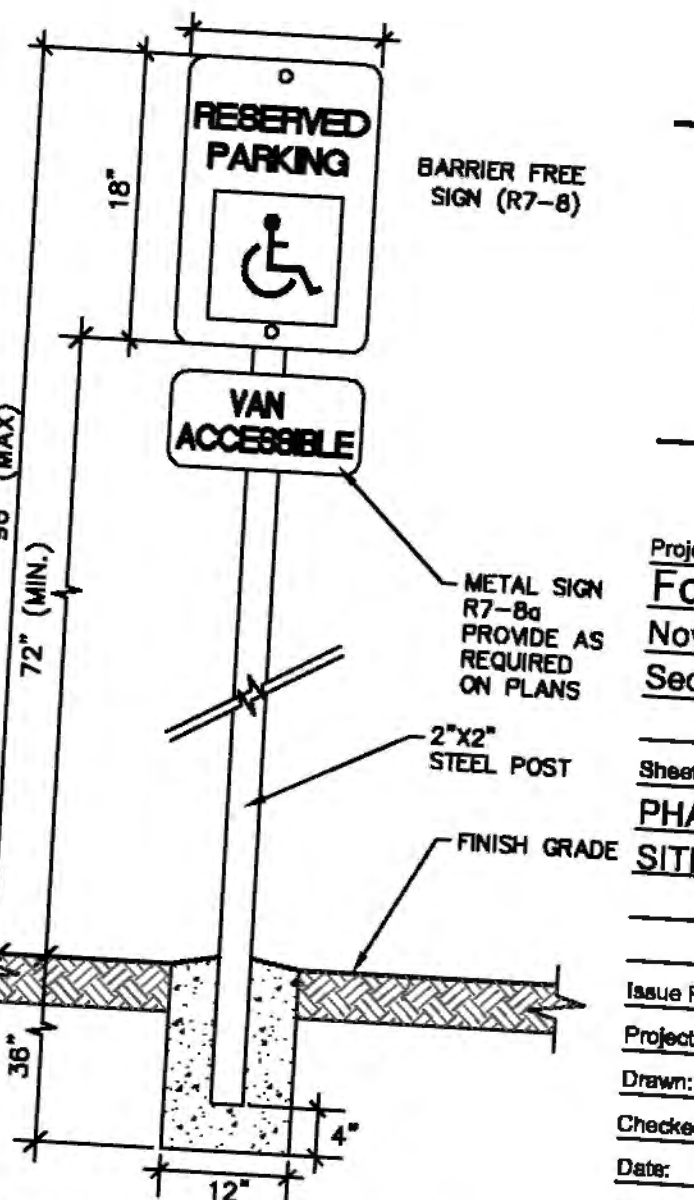
- 1.5" M.D.O.T. 1100T BIT. ASPHALT TOPPING
- 2.5" M.D.O.T. 1100L BIT. ASPHALT LEVELING
- 8.0" M.D.O.T. 21AA AGGREGATE BASE ON PREPARED SUBGRADE



SIGN LEGEND:

- = HANDICAP PARKING (R7-B)
- = VAN ACCESSIBLE HANDICAP PARKING (R7-B WITH PLAQUE)
- = STOP (R1-1)

NOTE: ALL SIGNS SHALL CONFORM WITH CURRENT MUTCD STANDARDS AND THE CITY OF NOVI.



RAMP LEGEND:

- TYPE R (ROLLED SIDES)
- TYPE RF (ROLLED/FLARED SIDES)
- TYPE P (PARALLEL)

NOTE: ALL ADA-COMPLIANT SIDEWALK RAMPS SHALL BE CONSTRUCTED PER MDOOT DETAIL R-28-H AND CITY OF NOVI STANDARDS.

NOTE:
ALL DIMENSIONS ARE FROM

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

3607 RIDGESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-2001
248.477.3600 TEL
248.477.3600 FAX
www.kweikal.com

ZIMET WOZNAK
ASSOCIATES
Civil Engineers & Land Surveyors
5380 GRAND RIVER AVE., SUITE 100
NEW HULSDON, MICHIGAN 48163
P: (248) 437-5099 F: (248) 437-5222 www.zimewozniak.com

Lantz-Boggio Architects, P.C.

5850 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8708

Erickson Living
Add more Living to your Life™

Erickson Living
701 Maiden Chiles Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2166
james.wilhour@erickson.com

FOX RUN
NOVI, MICHIGAN

MISS DIG SYSTEM, INC.
1-800-482-7171

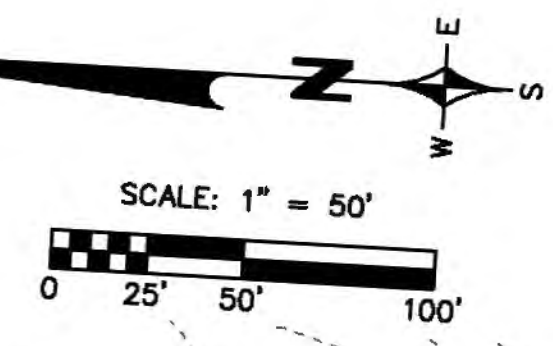
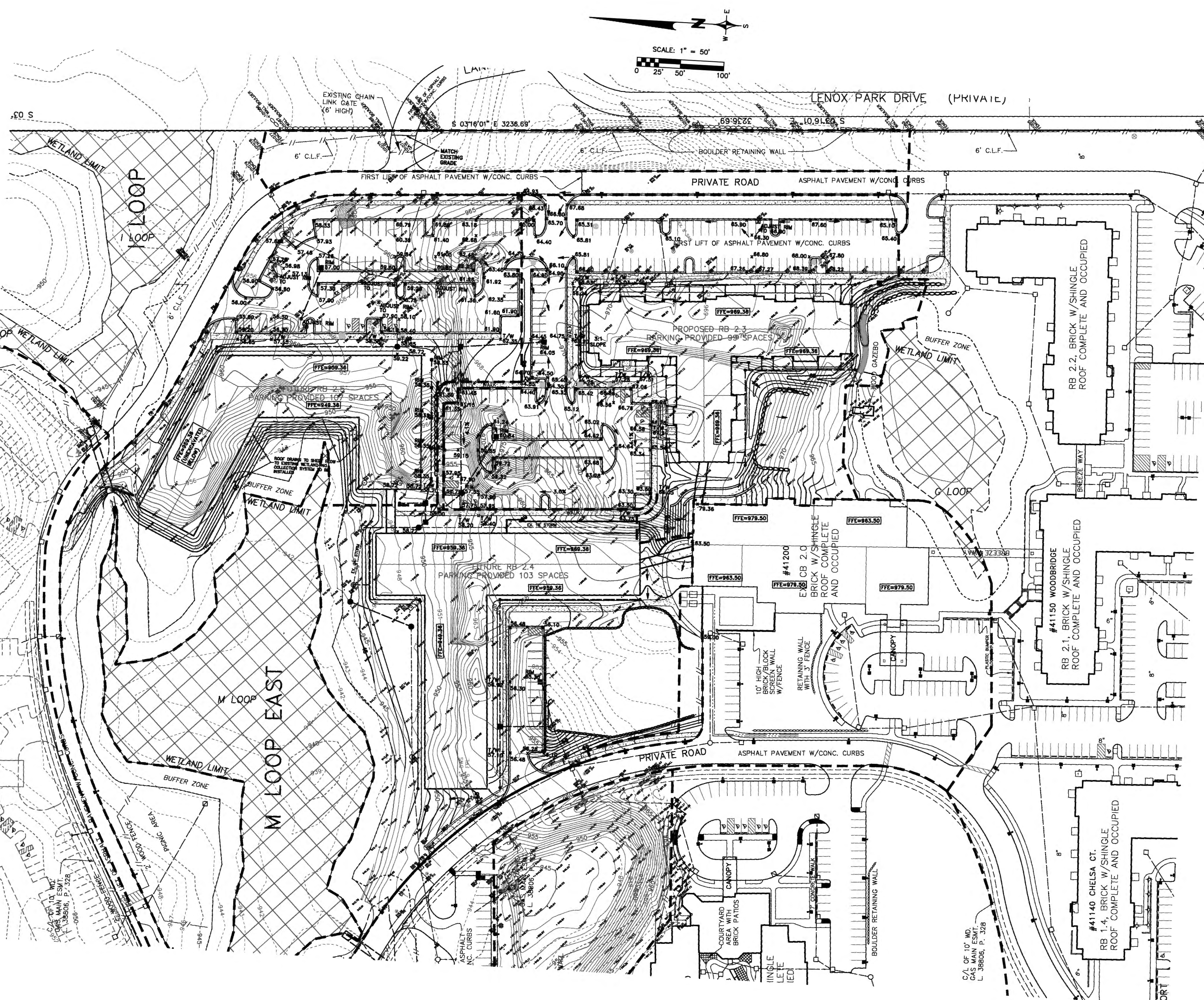
THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM

Project: **Fox Run**
Novi, Michigan
Section 1

Sheet: **PHASE 2 PRELIMINARY SITE PLAN**
SITE DIMENSIONS PLAN

Issue For: _____
Project Number: _____
Drawn: _____
Checked: _____
Date: 9-17-13
Scale: 1"=50'

Revised:
10-09-13 CITY REVIEW
10-17-13 PER CITY REVIEW COMMENTS
02-14-14 REVISED PHASING



LEGEND

- MANHOLE
- CATCH BASIN
- INLET
- END SECTION
- GATE VALVE
- HYDRANT
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- SIGN
- BOUNDARY LINE
- PARCEL LINE
- SECTION LINE
- EASEMENTS
- WROUGHT IRON FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CHAIN LINK FENCE
- LIGHT POLE
- GROUND LIGHT
- HANDICAPPED PARKING
- TRANSFORMER

PROPOSED

- MANHOLE
 - CATCH BASIN
 - INLET
 - CLEANOUT
 - END SECTION
 - ROOF DRAIN
 - GATE VALVE
 - HYDRANT
 - WATER SHUT-OFF
 - TREE REMOVAL
 - SANITARY SEWER
 - STORM SEWER
 - WATER MAIN
 - DITCH
 - CONTOUR MAJOR
 - CONTOUR MINOR
 - PROPOSED GRADE
- x 99.0 = TOP OF CURB
 T/C = TOP OF WALK
 T/W = TOP OF PAVEMENT
 T/P = TOP OF BANK
 T/B = GROUND
 G = DITCH
 D = GUTTER
 GU = FINISH GRADE
 FG = FINISH FLOOR
 FF = BASEMENT FLOOR
 BF = BRICK LEDGE

NOTE: ALL PROPOSED GRADES ARE TOP OF PAVEMENT (T/P) UNLESS NOTED OTHERWISE.

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

360 477 3600 TEL
360 477 3608 FAX
3300 RIDGESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4101
www.kweikal.com

ZEMET WOZNAK
ASSOCIATES
Civil Engineers & Land Surveyors
5380 GRAND RIVER AVE., SUITE 100
NEW HULDSON, MICHIGAN 48163
P: (248) 437-5099 F: (248) 437-5222 www.zemewoznak.com

Lantz-Boggio Architects, P.C.

5850 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8708

Erickson Living
Add more Living to your Life!

701 Maiden Choice Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2166
james.wilhour@erickson.com

FOX RUN
NOVI, MICHIGAN

MISS DIG SYSTEM, INC.

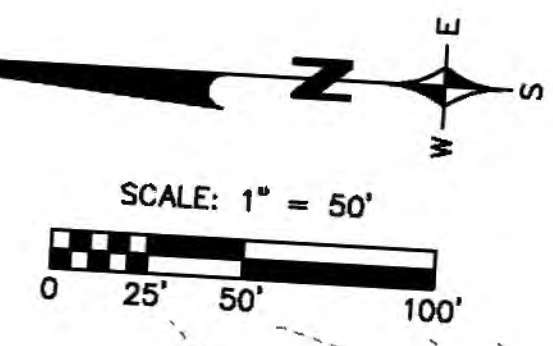
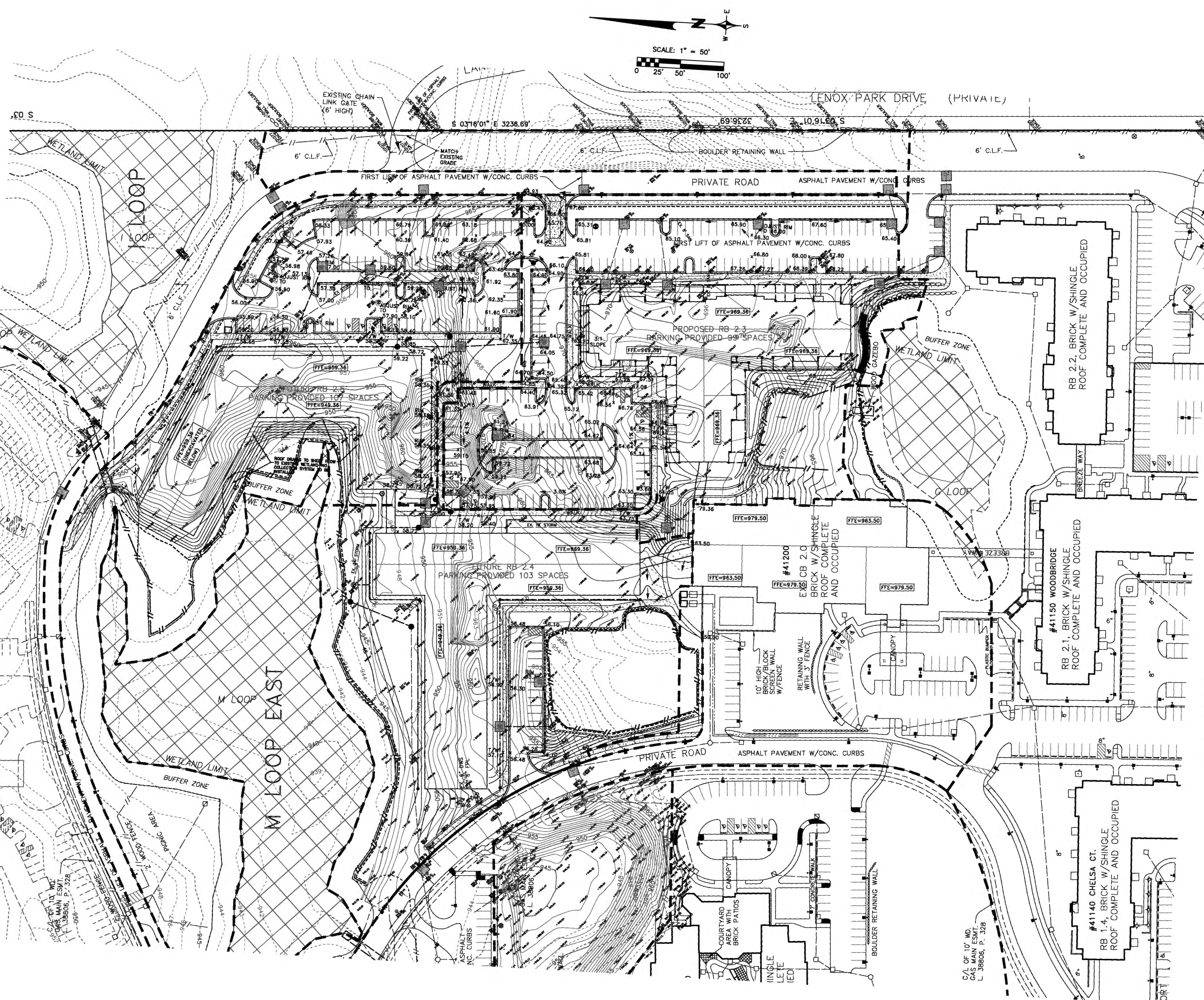
THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM
1-800-482-7171

Project: **Fox Run**
Novi, Michigan
Section 1

Sheet: **PHASE 2 PRELIMINARY SITE PLAN**
SITE GRADING & DRAINAGE PLAN

Issue For: _____
Project Number: _____
Drawn: _____
Checked: _____
Date: 9-17-13
Scale: 1"=50'

Reviewed: **10-09-13 CITY REVIEW**
10-17-13 PER CITY REVIEW COMMENTS
02-14-14 REVISED PHASING



LEGEND

- MANHOLE
- CATCH BASIN
- INLET
- END SECTION
- GATE VALVE
- HYDRANT
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- SIGN
- BOUNDARY LINE
- PARCEL LINE
- SECTION LINE
- EASEMENTS
- WROUGHT IRON FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CHAIN LINK FENCE
- LIGHT POLE
- GROUND LIGHT
- HANDICAPPED PARKING
- TRANSFORMER

PROPOSED

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- TREE REMOVAL
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- DITCH
- CONTOUR MAJOR
- CONTOUR MINOR
- 99.0 PROPOSED GRADE
- T/C = TOP OF CURB
- T/W = TOP OF WALK
- T/P = TOP OF PAVEMENT
- T/B = TOP OF BANK
- G = GROUND
- D = DITCH
- GU = GUTTER
- FG = FINISH GRADE
- FF = FINISH FLOOR
- BF = BASEMENT FLOOR
- BL = BRICK LEDGE

NOTE: ALL PROPOSED GRADES ARE TOP OF PAVEMENT (T/P) UNLESS NOTED OTHERWISE.

LEGEND:

- GEOTEXTILE SILT FENCE
- WOODLAND PROTECTION FENCE
- GRAVEL MUD-TRACKING MAT @ CONSTRUCTION ACCESS
- "SILT-SACK" INLET FILTER

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

368 477 3600 TEL
368 477 3600 FAX
3300 RIDGESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-2101
www.kennethweikal.com

ZIMET WOZNAK
ASSOCIATES
Civil Engineers & Land Surveyors
5380 GRAND RIVER AVE., SUITE 100
NEW HULSDON, MICHIGAN 48163
P: (248) 437-5099 F: (248) 437-5222 www.zimewoznak.com

Lantz-Boggio
Architects, P.C.

5850 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8708

Erickson Living
Add more Living to your Life!

Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2166
james.wilhour@erickson.com

FOX RUN
NOVI, MICHIGAN

MISS DIG SYSTEM, INC.
1-800-482-7171

THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM

Project: **Fox Run**
Novi, Michigan
Section 1

Sheet: **PHASE 2 PRELIMINARY SITE PLAN**
EROSION CONTROL PLAN

Issue For: _____
Project Number: _____
Drawn: _____
Checked: _____
Date: **9-17-13**
Scale: **1"=50'**

Reviewed:

10-09-13	CITY REVIEW
10-17-13	PER CITY REVIEW COMMENTS
02-14-14	REVISED PHASING

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
3800 RIDGESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4013
248.477.3600 TEL.
248.477.3600 FAX
WWW.KWLA.COM

ZEMET WOZNAK & ASSOCIATES
Civil Engineers & Land Surveyors
5380 GRAND RIVER AVE., SUITE 100
NEW HULSDON, MICHIGAN 48163
P: (248) 437-5099 F: (248) 437-5222 www.zemewoznaik.com

Lantz-Boggio Architects, P.C.
5850 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8708

Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2166
james.wilhour@erickson.com

FOX RUN

NOVI, MICHIGAN

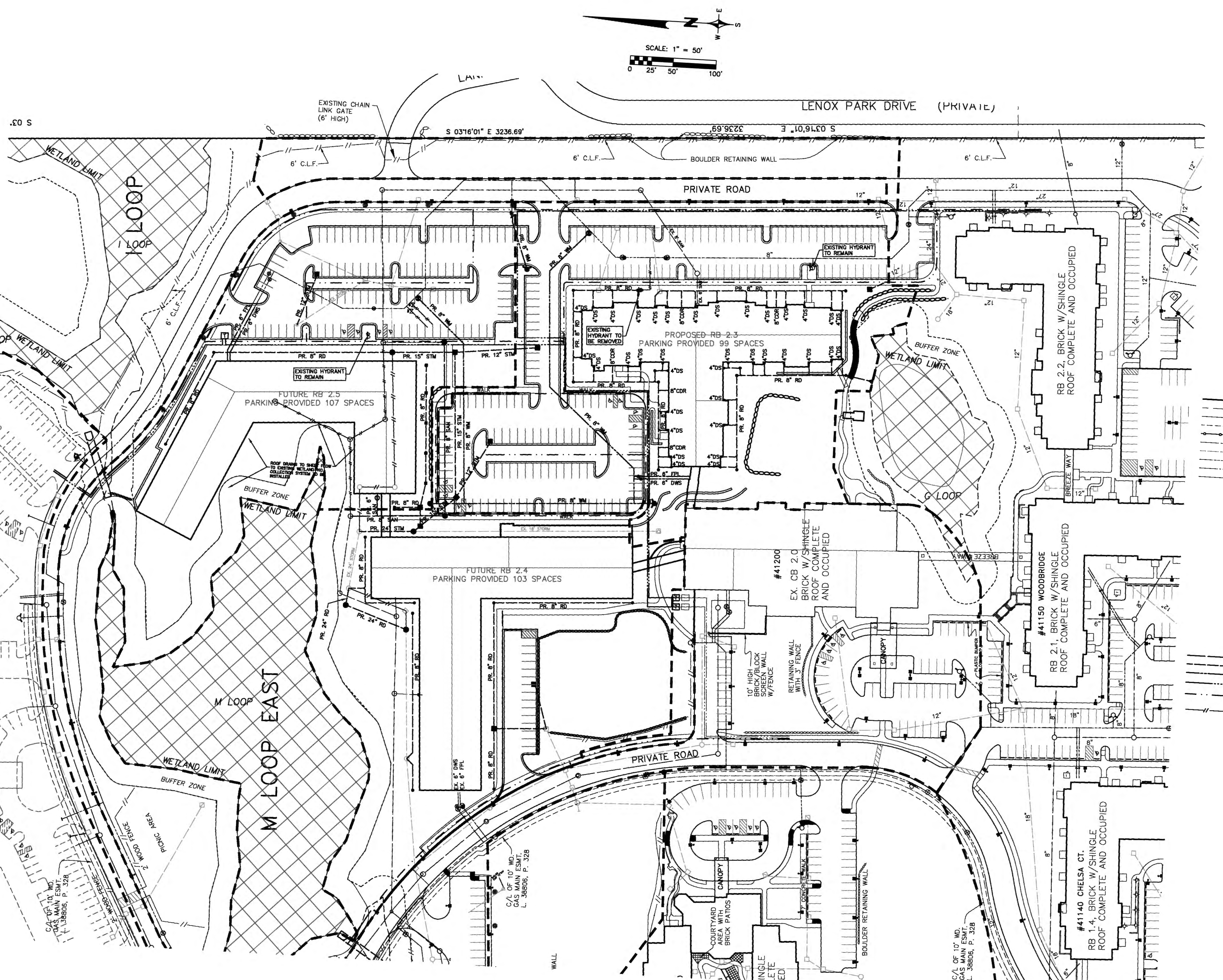
MISS DIG SYSTEM, INC.
THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM
1-800-482-7171

Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
UTILITY PLAN

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 1"=50'

Reviewed:
10-09-13 CITY REVIEW
10-17-13 PER CITY REVIEW COMMENTS
02-14-14 REVISED PHASING



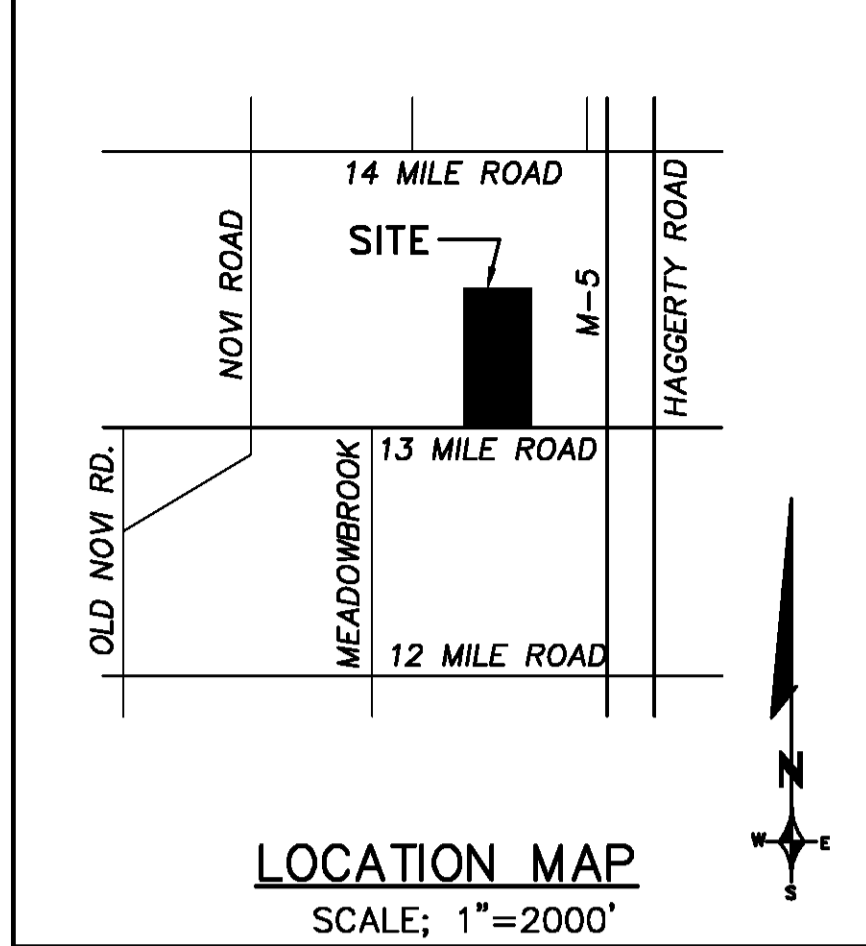
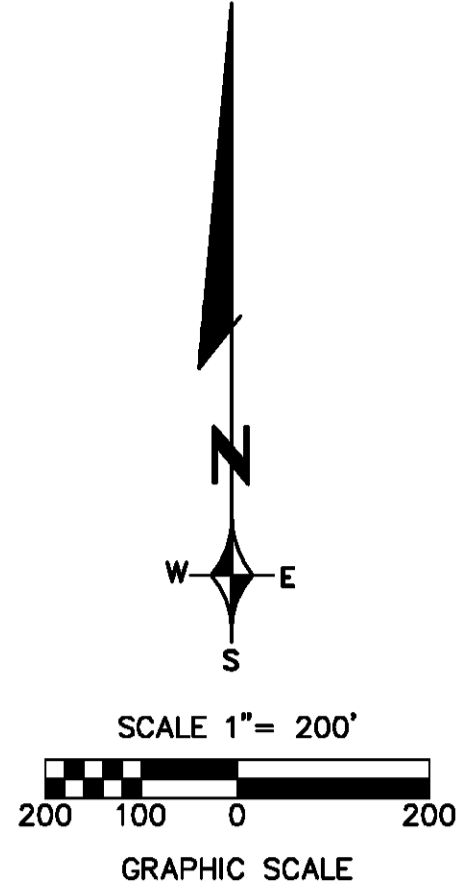
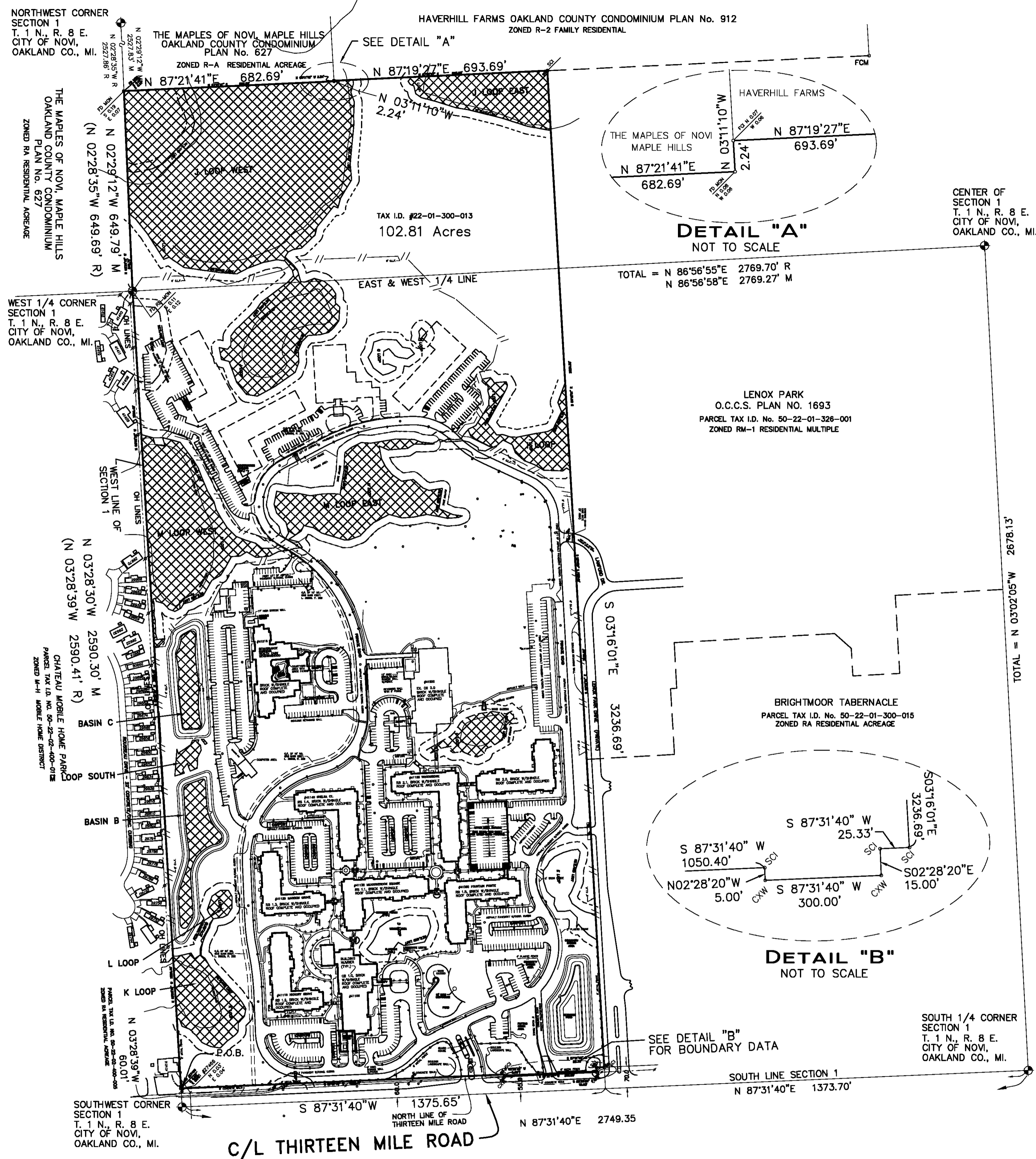
LEGEND

EXISTING

- MANHOLE
- CATCH BASIN
- INLET
- END SECTION
- GATE VALVE
- HYDRANT
- UTILITY POLE
- GUY ANCHOR
- LIGHT POLE
- SIGN
- BOUNDARY LINE
- PARCEL LINE
- SECTION LINE
- EASEMENTS
- WROUGHT IRON FENCE
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- GAS MAIN
- ELECTRIC CABLE
- CHAIN LINK FENCE
- LIGHT POLE
- GROUND LIGHT
- HANDICAPPED PARKING
- TRANSFORMER

PROPOSED

- MANHOLE
- CATCH BASIN
- INLET
- CLEANOUT
- END SECTION
- ROOF DRAIN
- GATE VALVE
- HYDRANT
- WATER SHUT-OFF
- TREE REMOVAL
- SANITARY SEWER
- STORM SEWER
- WATER MAIN
- ELECTRICAL CABLE
- LIGHTING
- EXISTING UTILITY TO BE REMOVED



LEGEND

OH	OVERHEAD
UP	UTILITY POLE
CXW	CUT X IN WALK
SCI	SET CAPPED IRON
FCI	FOUND CAPPED IRON
FD MON	FOUND MONUMENT
R	RECORD
M	MEASURED
	M.D.E.Q. CONSERVATION EASEMENT RECORDED IN L. 26339, P. 176 AND RE-RECORDED IN L. 36198, P. 499
	CITY OF NOVI CONSERVATION EASEMENT (NOT RECORDED)

LEGAL DESCRIPTION:

PART OF THE WEST 1/2 OF SECTION 1, T. 1 N., R. 8 E., CITY OF NOVI, OAKLAND COUNTY MICHIGAN DESCRIBED AS: COMMENCING AT THE SOUTHWEST CORNER OF SAID SECTION 1 AND PROCEEDING ALONG THE WEST LINE OF SAID SECTION 1 N. 03°28'39" W. 60.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID WEST LINE N. 03°28'30" W. 2590.30 FEET MEASURED (N. 03°28'39" W. 2590.41 FEET RECORD) TO THE WEST 1/4 CORNER OF SAID SECTION 1; THENCE ALONG SAID WEST LINE AND ALONG THE BOUNDARY OF "THE MAPLES OF NOVI, MAPLE HILLS", OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 627, OAKLAND COUNTY RECORDS N. 02°28'35" W. 649.79 FEET MEASURED (N. 02°28'35" W. 649.69 FEET RECORD); THENCE CONTINUING ALONG SAID "THE MAPLES OF NOVI, MAPLE HILLS" THE FOLLOWING TWO (2) COURSES N. 87°21'41" E. 682.69 FEET AND N. 03°11'10" W. 2.24 FEET; THENCE ALONG THE SOUTH LINE OF "HAVERHILL FARMS", OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 912, OAKLAND COUNTY RECORDS N. 87°19'27" E. 693.69 FEET; THENCE IN PART, ALONG THE WEST LINE OF "LENOX PARK", OAKLAND COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 1693 S. 03°16'01" E. 3236.69 FEET; THENCE ALONG THE NORTH LINE OF THIRTEEN MILE ROAD (VARIABLE WIDTH) THE FOLLOWING FIVE (5) COURSES S. 87°31'40" W. 25.33 FEET AND S. 02°28'20" E. 15.00 FEET AND S. 87°31'40" W. 300.00 FEET AND N. 02°28'20" W. 5.00 FEET AND S. 87°31'40" W. 1050.40 FEET TO THE POINT OF BEGINNING CONTAINING 102.81 ACRES.

- NOTES:**
1. SUBJECT SITE DOES NOT FALL WITHIN A FEDERALLY DESIGNATED FLOOD HAZARD AREA PER THE NATIONAL FLOOD INSURANCE PROGRAM, FLOODWAY MAP COMMUNITY PANEL No. 26125C0489F WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006. SUBJECT SITE IS IN ZONE X AREA, DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN. THE ABOVE FLOOD PLAIN STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, THE ABOVE STATEMENT DOES NOT REPRESENT THIS SURVEYOR'S OPINION OF THE PROBABILITY OF FLOODING.
 2. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
 3. THE SITE IS ZONED (R-A), RESIDENTIAL ACREAGE. SETBACKS: FRONT - 45', SIDE - 20', SIDE TOTAL - 50', REAR - 50'
 4. HEIGHT RESTRICTIONS: MAX. 35', 2 1/2 STORIES.
 5. ALL BEARINGS ARE IN RELATION TO MICHIGAN DEPARTMENT OF TRANSPORTATION SOUTH LINE OF SECTION 1.

NOTE:
 THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY	REVISIONS	DATE	BY
UPDATE SURVEY	11-23-09	PTG									

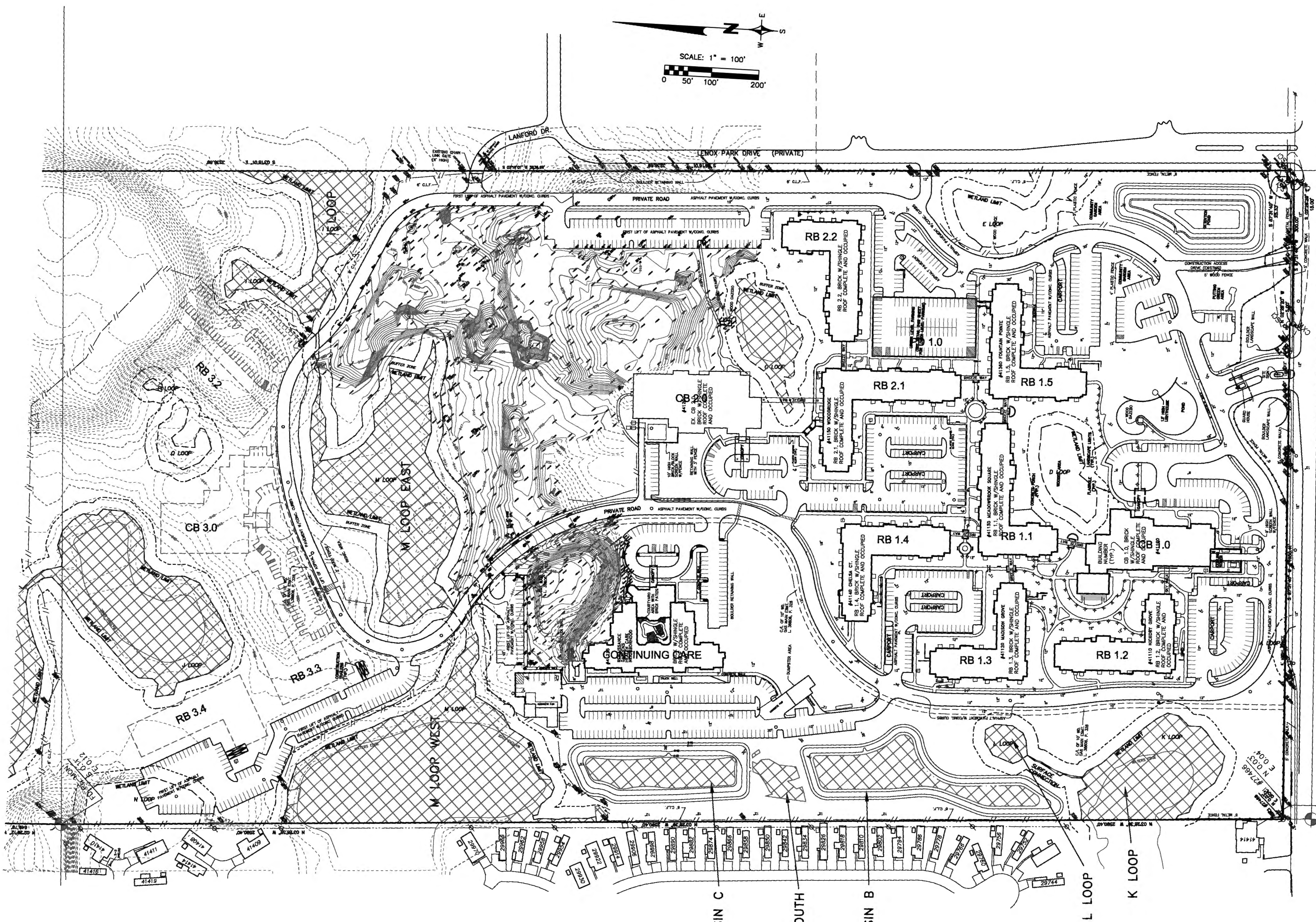
ZEMET WOZNIAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 5580 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-3222 www.zemetwozniak.com

MISS DIG SYSTEM, INC.
 THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM 1-800-482-7171

CLIENT:
 ERICKSON LIVING
 701 MAIDEN CHOICE LANE
 BALTIMORE, MARYLAND 21228

PHASE 2 PRELIMINARY SITE PLAN
BOUNDARY SURVEY
FOX RUN
 CITY OF NOVI MICHIGAN

DATE 8-29-08	SCALE HOR: 1" = 200' VER: 1" = 200'
DESIGNED BY	JOB NO. 00144
DRAWN BY PTC	SHEET CE 104



KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
3303 RIDGESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4213
248.477.3600 TEL.
248.477.3608 FAX
www.kwla.com

ZEMET WOZNAK
ASSOCIATES
Civil Engineers & Land Surveyors
5380 GRAND RIVER AVE., SUITE 100
NEW HULSDON, MICHIGAN 48163
P: (248) 437-5099 F: (248) 437-5222 www.zemewoznak.com

Lantz-Boggio
Architects, P.C.
5850 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8708

Erickson Living
Add more Living to your Life™

Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2156
james.wilhour@erickson.com

FOX RUN
NOVI, MICHIGAN

MISS DIG SYSTEM, INC.
THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM
1-800-482-7171

Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
TOPOGRAPHIC SURVEY

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 1"=100'

Revised:
10-09-13 CITY REVIEW
10-17-13 PER CITY REVIEW COMMENTS
02-14-14 REVISED PHASING



C/L THIRTEEN MILE ROAD

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

248 477 8600 TEL.
248 477 8689 FAX
33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
www.kwla.com

ZEMET WOZNIAK
ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

Lantz-Boggio Architects, P.C.

5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2156
james.wilhour@erickson.com

FOX RUN

NOVI, MICHIGAN

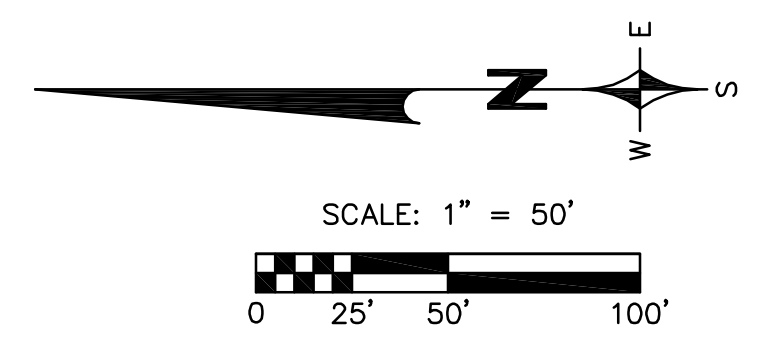
MISS DIG SYSTEM, INC.
1-800-482-7171

THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM

Project:	Fox Run Novi, Michigan Section 1
Sheet:	PHASE 2 PRELIMINARY SITE PLAN TREE LOCATION SURVEY
Issue For:	
Project Number:	
Drawn:	
Checked:	
Date:	9-17-13
Scale:	1"=100'

Revised:	
10-09-13	CITY REVIEW
10-17-13	PER CITY REVIEW COMMENTS
02-14-14	REVISED PHASING

Z:\Projects\05146\mg\BACKUP\PRELIM SITE PLAN 10-17-13 W REVISED PHASING 2-14-14 001400144 PHASE 2 SITE PLAN.dwg, TREE SURVEY, 2/10/2014 6:56:38 AM, ddbbnyf



FOX RUN PHASE 2 STORM WATER MANAGEMENT ANALYSIS

A. 2008 CONDITIONS

1. IMPERVIOUSNESS:			
ROOF	96,903 SF	@ C = 0.95	= 92,058
PAVEMENT/WALKS	116,695 SF	@ C = 0.95	= 110,860
LAWN/LANDSCAPING	235,871 SF	@ C = 0.20	= 47,174
TOTAL	449,469 SF		250,092

C = 250,092 / 449,469 = 0.556

2. REQUIRED STORAGE (USING QCCDC'S CRITERIA FOR 100-YR STORM):

Q₀ = 0.150 / 0.556 = 0.270 CFS/AC-IMP
 T = 25 + (0.3125 / 0.260) 1/2 = 170.43 MINS
 V_s = 16,500 x 170.43 - 40 x 0.270 x 170.43 = 12,548.6 CF/AC-IMP
 170.43 x 25
 V_t = 12,548.6 x 0.556 x (449,469 / 43,560) = 73,992 CE

B. 2013 CONDITIONS

1. IMPERVIOUSNESS:			
ROOF	99,300 SF	@ C = 0.95	= 94,335
PAVEMENT/WALKS	119,805 SF	@ C = 0.95	= 113,815
LAWN/LANDSCAPING	230,364 SF	@ C = 0.20	= 46,073
TOTAL	449,469 SF		254,223

C = 254,223 / 449,469 = 0.566

2. REQUIRED STORAGE (USING QCCDC'S CRITERIA FOR 100-YR STORM):

Q₀ = 0.150 / 0.566 = 0.265 CFS/AC-IMP
 T = 25 + (0.3125 / 0.265) 1/2 = 172.27 MINS
 V_s = 16,500 x 172.27 - 40 x 0.265 x 172.27 = 12,582.9 CF/AC-IMP
 172.27 x 25
 V_t = 12,582.9 x 0.566 x (449,469 / 43,560) = 73,487 CE

C. IMPACT ON EXISTING STORM WATER FACILITIES

1. DUE TO CHANGE (INCREASE) IN IMPERVIOUSNESS FROM 0.556 TO 0.566, THE ADDITIONAL VOLUME NEEDED IS:

V_a = 73,487 - 71,992 = 1,495 CE

2. ADDITIONAL EXISTING VOLUME ALREADY PROVIDED IN EXISTING BASIN 'C':

THE PORTION OF PHASE 2 DEVELOPMENT THAT CHANGED IN IMPERVIOUSNESS IS SERVED BY DETENTION BASIN 'C'. DETENTION BASIN 'C' WAS FIELD MEASURED IN 2008 AS HAVING EXCESS STORAGE CAPACITY AS FOLLOWS:
 V_{excess} = 140,900 CF
 V_{as-built} = 159,681 CF
 V_{excess capacity} = 159,681 - 140,900 = 18,781 CE

3. CONCLUSION:

THE ADDITIONAL STORAGE VOLUME PRESENTLY PROVIDED IN DETENTION BASIN 'C' IS ADEQUATE TO ACCOMMODATE THE CHANGE IN IMPERVIOUSNESS IN PHASE 2.
 KINDLY NOTE THE REMAINING EXCESS CAPACITY IN BASIN 'C' IS REDUCED TO:
 V_{excess capacity} = 18,781 - 1,495 = 17,286 CF

LEGEND:

- DRAINAGE DISTRICT - 2008 CONDITIONS
- DRAINAGE DISTRICT - 2013 CONDITIONS

KENNETH WEIKAL
 LANDSCAPE ARCHITECTURE
 248 477 3600 TEL
 388 477 3608 FAX
 33203 BIDDLESTONE LANE, FARMINGTON HILLS, MICHIGAN 48304-4313
 www.kwla.com

ZEMET WOZNAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 55800 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

Lantz-Boggio Architects, P.C.
 5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
 Add more Living to your Life!
 701 Maiden Choice Lane
 Baltimore, MD 21228
 Project Manager: James J. Wilhour (443) 388-2156
 james.wilhour@erickson.com

FOX RUN
 NOVI, MICHIGAN

MISS DIG SYSTEM, INC.
 1-800-482-7171
 THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM

Project:
Fox Run
 Novi, Michigan
 Section 1

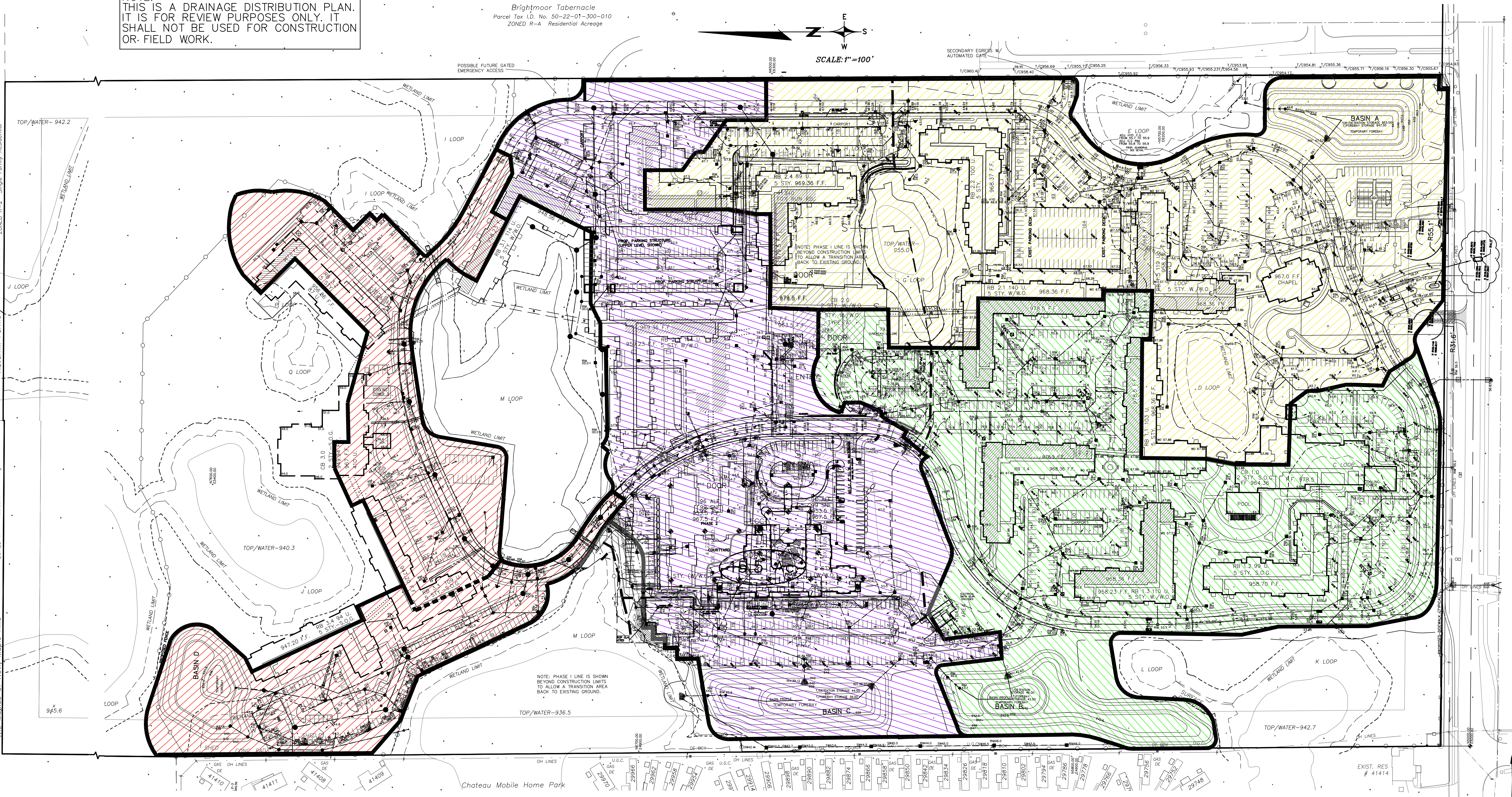
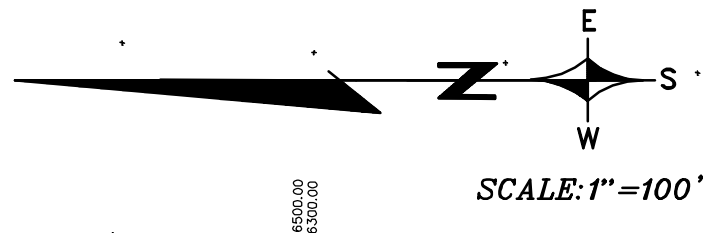
Sheet:
PHASE 2 PRELIMINARY SITE PLAN
STORM AREA PLAN

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date:
 Scale: 1"=50'

Revised:
 10-09-13 CITY REVIEW
 10-17-13 PER CITY REVIEW COMMENTS
 02-14-14 REVISED PHASING

NOTE:
THIS IS A DRAINAGE DISTRIBUTION PLAN.
IT IS FOR REVIEW PURPOSES ONLY. IT
SHALL NOT BE USED FOR CONSTRUCTION
OR FIELD WORK.

Brightmoor Tabernacle
Parcel Tax I.D. No. 50-22-01-300-010
ZONED R-A Residential Acreage



**PRE-DEVELOPMENT
STORMWATER MANAGEMENT SUMMARY**
(BASED UPON FIELD MEASUREMENTS PERFORMED ON 5/12/08)

Basin	Drainage District			100-Yr Design			Restriction Design		
	Area (Ac)	C Factor	CA	Req. (cf)	Prop. (cf)	Prov. (cf)	Req. (cfs)	Prop. (cfs)	Prov. (cfs)
A	17.8	0.52	9.256	115,006	126,507	146,556	2.67	2.35	2.39
B	15.7	0.54	8.478	105,941	116,535	133,415	2.36	1.97	2.14
C	15.5	0.55	8.525	106,818	117,500	159,868	4.68	4.05	4.24
D	9.0	0.57	5.130	64,617	71,079	97,750	1.35	0.92	0.92

DRAINAGE DISTRICT LEGEND

- DRAINAGE DISTRICT SERVED BY BASIN "A"
- DRAINAGE DISTRICT SERVED BY BASIN "B"
- DRAINAGE DISTRICT SERVED BY BASIN "C"
- DRAINAGE DISTRICT SERVED BY BASIN "D"

KENNETH WEIKA
LANDSCAPE ARCHITECTURE
248 477 3600 TEL.
318 477 3608 FAX
33203 BIDDLESTONE LANE, FARMINGTON HILLS, MICHIGAN 48304-4313
www.kwla.com

ZEMET WOZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

Lantz-Boggio Architects, P.C.
5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life!
701 Maiden Choice Lane
Baltimore, MD 21228
Project Manager: James J. Wilhour
(443) 388-2156
james.wilhour@erickson.com

FOX RUN
NOVI, MICHIGAN

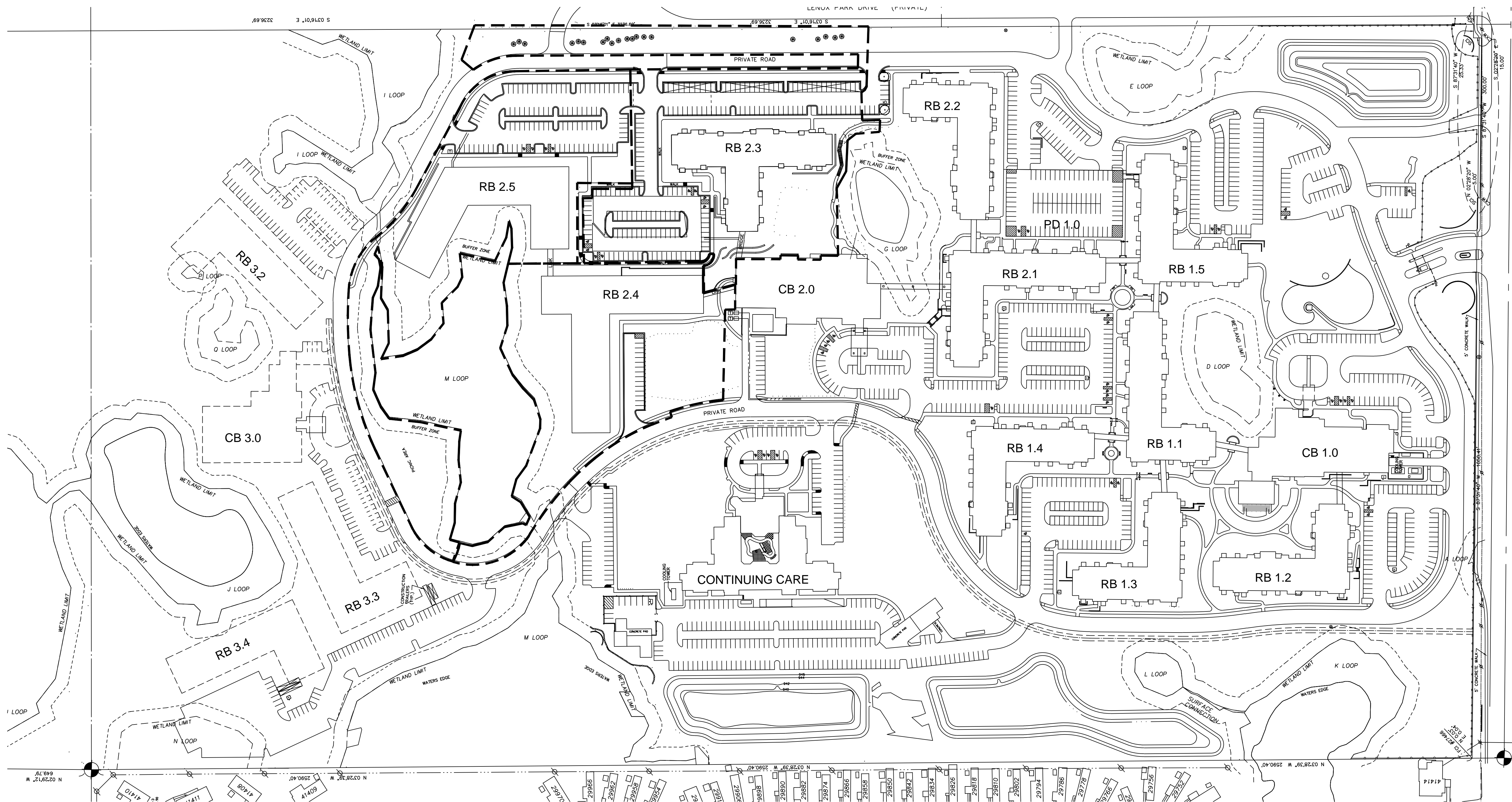
MISS DIG SYSTEM, INC.
THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM
1-800-482-7171

Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
**PHASE 2 PRELIMINARY SITE PLAN
STORM WATER MANAGEMENT ANALYSIS**

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 1"=100'

Revised:
10-09-13 CITY REVIEW
10-17-13 PER CITY REVIEW COMMENTS
02-14-14 REVISED PHASING



PHASE 2 PRELIMINARY PLAN - OVERALL
 SCALE 1" = 100'



PHASE 2 SHEET INDEX

- L100 OVERALL PLAN/ KEY PLAN
- L101 NATURAL FEATURES PLAN
- L102 TREE REMOVAL PLAN
- L103 RB2.3 TREE REMOVAL CHART
- L104 RB2.3 LANDSCAPE PLAN
- L105 RB2.3 CALCULATIONS
- L106 RB2.4 TREE REMOVAL CHART
- L107 RB2.4 LANDSCAPE PLAN
- L108 RB2.4 LANDSCAPE PLAN
- L109 RB2.4 CALCULATIONS
- L110 RB2.5 TREE REMOVAL CHART
- L111 RB2.5 LANDSCAPE PLAN
- L112 RB2.5 LANDSCAPE PLAN
- L113 RB2.5 CALCULATIONS
- L114 PLANTING DETAILS



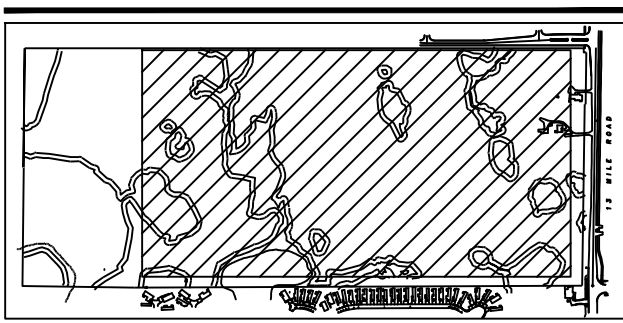
KENNETH WEIKAL
 LANDSCAPE ARCHITECTURE
 248-477-3600 TEL
 248-477-2668 FAX
 33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
 www.kw-ls.com

ZEMET WOZNIAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 55800 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

Lantz-Boggio Architects, P.C.
 5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
 701 Maiden Choice Lane
 Baltimore, MD 21228

FOX RUN
 NOVI, MICHIGAN



Project:
Fox Run
 Novi, Michigan
 Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
PLAN - OVERALL

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date: 9-17-13
 Scale: 1" = 100'-0"

Revised:
 10-17-13 PER CITY REVIEW COMMENTS
 02-14-2014 REVISED PHASING

Sheet Number: **L100**

SOILS

45B—Arkport loamy fine sand, 2 to 6 percent slopes. This nearly level and undulating, well drained soil is on foot slopes, knolls, and ridges. Slopes are smooth or convex and are less than 100 feet long. Areas are irregular in shape and are 2 to 200 acres in size. Typically, the surface layer is very dark grayish brown loamy fine sand about 9 inches thick. The subsurface layer is yellowish brown, very friable loamy fine sand about 12 inches thick. The next layer consists of light yellowish brown, very friable loamy fine sand and thin strata of brown, friable very fine sandy loam, and it is about 23 inches thick. The next layer to a depth of about 60 inches consists of very pale brown and brownish yellow, very friable loamy very fine sand and thin strata of yellowish brown, friable very fine sandy loam. In a few places the subsoil has a higher clay content or the substratum is gravelly sand. In some areas the soil is moderately well drained.

Included in mapping are small areas of the somewhat poorly drained Dixboro soils and the well drained Spinks soils. The Spinks soils are more droughty than the Arkport soil and generally are at higher elevations. The Dixboro soils are on low knolls and ridges and in drainageways. Also included are small areas of very poorly drained Gifford, Houghton, and Thomas soils. These soils are in depressions. The included soils make up 5 to 15 percent of the map unit.

Permeability is moderately rapid in this Arkport soil, and the available water capacity is moderate. Runoff is slow.

In most areas this soil is used as pasture or woodland or is idle land. This soil is well suited to use as pasture and woodland. It is fairly suited to cropland use and to recreation uses. This soil is well suited to building site development and to use as septic tank absorption fields.

If this soil is used as cropland, the major management concerns are controlling soil blowing, overcoming droughtiness, and maintaining organic matter content. Cover crops, such as rye, protect fields from soil blowing. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the content of organic matter and overcome droughtiness.

If this soil is used as woodland, the major management concern is seedling mortality. Special site preparation, such as furrowing, helps to overcome this problem.

45C—Arkport loamy fine sand, 6 to 12 percent slopes. This moderately sloping or gently rolling, well drained soil is on knolls and ridgetops. Most areas of this soil are dissected by shallow drainageways. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 150 acres in size. Typically, the surface layer is dark grayish brown loamy fine sand about 8 inches thick. The subsurface layer is yellowish brown loamy fine sand about 11 inches thick. The next layer consists of light yellowish brown, very friable loamy fine sand and thin strata of dark brown very fine sandy loam, and it is about 20 inches thick. The next layer to a depth of about 60 inches consists of very pale brown and brownish yellow, very friable loamy very fine sand and thin strata of yellowish brown very fine sandy loam. In places the subsoil has a higher clay content, and in places there is gravelly sand below 50 inches.

Included in mapping are small areas of the somewhat poorly drained Dixboro soils and the well drained Spinks soils. The Spinks soils are more droughty than the Arkport soil and generally are on landscape positions similar to those of the Arkport soil. The Dixboro soils are in narrow drainageways and on foot slopes. Also included are small areas of the very poorly drained Gifford and Thomas soils that are in small depressions. The included soils make up 3 to 10 percent of the map unit.

Permeability is moderately rapid in this Arkport soil. The available water capacity is moderate. Runoff is medium.

In most areas this soil is used as pasture or woodland or is idle land. In a few areas it is used as cropland. This soil is well suited to use as pasture and woodland. It is fairly suited to cropland use and to recreation uses. This soil is suited to building site development and to use as septic tank absorption fields, but slope is a limitation. For buildings, land shaping and installing retaining walls help to overcome the slope limitation. For septic tank absorption fields, installing the absorption field on the contour can overcome this limitation.

If this soil is used as cropland, the major management concerns are controlling soil blowing, overcoming droughtiness, and maintaining organic matter content. Cover crops, such as rye, protect fields from soil blowing. Contour tillage helps to slow runoff. The use of grasses and legumes in the crop rotation and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface, can help to maintain the content of organic matter and overcome droughtiness.

If this soil is used as woodland, the major management concern is seedling mortality. Special site preparation, such as furrowing, helps to overcome this problem in some areas.

This soil is in capability subclass I1e and Michigan soil management group 3a-3.

27—Houghton and Adrian mucks. These nearly level, very poorly drained soils are in bogs or upland depressions. They are subject to ponding. Areas are irregular in shape and are 2 to 200 acres in size. Many areas of this map unit are predominantly Houghton soil; other areas are predominantly Adrian soil. Both soils are present in some areas.

Typically, the surface layer of the Houghton soil is black muck about 8 inches thick. The material below that, to a depth of about 60 inches, is black muck also. Typically, the surface layer of the Adrian soil is black muck about 10 inches thick. The subsurface layer is black, friable muck about 20 inches thick. The substratum, to a depth of about 60 inches, is gray, calcareous gravelly sand. In some places marl or loamy material is at a depth of 16 to 50 inches. In some places there is a soil similar to the Houghton soil except it has thicker layers of mucky peat or sedimentary peat.

Included in mapping are small areas of Brookston and Granby soils that are on narrow areas along the outer edges of the map unit. The Brookston soils have slower permeability and Granby soils are more droughty than the Houghton soil. The included soils make up 3 to 8 percent of the map unit.

Permeability is moderately slow to moderately rapid in the muck and rapid in the underlying material. The available water capacity is high. Runoff is very slow. These soils have a high water table at or above the surface from November to May.

In most areas these soils are used as woodland or are idle land. In a few areas they are used for unimproved pasture, crops, or sod production. They are poorly suited to use as woodland and pasture and to recreation uses. These soils are not suited to building site development or to use as septic tank absorption fields because of ponding.

If suitable drainage outlets are available and these soils are drained and protected from soil blowing, they are suited to corn or to specialty crops, such as potatoes, carrots, onions, and mint.

If these soils are used as woodland, the major management concerns are seedling mortality, equipment limitations, and windthrow. The use of heavy equipment for planting, tending, and harvesting trees is restricted during wet periods. Woodland operations can be timed to seasons of the year when the soils are relatively dry or frozen.

10C—Mariette sandy loam, 6 to 12 percent slopes. This moderately sloping and gently rolling, well drained soil is on low knolls and ridges and on short, uneven side slopes. Most areas are dissected by shallow drainageways. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 140 acres in size.

Typically, the surface layer is dark grayish brown sandy loam about 8 inches thick. The subsoil is firm and is about 23 inches thick. In the upper part it is dark yellowish brown clay loam, and in the lower part it is yellowish brown clay loam. The substratum is a depth of about 80 inches is yellowish brown and pale brown, mottled, calcareous loam. In some places the depth to calcareous loam is less than 30 inches.

Included in mapping are small areas of the well drained Fox and Oshtemo soils that are on landscape positions similar to those of the Mariette soil. These soils are more droughty than the Mariette soil. Also included are the somewhat poorly drained Blount, Capon, and Metamora soils that are on lower landscape positions. The included soils make up 5 to 15 percent of the map unit.

Permeability is moderately slow in this Mariette soil, and the available water capacity is high. Runoff is medium or rapid.

In most areas this soil is used as woodland or pasture or is idle land. In a few areas it is used for crops. It is well suited to use as woodland and pasture and to recreation uses. It is fairly suited to cropland use.

This soil is suited to building site development. Slope is a limitation to this use. Land shaping and installing retaining walls help to overcome this limitation. This soil is poorly suited to use as septic tank absorption fields because of moderately slow permeability and slope. Special construction measures, such as enlarging or alternating the absorption fields, are required to overcome the permeability limitation. Installing the absorption field across the slope helps to overcome the slope limitation.

If this soil is used as cropland, the major management concerns are controlling runoff and erosion, maintaining organic matter content, and keeping the soil in good tilth. Practices that help prevent erosion and control runoff are the use of a crop rotation that includes hay or cover crops, the use of grassed waterways, and the use of conservation tillage, which does not invert the soil and leaves all or part of the crop residue on the surface. Crop residue or green manure helps to maintain the organic matter content and improve tilth.

15E—Spinks loamy sand, 12 to 35 percent slopes. This strongly sloping or rolling to steep, well drained soil is on knolls and ridgetops. Slopes are smooth and convex and are generally less than 100 feet long. Areas are irregular in shape and are 2 to 250 acres in size. Typically, the surface layer is dark brown loamy sand about 7 inches thick. The subsurface layer is pale brown sand about 17 inches thick. The next layer to a depth of about 60 inches consists of brown, loose sand and thin strata of reddish brown, very friable loamy sand. In some areas gravelly sand is below a depth of 30 inches. Also, in some areas slopes are as much as 55 percent.

Included in mapping are small areas of the Arkport soil. These soils are not as droughty as the Spinks soil. Also included are small areas of the somewhat poorly drained Tadow and Theford soils that are on foot slopes and in drainageways and the very poorly drained Gifford soils and the poorly drained Granby soils that are in short drainageways. The included soils make up 2 to 10 percent of the map unit.

Permeability is moderately rapid in the Spinks soil, and the available water capacity is low. Runoff is medium.

In most areas this soil is used as woodland or pasture. It is fairly suited to use as woodland. It is poorly suited to use as pasture and to recreation uses.

This soil is generally not suitable for building sites or for use as septic tank absorption fields because of slope. If this soil is used as woodland, the major management concerns are seedling mortality, equipment limitations, and erosion. Some seedling loss can be expected during dry summer months. Special site preparation, such as furrowing, helps to overcome this problem. Normal planting and logging equipment can be used with care, but the erosion hazard and slope limitation necessitate locating roads, skid trails, and landings on gentle grades and providing for water removal with water bars, cut-sloping road surfaces, culverts, and drop structures.

WOODLANDS

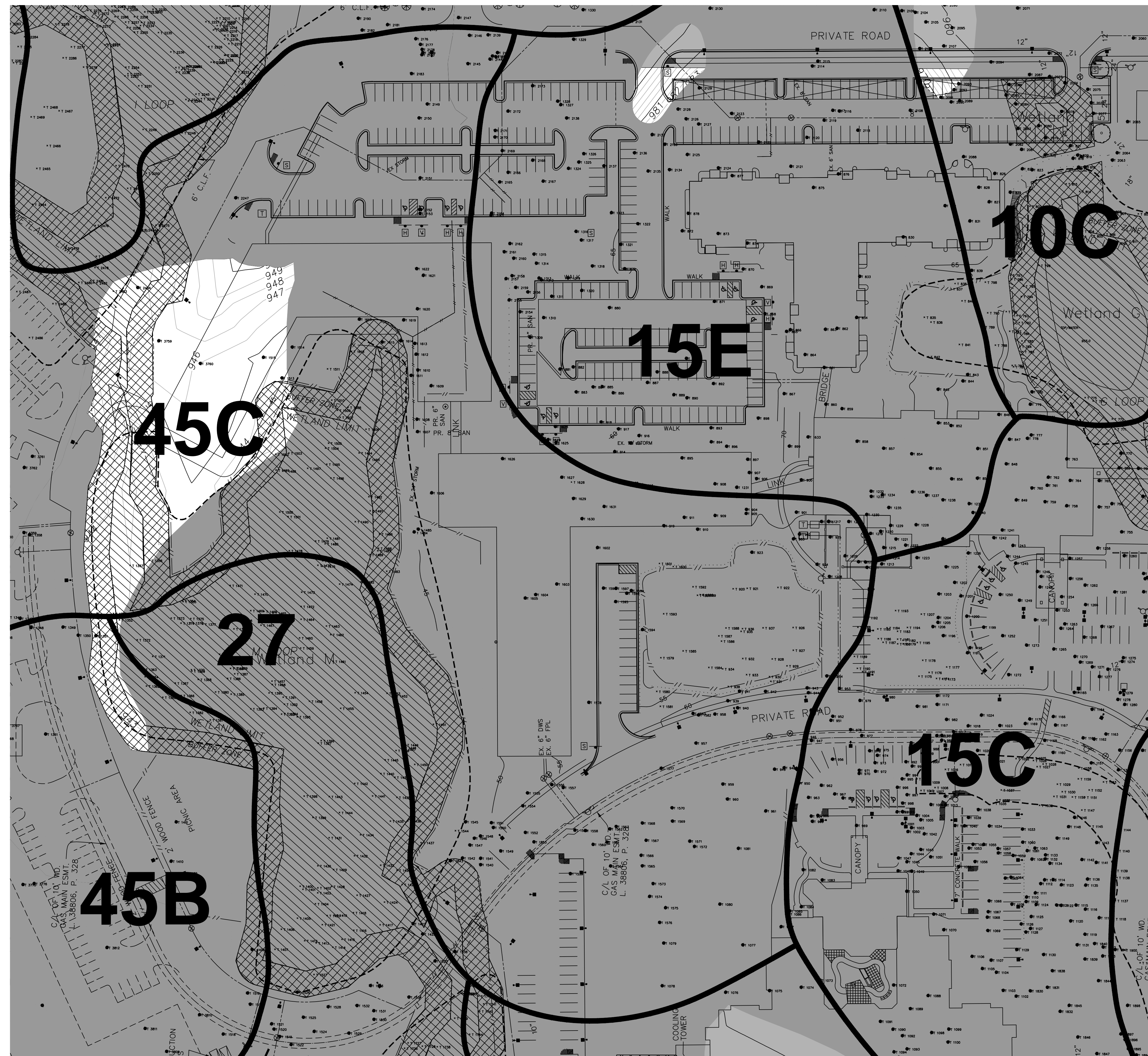
COVER CONSISTS OF TREES MOSTLY 3'-20' CALIPER, 30-150' IN HEIGHT, WITH A COMBINATION OF MEDIUM / HIGH OR AN OPEN / SCATTERED CANOPY. TREES PRESENT INCLUDE MOSTLY ELM, ASH, MAPLE, CHERRY AND COTTONWOOD.

THERE ARE A MODERATE NUMBER OF MEDIUM HEIGHT UNDER-STORY TREES INCLUDING SAPLINGS AND BUCKTHORN IN SOME AREAS, AND WILD ROSE AND RED / GRAY DOGWOOD IN OTHERS.

THE WOODLAND FLOOR VARIES FROM A SEASONAL WET FOREST (LEAF LITTER AND OPEN WET GROUND); TO SHADE TOLERANT LOW / MEDIUM HEIGHT WOODLAND SHRUBS AND LOW SEASONAL HERBACEOUS GROUND COVERS; TO DENSE SUN / SHADE SHRUB COVER; TO OPEN SMALL MEADOW AREAS INCLUDING WILD ROSES, GRAY DOGWOOD AND MEADOW GRASSES WITH WILD FLOWERS RANGING FROM 3'-6' IN HEIGHT

WETLANDS

ALL WETLAND DISTURBANCES WERE MITIGATED IN PHASE ONE



SHADED AREAS - WOODLANDS TYPICAL

PHASE 2 - NATURAL FEATURES

SCALE 1" = 50'



KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
248 477 3600 TEL
248 477 3608 FAX
MICHIGAN 48034-0313
www.kwa-llca.com

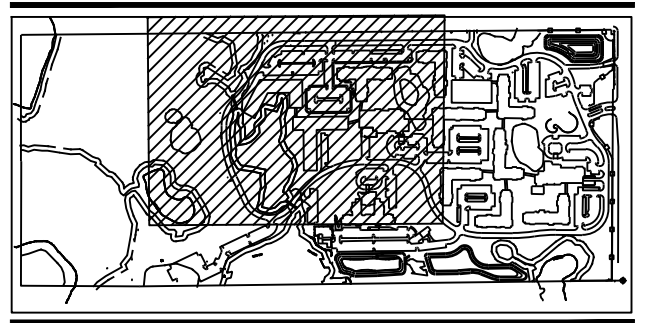
ZEIMET WOZNIAK
ENGINEERS & ASSOCIATES
Civil Engineers & Land Surveyors
5580 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwoznia.com

Lantz-Boggio Architects, P.C
5650 DTC Pkwy, | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living Inc. Add more Living to your Life®

Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Project:
Fox Run
Novi, Michigan
Section 1

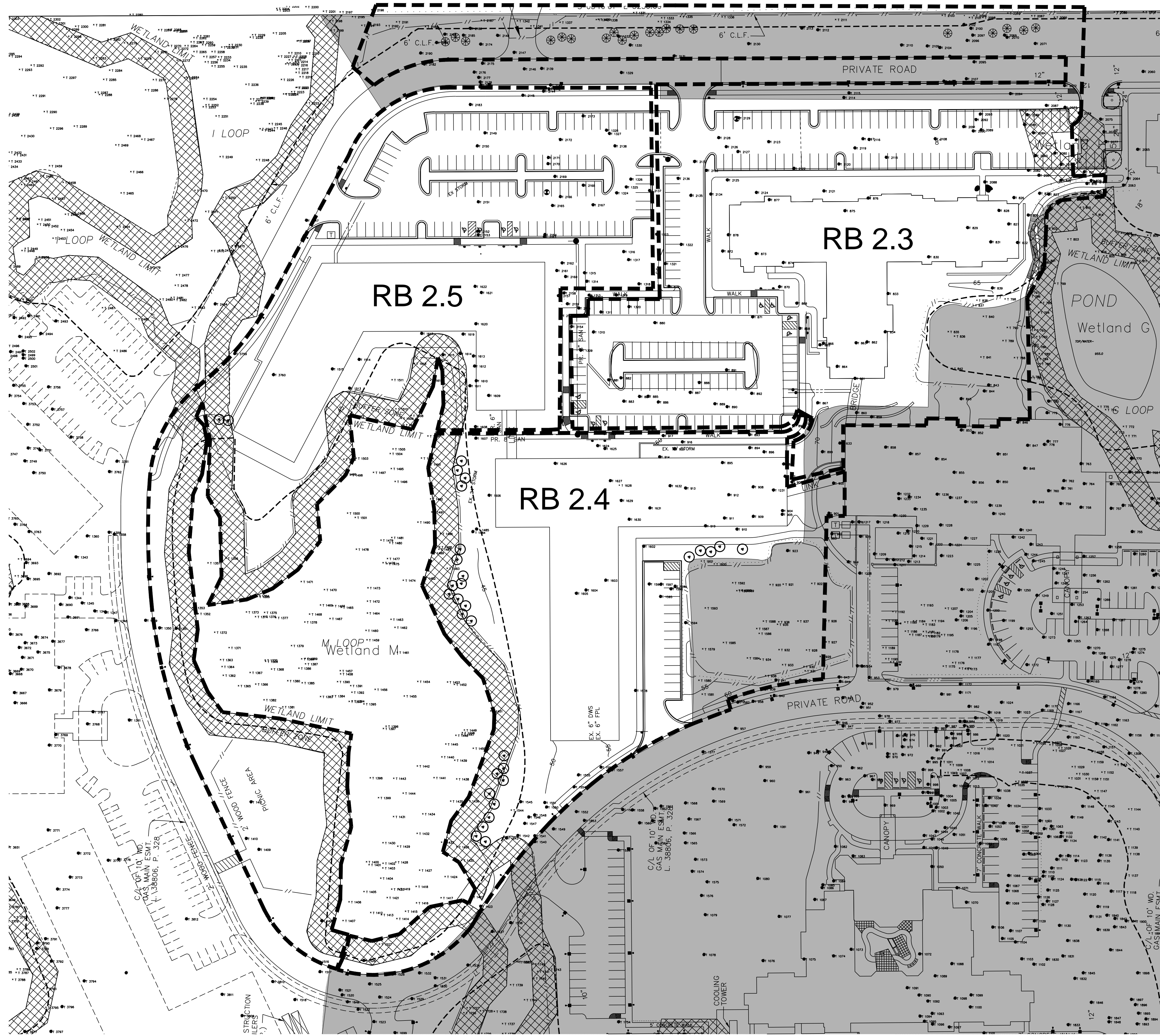
Sheet:
**PHASE 2 PRELIMINARY SITE PLAN
PLAN - NATURAL FEATURES**

Issue For:
Project Number:
Drawn:
Checked:
Date: **8-22-13**
Scale: **1" = 50'-0"**

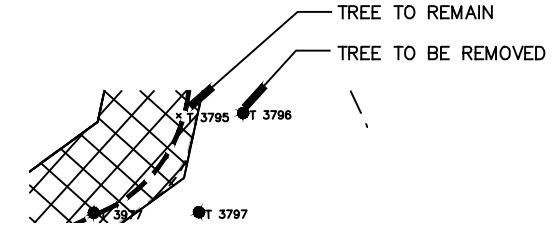
Revised:
**10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING**



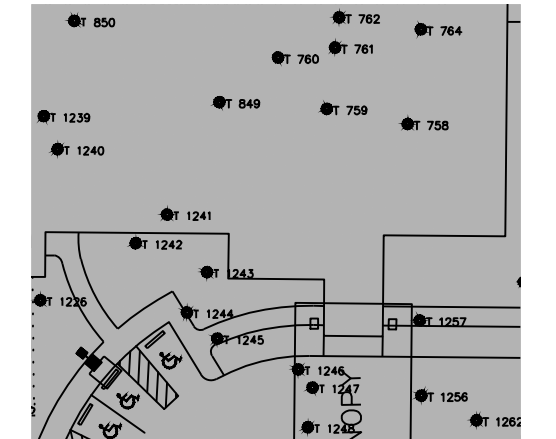
Sheet Number: **L101**



TREE NOTE KEY:



PHASE ONE TREE REPLACEMENT AREA:



TREE REPLACEMENTS IN THE SHADED PHASE ONE AREA HAVE BEEN COMPLETED UNDER PREVIOUS WORK AND NOT INCLUDED IN PHASE TWO CALCULATIONS

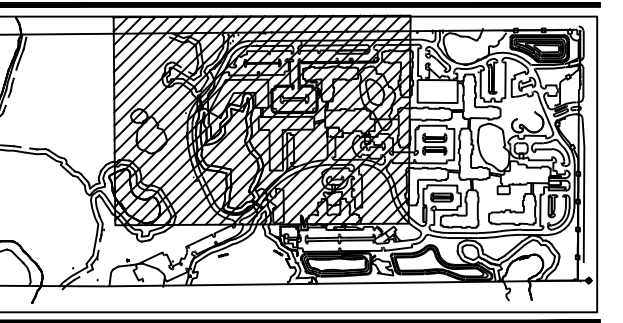
KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
248 477 3600 TEL
248 477 3608 FAX
33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-6313
www.kw-la.com

ZEMET WOZNIAK
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwozniak.com

Lantz-Boggio Architects, P.C.
5650 DTC Pkwy, | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life!
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

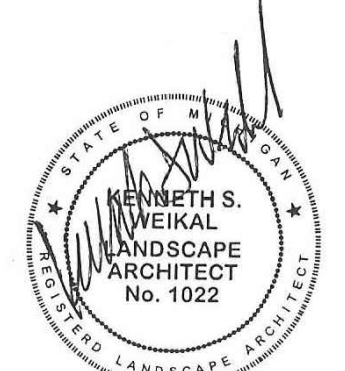


Project:
Fox Run
 Novi, Michigan
 Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
PLAN - TREE REMOVAL

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date: **9-17-13**
 Scale: **1" = 50'-0"**

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

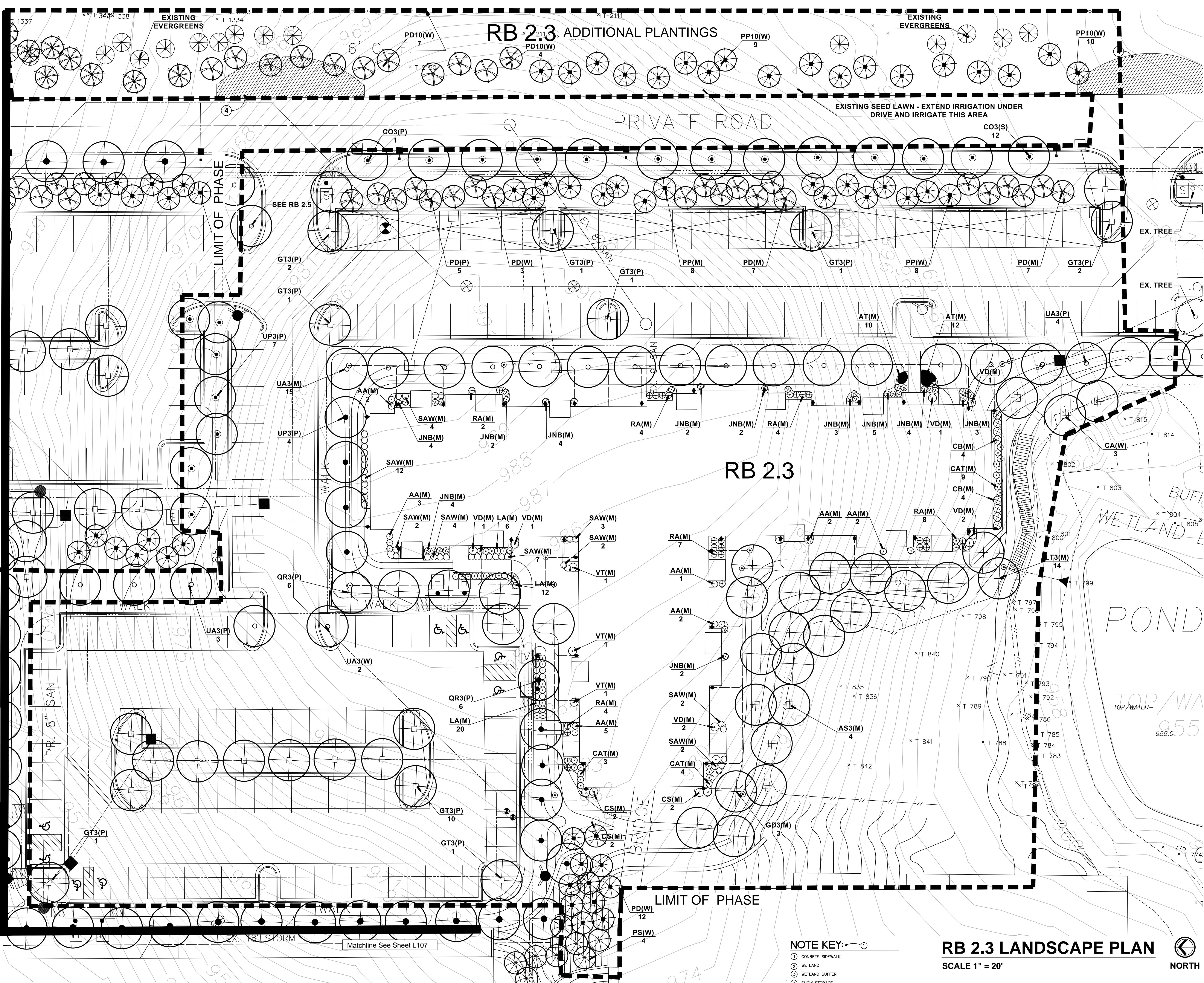


PHASE 2 - TREE REMOVAL
SCALE 1" = 50'



Matchline See Sheet L105

Matchline See Sheet L107



RB 2.3 ADDITIONAL PLANTINGS

RB 2.3

RB 2.3 LANDSCAPE PLAN

SCALE 1" = 20'



- NOTE KEY:**
- ① CONCRETE SIDEWALK
 - ② WETLAND
 - ③ WETLAND BUFFER
 - ④ SNOW STORAGE

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

248 477 3600 TEL
248 477 3658 FAX
MICHIGAN 48034-0313
www.kw-la.com

33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313

ZEIMET WOZNIAK
& ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Lantz-Boggio
Architects, P.C

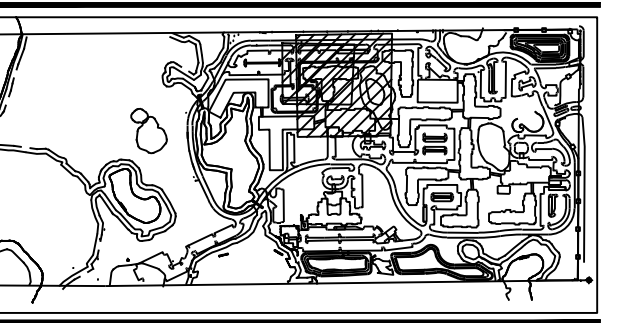
5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life®

701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN

NOVI, MICHIGAN

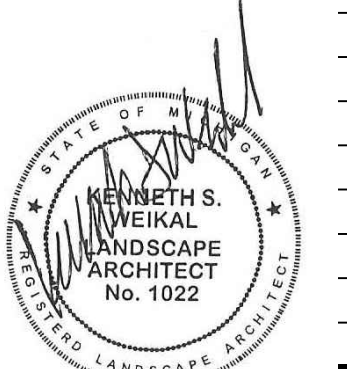


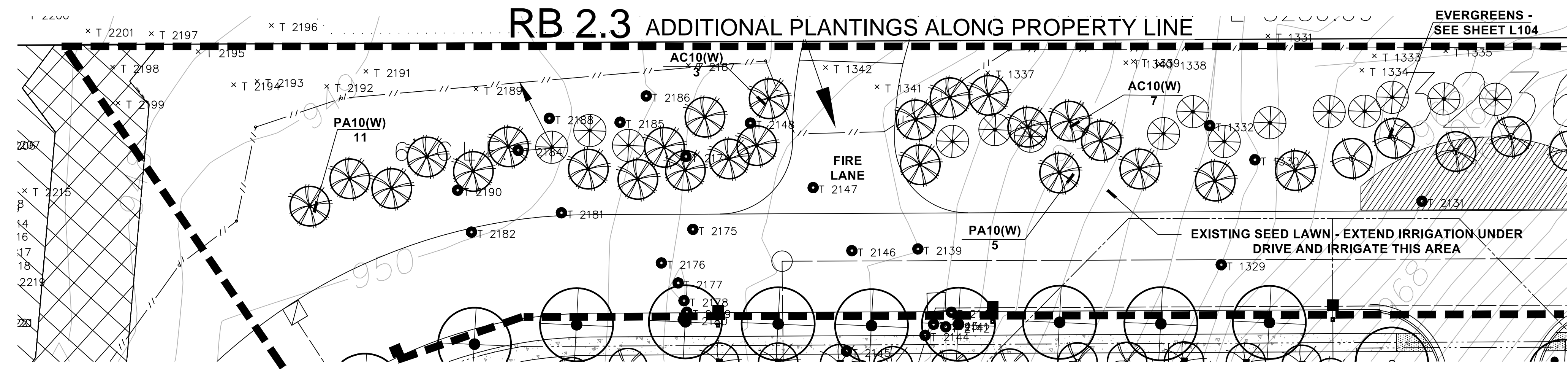
Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LANDSCAPE PLAN

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 1" = 20'-0"

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING





RB 2.3 LANDSCAPE PLAN
SCALE 1" = 20' NORTH

RB 2.3 PLANT LIST

PLANT LIST - PARKING (P)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
20	GT3	Thornless Honeylocust <i>Gleditsia 'Skyline'</i>	3" Cal.	B&B
12	QR3	Northern Red Oak <i>Quercus rubra</i>	3" Cal.	B&B
9	UA3	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal	B&B
11	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal	B&B
5	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Ht.	B&B

PARKING LOT CANOPY TREES

187 PARKING SPACES = 28,260 S.F. X 10% = 2826
PARKING AISLES = 28560 S.F. X 5% = 1428
2826 + 1428 = 4254/75 = 57 TREES REQUIRED

57 REQUIRED
57 PROVIDED

COSTS - (P) PARKING

\$22,800 = 57 SHADE TREES X \$400 EACH
\$22,800 = TOTAL

PLANT LIST - WOODLAND (W)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
3	CA	American Hornbeam <i>Carpinus Caroliniana</i>	2.5" cal.	B&B
18	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Ht.	B&B
4	PS	White Pine <i>Pinus strobus</i>	7' Ht.	B&B
8	PP	Colorado Green Spruce <i>Picea pungens</i>	7' Ht.	B&B
11	PD10	Black Hills Spruce <i>Picea g. 'Densata'</i>	10' Ht.	B&B
19	PP10	Colorado Green Spruce <i>Picea pungens</i>	10' Ht.	B&B
16	PA10	Norway Spruce <i>Picea abies</i>	10' Ht.	B&B
10	AC10	Concolor Fir <i>Abies concolor</i>	10' Ht.	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET L103
112 TREES REQUIRED

112 REQUIRED
89 PROVIDED

COSTS - (W) WOODLAND

\$1,200 = 3 SHADE TREES X \$400 EACH
\$27,950 = 86 EVERGREEN TREES X \$325 EACH
\$29,150 = TOTAL - TREES PROVIDED
\$9,200 = 23 SHADE TREES TO TREE BANK X \$400 EACH
\$33,350 = TOTAL

PLANT LIST - MULTI-FAMILY (M)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
4	AS3	Sugar Maple <i>Acer saccharum</i>	3" Cal	B&B
3	GD3	Kentucky Coffee Tree <i>Gymnocladus dioica</i>	3" Cal	B&B
14	LT3	Tulip Tree <i>Liriodendron tulipifera</i>	3" Cal	B&B
15	UA3	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal	B&B
7	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Ht.	B&B
8	PP	Colorado Green Spruce <i>Picea pungens</i>	7' Ht.	B&B
17	AA	Red Chokeberry <i>Aronia arbutifolia 'Brilliantissima'</i>	36" Ht.	Cont.
22	AT	Butterfly Weed <i>Asclepias tuberosa</i>	1 Gal.	Cont.
16	CAT	New Jersey Tea <i>Ceanothus americanus</i>	36" Ht.	B&B
8	CB	Buttonbush <i>Chepalacanthus occidentalis</i>	36" Ht.	B&B
4	CS	Red-Osier Dogwood <i>Cornus sericea</i>	24" Ht.	
35	JNB	New Blue Tams Juniper <i>Juniperus t. 'New Blue'</i>	24" Spr.	Cont.
38	LA	Amur Privet <i>Ligustrum amurense</i>	36" Ht.	B&B Full
29	RA	Gro-low Fragrant Sumac <i>Rhus aromatica 'Gro-low'</i>	24" Ht.	Cont.
38	SAW	Anthony Waterer Spirea <i>Spirea 'Anthony Waterer'</i>	24" Ht.	Cont.
8	VD	Arrowood Viburnum <i>Viburnum dentatum</i>	36" Ht.	Cont.
3	VT	Mariesi Doublefile Viburnum <i>Viburnum p. t. 'Mariesii'</i>	36" Ht.	Cont.

MULTI-FAMILY DWELLING UNIT

3 TREES PER FIRST FLOOR UNIT
FIRST FLOOR UNITS = 19 X 3 = 57 TREES REQUIRED

57 REQUIRED
57 PROVIDED

COSTS - (M) MULTI-FAMILY

\$14,400 = 36 SHADE TREES X \$400 EACH
\$4,875 = 15 EVERGREEN TREES X \$325 EACH
\$9,800 = 196 SHRUBS X \$50 EACH
\$220 = 22 PERENNIALS X \$10 EACH
\$15,040 = 3,760 SY SOD X \$4/SY
\$1,000 = 25 CY MULCH X \$40/CY
\$45,335 = TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	KEY	COMMON/BOTANICAL NAME	SIZE	SPEC.
12	CO3	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B

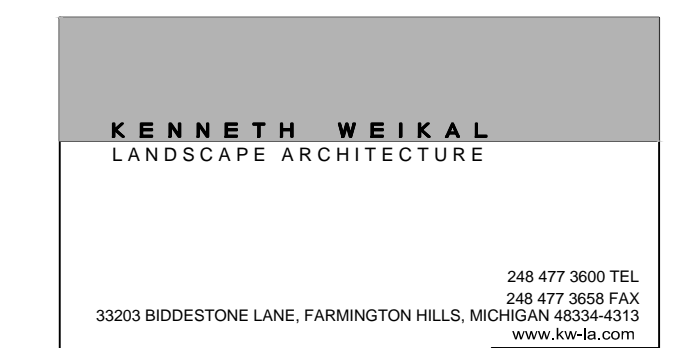
INTERIOR ROADWAY STREET TREES

1 TREE PER 35 L.F.
ROADWAY = 421 L.F./35 = 12 TREES REQUIRED

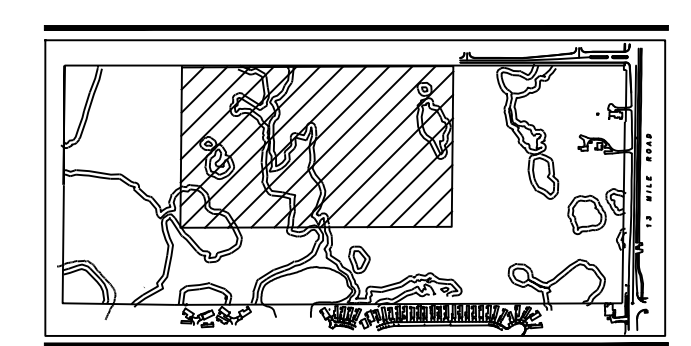
12 REQUIRED
12 PROVIDED

COSTS - (S) STREET TREES

\$4,800 = 12 SHADE TREES X \$400 EACH
\$4,800 = TOTAL



FOX RUN
NOVI, MICHIGAN

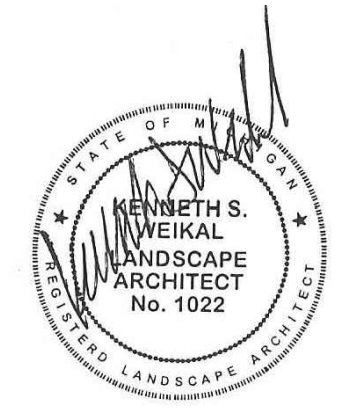


Project: Fox Run
Novi, Michigan
Section 1

Sheet: PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 CALCULATIONS

Issue For: _____
Project Number: _____
Drawn: _____
Checked: _____
Date: 9-17-13
Scale: _____

Revised: 10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



NOTE KEY: ①

- ① CONCRETE SIDEWALK
- ② WETLAND
- ③ WETLAND BUFFER
- ④ SNOW STORAGE

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

248 477 3600 TEL
248 477 3658 FAX
33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-0313
www.kw-la.com

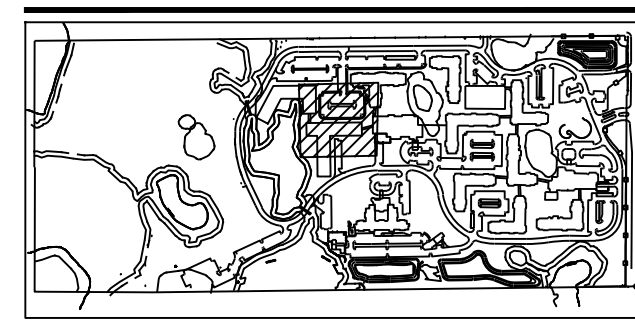
ZEMET WOZNAK & ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetwoznak.com

Lantz-Boggio Architects, P.C.

5650 DTC Pkwy, | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



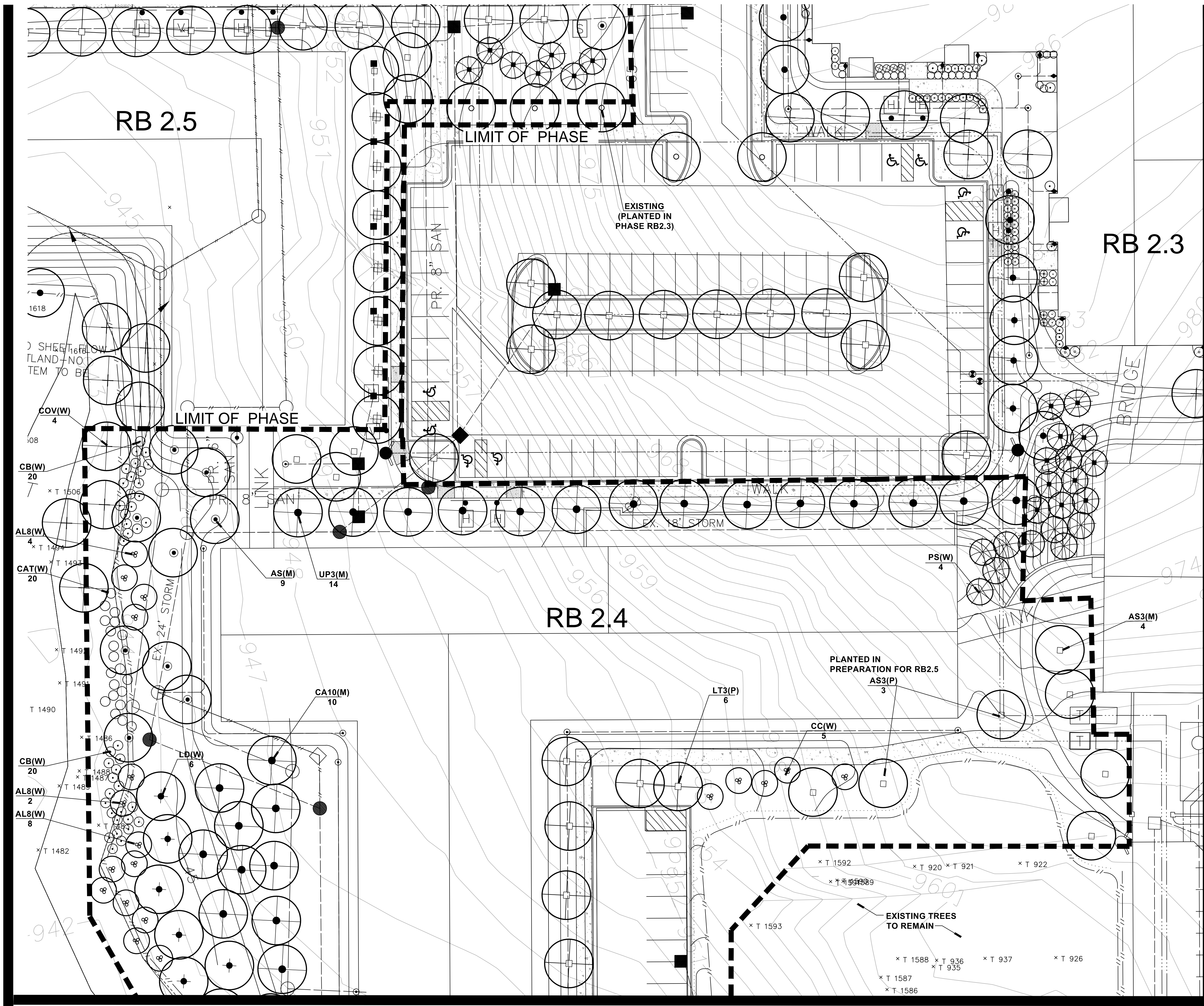
Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.4 LANDSCAPE PLAN

Issue For:
Project Number:
Drawn:
Checked:
Date: **9-17-13**
Scale: **1" = 20'-0"**

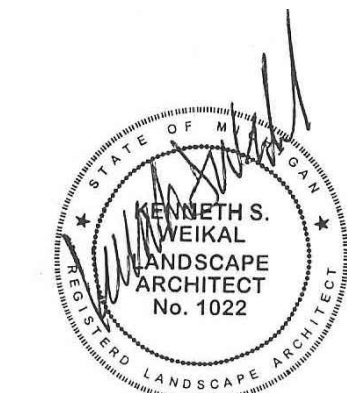
Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

Sheet Number: **L107**



Matchline See Sheet L108

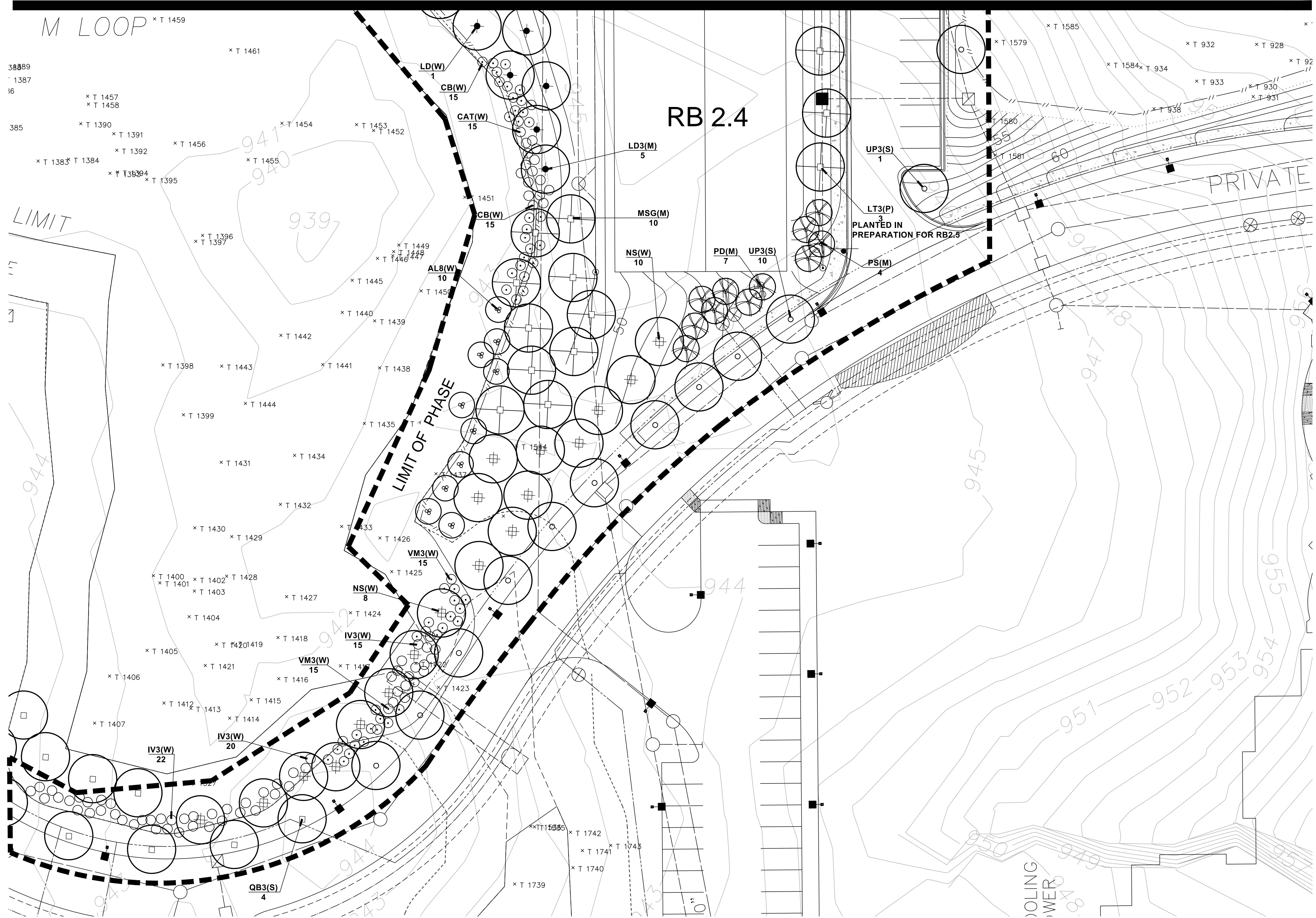
RB 2.4 LANDSCAPE PLAN
SCALE 1" = 20'



Matchline See Sheet L111

Matchline See Sheet L112

Matchline See Sheet L104



- NOTE KEY:**
- ① CONCRETE SIDEWALK
 - ② WETLAND
 - ③ WETLAND BUFFER
 - ④ SNOW STORAGE

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

248 477 3600 TEL
248 477 3658 FAX
33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
www.kwla.com

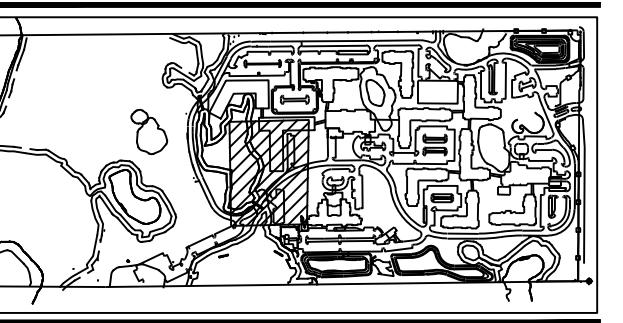
ZEIMET WOZNIAK
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Lantz-Boggio Architects, P.C.

5650 DTC Pkwy, | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life®
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



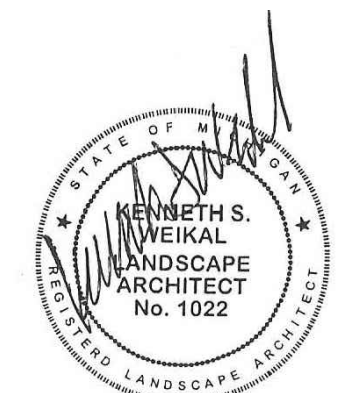
Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.4 LANDSCAPE PLAN

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 1" = 20'-0"

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING

RB 2.4 LANDSCAPE PLAN
SCALE 1" = 20'
NORTH



RB 2.4 PLANT LIST

PLANT LIST - PARKING (P)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
6	LT3	Tulip Tree <i>Liriodendron tulipifera</i>	3" cal.	B&B

15 PARKING SPACES = 2295 S.F. X 10% = 229
 PARKING AISLES = 4320 S.F. X 5% = 216
 229 + 216 = 445/75 = 6 TREES REQUIRED

6 REQUIRED

6 PROVIDED

COSTS - (P) PARKING

\$2,400 = 6 SHADE TREES X \$400 EACH
 \$2,400 = TOTAL

PLANT LIST - WOODLAND (W)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
24	AL8	Serviceberry <i>Amelanchier laevis</i>	8' Ht. multi	B&B
9	AS	Sugar Maple <i>Acer saccharum</i>	2.5" cal.	B&B
10	CA	American Hornbeam <i>Carpinus Caroliniana</i>	2.5" cal.	B&B
5	CC	Eastern Redbud <i>Cercis canadensis</i>	8' Ht. 4 stem min.	B&B
4	COV	Shagbark Hickory <i>Carya ovata</i>	2.5" cal.	B&B
7	LD	Larch <i>Larix decidua</i>	2.5" cal.	B&B
18	NS	Sour Gum <i>Nyssa sylvatica</i>	2.5" Cal.	B&B
5	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Ht.	B&B
8	PP	Colorado Green Spruce <i>Picea pungens</i>	7' Ht.	B&B
4	PS	White Pine <i>Pinus strobus</i>	7' Ht.	B&B
35	CAT	New Jersey Tea <i>Ceanothus americanus</i>	36" Ht.	B&B
70	CB	Buttonbush <i>Chepalacanthus occidentalis</i>	36" Ht.	B&B
57	IV3	Michigan Holly <i>Ilex verticillata</i>	36" Ht.	B&B
30	VM	Mohican Viburnum <i>Viburnum lantana 'Mohican'</i>	36" Ht.	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET L106
 91 TREES REQUIRED

91 REQUIRED

129 PROVIDED (97 TREES + 192 SHRUBS)

COSTS - (W) WOODLAND

\$17,600 = 44 SHADE TREES X \$400 EACH
 11,050 = 34 EVERGREEN TREES X \$325 EACH
 \$7,250 = 29 ORNAMENTAL TREES X \$250 EACH
 \$9,600 = 192 SHRUBS X \$50 EACH
 \$45,500 = TOTAL

PLANT LIST - MULTI-FAMILY (M)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
3	AB3	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	3" Cal.	B&B
15	AS3	Sugar Maple <i>Acer saccharum</i>	3" cal.	B&B
10	CA10	American Hornbeam <i>Carpinus Caroliniana</i>	10' Ht.	B&B
5	LD3	Larch <i>Larix decidua</i>	3" Cal	B&B
10	MSG	Dawn Redwood <i>Metasequoia glyptostroboides</i>	2.5" Cal.	B&B
14	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal	B&B
7	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Ht.	B&B
4	PS	White pine <i>Pinus strobus</i>	7Ht.	B&B

MULTI-FAMILY DWELLING UNIT

3 TREES PER FIRST FLOOR UNIT
 FIRST FLOOR UNITS = 22 X 3 = 66 TREES REQUIRED

66 REQUIRED

68 PROVIDED

COSTS - (M) MULTI-FAMILY

\$22,800 = 57 SHADE TREES X \$400 EACH
 \$4,125 = 11 EVERGREEN TREES X \$325 EACH
 \$9,800 = 196 SHRUBS X \$50 EACH
 \$23,840 = 5,960 SY SOD X \$4/SY
 1,000 = 25 CY MULCH X \$40/CY
 \$61,565 = TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
4	QB3	Swamp White Oak <i>Quercus bicolor</i>	3" Cal.	B&B
11	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal	B&B

INTERIOR ROADWAY STREET TREES

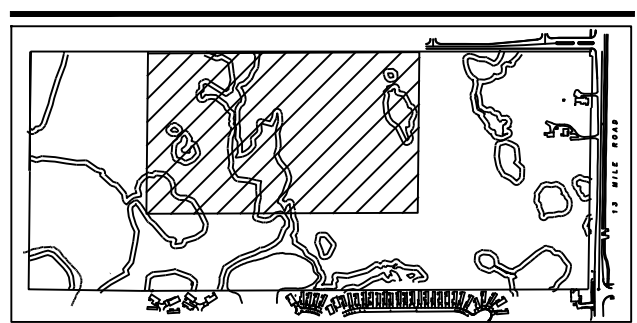
1 TREE PER 35 L.F.
 ROADWAY = 524 L.F./35 = 15 TREES REQUIRED

15 REQUIRED

15 PROVIDED

COSTS - (S) STREET TREES

\$6,000 = 15 SHADE TREES X \$400 EACH
 \$6,000 = TOTAL

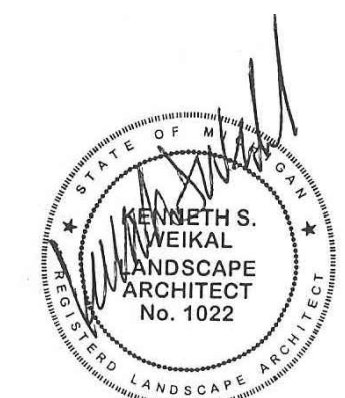


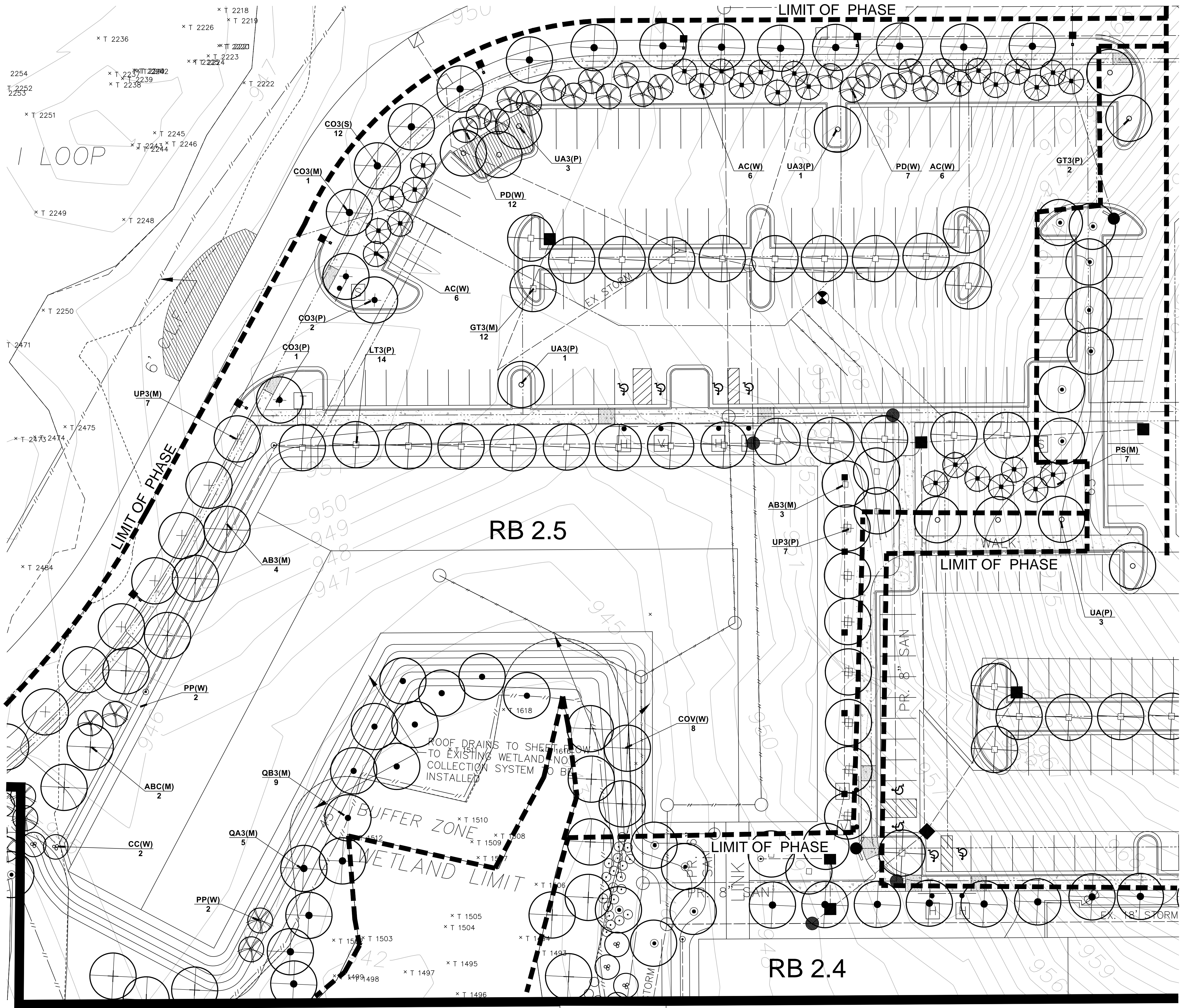
Project:
 Fox Run
 Novi, Michigan
 Section 1

Sheet:
 PHASE 2 PRELIMINARY SITE PLAN
 RB 2.4 CALCULATIONS

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date: 9-17-13
 Scale:

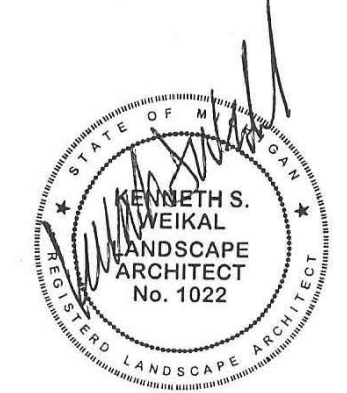
Revised:
 10-17-13 PER CITY REVIEW COMMENTS
 02-14-2014 REVISED PHASING





Matchline See Sheet L112

RB 2.5 LANDSCAPE PLAN
SCALE 1" = 20'



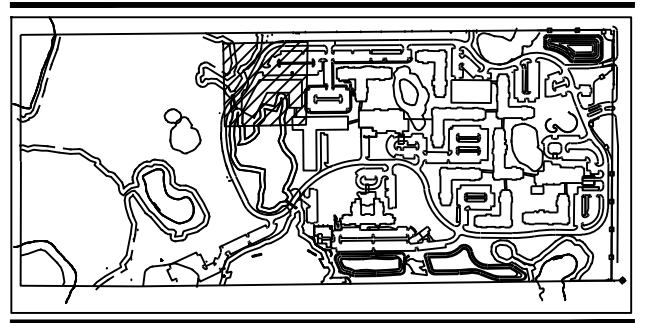
KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
248 477 3600 TEL
248 477 3658 FAX
33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-0313
www.kw-la.com

ZEIMET WOZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Lantz-Boggio Architects, P.C.
5650 DTC Pkwy, | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

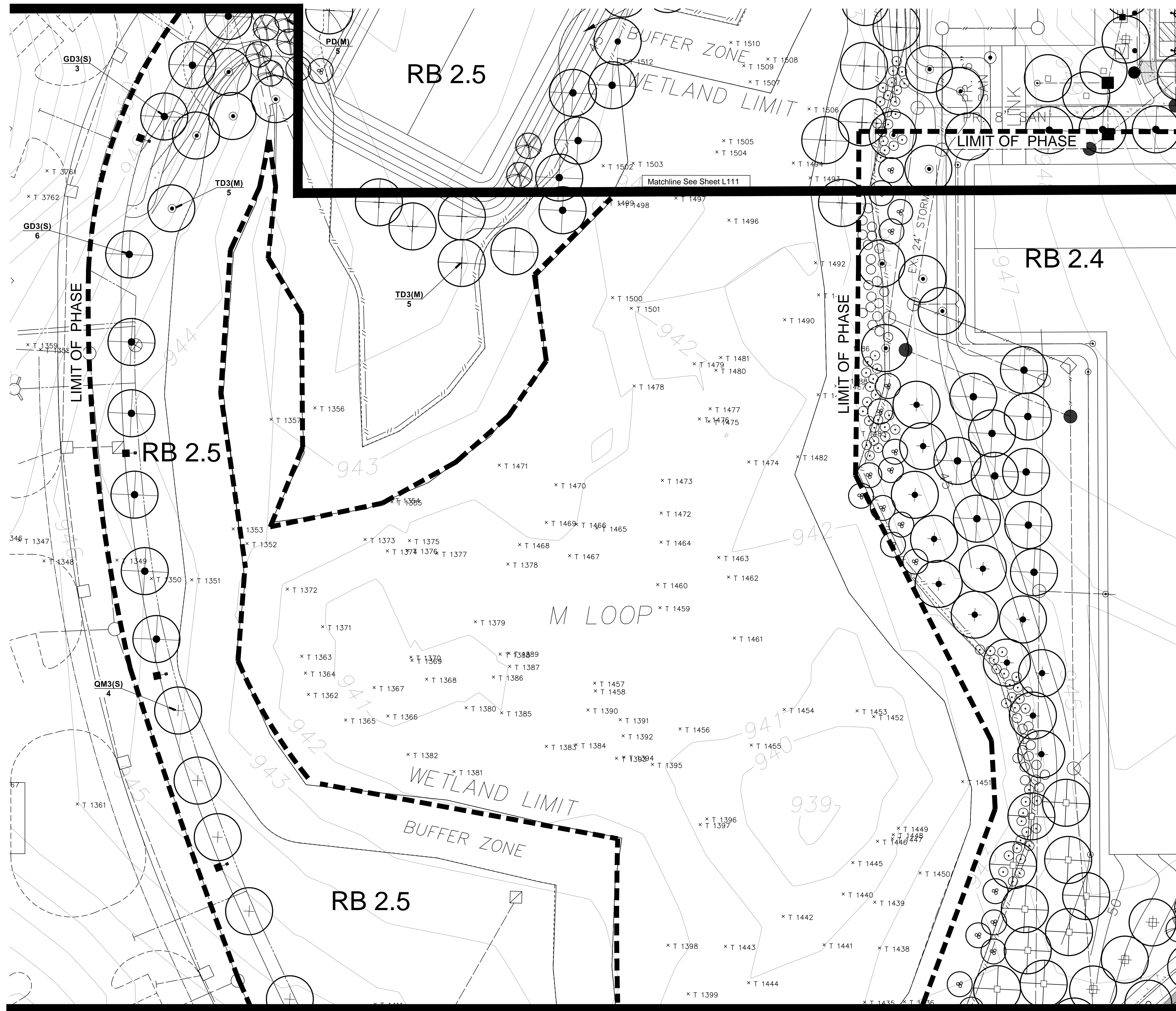
Erickson Living
Add more Living to your Life!
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Project:	Fox Run
Location:	Novi, Michigan
Section:	Section 1
Sheet:	PHASE 2 PRELIMINARY SITE PLAN RB 2.5 LANDSCAPE PLAN
Issue For:	
Project Number:	
Drawn:	
Checked:	
Date:	9-17-13
Scale:	1" = 20'-0"

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



NOTE KEY: ①

- ① CONCRETE SIDEWALK
- ② WETLAND
- ③ WETLAND BUFFER
- ④ SNOW STORAGE

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE

248 477 3600 TEL
248 477 3608 FAX
33203 BIDESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-0313
www.kw-la.com

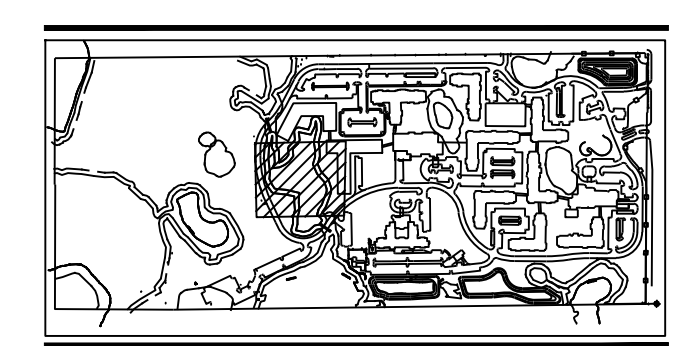
ZEIMET WOZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zeimetwozniak.com

Lantz-Boggio Architects, P.C.

5650 DTC Pkwy, | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life®
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN



Project:	Fox Run
	Novi, Michigan
	Section 1
Sheet:	PHASE 2 PRELIMINARY SITE PLAN RB 2.5 LANDSCAPE PLAN
Issue For:	
Project Number:	
Drawn:	
Checked:	
Date:	9-17-13
Scale:	1" = 20'-0"

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



RB 2.5 LANDSCAPE PLAN
SCALE 1" = 20'
NORTH

RB 2.5 PLANT LIST

PLANT LIST - PARKING (P)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
3	AS3	Sugar Maple <i>Acer saccharum</i>	3" Cal.	B&B
2	GT3	Thornless Honeylocust <i>Gleditsia 'Skyline'</i>	3" Cal.	B&B
15	LT3	Tulip Tree <i>Liriodendron tulipifera</i>	3" Cal.	B&B
5	UA3	Accolade Elm <i>Ulmus parviflora 'Morton'</i>	3" Cal.	B&B
7	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal.	B&B
3	CO3	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B

PARKING LOT CANOPY TREES

107 PARKING SPACES = 16,965 S.F. X 10% = 1696
 PARKING AISLES = 16,320 S.F. X 5% = 816
 16961 + 816 = 2,512/75 = 35 TREES REQUIRED

35 REQUIRED
35 PROVIDED

COSTS - (P) PARKING

\$14,000 = 35 SHADE TREES X \$400 EACH
 \$14,000 = TOTAL

PLANT LIST - WOODLAND (W)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
2	CC	Eastern Redbud <i>Cercis canadensis</i>	8' Ht. 4 stem min.	B&B
4	COV	Shagbark Hickory <i>Carya ovata</i>	2.5" cal.	B&B
5	QB	Swamp White Oak <i>Quercus bicolor</i>	2.5" Cal.	B&B
5	QM	Bur Oak <i>Quercus macrocarpa</i>	2.5" Cal.	B&B
18	AC	Concolor Fir <i>Abies concolor</i>	7'Ht.	B&B
19	PD	Black Hills Spruce <i>Picea g. 'Densata'</i>	7' Ht.	B&B
4	PP	Colorado Green Spruce <i>Picea pungens</i>	7' Ht.	B&B

WOODLAND REPLACEMENT TREES

SEE TREE REPLACEMENT CHART SHEET L110
 57 TREES REQUIRED

57 REQUIRED
57 PROVIDED

COSTS - (W) WOODLAND

\$5,600 = 14 SHADE TREES X \$400 EACH
 \$13,325 = 41 EVERGREEN TREES X \$325 EACH
 \$500 = 2 ORNAMENTAL TREES X \$250 EACH
 \$19,425 = TOTAL

PLANT LIST - MULTI-FAMILY (M)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
2	ABC	Autumn Blaze Maple - Clump <i>Acer x. fremanii 'Autumn Blaze'</i>	12' Ht. 4-stem min.	B&B
7	AB3	Autumn Blaze Maple <i>Acer x. fremanii 'Autumn Blaze'</i>	3" Cal.	B&B
1	CO3	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B
12	GT3	Thornless Honeylocust <i>Gleditsia 'Skyline'</i>	3" Cal.	B&B
5	QA3	White Oak <i>Quercus alba</i>	3" Cal.	B&B
9	QB3	Swamp White Oak <i>Quercus bicolor</i>	3" cal.	B&B
10	TD3	Bald Cypress <i>Taxodium distichum</i>	3" Cal.	B&B
7	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal	B&B
7	PS	White pine <i>Pinus strobus</i>	7'Ht.	B&B

MULTI-FAMILY DWELLING UNIT

3 TREES PER FIRST FLOOR UNIT
 FIRST FLOOR UNITS = 20 X 3 = 60 TREES REQUIRED

60 REQUIRED
60 PROVIDED

COSTS - (M) MULTI-FAMILY

\$18,400 = 46 SHADE TREES X \$400 EACH
 \$4,550 = 14 EVERGREEN TREES X \$325 EACH
 \$15,800 = 3,950 SY SOD X \$4/SY
 \$1,000 = 25 CY MULCH X \$40/CY
 \$39,750 = TOTAL

PLANT LIST - STREET TREES (S)

QUAN.	KEY	COMMON/ BOTANICAL NAME	SIZE	SPEC.
12	CO3	Hackberry <i>Celtis occidentalis</i>	3" Cal.	B&B
9	GD3	Kentucky Coffee Tree <i>Gymnocladus dioica</i>	3" Cal.	B&B
2	QB3	Swamp White Oak <i>Quercus bicolor</i>	3" Cal.	B&B
9	QM3	Bur Oak <i>Quercus macrocarpa</i>	3" Cal.	B&B
7	UP3	Princeton Elm <i>Ulmus americana 'Princeton'</i>	3" Cal	B&B

INTERIOR ROADWAY STREET TREES

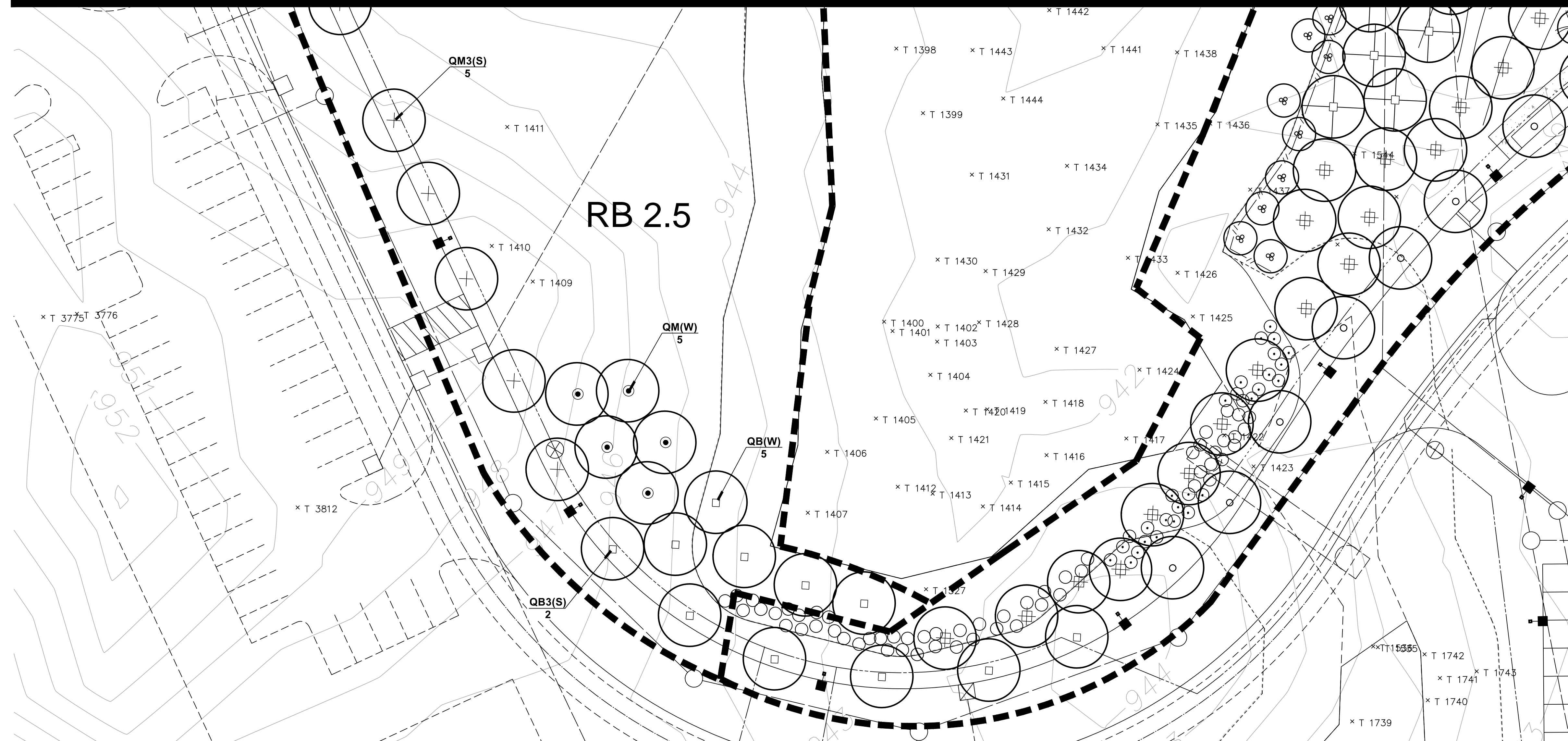
1 TREE PER 35 L.F.
 ROADWAY = 1381 L.F./35 = 39 TREES REQUIRED

39 REQUIRED
39 PROVIDED

COSTS - (S) STREET TREES

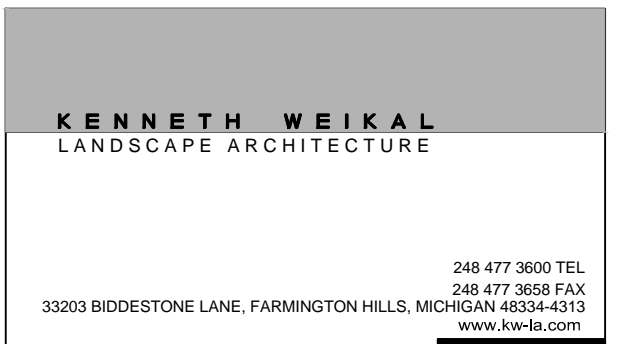
\$15,600 = 37 SHADE TREES X \$400 EACH
 \$15,600 = TOTAL

Matchline See Sheet L112



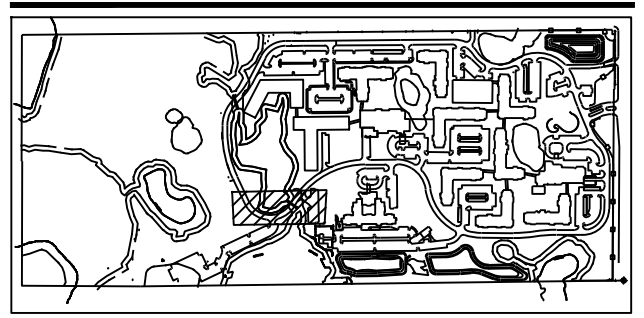
RB 2.5 LANDSCAPE PLAN

SCALE 1" = 20'



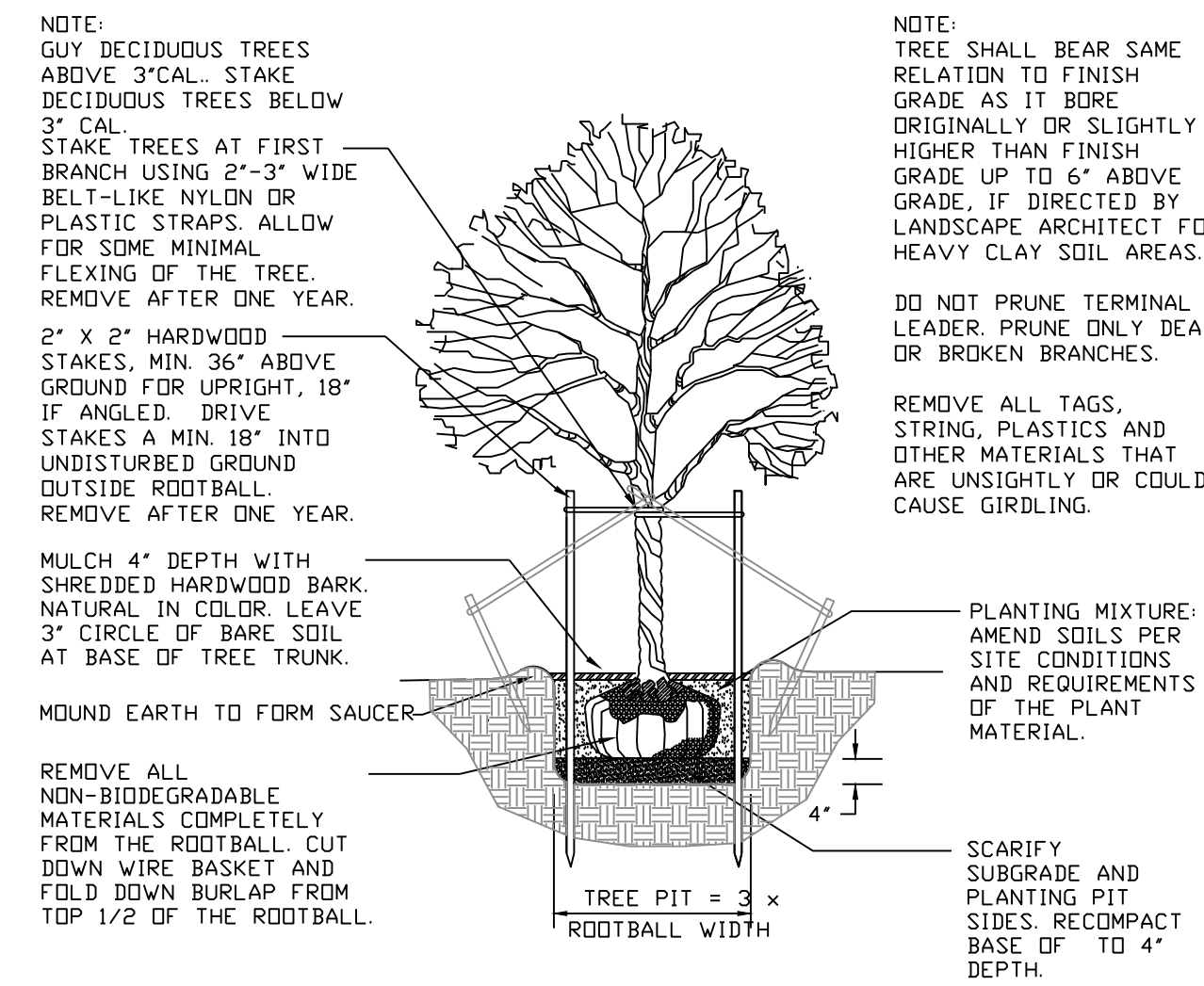
Erickson Living
 701 Maiden Choice Lane
 Baltimore, MD 21228

FOX RUN
 NOVI, MICHIGAN

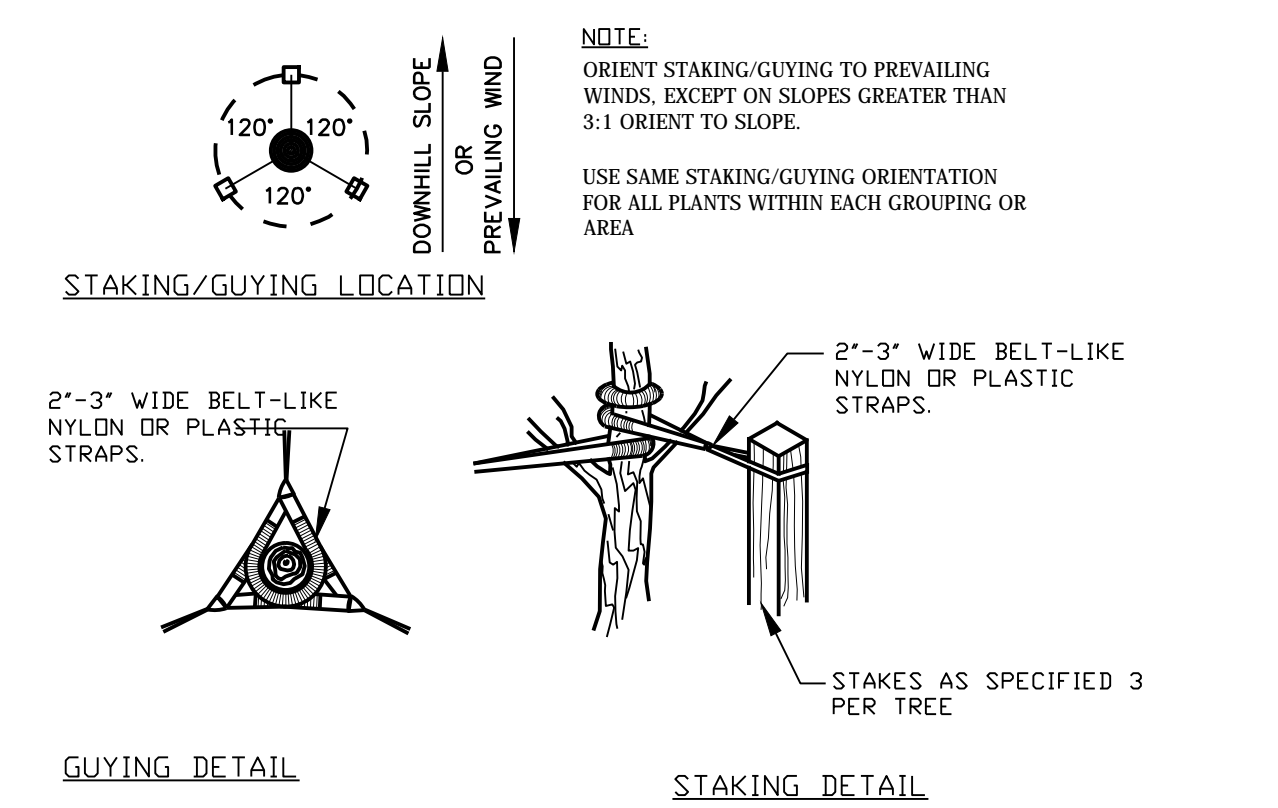


Project:	Fox Run
	Novi, Michigan
	Section 1
Sheet:	PHASE 2 PRELIMINARY SITE PLAN
	RB 2.5 CALCULATIONS
Issue For:	
Project Number:	
Drawn:	
Checked:	
Date:	9-17-13
Scale:	1" = 20'-0"

Revised:
 10-17-13 PER CITY REVIEW COMMENTS
 02-14-2014 REVISED PHASING

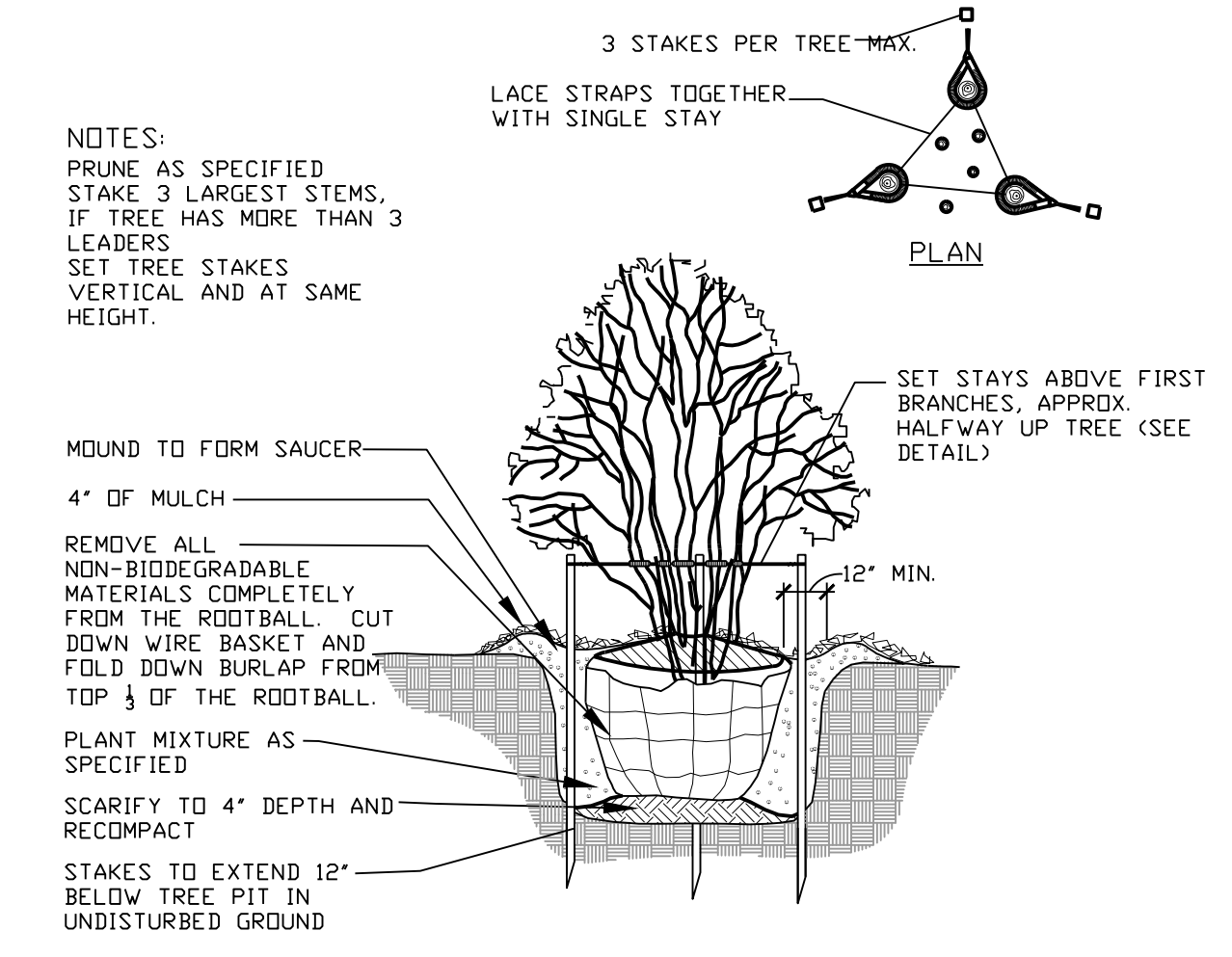


DECIDUOUS TREE PLANTING DETAIL



TREE STAKING DETAIL

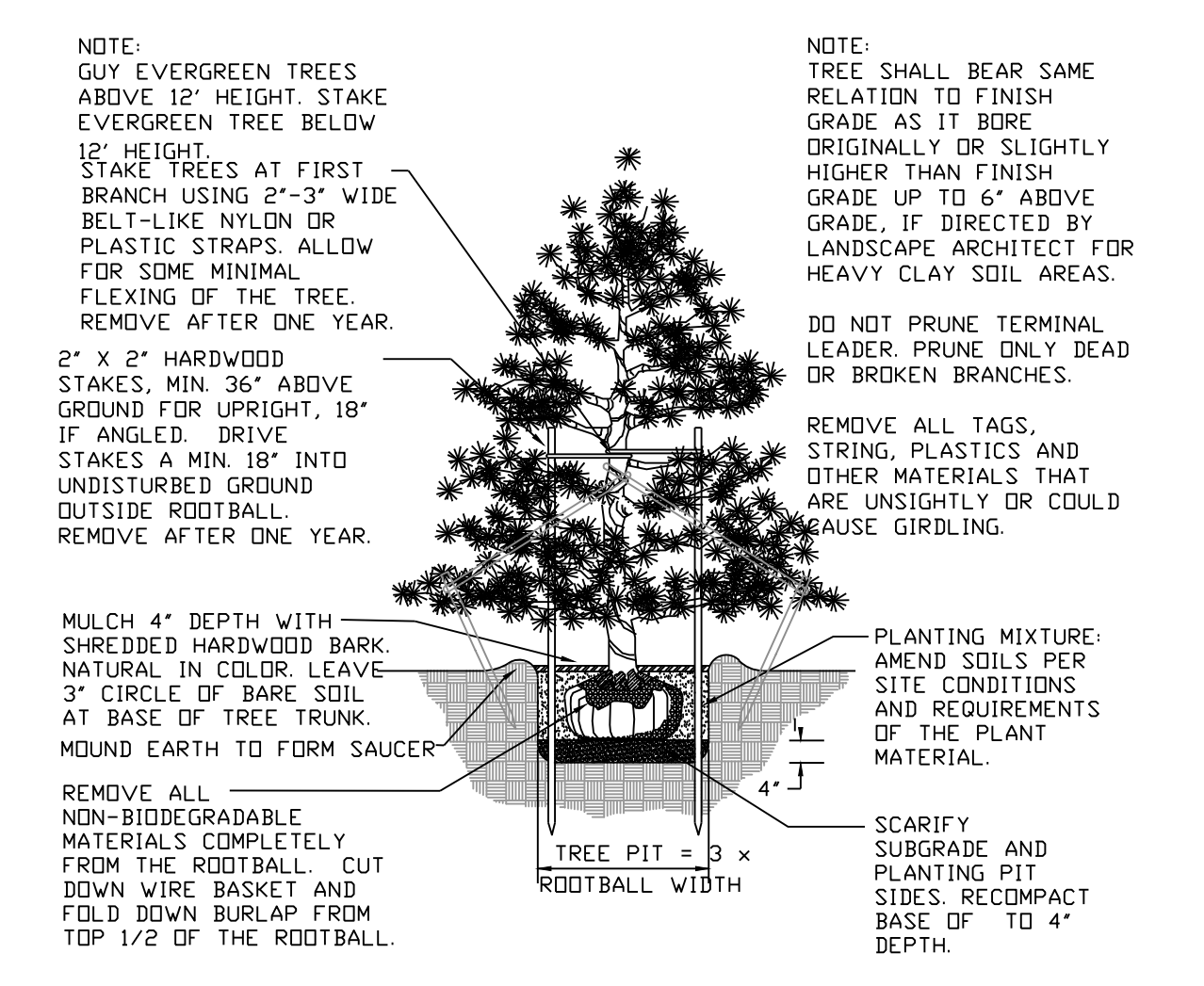
Not to scale



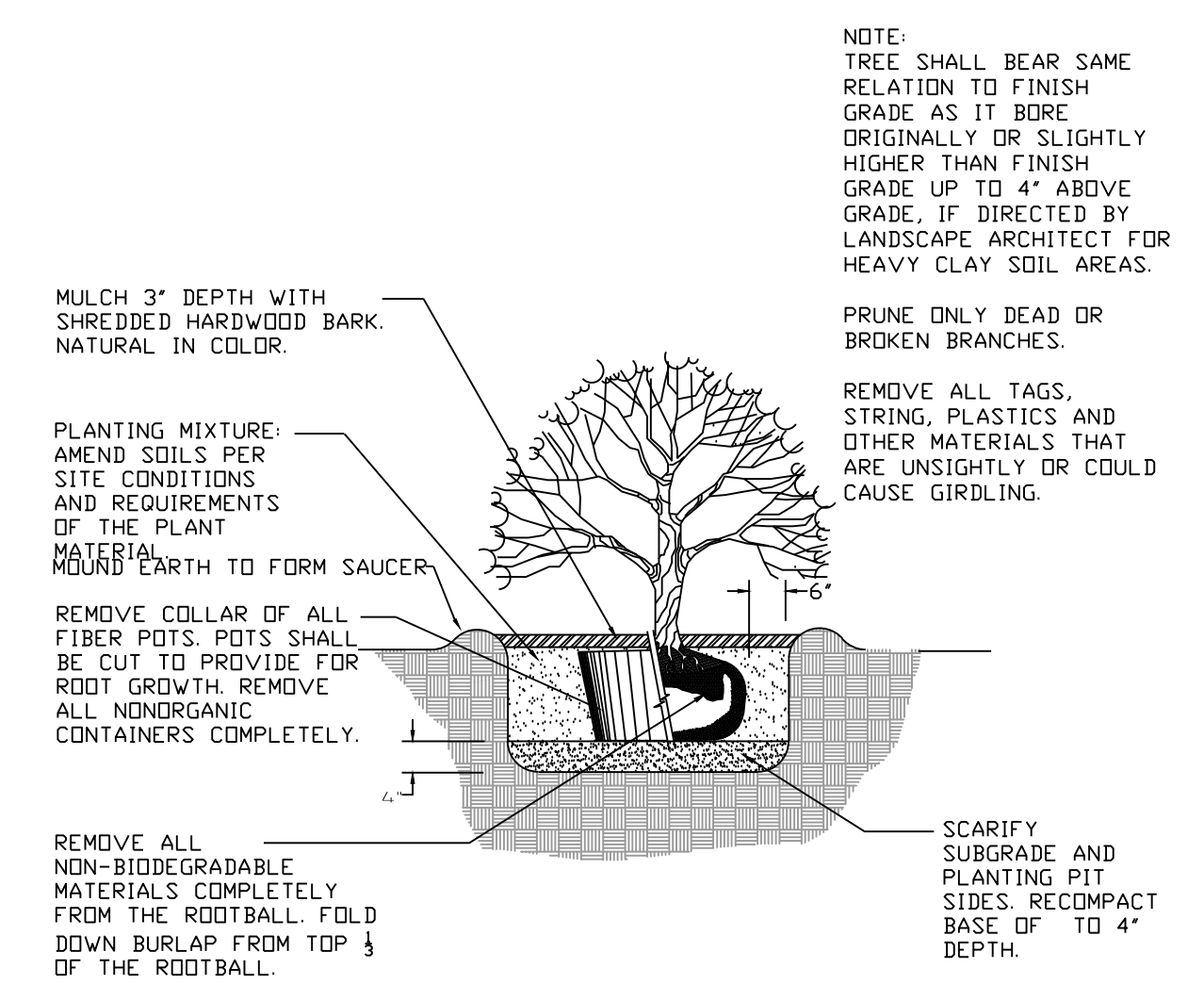
MULTI-STEM TREE PLANTING DETAIL

Not to scale

CITY OF NOVI PLANTING DETAILS

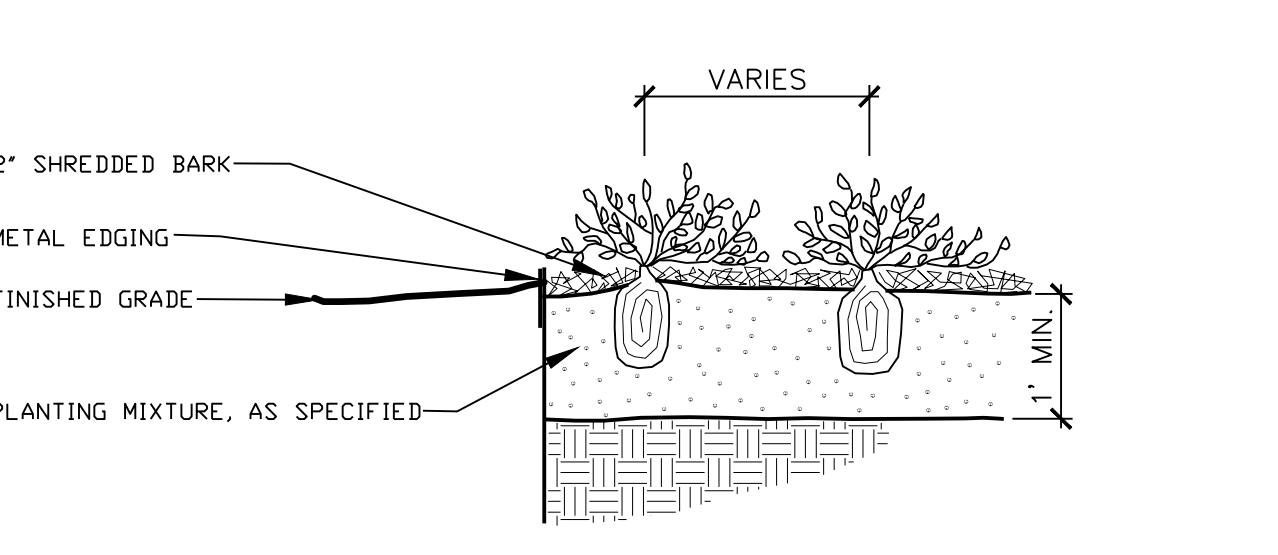


EVERGREEN TREE PLANTING DETAIL



SHRUB PLANTING DETAIL

Not to scale



PERENNIAL PLANTING DETAIL

Not to scale

GENERAL PLANTING NOTES:

- (A) ALL TREES TO HAVE CLAY OR LOAM BALLS, TREES WITH SAND BALLS WILL BE REJECTED.
- (B) ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- (C) ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- (D) ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- (E) ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- (F) NO MACHINERY IS TO BE USED WITHIN THE DRIPLINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIPLINE OF EXISTING TREES.
- (G) ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- (H) IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.

CITY OF NOVI NOTES:

- 1. LANDSCAPE SHALL BE IRRIGATED WITH AN AUTOMATIC SPRINKLING SYSTEM.
- 2. SHRUBS AND PERENNIALS SHALL BE FULL AND WELL ROOTED.
- 3. INSTALLATION SHALL BE MARCH 1 - NOVEMBER 30, ANNUALLY.
- 4. PLANTS SHALL BE NORTHERN NURSERY GROWN NO. 1 GRADE, AND ALL PLANT MATERIAL SHALL MEET CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS, AND BE PLANTED ACCORDING TO CITY OF NOVI PLANTING DETAIL.
- 5. ALL PLANTING SHALL BE MAINTAINED IN AN ATTRACTIVE AND PRESENTABLE CONDITION FREE OF WEEDS, REFUSE AND DEBRIS, AND CONTINUOUSLY MAINTAINED IN A SOUND HEALTHY CONDITION, FREE OF PLANT DISEASES AND INSECT PESTS.
- 6. TREES AT INTERIOR PARKING LOT CORNER TO BE LIMBED UP TO 8' HEIGHT.
- 7. PARKING LOT ISLANDS TO BE SOD. PLANT MIX IN ISLANDS TO BE SANDY LOAM FOR IMPROVED DRAINAGE.
- 8. TREE STAKES, GUY STRAPS AND TREE WRAP TO BE REMOVED AFTER ONE WINTER.
- 9. TREES PLANTED IN NATURAL AREAS TO BE HAND-DUG AND PLANTED. NO MACHINES OR MACHINE DIGGING WITHIN AREAS TO REMAIN. PLANTS TO BE FIELD LOCATED BY LANDSCAPE ARCHITECT.
- 10. NO TREES TO BE LOCATED UNDER EXISTING LOW TREE CANOPIES.
- 11. DEEP ROOTED TREES SHALL NOT BE PLANTED OVER WATER MAIN.

INSTALLATION SPECS:

- 1. APPROVED PLANTING PLAN - WHEREVER IN THIS ORDINANCE LANDSCAPE PLANTING ARE REQUIRED OR PERMITTED, THEY SHALL BE PLANTED IN ACCORDANCE WITH THE APPROVED FINAL STAMPED LANDSCAPE PLAN.
- 2. TIME OF PLANTING - ALL PLANT MATERIALS SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH. ALL INSTALLED LANDSCAPES INCLUDING PLANT MATERIALS, MULCH, STAKING, IRRIGATION, AND SODDING, MUST BE INSTALLED AND INSPECTED BY THE CITY PRIOR TO ISSUANCE OF A TEMPORARY CERTIFICATE OF OCCUPANCY.
- 3. INSPECTIONS - A CITY REPRESENTATIVE WILL PERFORM LANDSCAPE INSPECTIONS FOLLOWING A REQUEST FROM THE DEVELOPER. THE INSPECTION TIME PERIOD IS FROM MARCH 15TH TO NOVEMBER 15TH.
- 4. ESTABLISHMENT PERIOD - THE ESTABLISHMENT PERIOD FROM THE PLANT MATERIAL GUARANTEE WILL OCCUR BEGINNING AT THE FINAL CERTIFICATE OF OCCUPANCY INSPECTION APPROVAL TO 2 YEARS FROM THAT DATE.
- 5. ALL PLANTINGS SHALL BE PROPERLY PLANTED AS TO BE IN A HEALTHY GROWING CONDITION AT COMMENCEMENT OF THE ESTABLISHMENT PERIOD. AT THE END OF THE ESTABLISHMENT PERIOD, ANY PLANTINGS, WHICH ARE 20% DEAD OR GREATER, SHALL BE REPLACED.

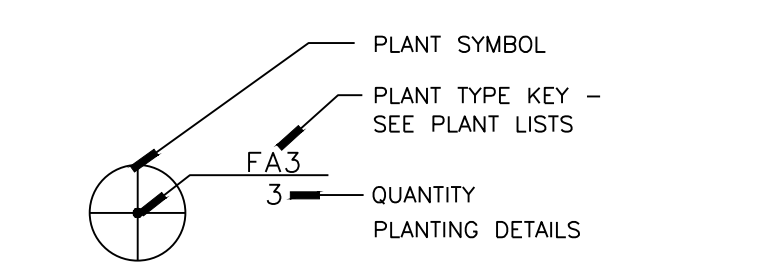
NOTICE OF INSTALLATION/ MINOR CHANGES:

- 1. THE OWNER OR DEVELOPER MUST NOTIFY THE CITY OF THE INSTALLATION SCHEDULE. THE CITY MAY REJECT ANY MATERIAL WHICH IS DEFECTIVE OR IN GENERALLY POOR CONDITION.
- 2. MINOR CHANGES REGARDING PLANT MATERIALS PER THE APPROVED AND STAMPED LANDSCAPE PLAN MAY BE ALTERED UPON WRITTEN NOTIFICATION TO, AND WRITTEN SIGN-OFF BY, THE CITY LANDSCAPE ARCHITECT OF SPECIES, SIZE, CHANGE, AND LOCATION.
- 3. MINOR CHANGES DUE TO SEASONAL PLANTING PROBLEMS AND LACK OF PLANT AVAILABILITY MAY BE APPROVED IN WRITING BY THE CITY LANDSCAPE ARCHITECT WHEN THERE IS NO REDUCTION IN THE QUALITY OF PLANT MATERIALS, NO SIGNIFICANT CHANGE IN SIZE OR LOCATION OF PLANT MATERIAL. THE NEW PLANT MATERIAL IS COMPATIBLE WITH THE AREA AND IS THE SAME GENERAL TYPE (DECIDUOUS/EVERGREEN), EXHIBITING SAME DESIGN CHARACTERISTICS (MATURE HEIGHT, CROWN), AS THE MATERIAL BEING REPLACED. IF THESE CRITERIA ARE NOT FULFILLED OR CHANGES ARE SIGNIFICANT FROM APPROVED PLAN, THE LANDSCAPE PLAN SHALL BE REVISED AND RESUBMITTED FOR PLAN APPROVAL.

MAINTENANCE:

- 1. CONTRACTOR TO REMOVE ALL CONSTRUCTION DEBRIS AND EXCESS MATERIALS FROM THE SITE PRIOR TO FINAL ACCEPTANCE.
- 2. MAINTENANCE OF REQUIRED PLANTINGS BY THE OWNER SHALL BE CARRIED OUT SO AS TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE, FREE FROM REFUSE AND DEBRIS.

PLANTING KEY:



LANDSCAPE EDGING

ALL LANDSCAPE EDGES ARE SHOVEL CUT

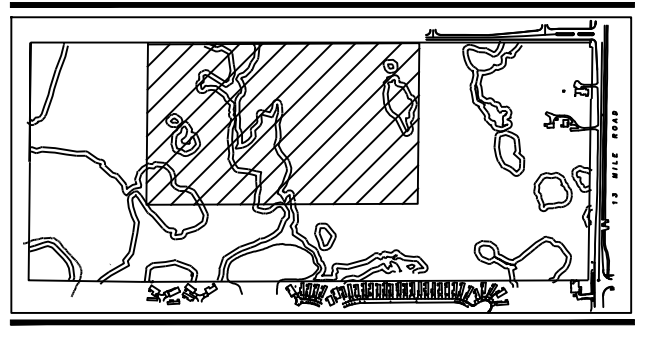
PLANT SPACING

SEE PLANT LISTS FOR GENERAL SPACING
FILL BED WITH PLANTS SPECIFIED. KEEP PLANTS AWAY FROM BUILDING 12" FOR THEIR MATURE SIZE



Erickson Living
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

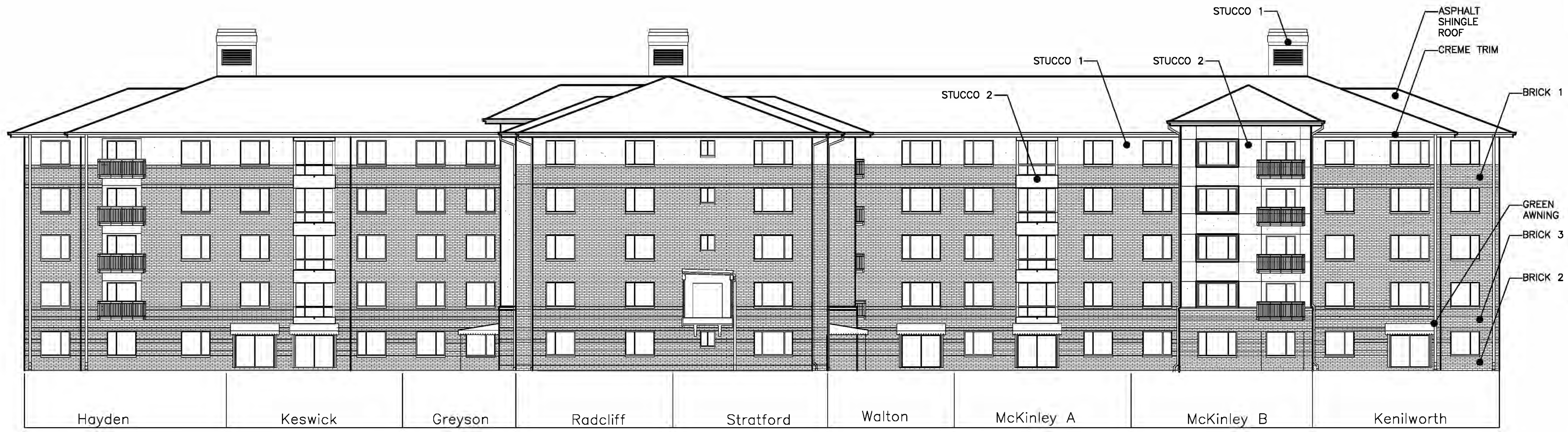


Project:
Fox Run
Novi, Michigan
Section 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
PLANTING DETAILS

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale:

Revised:
10-17-13 PER CITY REVIEW COMMENTS
02-14-2014 REVISED PHASING



KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
248 477 9600 TEL.
248 477 9609 FAX
33203 BLOSSOM LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
www.kwla.com

ZEMET W. ZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
5580 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetzniaak.com

Lantz-Boggio Architects, P.C.
5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life!
701 Maiden Choice Lane
Baltimore, MD 21228

1 WEST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	14	25
BRICK	63	100 (30% MIN)
FABRIC AWNING	1	10



2 NORTH ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	22	25
TRIM	2	15
EIFS	19	25
BRICK	56	100 (30% MIN)
FABRIC AWNING	1	10



RB 2.3 DENSITY TABLE 95 UNITS

JNIT TYPE	# OF ROOMS	# OF UNITS
BEDROOM	2	10
ONE BEDROOM + DEN	3	0
TWO BEDROOM	3	60
TWO BEDROOM + DEN	4	25

DENSITY CALCULATION TABLE OVERALL

UNIT TYPE	# OF ROOMS	SITE AREA REQ'D PER UNIT	# OF UNITS	NET SITE AREA REQ'D
STUDIO	1	700	21	14,700
ONE BEDROOM	2	1,400	462	646,800
ONE BEDROOM + DEN	3	2,100	172	361,200
TWO BEDROOM	3	2,100	823	1,728,300
TWO BEDROOM + DEN	4	2,800	19	53,200
TOTAL			1,497	2,804,200

NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL.
NOTE: THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL.



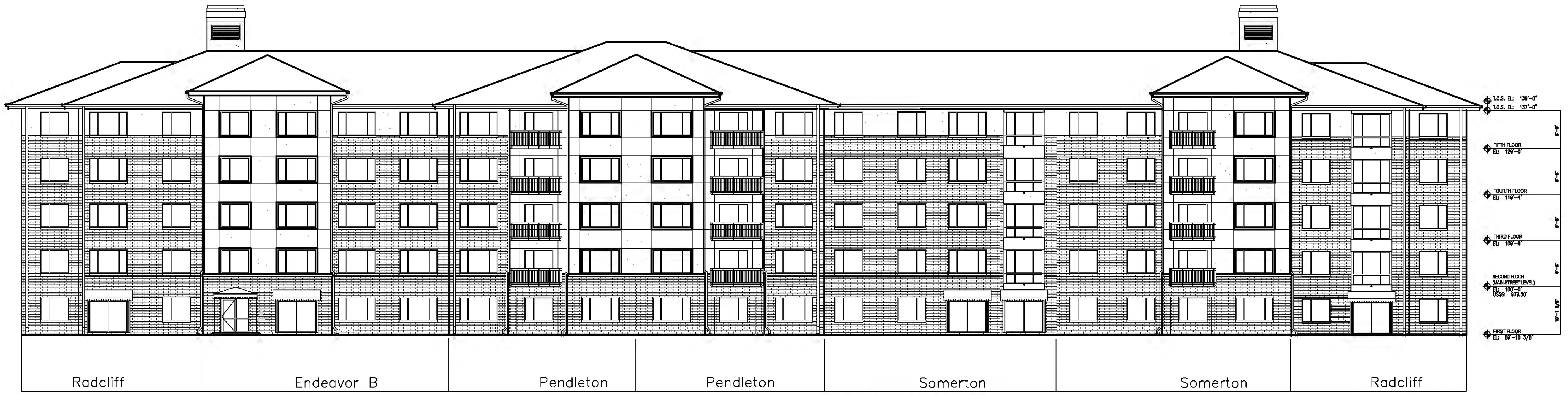
FOX RUN
NOVI, MICHIGAN

THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM
MISS DIG SYSTEM, INC.
1-800-482-7171

Project: **Fox Run**
Novi, Michigan
SECTION 1
Sheet: **PHASE 2 PRELIMINARY SITE PLAN RB 2.3 NORTH & WEST ELEVATIONS**
Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 3/32"=1'0"

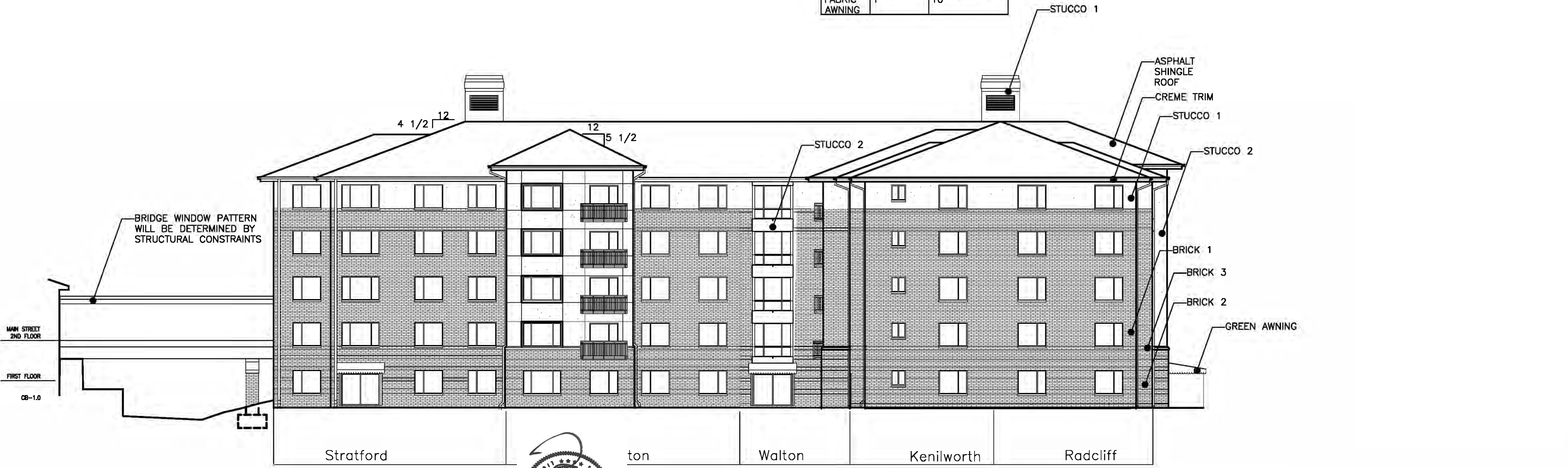
Revised:
10-17-13 Per City Review Comments

Sheet Number: **A-100**



1 EAST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	24	25
TRIM	2	15
EIFS	23	25
BRICK	50	100 (30% MIN)
FABRIC AWNING	1	10



2 SOUTH ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	18	25
BRICK	59	100 (30% MIN)
FABRIC AWNING	1	10



DENSITY TABLE 95 UNITS

	# OF ROOMS	# OF UNITS
	2	10
ONE BEDROOM + DEN	3	0
TWO BEDROOM	3	60
TWO BEDROOM + DEN	4	25

DENSITY CALCULATION TABLE OVERALL SITE

UNIT TYPE	# OF ROOMS	SITE AREA REQ'D PER UNIT	# OF UNITS	NET SITE AREA REQ'D
STUDIO	1	700	21	14,700
ONE BEDROOM	2	1,400	462	645,800
ONE BEDROOM + DEN	3	2,100	172	361,200
TWO BEDROOM	3	2,100	823	1,728,300
TWO BEDROOM + DEN	4	2,800	19	53,200
TOTAL			1,497	2,804,200

NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL.

NOTE: THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL.

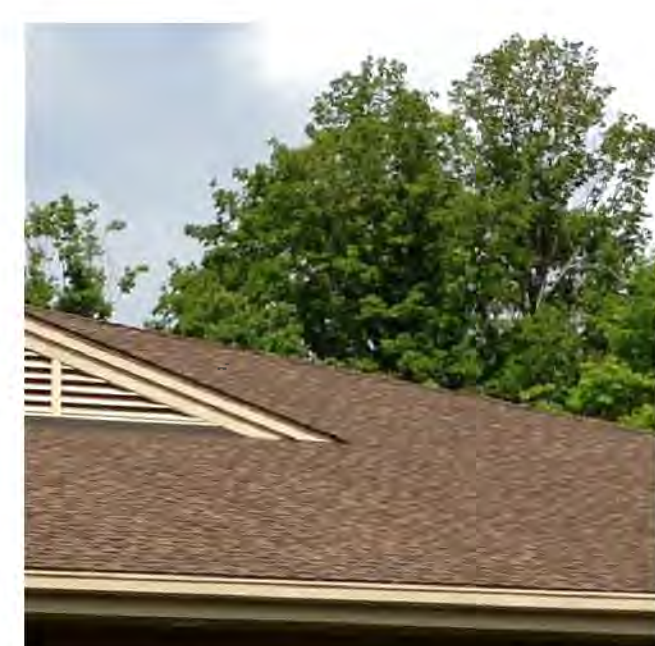


FOX RUN
 NOVI, MICHIGAN

THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM, 1-800-482-7171

Project: Fox Run
Novi, Michigan
 SECTION 1
 Sheet: PHASE 2 PRELIMINARY SITE PLAN MATERIAL BOARD
 Issue For: _____
 Project Number: _____
 Drawn: _____
 Checked: _____
 Date: 9-17-13
 Scale: 3/16"=1'0"

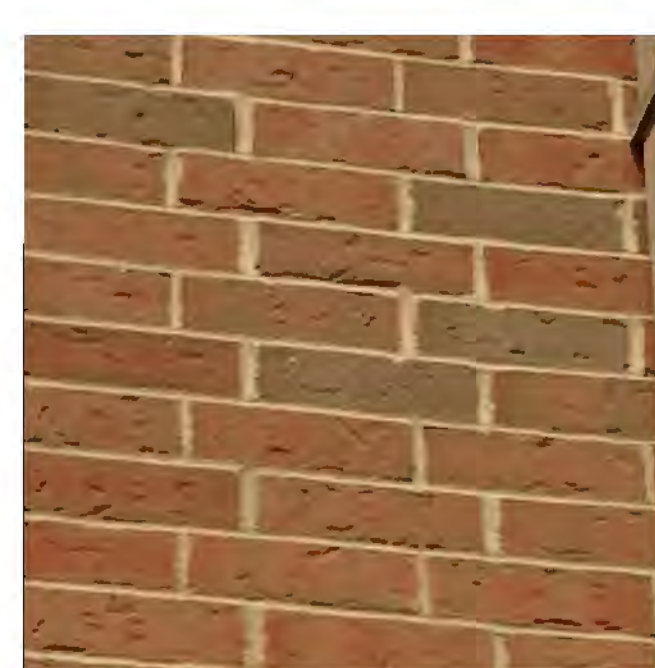
Revised: 10-17-13 Per City Review Comments



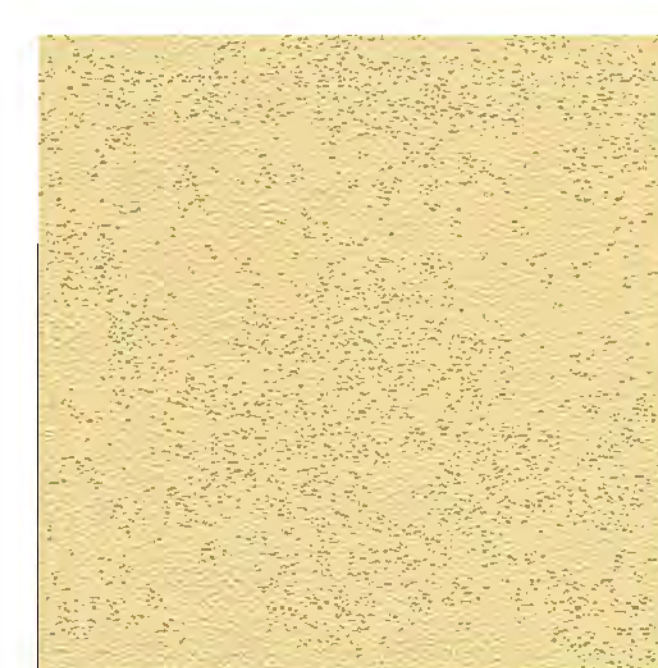
ASPHALT SHINGLE ROOF



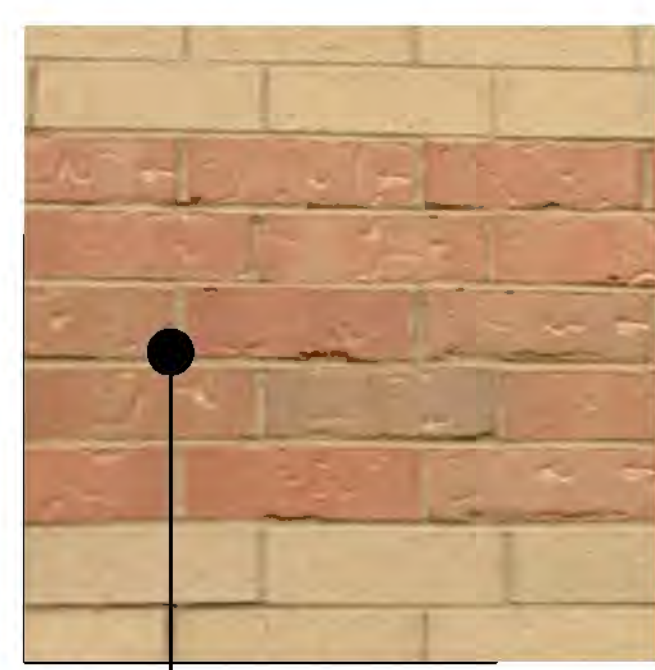
STUCCO 1



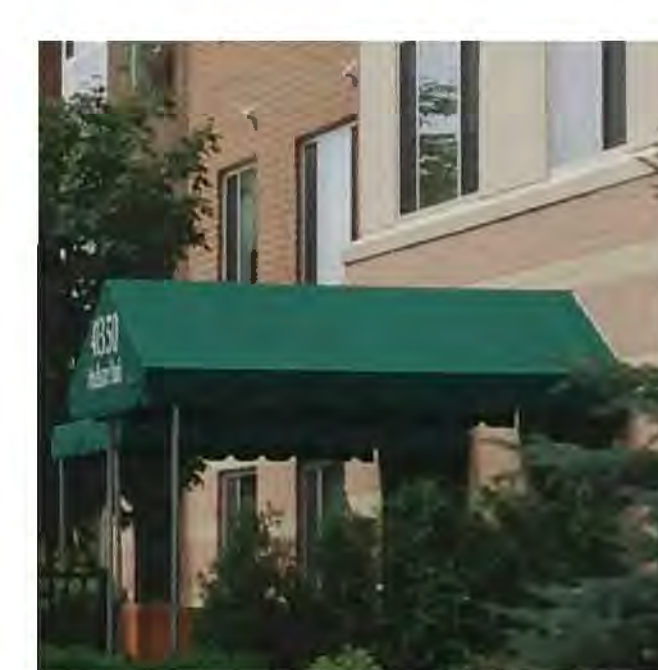
BRICK 1



STUCCO 2



BRICK 2



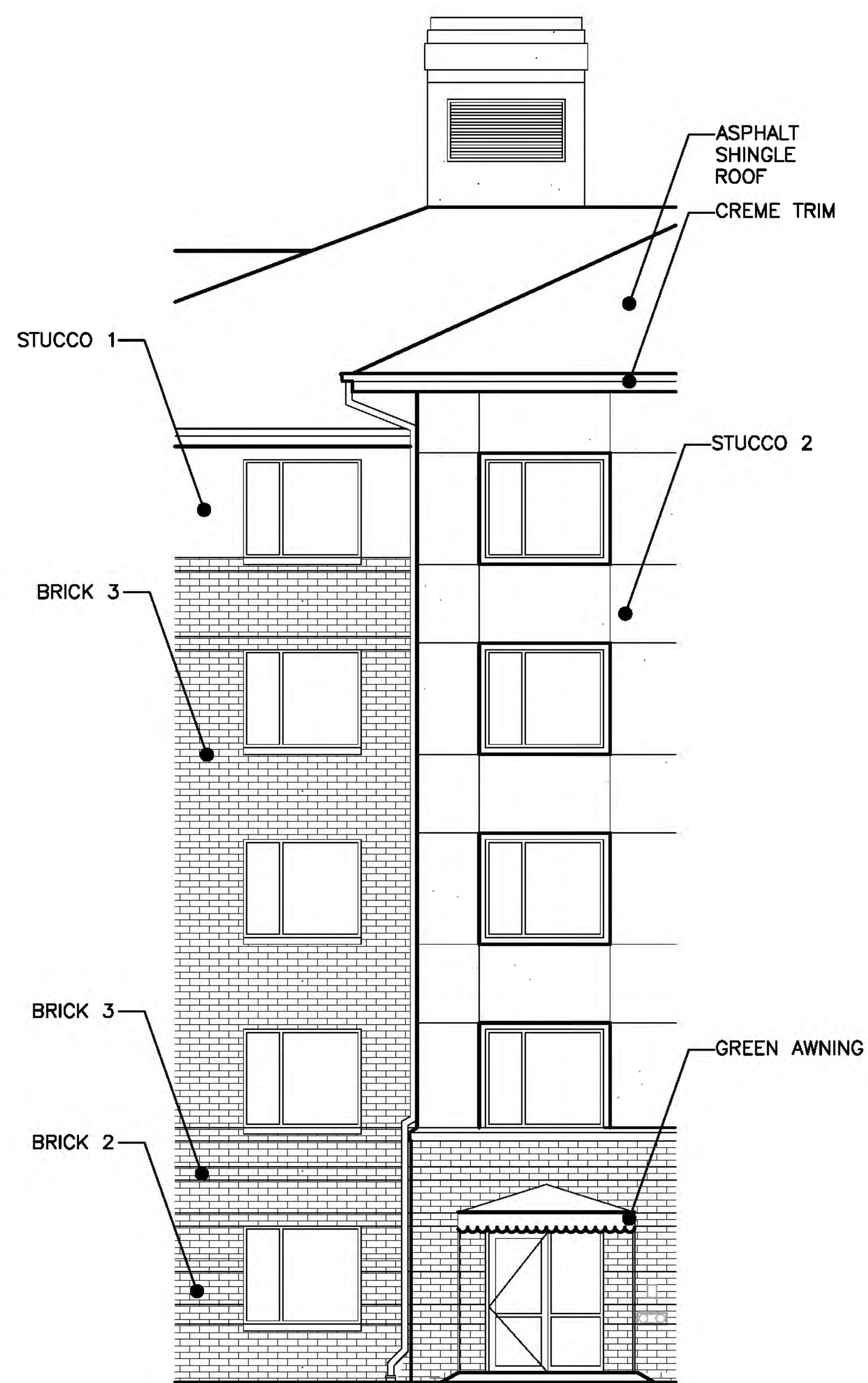
GREEN AWNING

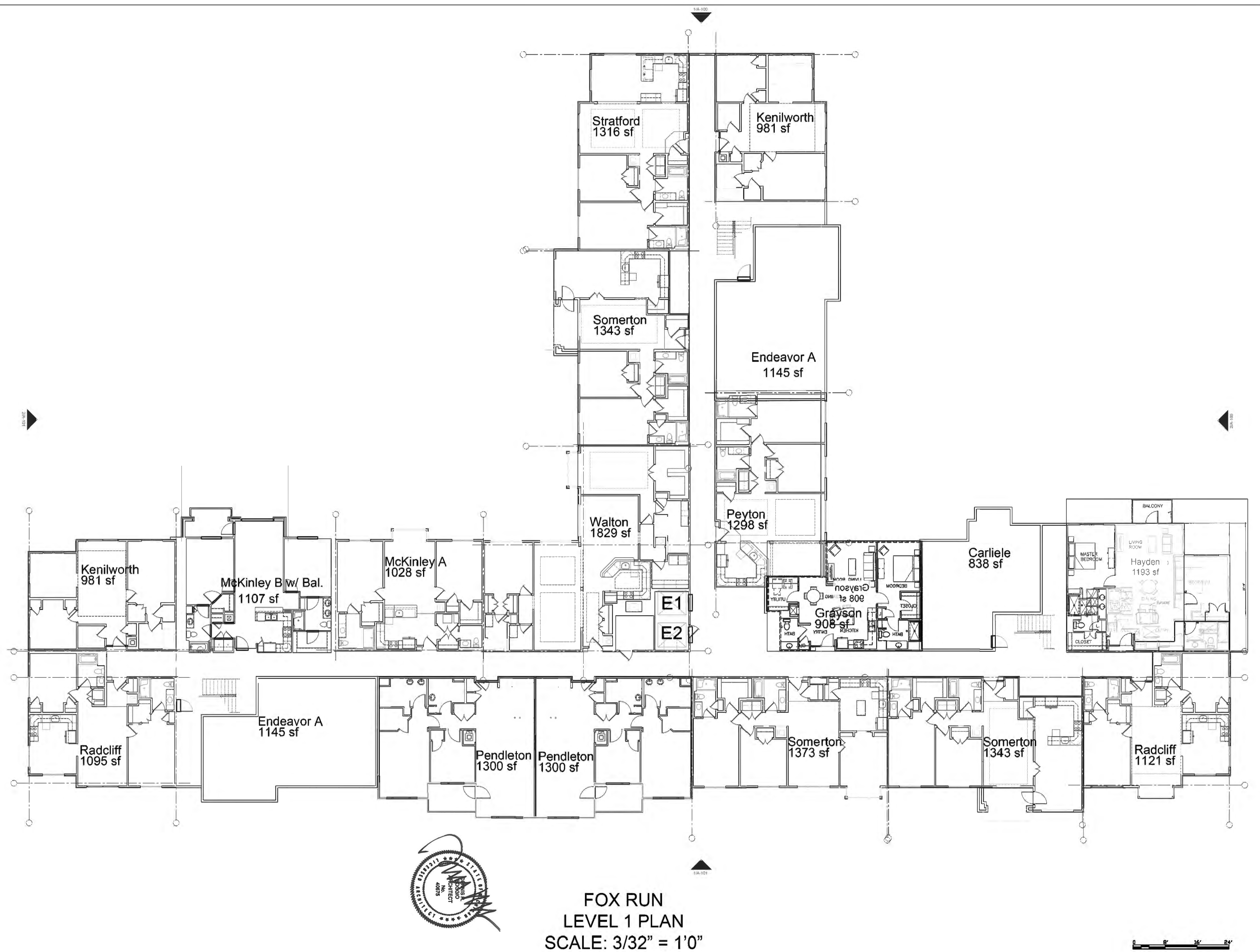


BRICK 3



CREME TRIM





FOX RUN
LEVEL 1 PLAN
SCALE: 3/32" = 1'0"



KENNETH WEIKAL
 LANDSCAPE ARCHITECTURE
 248 477 8600 TEL.
 248 477 8602 FAX
 33003 BROADSTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
 www.kwla.com

ZEMET W. ZNIAK
 & ASSOCIATES
 Civil Engineers & Land Surveyors
 55800 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zemetwzniaak.com

Lantz-Boggio
Architects, P.C.
 6660 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
 Add more Living to your Life®
 701 Maiden Choke Lane
 Baltimore, MD 21228

FOX RUN
 NOVI, MICHIGAN

THREE FULL
 WORKING DAYS
 BEFORE YOU DIG,
 CALL THE MISS
 DIG SYSTEM
MISS DIG SYSTEM, INC.
 1-800-482-7171

Project:
Fox Run
 Novi, Michigan
SECTION 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LEVEL 1 PLAN

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date: 9-17-13
 Scale: 3/32"=1'0"

Revised:
 10-17-13 Per City Review Comments

Sheet Number: **A-103**

KENNETH WEIKAL
 LANDSCAPE ARCHITECTURE
 248 477 3800 TEL
 248 477 2888 FAX
 3203 INDEPENDENCE LANE, FARMINGTON HILLS, MICHIGAN 48334-4213
 www.kw-la.com

Z EIMET W ZNIAK
 & ASSOCIATES
 Civil Engineers & Land Surveyors
 55800 GRAND RIVER AVE., SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zimmetwzniaak.com

Lantz-Boggio
 Architects, P.C.
 6860 DTC Pkwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
 Add more Living to your Life®
 701 Maiden Choice Lane
 Baltimore, MD 21228

FOX RUN
 NOVI, MICHIGAN

THREE FULL
 WORKING DAYS
 BEFORE YOU DIG,
 CALL THE MISS
 DIG SYSTEM
MISS DIG SYSTEM, INC.
 1-800-482-7171

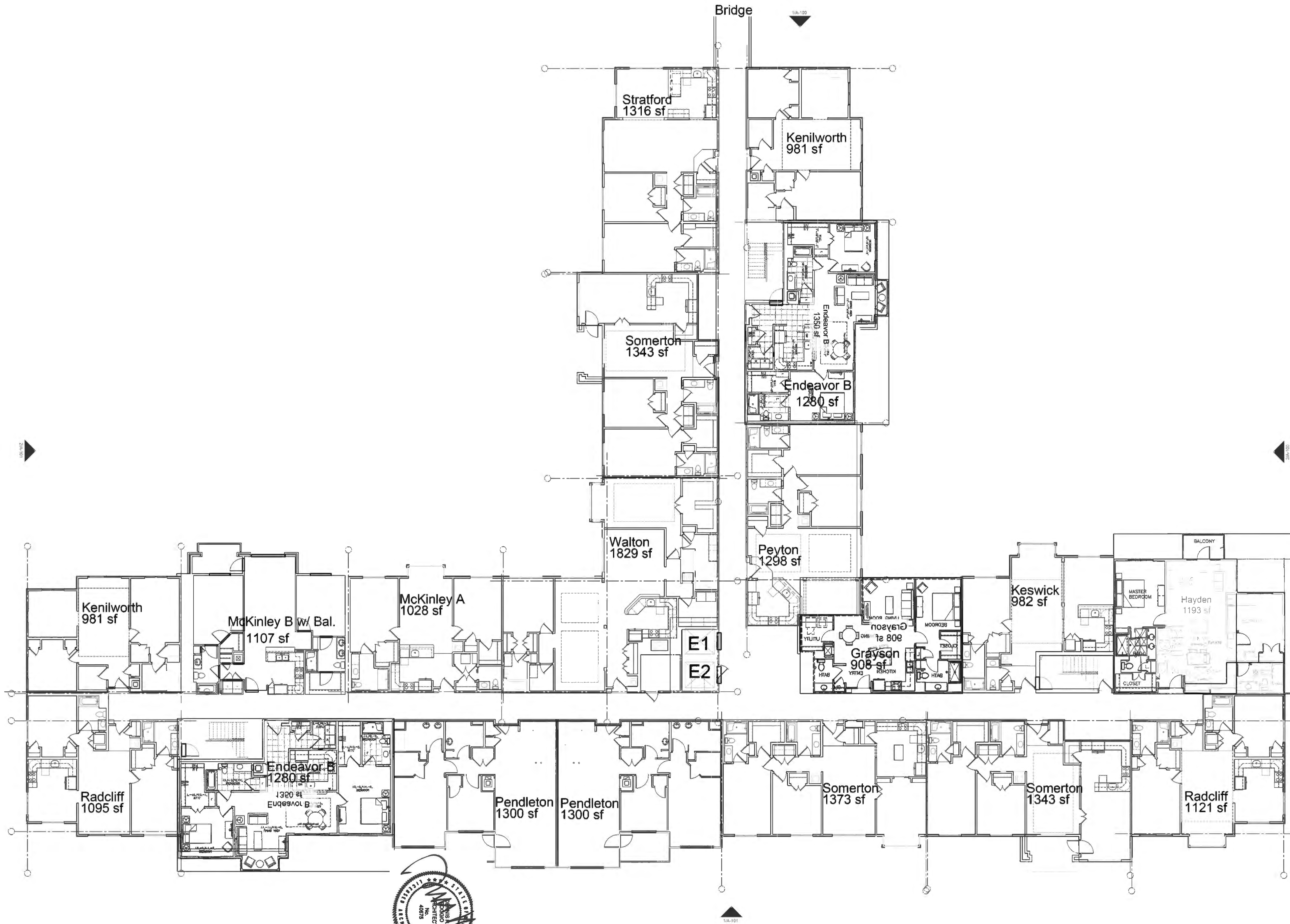
Project:
Fox Run
 Novi, Michigan
 SECTION 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LEVEL 2 PLAN

Issue For:
 Project Number:
 Drawn:
 Checked:
 Date: 9-17-13
 Scale: 3/32" = 1'0"

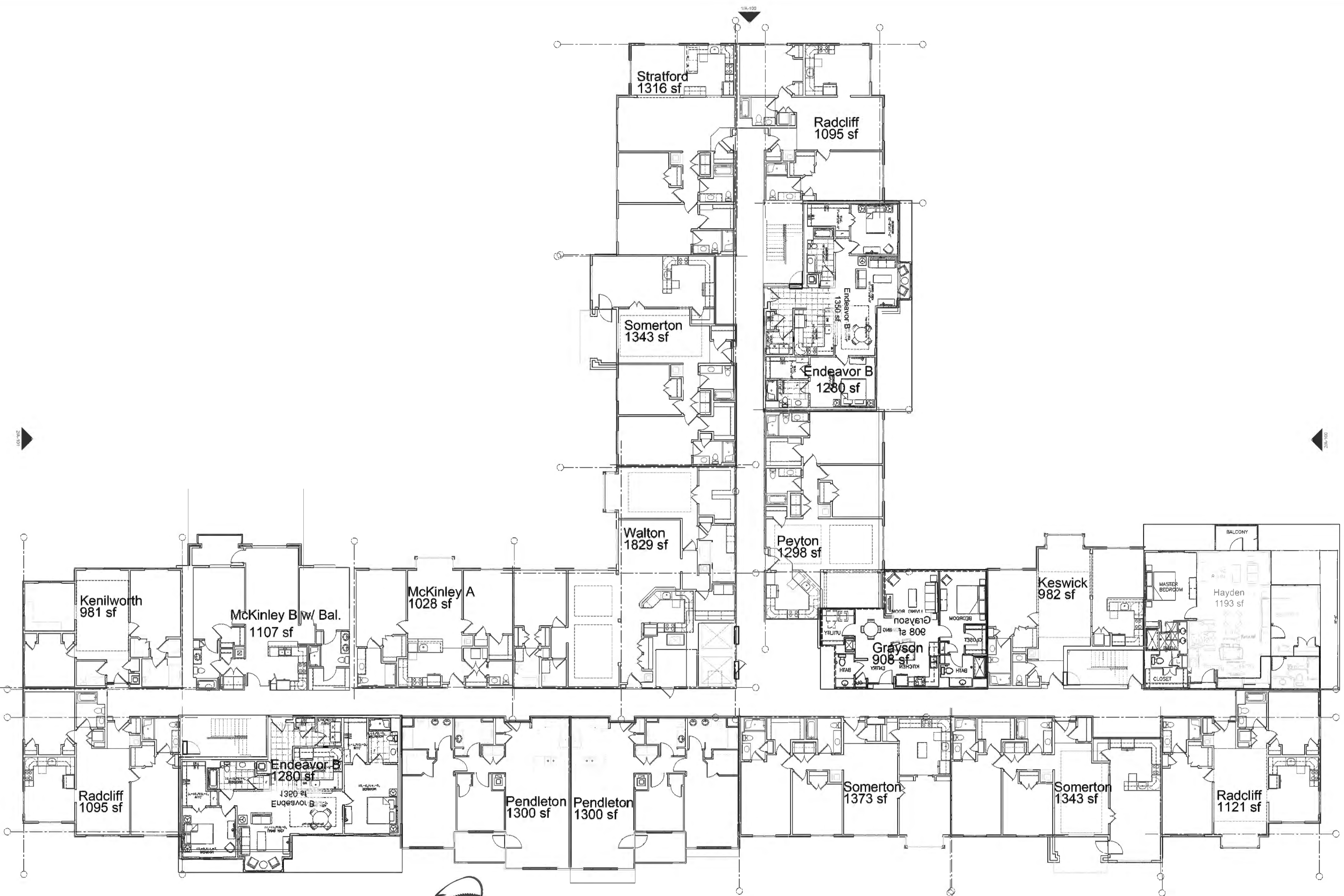
Revised:
 10-17-13 Per City Review Comments

Sheet Number: **A-104**



FOX RUN
LEVEL 2 PLAN
SCALE: 3/32" = 1'0"





FOX RUN
LEVEL 3-5 PLAN
SCALE: 3/32" = 1'0"



KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
248 477 8600 TEL
248 477 8629 FAX
33003 BROADSTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
www.kwla.com

ZIMET W. ZNIAK
& ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zimetzniak.com

Lantz-Boggio Architects, P.C.
6650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0436 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life!
701 Maiden Choke Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM
MISS DIG SYSTEM, INC.
1-800-482-7171

Project:
Fox Run
Novi, Michigan
SECTION 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.3 LEVEL 3-5 PLAN

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 3/32"=1'0"

Revised:
10-17-13 Per City Review Comments

Sheet Number: **A-105**



1 NORTH ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	21	25
TRIM	2	15
EIFS	25	25
BRICK	51	100 (30% MIN)
FABRIC AWNING	1	10

KENNETH WEIKAL
LANDSCAPE ARCHITECTURE
248 477 3600 TEL
248 477 3609 FAX
33203 RIDGESTONE LANE, FARMINGTON HILLS, MICHIGAN 48334-4313
www.kw-la.com

ZEMET W ZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
55800 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zemetznia.com

Lantz-Boggio Architects, P.C.
5650 DTC Pkwy. | Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8709

Erickson Living
Add more Living to your Life®

Erickson Living
701 Maiden Choke Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

THREE FULL WORKING DAYS BEFORE YOU DIG, CALL THE MISS DIG SYSTEM
MISS DIG SYSTEM, INC.
1-800-482-7171

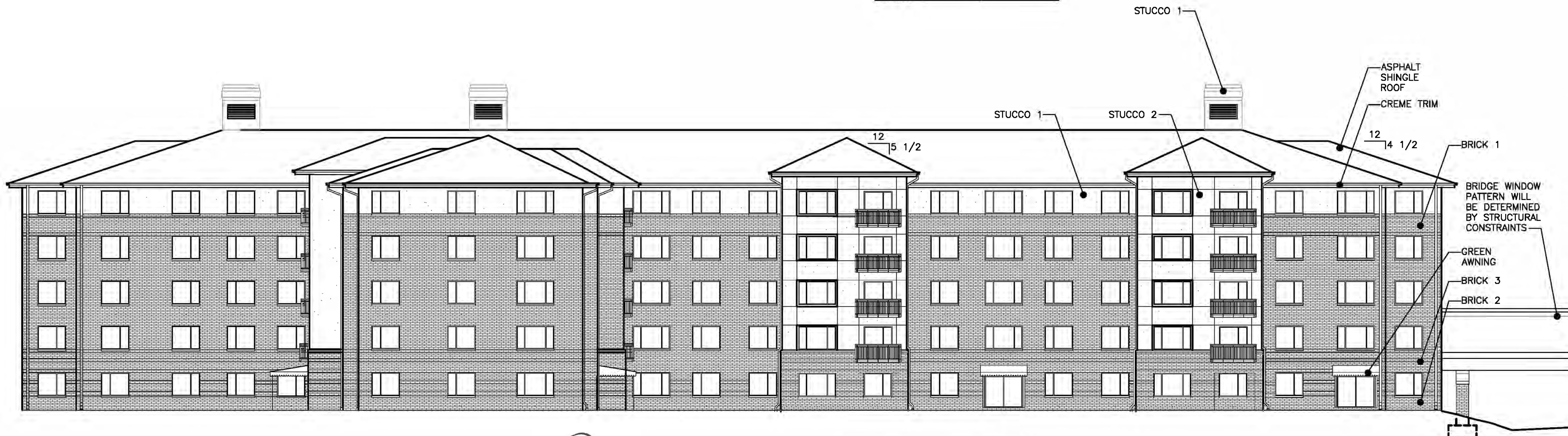
Project:
Fox Run
Novi, Michigan
SECTION 1

Sheet:
PHASE 2 PRELIMINARY SITE PLAN
RB 2.4 NORTH & WEST ELEVATIONS

Issue For:
Project Number:
Drawn:
Checked:
Date: 9-17-13
Scale: 3/32"=1'0"

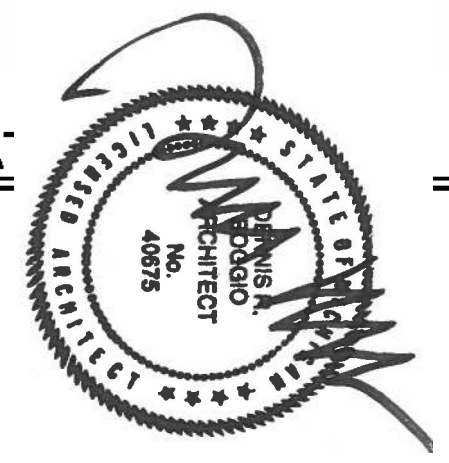
Revised:
10-17-13 Per City Review Comments

Sheet Number: **A-106**



2 WEST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	20	25
BRICK	57	100 (30% MIN)
FABRIC AWNING	1	10



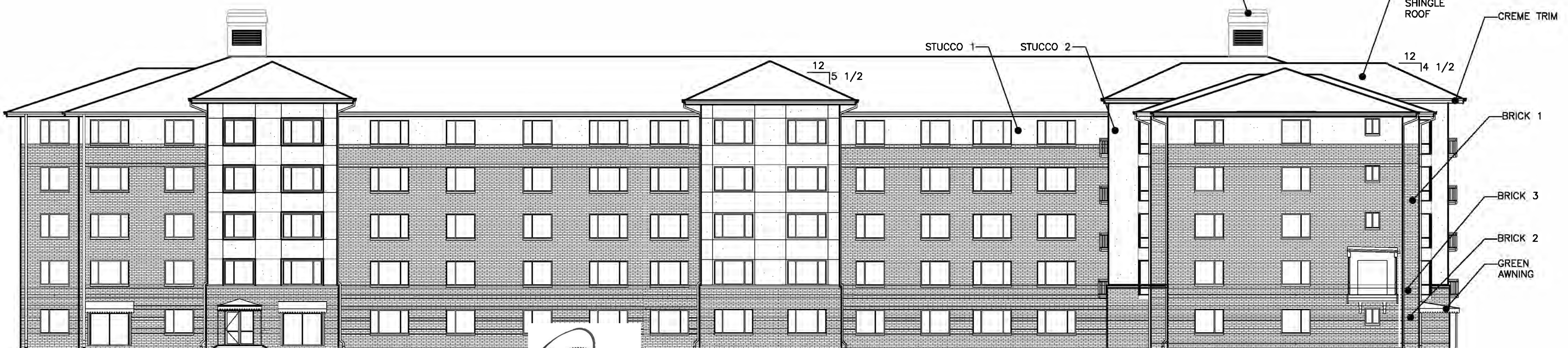
NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL.
NOTE: THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL.





1 EAST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	24	25
TRIM	2	15
EIFS	23	25
BRICK	50	100 (30% MIN)
FABRIC AWNING	1	10



SOUTH ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	20	25
BRICK	57	100 (30% MIN)
FABRIC AWNING	1	10

NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL.

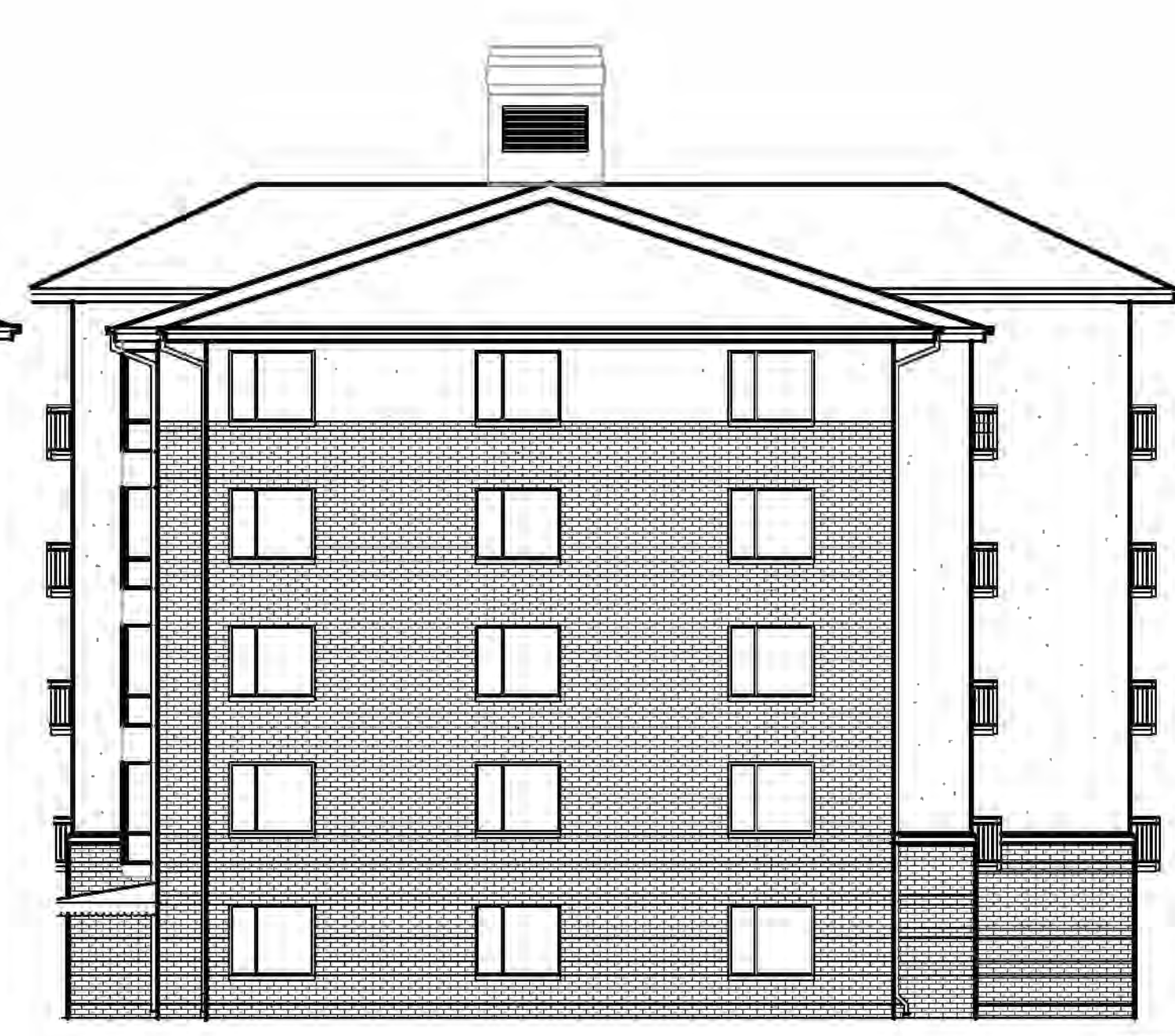
NOTE: THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL.





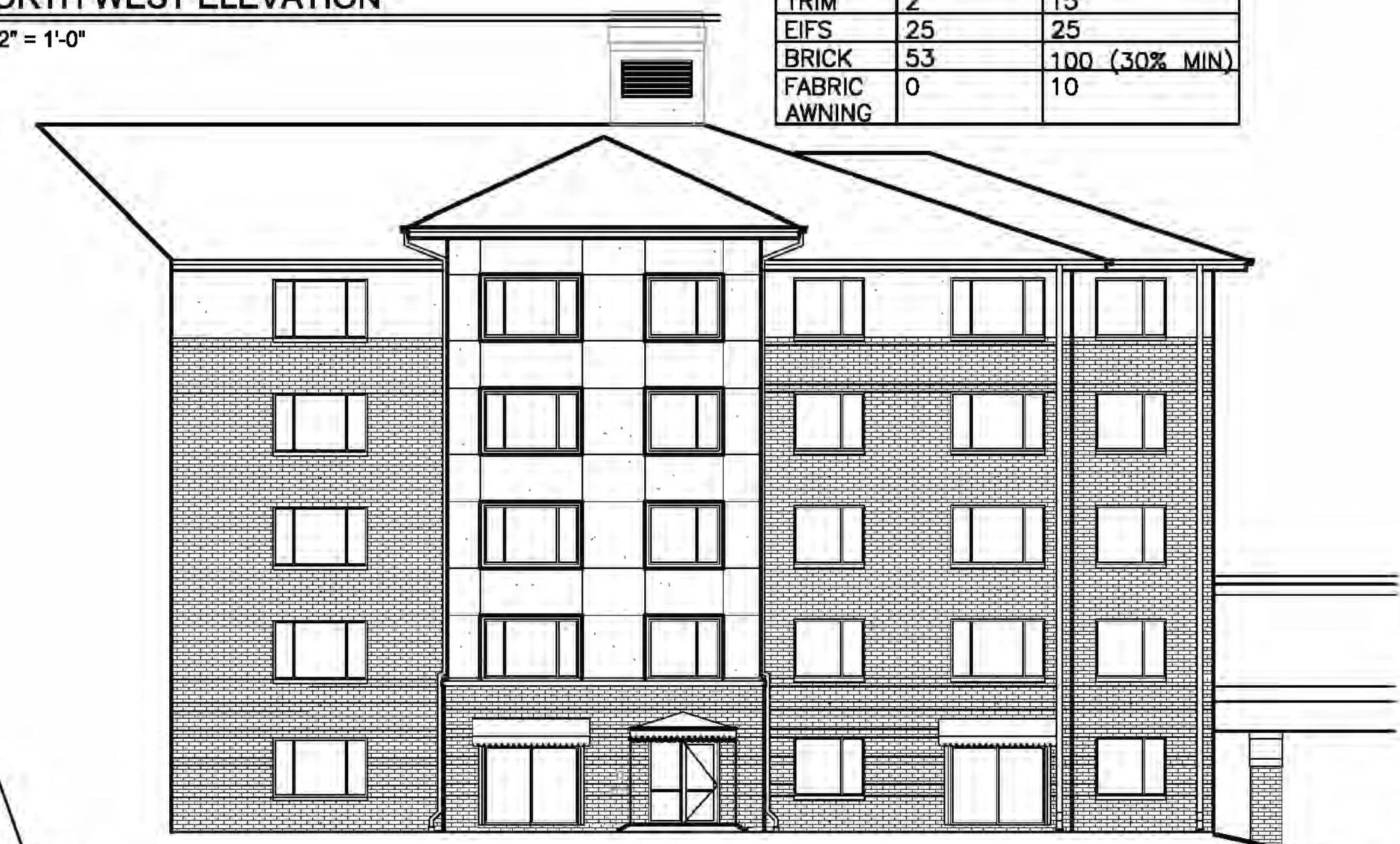
1 NORTH EAST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	24	25
TRIM	2	15
EIFS	23	25
BRICK	50	100 (30% MIN)
FABRIC AWNING	1	10



2 NORTH WEST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	25	25
BRICK	53	100 (30% MIN)
FABRIC AWNING	0	10

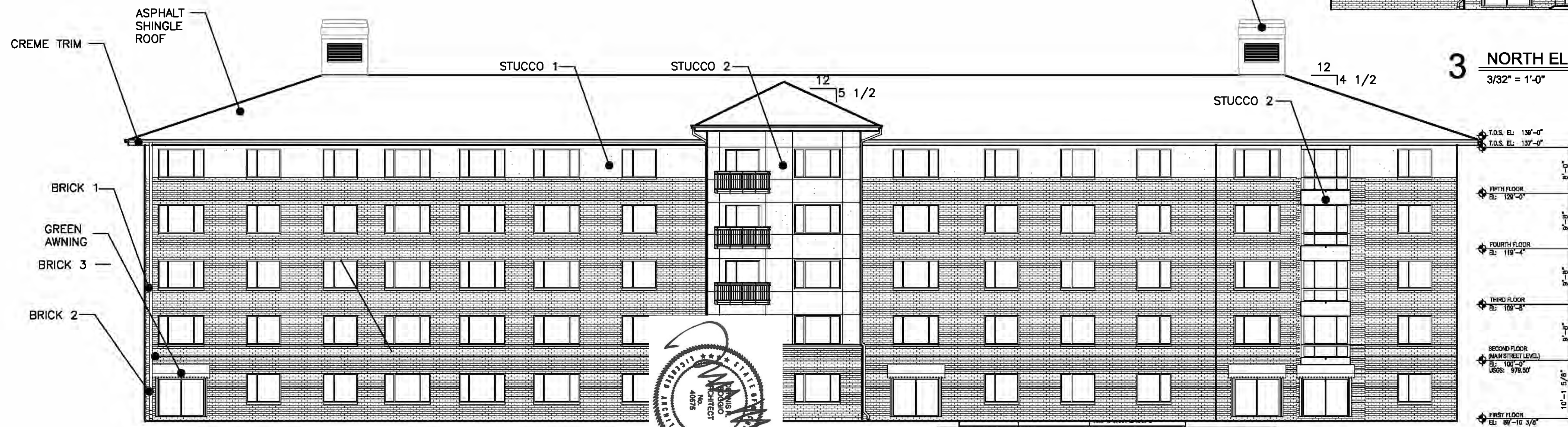


3 NORTH ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	24	25
TRIM	2	15
EIFS	23	25
BRICK	50	100 (30% MIN)
FABRIC AWNING	1	10

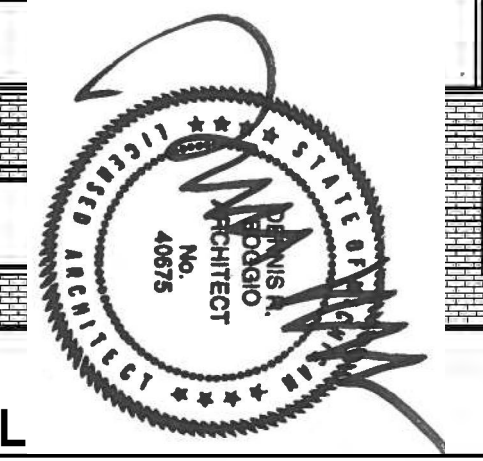
NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL.

NOTE: THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL.



4 EAST EL
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	20	25
BRICK	57	100 (30% MIN)
FABRIC AWNING	1	10





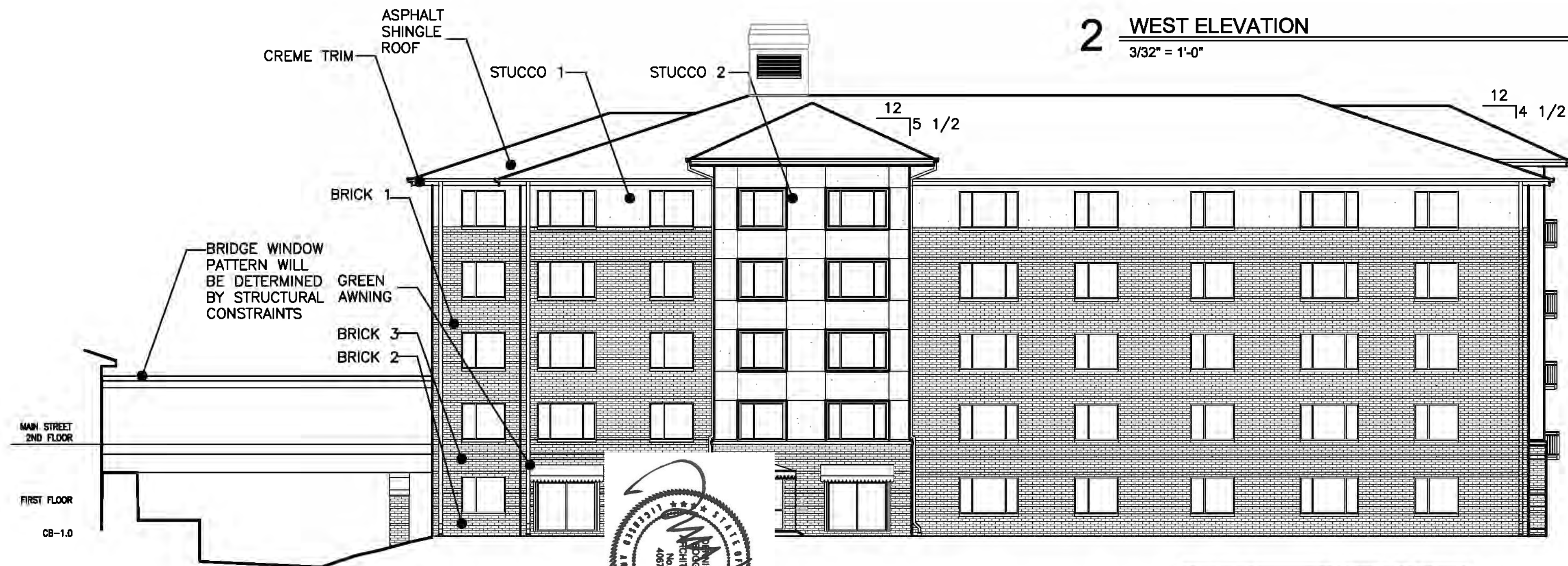
1 SOUTH WEST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	24	25
TRIM	2	15
EIFS	23	25
BRICK	50	100 (30% MIN)
FABRIC AWNING	1	10



2 WEST ELEVATION
3/32" = 1'-0"

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	20	25
BRICK	57	100 (30% MIN)
FABRIC AWNING	1	10

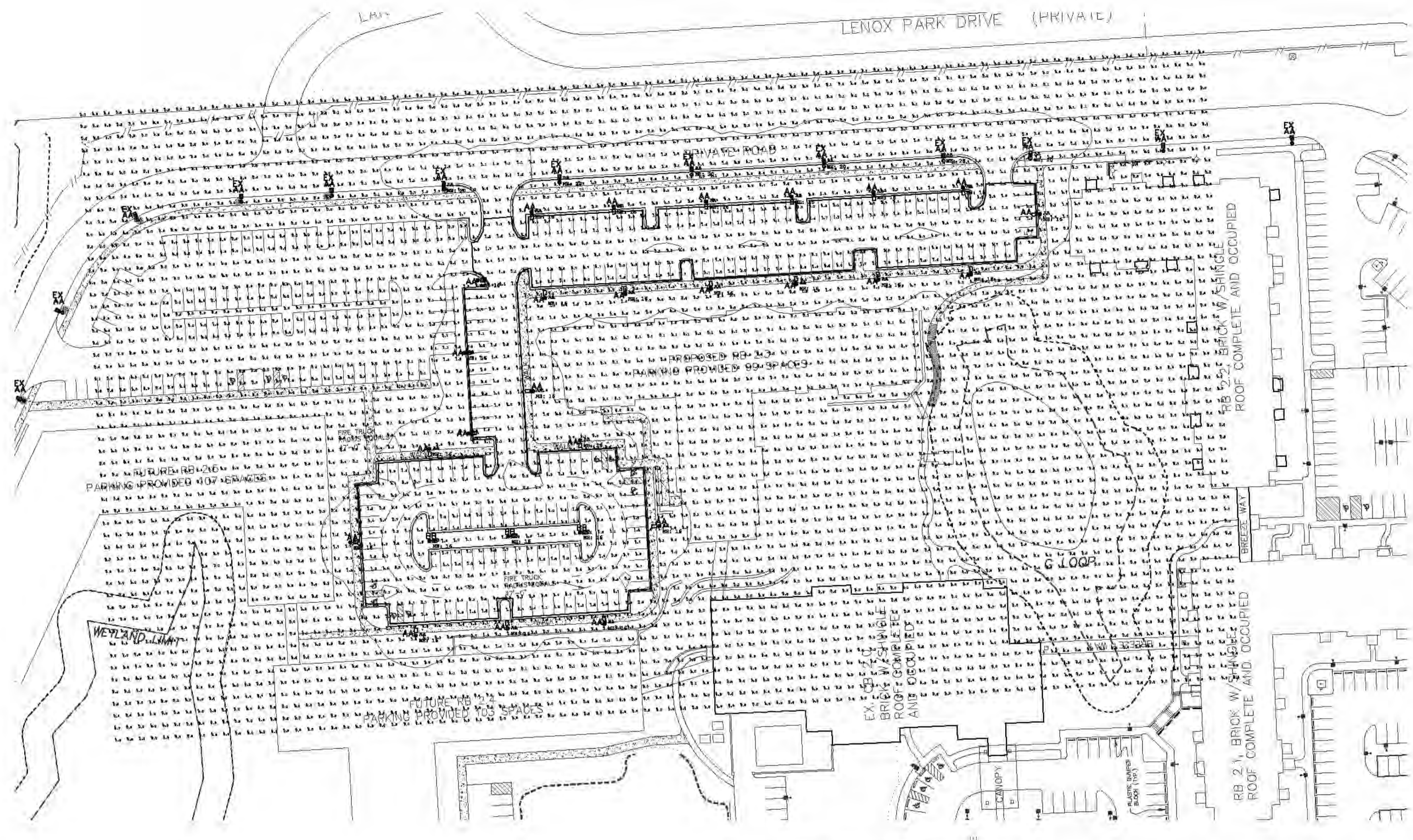


3 SOUTH EAST ELEVATION

MATERIAL	FACADE %	ORDINANCE MAXIMUM%
ASPHALT SHINGLE	20	25
TRIM	2	15
EIFS	20	25
BRICK	57	100 (30% MIN)
FABRIC AWNING	1	10

NOTE: ALL UNITS IN THE REMAINING PHASE II WILL MEET MINIMUM FLOOR AREA REQUIREMENTS AS PART OF THE NEXT PLAN SUBMITTAL.
NOTE: THE MAXIMUM NUMBER OF EFFICIENCY UNITS ON SITE WILL BE 10% AS PART OF THE NEXT PLAN SUBMITTAL.





PARKING AND DRIVES

Illuminance (Fc)
 Average = 1.15
 Maximum = 3.1
 Minimum = 0.3
 Avg/Min Ratio = 3.83
 Max/Min Ratio = 10.33

LANDSCAPE ARCHITECTURE

948 477 8801 TEL
948 477 2663 FAX
2525 HICKORY HILL, ANN ARBOR, MI 48106
www.spl.com

ZIMET WOZNAK & ASSOCIATES
 Civil Engineers & Land Surveyors
 5300 GRAYD RIVER AVE. SUITE 100
 NEW HUDSON, MICHIGAN 48165
 P: (248) 437-5099 F: (248) 437-5222 www.zimzewo.com

Lantz-Boggio Architects, P.C.

5650 DTC Hwy. | Suite 200 | Englewood | CO 80111
 Ph: 303.773.0436 | Fax: 303.773.8709

\\LOGO_IMAGES\ERICK_LIV_LOGO_1.jpg

Erickson Living
 701 Malden Choice Lane
 Baltimore, MD 21226

FOX RUN
 NOVI, MICHIGAN

10-15-2013

MISS DIG SYSTEM, INC.
 1-800-482-7171

THREE FULL WORKING DAYS BEFORE YOU DIG. CALL THE MISS DIG SYSTEM.

Project: **Fox Run**
 Nov, Michigan
 SECTION 1

Sheet: **PHASE 2 PRELIMINARY SITE PLAN SITE PHOTOMETRIC PLAN**

Issue For: _____
 Project Number: _____
 Drawn: _____
 Checked: _____
 Date: 10-14-13
 Scale: 1" = 50'-0"

Revised: 10-17-13 PER CITY COMMENTS

Luminaire Schedule						
Scene: Scene 1						
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description
+ □	30	AA	SINGLE	8600	1.000	GB-3-100-CMH-F
+ □	3	BB	SINGLE	8600	1.000	GB-5-100-CMH-F

GREENBRIAR® - SMALL
LUMINAIRE ORDERING INFORMATION

TYPICAL ORDER EXAMPLE: GB 5 175 PSMV F MT BRZ PCR

Luminaire Profile	Distribution	Lamp Wattage	Light Source	Lens	Line Voltage	Luminaire Finish	Options
GB	2 - Type II Vertical Beam 3 - Type III Vertical Beam 4 - Forward Throw Horizontal Beam 5 - Forward Throw Vertical Beam	100 150 175	PSMV - Pulse Start Metal Halide 175 Watt GMH - General Purpose Metal Halide 100 Watt MH - Metal Halide 150 Watt HPS - High Pressure Sodium 150 Watt	1 - Flat Clear Tempered Glass 2 - Flat Clear Tempered Glass	120V 277V 347V	BRZ - Bronze BK - Black PL - Platinum Plak WH - White SV - Satin Verde Green GR - Graphite AS - Anodized Silver	PCR - Photometric Control Repack 1 - Lens Lamp
AH	Asymmetrical (Mogul Base) Horizontal Beam	100 175	PSMV - Pulse Start Metal Halide 175 Watt GMH - General Purpose Metal Halide 100 Watt HPS - High Pressure Sodium 150 Watt	1 - Flat Clear Tempered Glass	120V 277V 347V	BRZ - Bronze BK - Black PL - Platinum Plak WH - White SV - Satin Verde Green GR - Graphite AS - Anodized Silver	PCR - Photometric Control Repack 1 - Lens Lamp

FOOTNOTES:
1. Available in GMH AH or HPS light sources only.
2. All lamps have a medium base except Asymmetrical Horizontal Beam (AH) which has a mogul base.
3. PCR factory installed and grounded for highest output. Alternates voltage and ballast re-wiring. Protocol must be created for factory re-wiring. See focus codes.

ACCESSORY ORDERING INFORMATION (Accessories are field installed)

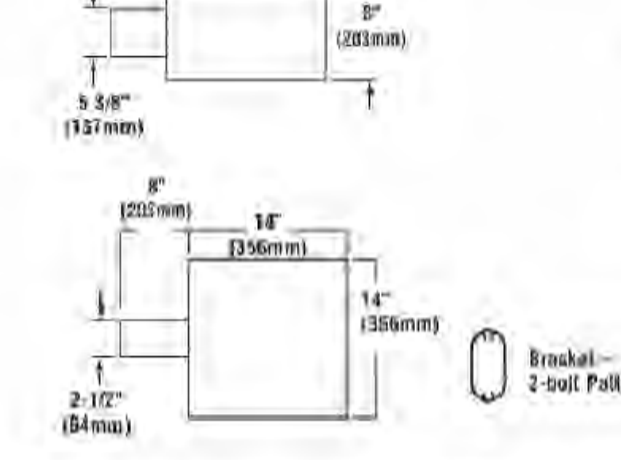
Description	Order Number	Description	Order Number
PSMV - Photocell	15511	ERK20 - Dark Fixture	15445
PSMV-OT - Photocell for 150V, 240V or 277V	15511	RK17 - Single Fixing	15047
PSMV - Photocell	15511	HSS - Single Size Thread	15228
PSMV - Photocell	15511	PSMV - Single Pole Pole	15048
PSMV - Single Pole Pole	15511	PSMV - Single Pole Pole	15048
PSMV - Single Pole Pole	15511	PSMV - Single Pole Pole	15048
PSMV - Single Pole Pole	15511	PSMV - Single Pole Pole	15048

Project Name: _____ Fixture Type: _____
Drawing #: _____

GREENBRIAR® - SMALL (Various reflectors are protected by U.S. Patent No. 6,464,378)



DIMENSIONS



LUMINAIRE EPA CHART - Greenbriar Small

Beam Spread	Foot Candles
Single	1.4
2°	2.8
4°	5.6
6°	8.4
8°	11.2
10°	14.0
12°	16.8
14°	19.6
16°	22.4
18°	25.2
20°	28.0
22°	30.8
24°	33.6
26°	36.4
28°	39.2
30°	42.0
32°	44.8
34°	47.6
36°	50.4
38°	53.2
40°	56.0
42°	58.8
44°	61.6
46°	64.4
48°	67.2
50°	70.0
52°	72.8
54°	75.6
56°	78.4
58°	81.2
60°	84.0
62°	86.8
64°	89.6
66°	92.4
68°	95.2
70°	98.0
72°	100.8
74°	103.6
76°	106.4
78°	109.2
80°	112.0
82°	114.8
84°	117.6
86°	120.4
88°	123.2
90°	126.0
92°	128.8
94°	131.6
96°	134.4
98°	137.2
100°	140.0

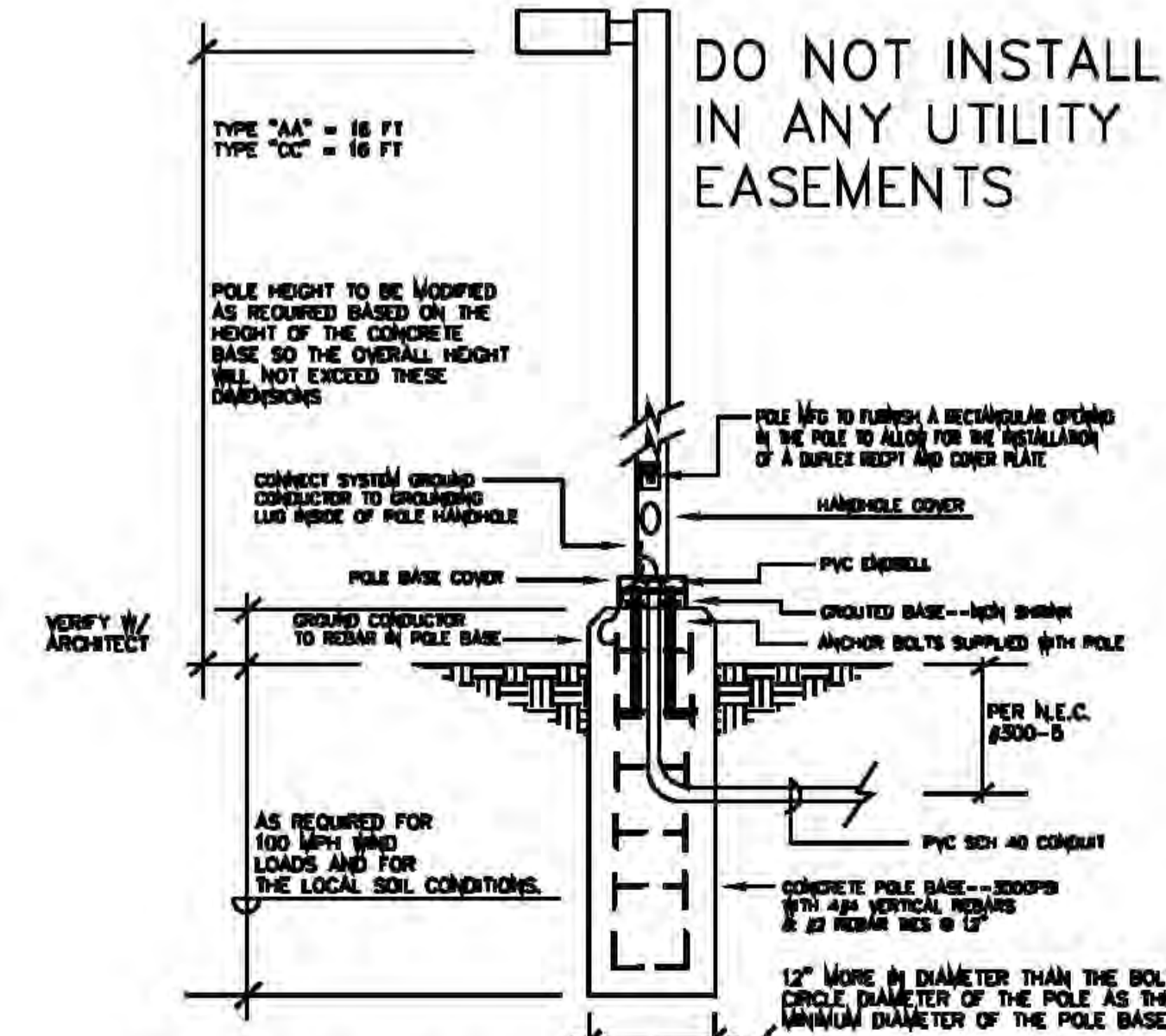
Note: House Side Shield adds to fixture EPA. Consult factory.

SHIPPING WEIGHTS - Greenbriar Small

Order Number	Est. Weight (kg/lb.)	Length (mm/in.)	Width (mm/in.)	Height (mm/in.)
GB	10/25	430/17	110/4.3	350/14

Project Name: _____ Fixture Type: _____
Drawing #: _____

THESE ARE THE TYPE "AA" AND "BB" LUMINAIRES. THEY ARE FULL CUT OFF TYPE LUMINAIRES



IN LIEU OF A CONCRETE POLE BASE AS SHOWN IT IS ACCEPTABLE TO USE AN AUGER DRILL TYPE BASE TO MATCH THE EXISTING ON SITE

POLE BASE DETAIL

GREENBRIAR
LANDSCAPE ARCHITECTURE
248 477 3800 TEL
248 477 3800 FAX
248 468-4313
3203 BUCKSTONE LANE, WARREN, MICHIGAN 48090
WWW.GB-LL.COM

ZIMET WOZNIAK & ASSOCIATES
Civil Engineers & Land Surveyors
5300 GRAND RIVER AVE., SUITE 100
NEW HUDSON, MICHIGAN 48165
P: (248) 437-5099 F: (248) 437-5222 www.zimetwozniak.com

Lantz-Boggio Architects, P.C.
6850 DTC Pkwy, Suite 200 | Englewood | CO 80111
Ph: 303.773.0438 | Fax: 303.773.8709

ERICKSON LIVING
701 Maiden Choice Lane
Baltimore, MD 21228

FOX RUN
NOVI, MICHIGAN

MISS DIG SYSTEM, INC.
1-800-482-7171

MISS DIG SYSTEM, INC.
1-800-482-7171

Project: Fox Run
Location: Novi, Michigan
SECTION: SECTION 1

Sheet: PHASE 2 PRELIMINARY SITE PLAN LUMINAIRE SUBMITTALS

Issue For: _____
Project Number: _____
Drawn: _____
Checked: _____
Date: 10-14-13
Scale: N/A

Revised: _____
10-17-13 PER CITY COMMENTS

Sheet Number: SL2