



iFly Novi JSP 18-49

iFly Novi JSP 18-49

Consideration at the request of SkyGroup investments, LLC for JSP 18-49 iFly Novi for approval of a Section 9 waiver. The applicant is proposing a 6,713 square foot indoor recreational facility; popularly known as iFly that provides an indoor skydiving experience. The applicant is requesting a revised Section 9 waiver for changing the color of flat metal panels.

Required Action

Approval or denial of Section 9 waiver

REVIEW	RESULT	DATE	COMMENTS
Façade	Approval recommended	03-08-19	<ul style="list-style-type: none">changing the color of flat metal panelsPlanning Commission approved the original section 9 waiver at their October 24, 2018 meeting

Motion sheet

Approval

In the matter of the request of **SkyGroup investments, LLC**, for the iFly Novi JSP 18-49, motion to **approve** the Section 9 Façade Waiver based on and subject to the following:

1. Approval of change of metal panel colors from approved grey to revised blue as indicated in the façade sample board;
2. Subject to conditions of the Section 9 waiver approved on October 24, 2018, subject to the following:
 - a. exceeding the maximum allowed percentages for flat metal panels (50% maximum allowed, 75% on the front, 80% on both sides, 75% on the rear proposed);
 - b. not meeting the minimum requirements for brick (30% minimum required, 25% on the front, 20% on both sides, 25% on the rear proposed);
 - c. not meeting the minimum requirements for combined brick and stone (50% minimum required, 25% on the front, 20% on both sides, 25% on the rear proposed);

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- OR -

Denial – Section 9 Waiver

In the matter of the request of SkyGroup investments, LLC, for the iFly Novi JSP 18-49, motion to deny the Section 9 Façade Waiver based on and subject to the following:

- a. *Add reasons...*

(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

MAPS

Location

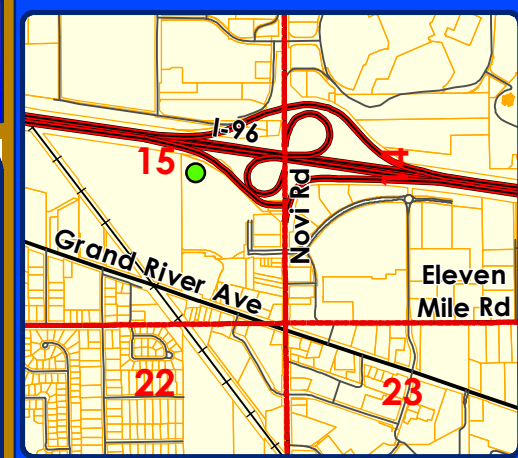
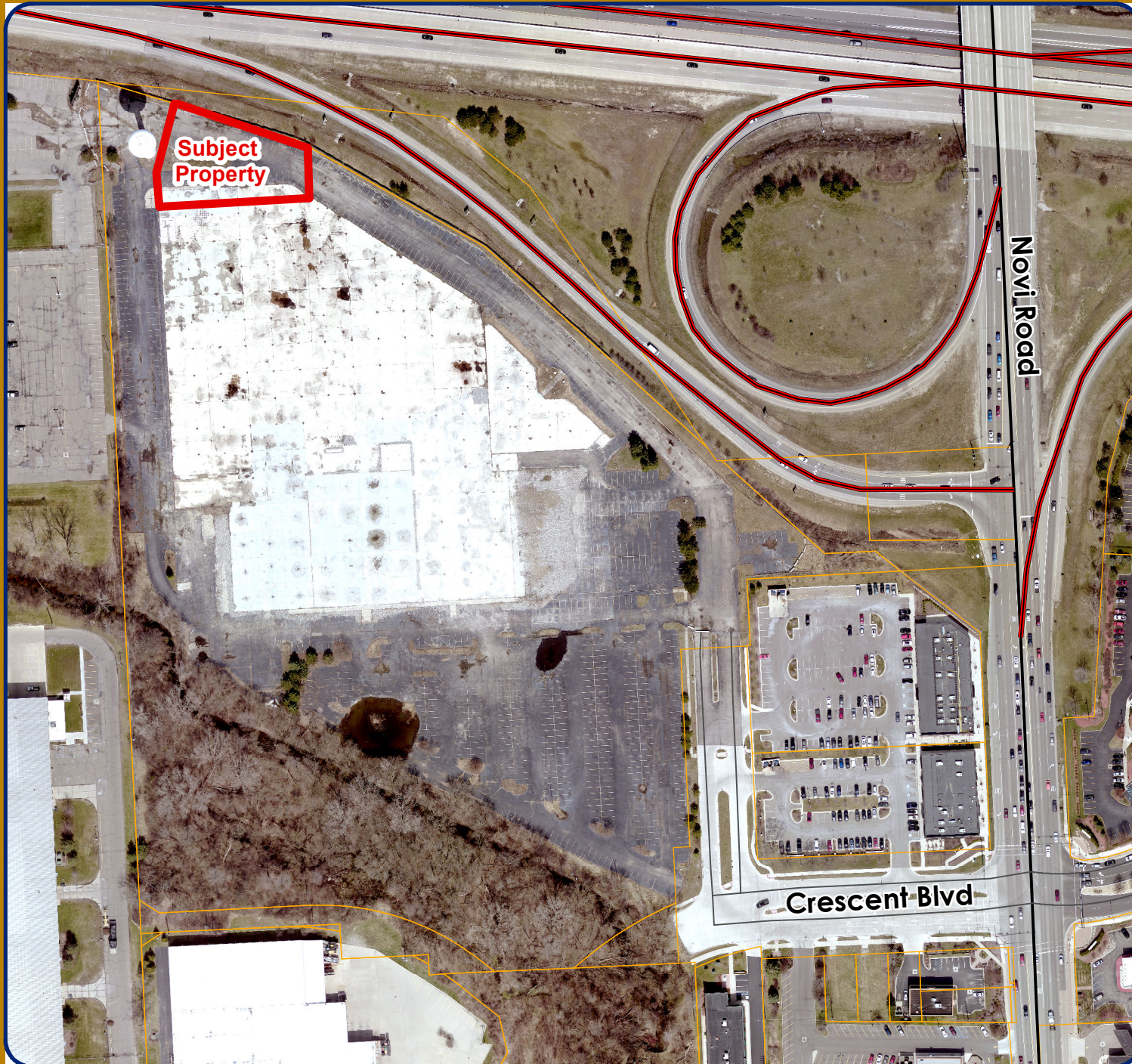
Zoning

Future Landuse

Natural Features

JSP 18-49: iFly NOVI

Location



LEGEND

 Sections



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 10/19/18
Project: JSP 18-49: iFly NOVI
Version #: 1



1 inch = 219 feet

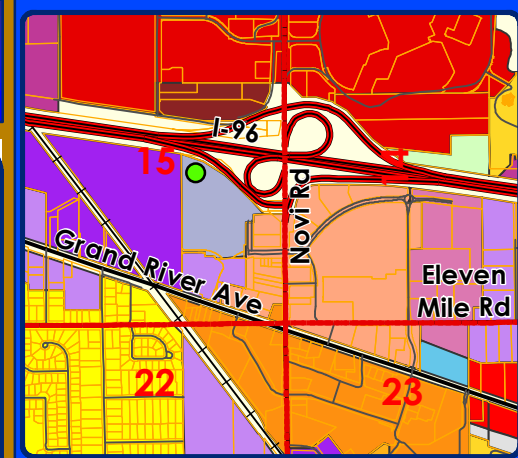
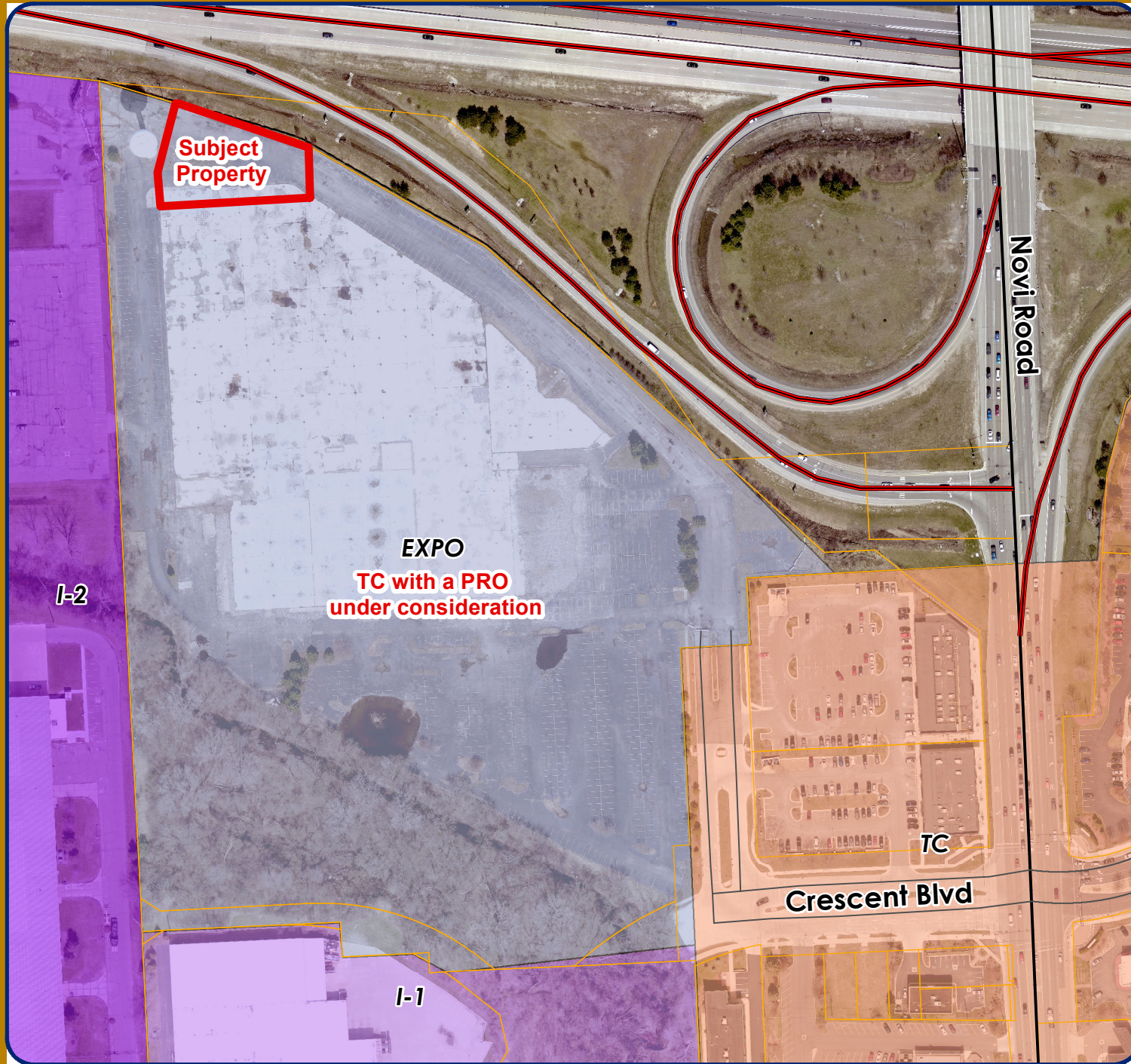


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-49: iFly NOVI

Zoning



LEGEND

Sections

- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- C: Conference District
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- P-1: Vehicular Parking District
- TC: Town Center District
- TC-1: Town Center -1 District



City of Novi
 Dept. of Community Development
 City Hall / Civic Center
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org

Map Author: Sri Komaragiri
 Date: 10/19/18
 Project: JSP 18-49: iFly NOVI
 Version #: 1

0 45 90 180 270 Feet

1 inch = 219 feet

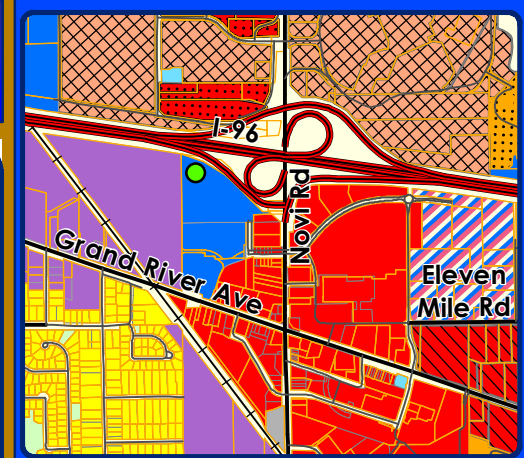
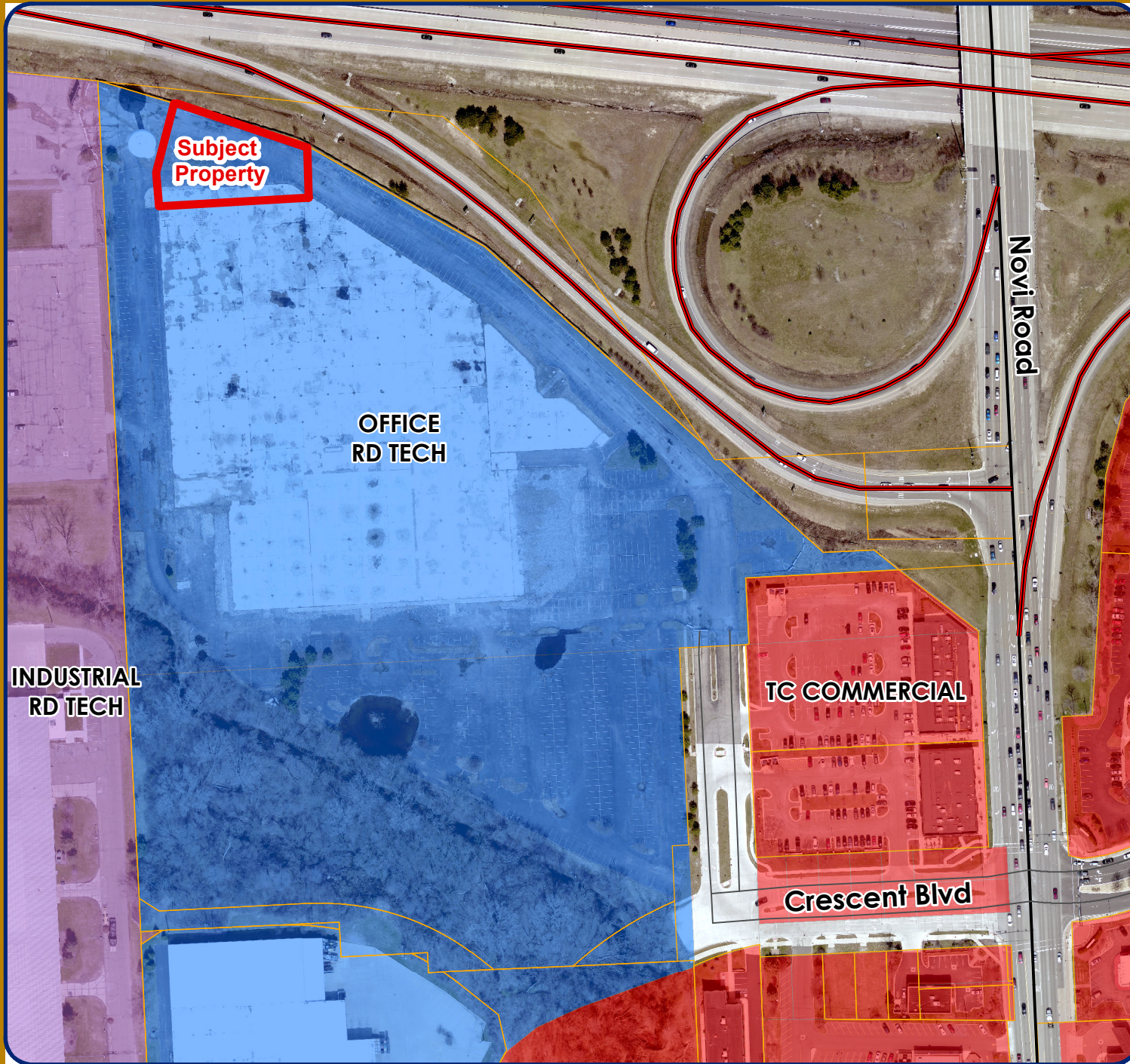


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-49: iFly NOVI

Future Landuse



LEGEND

- FUTURE LAND USE
- Single Family
 - Multiple Family
 - PD1
 - Office RD Tech
 - Office Commercial
 - Industrial RD Tech
 - Regional Commercial
 - TC Commercial
 - TC Gateway
 - PD2
 - Public
 - Private Park
 - Cemetery



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 10/19/18
Project: JSP 18-49: iFly NOVI
Version #: 1

0 45 90 180 270 Feet

1 inch = 219 feet

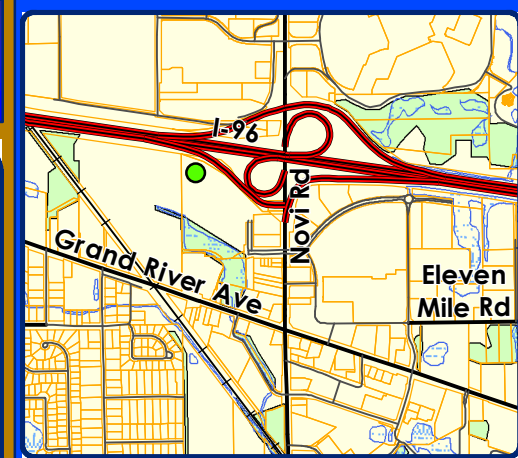
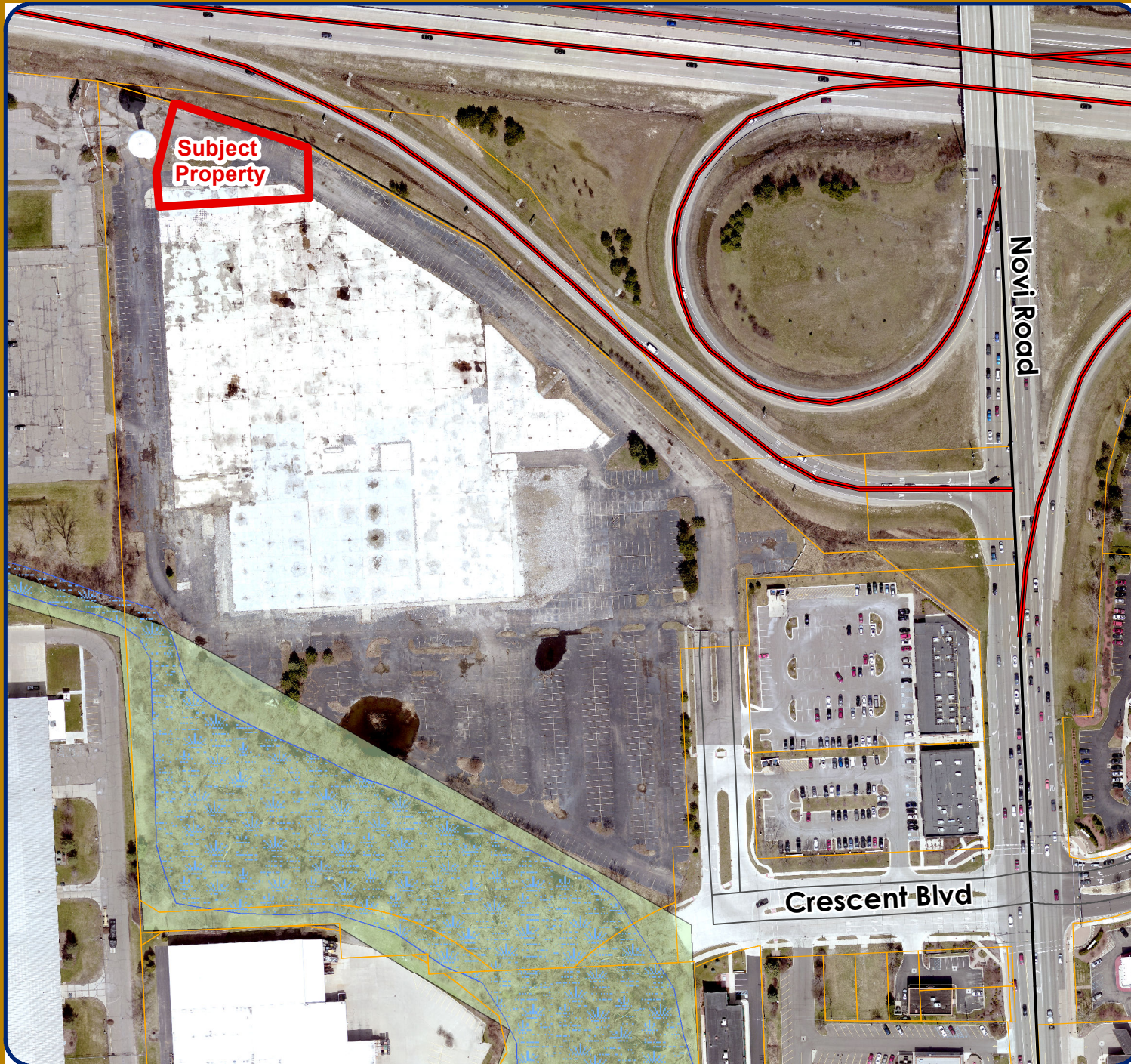


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-49: iFly NOVI

Natural Features



LEGEND

- WETLANDS
- WOODLANDS



City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 10/19/18
Project: JSP 18-49: iFly NOVI
Version #: 1

0 45 90 180 270 Feet

1 inch = 219 feet



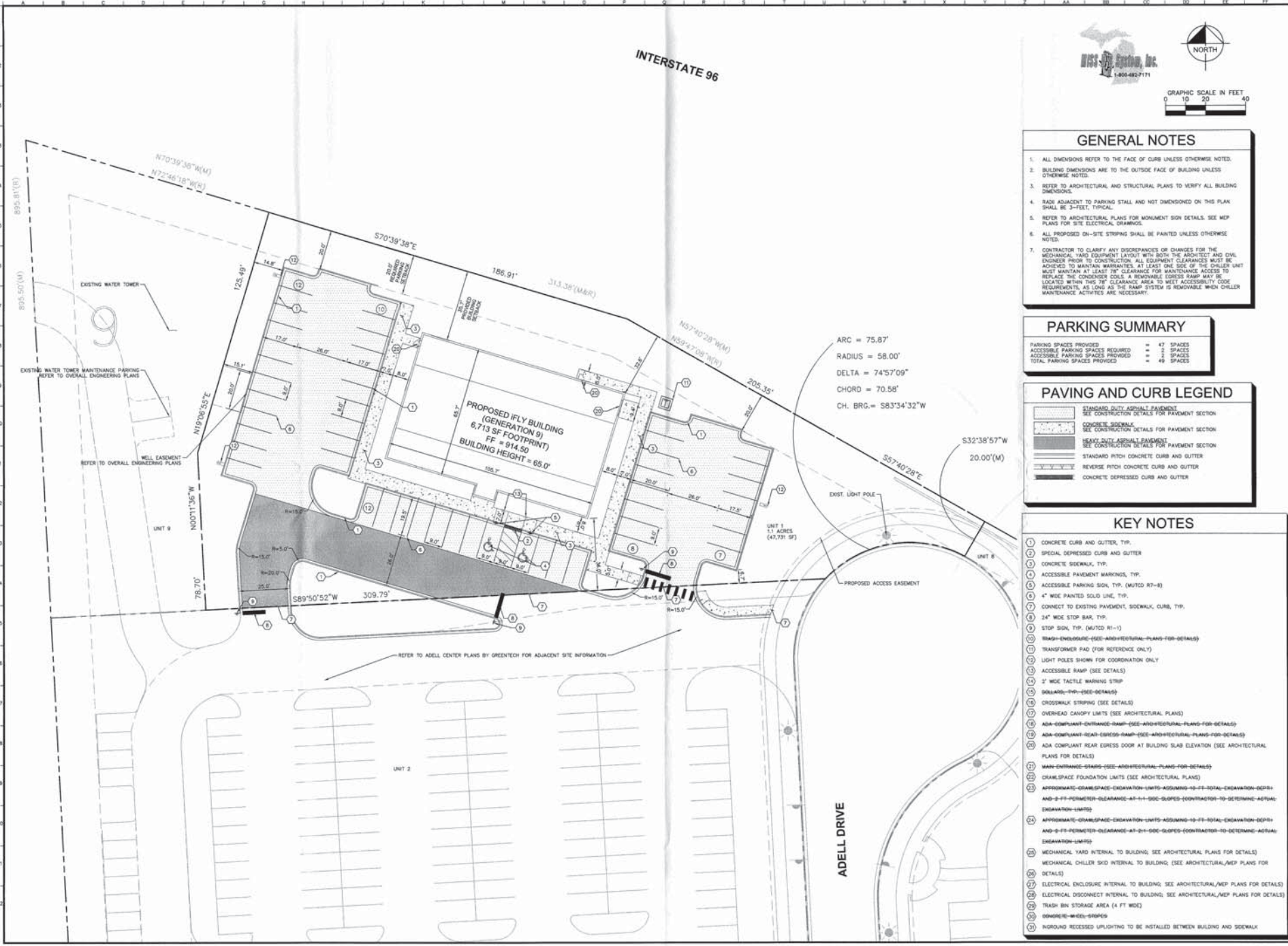
MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

SITE PLAN

(Full size drawings available for viewing at the Community Development Department)

Project Name: IFLY (DET) 43700 Expo Center Drive Unit 1
 Date: 09/25/2018
 Drawn By: JAC
 Checked By: NAC
 Scale: AS NOTED
 Record By: TIME
 The document, together with the contract and other documents, is to be read in conjunction with the specific program and plan. It is not to be construed as a contract.



GENERAL NOTES

1. ALL DIMENSIONS REFER TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
2. BUILDING DIMENSIONS ARE TO THE OUTSIDE FACE OF BUILDING UNLESS OTHERWISE NOTED.
3. REFER TO ARCHITECTURAL AND STRUCTURAL PLANS TO VERIFY ALL BUILDING DIMENSIONS.
4. MAKE ADJUSTMENT TO PARKING STALL AND NOT DIMENSIONED ON THIS PLAN SHALL BE 3'-FEET, TYPICAL.
5. REFER TO ARCHITECTURAL PLANS FOR MONUMENT SIGN DETAILS. SEE MEP PLANS FOR SITE ELECTRICAL DRAWINGS.
6. ALL PROPOSED ON-SITE STRIPING SHALL BE PAINTED UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO CLARIFY ANY DISCREPANCIES OR CHANGES FOR THE MECHANICAL YARD EQUIPMENT LAYOUT WITH BOTH THE ARCHITECT AND CHIL ENGINEER PRIOR TO CONSTRUCTION. ALL EQUIPMENT CLEARANCES MUST BE ACHIEVED TO MAINTAIN WARRANTIES. AT LEAST ONE SIDE OF THE CHILLER UNIT MUST MAINTAIN AT LEAST 7' CLEARANCE FOR MAINTENANCE ACCESS TO REPLACE THE CONDENSER COILS. A REMOVABLE COILS RAMP MAY BE LOCATED WITHIN THIS 7' CLEARANCE AREA TO MEET ACCESSIBILITY CODE REQUIREMENTS AS LONG AS THE RAMP SYSTEM IS REMOVABLE WHEN CHILLER MAINTENANCE ACTIVITIES ARE NECESSARY.

PARKING SUMMARY

PARKING SPACES PROVIDED	47	47 SPACES
ACCESSIBLE PARKING SPACES REQUIRED	4	4 SPACES
ACCESSIBLE PARKING SPACES PROVIDED	4	4 SPACES
TOTAL PARKING SPACES PROVIDED	47	47 SPACES

PAVING AND CURB LEGEND

- STANDARD DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- CONCRETE SIDEWALK
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- HEAVY DUTY ASPHALT PAVEMENT
SEE CONSTRUCTION DETAILS FOR PAVEMENT SECTION
- STANDARD FITCH CONCRETE CURB AND GUTTER
- REVERSE FITCH CONCRETE CURB AND GUTTER
- CONCRETE DEPRESSED CURB AND GUTTER

KEY NOTES

- 1 CONCRETE CURB AND GUTTER, TYP.
- 2 SPECIAL DEPRESSED CURB AND GUTTER
- 3 CONCRETE SIDEWALK, TYP.
- 4 ACCESSIBLE PAVEMENT MARKINGS, TYP.
- 5 ACCESSIBLE PARKING SIGN, TYP. (MUTCD R7-8)
- 6 4" WIDE PAINTED SOLID LINE, TYP.
- 7 CONNECT TO EXISTING PAVEMENT, SIDEWALK, CURB, TYP.
- 8 24" WIDE STOP BAR, TYP.
- 9 STOP SIGN, TYP. (MUTCD R1-1)
- 10 RAMP ENCLOSURE (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 11 TRANSFORMER PAD (FOR REFERENCE ONLY)
- 12 LIGHT POLES SHOWN FOR COORDINATION ONLY
- 13 ACCESSIBLE SIGN (SEE DETAILS)
- 14 2" WIDE TACTILE WARNING STRIP
- 15 BILLBOARD, TYP. (SEE DETAILS)
- 16 SIDEWALK STRIPING (SEE DETAILS)
- 17 OVERHEAD CANOPY LIMITS (SEE ARCHITECTURAL PLANS)
- 18 ADA-COMPLIANT-ENTRANCE-RAMP (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 19 ADA-COMPLIANT-REAR-EGRESS-RAMP (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 20 ADA-COMPLIANT-REAR-EGRESS DOOR AT BUILDING SLAB ELEVATION (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 21 MAIN-ENTRANCE-GRABBS (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 22 CHAIRSPACE FOUNDATION LIMITS (SEE ARCHITECTURAL PLANS)
- 23 APPROXIMATE-GRABSPACE-EXHAUSTION-LIMITS-ASSIGNING-10-FEET-TOTAL-EXHAUSTION-DEPTH-AND-0-FEET-PERIMETER-CLEARANCE-AT-4-1-DISC-SLOPES-CONTRADICTION-TO-DETERMINING-AIRFLOW-EXHAUSTION-LIMITS)
- 24 APPROXIMATE-GRABSPACE-EXHAUSTION-LIMITS-ASSIGNING-10-FEET-TOTAL-EXHAUSTION-DEPTH-AND-0-FEET-PERIMETER-CLEARANCE-AT-2-1-DISC-SLOPES-CONTRADICTION-TO-DETERMINING-AIRFLOW-EXHAUSTION-LIMITS)
- 25 MECHANICAL YARD INTERNAL TO BUILDING (SEE ARCHITECTURAL PLANS FOR DETAILS)
- 26 MECHANICAL CHILLER SIGN INTERNAL TO BUILDING (SEE ARCHITECTURAL/MEP PLANS FOR DETAILS)
- 27 ELECTRICAL ENCLOSURE INTERNAL TO BUILDING (SEE ARCHITECTURAL/MEP PLANS FOR DETAILS)
- 28 ELECTRICAL DISCONNECT INTERNAL TO BUILDING (SEE ARCHITECTURAL/MEP PLANS FOR DETAILS)
- 29 TRASH BIN STORAGE AREA (4 FT WIDE)
- 30 BONGHIRE-WHEEL-GROUPS
- 31 INGROUND RECESSED LIGHTING TO BE INSTALLED BETWEEN BUILDING AND SIDEWALK

DATE

REVISIONS

NO.

DATE

REVISIONS

NO.

Kimley-Horn

300 N. WASHINGTON STREET, SUITE 200
 WASHINGTON, DC 20001
 TEL: 202.638.3000
 WWW.KIMLEY-HORN.COM

iFLY
INDOOR SKIDIVING

SITE PLAN

iFLY (DET)
43700 EXPO CENTER DRIVE UNIT 1
NOV. 14. 48375

ORIGINAL ISSUE:
9/25/18

KHA PROJECT NO.
160095116

SHEET NUMBER
C1.0

REVISED BUILDING ELEVATIONS



FRONT & RIGHT ELEVATION



BACK & LEFT ELEVATION

	Sq. Ft.	Percent		Sq. Ft.	Percent
Front Elevation			Building Totals		
Brick	1,312	19%	Brick	4,087	20%
Field Panel	1,393	20%	Field Panel	4,231	20%
Accent Panel	363	5%	Accent Panel	643	3%
Tunnel Panel	2,738	40%	Tunnel Panel	10,142	48%
Storefront/ Windows	1,059	15%	Windows	1,672	8%
Doors	-	0%	Doors	183	1%
TOTAL	6,865		TOTAL	20,958	
Right Elevation			Façade Materila Calculations		
Brick	474	13%	40' Buidling Elevation		
Field Panel	600	17%	Front & Sides	5,328	
Accent Panel	-	0%	Back & Sides	5,400	
Tunnel Panel	2,333	65%	Total	10,728	
Windows	87	2%	65' Return Air Tower		
Doors	120	3%	Front & Back	5,200	
TOTAL	3,614		Sides	4,518	
Back Elevation			Total	9,718	
Brick	1,728	25%	For structureal reasons, masonry can not be constructed on the 65' RATs.		
Field Panel/Louvers	1,638	24%			
Accent Panel/Louver	280	4%	40' Building Elevations		
Tunnel Panel	2,738	40%	Total Sq Ft	10,728	
Windows	439	6%	- Doors & Win	1,855	
Doors	42	1%	Sub Total	8,873	
TOTAL	6,865		Brick Masonry	3,999	45%
Left Elevation			Metal Panels	4,874	55%
Brick	573	16%	Exterior Signage		
Field Panel	600	17%	Front & Back	122sf x 2	244 sf
Accent Panel	-	0%	Sides	44.4sf x 2	88.75 sf
Tunnel Panel	2,333	65%	Total		332.75
Windows	87	2%			
Doors	21	1%			
TOTAL	3,614				



NOVI, MICHIGAN

Generation 9 Feb. 19, 2019

PREVIOUSLY APPROVED BUILDING ELEVATIONS

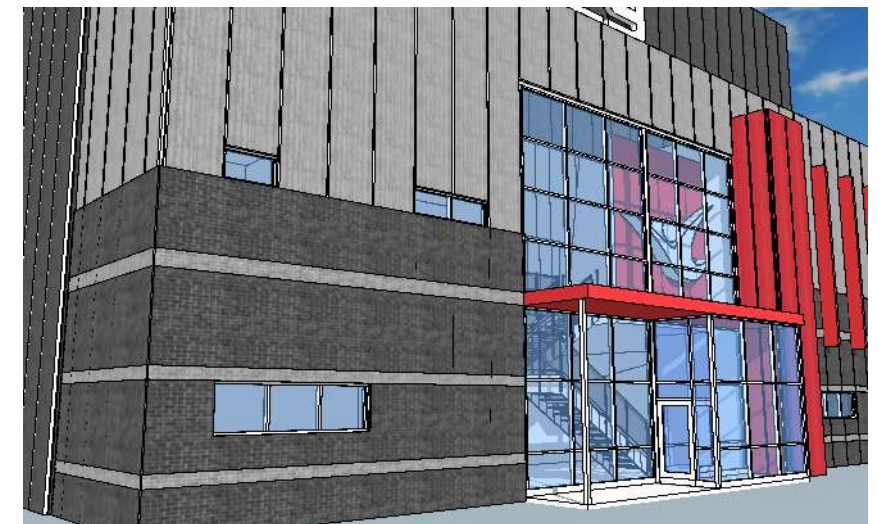


FRONT & SIDE ELEVATIONS

FACADE MATERIAL CALCULATIONS:

RETURN AIR TOWER (65') HEIGHT IS A METAL PANEL CLADDING SYSTEM. MASONRY IS NOT STRUCTURALLY SAFE TO INSTALL DUE TO THE VIBRATIONS CREATED BY THE TUNNEL SYSTEM HOUSED BY THE TOWER STRUCTURE.

THE BUILDING FACADE (40') IS CONSTRUCTED WITH A 20' WAINSCOT OF BRICK (= 50% OF GROSS AREA) AND A 20' METAL PANEL ABOVE THE WAINSCOT.



BACK & SIDE ELEVATIONS



NOVI, MICHIGAN

Generation 9 Oct. 19, 2018

FACADE REVIEW
Dated 03-08-19



March 7, 2019

Façade Review Status Summary:
Approved – No additional waivers required

City of Novi Planning Department
45175 W. 10 Mile Rd.
Novi, MI 48375- 3024

Re: **FACADE ORDINANCE REVIEW (Final Site Plan)**
iFLY at Adell Center, JSP18-49
Façade Region: 1, Zoning District: Rezoning to TC-1

The following is façade review of the color sample submitted in response to our prior review where we pointed out that the color of the metal panels had been revised from the colors approved by the Planning Commission during their meeting on 10/24/18. The metal panels were originally proposed to be grey and were changed to blue as indicated on the attached sample and rendering. The colors of all other materials remain unchanged from that shown on the sample board.

Recommendation - The proposed color is subdued in intensity and is therefore consistent with Section 5.15.2 of the Façade Ordinance, which prohibits intense colors.

If you have any questions regarding this matter please contact the City of Novi Department of Planning and Community Development.

Sincerely,
DRN & Architects PC

Douglas R. Necci, AIA
Novi Façade Consultant



iFLY
 INDOOR SKYDIVING
 NOVI, MICHIGAN
 Generation 9 Oct. 11, 2018

Original Sample Board

FAÇADE REVIEW
Previous: 10-19-18



October 19, 2018

Façade Review Status Summary:
Approved, Section 9 Waiver Recommended

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375- 3024

Re: **FACADE ORDINANCE REVIEW (Preliminary Site Plan)**
iFLY at Adell Center, JSP18-49
 Façade Region: 1, Zoning District: Rezoning to TC-1

The following is façade review for the above referenced project. This project is required to comply with the Façade Ordinance Section 5.15 and the Town Center (TC) Ordinance, Section 3.27.G. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance are highlighted in bold.

iFLY Indoor Skydiving (Rendering Dated 10/19/18)	Front	Right	Left	Rear	Façade Ordinance Maximum (Minimum)
Brick	25%	20%	20%	25%	100% (30% Min)
Brick and Stone Combined	25%	20%	20%	25%	50% (TC Ord.)
Flat Metal Panels	75%	80%	80%	75%	50%

In response to our and staff comments the applicant has added Brick to the lower 20' of the building, added vertical accents on the front and rear elevations, and incorporated a more well defined main entrance. The iFLY logo has been relocated to within the building and will be visible through the clearstory glass above the main entrance. The building incorporates a sign and / or logo on all facades. Information as to the type of sign (internally illuminated, painted, channel letter, etc.) was not provided. In general the signs and logos do not appear to be detrimental to the aesthetic quality of the building. The Façade Ordinance prohibits the use of façade materials to form the background of a sign so as to increase the visual presence of the building for the purpose of advertising. In this case the sample board provided indicates colors that are consistent with the overall façade and do not constitute the background of the signs and / or logos.

Recommendation – Although the percentage of Brick and Flat Metal Panels deviates from the percentages allowed by the Ordinance, we believe that the proposed revisions represent a significantly improvement in the overall appearance of the building and the overall design is now consistent with the intent and purpose of the Façade Ordinance. For that reason it is our recommended that a Section 9 Waiver be granted for the underage of Brick and Stone and the overage of Flat metal Panels.

General Façade Requirements;

1. It should be noted that revisions after approval and any deviation from specific Section 9 Waivers granted will require reapplication as described in Section 5.15.10 of the Façade Ordinance. Except for the specific Section 9 Waivers granted, all building and sample boards must comply with the Façade Ordinance at the time of Preliminary Site Plan application.
2. All roof top equipment must be screened from view from all on-site and off-site vantage points using compliant materials consistent with the building design. In this case the elevated views from the nearby highway overpass would be included.
3. Dumpster enclosures (excluding doors) are required to be constructed of brick or stone matching the primary buildings.
4. Monument signs, guard houses, gated entrance pedestals and other structures, if any are required to comply with the Façade Ordinance.
5. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this matter please contact the City of Novi Department of Planning and Community Development.

Sincerely,
DRN & Architects PC



Douglas R. Necci, AIA
Novi Façade Consultant

PLANNING COMMISSION MEETING MINUTES
10-24-19



PLANNING COMMISSION ACTION SUMMARY

CITY OF NOVI

Regular Meeting

October 24, 2018 7:00 PM

Council Chambers | Novi Civic Center
45175 W. Ten Mile (248) 347-0475

CALL TO ORDER

The meeting was called to order at 7:00 PM.

ROLL CALL

Present: Member Avdoulos, Member Greco, Member Hornung, Member Lynch, Member Maday, Chair Pehrson

Absent: Member Anthony (excused)

Also Present: Barbara McBeth, City Planner; Sri Komaragiri, Planner; Lindsay Bell, Planner; Rick Meader, Landscape Architect; Darcy Rechtiem, Staff Engineer; Beth Saarela, City Attorney; Doug Necci, Façade Consultant

APPROVAL OF AGENDA

Motion to approve the October 24, 2018 Planning Commission Agenda. *Motion carried 6-0.*

PUBLIC HEARINGS

1. SUBURBAN TOYOTA SERVICE CENTER JSP18-15

Public hearing at the request of Nowak and Fraus Engineers for Special Land Use, Preliminary Site Plan, Wetland Permit, and Stormwater Management Plan approval. The subject parcels are located in Section 24 west of Haggerty Road and north of Grand River Avenue on Regency Drive. It is approximately 6.7 acres and zoned I-1 (Light Industrial). The applicant is proposing to build a 21,485 square foot vehicle service station building and inventory vehicle parking with associated site improvements.

In the matter of Toyota Service Center JSP18-15, motion to approve the Special Land Use Permit based on and subject to the following:

- a. The proposed use will not cause any detrimental impact on existing thoroughfares (*based on the review and findings in the Traffic Consultant review letter*);
- b. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities (*as this area was already planned for development*);
- c. The proposed use is compatible with the natural features and characteristics of the land (*because the plan minimizes and mitigates impacts on Ingersoll Creek and structures are located outside the floodplain*);
- d. The proposed use is compatible with adjacent uses of land (*because the proposed use conforms to the standards of the district and requirements for light industrial, and*

is surrounded by light industrial uses and car dealerships are present on the east side of Haggerty Road);

- e. The proposed use is consistent with the goals, objectives, and recommendations of the City's Master Plan for Land Use *(which includes ensuring that Novi continues to be a desirable place for business investment);*
- f. The proposed use will promote the use of land in a socially and economically desirable manner *(as the proposed use will be in an area currently planned for light industrial use, makes use of a vacant parcel, and will create approximately 20 jobs when complete);*
- g. The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located as it meets all minimum requirements for same, except as noted below:
- h. Planning Commission approval to modify the requirement for open storage of the inventory vehicles in the front/exterior side yard *because the presence of floodplain on the eastern portion of the site requires the building to be located further west, leaving a portion of the property that would otherwise be unused;*
- i. Planning Commission waiver from Section 5.5.3.A.5 and 3.21.2.A.iii for deficiency in the required 3 foot landscaped berm along the western property line adjacent to Haggerty Road which is hereby granted, for the following reasons:
 - i. *The northern frontage is below the elevated Haggerty Road so the berm would not provide a screening benefit,*
 - ii. *The southern frontage is within the proposed floodplain mitigation area;*
- j. Planning Commission waiver from Section 5.5.3.B.ii.f for not providing street trees on Haggerty Road *due to the existing utilities and drain topography in this area, which is hereby granted.*

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, Article 5, and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of Toyota Service Center JSP18-15, motion to approve the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards as listed in Section 3.14.1.B.iv, listed in detail in Planning Review Chart to allow non-residential Open Storage when conducted in conjunction with and accessory to an otherwise permitted use in I-1 district;
- b. Applicant to demonstrate on the Final Site Plan that the storage areas shall *be completely screened from view from all adjacent properties by appropriate structures, fencing or walls 6-8 ft in height, and/or supplemented with additional landscape screening, to the extent possible, given the change in elevation along the Haggerty Road frontage.*
- c. Waiver of the same-side driveway spacing requirements of Section 11-216.d.1.d, which is hereby granted, to allow two access drives on Regency Drive;
- d. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of Toyota Service Center JSP18-15, motion to approve the Wetland Permit based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of Toyota Service Center JSP18-15, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

MATTERS FOR CONSIDERATION

1. iFLY NOVI JSP18-49

Consideration at the request of SkyGroup Investments, LLC for JSP 18-49 iFly Novi for Planning Commission's approval of the Preliminary Site Plan and Storm Water Management plan. The applicant is proposing a 6,713 square foot indoor recreational facility; popularly known as iFly that provides an indoor skydiving experience.

In the matter of the request of SkyGroup Investments, LLC, for the iFly Novi JSP 18-49, motion to approve the Preliminary Site Plan based on and subject to the following:

1. This review and recommendation with respect to approval of the Preliminary Site Plan is being conducted at the applicant's request before the PRO rezoning process has been completed by the City Council. The applicant has acknowledged as part of its submission of this request that the City Council had not yet reviewed its PRO Concept Plan and proposal and that there is no PRO Agreement between the City and the applicant. The City Council might or might not approve the rezoning. The following provisions are therefore completely contingent on approval by the City Council of the PRO rezoning through the PRO Concept Plan and PRO Agreement at the City Council as required by the ordinance, and if those approvals do not occur, then any approval of the preliminary site plan is null and void, and of no force or effect whatsoever, as the applicant has been apprised of the fact that the PRO rezoning, which is required in order to allow site plan approval, might not occur, and has determined to bear the risk that such approval might not occur, including but not limited to all of the costs incurred in the preparation of the preliminary plans before rezoning is even granted.
2. Following revisions/deviations as underlined, are subject to Planning Commission's approval at the time of Preliminary Site Plan approval, as noted in the PRO Agreement (shown in *italics*), approved by City Council on October 22, 2018:
 - a. *Planning deviation from section 4.19.2.F to allow alternate location for dumpsters, instead of required rear yard for units 1, 5, 6, 7 and 8, provided the proposed location does not impact traffic circulation and appropriate screening is provided at the time of preliminary site plan. The applicant requests dumpsters to be allowed in exterior/interior side yards; Planning Commission's approval to*

allow dumpster to be located in the interior side yard, based on the revised PDF's shared via e-mail dated October 19, 2018 to the west is hereby granted;

- b. *Planning deviation to allow placement of loading areas in alternate locations instead of required rear yard or interior side yard for double frontage lots, as listed below, provided proposed locations do not conflict with traffic circulation and appropriate screening will be provided at the time of Preliminary site plan review:*
 - i. *Unit 1: exterior side yard; The applicant shall provide the required loading zone in the interior/rear yard to the west;*
- c. *The applicant shall provide supporting data to justify the proposed loading area square footages, to be reviewed and approved by Planning Commission at the time of Preliminary site plan approval; Planning Commission's approval to allow for reduction of minimum required loading area is hereby granted; (657 square feet required, 153 square feet provided);*
- d. *The applicant shall provide revised elevations addressing comments provided in Façade review letter dated August 14, 2018 for Planning Commission's review and consideration for approval of Section 9 waiver at the time of preliminary site plan review; A section 9 waiver for the following is requested at this time based on the revised PDF's shared via e-mail dated October 19, 2018, which is hereby granted;*
 - i. exceeding the maximum allowed percentages for flat metal panels (50% maximum allowed, 75% on the front, 80% on both sides, 75% on the rear proposed);
 - ii. not meeting the minimum requirements for brick (30% minimum required, 25% on the front, 20% on both sides, 25% on the rear proposed);
 - iii. not meeting the minimum requirements for combined brick and stone (50% minimum required, 25% on the front, 20% on both sides, 25% on the rear proposed);
- e. *The following deviations from Chapter 28, Signs, from City Code of Ordinances for the two development signs for the Adell Center Development as listed below, provided that such deviations shall be the maximum amount authorized, and the City may require a lesser deviation at the time of site plan approval if deemed appropriate:*
 - i. *To allow for four additional wall signs for Unit 1: iFly. Five are requested for the entire unit. One wall sign is allowed. The wall signs allowed with the following deviations:*
 - 1. *Side Elevations: a size deviation of 88.75 square feet (65 square feet allowed, 153.75 square feet proposed) for two signs.*
 - 2. *Front and Back Elevations: a size deviation of 244 square feet (65 square feet allowed, 309 square feet proposed) for two signs.*

The applicant shall revise the building signage to lower the area as noted in the revised sign drawings submitted via e-mail on October 23, 2018. The revision allows for fewer signage and smaller sizes than noted in the draft PRO agreement to allow for three additional wall signs with a size deviation of up to 87 feet for all four sides.

3. The applicant shall provide the required bicycle racks at the time of Final Site Plan approval;
4. The applicant shall provide a dedicated drop-off area in an approvable location, as noted in the Traffic review letter;
5. The applicant shall provide a paved access drive through Unit 2 prior to opening for business, if it is not paved by Unit 2 at that time;
6. The applicant shall provide the required loading zone in the interior/rear yard to the west;
7. The applicant shall screen the loading area to meet the landscape requirements at the time final site plan;
8. The applicant shall relocate the proposed Transformer to rear yard;
9. This recommendation for Preliminary Site Plan approval is therefore granted subject to completion of the of the PRO Concept Plan and PRO Agreement process, and any and all requirements that result from such approval, if it is granted; at a minimum, the following deviations would need to be granted as part of the City Council's PRO rezoning process in order for the preliminary site plan to be approved as prepared:
 - a. Planning deviation from section 3.1 .26.D for exceeding the maximum allowable building height of 65 feet and maximum allowable 5 stories, provided they conform to the 2015 International Building Code standards for High-rise (Type I or Type II) construction:
 - Unit 1 iFly (70 feet).
 - b. Planning deviation from section 5.12 to allow lack of required frontage on public road for Units 1 through 8. Frontage is proposed via a proposed private drive, built to City standards;
 - c. Planning deviation from section 3.1.25.D to allow reduction of minimum required front parking setback of 20 ft., from the proposed access easement. A maximum of 18 feet is requested;
 - d. Planning deviation from section 3.1.25.D to allow reduction of minimum required interior side parking setback of 20 ft. for the following units as shared access is proposed between parking lots;
 - Unit 1: minimum 14 ft. along West, 0 ft. along South
 - e. Planning deviation from standards of Sec. 5.12 for up to 5% reduction in minimum required parking(to be established by staff after reviewing the calculations provided) for each unit within the development subject to the individual users providing satisfactory justification for Planning Commission's approval of the parking reduction at the time of respective site plan approval;
 - f. Planning deviation from the requirement in section 4.02.B Article IV, Appendix C-Subdivision ordinance of City Code of Ordinances that side lot lines be perpendicular or radial to the road, for the lines between Units 6 and 7, Units 4 and 5, and Units 1 and 2, only;
 - g. Planning deviation to allow proposing the minimum required Open Space for each Unit as Common element spread within the development boundaries as shown in the Open Space Plan, provided the applicant restores the wetland/woodland on the southerly portion of the site pursuant to a plan meeting City ordinance requirements is submitted and approved at the time of Wetland permit/preliminary site plan approval, and provides the pedestrian walkway through the open space as proposed. (A minimum of 153 of total site area designed as permanently landscaped open areas and pedestrian plazas is required per section 3.27. I .F.);

- h. Planning deviation from Section 5.7.3.K. to allow exceeding the maximum spillover of 1 foot candle along interior side property lines provided the applicant submits a photometric plan that demonstrates that the average to minimum light level ratio is kept to the maximum allowable 4: 1;
- i. Planning deviation to allow exceeding the maximum spillover of 1 foot candle and approvable increase of the average to minimum light level ration from 4: 1 within the Adell Drive pavement areas as listed in Section 5.7 .3.K. along access easements along Adell Drive, at the time of or Preliminary Site Plan review for the individual units.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

In the matter of the request of SkyGroup Investments, LLC, for the iFly Novi JSP 18-49, motion to approve the Stormwater Management Plan based on and subject to the findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan. This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

2. UNLISTED USE DETERMINATION FOR SUPERIOR AMBULANCE AS 24-HOUR PRIVATE EMERGENCY MEDICAL SERVICES

Consideration of the request of Superior Ambulance for an Unlisted Use Determination under Section 4.87 of the Zoning Ordinance. The applicant is requesting a determination on the appropriateness of Superior Ambulance, 24-hour private emergency medical services as a Special Land Use in the I-1, Light Industrial District.

In the matter of Unlisted Use Determination, motion to recommend approval to City Council to allow Superior Ambulance, a 24-hour private emergency medical service as the described unlisted use, as an appropriate use subject to Special Land Use Conditions in I-1, Light Industrial District based on the following motion:

- a. Superior Ambulance is not expressly authorized or contemplated in City of Novi Zoning Ordinance as a as a principal permitted use or a principal permitted use subject to special conditions;
- b. The proposed use is an appropriate use in the I-1 District;
- c. Additional screening from abutting residential district may be required at the time of Special Land Use Consideration.

This motion is made because the plan is otherwise in compliance with Article 4, Section 4.87 the Zoning Ordinance and all other applicable provisions of the Ordinance. *Motion carried 6-0.*

3. APPROVAL OF THE SEPTEMBER 12, 2018 PLANNING COMMISSION MINUTES

Motion to approve the September 12, 2018 Planning Commission Meeting Minutes. *Motion carried 6-0.*

4. APPROVAL OF THE SEPTEMBER 24, 2018 PLANNING COMMISSION MINUTES

Motion to approve the September 24, 2018 Planning Commission Meeting Minutes.

Motion carried 6-0.

5. **APPROVAL OF THE OCTOBER 3, 2018 PLANNING COMMISSION MINUTES**

Motion to approve the October 3, 2018 Planning Commission Meeting Minutes.

Motion carried 6-0.

ADJOURNMENT

The meeting was adjourned at 7:47 PM.

**Actual language of the motions subject to review.*