



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

MEETING DATE: November 19, 2024

REGARDING: Parcel # 50-22-16-300-055 (PZ24-0055)

BY: Alan Hall, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Central Park Estates South

Variance Type

Dimensional Variance

Property Characteristics

Zoning District: This property is zoned High-Density Multiple-Family (RM-2)

Location: north of Eleven Mile Road, east of Beck Road

Parcel #: 50-22-16-300-055

Request

The applicant is requesting variances from the City of Novi Zoning Ordinance Section 3.8.2.C for an increase in maximum horizontal length of the building to 261 ft. (180 ft. maximum, variance of 81 ft.); Section 3.8.2.F for a reduction in parking setback to 11.5 ft. (per Section 3.1.8.D, 20 ft. required, variance of 8.5 ft.); Section 5.10.1.B.vi for a reduction of building setback from the abutting parking spaces to 17 ft. (25 ft. required, variance of 8 ft.); and Section 3.1.8.D to either allow areas with less than 50-foot dimension to be considered as usable open space or reduce the required open space to 19,726 sq. ft. (28,400 sq. ft. required, variance of 8,674 sq. ft.)

II. STAFF COMMENTS:

The applicant, Central Park Estates South, is seeking (4) variances for a 5-story residential project.

History: *on November 14, 2023 these same variances were granted.*

- 1) An 81-foot variance to increase the maximum horizontal length of the building to 261 lineal feet. The maximum overall horizontal length of any (one) building or group of buildings attached together is 180-feet.*

- 2) *An 8.5-foot variance to reduce the parking setback between the parking and the property line. (20-feet required, 11.5-feet total setback requested)*
- 3) *An 8-foot variance to reduce the parking setback between the parking and the building. (25-feet required, 17-feet total setback requested)*
- 4) *For the RM-2 zoning District, 142 Units require a minimum of open space of 200sf per unit which equals 28,400sf. The applicant is requesting a variance reduction of 8,674sf.*

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

- 1. I move that we **grant** the variance in Case No. **PZ24-0055**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____

_____.

 - (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____

_____.
 - (b) The property is unique because _____

_____.
 - (c) Petitioner did not create the condition because _____

_____.
 - (d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because _____

_____.
 - (e) The relief if consistent with the spirit and intent of the ordinance because _____

_____.
 - (f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ24-0055**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because _____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by _____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to _____.

Zoning Board of Appeals
Central Park Estates South
Case # PZ24-0055

November 19, 2024
Page 4 of 4

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Alan Hall – Deputy Director Community Development - City of Novi



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ZONING BOARD OF APPEALS APPLICATION

RECEIVED

SEP 30 2024

CITY OF NOVI
COMMUNITY DEVELOPMENT

APPLICATION MUST BE FILLED OUT COMPLETELY

| | | | | |
|--|--|---|--------------------------------|--|
| I. PROPERTY INFORMATION (Address of subject ZBA Case) | | | | Application Fee: \$330.00 Meeting Date: 11-19-24 ZBA Case #: PZ 24-0055 |
| PROJECT NAME / SUBDIVISION Central Park Estates South | | | | |
| ADDRESS Beck Rd. | | LOT/SIUTE/SPACE # | | |
| SIDWELL # 50-22- 16 - 300 - 055 | | May be obtain from Assessing Department (248) 347-0485 | | |
| CROSS ROADS OF PROPERTY East side of Beck Rd - South of Grand River Ave. | | | | |
| IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | REQUEST IS FOR: <input checked="" type="checkbox"/> RESIDENTIAL <input type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE | | |
| DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO | | | | |
| II. APPLICANT INFORMATION | | | | |
| A. APPLICANT | | EMAIL ADDRESS bbowman@suburbanshowplace.com | CELL PHONE NO. 248-207-8040 | |
| NAME Blair Bowman | | TELEPHONE NO. 248-348-5600 x211 | | |
| ORGANIZATION/COMPANY Nobe Property Group II | | FAX NO. 248-347-7720 | | |
| ADDRESS 46100 Grand River Avenue | | CITY Novi | STATE MI | |
| | | | ZIP CODE 48374 | |
| B. PROPERTY OWNER <input checked="" type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER | | | | |
| Identify the person or organization that owns the subject property: | | EMAIL ADDRESS | CELL PHONE NO. | |
| NAME | | TELEPHONE NO. | | |
| ORGANIZATION/COMPANY | | FAX NO. | | |
| ADDRESS | | CITY | STATE | |
| | | | ZIP CODE | |
| III. ZONING INFORMATION | | | | |
| A. ZONING DISTRICT | | | | |
| <input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input checked="" type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____ | | | | |
| B. VARIANCE REQUESTED | | | | |
| INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED: | | | | |
| 1. Section <u>3.8.2.C</u> | | Variance requested <u>additional setback for building length over 180'</u> | | |
| 2. Section <u>3.1.8.D&3.8.2.F</u> | | Variance requested <u>parking setback to property line</u> | | |
| 3. Section <u>5.10.1.B.iv</u> | | Variance requested <u>parking setback to building</u> | | |
| 4. Section <u>3.1.8.D</u> | | Variance requested <u>useable open space dimension (terrace and path)</u> | | |
| IV. FEES AND DRAWINGS | | | | |
| A. FEES | | | | |
| <input type="checkbox"/> Single Family Residential (Existing) \$220 <input type="checkbox"/> (With Violation) \$275 <input type="checkbox"/> Single Family Residential (New) \$275 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> Signs \$330 <input type="checkbox"/> (With Violation) \$440 <input type="checkbox"/> House Moves \$330 <input type="checkbox"/> Special Meetings (At discretion of Board) \$660 | | | | |
| B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF | | | | |
| <ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable | | <ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application | | |



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign** ten-(10) days before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration of a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

_____ 9.30.24
Applicant Signature Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

_____ _____
Property Owner Signature Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

_____ _____
Chairperson, Zoning Board of Appeals Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Not Applicable Applicable If applicable, describe below:

Very unique shaped lot with many natural features
Adjacent site to the north/north east is owned by applicant, therefore the setbacks between parcels under same ownership are not necessary. Both projects are multi-family.

and/or

- b. Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.

Not Applicable Applicable If applicable, describe below:

Exceptional environmental conditions exist on the site, (wooded wetlands).

and/or

- c. Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.

Not Applicable Applicable If applicable, describe below:

Enforcement of the ordinance requiring setbacks between two similar multi-family developments under the same ownership is not necessary and if enforced would create significant practical difficulties impacting the natural resources (wooded wetlands) on the site.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The immediate practical difficulty causing the need for the dimensional variance is not self-created by the actions of the owner.

This site was always intended to be a future phase of the overall multi-family campus; it was not intended to be a separate stand alone project.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

If we are required to comply with the dimensional requirements it will unreasonably prevent us from using the property for a permitted purpose and will render conformity with those regulations unnecessarily burdensome. Complying with these setback requirements will impact the sites natural features or vastly reduce the buildable envelop which is an extreme hardship and practical difficulty. As previously stated, these setbacks are not necessary because both projects are like uses (multi-family).

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district. We have designed our building with the minimal footprint necessary to provide the maximum amount of protection of the sites natural features while allowing for the project to be successful. Our project will complement the other surrounding projects in the area.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

As previously stated, our project will compliment the other existing projects in the area. It will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district. Our project will increase property values, we will comply with all building, environmental and engineering codes, as well as the facade ordinance. Our project will be a wonderful addition to the community.

BOWMAN

CENTRAL PARK SOUTH

NOVI, MI

| SHEET LIST | |
|--------------|---------------------------------------|
| Sheet Number | Sheet Name |
| A1.1 | FIRST FLOOR |
| A1.2 | SECOND FLOOR |
| A1.3 | THIRD FLOOR |
| A1.4 | FOURTH FLOOR |
| A1.5 | FIFTH FLOOR |
| A1.6 | ROOF PLAN |
| A2 | EXT ELEVATIONS |
| A2.1 | EXT ELEVATIONS - COURTYARD & TERRACES |
| A3 | RENDERINGS |
| A4 | MATERIAL LEGEND |

OWNER:

BOWMAN

46100 GRAND RIVER AVENUE
NOVI, MI 48374
248.348.5600 EXT. 211

ARCHITECT:

ALEXANDER V. BOGAERTS

+ ASSOCIATES, P.C.

2445 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302
248.334.5000 (P)

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Alexander V. Bogaerts + Associates, P.C. ▪ Architecture ▪ Planning ▪ Interior Design

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Bloomfield Hills, MI 48302
248.334.5000

CLIENT PROJECT
BOWMAN
CENTRAL PARK SOUTH
NOVI, MI

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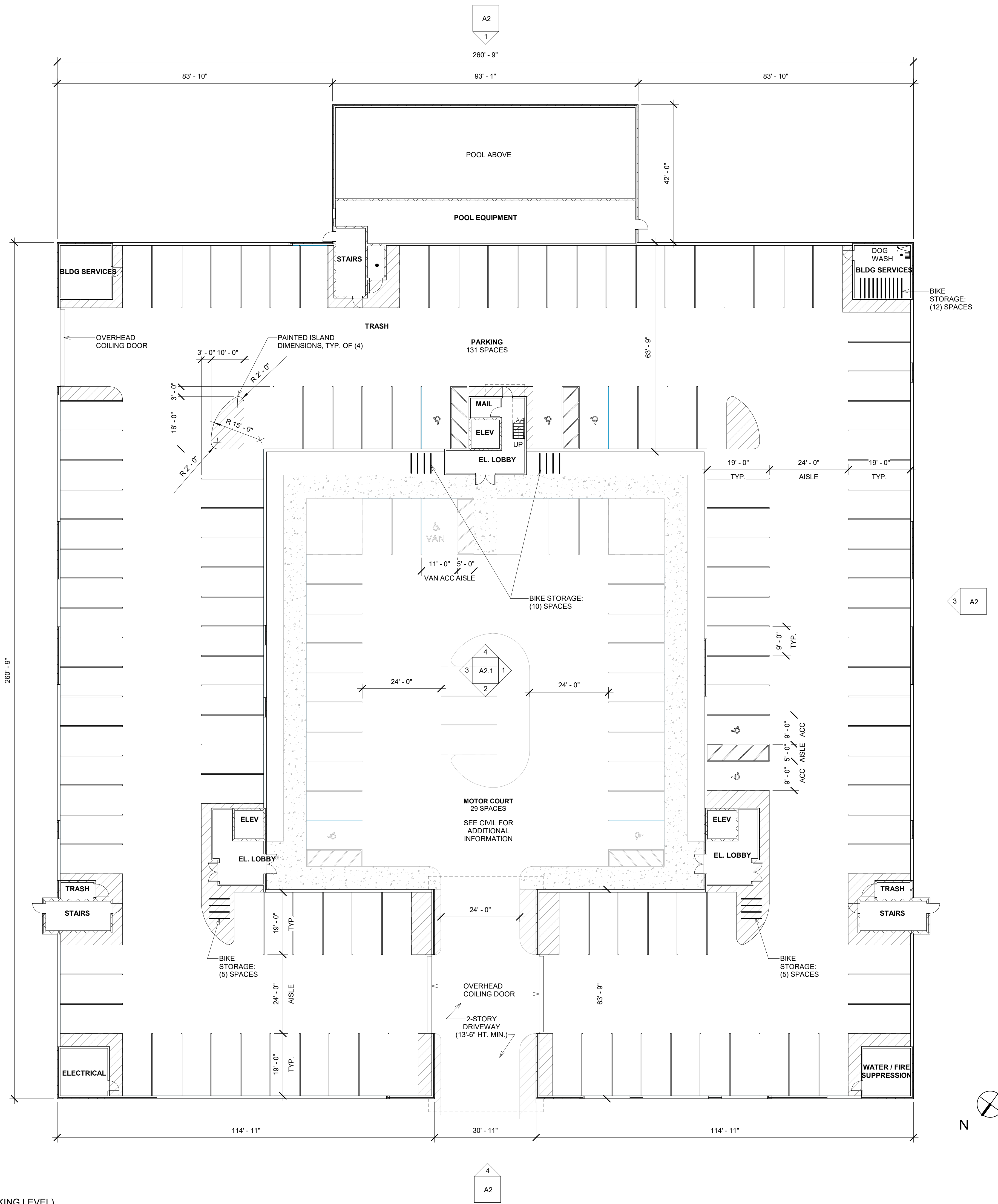
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DATE
08/25/2023

SHEET NUMBER
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SHEET TITLE
COVER



1 FIRST FLOOR PLAN (PARKING LEVEL)
1/16" = 1'-0"

NOTE:
BUILDING TO BE EQUIPPED WITH DRY SUPPRESSION SYSTEM (NFPA-13) ON FIRST FLR; AND FIRE SUPPRESSION SYSTEM (NFPA-13) ON SECOND THRU FOURTH FLR.

MICHIGAN BUILDING CODE CHPT 9 FIRE PROTECTION SYSTEMS:

- NFPA 13 SYSTEM THROUGHOUT, NFPA 14 STANDPIPE
- FIRE PUMP ROOM - 2-HR FIRE BARRIER (913.2.1)
- INCLUDES 2-HR HORIZONTAL ASSEMBLY (711)
- FIRE EXTINGUISHERS 75' SPACING

USABLE OPEN SPACE

REQUIRED: 28,400 SF
200 SF PER UNIT: 200 SF x 142 = 28,400 SF

TOTAL PROVIDED: 29,294 SF

BALCONIES: 13,400 SF

TYP. BALCONY: 98 SF x 116 = 11,368 SF
CORNER 2BR: 107 SF x 8 = 856 SF
DEN UNITS: 147 SF x 8 = 1,176 SF

TERRACES: 6,328 SF

POOL TERRACE: 4,046 SF
TERRACE A: 1,140 SF
TERRACE B: 1,140 SF

AMENITIES: 3,968 SF
CONSERVATION PATH: 5,600 SF
(8' W x 1,400' L) / 2 = 11,200 SF / 2 = 5,600 SF

SEE SITE/ENGINEERING PLAN FOR ADDITIONAL SHARED AMENITIES (FROM CENTRAL PARK):

- EXISTING CLUBHOUSE
- EXISTING POOL AND DECK
- TENNIS COURTS

BICYCLE STORAGE NOTE:

REQUIRED: 28
1 PER 5 DWELLING UNITS

PROVIDED: 32
22 COVERED BICYCLE RACKS
10 EXTERIOR BICYCLE RACKS

UNIT COUNT

1 BR 33% MAX STUDIO 10% MAX

| UNIT TYPE | MIN. AREA | COUNT | PERCENT |
|--------------|-----------|------------|-------------|
| 1BR | 763 SF | 40 | 28% |
| 1BR/DEN | 881 SF | 8 | 6% |
| 2BR | 763 SF | 74 | 52% |
| 2BR/DEN | 1312 SF | 8 | 6% |
| STUDIO | 475 SF | 12 | 8% |
| TOTAL | | 142 | 100% |

ROOM COUNT

NET SITE AREA: 6.616 ACRES OR 288,193 SF

ALLOWABLE ROOMS:
NET SITE AREA / 700 SF = 411 ROOMS

| UNIT TYPE | ROOM COUNT | TOTAL ROOMS |
|--------------|------------|-------------|
| 1BR | 2 | 80 |
| 1BR/DEN | 3 | 24 |
| 2BR | 3 | 222 |
| 2BR/DEN | 4 | 32 |
| STUDIO | 1 | 12 |
| TOTAL | | 370 |

BUILDING SQUARE FOOTAGE

| LEVEL | AREA |
|--------------|-------------------|
| FIRST FLOOR | 4,172 SF |
| SECOND FLOOR | 42,940 SF |
| THIRD FLOOR | 44,683 SF |
| FOURTH FLOOR | 44,683 SF |
| FIFTH FLOOR | 44,683 SF |
| TOTAL | 181,160 SF |

NOTE TO BUILDING OFFICIAL:
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Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design

2445 Franklin Road
Bloomfield Hills, MI 48302
248-334-5000

CLIENT PROJECT: BOWMAN CENTRAL PARK SOUTH NOV1, MI

SHEET TITLE: FIRST FLOOR

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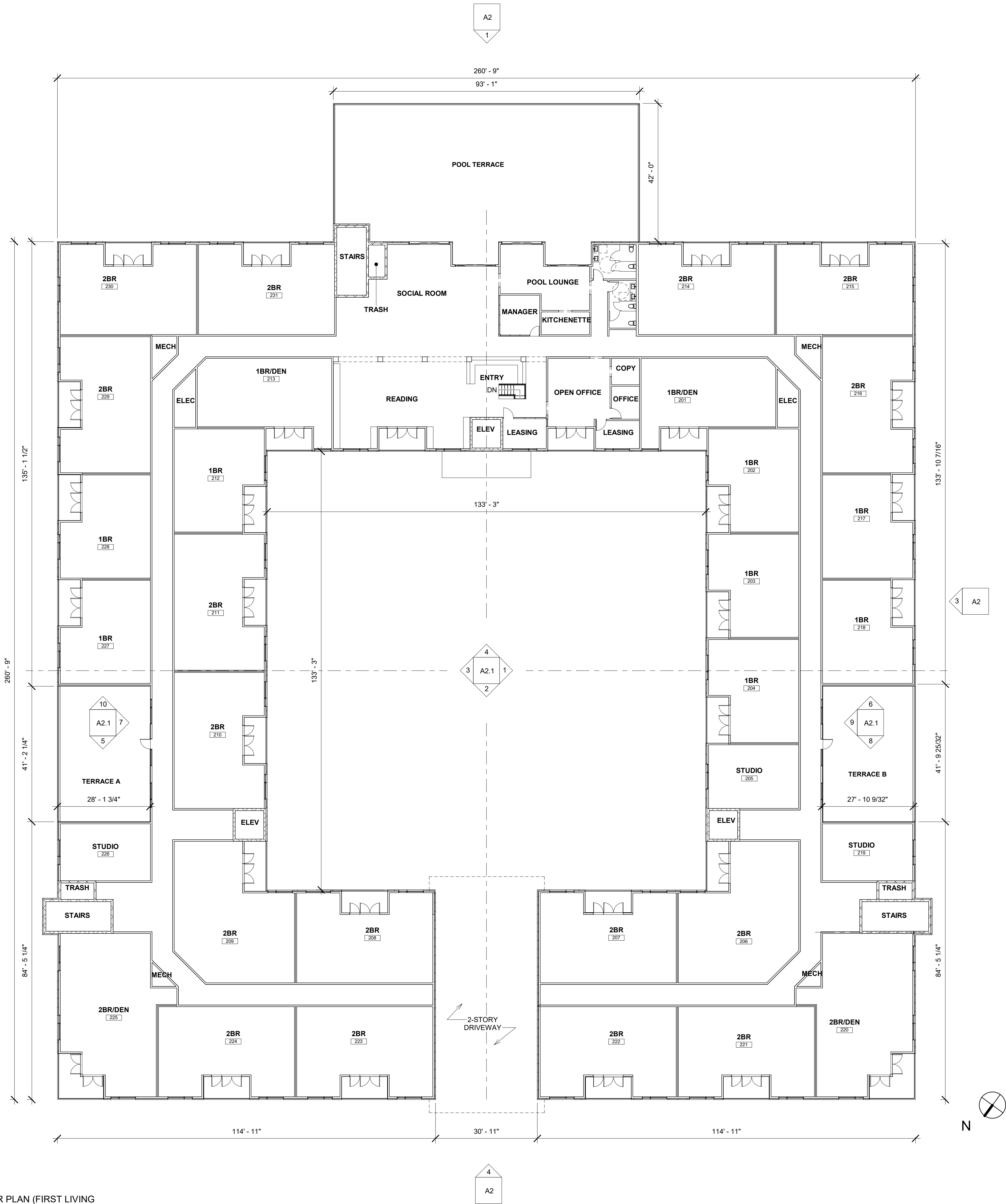
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SECOND FLOOR PLAN (FIRST LIVING LEVEL)
 ① 1/16" = 1'-0"



UNIT COUNT - SECOND FLOOR

| UNIT TYPE | MIN. AREA | COUNT |
|--------------|-----------|-----------|
| 1BR | 763 SF | 8 |
| 1BR/DEN | 881 SF | 2 |
| 2BR | 1031 SF | 16 |
| 2BR/DEN | 1312 SF | 2 |
| STUDIO | 475 SF | 3 |
| TOTAL | | 31 |



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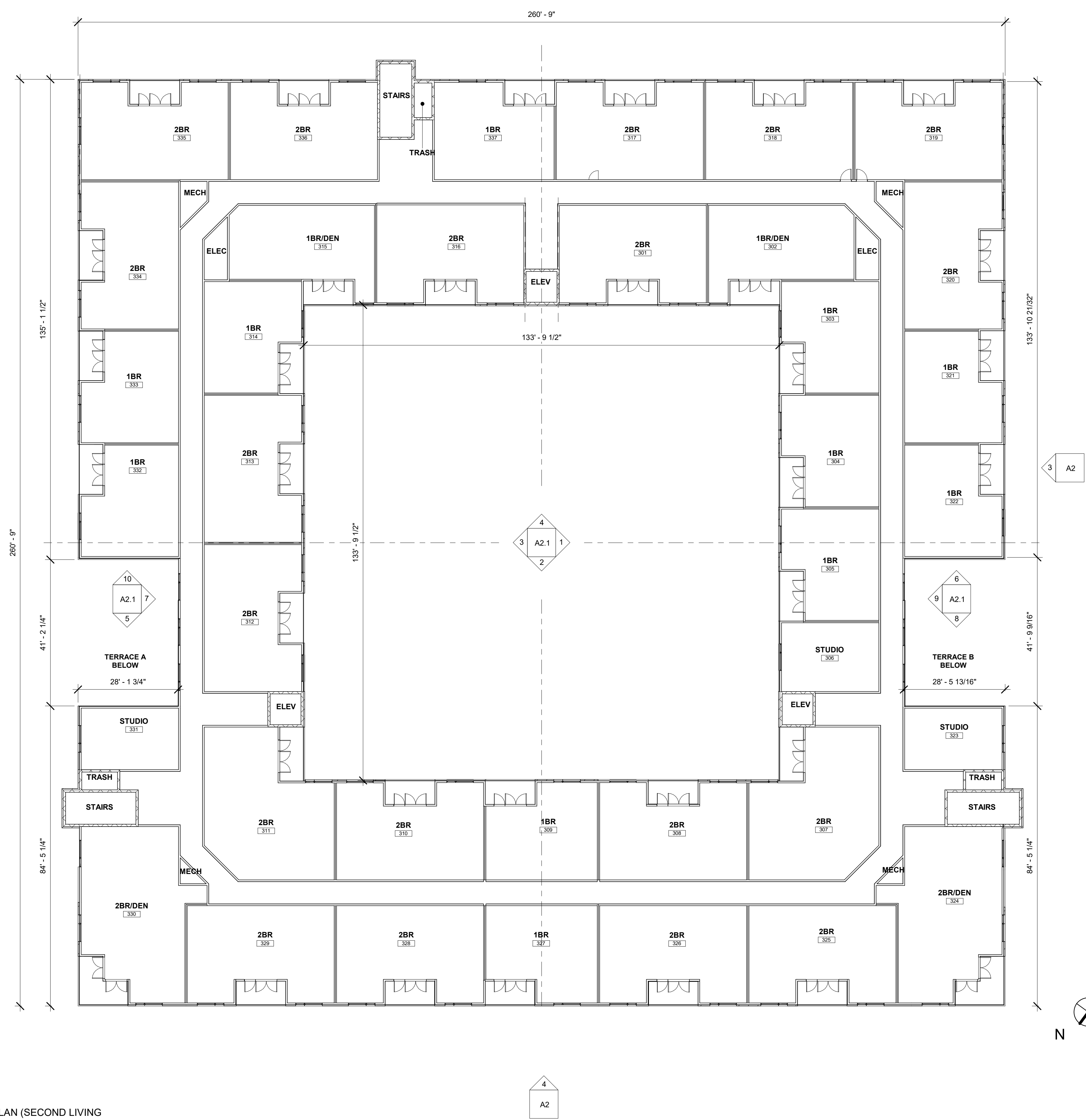
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UNIT COUNT - THIRD FLOOR

| UNIT TYPE | MIN. AREA | COUNT |
|-----------|-----------|-------|
| 1BR | 763 SF | 11 |
| 1BR/DEN | 881 SF | 2 |
| 2BR | 1031 SF | 19 |
| 2BR/DEN | 1312 SF | 2 |
| STUDIO | 475 SF | 3 |
| TOTAL | | 37 |

THIRD FLOOR PLAN (SECOND LIVING LEVEL)
 1/16" = 1'-0"



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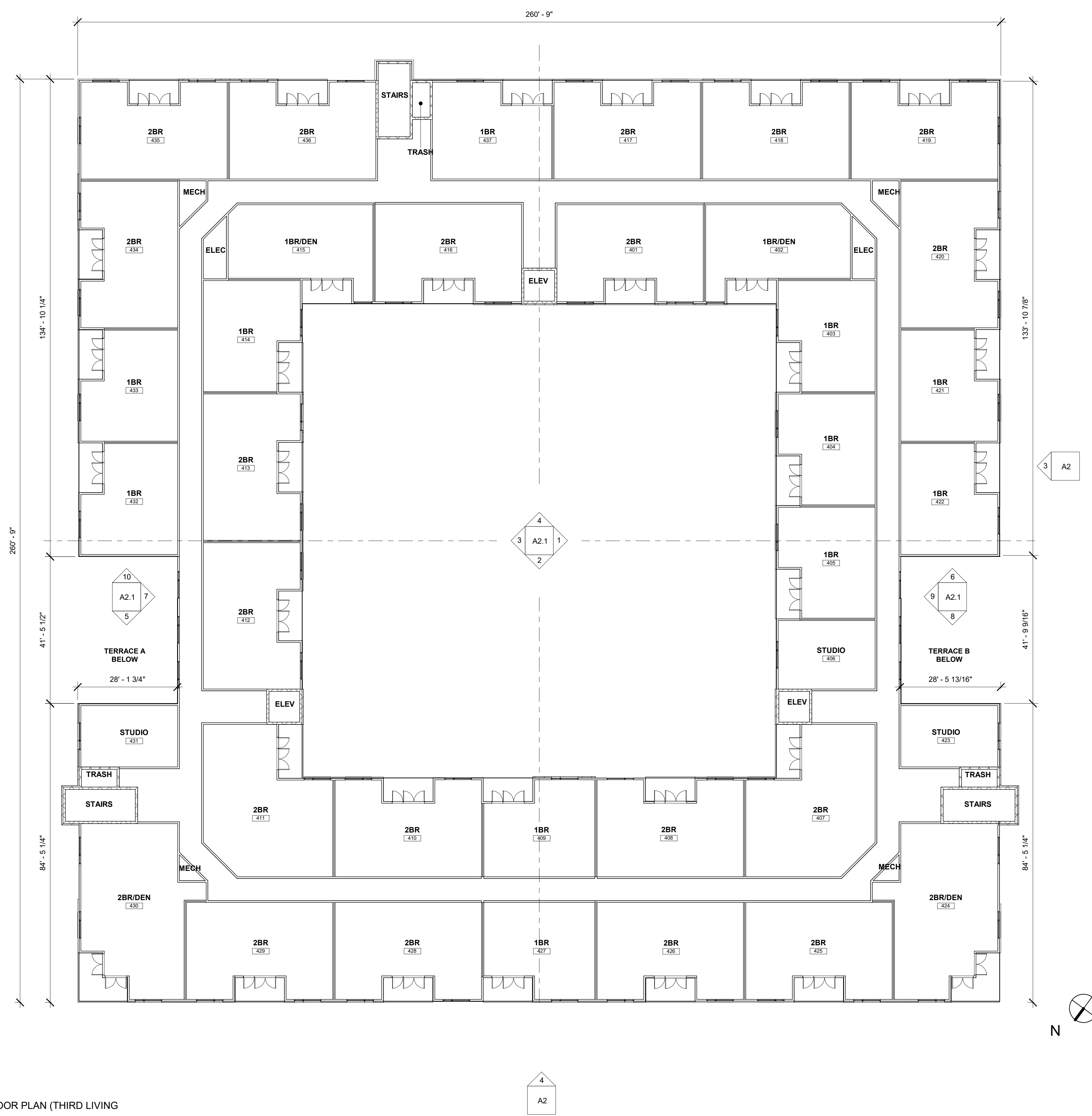
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UNIT COUNT - FOURTH FLOOR

| UNIT TYPE | MIN. AREA | COUNT |
|--------------|-----------|-----------|
| 1BR | 763 SF | 11 |
| 1BR/DEN | 881 SF | 2 |
| 2BR | 1031 SF | 19 |
| 2BR/DEN | 1312 SF | 2 |
| STUDIO | 475 SF | 3 |
| TOTAL | | 37 |

FOURTH FLOOR PLAN (THIRD LIVING LEVEL)
 1/16" = 1'-0"



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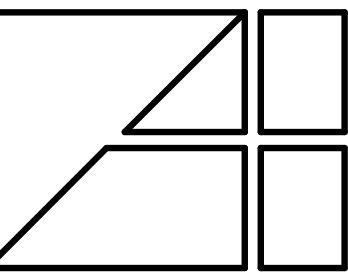
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Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248.334.5000

PROJECT
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 NOV1, MI

CLIENT PROJECT
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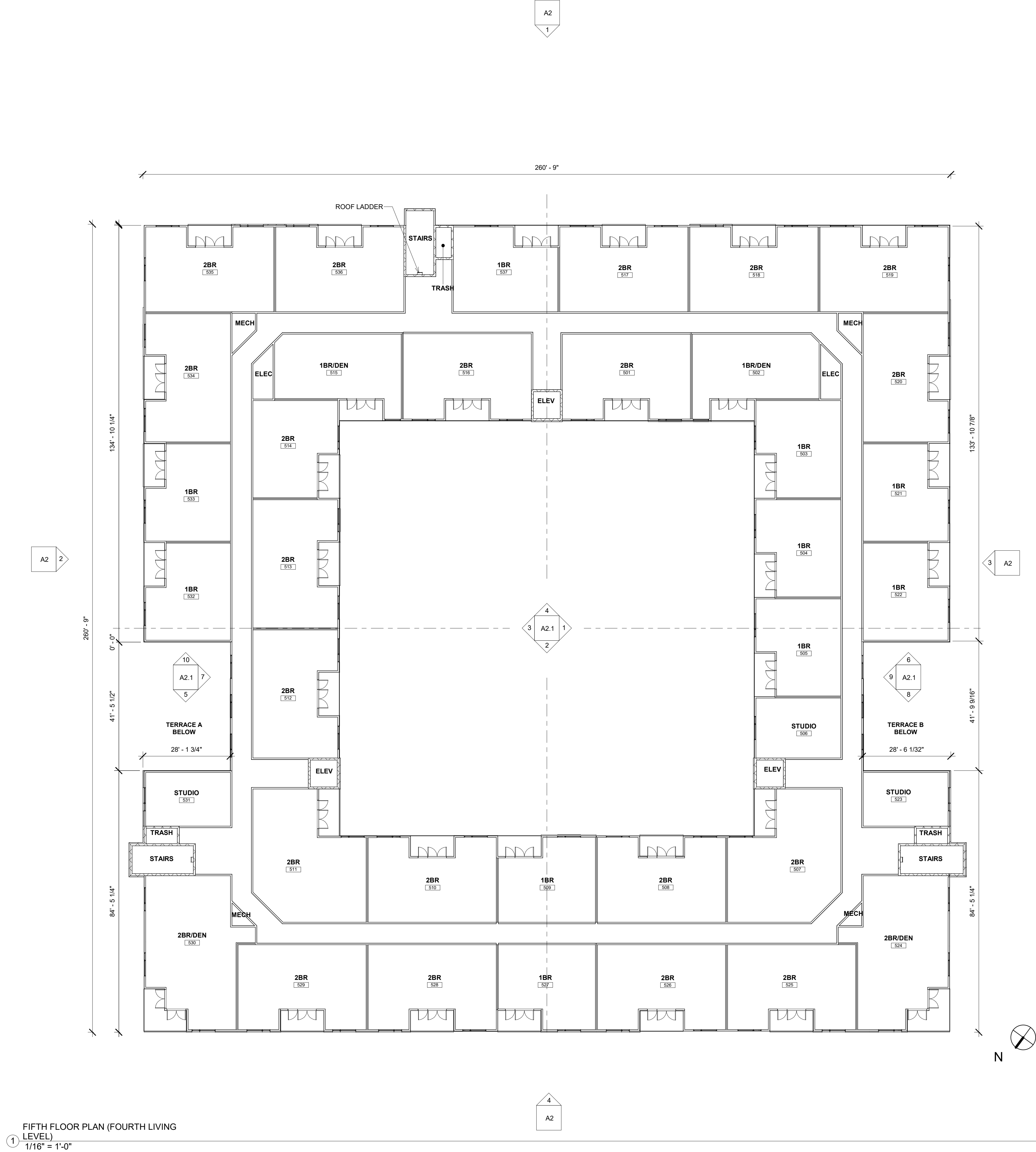
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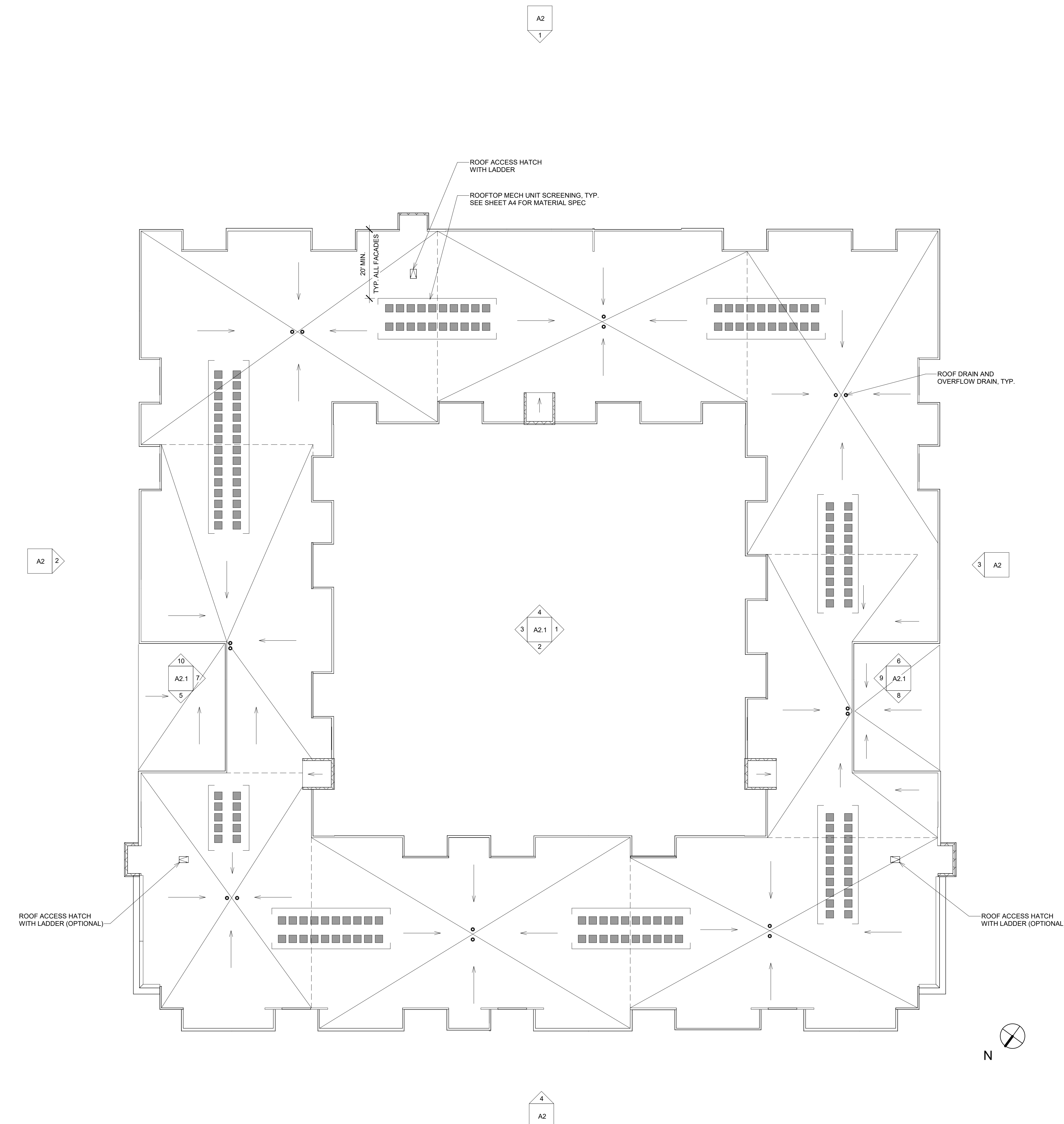
UNIT COUNT - FIFTH FLOOR

| UNIT TYPE | MIN. AREA | COUNT |
|-----------|-----------|-------|
| 1BR | 763 SF | 10 |
| 1BR/DEN | 881 SF | 2 |
| 2BR | 763 SF | 20 |
| 2BR/DEN | 1312 SF | 2 |
| STUDIO | 475 SF | 3 |
| TOTAL | | 37 |

NOTE TO BUILDING OFFICIAL:
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 SEAL ARE IN BLUE INK.



FIFTH FLOOR PLAN (FOURTH LIVING LEVEL)
 1/16" = 1'-0"



1 ROOF PLAN
1/16" = 1'-0"



NOTE TO BUILDING OFFICIAL:
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Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248 • 334 • 5000

CLIENT PROJECT
 BOWMAN
 CENTRAL PARK SOUTH
 NOVI, MI

SHEET TITLE
 ROOF PLAN

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PRELIMINARY
 SPA 06/23/2023

BIDS
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REVISIONS
 SPA Revision 2 - 08/25/2023

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 MA

JOB NUMBER
 2440

DATE
 08/25/2023

SHEET NUMBER
A1.6

| EXTERIOR MATERIAL LEGEND (PODIUM - MIXED USE BLDGS.) | | | | | |
|--|--|------------------------|---|---------|-------------------------------------|
| KEY NAME | MATERIAL | MANUFACTURER | NAME/DESCRIPTION/COLOR | SIZE | NOTES |
| 1 | Brick 1 | Summit Brick | Alaskan White- Smooth Texture | Modular | See elevations for additional info. |
| 2 | Brick 2 | Mora Ceramica Brick | Silver Grey- | Modular | See elevations for additional info. |
| 3 | Brick 3 | Endicott Clay Products | Manganese Ironspot- Velour Texture | Modular | See elevations for additional info. |
| 4 | Scored EIFS - Color A | | Match Sherwin Williams #SW 7005 Pure White | | |
| 5 | Scored EIFS - Color B | | Match Sherwin Williams #SW 7669 Summit Gray | | |
| 6 | Scored EIFS - Color C | | Match Sherwin Williams #SW 7069 Iron Ore | | |
| 7 | Scored EIFS - Color D | | Match Sherwin Williams #SW 6693 Lily | | |
| 8 | Scored EIFS - Color E | | Match Sherwin Williams #SW 6206 Oyster Bay | | |
| 9 | Fiber Cement Panel: Color A | Hardie or similar | Match Sherwin Williams #SW 7005 Pure White | | |
| 10 | Fiber Cement Panel: Color B | Hardie or similar | Match Sherwin Williams #SW 7669 Summit Gray | | |
| 11 | Fiber Cement Panel: Color C | Hardie or similar | Match Sherwin Williams #SW 7069 Iron Ore | | |
| 12 | Fiber Cement Panel: Color D | Hardie or similar | Match Sherwin Williams #SW 6693 Lily | | |
| 13 | Fiber Cement Panel: Color E | Hardie or similar | Match Sherwin Williams #SW 6206 Oyster Bay | | |
| 14 | Metal Coping | | Match Adjacent material color | | |
| 15 | Enhanced Cornice | EIFS or similar | Match Sherwin Williams #SW 7005 Pure White | | |
| 16 | Soffits | | Exterior Plaster | | To Match Siding Above |
| 17 | Door Frames | | Black | | |
| 18 | Door Panels | | Black | | |
| 19 | Windows | | Black | | |
| 20 | Balcony: Fascia & Underside & Railings | | Match Sherwin Williams #SW 7005 Pure White | | |

Note: Materials, fixtures and suppliers used for this project may vary based on pricing and availability. All construction materials and fixtures shall be of compatible style, appearance, color and quality to the materials listed and shown on the accompanying material board, and shall be indicated on the construction plans that will be submitted to the City for construction. All Window Trim surround to be integral.



1 EAST EXT ELEVATION
1/16" = 1'-0"



3 SOUTH EXT ELEVATION
1/16" = 1'-0"



4 WEST EXT ELEVATION
1/16" = 1'-0"



2 NORTH EXT ELEVATION
1/16" = 1'-0"

BUILDING HEIGHT: + 58' - 0 3/4"

| MATERIAL CALCULATION TABLE SIDE ELEVATION - EAST ELEVATION | | | |
|---|-----------|----------|----------------------------|
| MATERIAL | SQ. FT. | ACTUAL % | ALLOW % |
| BRICK | 6,027 SF | 54% | 30% MIN |
| CORNICE | 130 SF | 1% | 15% MAX |
| EIFS | 2,569 SF | 23% | 25% MAX |
| PANEL | 2,493 SF | 22% | 25% MAX |
| TOTAL | 11,157 SF | 100% | (EXCLUDES DOORS & WINDOWS) |

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: + 58' - 0 3/4"

| MATERIAL CALCULATION TABLE SIDE ELEVATION - SOUTH ELEVATION | | | |
|--|-----------|----------|----------------------------|
| MATERIAL | SQ. FT. | ACTUAL % | ALLOW % |
| BRICK | 6,014 SF | 49% | 30% MIN |
| CORNICE | 186 SF | 1% | 15% MAX |
| EIFS | 3,054 SF | 25% | 25% MAX |
| PANEL | 3,019 SF | 25% | 25% MAX |
| TOTAL | 12,273 SF | 100% | (EXCLUDES DOORS & WINDOWS) |

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: + 58' - 0 3/4"

| MATERIAL CALCULATION TABLE SIDE ELEVATION - WEST ELEVATION | | | |
|---|-----------|----------|----------------------------|
| MATERIAL | SQ. FT. | ACTUAL % | ALLOW % |
| BRICK | 6,729 SF | 60% | 30% MIN |
| CORNICE | 156 SF | 1% | 15% MAX |
| EIFS | 1,416 SF | 14% | 25% MAX |
| PANEL | 2,905 SF | 25% | 25% MAX |
| TOTAL | 11,309 SF | 100% | (EXCLUDES DOORS & WINDOWS) |

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

BUILDING HEIGHT: + 58' - 0 3/4"

| MATERIAL CALCULATION TABLE SIDE ELEVATION - NORTH ELEVATION | | | |
|--|-----------|----------|----------------------------|
| MATERIAL | SQ. FT. | ACTUAL % | ALLOW % |
| BRICK | 6,014 SF | 49% | 30% MIN |
| CORNICE | 186 SF | 1% | 15% MAX |
| EIFS | 3,054 SF | 25% | 25% MAX |
| PANEL | 3,019 SF | 25% | 25% MAX |
| TOTAL | 12,273 SF | 100% | (EXCLUDES DOORS & WINDOWS) |

NOTE: TOTAL SQUARE FOOTAGE IS CALCULATED FOR EACH ELEVATION SEPARATELY.

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CLIENT PROJECT
BOWMAN
CENTRAL PARK SOUTH
NOVI, MI

SHEET TITLE
EXT ELEVATIONS

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PRELIMINARY
SPA 06/23/2023

REVISIONS
SPA Revision 2 - 08/25/2023

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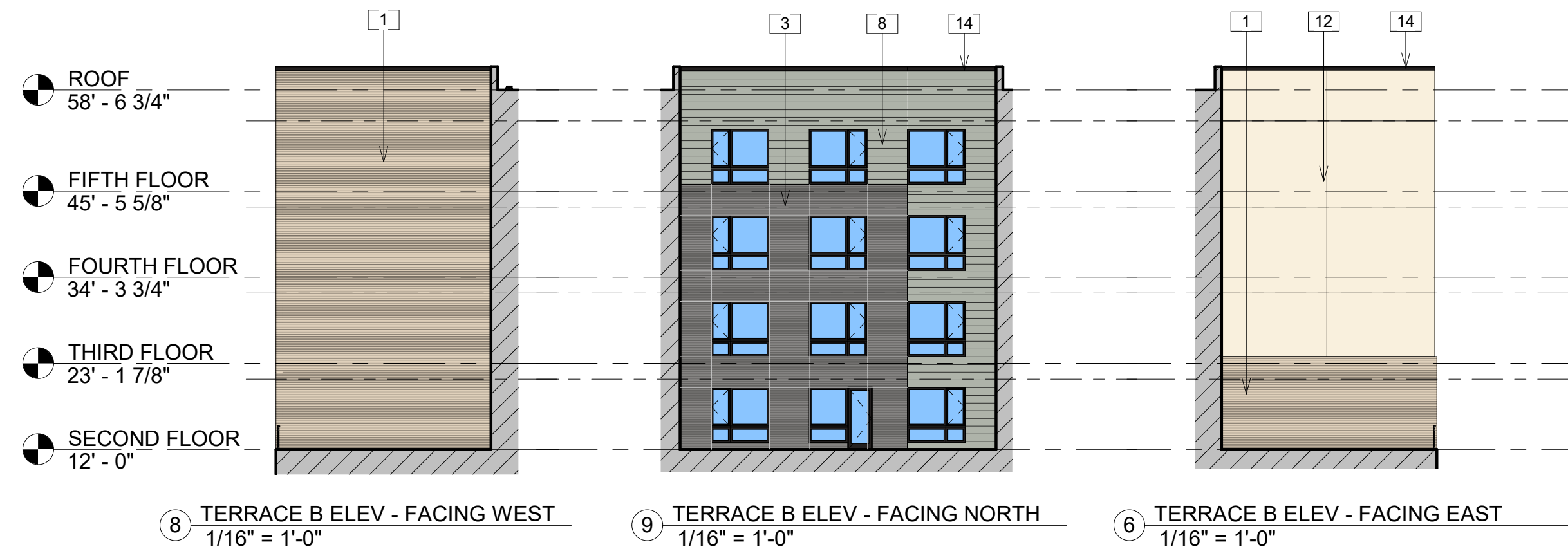
JOB NUMBER
2440

DATE
08/25/2023

SHEET NUMBER
A2

| EXTERIOR MATERIAL LEGEND (PODIUM - MIXED USE BLDGS.) | | | | | |
|--|--|------------------------|---|---------|-------------------------------------|
| KEY NAME | MATERIAL | MANUFACTURER | NAME/DESCRIPTION/COLOR | SIZE | NOTES |
| 1 | Brick 1 | Summit Brick | Alaskan White- Smooth Texture | Modular | See elevations for additional info. |
| 2 | Brick 2 | Mora Ceramica Brick | Silver Grey- | Modular | See elevations for additional info. |
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Bloomfield Hills, MI 48302

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CLIENT PROJECT
BOWMAN
CENTRAL PARK SOUTH
NOVI, MI

SHEET TITLE
EXT ELEVATIONS - COURTYARD &
TERRACES

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REVISIONS
SPA Revision 2 - 08/25/2023

DATE
08/25/2023

SHEET NUMBER
A2.1

JOB NUMBER
2440

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JOB NUMBER
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08/25/2023

SHEET NUMBER
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08/25/2023

SHEET NUMBER
A2.1

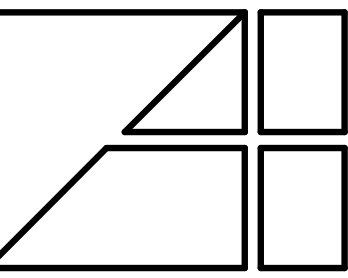


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 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248.334.5000

| | |
|---|---|
| CLIENT PROJECT | BOWMAN CENTRAL PARK SOUTH NOVI, MI |
| PROJECT TITLE | RENDERINGS |
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| <input type="checkbox"/> BIDS | |
| <input type="checkbox"/> PERMITS | |
| <input type="checkbox"/> CONSTRUCTION | |
| REVISIONS | SPA Revision 2 - 08/25/2023 |
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| CHECKED BY | MA |
| JOB NUMBER | 2440 |
| DATE | 08/25/2023 |
| SHEET NUMBER | A3 |



Interior Design
 2445 Franklin Road
 Bloomfield Hills, MI 48302
 248.334.5000

PROJECT TITLE
 MATERIAL LEGEND

CLIENT PROJECT
 BOWMAN
 CENTRAL PARK SOUTH
 NOVI, MI

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PRELIMINARY
 SPA 06/23/2023

BIDS

PERMITS

CONSTRUCTION

REVISIONS
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JOB NUMBER
 2440

DATE
 08/25/2023

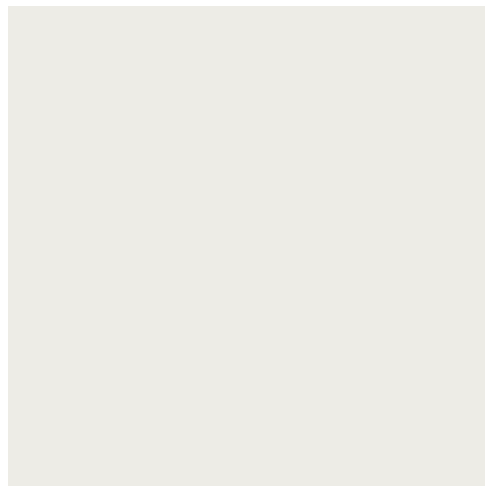
SHEET NUMBER
 A4

| EXTERIOR MATERIAL LEGEND (PODIUM - MIXED USE BLDGS.) | | | | | |
|--|--|------------------------|---|---------|-------------------------------------|
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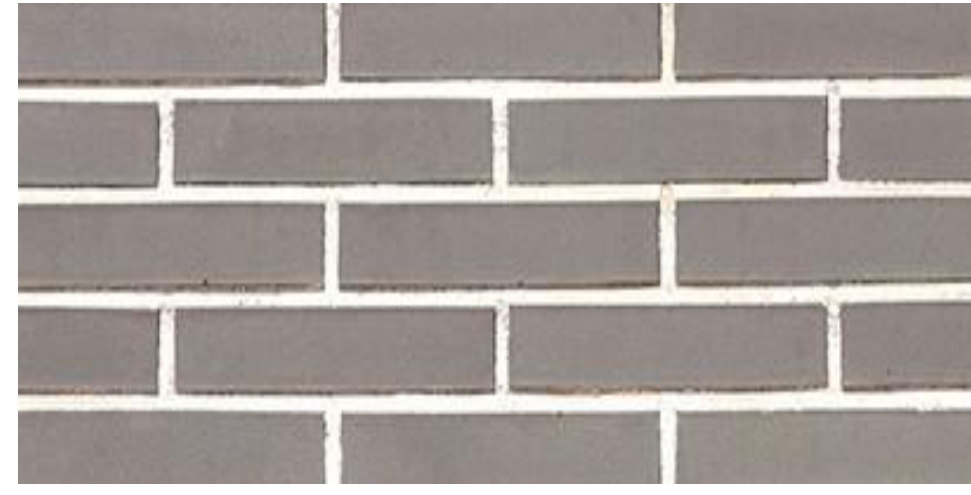
BRICK A
 SUMMIT BRICK, ALASKAN WHITE
 MODULAR, SMOOTH TEXTURE



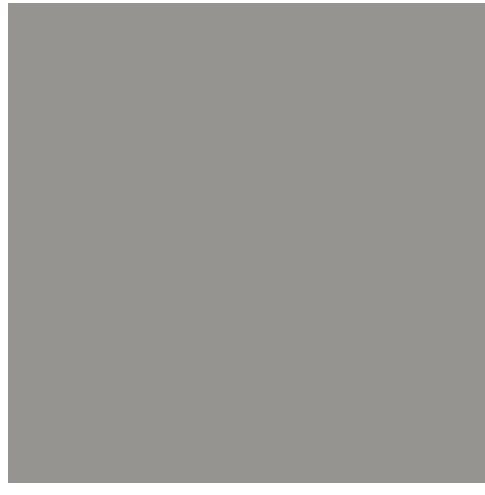
COLOR A
 SW #7005 PURE WHITE



MESH SCREEN
 MECHANICAL UNITS SCREENING



BRICK B
 MORA, SILVER GREY



COLOR B
 SW #7669 SUMMIT GRAY



COLOR D
 SW #6693 LILY



BRICK C
 ENDICOTT CLAY, MANGANESE IRONSPOT
 VELOUR TEXTURE



COLOR C
 SW #7069 IRON ORE



COLOR E
 SW #6206 OYSTER BAY



COLOR F
 BLACK

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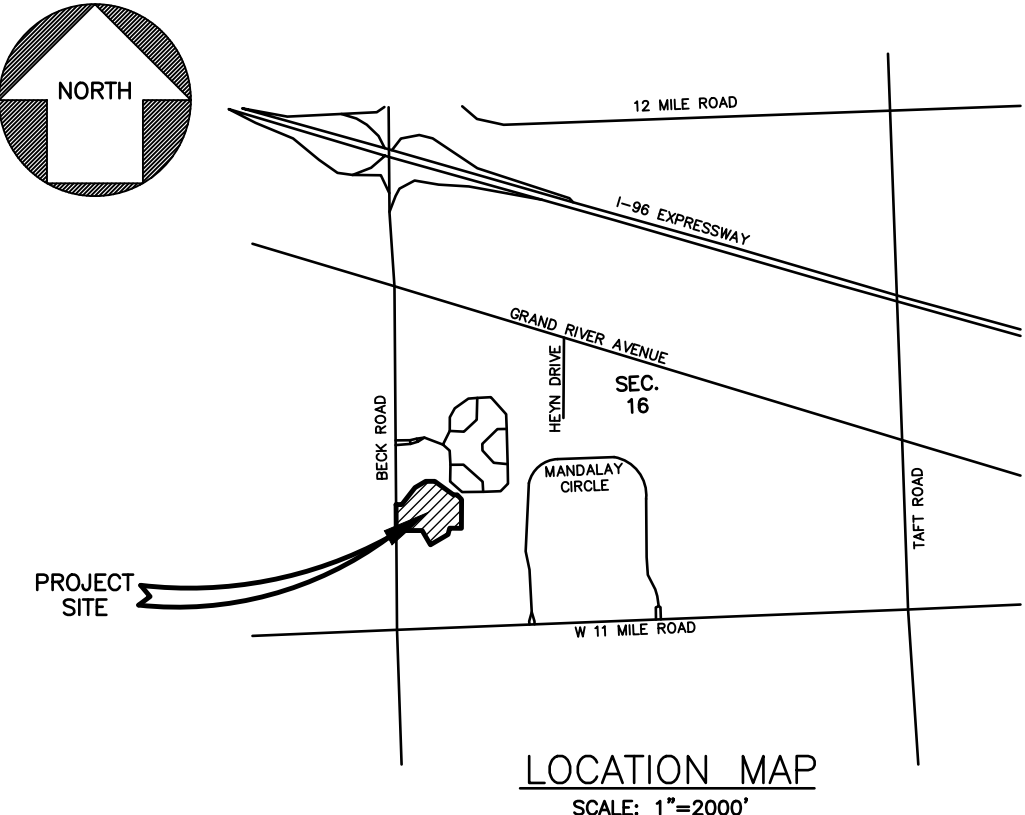
PROPOSED CENTRAL PARK SOUTH

EAST SIDE OF BECK ROAD NORTH OF 11 MILE ROAD
NOVI, MICHIGAN 48374

BENCH MARKS

- CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NGVD 29 (ELEVATION 960.72 NAVD 88)
- B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.94 NGVD 29
- B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NGVD 29
- B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NGVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)



PROPERTY DESCRIPTION - TAX I.D. #50-22-16-300-055

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.38°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°56'58"E. 38.05 FEET; THENCE S.42°54'29"E. 66.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.88°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING. CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

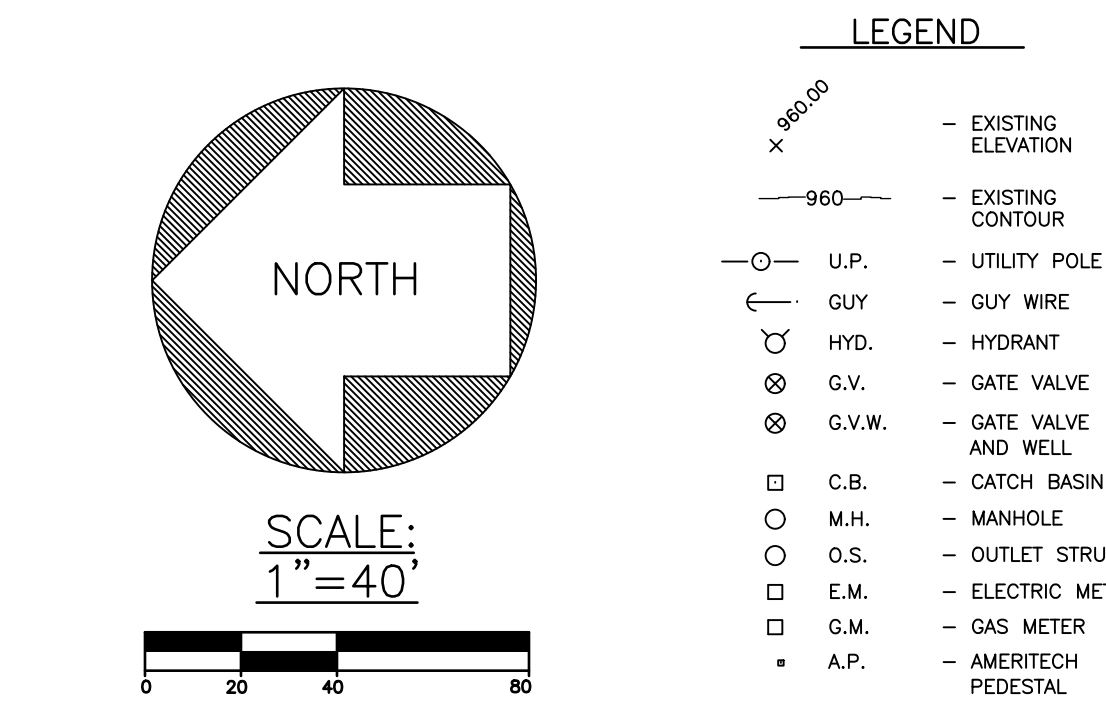
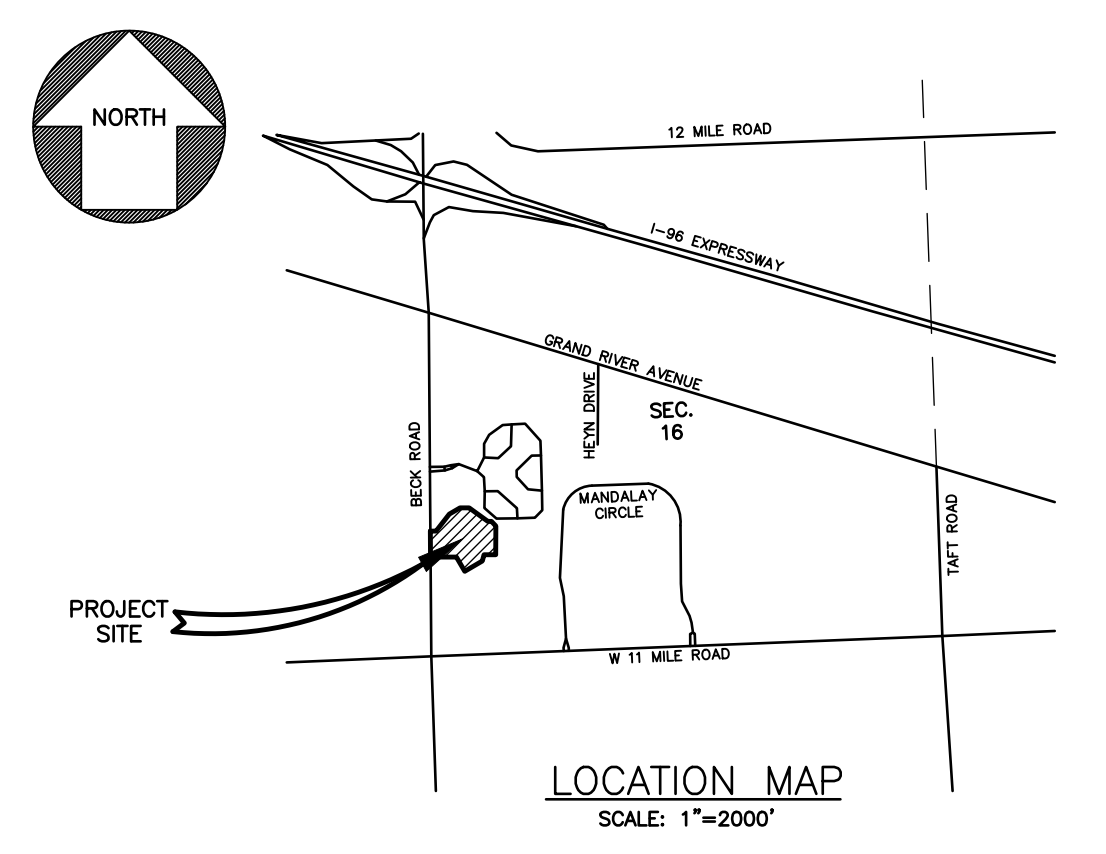
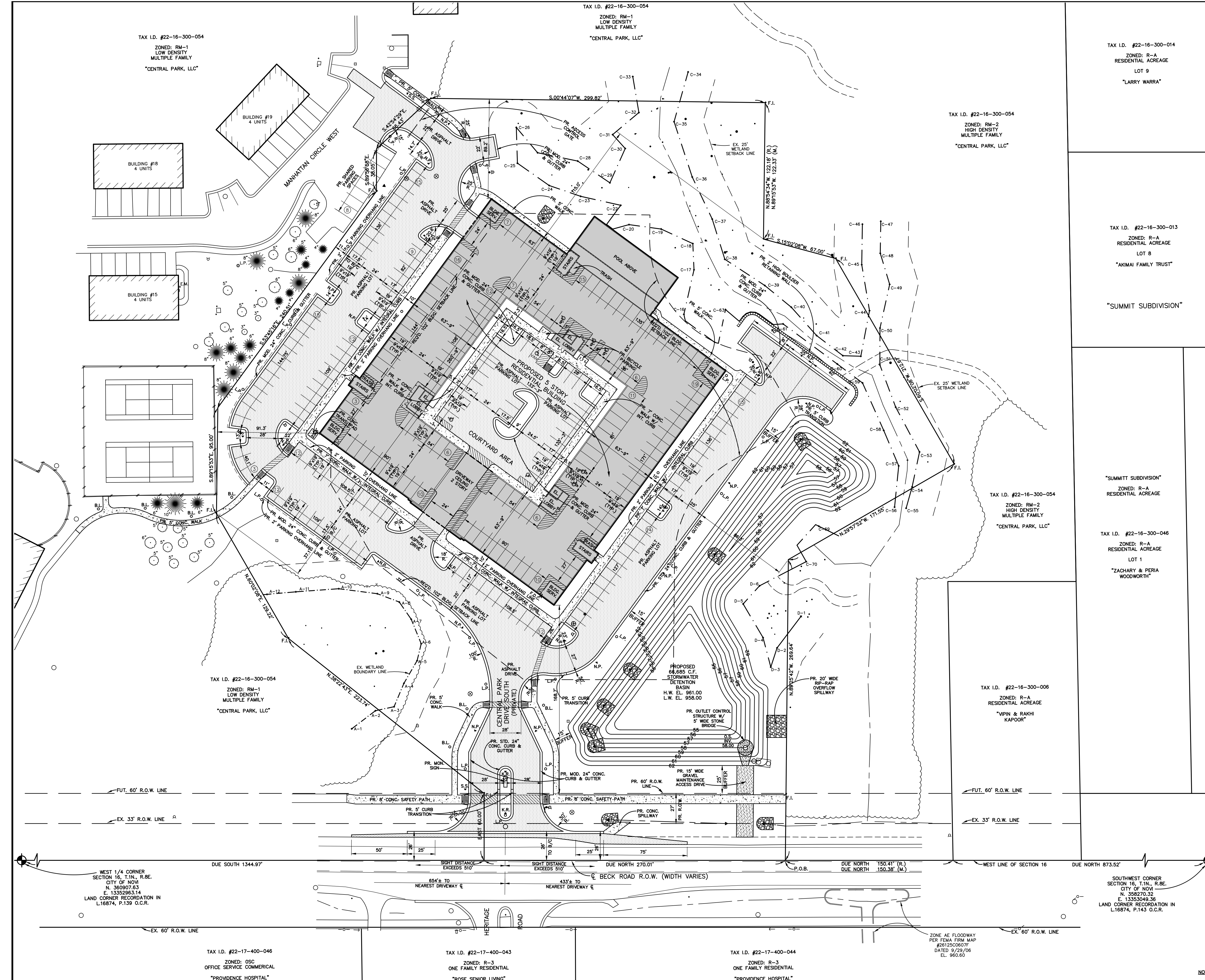
PRELIMINARY SITE ENGINEERING PLANS SHEET INDEX

- CS COVER SHEET
- SP-1 PRELIMINARY SITE LAYOUT & TRAFFIC CONTROL PLAN
- C-1 PRELIMINARY SITE DEMOLITION & WETLAND IMPACTS PLAN
- C-2 PRELIMINARY SITE GRADING & PAVING PLAN
- C-3 PRELIMINARY SITE EROSION CONTROL PLAN
- C-4 PRELIMINARY SITE STORMWATER MANAGEMENT PLAN
- C-5 PRELIMINARY SITE UTILITIES PLAN
- C-6 PRELIMINARY SITE ENGINEERING DETAILS
- TS-1 SITE TOPOGRAPHIC/TREE SURVEY
- TS-2 SITE TREE LIST



Know what's below.
Call before you dig.

| | | | | | | |
|--|-----------|---|--|-------------|--|-------------|
| CLIENT: SOUTH GRAND EQUITIES, LLC 46100 GRAND RIVER AVENUE NOVI, MICHIGAN 48374 PHONE: 248/348-5600 EXT. 211 | REVISIONS | REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION | SITE OF THE PROPOSED CENTRAL PARK SOUTH IN SECTION 16 OAKLAND COUNTY | COVER SHEET | CLIENT PROJECT No. | PROJECT No. |
| | | | | | 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075 PHONE: 248/424-9510 FAX: 248/424-2954 | DATE ISSUED |
| | | | CITY OF NOVI | MICHIGAN | 08/25/23 | 2235 CS |



- PROPOSED TRAFFIC CONTROL SIGN LEGEND**
- N.P. - PR. "NO PARKING FIRE LANE" SIGN STD. 12"x18" R7-1
 - S.S. - PR. "STOP" SIGN STD. 30"x30" R1-1
 - K.R. - PR. "KEEP RIGHT" SIGN STD. 18"x24" R4-7
 - B.F. - PR. "BARRIER FREE PARKING" SIGN STD. 12"x18" R7-8
 - B.F.V. - PR. "BARRIER FREE PARKING" WITH VAN ACCESSIBLE SIGN STD. 12"x18" R7-8P
- BENCH MARKS**
- CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NGVD 29 (ELEVATION 960.72 NAVD 88)
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- NOTE:** (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

PROPERTY DESCRIPTION - TAX I.D. #22-16-300-055

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SITE DATA

SITE AREA: 304,397 S.F. OR 6.988 ACRES GROSS
298,193 S.F. OR 6.816 ACRES NET

SITE ZONING: RM-2 (HIGH DENSITY MULTIPLE)

PROPOSED NUMBER OF UNITS

| | |
|------------|-----------|
| 2ND FLOOR: | 34 UNITS |
| 3RD FLOOR: | 36 UNITS |
| 4TH FLOOR: | 36 UNITS |
| 5TH FLOOR: | 36 UNITS |
| TOTAL: | 142 UNITS |

PARKING PROVIDED

| | |
|--------------------|-------------------------|
| COURTYARD PARKING: | 29 SPACES INCL. 3 B.F. |
| PODIUM PARKING: | 131 SPACES INCL. 5 B.F. |
| EXTERIOR PARKING: | 119 SPACES |
| SHARED PARKING: | 8 SPACES |
| TOTAL: | 287 SPACES INCL. 8 B.F. |

PARKING REQUIRED

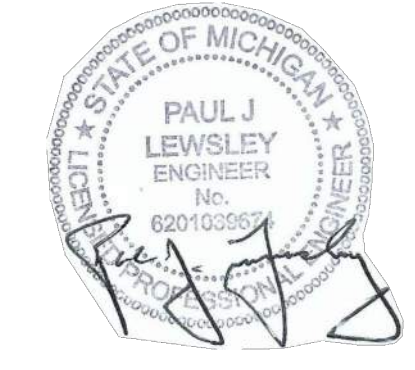
142 UNITS x 2 SPACES/UNIT = 284 SPACES

PARKING WITHIN SETBACKS:
178,650 S.F. - 100' MIN. BLDG. SETBACK AREA
34,625 S.F. - DRIVE & PARKING AREA WITHIN SETBACK
34,625 S.F./178,650 S.F. = 19.38%

PROPOSED TRAFFIC CONTROL SIGN QUANTITIES

- 2 EA. - STD. 30"x30" "STOP" SIGN (R1-1)
- 20 EA. - STD. 12"x18" "NO PARKING FIRE LANE" SIGN (R7-1)
- 2 EA. - STD. 18"x24" "KEEP RIGHT" SIGN (R4-7)
- 6 EA. - STD. 12"x18" "BARRIER FREE PARKING" SIGNS (R7-8)
- 2 EA. - STD. 12"x18" "BARRIER FREE PARKING" SIGNS (R7-8P)

NOTE: ALL TRAFFIC CONTROL SIGNAGE SHALL COMPLY WITH THE CURRENT MUTCD STANDARDS.



CLIENT: SOUTH GRAND EQUITIES, LLC
46100 GRAND RIVER AVENUE
NOVI, MICHIGAN 48374
PHONE: 248/348-5600 EXT. 211

REVISIONS:
REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

TAX I.D. #22-17-400-046
ZONED: OSC
OFFICE SERVICE COMMERCIAL
"PROVIDENCE HOSPITAL"

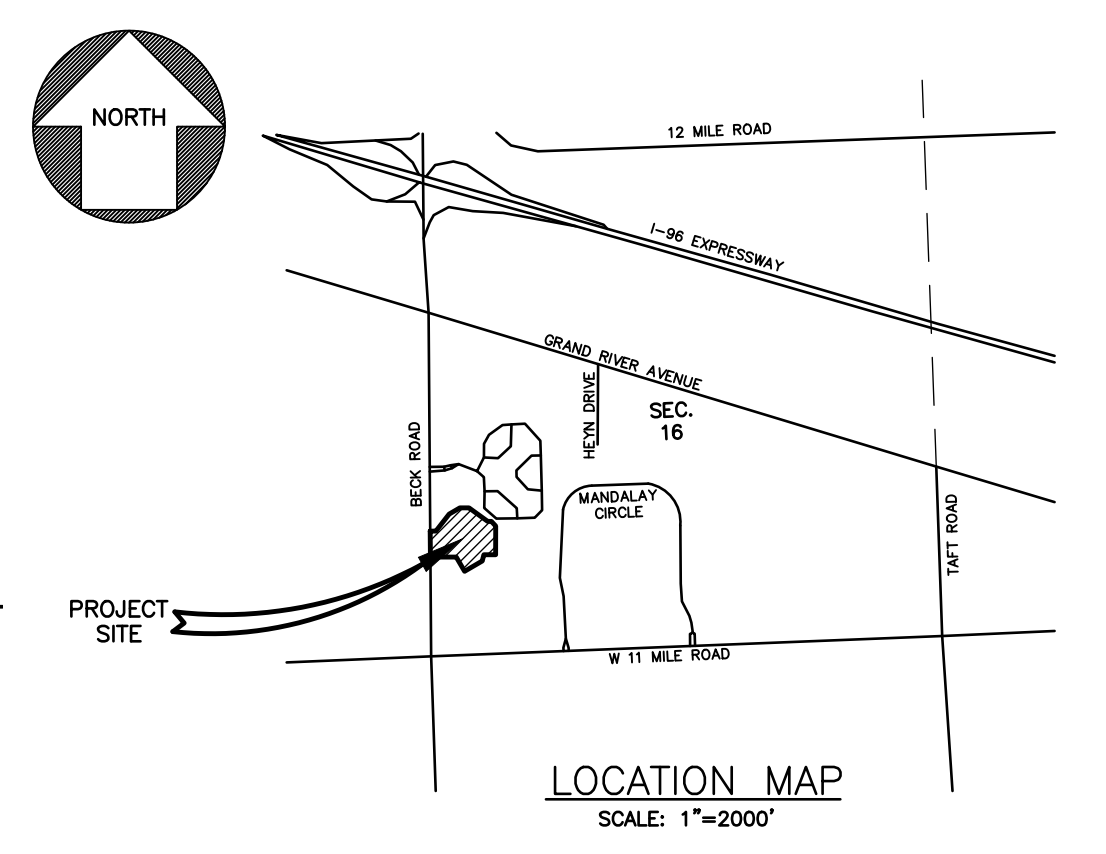
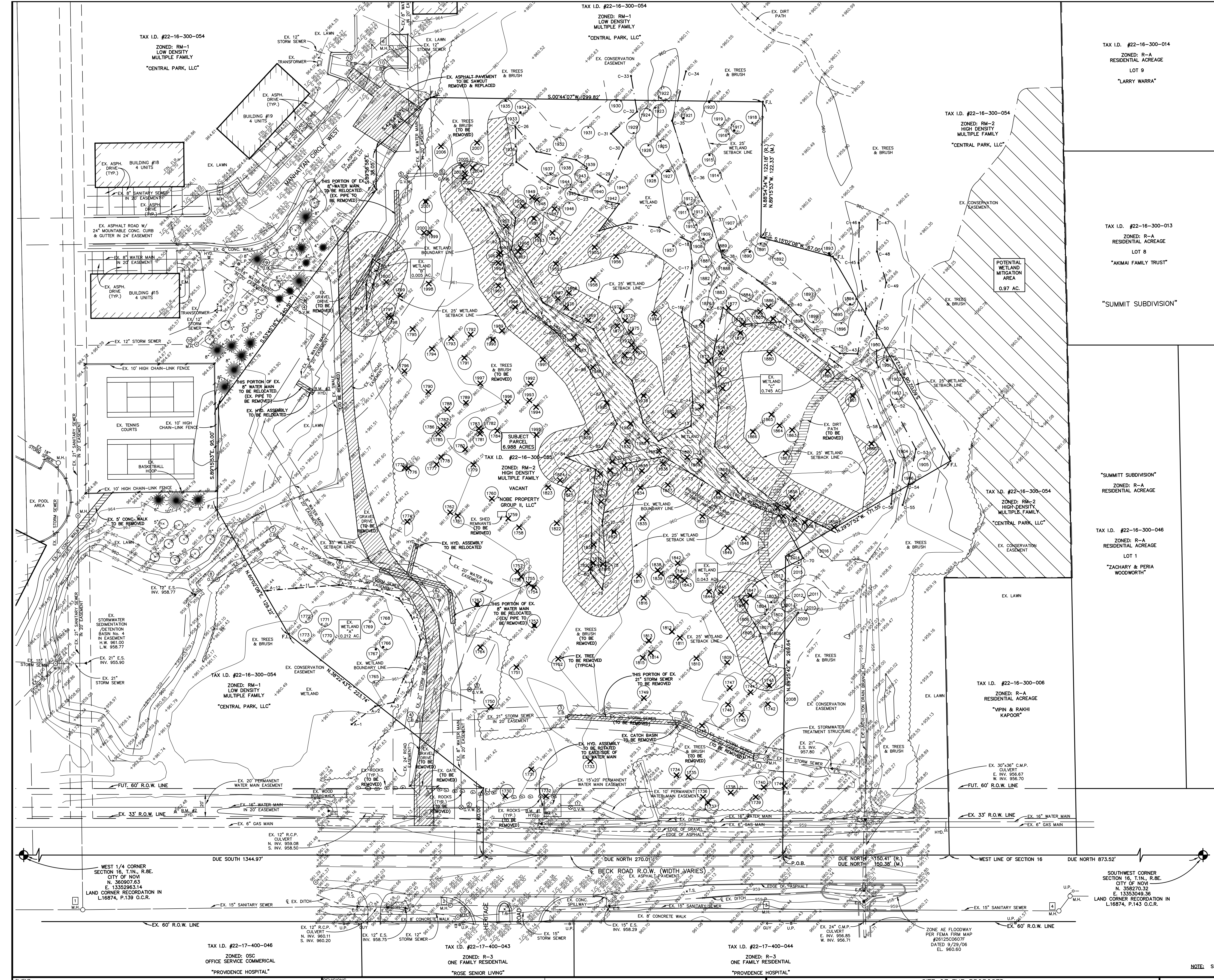
TAX I.D. #22-17-400-043
ZONED: R-3
ONE FAMILY RESIDENTIAL
"ROSE SENIOR LIVING"

TAX I.D. #22-17-400-044
ZONED: R-3
ONE FAMILY RESIDENTIAL
"PROVIDENCE HOSPITAL"

SITE OF THE PROPOSED
CENTRAL PARK SOUTH
IN SECTION 16
OAKLAND COUNTY

PRELIMINARY SITE LAYOUT & TRAFFIC CONTROL PLAN
Environmental engineers, Inc.
18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235
DATE ISSUED 06/21/23
SHEET No. SP-1



LEGEND

- X 960.00 - EXISTING ELEVATION
- 960 - EXISTING CONTOUR
- U.P. - UTILITY POLE
- GUY - GUY WIRE
- HYD. - HYDRANT
- G.V. - GATE VALVE
- G.V.W. - GATE VALVE AND WELL
- C.B. - CATCH BASIN
- M.H. - MANHOLE
- O.S. - OUTLET STRUCTURE
- E.M. - ELECTRIC METER
- G.M. - GAS METER
- A.P. - AMERITECH PEDESTAL
- T.S. - TRAFFIC SIGN
- COMM. M.H. - COMMUNICATION MANHOLE
- COMM. VAULT - COMMUNICATION VAULT
- EXISTING DECIDUOUS TREE DIAMETER
- EXISTING CONIFEROUS TREE DIAMETER
- EXISTING TREE TO BE REMOVED
- F.I. - FOUND IRON

BENCH MARKS

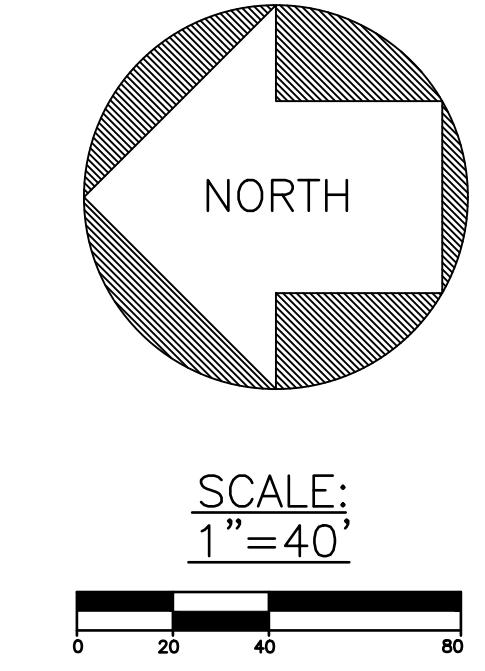
CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #28270 BECK RD. ELEVATION 961.04 (NGVD 29)

B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63± SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.94 (NGVD 29)

B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 (NGVD 29)

B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 89± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 (NGVD 29)

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)



PROPERTY DESCRIPTION - TAX I.D. #50-22-16-300-055

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.38°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°56'58"E. 38.05 FEET; THENCE S.42°54'29"E. 66.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.88°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING. CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

PROPOSED DELINEATED WETLAND IMPACT AREA
14,190 S.F. OR 0.33 AC.

PROPOSED OFFSITE WETLAND MITIGATION AREA
14,190 S.F. x 2 = 28,380 S.F. OR 0.65 AC. REQUIRED

PROPOSED 25' WETLAND SETBACK IMPACT AREA
50,471 S.F. OR 1.16 AC.



NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.
SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

CLIENT:
SOUTH GRAND EQUITIES, LLC
46100 GRAND RIVER AVENUE
NOVI, MICHIGAN 48374
PHONE: 248/348-5600 EXT. 211

REVISIONS:
REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

TAX I.D. #22-17-400-046
ZONED: OSC
OFFICE SERVICE COMMERCIAL
"PROVIDENCE HOSPITAL"

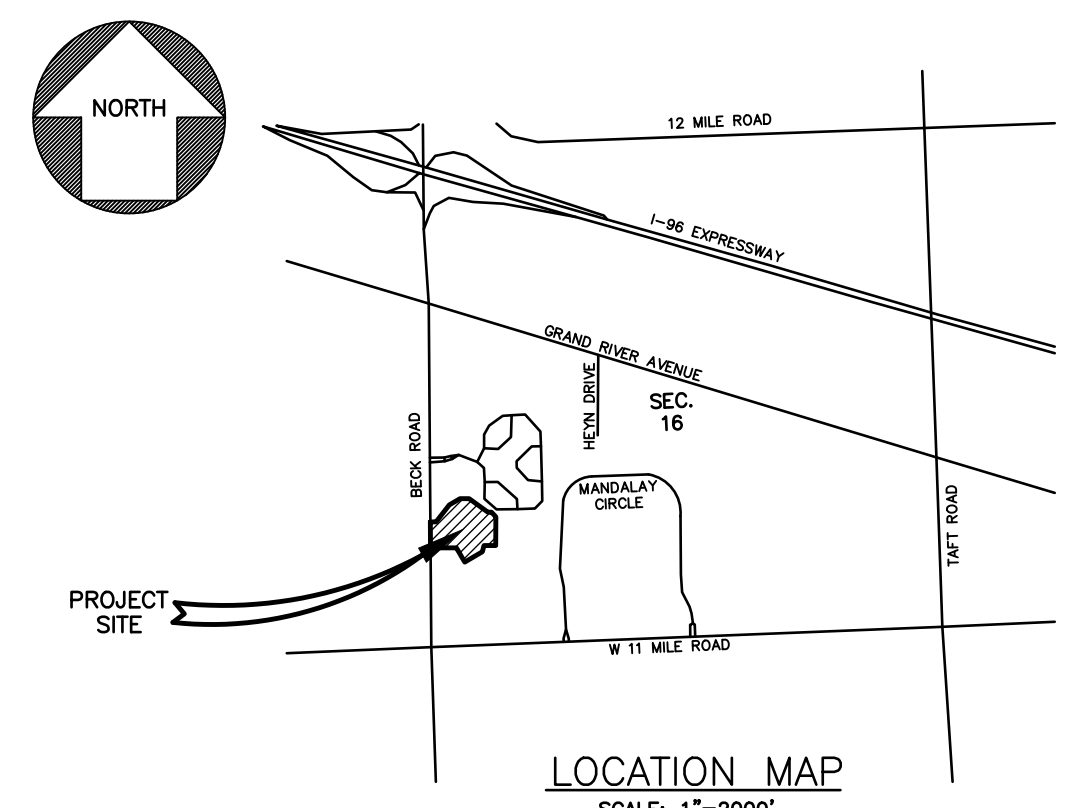
TAX I.D. #22-17-400-043
ZONED: R-3
ONE FAMILY RESIDENTIAL
"PROSE SENIOR LIVING"

TAX I.D. #22-17-400-044
ZONED: R-3
ONE FAMILY RESIDENTIAL
"PROVIDENCE HOSPITAL"

SITE OF THE PROPOSED
CENTRAL PARK SOUTH
IN SECTION 16
OAKLAND COUNTY

PRELIMINARY SITE DEMOLITION & WETLAND IMPACT PLAN
Environmental engineers, Inc.
18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235
DATE ISSUED 06/21/23
SHEET No. C-1



TAX I.D. #22-16-300-013
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 8
 "AKMAI FAMILY TRUST"

TAX I.D. #22-16-300-014
 ZONED: R-A
 RESIDENTIAL ACREAGE
 LOT 9
 "LARRY WARRA"

TAX I.D. #22-16-300-054
 ZONED: RM-2
 HIGH DENSITY
 MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX I.D. #22-16-300-054
 ZONED: RM-1
 LOW DENSITY
 MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX I.D. #22-16-300-054
 ZONED: RM-2
 HIGH DENSITY
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TAX I.D. #22-16-300-054
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TAX I.D. #22-16-300-054
 ZONED: RM-2
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 MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

TAX I.D. #22-16-300-054
 ZONED: RM-1
 LOW DENSITY
 MULTIPLE FAMILY
 "CENTRAL PARK, LLC"

LEGEND

| | |
|---|-----------------------------------|
| + | EXISTING ELEVATION |
| - | EXISTING CONTOUR |
| ○ | UTILITY POLE |
| — | GUY WIRE |
| ○ | HYDRANT |
| ○ | G.V. |
| ○ | G.V.W. |
| ○ | CATCH BASIN |
| ○ | M.H. |
| ○ | OUTLET STRUCTURE |
| ○ | ELECTRIC METER |
| ○ | G.M. |
| ○ | AMERICAN PEDESTAL |
| ○ | T.S. |
| ○ | COMM. M.H. |
| ○ | COMM. VAULT |
| ○ | EXISTING DECIDUOUS TREE DIAMETER |
| ○ | EXISTING CONIFEROUS TREE DIAMETER |
| ○ | EXISTING TREE NUMBER |
| ○ | F.I. |

BENCH MARKS

CITY OF NOVI #1742
 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NAVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63± SOUTH WEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.84 NAVD 29

B.M. #2
 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NAVD 29

B.M. #3
 ARROW ON TOP OF HYDRANT LOCATED NORTH WEST OF SITE AND 88± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NAVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

PROPERTY DESCRIPTION - TAX I.D. #50-22-16-300-055

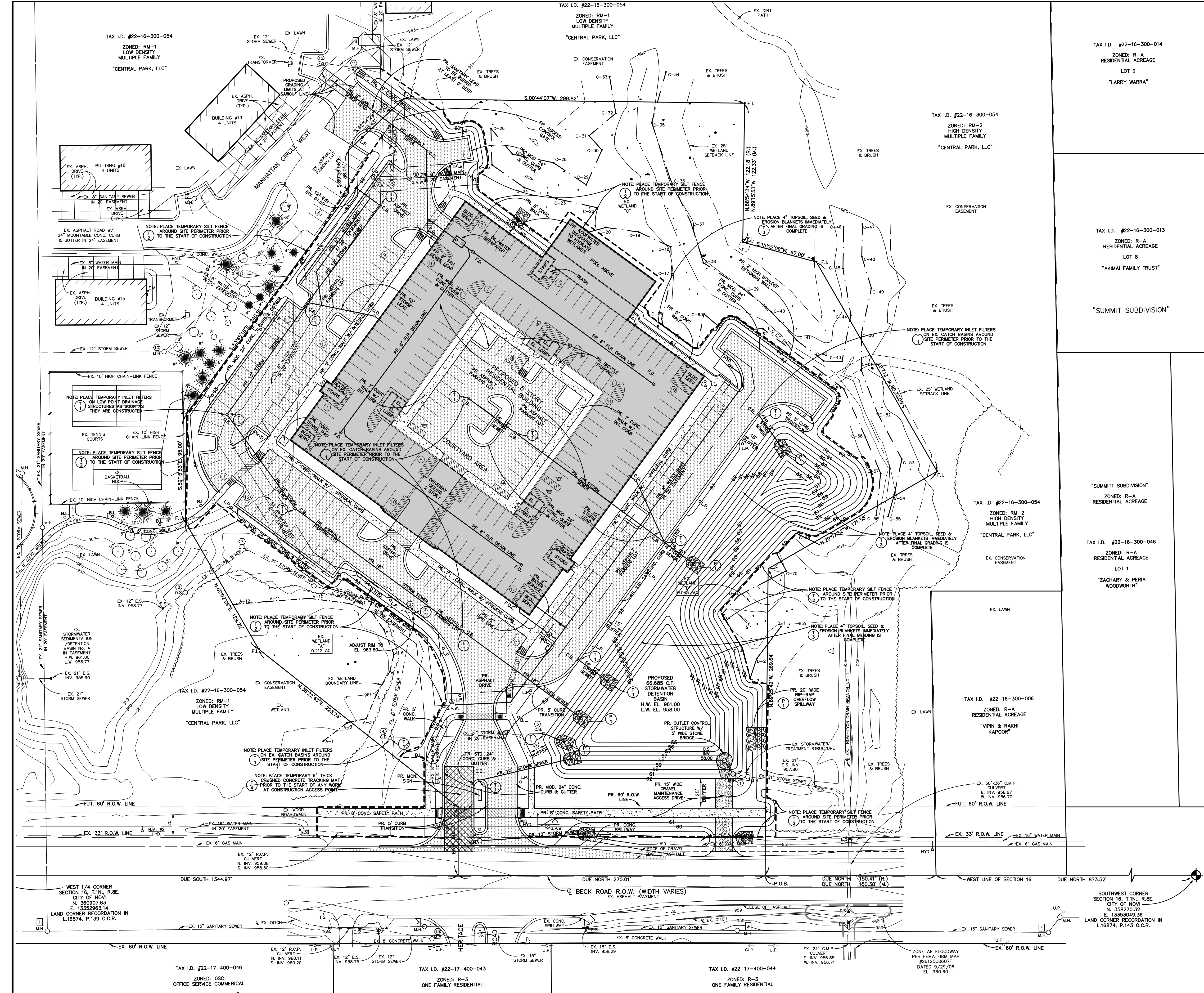
PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.82°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°58'58"E. 38.05 FEET; THENCE S.42°54'29"E. 68.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.85°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING, CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

- CONSTRUCTION NOTES**
- 1.) ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
 - 2.) A NEW SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM THE CITY OF NOVI. DISTURBED AREA TO BE 5.2± ACRES, THEREFORE A N.P.D.E.S. STORMWATER PERMIT IS REQUIRED.
 - 3.) THE SITE CONSTRUCTION AREAS SHALL BE CLEARED AND STRIPPED OF ALL EXISTING TOPSOIL. THE EXISTING ASPHALT PAVEMENT WITHIN THE CONSTRUCTION AREA SHALL BE SAWCUT & REMOVED AS SHOWN. ALL FILL PLACED UNDER OR WITHIN 6 FEET OF PROPOSED BUILDING OR PAVEMENT AREAS SHALL BE CLEAN SAND, FREE OF ANY VEGETATION OR ORGANIC MATERIALS AND SHALL BE PLACED IN 8" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY PER MODIFIED PROCTOR TEST. THE PROPOSED GRADES SHOWN WITHIN LAWN & LANDSCAPED AREAS ARE FINISHED GRADES & INCLUDE 4" TOPSOIL THICKNESS.
 - 4.) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL MAINTAIN A MINIMUM COVER OF 5'-6" IN UNPAVED AREAS, 6'-0" IN PAVED AREAS AND SHALL HAVE MECHANICAL JOINT RESTRAINTS (MEGA-LUG OR APPROVED EQUAL). A M.D.E.Q. PERMIT IS REQUIRED FOR THE PROPOSED WATER MAIN RELOCATION. RESTRAINED JOINT DESIGN SHALL BE PROVIDED TO THE SATISFACTION OF THE CITY OF NOVI PRIOR TO CONSTRUCTION AND SHALL BE PER D.I.R.A. STANDARDS, CURRENT EDITION.
 - 5.) ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE DEPT. APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION WITH THE ADDRESS BEING AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
 - 6.) ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. A M.D.E.Q. PERMIT IS NOT REQUIRED. NO DEWATERING IS ANTICIPATED, HOWEVER IF DEWATERING BECOMES NECESSARY, A DEWATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT.
 - 7.) ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWERS SHALL HAVE M.G.R.L. JOINTS. ALL LOW POINT DRAINAGE STRUCTURES SHALL HAVE 10"-4" P.V.C. DRAINER IN PEA GRAVEL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE.
 - 8.) COMPACTED SAND BACKFILL (M.D.O.T. SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 - 9.) PER THE TEN STATES STANDARD ARTICLE 8.8.3, ONE FULL 20 FOOT PIPE LENGTH OF WATER MAIN SEWER LEAD CONSTRUCTION SHALL BE USED WHENEVER SEWER OR SANITARY SEWER, AND THE PIPE SHALL BE CENTERED ON THE CROSSING, IN ORDER TO ENSURE 10 FOOT SEPARATION BETWEEN WATER MAIN AND SEWERS.
 - 10.) TREES SHALL MAINTAIN A MINIMUM 5 FOOT HORIZONTAL SEPARATION DISTANCE FROM THE WATER MAIN AND AT LEAST A 10 FOOT SEPARATION FROM THE SANITARY SEWER.
 - 11.) THE PROPOSED GRADES SHOWN WITHIN PAVED AREAS ARE FINISHED PAVEMENT GRADES. DRIVE AND PARKING LOT PERIMETERS TO HAVE 24" STANDARD OR MODIFIED CONCRETE CURB AND GUTTER OR CONCRETE WALK WITH INTEGRAL CURB WHERE SHOWN. PROPOSED ON-SITE ASPHALT PAVEMENT SHALL BE:
 1-1/2" - M.D.O.T. NO. 5E1 BITUMINOUS WEARING COURSE ON
 2-1/2" - M.D.O.T. NO. 3C BITUMINOUS LEVELING COURSE ON
 8" - M.D.O.T. NO. 21AA LIMESTONE BASE

NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.
 SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.



| | | | |
|--|---|--|--|
| CLIENT: SOUTH GRAND EQUITIES, LLC 46100 GRAND RIVER AVENUE NOVI, MICHIGAN 48374 PHONE: 248/348-5600 EXT. 211 | REVISIONS: REVISED 07/17/23 - PRELIMINARY SPA APPLICATION REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION | SITE OF THE PROPOSED CENTRAL PARK SOUTH IN SECTION 16 OAKLAND COUNTY MICHIGAN | PRELIMINARY SITE GRADING & PAVING PLAN Environmental engineering, Inc. 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075 PHONE: 248/424-9510 FAX: 248/424-2954 |
| TAX I.D. #22-17-400-046 ZONED: OSC OFFICE SERVICE COMMERCIAL "PROVIDENCE HOSPITAL" | TAX I.D. #22-17-400-043 ZONED: R-3 ONE FAMILY RESIDENTIAL "ROSE SENIOR LIVING" | TAX I.D. #22-17-400-044 ZONED: R-3 ONE FAMILY RESIDENTIAL "PROVIDENCE HOSPITAL" | CITY OF NOVI PROJECT No. 2235 DATE ISSUED 06/21/23 SHEET No. C-2 |



LEGEND

- X — 960.00 — EXISTING ELEVATION
- — — — EXISTING CONTOUR
- O — U.P. — UTILITY POLE
- — — — GUY — GUY WIRE
- — — — HYD. — HYDRANT
- — — — G.V. — GATE VALVE
- — — — G.V.W. — GATE VALVE AND WELL
- — — — C.B. — CATCH BASIN
- — — — M.H. — MANHOLE
- — — — O.S. — OUTLET STRUCTURE
- — — — E.M. — ELECTRIC METER
- — — — G.M. — GAS METER
- — — — A.P. — AMERITECH PEDESTAL
- — — — T.S. — TRAFFIC SIGN
- — — — COMM. MANHOLE — COMMUNICATION MANHOLE
- — — — COMM. VAULT — COMMUNICATION VAULT
- — — — — EXISTING DECIDUOUS TREE DIAMETER
- — — — — EXISTING CONIFEROUS TREE DIAMETER
- — — — — EXISTING TREE NUMBER
- — — — — F.I. — FOUND IRON

BENCH MARKS

CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #26270 BECK RD. ELEVATION 961.04 NGVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 62.5' SOUTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.84 NGVD 29

B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278.5' NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NGVD 29

B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88.5' SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 962.86 NGVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

SOIL EROSION & SEDIMENTATION CONTROL MEASURES LEGEND

- ① — TEMPORARY INLET FILTERS
- ② — TEMPORARY SILT FENCE
- ③ — TEMPORARY EROSION CONTROL BLANKETS
- ④ — TEMPORARY TRACKING MAT
- ⑤ — PERMANENT GRouted RIP-RAP APRON OR SPILLWAY

SOIL EROSION & SEDIMENTATION CONTROL SEQUENCE & NOTES

- INSTALL TEMPORARY SILT FENCE ALONG CONSTRUCTION AREA PERIMETER AS SHOWN ON PLAN. INSTALL TEMPORARY STONE TRACKING MAT AT LOCATION SHOWN. PLACE TEMPORARY INLET FILTERS ON ALL EX. DRAINAGE STRUCTURES LOCATED WITHIN OR NEAR THE PROPOSED CONSTRUCTION AREAS AS SHOWN ON PLANS.
- REMOVE EXISTING SITE IMPROVEMENTS AS SHOWN ON SITE DEMOLITION PLAN. CLEAR SITE AND STRIP ANY EXISTING TOPSOIL. EXCAVATE PROPOSED DETENTION BASIN AND IMMEDIATELY STABILIZE ALL SLOPES STEEPER THAN 1V:1H (4:3) WITH TOPSOIL, SEED AND MULCH BLANKETS. THE STORMWATER DETENTION BASIN MUST BE STABILIZED PRIOR TO RECEIVING FLOW. ROUGH GRADE SITE. BEGIN BUILDING CONSTRUCTION. REMOVE ANY DIRT WHICH MAY BE TRACKED ONTO ADJACENT PAVEMENT AND ROADWAYS ON A DAILY BASIS.
- INSTALL SITE UTILITIES. PLACE INLET FILTERS ON ALL NEW LOW POINT DRAINAGE STRUCTURES AS SOON AS THEY ARE CONSTRUCTED. TEMPORARY INLET FILTERS AND DETENTION BASIN SUMP TO BE INSPECTED WEEKLY FOR SEDIMENT ACCUMULATION UNTIL SITE IS STABILIZED, AND CLEANED AS REQUIRED.
- FINE GRADE PAVEMENT AREAS AND INSTALL PAVEMENT. REPAIR AND/OR REPLACE INLET FILTERS AS REQUIRED.
- FINE GRADE ALL UNPAVED AREAS AND DISTRIBUTE 4" (MIN.) TOPSOIL, SEED AND MULCH (OR SOD) ALL DISTURBED PORTIONS OF SITE WHICH ARE UNPAVED WITHIN FIVE (5) DAYS OF FINAL GRADING OR WHENEVER DISTURBED AREAS WILL REMAIN UNCHANGED FOR 30 DAYS OR GREATER.
- COMPLETE BUILDING CONSTRUCTION. CLEAN SITE PAVEMENT, STORM SEWERS AND DETENTION BASIN REMOVING ANY ACCUMULATED SEDIMENT AND DEBRIS. REMOVE TEMPORARY EROSION CONTROL MEASURES WHEN ALL AREAS ARE STABILIZED.
- A STREET SWEEPER IS TO REMAIN ON SITE AT ALL TIMES, OR A SUBCONTRACTOR MUST BE ABLE TO MAKE DAILY VISITS TO THE SITE AS NECESSARY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO KEEP THE STREETS CLEAN AND TO CONTROL DUST AT ALL TIMES.
- IT IS THE DEVELOPER'S (OR PERMIT HOLDER'S) ULTIMATE RESPONSIBILITY TO MAINTAIN S.E.S.C. MEASURES THROUGHOUT CONSTRUCTION.
- THE DEVELOPER OR AUTHORIZED AGENT IS THE PERMITTED ENTITY, NOT THE BUILDER, CONTRACTOR OR HOMEOWNER.
- NO DOWATERING IS ANTICIPATED, HOWEVER, IF DOWATERING BECOMES NECESSARY A DOWATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT. ANY DOWATERING OR RELIEF FROM PONDING SHALL BE DISCARDED THROUGH AN ADEQUATE FILTER. THE DISCHARGE POINT SHALL BE CAPABLE OF SUSTAINING VOLUMES AND VELOCITIES DOWNSTREAM.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO GRADE AND STABILIZE DISTURBANCES DUE TO THE INSTALLATION OF PUBLIC UTILITIES, I.E. GAS, ELECTRIC, PHONE, CABLE, ETC.
- THE CITY OF NOVI AND ITS DESIGNATED AGENTS, RESERVE THE RIGHT TO INSTITUTE ANY ADDITIONAL S.E.S.C. MEASURES, AT THE DEVELOPER'S SOLE EXPENSE, THAT WERE NOT ORIGINALLY CONSIDERED WITHIN THE APPROVED PLANS, SPECIFICATIONS, PERMITS, ETC., AS NECESSARY TO PROTECT THE WATERS OF THE STATE AND THE SAFETY AND WELFARE OF THE CITY OF NOVI. IF THE INSTRUMENT OR ANY PART THEREOF DOES NOT INCLUDE ANY OF THE FOLLOWING ACTIONS ON BEHALF OF THE DEVELOPER: 1) STREET SWEEPING AND/OR VACUUMING; 2) ADDITIONAL SILT FENCE PLACEMENT; 3) TEMPORARY STABILIZATION, INCLUDING SEED AND STRAW MULCH, HYDROSEED, OR SEED AND STRAW MULCH BLANKET; 4) PLACEMENT OF STORM SEWER INLET FILTRATION; AND 5) PLACEMENT OF CHECK DAMS, SEDIMENT TRAPS AND RIP-RAP.

NOTE: INSTALLATION OF SILT FENCING OR TREE PROTECTION FENCING SHALL NOT OCCUR PRIOR TO THE INITIAL CITY PRE-CONSTRUCTION MEETING. WHEN NATURAL FEATURES EXIST ON THE SITE, INSPECTION OF STAKING MAY BE REQUIRED PRIOR TO INSTALLATION OF FENCING.

SOIL EROSION & SEDIMENTATION CONTROL MEASURES INSPECTION AND MAINTENANCE SCHEDULE

ALL TEMPORARY EROSION CONTROL MEASURES AND DETENTION BASIN FOREBAY SHOULD BE CHECKED ON A WEEKLY BASIS AND IMMEDIATELY AFTER EACH RAINFALL EVENT. ANY MAINTENANCE NEEDED TO KEEP THE MEASURES PERFORMING THEIR INTENDED PURPOSE SHOULD BE DONE IMMEDIATELY AFTER THE SITE INSPECTION. EXAMPLES OF REQUIRED MAINTENANCE INCLUDE THE FOLLOWING:

- INLET FILTERS — SILTSACK INSERTS SHOULD BE CLEANED OUT PERIODICALLY SO AS NOT TO BECOME CLOGGED. ANY DAMAGED FILTERS SHALL BE REPLACED IMMEDIATELY.
- TRACKING MAT — CRUSHED CONCRETE SHOULD BE ADDED TO THE TRACKING MATS AS THEY BECOME COVERED WITH MUD. ADJACENT ROADWAYS SHOULD BE CLEANED ON A DAILY BASIS AS NECESSARY TO REMOVE ANY DIRT WHICH MAY BE TRACKED ONTO THEM.
- SILT FENCE — SOIL ACCUMULATED BEHIND THE SILT FENCE SHOULD BE REMOVED AFTER REACHING A 6" HEIGHT. ANY AREAS WHERE THE SILT FENCE HAS BEEN UNDERCUT SHALL BE REINSTALLED WITH THE REQUIRED 6" MINIMUM ANCHOR TRENCH. ANY DAMAGED SILT FENCE SHALL BE REPLACED IMMEDIATELY.
- SLOPE STABILIZATION BLANKETS — STRAW BLANKETS SHOULD BE REPAIRED, REPLACED OR RESTAKED AS NECESSARY TO HOLD THE UNDERLYING TOPSOIL & SEED IN PLACE UNTIL TURF IS ESTABLISHED.
- TOPSOIL SEED & MULCH — ALL GREENBELT AREAS SHOULD RECEIVE 4" TOPSOIL, SEED AND MULCH (OR HYDRO-SEED OR SOD) WITHIN FIVE (5) DAYS OF REACHING FINAL GRADE. ANY ERODED AREAS SHALL BE IMMEDIATELY REPAIRED BY REGRADING AND PLACING ADDITIONAL SEED & MULCH.

TAX I.D. #22-16-300-014
ZONED: R-A
RESIDENTIAL ACREAGE
LOT 9
"LARRY WARRA"

TAX I.D. #22-16-300-054
ZONED: RM-2
HIGH DENSITY
MULTIPLE FAMILY
"CENTRAL PARK, LLC"

TAX I.D. #22-16-300-013
ZONED: R-A
RESIDENTIAL ACREAGE
LOT 8
"AKIAMI FAMILY TRUST"

"SUMMIT SUBDIVISION"

TAX I.D. #22-16-300-054
ZONED: RM-2
HIGH DENSITY
MULTIPLE FAMILY
"CENTRAL PARK, LLC"

TAX I.D. #22-16-300-046
ZONED: R-A
RESIDENTIAL ACREAGE
LOT 1
"ZACHARY & PERIA WOODWORTH"

TAX I.D. #22-16-300-006
ZONED: R-A
RESIDENTIAL ACREAGE
"WPM & RAKHI KAPOR"

TAX I.D. #22-17-400-046
ZONED: OSC
OFFICE SERVICE COMMERCIAL
"PROVIDENCE HOSPITAL"

TAX I.D. #22-17-400-043
ZONED: R-3
ONE FAMILY RESIDENTIAL
"ROSE SENIOR LIVING"

TAX I.D. #22-17-400-044
ZONED: R-3
ONE FAMILY RESIDENTIAL
"PROVIDENCE HOSPITAL"

CLIENT: SOUTH GRAND EQUITIES, LLC
46100 GRAND RIVER AVENUE
NOVI, MICHIGAN 48374
PHONE: 248/348-5600 EXT. 211

REVISIONS: REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

SITE OF THE PROPOSED
CENTRAL PARK SOUTH
IN SECTION 16
OAKLAND COUNTY

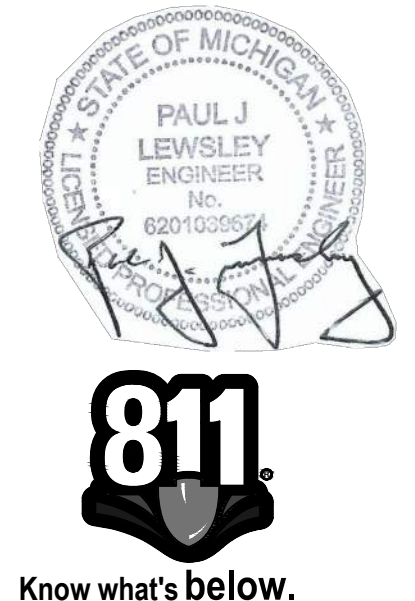
PRELIMINARY SITE SOIL EROSION CONTROL PLAN

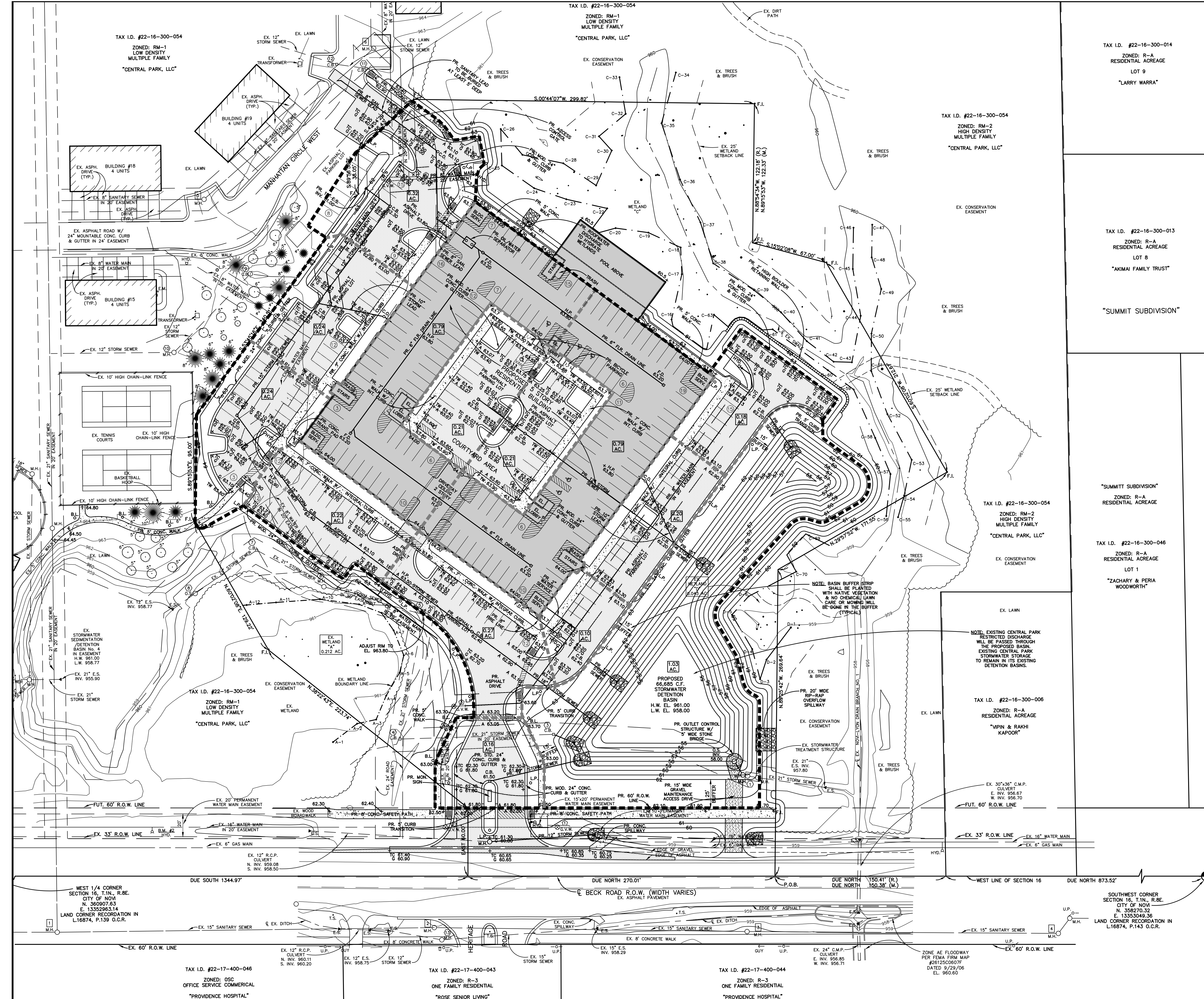
Environmental engineers, Inc.
18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235
DATE ISSUED 06/21/23
SHEET No. C-3

NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.
SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.

Know what's below.
Call before you dig.





LEGEND

- 960.00 — — EXISTING ELEVATION
- 960 — — EXISTING CONTOUR
- U.P. — — UTILITY POLE
- GUY — — GUY WIRE
- HYD. — — HYDRANT
- G.V. — — GATE VALVE
- G.V.W. — — GATE VALVE AND WELL
- C.B. — — CATCH BASIN
- M.H. — — MANHOLE
- O.S. — — OUTLET STRUCTURE
- E.M. — — ELECTRIC METER
- G.M. — — GAS METER
- A.P. — — AMERITECH PEDESTAL
- T.S. — — TRAFFIC SIGN
- COMM. M.H. — — COMMUNICATION MANHOLE
- COMM. VAULT — — COMMUNICATION VAULT
- EXISTING DECIDUOUS TREE DIAMETER
- EXISTING CONIFEROUS TREE DIAMETER
- EXISTING TREE TO BE REMOVED
- F.I. — — FOUND IRON

NORTH

SCALE:
1" = 40'

PROPOSED STORMWATER DETENTION BASIN DESIGN CALCULATIONS

DETENTION VOLUME REQUIRED

USE OAKLAND COUNTY DRAIN COMMISSIONERS FORMULA TO DETERMINE REQUIRED DETENTION VOLUME FOR 100 YR. STORM PER CITY OF NOVI STORMWATER MANAGEMENT ORDINANCE. CALCULATE FIRST FLUSH & BANK FULL VOLUMES BASED ON CITY OF NOVI STORMWATER MANAGEMENT ORDINANCE FORMULAS.

WEIGHTED = $3.70 \text{ AC}(0.95) + 0.43 \text{ AC}(0.35) + 0.39(1.00) = 0.90$
 COEFFICIENT = $4.52 \text{ AC. TOTAL TRIBUTARY AREA}$

$Q_0 = \frac{\text{ALLOWABLE OUTFLOW } Q_0}{(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})}$ WHERE: $Q_0 = (\text{ACREAGE})(0.15 \text{ CFS/AC.})$
 $Q_0 = \frac{(4.52 \text{ AC.})(0.15 \text{ CFS/AC.})}{(4.52 \text{ AC.})(0.90 \text{ AVG. "C"})} = 0.1667$

$T_{100} = -25 + \sqrt{\frac{10,312.5}{0.1667}} = 224 \text{ MIN.}$

$V_{5100} = \frac{16,500(T)}{T + 25} = 40(Q_0)(T)$
 $V_{5100} = \frac{16,500(224)}{224 + 25} = 40(0.1667)(224) = 13,750 \text{ C.F. /AC. IMP.}$

$V_{1100} = V_{5100}(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})$
 $V_{1100} = (13,750)(4.42)(0.90) = 54,308 \text{ CU. FT. REQUIRED FOR 100 YR. STORM}$

FIRST FLUSH VOLUME REQUIRED

$V_{ff} = 1.815(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})$
 $V_{ff} = 1.815(4.52)(0.90) = 7,383 \text{ CU. FT. REQUIRED}$

BANK FULL VOLUME REQUIRED

$V_{bf} = 5.160(\text{ACREAGE})(\text{RUNOFF COEFFICIENT})$
 $V_{bf} = 5.160(4.52)(0.90) = 20,991 \text{ CU. FT. REQUIRED}$

DETENTION VOLUME PROVIDED

PERMANENT POOL

| CONTOUR | AREA BELOW CONTOUR | AVERAGE DEPTH | VOLUME BETWEEN CONTOURS | CUMULATIVE VOLUME | FIRST FLUSH |
|--------------|--------------------|-----------------------|-------------------------|-------------------|-----------------------|
| 955.0 (BOT.) | 5,954 S.F. | 6,852 S.F. x 1.0 FT. | 6,852 C.F. | 18,555 C.F. | EL. 958.40 |
| 956.0 | 7,750 S.F. | 8,932 S.F. x 1.0 FT. | 8,932 C.F. | 40,739 C.F. | BANK FULL 20,991 C.F. |
| 957.0 | 10,114 S.F. | 15,080 S.F. x 1.0 FT. | 15,080 C.F. | 66,685 C.F. | EL. 959.11 |
| 958.0 (L.W.) | 16,775 S.F. | 29,833 S.F. x 1.0 FT. | 29,833 C.F. | 96,518 C.F. | 100 YR. 54,308 C.F. |

PERMANENT POOL VOLUME PROVIDED = 30,864 CU. FT. > 7,383 C.F. ✓ ACCEPTABLE

DETENTION BASIN

| CONTOUR | AREA BELOW CONTOUR | AVERAGE DEPTH | VOLUME BETWEEN CONTOURS | CUMULATIVE VOLUME | FIRST FLUSH |
|--------------|--------------------|-----------------------|-------------------------|-------------------|-----------------------|
| 955.0 (L.W.) | 16,775 S.F. | 18,555 S.F. x 1.0 FT. | 18,555 C.F. | 40,739 C.F. | EL. 958.40 |
| 959.0 | 20,335 S.F. | 22,184 S.F. x 1.0 FT. | 22,184 C.F. | 66,685 C.F. | BANK FULL 20,991 C.F. |
| 960.0 | 24,032 S.F. | 25,946 S.F. x 1.0 FT. | 25,946 C.F. | 96,518 C.F. | EL. 959.11 |
| 961.0 (H.W.) | 27,859 S.F. | 29,833 S.F. x 1.0 FT. | 29,833 C.F. | 126,351 C.F. | 100 YR. 54,308 C.F. |
| 962.0 | 31,807 S.F. | | | 156,184 C.F. | EL. 960.52 |

DETENTION BASIN VOLUME PROVIDED = 66,685 CU. FT. > 54,308 C.F. ✓ ACCEPTABLE

PRE-DEVELOPMENT/POST-DEVELOPMENT DISCHARGE RATE CALCULATION

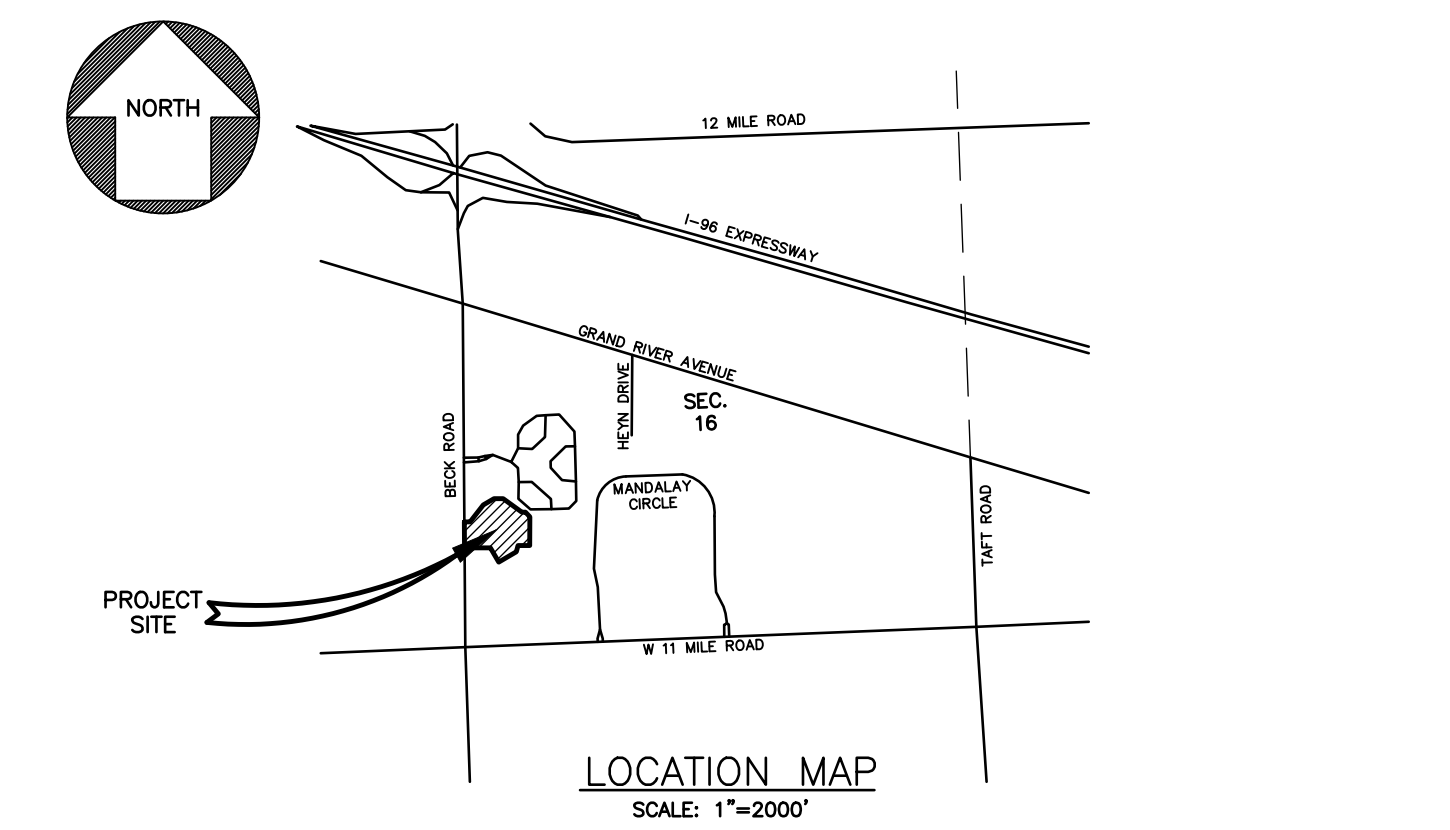
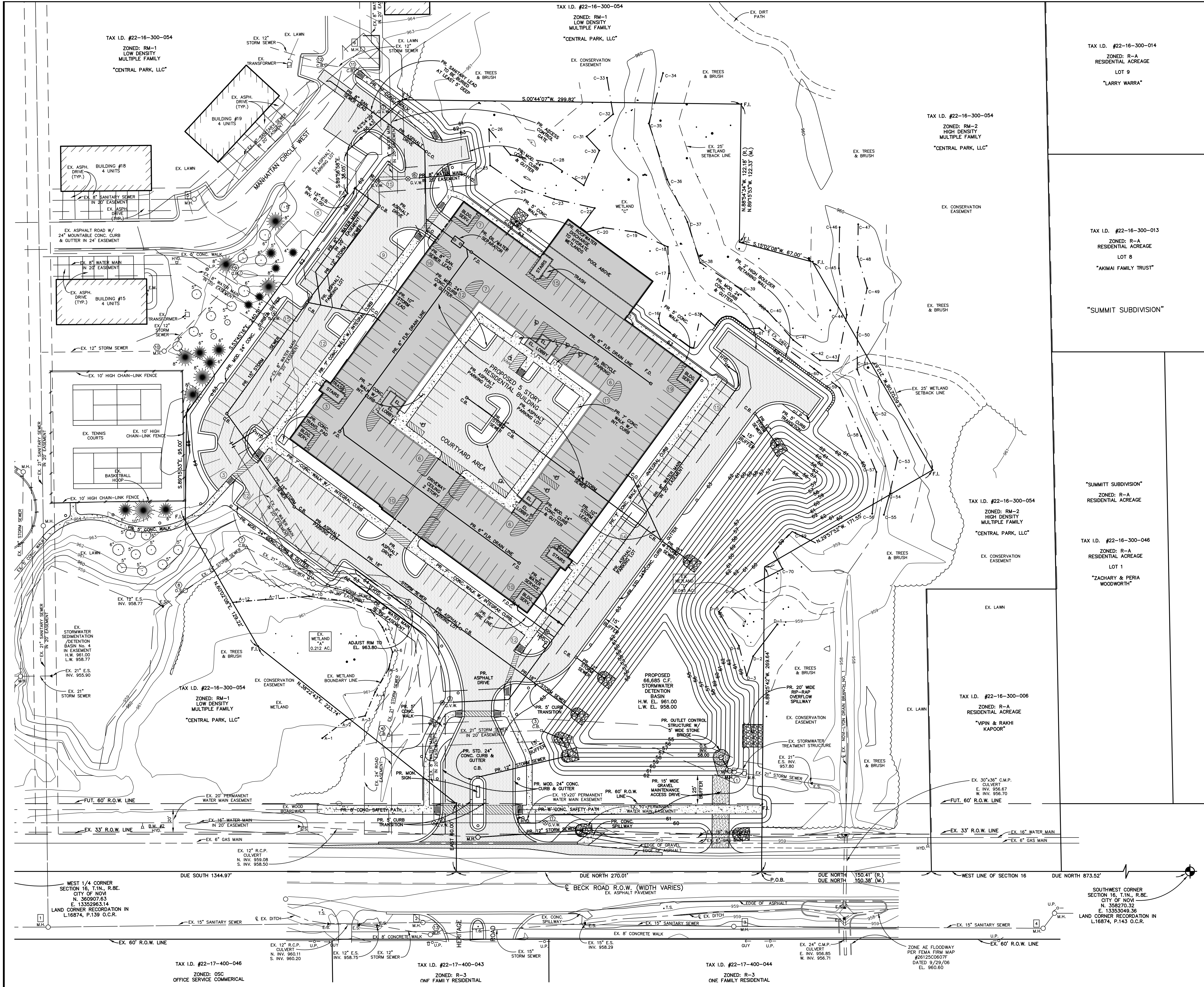
DEVELOPED PORTION OF SITE RUNOFF TO BE DIRECTED TO PROPOSED DETENTION BASIN = 4.52 ACRES
 UNDEVELOPED PORTION OF SITE RUNOFF TO CONTINUE TO FLOWING TO ADJACENT WETLANDS = 2.10 ACRES
 TOTAL NET SITE AREA = 6.62 ACRES

PRE-DEVELOPMENT
 100 YR. STORM DISCHARGE : $(0.30) \frac{275}{20+25} (6.62) = 12.14 \text{ CFS}$

POST-DEVELOPMENT
 100 YR. STORM DISCHARGE : $(0.30) \frac{275}{20+25} (2.10) = 3.85 \text{ CFS}$
 DISCHARGE : $4.52 \text{ AC.}(0.15 \text{ CFS/AC.}) = +0.68 \text{ CFS}$
 TOTAL = 4.53 CFS



NOTE: SITE WETLANDS DELINEATED BY BARR ENGINEERING CO. ON NOVEMBER 1, 2022.
 SITE TREE INFORMATION PROVIDED BY CONROY & ASSOCIATES.



LEGEND

| | |
|-------|-----------------------------------|
| — | EXISTING ELEVATION |
| —960— | EXISTING CONTOUR |
| —○— | UTILITY POLE |
| —○— | GUY WIRE |
| —○— | HYDRANT |
| —○— | G.V. |
| —○— | G.V.V. |
| —○— | GATE VALVE |
| —○— | AND WELL |
| —○— | M.H. |
| —○— | MANHOLE |
| —○— | C.B. |
| —○— | CATCH BASIN |
| —○— | O.S. |
| —○— | OUTLET STRUCTURE |
| —○— | E.M. |
| —○— | ELECTRIC METER |
| —○— | G.M. |
| —○— | GAS METER |
| —○— | A.P. |
| —○— | AMERICAN PEDESTAL |
| —○— | T.S. |
| —○— | TRAFFIC SIGN |
| —○— | COMM. M.H. |
| —○— | COMMUNICATION MANHOLE |
| —○— | COMMUNICATION VAULT |
| —○— | EXISTING DECIDUOUS TREE DIAMETER |
| —○— | EXISTING CONIFEROUS TREE DIAMETER |
| —○— | EXISTING TREE NUMBER |
| —○— | F.I. |
| —○— | FOUND IRON |

BENCH MARKS

CITY OF NOVI #1742

"X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #28270 BECK RD. ELEVATION 961.04 NAVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SOUTH OF NORTHWEST PROPERTY CORNER. ELEVATION 962.84 NAVD 29

B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± NORTHWEST OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NAVD 29

B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NAVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

PROPERTY DESCRIPTION - TAX ID. #50-22-16-300-055

PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST END OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.82°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 90.00 FEET; THENCE S.53°45'16"E. 240.51 FEET; THENCE S.89°56'58"E. 38.05 FEET; THENCE S.42°54'29"E. 68.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.85°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.60°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING, CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

- CONSTRUCTION NOTES**
- 1.) ALL SITE WORK SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE CITY OF NOVI.
 - 2.) A NEW SOIL EROSION AND SEDIMENTATION CONTROL PERMIT IS REQUIRED FROM THE CITY OF NOVI. DISTURBED AREA TO BE 5.2:1 ACRES, THEREFORE A N.P.D.E.S. STORMWATER PERMIT IS REQUIRED.
 - 3.) THE SITE CONSTRUCTION AREAS SHALL BE CLEARED AND STRIPPED OF ALL EXISTING TOPSOIL. THE EXISTING ASPHALT PAVEMENT WITHIN THE CONSTRUCTION AREA SHALL BE SAWCUT & REMOVED AS SHOWN. ALL FILL PLACED UNDER OR WITHIN 6 FEET OF PROPOSED BUILDING OR PAVEMENT AREAS SHALL BE CLEAN SOIL, FREE OF ANY VEGETATION OR ORGANIC MATERIALS AND SHALL BE PLACED IN 8" MAXIMUM LIFTS COMPACTED TO 95% OF MAXIMUM DENSITY PER MODIFIED PROCTOR TEST. THE PROPOSED GRADES SHOW LANDSCAPED AREAS ARE FINISHED GRADES & INCLUDE 4" TOPSOIL THICKNESS.
 - 4.) ALL WATER MAIN CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. SHALL MAINTAIN A MINIMUM COVER OF 5'-6" IN UNPAVED AREAS, 6'-0" IN PAVED AREAS AND SHALL HAVE MECHANICAL JOINT RESTRAINTS (MEGA-LUG OR APPROVED EQUAL). A M.D.E.Q. PERMIT IS REQUIRED FOR THE PROPOSED WATER MAIN RELOCATION. RESTRAINED JOINT DESIGN SHALL BE PROVIDED TO THE INSPECTING ENGINEER PRIOR TO CONSTRUCTION AND SHALL BE PER D.I.F.R.A. STANDARDS, CURRENT EDITION.
 - 5.) ALL WATER MAINS AND FIRE HYDRANTS ARE TO BE INSTALLED AND BE IN SERVICE PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING 35 TONS ARE TO BE PROVIDED FOR FIRE DEPT. APPARATUS PRIOR TO CONSTRUCTION ABOVE THE FOUNDATION. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION WITH THE ADDRESS BEING AT LEAST 3 INCHES HIGH ON A CONTRASTING BACKGROUND.
 - 6.) ALL SANITARY SEWER LEAD CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS & SPECIFICATIONS. A M.D.E.Q. PERMIT IS NOT REQUIRED. NO DEMURING IS ANTICIPATED, HOWEVER IF DEMURING BECOMES NECESSARY, A DEMATERING PLAN MUST BE SUBMITTED TO THE CITY OF NOVI ENGINEERING DEPARTMENT.
 - 7.) ALL STORM SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS. ALL STORM SEWER SHALL HAVE M.C.R.J. JOINTS. ALL LOW POINT DRAINAGE STRUCTURES SHALL HAVE 10"-4" P.V.C. BLEEDER DRAIN IN PEA GRAVEL TRENCH IN FOUR DIRECTIONS FROM THE STRUCTURE TO THE STREET.
 - 8.) COMPACTED SAND BACKFILL (M.D.O.T. SAND CLASS II) SHALL BE PROVIDED FOR ALL UTILITIES WITHIN THE INFLUENCE OF PAVED AREAS.
 - 9.) PER THE TEN STATES STANDARDS ARTICLE 8.1.3. ONE FULL 20 FOOT PIPE LENGTH OF WATER MAIN SHALL BE USED WHENEVER STORM SEWER OR SANITARY SEWER IS CROSSED, AND THE PIPE SHALL BE CENTERED ON THE CROSSING FROM THE SANITARY SEWER. DEMATERING SHALL BE IN ACCORDANCE WITH THE CITY OF NOVI STANDARD DETAILS AND SPECIFICATIONS.
 - 10.) TREES SHALL MAINTAIN A MINIMUM 5 FOOT HORIZONTAL SEPARATION DISTANCE FROM THE WATER MAIN AND CULVERT OR CONCRETE WALK WITH INTEGRAL CURB WHERE SHOWN.
 - 11.) THE PROPOSED GRADES SHOWN WITHIN PAVEMENT AREAS ARE FINISHED PAVEMENT GRADES. DRIVE AND PARKING LOT PERMITTERS TO HAVE 24" STANDARD OR MODIFIED CONCRETE CURB AND GUTTER OR CONCRETE WALK WITH INTEGRAL CURB WHERE SHOWN. PROPOSED ONSITE ASPHALT PAVEMENT SHALL BE:
 1-1/2" - M.D.O.T. NO. 5E1 BITUMINOUS WEARING COURSE ON
 2-1/2" - M.D.O.T. NO. 3C BITUMINOUS LEVING COURSE ON
 8" - M.D.O.T. NO. 21AA LIMESTONE BASE



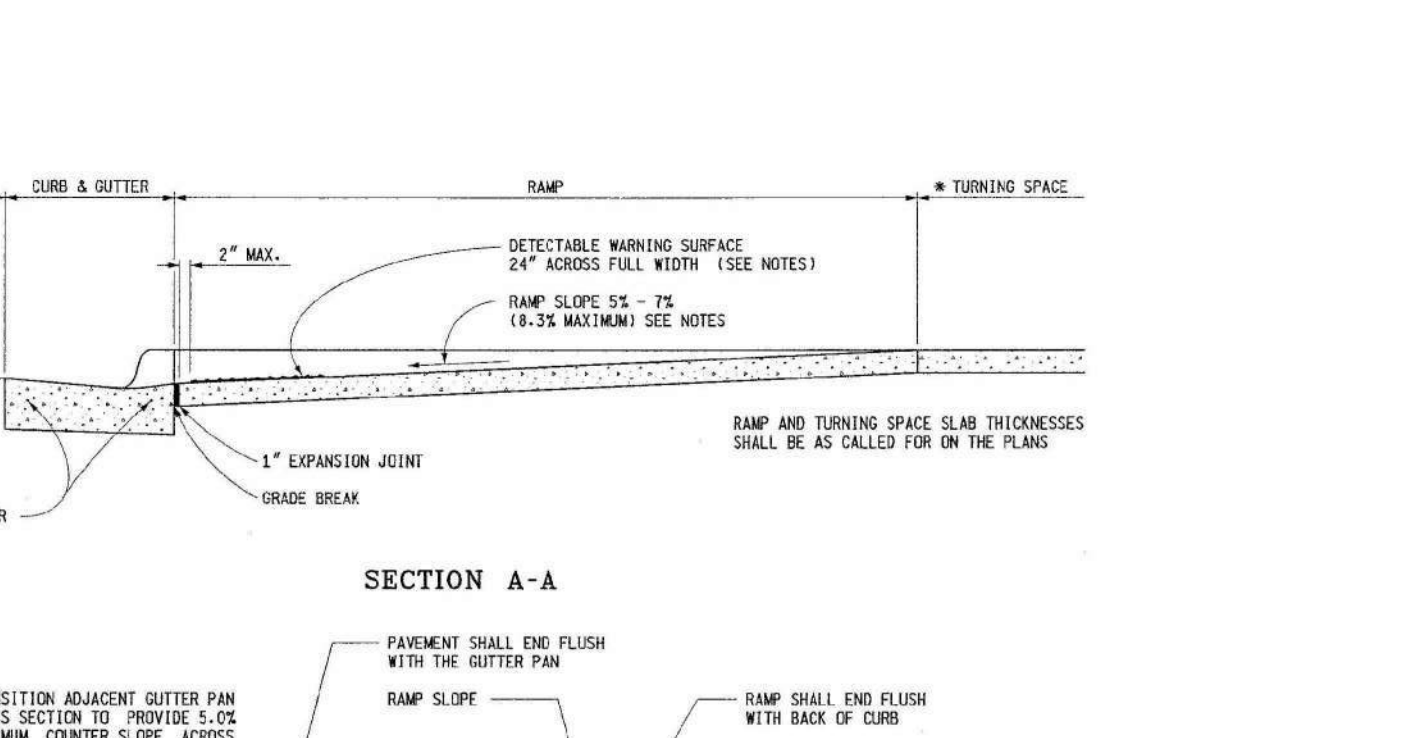
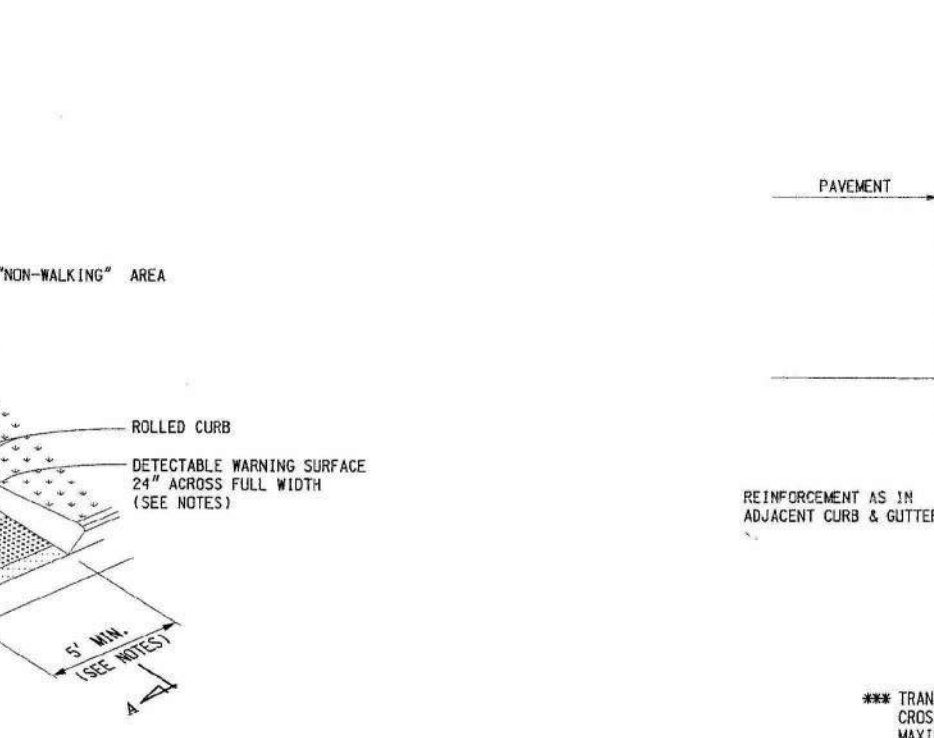
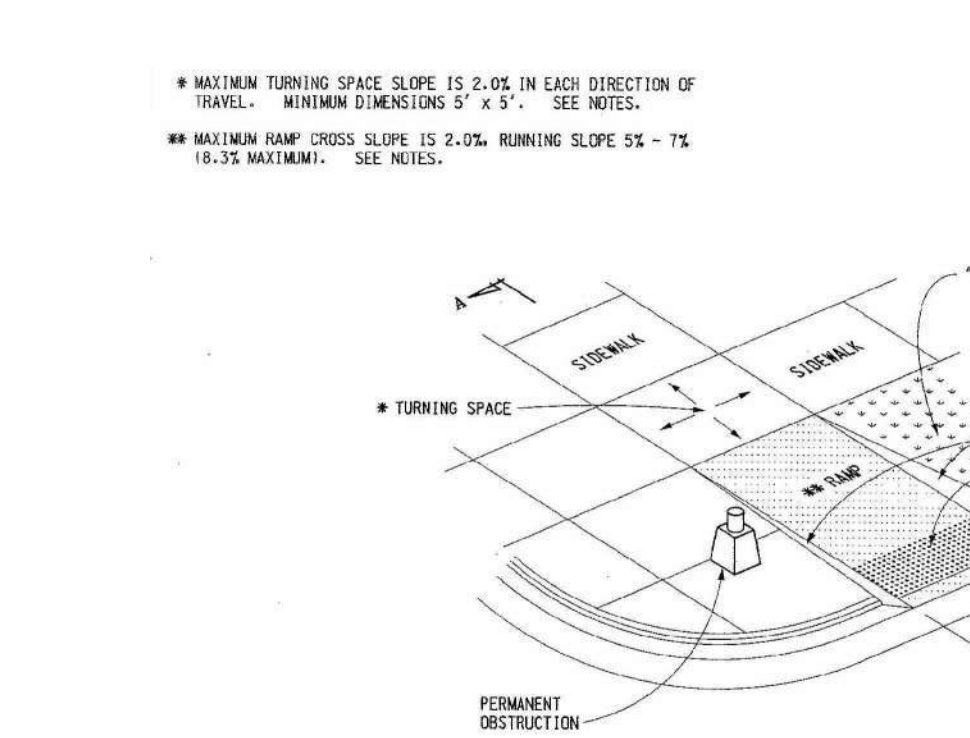
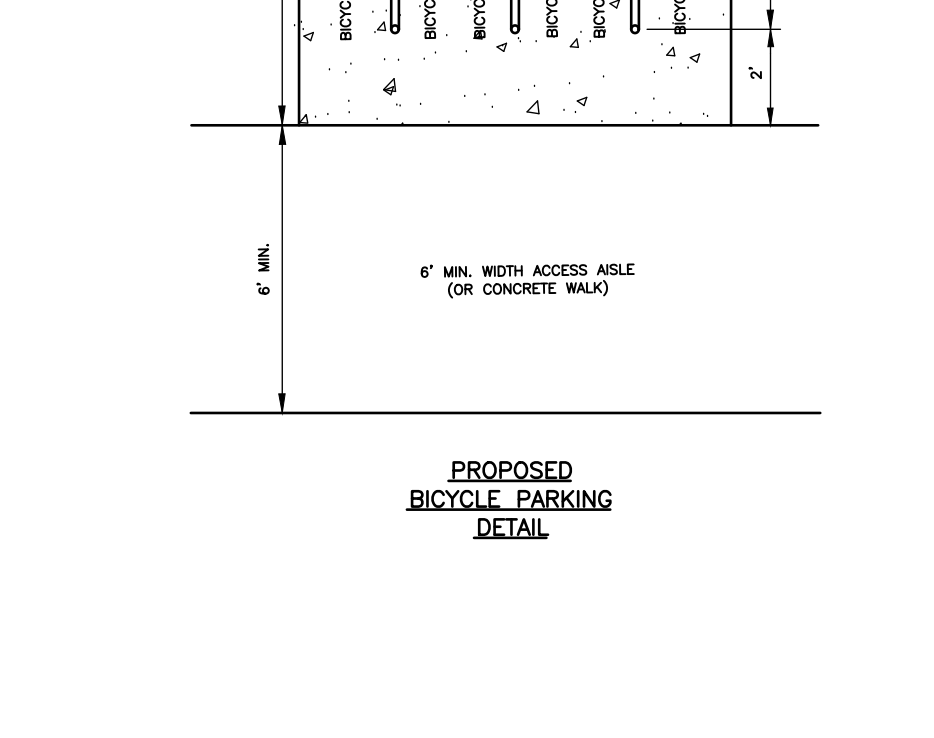
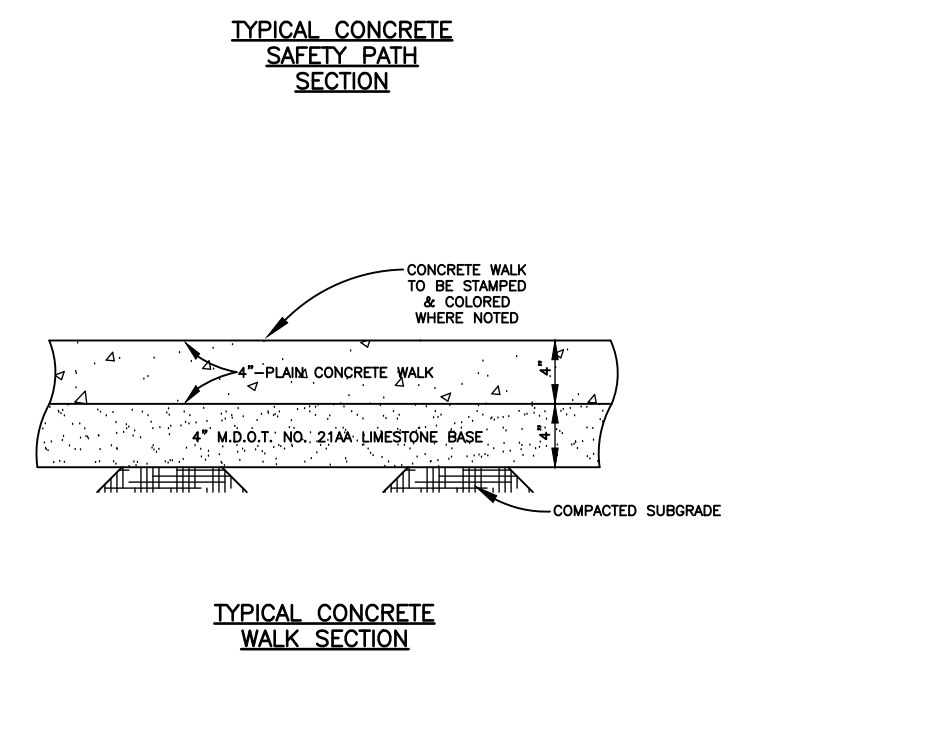
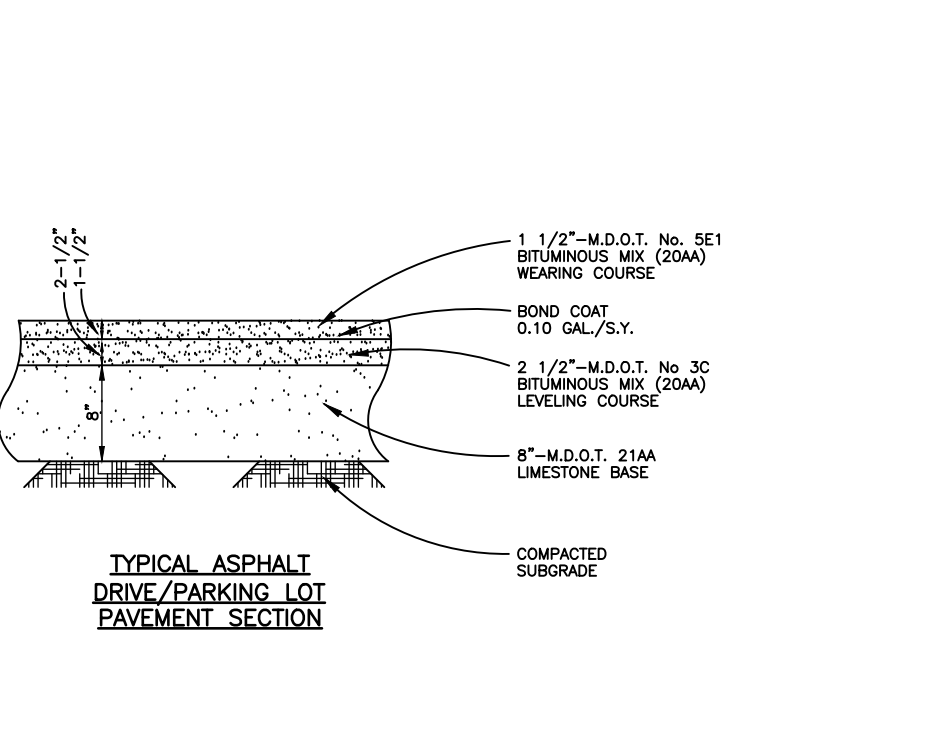
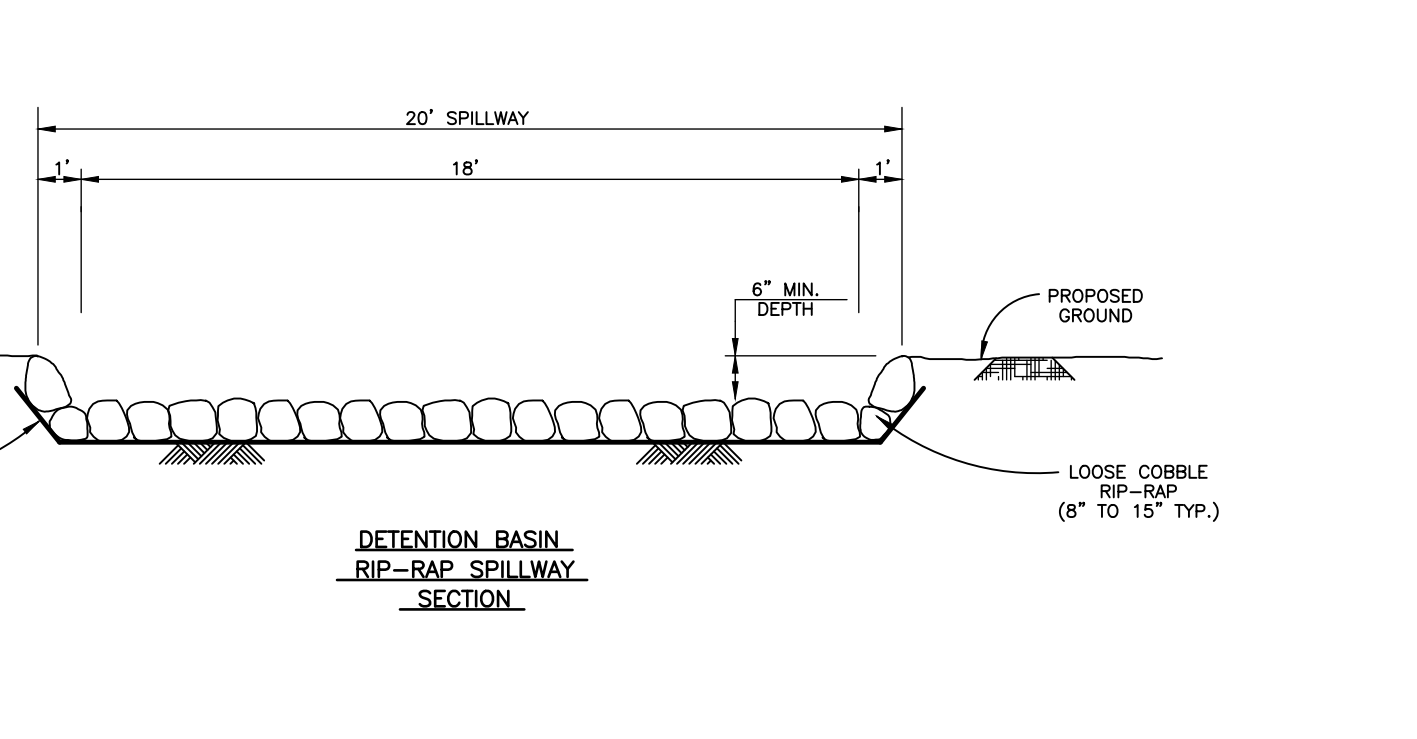
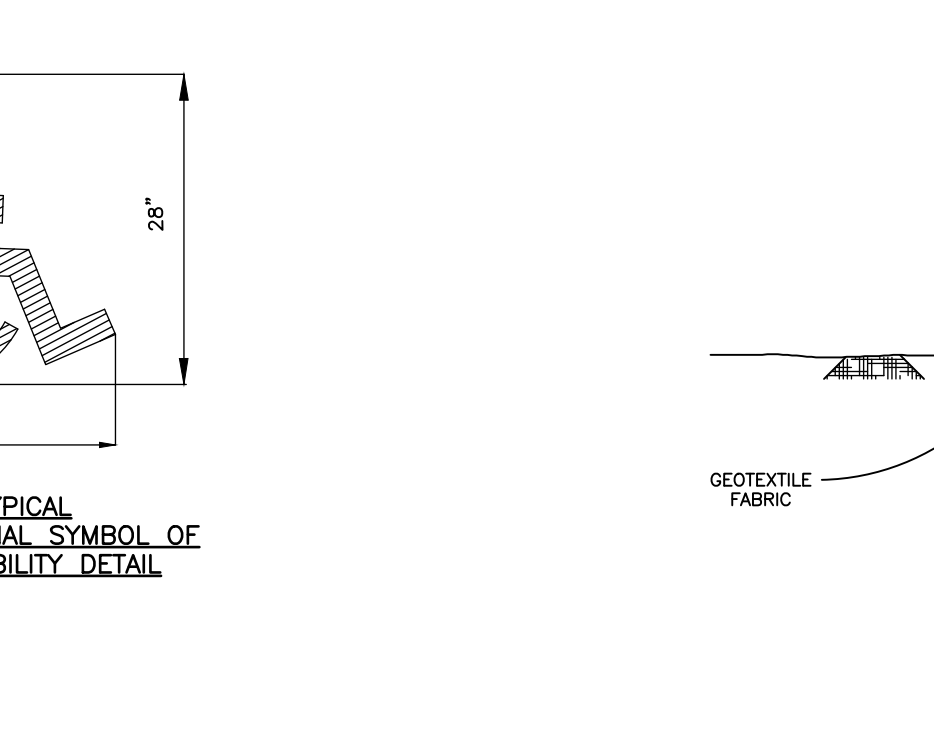
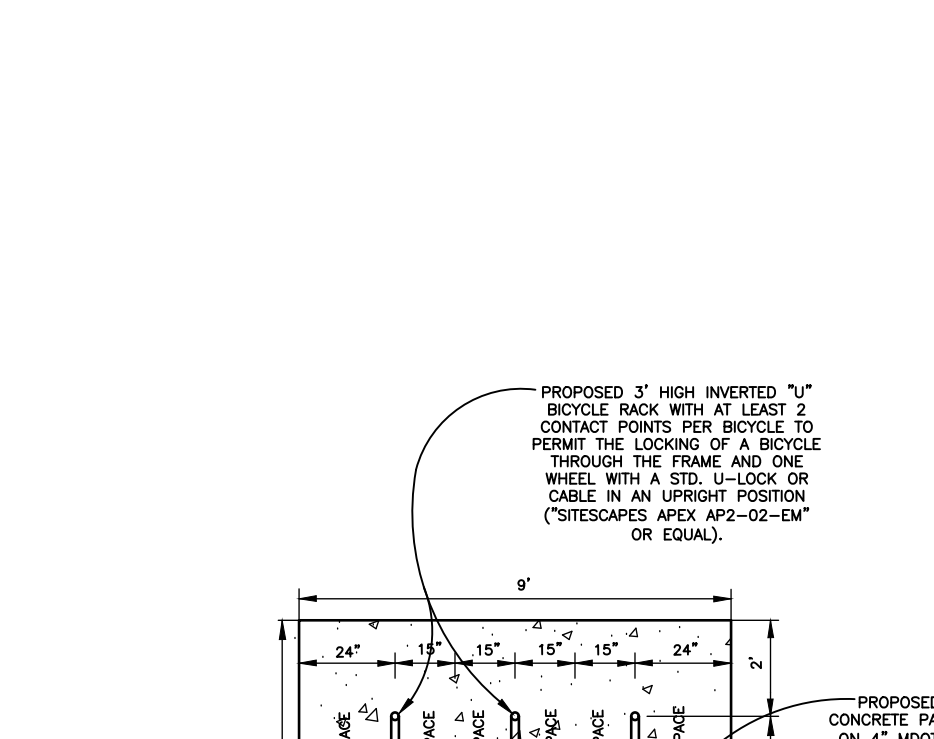
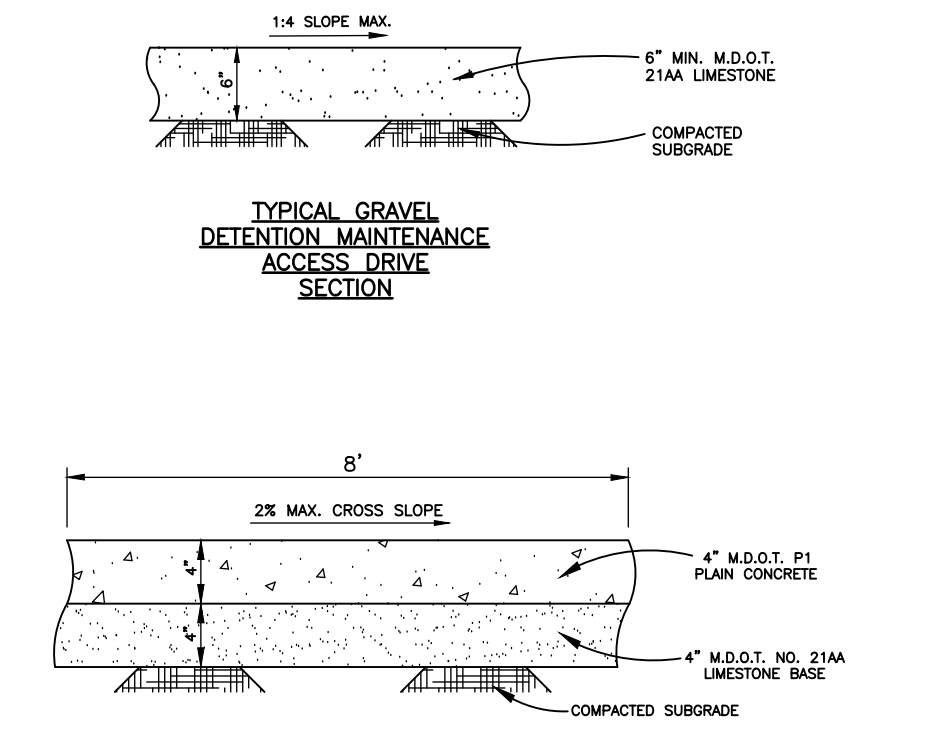
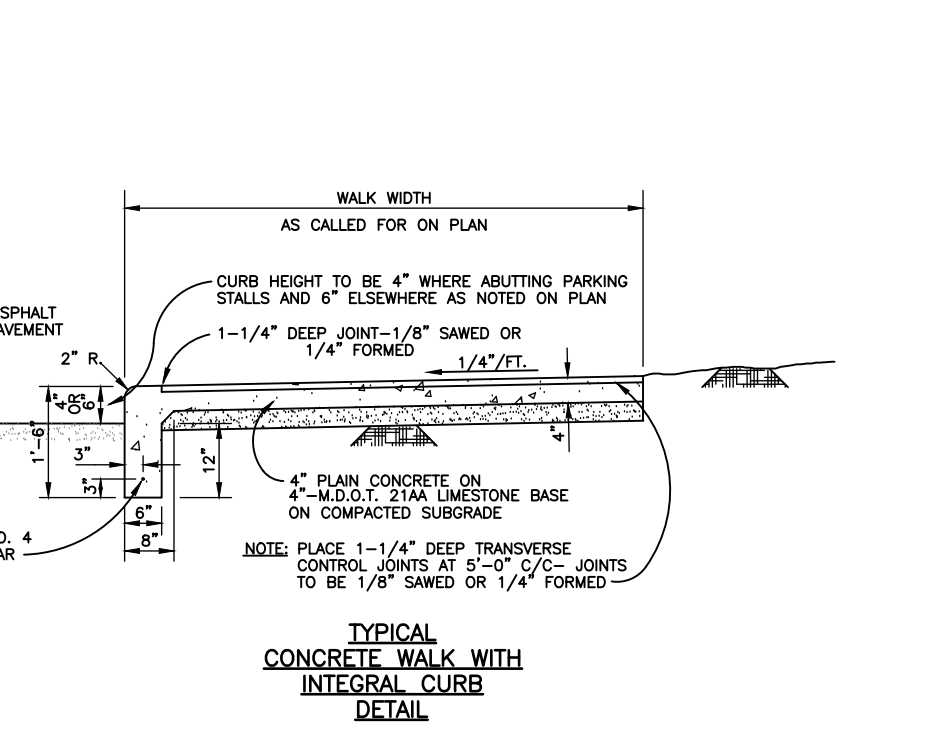
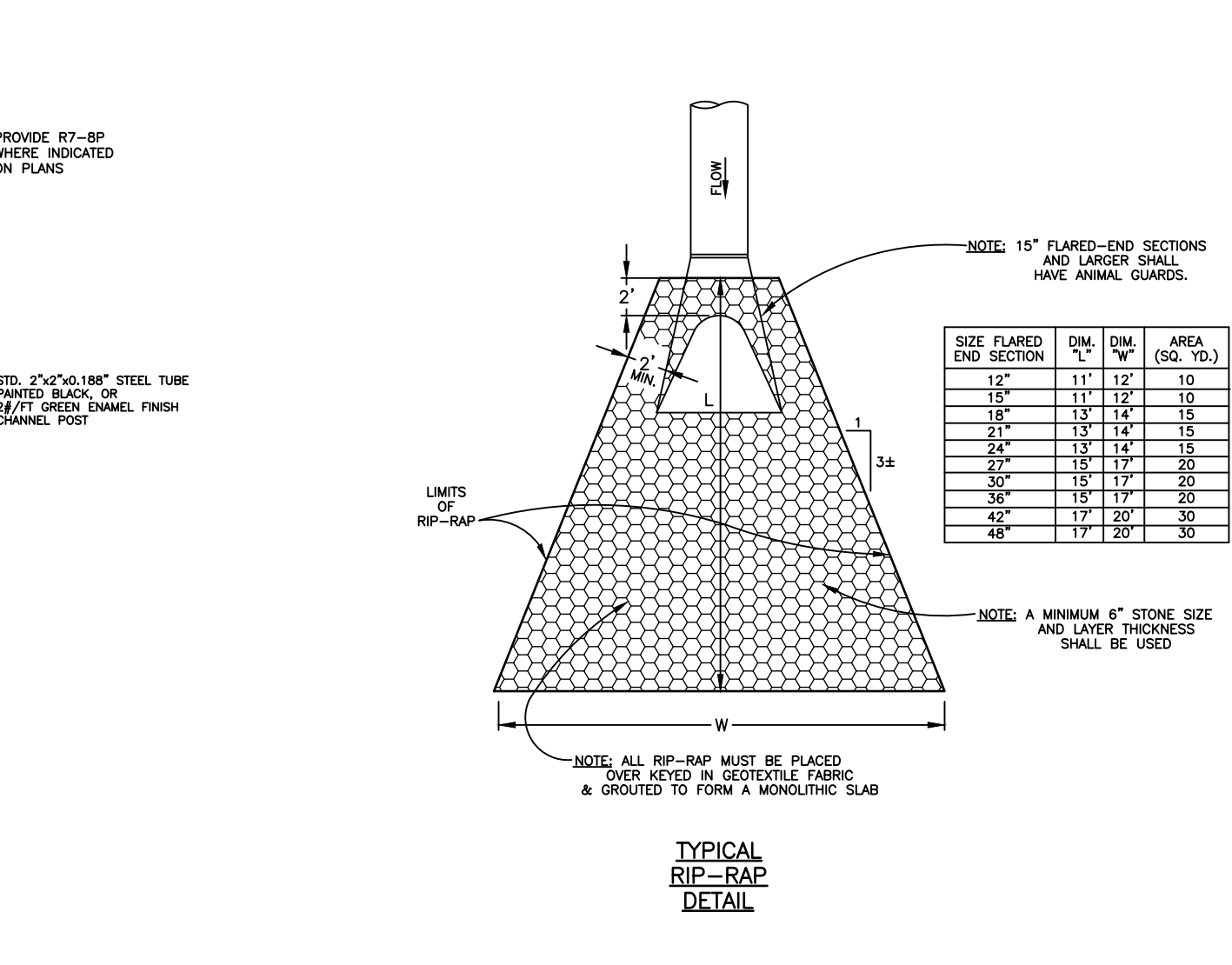
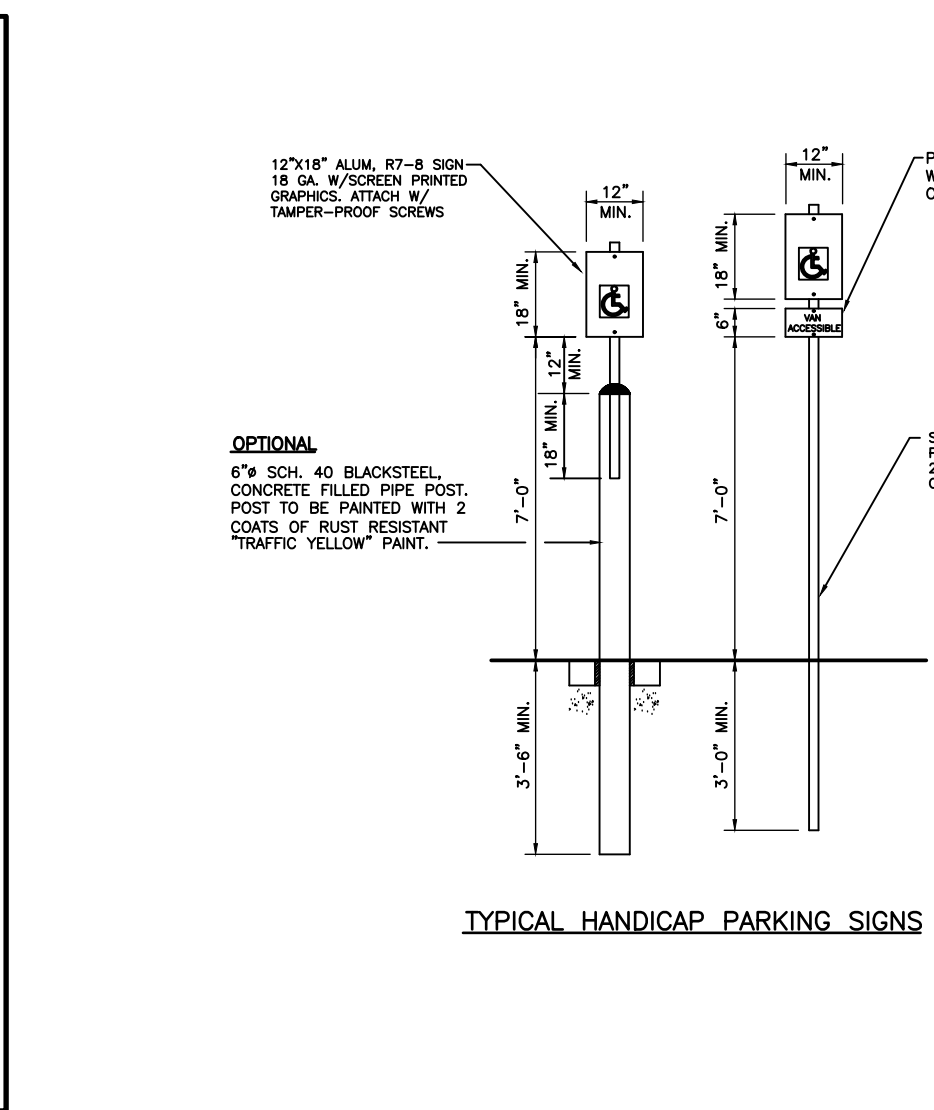
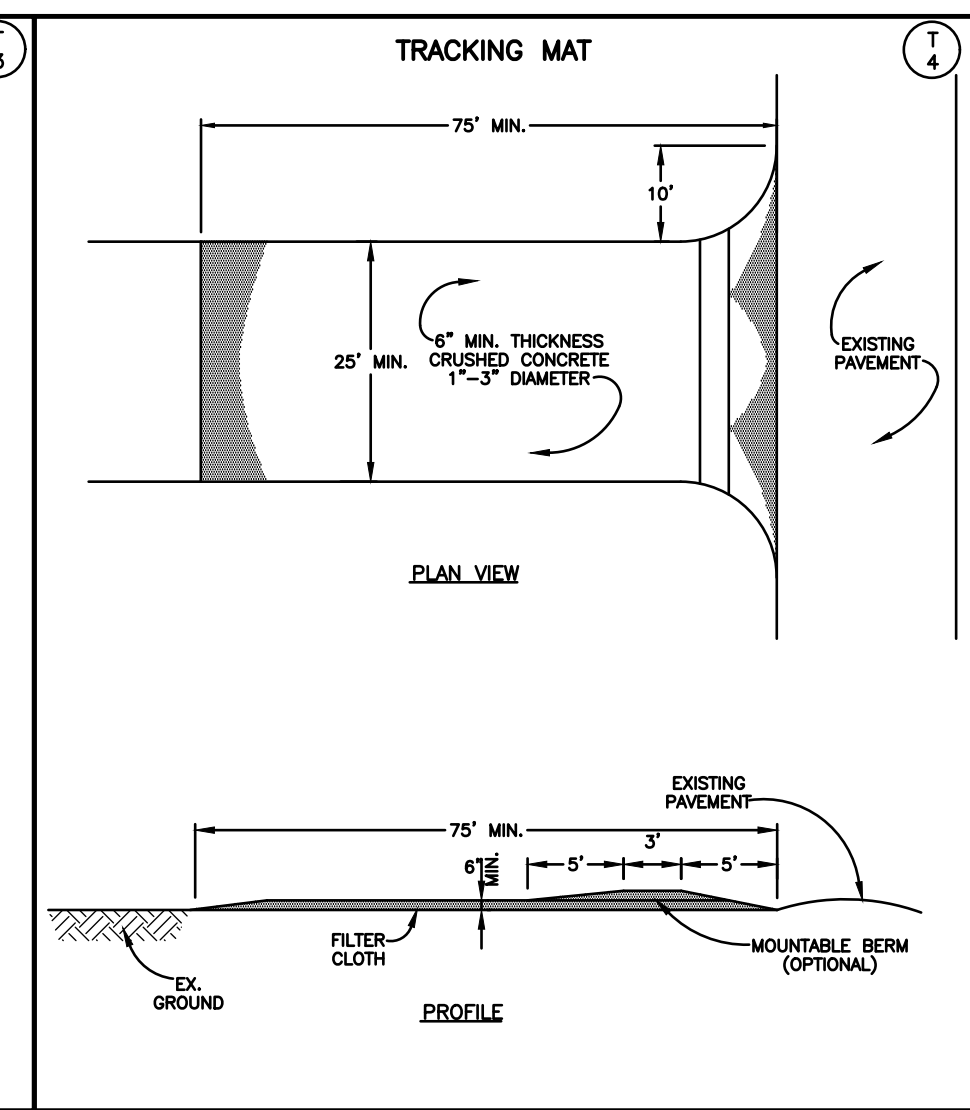
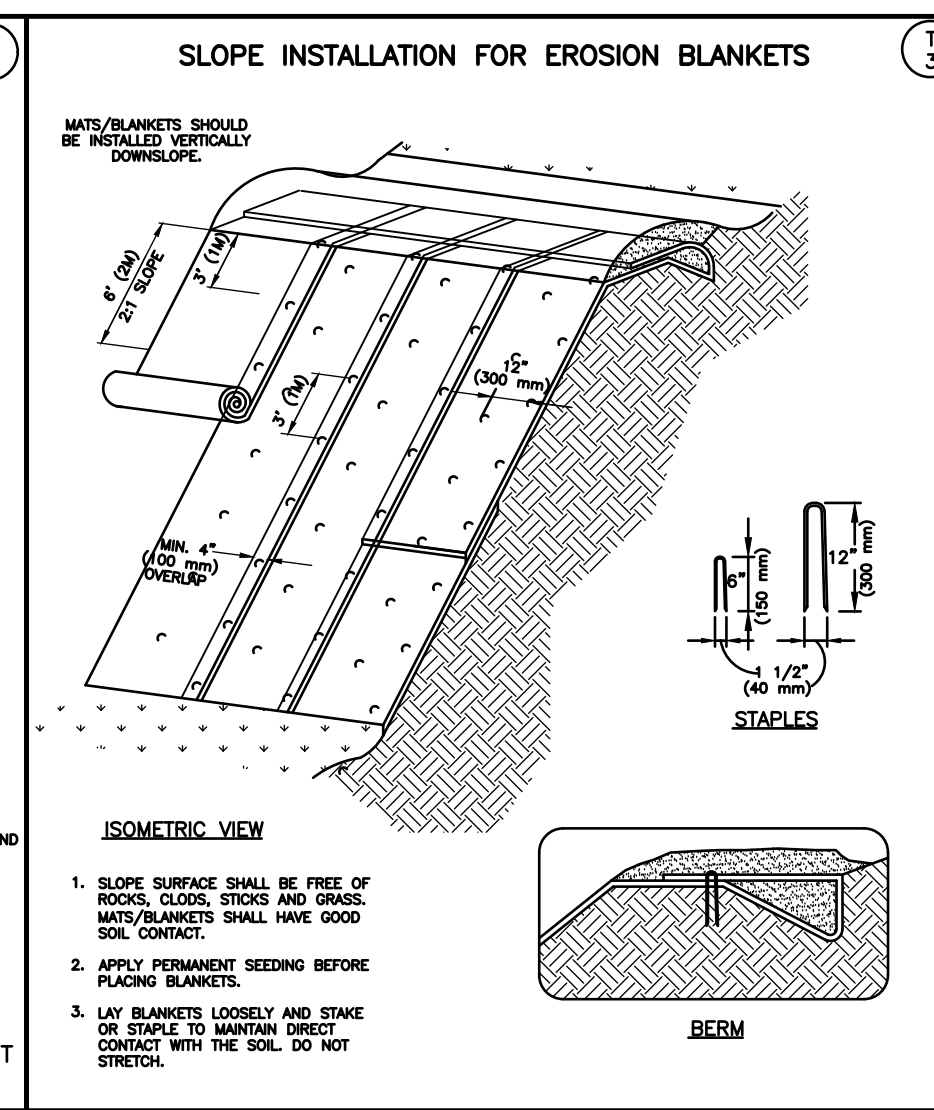
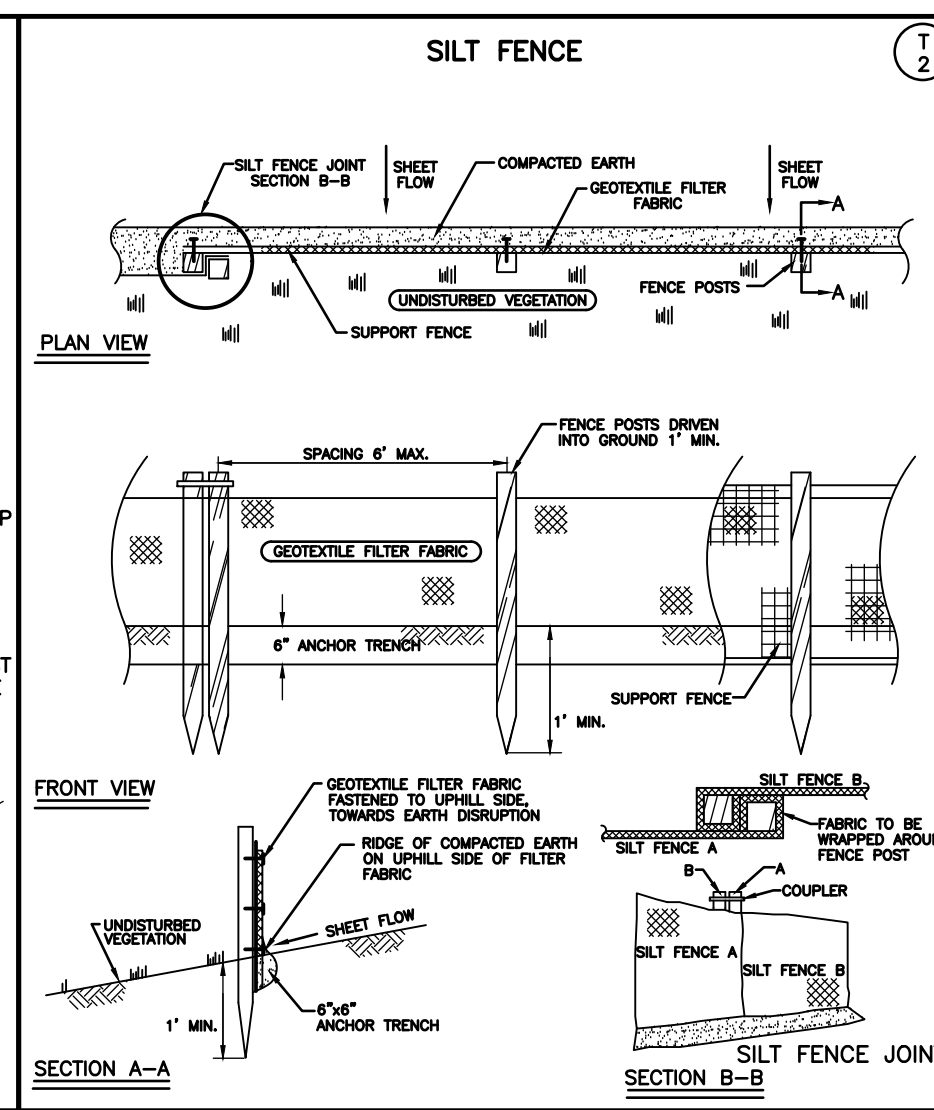
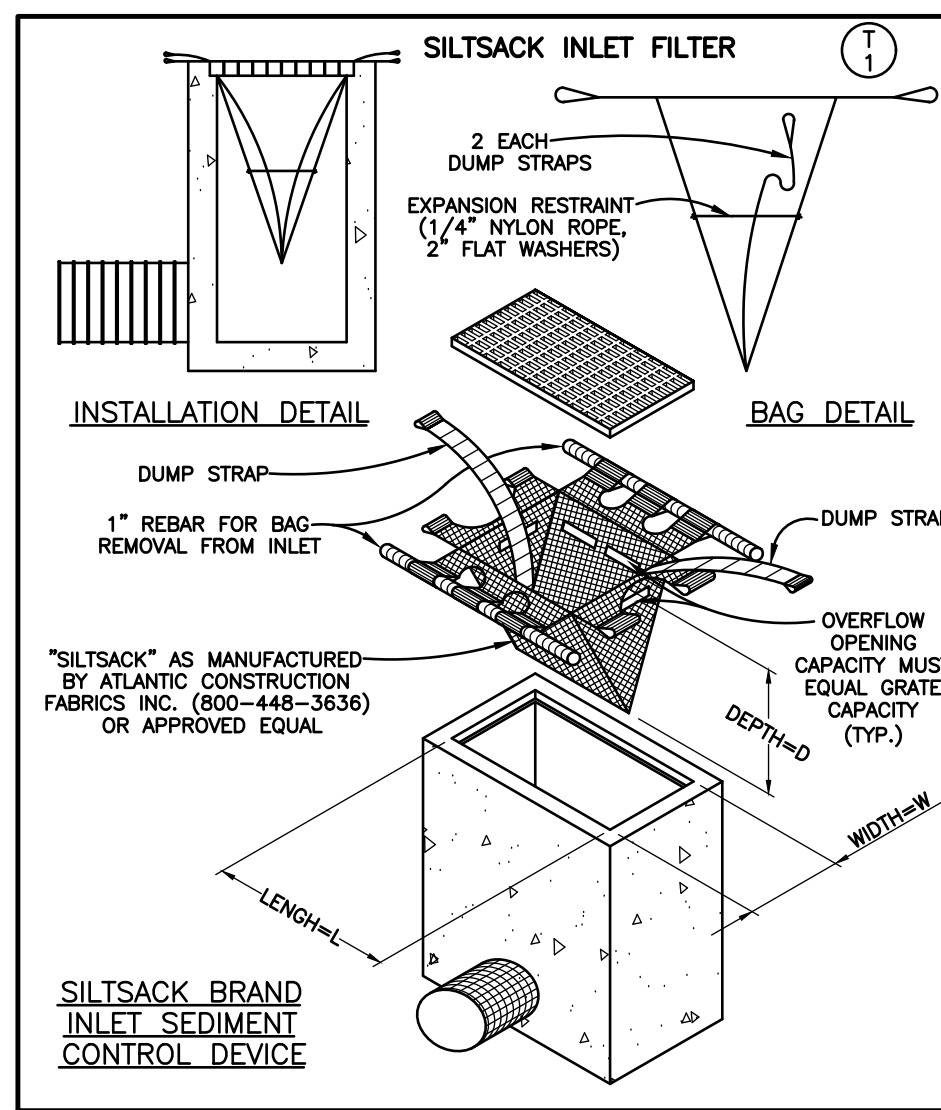
CLIENT: SOUTH GRAND EQUITIES, LLC
 46100 GRAND RIVER AVENUE
 NOVI, MICHIGAN 48374
 PHONE: 248/348-5600 EXT. 211

REVISIONS: REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
 REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

SITE OF THE PROPOSED
CENTRAL PARK SOUTH
 IN SECTION 16
 OAKLAND COUNTY

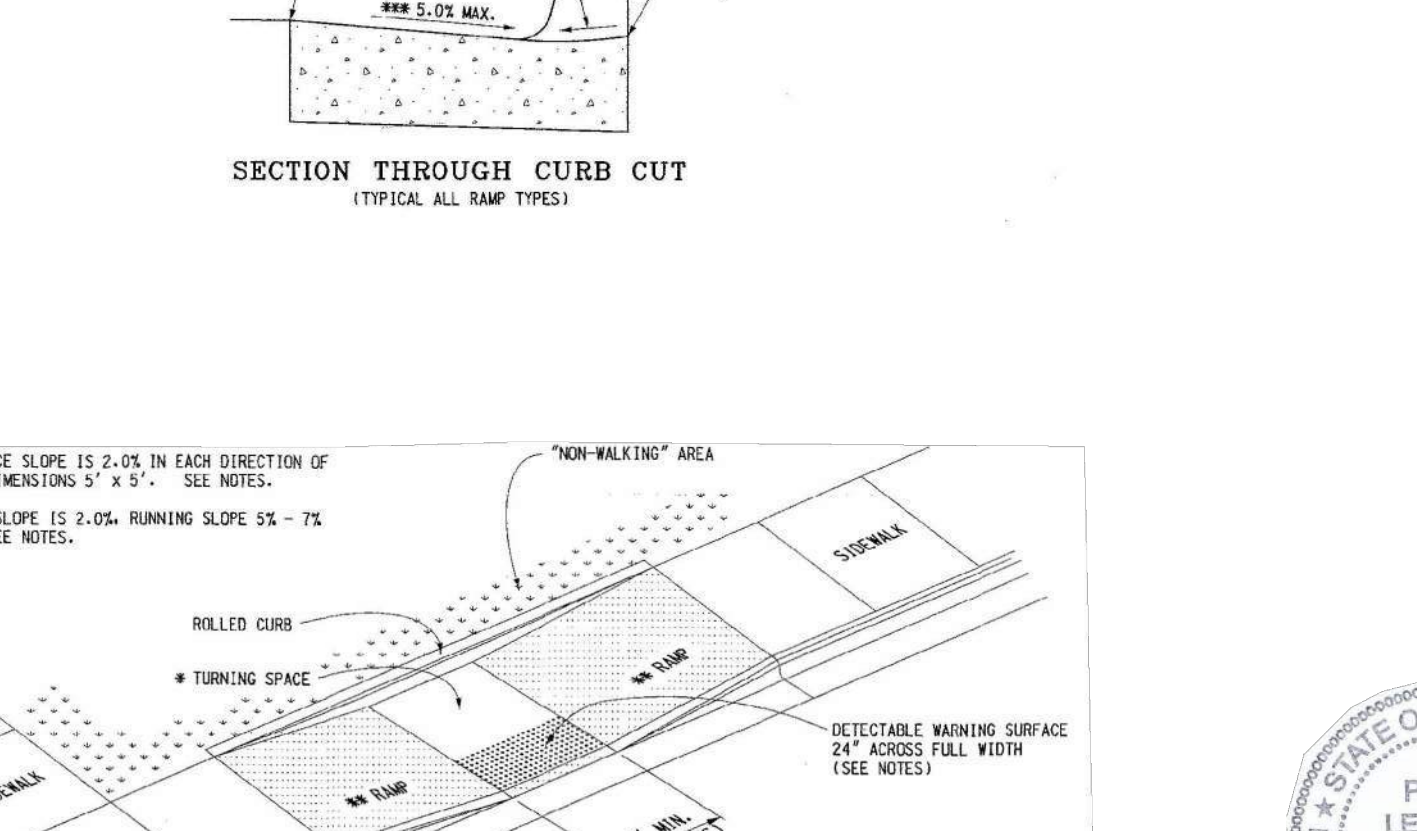
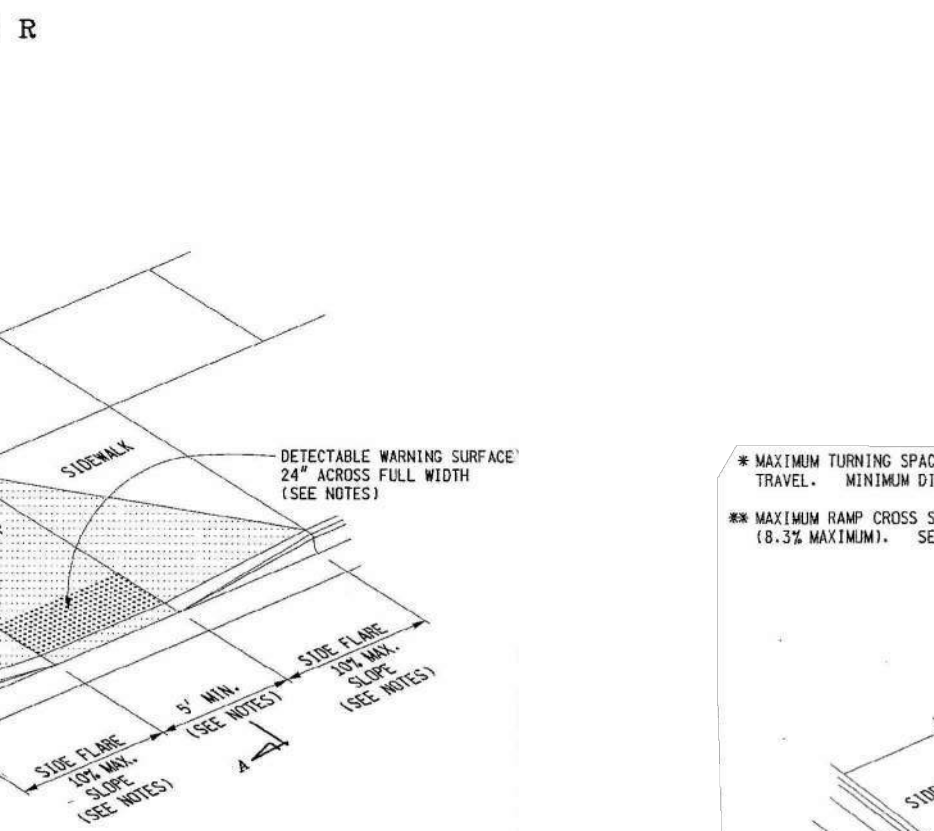
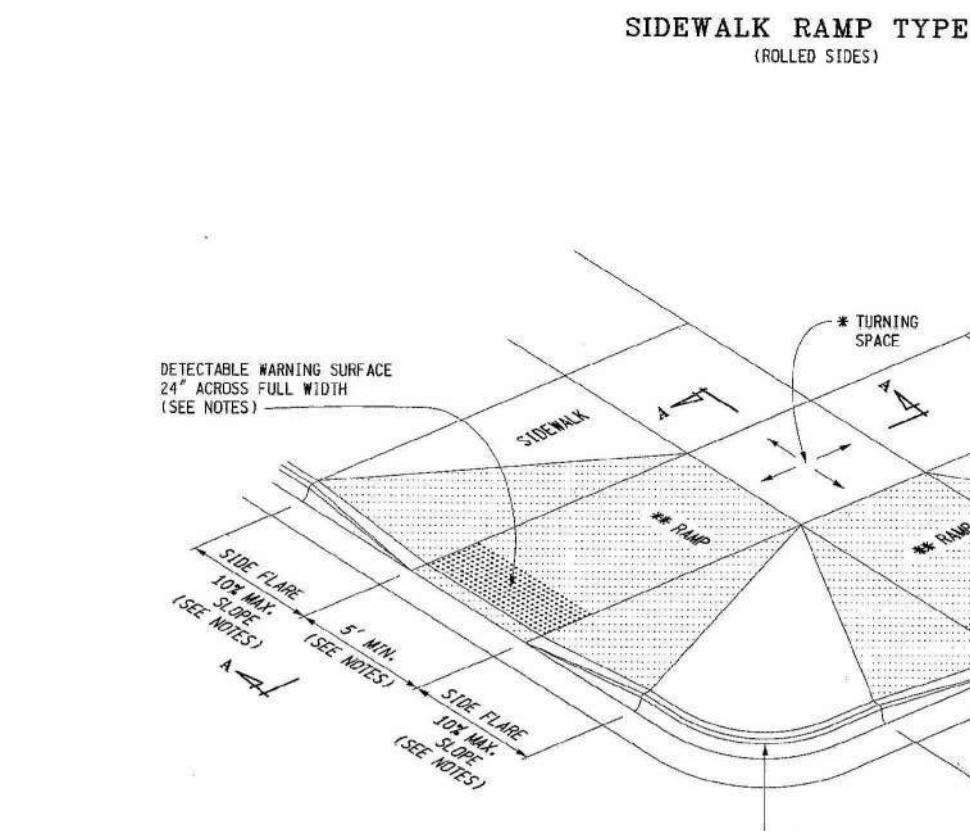
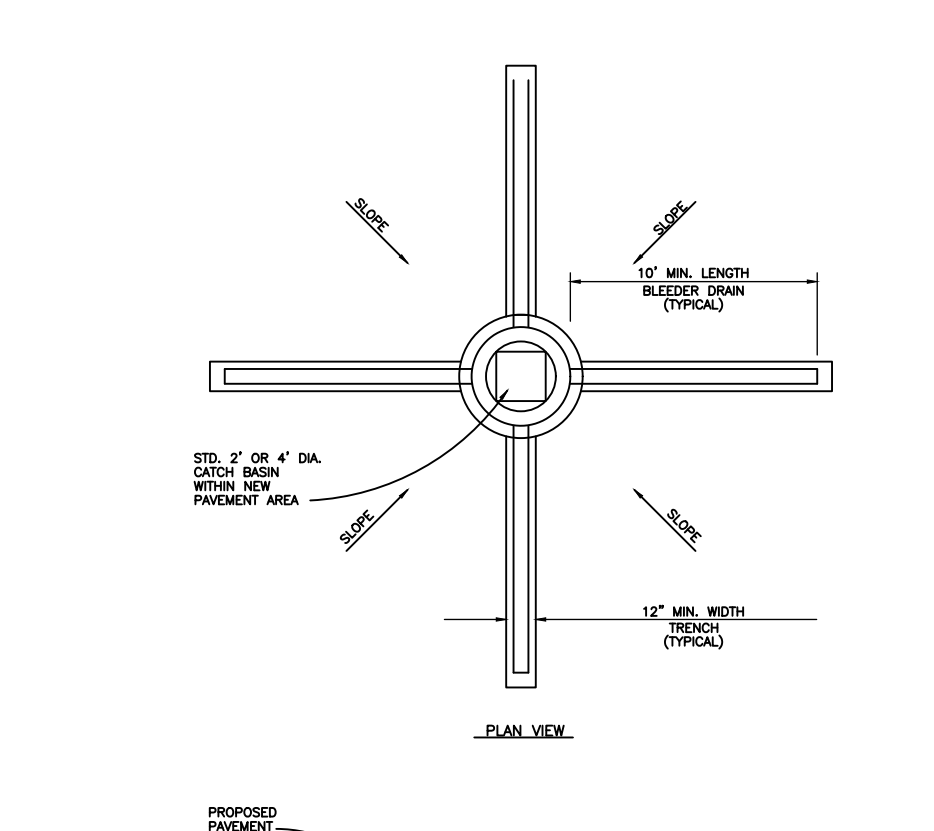
PRELIMINARY SITE UTILITIES PLAN
Environmental engineers, Inc.
 18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
 PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235
 DATE ISSUED 06/21/23
 SHEET No. C-5



| DETAIL | DIMENSIONS | LANE | CONCRETE |
|--------|------------|--------|------------------|
| | M | N | CU. YD. LIN. FT. |
| F1 | 1'-6" | 7/8" | AS SHOWN 0.0484 |
| F2 | 1'-6" | 7/8" | OMITTED 0.0484 |
| F3 | 2'-0" | 1 3/8" | AS SHOWN 0.0610 |
| F4 | 2'-0" | 1 3/8" | OMITTED 0.0610 |
| F5 | 2'-0" | 1 3/8" | AS SHOWN 0.0737 |
| F6 | 2'-0" | 1 3/8" | OMITTED 0.0737 |

| DETAIL | DIMENSIONS | LANE | CONCRETE |
|--------|------------|--------|------------------|
| | M | N | CU. YD. LIN. FT. |
| F1 | 1'-6" | 7/8" | AS SHOWN 0.0484 |
| F2 | 1'-6" | 7/8" | OMITTED 0.0484 |
| F3 | 2'-0" | 1 3/8" | AS SHOWN 0.0610 |
| F4 | 2'-0" | 1 3/8" | OMITTED 0.0610 |
| F5 | 2'-0" | 1 3/8" | AS SHOWN 0.0737 |
| F6 | 2'-0" | 1 3/8" | OMITTED 0.0737 |



NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

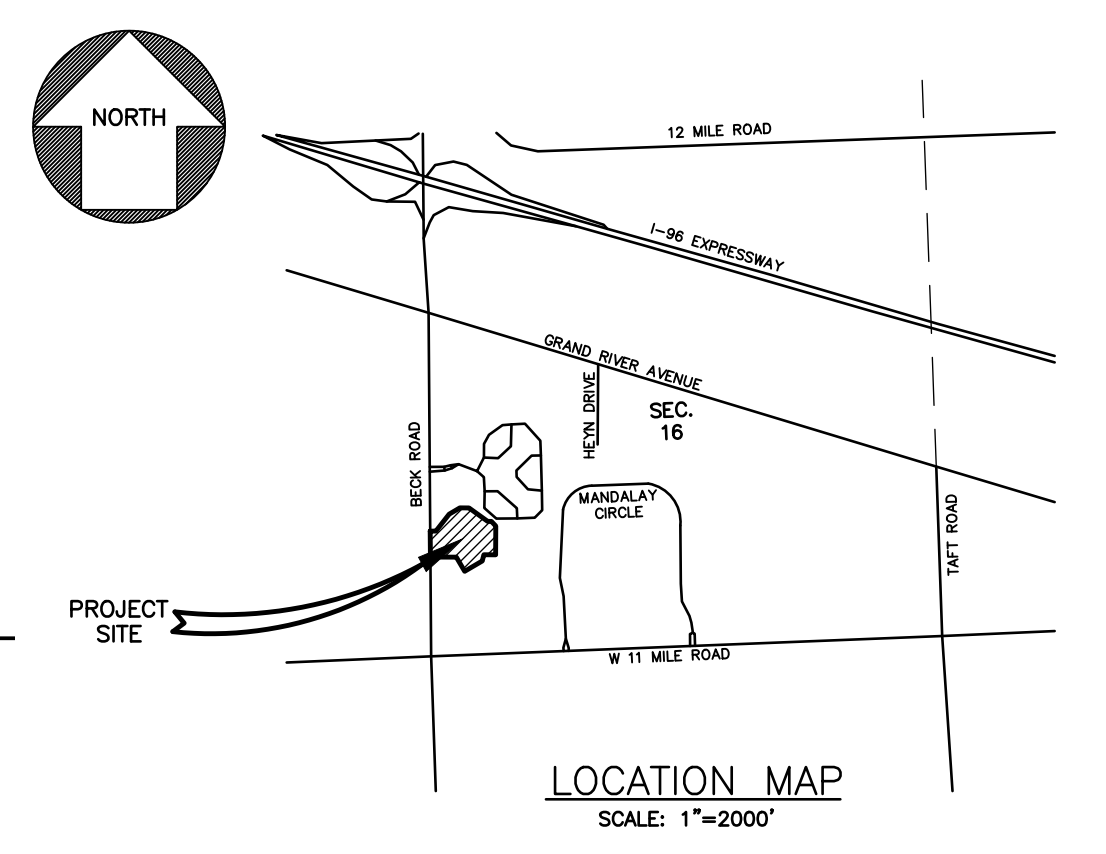
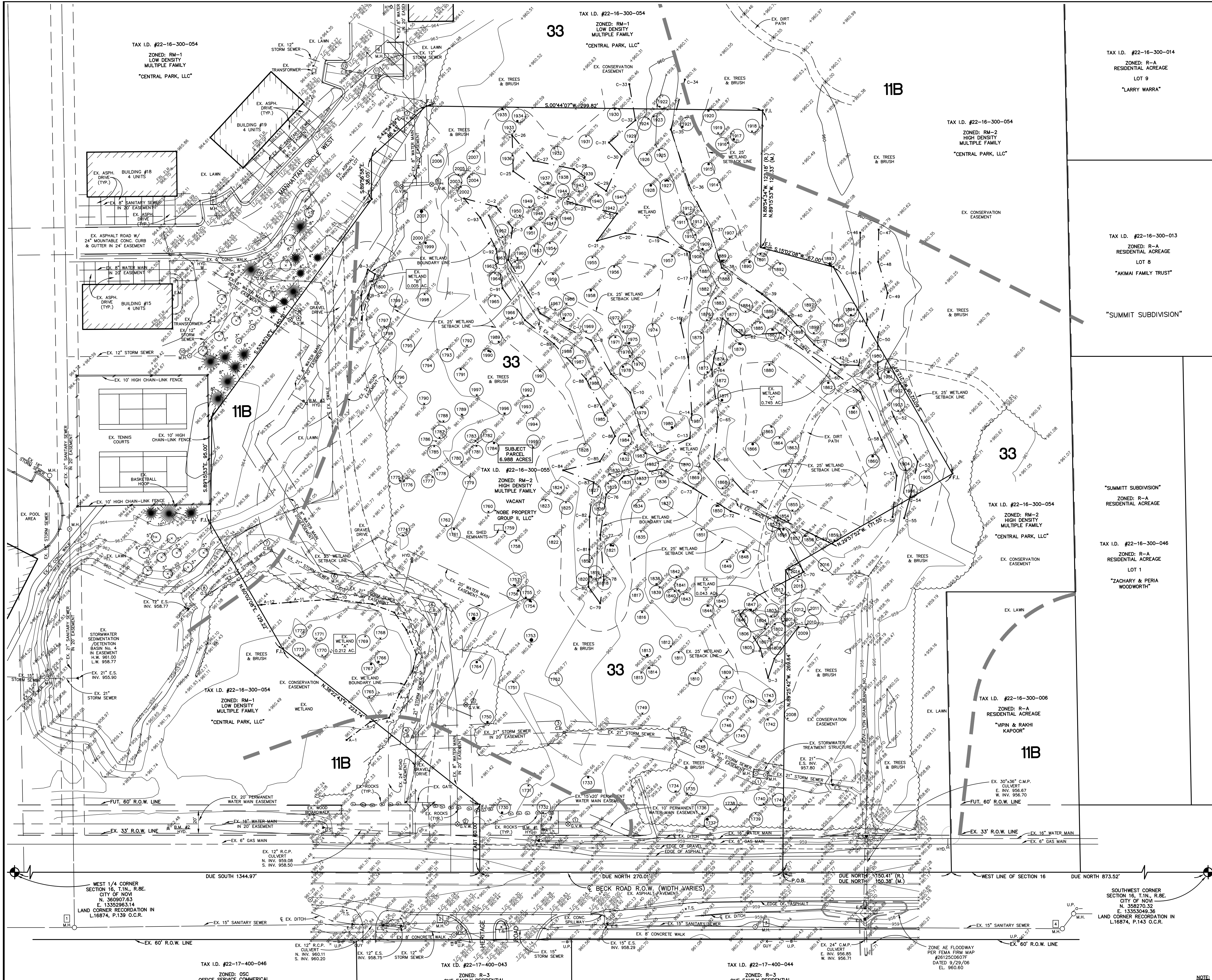
NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.

NOTE: ALL PARKING DIMENSIONS ABUTTING A CURB OR SIDEWALK ARE TO THE FACE OF CURB OR WALK. ALL OTHER DIMENSIONS ARE TO THE BACK OF CURB. CURBS & WALKS ADJACENT TO 17' PARKING SPACES TO HAVE 4" CURB HEIGHT, CURBS & WALKS ADJACENT TO 19' PARKING SPACES TO HAVE 6" CURB HEIGHT UNLESS NOTED OTHERWISE.





LEGEND

| | |
|---|-----------------------------------|
| ⊗ | EXISTING ELEVATION |
| — | EXISTING CONTOUR |
| — | U.P. — UTILITY POLE |
| — | GUY WIRE |
| ⊕ | HYD. — HYDRANT |
| ⊕ | G.V. — GATE VALVE |
| ⊕ | G.V.W. — GATE VALVE AND WELL |
| ⊕ | C.B. — CATCH BASIN |
| ⊕ | M.H. — MANHOLE |
| ⊕ | O.S. — OUTLET STRUCTURE |
| ⊕ | E.M. — ELECTRIC METER |
| ⊕ | G.M. — GAS METER |
| ⊕ | A.P. — AMERITECH PEDESTAL |
| ⊕ | T.S. — TRAFFIC SIGN |
| ⊕ | COMM. MANHOLE |
| ⊕ | COMM. VAULT |
| ⊕ | EXISTING DECIDUOUS TREE DIAMETER |
| ⊕ | EXISTING CONIFEROUS TREE DIAMETER |
| ⊕ | EXISTING TREE NUMBER |
| ⊕ | F.I. — FOUND IRON |

NRCS SOILS LEGEND

| | |
|-----|--|
| 11B | CAPAC SANDY LOAM 0 TO 4% SLOPES |
| 33 | LENAWEE SILTY CLAY LOAM 0 TO 1% SLOPES |

BENCH MARKS

CITY OF NOVI #1742 "X" ON NORTH RIM OF SANITARY M.H. LOCATED 1 FOOT EAST OF SIDEWALK AND 175' NORTH OF DRIVE #28270 BECK RD. ELEVATION 961.04 NAVD 29 (ELEVATION 960.72 NAVD 88)

B.M. #1 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 63'± SW OF NORTHWEST PROPERTY CORNER. ELEVATION 962.94 NAVD 29

B.M. #2 ARROW ON TOP OF HYDRANT LOCATED ON EAST SIDE OF BECK ROAD AND 278'± SW OF NORTHWEST PROPERTY CORNER. ELEVATION 962.48 NAVD 29

B.M. #3 ARROW ON TOP OF HYDRANT LOCATED NORTH SIDE OF SITE AND 88'± SOUTH OF SOUTH CHAIN-LINK FENCE OF TENNIS COURT. ELEVATION 965.88 NAVD 29

NOTE: (SUBTRACT 0.32' TO CONVERT TO NAVD 88 DATUM)

PROPERTY DESCRIPTION - TAX I.D. #50-22-16-300-055

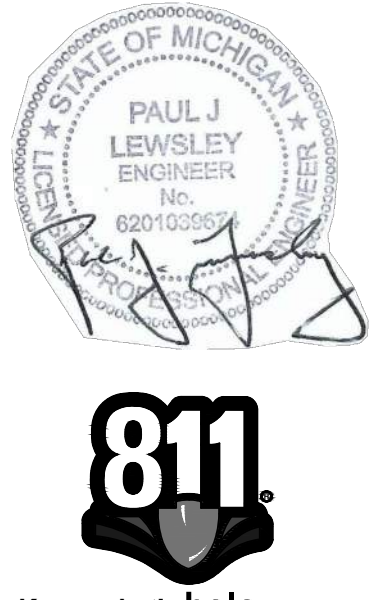
PART OF THE SOUTHWEST 1/4 OF SECTION 16, T.1N., R.8E., CITY OF NOVI, OAKLAND COUNTY, MICHIGAN DESCRIBED AS FOLLOWS: BEGINNING AT A POINT ON THE WEST LINE OF SAID SECTION 16, BEING DUE NORTH 1,023.93 FEET ALONG SAID WEST LINE FROM THE SOUTHWEST CORNER OF SAID SECTION 16; THENCE CONTINUING DUE NORTH 270.01 FEET ALONG THE WEST LINE OF SAID SECTION 16; THENCE EAST 60.00 FEET; THENCE N.38°22'43"E. 223.74 FEET; THENCE N.60°02'08"E. 129.22 FEET; THENCE S.89°15'53"E. 95.00 FEET; THENCE S.3°45'18"E. 240.51 FEET; THENCE S.89°50'58"E. 38.05 FEET; THENCE S.42°54'29"E. 66.43 FEET; THENCE S.00°44'07"W. 299.82 FEET; THENCE N.88°54'34"W. 122.18 FEET; THENCE S.15°02'08"W. 67.00 FEET; THENCE S.6°02'08"W. 212.67 FEET; THENCE N.29°57'52"W. 171.55 FEET; THENCE N.89°25'42"W. 269.64 FEET TO THE POINT OF BEGINNING. CONTAINING 6.988 ACRES, MORE OR LESS, AND BEING SUBJECT TO ANY EASEMENTS OF RECORD.

EXISTING STORM SEWER STRUCTURE LIST

| | | |
|---|---|--|
| 1 EX. OIL/WATER SEPARATOR N. INV. 961.59 S. INV. 961.65 | 7 EX. CATCH BASIN RM 962.27 21" INV. N.E. 958.47 21" INV. S.W. 958.47 | 13 EX. GATE VALVE & WELL RM 962.58 16" T/P N.E.S. 955.72 |
| 2 EX. CATCH BASIN RM 961.72 21" INV. N.E. 957.75 | 8 EX. OUTLET STRUCTURE RM 960.98 12" INV. N.W. 958.67 12" INV. S.E. 958.61 | 14 EX. GATE VALVE & WELL RM 961.37 8" T/P N.E.S. 955.87 |
| 3 EX. CATCH BASIN RM 961.94 21" INV. N. 957.72 | 9 EX. CATCH BASIN RM 962.51 12" INV. N.W. 957.81 | 15 EX. GATE VALVE & WELL RM 961.43 8" T/P N.E.S. & W. 958.23 |
| 4 EX. CATCH BASIN RM 962.21 21" INV. S. 957.94 | 10 EX. STORM M.H. RM 964.08 12" INV. S.E. 957.33 | |
| 5 EX. CATCH BASIN RM 962.28 21" INV. N. 958.21 | 11 EX. CATCH BASIN RM 962.37 12" INV. N. 957.28 | |
| 6 EX. STORM M.H. RM 962.72 21" INV. N.E. 958.37 | 12 EX. CATCH BASIN RM 962.15 21" INV. N. 958.26 | |
| | 13 EX. CATCH BASIN RM 962.26 21" INV. N. 958.26 | |
| | 14 EX. STORM M.H. RM 962.72 21" INV. N.E. 958.37 | |
| | 15 EX. STORM M.H. RM 961.43 15" INV. S. 958.58 | |

EXISTING SANITARY SEWER STRUCTURE LIST

| | |
|--|--|
| 1 EX. SANITARY SEWER M.H. RM 962.80 15" INV. S. 938.70 | 4 EX. SANITARY SEWER M.H. RM 961.61 15" INV. S.E. 939.56 |
| 2 EX. SANITARY SEWER M.H. RM 961.19 15" INV. N. 938.89 | 5 EX. SANITARY SEWER M.H. RM 964.07 8" INV. S.E. 962.07 |
| 3 EX. SANITARY SEWER M.H. RM 960.99 15" INV. N. 938.94 | 6 EX. SANITARY SEWER M.H. RM (PAVED OVER) |



CLIENT:
SOUTH GRAND EQUITIES, LLC
46100 GRAND RIVER AVENUE
NOVI, MICHIGAN 48374
PHONE: 248/348-5600 EXT. 211

REVISIONS:
REVISED 07/17/23 - PRELIMINARY SPA APPLICATION
REVISED 08/25/23 - PRELIMINARY SPA RESUBMISSION

TAX I.D. #22-17-400-046
ZONED: OSC
OFFICE SERVICE COMMERCIAL

TAX I.D. #22-17-400-043
ZONED: R-3
ONE FAMILY RESIDENTIAL

TAX I.D. #22-17-400-044
ZONED: R-3
ONE FAMILY RESIDENTIAL

SITE OF THE PROPOSED
CENTRAL PARK SOUTH
IN SECTION 16
OAKLAND COUNTY

SITE TOPOGRAPHIC/TREE SURVEY
Environmental engineers, Inc.
18620 WEST TEN MILE ROAD SOUTHFIELD, MICHIGAN 48075
PHONE: 248/424-9510 FAX: 248/424-2954

CLIENT PROJECT No. 2235
DATE ISSUED 06/21/23
SHEET No. TS-1

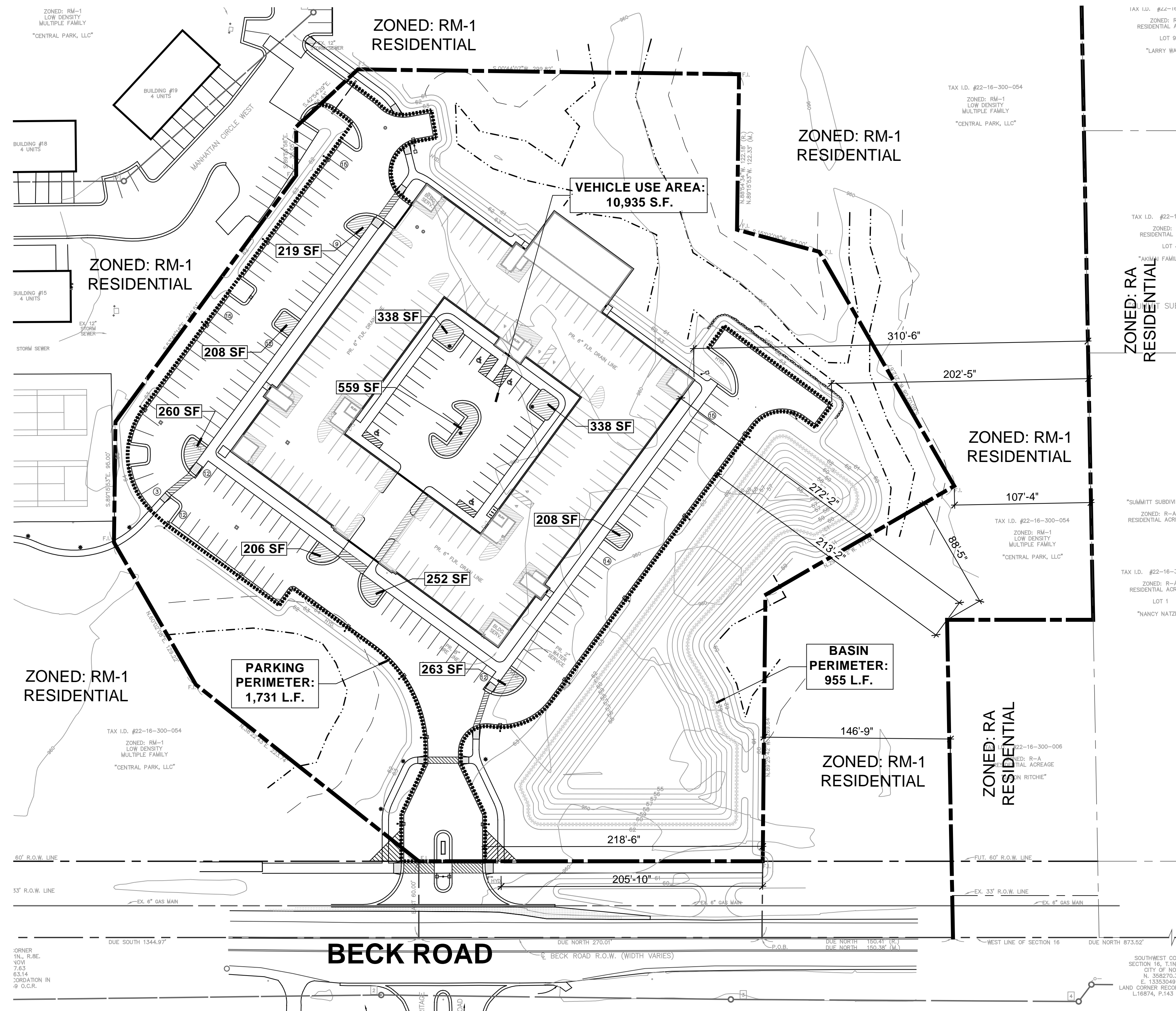
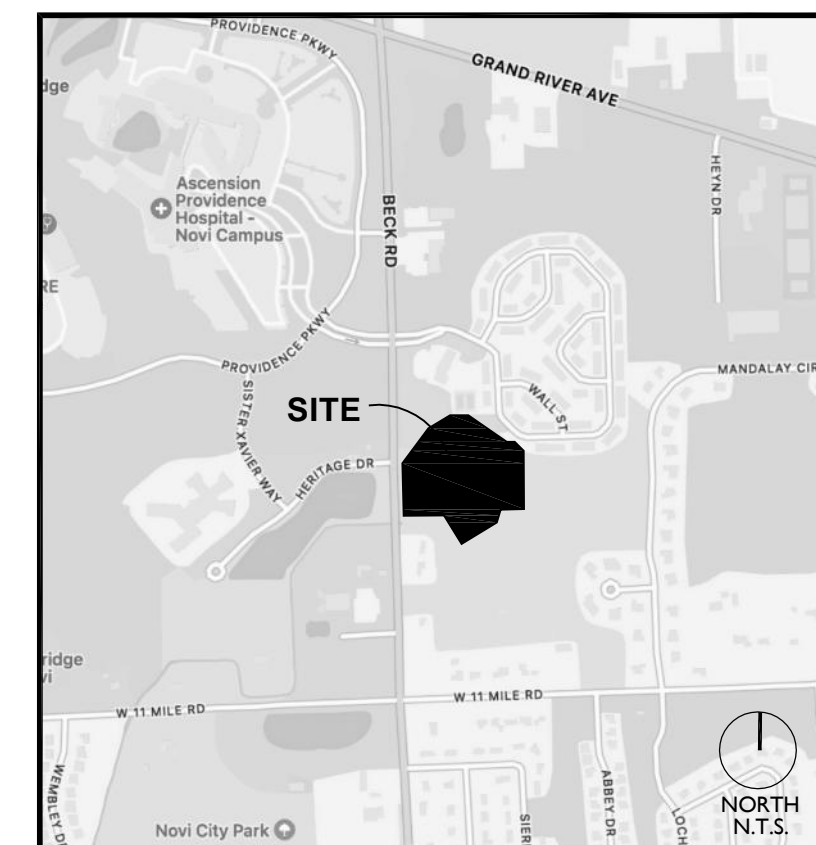


AERIAL OVERLAY MAP

SCALE: 1" = 80'

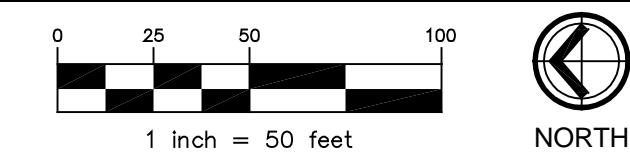


LOCATION MAP



LANDSCAPE REQUIREMENT MAP

SCALE: 1" = 50'



LANDSCAPE DATA

| | | | | | |
|--|--|--|--|---|--|
| R.O.W. Greenbelt Twelve Mile Road Frontage: 219 in. ft. Canopy/Evergreen Trees Req.: 7 Trees (1 Tree/ 35 in. ft.) Canopy/ Evergreen Trees Prov.: 8 Trees Sub-Canopy Trees Req.: 9 Trees (1 Tree/ 25 in. ft.) Sub-Canopy Trees Prov.: 12 Trees | | PARKING LOT PARKING PERIMETER LANDSCAPING Parking Lot Perimeter: 1731 l.f. Canopy/Evergreen Trees Req.: 50 Trees* (1 Tree/ 35 in. ft.) Trees Provided: 50 Trees (*Unit Trees provided as permitted.) | | STORM WATER BASIN PERIMETER LANDSCAPING Basin Perimeter: 955 l.f. Canopy/Evergreen Trees Req.: 27 Trees* (1 Tree/ 35 in. ft.) Trees Provided: 27 Trees (*Unit Trees and Woodland Replacement Trees provided.) | |
| Street Trees Beck Road Frontage: 206 in. ft. (1 Tree/ 35 in. ft.) Trees Required: 6 Trees Trees Provided: 6 Trees | | COURTYARD PARKING LOT LANDSCAPING Total Courtyard Parking Area: 10,935 s.f. Required Landscape Area: V.U.A. x 0.075 s.f. (up to 50,000 s.f.): 820 s.f. (10,935 s.f. x 0.075) | | BUFFERS Northeast & NW Buffer (RM-1 zoning): 638 l.f. (Central Park Multi Family) Required: None Proposed: None - Preserved Existing Trees and Existing Landscaping | |
| FOUNDATION/ SITE LANDSCAPING Building - 34 Units "First" Floor Trees Required (3 Trees per Unit): 102 Trees Foundation Plantings: 35% (Facade facing road) | | Total s.f. of Landscape Area Req.: 820 s.f. Total s.f. of Landscape Area Prov.: 1,235 s.f. | | East & SE Buffer (RM-1 zoning): 702 l.f. (Central Park Multi Family) Required: None Proposed: None - Preserved Existing Trees | |
| BUILDING Trees Provided: 102 Trees | | Parking Lot Tree Requirement: Total Trees Required (1 per 200 s.f.): 4 Trees* Total Trees Provided: 4 Trees (*Unit Trees provided as permitted.) | | South Buffer (RM-1 zoning): 441 l.f. (Central Park Multi Family) Required: None Proposed: None - Preserved Existing Trees | |

NOT TO BE USED AS CONSTRUCTION DRAWING

CENTRAL PARK SOUTH

Novi, Michigan



project sponsor:
 Noble Property Group II, LLC
 46100 Grand River Ave.
 Novi, MI 48374

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revisions:

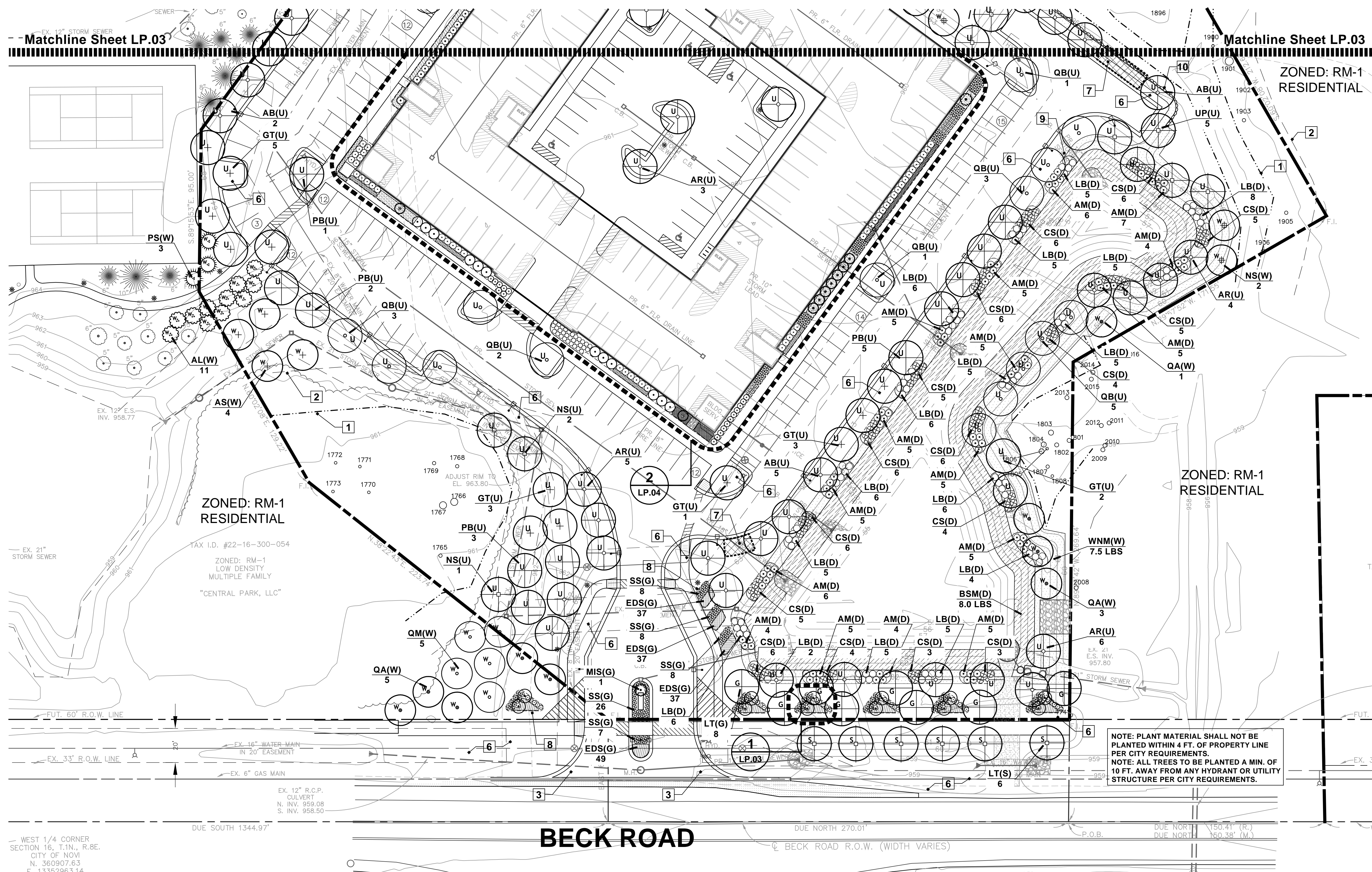
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| PRELIM. SPA APP. | 07/17/23 |
| RVSD PER CMNTS. | 8/25/23 |

LANDSCAPE DATA

project no.
182302

sheet no.
LP.01





Matchline Sheet LP.03

Matchline Sheet LP.03

ZONED: RM-1
RESIDENTIAL

ZONED: RM-1
RESIDENTIAL

BECK ROAD

SITE PLANTING PLAN

SCALE: 1" = 30'

WEST 1/4 CORNER
SECTION 16, T.1N., R.8E.
CITY OF NOVI
N. 360907.63
E. 13352963.14
4D CORNER RECORDATION IN

DUE SOUTH 1344.97'

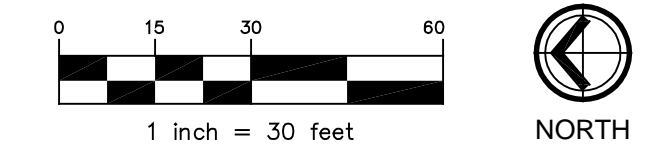
DUE NORTH 270.01'

BECK ROAD R.O.W. (WIDTH VARIES)

DUE NORTH 150.41' (R.)
DUE NORTH 150.38' (M.)

PLANTING KEY

- STREET TREES
- GREENBELT TREES
- UNIT TREES
- WOODLAND REPLACEMENT TREES



NOTES:
1. NO OVERHEAD UTILITIES EXIST OR ARE PROPOSED ON SITE.
2. SEE CIVIL DRAWINGS FOR SOIL MAP AND TYPES PRESENT ON SITE.

NOTE KEY:

- 1 WETLAND LIMITS
- 2 25 FT. WETLAND SETBACK
- 3 25' CLEAR VISION TRIANGLE
- 4 PROPOSED BIKE RACKS - SEE CIVIL DWGS.
- 5 2" DIA. EGGSTONE OVER FILTER MAT
- 6 SEEDED LAWN OVER MINIMUM 4" DEPTH TOPSOIL. SEE TOPSOIL NOTE BELOW
- 7 SNOW DEPOSIT AREA
- 8 SHOVEL CUT BED EDGE - TYP.
- 9 EDGE OF MOVED LAWN
- 10 BOULDER WALL - SEE CIVIL PLANS
- 11 TRANSFORMER PAD - SEE ARCH DWGS.

GENERAL PLANTING REQ.:

- A THE WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIAL, LABOR, EQUIPMENT, TOOLS, AND SUPERVISION REQUIRED FOR THE COMPLETION AS SHOWN ON THE DRAWING.
- B ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE STATED ON THE PLANT LIST. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A.A.N. STANDARDS FOR GRADE NO. 1 NURSERY STOCK" AND NORTHERN NURSERY GROWN.
- C ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE PLANT MATERIAL.
- D ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- E ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- F ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- G THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTED AS TO GIVE THE BEST APPEARANCE.
- H WHEN THE PLANT HAS BEEN PROPERLY SET, THE PIT SHALL BE BACKFILLED WITH A TOPSOIL AND NATIVE SOIL MIXTURE. GRADUALLY FILLING, PATTING AND SETTLING WITH WATER.
- I ALL PLANT MATERIALS SHALL BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR INJURED TWIGS AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. CUTS SHOULD BE FLUSH, LEAVING NO STUBS.
- J THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIAL SHALL HAVE A MINIMUM OF ONE CULTIVATION IN JUNE, JULY AND AUGUST FOR THE TWO YEAR WARRANTY. AT THAT TIME THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT FOR A FINAL INSPECTION. PLANT MATERIAL WITH 25% DIE BACK, AS DETERMINED BY THE OWNER'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
- K TOPSOIL SHALL BE FRIABLE, FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.5 TO 7.0. SOIL SHALL BE FREE FROM CLAY LUMPS, COARSE SAND, PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS.
- L NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIP LINE OF EXISTING TREES.
- M IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- N ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
- O SOD SEED LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS, DISK SOIL TO 4" DEEP BEFORE TOPSOIL PLACEMENT
- P SOD SHALL BE TWO YEAR OLD "BARONCHERIDELPHI" KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.

PLANT MIX

ALL PLANTING/ PERENNIAL BEDS TO RECEIVE:

- 1 - 6 CU FT. QTY. OF COMPOST
- 1 - 40 LB BAG DRAMANURE
- 1 - 1 LB BAG SLEMMS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA.
HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM

MULCH

MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH

NO GROUND WOOD PALETTE MULCH PERMITTED

TOPSOIL

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

PLANT KEY

- TREE SYMBOL
- TREE TYPE KEY - SEE PLANT LIST SHEET LP.03
- QUANTITY NOVI PLANTING DETAILS SEE SHEET LP.05

IRRIGATION

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.



NOT TO BE USED AS CONSTRUCTION DRAWING



deakplanningdesign.com

CENTRAL PARK SOUTH
Novi, Michigan

seal:



project sponsor:

Nobe Property Group II, LLC
46100 Grand River Ave.
Novi, MI 48374

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revisions:

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| PRELIM. SPA APP. | 07/17/23 |
| RVSD PER CMNTS. | 8/25/23 |

sheet title:

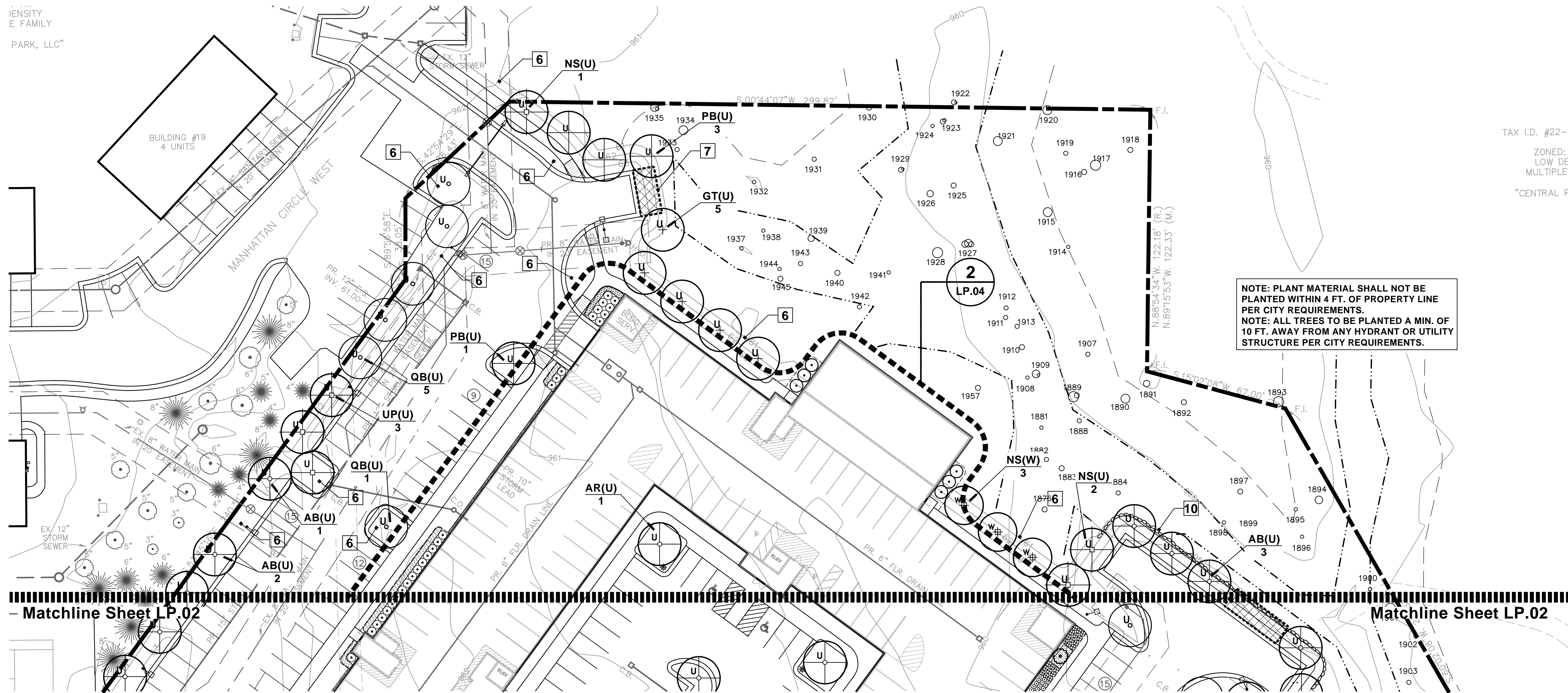
SITE LANDSCAPE PLAN

project no.

182302

sheet no.

LP.02



TAX I.D. #22-1
ZONED:
LOW DENSITY
MULTIPLE
CENTRAL P.

NOTE: PLANT MATERIAL SHALL NOT BE PLANTED WITHIN 4 FT. OF PROPERTY LINE PER CITY REQUIREMENTS.
NOTE: ALL TREES TO BE PLANTED A MIN. OF 10 FT. AWAY FROM ANY HYDRANT OR UTILITY STRUCTURE PER CITY REQUIREMENTS.

NOTE KEY:

- 1 WETLAND LIMITS
- 2 25 FT. WETLAND SETBACK
- 3 25' CLEAR VISION TRIANGLE
- 4 PROPOSED BIKE RACKS - SEE CIVIL DWGS.
- 5 2' DIA. EGGSTONE OVER FILTER MAT
- 6 SEEDED LAWN OVER MINIMUM 4" DEPTH TOPSOIL. SEE TOPSOIL NOTE BELOW
- 7 SNOW DEPOSIT AREA
- 8 SHOVEL CUT BED EDGE - TYP.
- 9 EDGE OF MOWED LAWN
- 10 BOULDER WALL - SEE CIVIL PLANS
- 11 TRANSFORMER PAD - SEE ARCH. DWGS.

GENERAL PLANTING REQ.:

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- B ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE STATED ON THE PLANT LIST. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A" IN STANDARDS FOR GRADE NO. 1 NURSERY STOCK AND NORTHERN NURSERY GROWN.
- C ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- D ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
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- G THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTED AS TO GIVE THE BEST APPEARANCE.
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- O SOD/SEED LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS, DISK SOIL TO 4" DEEP BEFORE TOPSOIL PLACEMENT
- P SOD SHALL BE TWO YEAR OLD "BARONCHERIADPHI" KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.

CENTRAL PARK SOUTH
Novi, Michigan

SITE PLANTING PLAN

SCALE: 1" = 30'

NOVI SPECIFICATIONS

- 1. Wherever in this Ordinance landscape plantings are required or permitted, they shall be planted in accordance with the approved final stamped landscape plan. All plant materials shall be installed between April 15th and November 15th. All installed landscapes including plant materials, mulch, staking, irrigation, and sodding, must be installed and inspected by the City prior to issuance of a Temporary Certificate of Occupancy. At that time, a financial guarantee of 1.2 times the cost of any deficiencies will be held until inspection occurs for a Final Certificate of Occupancy. In order to receive a Final Certificate of Occupancy, the deficiencies must be addressed within 30 days during the April 15th to November 15th planting season. If the deficiencies are not addressed in the time period outlined above, the City will cash in the amount being held for the outstanding items and remedy those items.
- 2. A City representative will perform landscape inspections following a request from the developer or owner. The inspection time period is from April 15th to November 15th. If an inspection is requested between November 16 and April 31, a financial guarantee is to be provided based on 1.2 times the percent incomplete for a Temporary Certificate of Occupancy as outlined above. Beginning April 31st, the Applicant then has 30 days to complete items or the City will cash in the amount being held and finish the job.
- 3. The establishment period for the plant material guarantee will occur beginning at the Final Certificate of Occupancy inspection approval to 2 years from that date. All plantings shall be properly planted as to be in a healthy, growing condition at the commencement of the establishment period. At the end of the establishment period, any plantings, which are 20% dead or greater, shall be replaced.
- 4. Notice of Installation/Minor changes:
(1) The owner or developer must notify the City of the installation schedule. The City may reject any material which is defective or in generally poor condition.
(2) Minor changes regarding plant materials per the approved and stamped landscape plan may be altered upon written notification to, and written sign-off by, the City Landscape Architect of species, size, change, and location.
(3) Minor changes due to seasonal planting problems and lack of plant availability may be approved in writing by the City Landscape Architect when there is no reduction in the quality of plant materials, no significant change in size or location of plant material, the new plant material is compatible with the area and is of the same general type (deciduous/evergreen), exhibiting same design characteristics (mature height, crown), as the material being replaced. If these criteria are not fulfilled or changes are significant from approved plan, the landscape plan shall be revised and resubmitted for plan approval.
- 5. Maintenance:
(a) Maintenance of required plantings by the owner shall be carried out so as to present a healthy, neat and orderly appearance, free from refuse and debris.
(b) To insure proper maintenance and as a condition of Final Site Plan approval, the property owner shall enter into and record with the office of the Oakland County Register of Deeds a Landscape Maintenance Agreement, or include such provisions as part of subdivision restrictions or condominium master deed, each of which shall be approved by the City Attorney. Such instrument shall identify the minimum plan of maintenance, the person or entity responsible for maintenance, and shall provide the procedure, authority and finance for City cure of breaches by the responsible entity. Such instrument shall also include provisions that all unhealthy and dead material shall be replaced within one (3) months, or the next appropriate planting period, whichever occurs first, all landscaped areas shall be provided with an irrigation system; tree stakes, guy wires and tree wrap are to be removed after one winter season; plantings shall be guaranteed for two (2) growing seasons after date of the acceptance of the installation; if grass or weeds exceed the height specified in Chapter 21 of the Novi Code of Ordinances, or if shrubs are allowed to obstruct vision across any portion of the island and the responsible party is unwilling to rectify the problem, the City will abate such violations and shall assess the cost of such abatement measures in the manner proposed by the developer and approved by the City in such instrument.
(c) Responsibility and Certificates of Occupancy: The owner of the property subject to the requirements of this Section shall be responsible for installing and maintaining per landscaping the approved final landscape plan as specified in this Section. Where the property is occupied by a person other than the owner, the occupant shall also be responsible for maintenance. All landscaping work required pursuant to this Section shall be treated as a site improvement for purposes of Subsections 3005-8 and 9.
** These requirements supersede all other planting requirements or specifications.*

PLANT LIST - Common Trees

| QUAN. | KEY | COMMON BOTANICAL NAME | NATIVE | SIZE | SPEC. | UNIT | TOTAL |
|-------|-------|--|--------|---------|-------|-----------|--------------------|
| 6 | LT(S) | Tulip Tree <i>Liriodendron tulipifera</i> | N | 3" Cal. | B&B | \$ 400.00 | \$ 2,400.00 |
| 2 | | SHREDDED HARD BARK MULCH (C.Y.) | | | | \$ 35.00 | \$ 70.00 |
| | | | | | | | TOTAL: \$ 2,470.00 |

PLANT LIST - Greenbelt

| QUAN. | KEY | COMMON BOTANICAL NAME | NATIVE | SIZE | SPEC. | UNIT | TOTAL |
|-------|--------|--|--------|-----------|-------|-----------|---------------------|
| 8 | LT(G) | Tulip Tree <i>Liriodendron tulipifera</i> | N | 2.5" cal. | B&B | \$ 400.00 | \$ 3,200.00 |
| 1 | MIS(G) | Ivory Spear Crabapple <i>Malus Ivory Spear</i> | | 2" cal. | B&B | \$ 375.00 | \$ 375.00 |
| 12 | MS(G) | Sargent Crab <i>Malus Sargentii</i> | | 2" cal. | B&B | \$ 375.00 | \$ 4,500.00 |
| 30 | SBB(G) | Double Play Big Bang Spirea <i>Spiraea japonica Tracy</i> | | 3 gal. | Cont. | \$ 50.00 | \$ 1,500.00 |
| 117 | SS(G) | Little Bluestem <i>Schizachyrium scoparium</i> | N | 1 gal. | Cont. | \$ 15.00 | \$ 1,755.00 |
| 406 | EDS(G) | Dark Shadows Wicked Coneflower <i>Echinacea Dark Shadows Wicked</i> | | 1 gal. | Cont. | \$ 15.00 | \$ 6,090.00 |
| 40 | | SHREDDED HARD BARK MULCH (C.Y.) | | | | \$ 35.00 | \$ 1,400.00 |
| | | | | | | | TOTAL: \$ 18,820.00 |

PLANT LIST - Unit Trees

| QUAN. | KEY | COMMON BOTANICAL NAME | NATIVE | SIZE | SPEC. | UNIT | TOTAL |
|-------|-------|---|--------|---------|-------|-----------|---------------------|
| 14 | AB(U) | Autumn Blaze Maple <i>Acer x. freemanii 'Autumn Blaze'</i> | | 3" cal. | B&B | \$ 400.00 | \$ 5,600.00 |
| 19 | AR(U) | Redpointe Red Maple <i>Acer x. Redpointe</i> | N | 3" cal. | B&B | \$ 400.00 | \$ 7,600.00 |
| 19 | GT(U) | Skyline Thimble Honeylocust <i>Gleditsia L. 'Skyline'</i> | N | 3" cal. | B&B | \$ 400.00 | \$ 7,600.00 |
| 15 | PB(U) | Bloodgood Plane Tree <i>Platanus x. acerifolia 'Bloodgood'</i> | | 3" Cal. | B&B | \$ 400.00 | \$ 6,000.00 |
| 21 | QB(U) | Swamp White Oak <i>Quercus bicolor</i> | N | 3" cal. | B&B | \$ 400.00 | \$ 8,400.00 |
| 6 | NS(U) | Sour Gum <i>Nyssa sylvatica</i> | N | 3" Cal. | B&B | \$ 400.00 | \$ 2,400.00 |
| 8 | UP(U) | Princeton Elm <i>Ulmus americana 'Princeton'</i> | | 3" Cal. | B&B | \$ 400.00 | \$ 3,200.00 |
| 35 | | SHREDDED HARD BARK MULCH (C.Y.) | | | | \$ 35.00 | \$ 1,225.00 |
| | | | | | | | TOTAL: \$ 42,025.00 |

NOTE:
1. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES ON PLANS.
2. PLANT SPECIES SELECTIONS PROVIDED TO MEET CITY REQUIREMENTS.
3. DO NOT USE DWARF SPECIES OF CORNUS SERICEA.

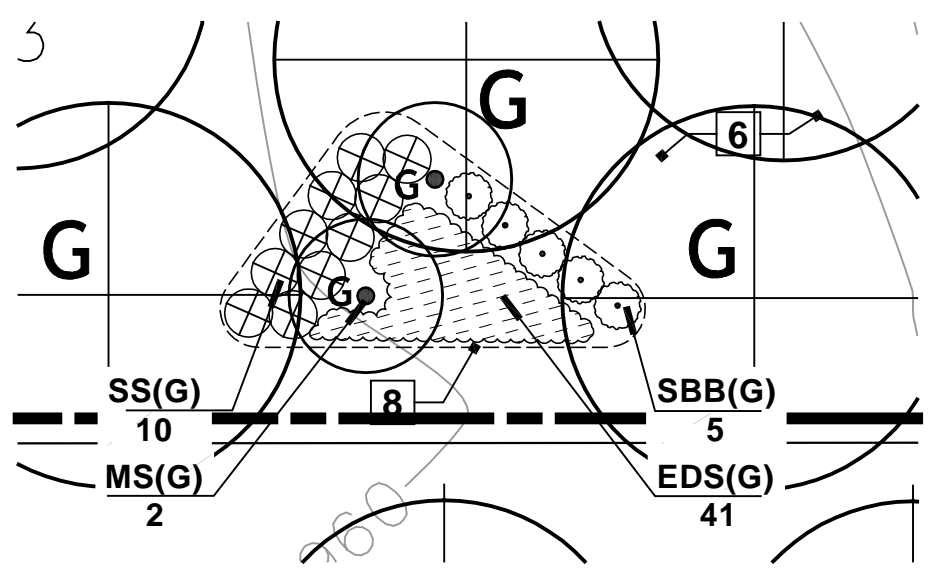
PLANT LIST - Detention Basin Shrubs

| QUAN. | KEY | COMMON/BOTANICAL NAME | NATIVE | SIZE | SPEC. | UNIT | TOTAL |
|-------|--------|--|--------|--------------|-------|-----------|---------------------|
| 81 | AM(D) | Iriquois Beauty Chokeberry <i>Aronia m. 'Iriquois Beauty'</i> | N | 36" ht. | Cont. | \$ 50.00 | \$ 4,050.00 |
| 80 | CS(D) | Red Osier Dogwood <i>Cornus sericea</i> | N | 36" ht. | Cont. | \$ 50.00 | \$ 4,000.00 |
| 78 | LB(D) | Spicebush <i>Lindera benzoin</i> | N | 36" ht. | Cont. | \$ 50.00 | \$ 3,900.00 |
| 8 | BSM(D) | Basin Slope Seed Mix | | 32.5 lbs/ac. | LBS. | \$ 300.00 | \$ 2,400.00 |
| 48 | | SHREDDED HARD BARK MULCH (C.Y.) | | | | \$ 35.00 | \$ 1,680.00 |
| | | | | | | | TOTAL: \$ 16,030.00 |

PLANT LIST - Woodland

| QUAN. | KEY | COMMON/BOTANICAL NAME | NATIVE | SIZE | SPEC. | UNIT | TOTAL |
|-------|--------|---|--------|--------------|-------|-----------|---------------------|
| 9 | QA(W) | White Oak <i>Quercus alba</i> | N | 2.5" Cal. | B&B | \$ 400.00 | \$ 3,600.00 |
| 4 | AS(W) | Sugar Maple <i>Acer saccharum</i> | N | 2.5" Cal. | B&B | \$ 400.00 | \$ 1,600.00 |
| 5 | NS(W) | Sour Gum <i>Nyssa sylvatica</i> | N | 2.5" Cal. | B&B | \$ 400.00 | \$ 2,000.00 |
| 5 | QM(W) | Burr Oak <i>Quercus macrocarpa</i> | N | 2.5" cal. | B&B | \$ 400.00 | \$ 2,000.00 |
| 3 | PS(W) | White Pine <i>Pinus strobus</i> | N | 6" Pine | B&B | \$ 400.00 | \$ 1,200.00 |
| 11 | AL(W) | Serviceberry <i>Amelanchier laevis</i> | N | 8" Ht. | B&B | \$ 375.00 | \$ 4,125.00 |
| 7.5 | WNM(W) | Woodland NaturalizeSeed Mix | | 37.7 lbs/ac. | LBS. | \$ 300.00 | \$ 2,250.00 |
| 13 | | SHREDDED HARD BARK MULCH (C.Y.) | | | | \$ 35.00 | \$ 455.00 |
| | | | | | | | TOTAL: \$ 17,230.00 |

SEED CONVERSION:
S.Y. = LBS. / (LBS. PER AC. x I.E. 37.7) x 43,560 / 9
EXAMPLE:
58.6 LBS. / 37.7 x 43,560 / 9 = 7,523 S.Y.



NOTE: GREENBELT PLANTING BED TYPICAL. REPEAT SIX(6) TIMES - SEE PLANT LIST FOR TOTAL QUANTITIES.

NOTES:
1. NO OVERHEAD UTILITIES EXIST OR ARE PROPOSED ON SITE.
2. SEE CIVIL DRAWINGS FOR SOIL MAP AND TYPES PRESENT ON SITE.

PLANT MIX

- ALL PLANTING/ PERENNIAL BEDS TO RECEIVE:
1 - 6 CU FT. QTY. OF COMPOST
1 - 40 LB BAG DRIMANURE
1 - 1 LB BAG SHERMANS 13-13-13 MULTI PURPOSE FERTILIZER
PER 100 SQ FT BED AREA. HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM
MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH
NO GROUND WOOD PALLETTE MULCH PERMITTED
TOPSOIL
CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

IRRIGATION

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.

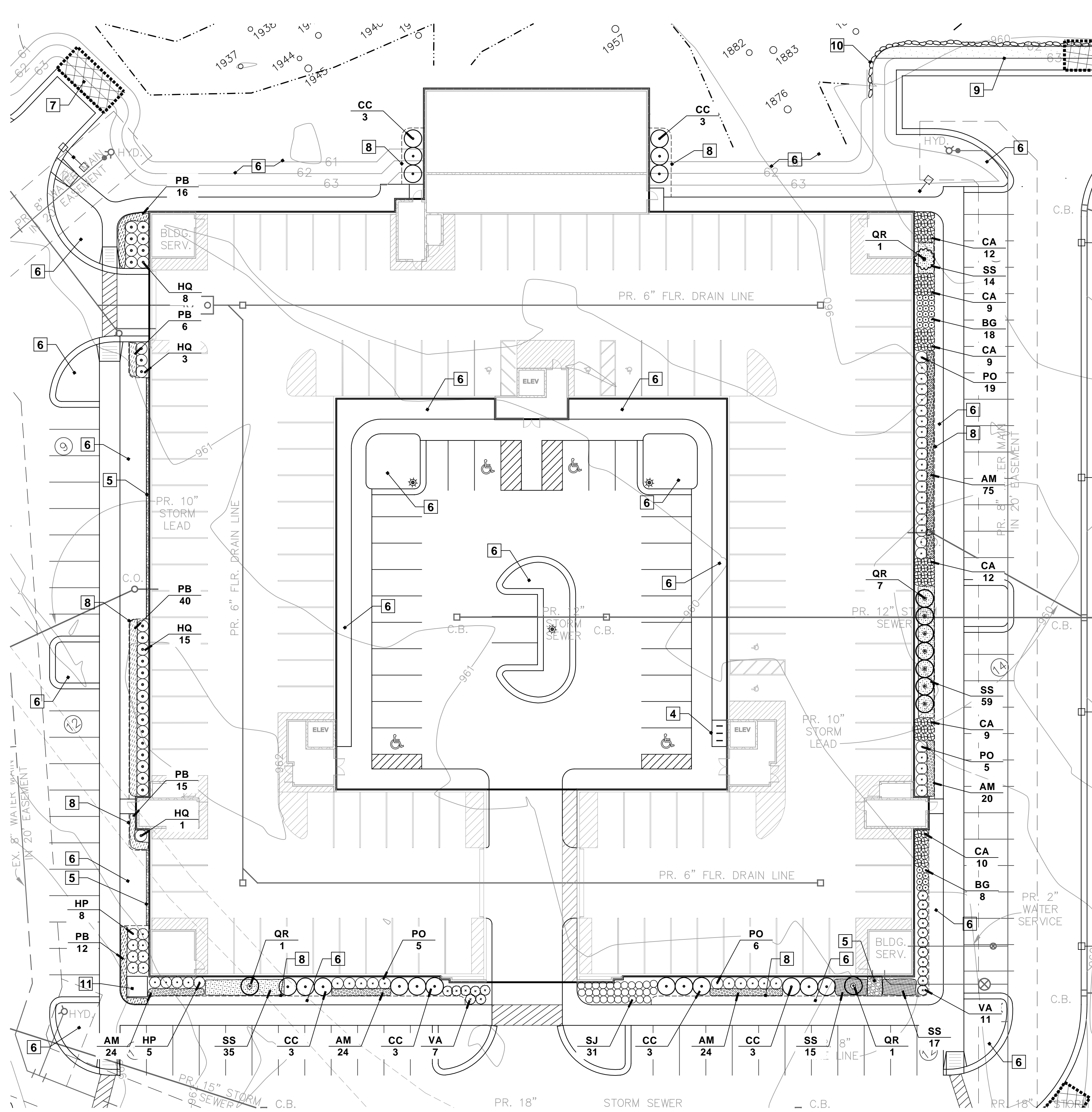
seal: [Professional Seal of Stephen L. Deak, Landscape Architect, No. 1245]

project sponsor:
Nobe Poverty Group II, LLC
41600 Grand River Ave.
Novi, MI 48374

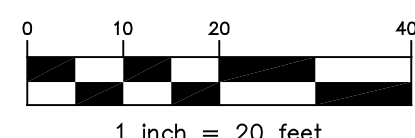
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revisions:
PRELIM. SPA APP. 07/17/23
RVSD PER CMNTS. 8/25/23
sheet title:
SITE LANDSCAPE PLAN
project no.
182302
sheet no.
LP.03



NOT TO BE USED AS CONSTRUCTION DRAWING



2 FOUNDATION PLANTING PLAN
 LP.02 SCALE: 1" = 20'



PLANT LIST - Foundation

| QUAN. | KEY | COMMON BOTANICAL NAME | NATIVE | SIZE | SPEC. | UNIT | TOTAL |
|-------|-----|---|--------|-----------|-------|-----------|---------------------|
| 18 | CC | Ruby Falls Redbud <i>Cercis c. Ruby Falls</i> | | 48" ht. | Cont. | \$ 375.00 | \$ 6,750.00 |
| 9 | QR | Kindred Spirit Oak <i>Quercus robur x bicolor 'Nelder'</i> | N | 2.5' cal. | B&B | \$ 400.00 | \$ 3,600.00 |
| 31 | SJ | Neon Splash Spirea <i>Spiraea japonica 'Neon Flash'</i> | | 24" ht. | Cont. | \$ 50.00 | \$ 1,550.00 |
| 18 | VA | Mapleleaf Viburnum <i>Viburnum acerifolium</i> | N | 30" ht. | Cont. | \$ 50.00 | \$ 900.00 |
| 25 | PO | Summer Wine Ninebark <i>Physocarpus o. 'Summer Wine'</i> | N | 30" ht. | Cont. | \$ 50.00 | \$ 1,250.00 |
| 13 | HP | Little Quick Fire Hydrangea <i>Hydrangea p. 'Little Quick Fire'</i> | | 30" ht. | Cont. | \$ 50.00 | \$ 650.00 |
| 27 | HQ | Snow Queen Oakleaf Hydrangea <i>Hydrangea o. 'Snow Queen'</i> | | 30" ht. | Cont. | \$ 50.00 | \$ 1,350.00 |
| 26 | BG | Green Velvet Boxwood <i>Buxus 'Green Velvet'</i> | | 24" ht. | Cont. | \$ 50.00 | \$ 1,300.00 |
| 167 | AM | Millennium Ornamental Onion <i>Allium 'Millennium'</i> | | 1 gal. | Cont. | \$ 15.00 | \$ 2,505.00 |
| 108 | SS | Little Bluestem <i>Schizachyrium scoparium</i> | N | 1 gal. | Cont. | \$ 15.00 | \$ 1,620.00 |
| 89 | PB | Solomon-seal <i>Polygonatum biflorum</i> | N | 1 gal. | Cont. | \$ 15.00 | \$ 1,335.00 |
| 61 | CA | Kari Foerster Feather Reed Grass <i>Calamagrostis a. 'Kari Foerster'</i> | | 2 gal. | Cont. | \$ 15.00 | \$ 915.00 |
| 10 | | Transformer Screening Shrubs | | 30" ht. | Cont. | \$ 50.00 | \$ 500.00 |
| 40 | | SHREDDED HARD BARK MULCH (C.Y.) | | | | \$ 35.00 | \$ 1,400.00 |
| | | | | | | | TOTAL: \$ 25,625.00 |

NOTE:
 1. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES ON PLANS.
 2. PLANT SPECIES SELECTIONS PROVIDED TO MEET CITY REQUIREMENTS.
 3. DO NOT USE DWARF SPECIES OF CORNUS SERICEA.

NOTE KEY:

- 1 WETLAND LIMITS
- 2 25 FT. WETLAND SETBACK
- 3 25' CLEAR VISION TRIANGLE
- 4 PROPOSED BIKE RACKS - SEE CIVIL DWGS.
- 5 2" DIA. EGGSTONE OVER FILTER MAT
- 6 SEEDED LAWN OVER MINIMUM 4" DEPTH TOPSOIL. SEE TOPSOIL NOTE BELOW
- 7 SNOW DEPOSIT AREA
- 8 SHOVEL CUT BED EDGE - TYP.
- 9 EDGE OF MOWED LAWN
- 10 BOULDER WALL - SEE CIVIL PLANS
- 11 TRANSFORMER PAD - SEE ARCH. DWGS.

GENERAL PLANTING REQ.:

- A THE WORK SHALL CONSIST OF PROVIDING ALL NECESSARY MATERIAL, LABOR, EQUIPMENT, TOOLS, AND SUPERVISION REQUIRED FOR THE COMPLETION AS SHOWN ON THE DRAWING.
- B ALL PLANT MATERIALS SHALL CONFORM TO THE TYPE STATED ON THE PLANT LIST. SIZES SHALL BE THE MINIMUM STATED ON THE PLANT LIST OR LARGER. ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE "A" STANDARDS FOR GRADE NO. 1 NURSERY STOCK AND NORTHERN NURSERY GROWN.
- C ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- D ALL SINGLE TRUNK SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED. ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- E ALL MULTI-STEM TREES SHALL BE HEAVILY BRANCHED AND HAVE SYMMETRICAL CROWNS. ONE SIDED TREES OR THOSE WITH THIN OR OPEN CROWNS SHALL NOT BE ACCEPTED.
- F ALL EVERGREEN TREES SHALL BE HEAVILY BRANCHED AND FULL TO THE GROUND, SYMMETRICAL IN SHAPE AND NOT SHEARED FOR THE LAST FIVE GROWING SEASONS.
- G THE CONTRACTOR IS RESPONSIBLE FOR PLANTING THE MATERIALS AT THE CORRECT GRADES AND SPACING. THE PLANTS SHALL BE ORIENTED AS TO GIVE THE BEST APPEARANCE.
- H WHEN THE PLANT HAS BEEN PROPERLY SET, THE PIT SHALL BE BACKFILLED WITH A TOPSOIL AND NATIVE SOIL MIXTURE, GRADUALLY FILLING, PATTING AND SETTLING WITH WATER.
- I ALL PLANT MATERIALS SHALL BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE REMOVAL OF DEAD OR INJURED TWIGS AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. CUTS SHOULD BE FLUSH, LEAVING NO STUBS.
- J THE CONTRACTOR AGREES TO GUARANTEE ALL PLANT MATERIALS FOR THE PERIOD OF TWO (2) YEARS. ALL PLANT MATERIAL SHALL HAVE A MINIMUM OF ONE CULTIVATION IN JUNE, JULY, AND AUGUST FOR THE TWO YEAR WARRANTY. AT THAT TIME THE OWNER'S REPRESENTATIVE RESERVES THE RIGHT FOR A FINAL INSPECTION. PLANT MATERIAL WITH 25% DIE BACK, AS DETERMINED BY THE OWNER'S REPRESENTATIVE SHALL BE REPLACED. THIS GUARANTEE INCLUDES THE FURNISHING OF NEW PLANTS, LABOR AND MATERIALS. THESE NEW PLANTS SHALL ALSO BE GUARANTEED FOR THE PERIOD OF ONE YEAR.
- K TOPSOIL SHALL BE FRIABLE, FERTILE TOPSOIL OF CLAY LOAM CHARACTER CONTAINING AT LEAST 5% BUT NOT MORE THAN 20% BY WEIGHT OF ORGANIC MATTER WITH A PH RANGE FROM 6.0 TO 7.0. SOIL SHALL BE FREE FROM CLAY LUMPS, COARSE SAND, PLANT ROOTS, STICKS AND OTHER FOREIGN MATERIALS.
- L NO MACHINERY IS TO BE USED WITHIN THE DRIP LINE OF EXISTING TREES. HAND GRADE ALL LAWN AREAS WITHIN DRIP LINE OF EXISTING TREES.
- M IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS, WALKS AND PAVED AREAS.
- N ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
- O SOD/ SEED LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS. DISK SOIL TO 4" DEEP BEFORE TOPSOIL PLACEMENT
- P SOD SHALL BE TWO YEAR OLD 'BARONCHIERDELPHI' KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.

PLANT MIX

- ALL PLANTING/ PERENNIAL BEDS TO RECEIVE:**
- 1 - 6 CU. FT. QTY. OF COMPOST
 - 1 - 40 LB BAG DRIMANURE
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- PER 100 SQ FT BED AREA. HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM**

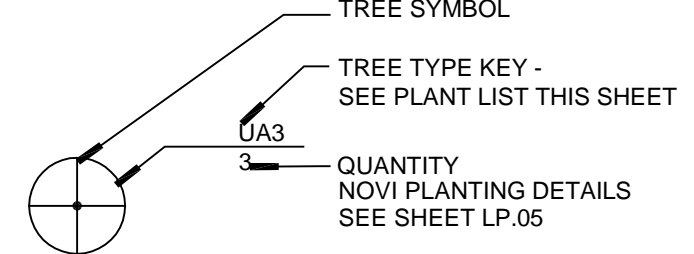
MULCH

MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH
 NO GROUND WOOD PALETTE MULCH PERMITTED

TOPSOIL

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEPTH TOPSOIL IN ALL LAWN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

PLANT KEY



IRRIGATION

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.



project sponsor:
 Noble Poverty Group II, LLC
 46100 Grand River Ave.
 Novi, MI 48374

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revisions:
 PRELIM. SPA APP. 07/17/23
 RVSD PER CMNTS. 8/25/23

sheet title:
LANDSCAPE PLAN

project no.
 182302

sheet no.
LP.04



NOT TO BE USED AS CONSTRUCTION DRAWING

sheet:

project sponsor:

Nobe Property Group II, LLC
46100 Grand River Ave.
Novi, MI 48374

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revisions:

Table with 3 columns: Description, Date, and Version. Includes PRELIM. SPA APP. and RVSD PER CMNTS.

sheet title:

LANDSCAPE DETAILS

project no.

182302

sheet no.

LP.05



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N ALL PLANTING BEDS SHALL RECEIVE 4" SHREDDED BARK MULCH. SEE SPECIFICATIONS.
O SOD/ SEED LAWN AREAS - ALL LAWN AREAS BETWEEN CURBS AND BUILDINGS OR BETWEEN BUILDINGS. DISK SOIL TO 4" DEEP BEFORE TOPSOIL PLACEMENT.
P SOD SHALL BE TWO YEAR OLD "BARONCHIERDELPHI" KENTUCKY BLUE GRASS GROWN IN A SOD NURSERY ON LOAM SOIL.

PLANT MIX

ALL PLANTING/ PERENNIAL BEDS TO RECEIVE:
1 - 6 CU FT. QTY. OF COMPOST
1 - 40 LB BAG DRIMURINE
1 - 1 LB BAG SIIEMMS 13-13-13 MULTI PURPOSE FERTILIZER

PER 100 SQ FT BED AREA. HAND TILL INTO SOIL TO A DEPTH OF 12" MINIMUM

MULCH

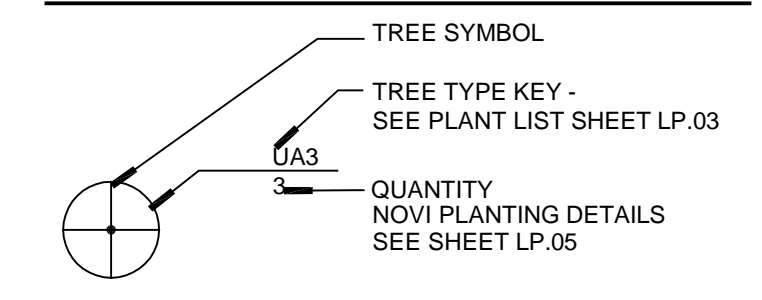
MULCH TO BE DOUBLE SHREDDED HARDWOOD BARK MULCH

NO GROUND WOOD PALLETTE MULCH PERMITTED

TOPSOIL

CONTRACTOR TO TILL OR DISK SUBGRADE TO 4" DEPTH AND INSTALL 4" COMPACTED DEEP TOPSOIL IN ALL LAWN AREAS - TOPSOIL SHALL BE PROVIDED BY CONTRACTOR

PLANT KEY



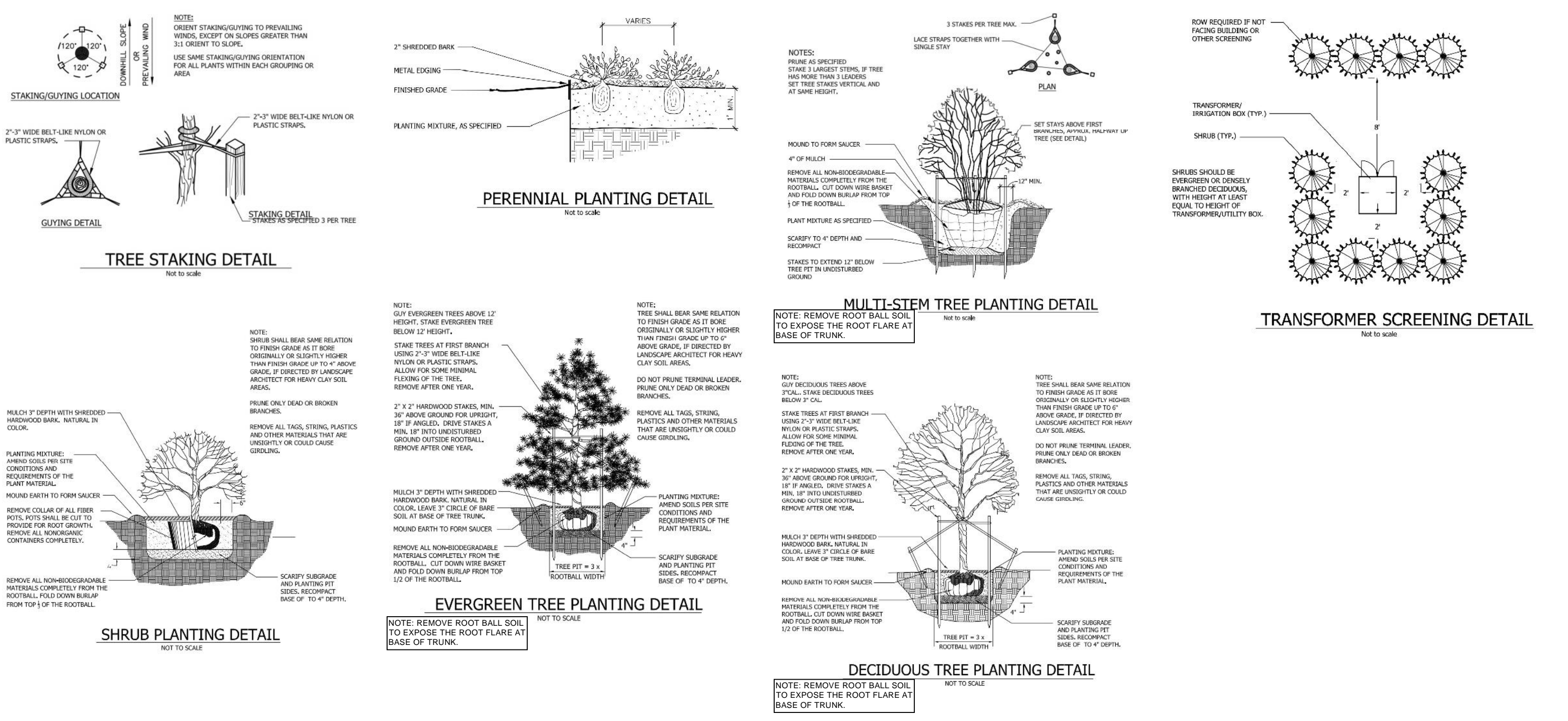
IRRIGATION

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH A FULLY AUTOMATIC IRRIGATION SYSTEM.



NOT TO BE USED AS CONSTRUCTION DRAWING

NOVI PLANTING DETAILS



NOVI SPECIFICATIONS

- 1. Wherever in this Ordinance landscape plantings are required or permitted, they shall be planted in accordance with the approved final stamped landscape plan.
2. All plant materials shall be installed between April 15th and November 15th. All installed landscapes including plant materials, mulch, staking, irrigation, and sodding, must be installed and inspected by the City prior to issuance of a Temporary Certificate of Occupancy. At that time, a financial guarantee of 1.2 times the cost of any deficiencies will be held until inspection occurs for a Final Certificate of Occupancy. In order to receive a Final Certificate of Occupancy the deficiencies must be addressed within 30 days during the April 15th to November 15th planting season. If the deficiencies are not addressed in the time period outlined above, the City will cash in the amount being held for the outstanding items and remedy those items.
3. A City representative will perform landscape inspections following a request from the developer or owner. The inspection time period is from April 15th to November 15th. If an inspection is requested between November 16 and April 31, a financial guarantee is to be provided based on 1.2 times the percent incomplete for a Temporary Certificate of Occupancy as outlined above. Beginning April 31st, the Applicant then has 30 days to complete items or the City will cash in the amount being held and finish the job.
4. The establishment period for the plant material guarantee will occur beginning at the Final Certificate of Occupancy inspection approval to 2 years from that date. All plantings shall be properly planted so as to be in a healthy, growing condition at the commencement of the establishment period. At the end of the establishment period, any plantings, which are 20% dead or greater, shall be replaced.
5. Notes of Installation/Minor Changes:
(1) The owner or developer must notify the City of the installation schedule. The City may reject any material which is defective or in generally poor condition.
(2) Minor changes regarding plant materials per the approved and stamped landscape plan may be altered upon written notification to, and written sign-off by, the City Landscape Architect of species, size, change, and location.
(3) Minor changes due to seasonal planting problems and lack of plant availability may be approved in writing by the City Landscape Architect when there is no reduction in the quality of plant materials, no significant change in size or location of plant material, the new plant material is compatible with the area and is the same general type (deciduous/evergreen), exhibiting same design characteristics (mature height, crown), as the material being replaced. If these criteria are not fulfilled or changes are significant from approved plan, the landscape plan shall be revised and resubmitted for plan approval.
6. Maintenance:
(a) Maintenance of required plantings by the owner shall be carried out so as to present a healthy, neat and orderly appearance, free from refuse and debris.
(b) To insure proper maintenance and as a condition of Final Site Plan approval, the property owner shall enter into and record with the office of the Oakland County Register of Deeds a Landscape Maintenance Agreement, or include such provisions as part of subdivision restrictions or condominium master deed, each of which shall be approved by the City Attorney. Such instrument shall identify the minimum plan of maintenance, the person or entity responsible for maintenance, and shall provide the procedure, authority and finance for City cure of breaches by the responsible entity. Such instrument shall also include provisions that all unhealthy and dead material shall be replaced within one (3) months, or the next appropriate planting period, whichever occurs first; all landscaped areas shall be provided with an irrigation system; tree stakes, guy wires and tree wrap are to be removed after one winter season; plantings shall be guaranteed for two (2) growing seasons after date of the acceptance of the installation; if grass or weeds exceed the height specified in Chapter 21 of the Novi Code of Ordinances, or if shrubs are allowed to obstruct vision across any portion of the island and the responsible party is unwilling to rectify the problem, the City will abate such violations and shall assess the cost of such abatement measures in the manner proposed by the developer and approved by the City in such instrument.
7. Responsibility and Certificates of Occupancy: The owner of the property subject to the requirements of this Section shall be responsible for installing and maintaining per landscaping the approved final landscape plan as specified in this Section. Where the property is occupied by a person other than the owner, the occupant shall also be responsible for maintenance. All landscaping work required pursuant to this Section shall be treated as a site improvement for purposes of Subsections 3005-8 and 9.

* These requirements supersede all other planting requirements or specifications.

BASIN SLOPE MIX - INCLUDE S150 BLANKET ENTIRE AREA

Stormwater Seed Mix table with columns: Botanical Name, Common Name, Quinces/Acre. Lists permanent grasses/sedges/rushes and temporary cover plants.

WOODLAND NATURALIZED MIX - INCLUDE S150 BLANKET SLOPED AREAS

Low-profile Prairie Seed Mix table with columns: Botanical Name, Common Name, Quinces/Acre. Lists permanent grasses, temporary cover, and forb plants.

EROSION CONTROL BLANKET

Material and Performance Specification Sheet for S150 Erosion Control Blanket. Includes manufacturer details, material content, and performance design values.

NATIVE SEEDING MAINTENANCE

During the first growing season, native areas should be mowed a minimum of four times to height of about 4-6" when the growth reaches 10'-12". Selective herbicide applications or hand pulling may be needed to control unwanted weed populations. If a mower cannot set high enough, a string trimmer may be used. During the second growing season, native areas should be mowed a minimum of two times to height of about 8" when the growth reaches 10'-18". Selective herbicide applications or hand pulling may be needed to control unwanted weed populations. Reused or overseed as needed to provide for full coverage. Long term management may include prescribed burning, mowing, hand pulling, and selective herbicide applications. If burning is not allowed or feasible, the planting may be mowed to a short height and the clippings removed in the early spring before ground nesting birds begin nesting.

SEED MIX NOTES

- 1. The seed mixes shall be applied at the specified rate for each mix.
2. Must be installed to manufacturer specification and requirements.
3. The planting mix for the rain garden shall be 70% sharp sand and 30% compost.

Manufacturer: Stantec Native Plant Nursery, 128 Sunset Drive, Walkerton, IN 46574, 574-596-2412

NOTE: The contractor shall send proof of the native mix to be used in the form of a photo of the seed bag or copy of the invoice to mreader@cityofnovi.org for approval prior to planting.



PLANNING + DESIGN

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northville, mi 48167

deakplanningdesign.com

CENTRAL PARK SOUTH
Novi, Michigan

Table with 7 columns: Tree ID #, Tree Type, Diameter, Health Condition, Remove, Multi Stem Replac. Credits, Replacement Credits. Rows 1730-1845.

Table with 7 columns: Tree ID #, Tree Type, Diameter, Health Condition, Remove, Multi Stem Replac. Credits, Replacement Credits. Rows 1846-1976.

Table with 7 columns: Tree ID #, Tree Type, Diameter, Health Condition, Remove, Multi Stem Replac. Credits, Replacement Credits. Rows 1977-2016.

seal:



project sponsor:

Nobe Poverty Group II, LLC
46100 Grand River Ave.
Novi, MI 48374

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revisions:

Table with 2 columns: Revision description, Date. Rows: PRELIM. SPA APP. 07/17/23, RVSD PER CMNTS. 8/25/23.

sheet title:

TREE INVENTORY
& REMOVAL LIST

project no.

182302

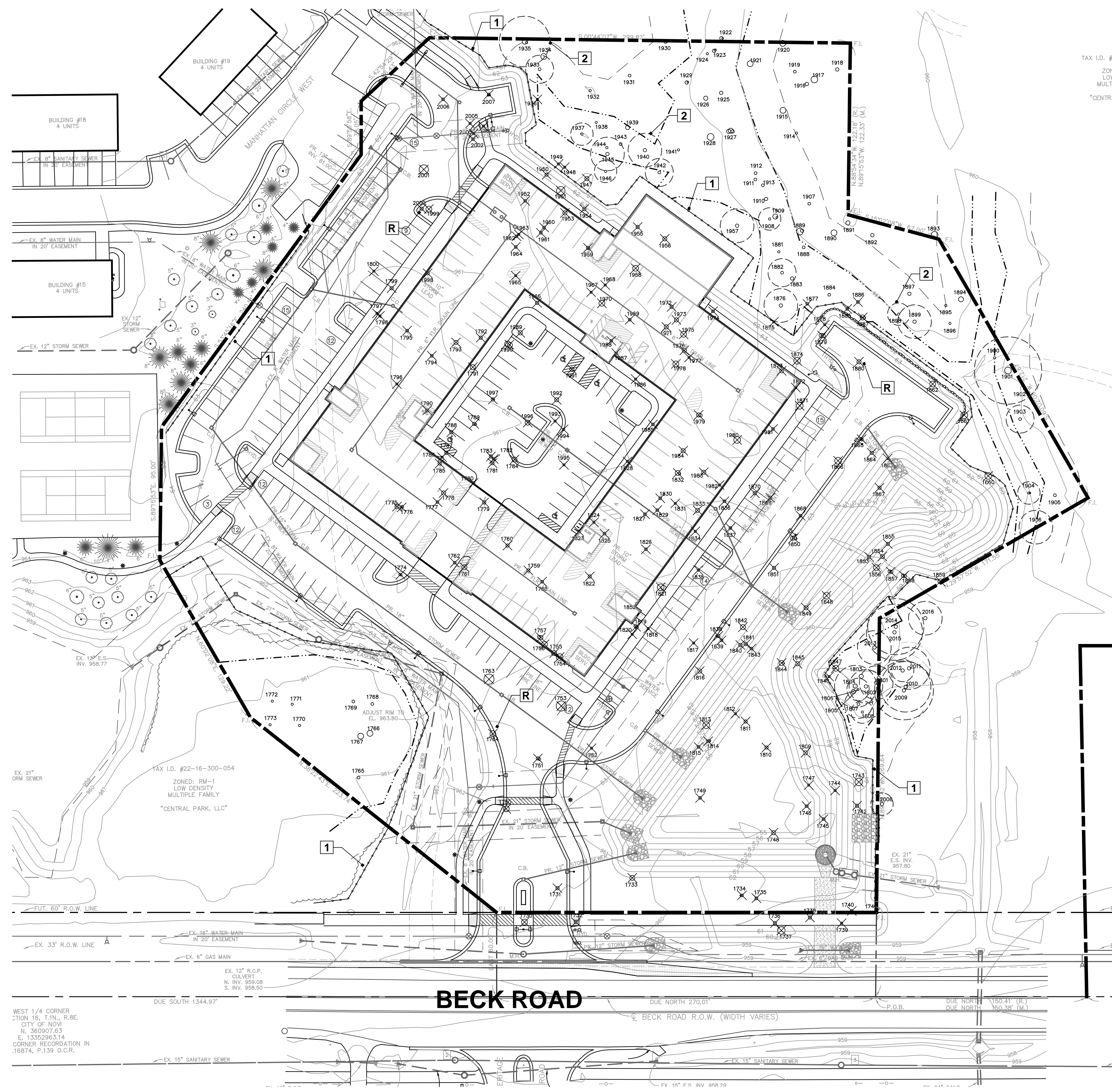
sheet no.

TL.01

TREE INVENTORY, IDENTIFICATION AND SURVEY
PROVIDED BY ENVIRONMENTAL ENGINEERS, INC.



NOT TO BE USED AS CONSTRUCTION DRAWING



TAX I.D. #22
ZONET
LOW I
MULTIPLE
*CENTRAL

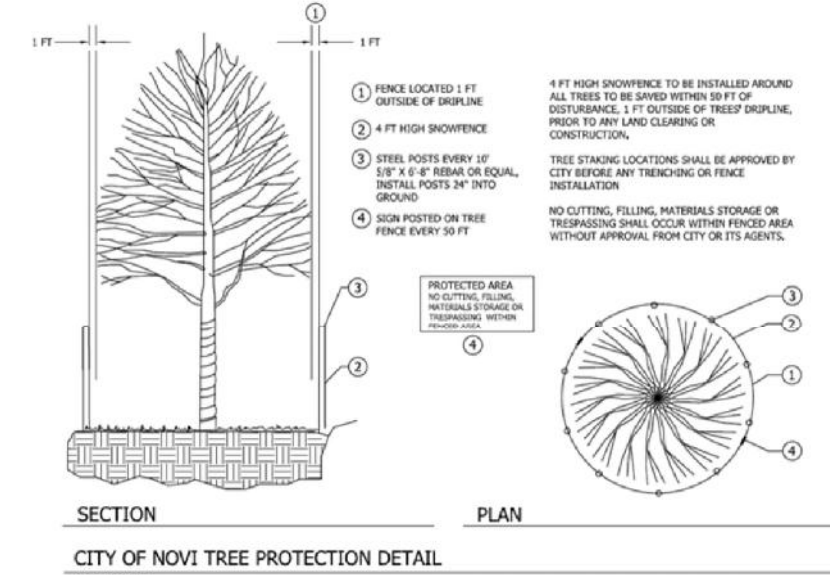


Figure 2. Tree Protection Detail
City of Novi

NOTES

- 1 4 FT. PROTECTIVE SNOW FENCE - METAL STAKES 10' O.C. MAXIMUM. PLACE NO CLOSER THAN 6' FROM TRUNK OF PRESERVED TREE
- 2 CRITICAL ROOT ZONE - 1 FT. RADIUS PER 1" OF DBH.
- R REMOVE - TREES TO BE MARKED BY LANDSCAPE ARCHITECT FOR REMOVAL

WOODLAND DATA

| | |
|------------------------|-----------|
| Total Trees Surveyed: | 278 Trees |
| Total Trees Preserved: | 83 Trees |

WOODLAND IMPACT

| | |
|---------------------------------------|-----------|
| Trees Removed: | |
| Dead Trees Removed: | 11 Trees |
| Very Poor Cond. Trees Removed: | 0 Trees |
| Trees Req. Replc. Removed: | 162 Trees |
| Multi Stem Trees Req. Replc. Removed: | 22 Trees |

WOODLAND REPLACEMENT

| | |
|--|-------------|
| Replacement Trees: | |
| Trees 8"-10.9": 70 Trees x 1 Credit = | 70 Credits |
| Trees 11"-19.9": 67 Trees x 2 Credit = | 134 Credits |
| Trees 20"-29.9": 19 Trees x 3 Credit = | 57 Credits |
| Trees 30" or Greater: 6 Trees x 4 Credit = | 24 Credits |
| Trees Multi Stem Req. Credits: | 81 Credits |

TOTAL CREDITS REQUIRED:

366 Credits

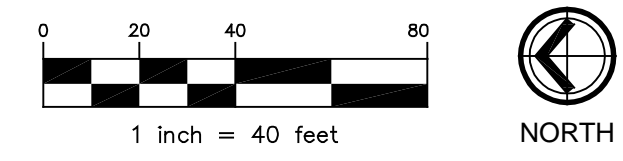
PROPOSED REPLC. CREDITS:

| | |
|---|-------------------|
| Deciduous Trees: | 23 Credits |
| 23 Trees Proposed (2.5" cal. Tree = 1 Credit) | |
| Understory Trees: | 14 Credits |
| 14 Trees Proposed (8 Ft. Ht. Tree = 1 Credit) | |
| Native Seed Area: | 13 Credits |
| (70 s.y. = 1 Credit - 960 s.y. provided) | |
| (5% of total max. = 19 cr. = 1,330 s.y.) | |
| Total Proposed Credits: | 50 Credits |
| Balance of Credits: | 316 Credits |
| (Paid to City Tree Fund) | |

NOTE: Additional replacement trees to be planted in existing Central Park Conservation Easement as coordinated with city officials and credited toward balance at that time.

WOODLAND IMPACT PLAN

SCALE: 1" = 40'



CENTRAL PARK SOUTH
Novi, Michigan

seal:



project sponsor:

Nobe Poperty Group II, LLC
46100 Grand River Ave.
Novi, MI 48374

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revisions:

| | |
|------------------|----------|
| PRELIM. SPA APP. | 07/17/23 |
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sheet title:

WOODLAND IMPACT PLAN

project no.

182302

sheet no.

WP.01



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