



COMMUNITY DEVELOPMENT DEPARTMENT

45175 Ten Mile Road
Novi, MI 48375
(248) 347-0415 Phone
(248) 735-5600 Facsimile
www.cityofnovi.org

ZONING BOARD OF APPEALS STAFF REPORT

FOR: City of Novi Zoning Board of Appeals

ZONING BOARD APPEALS DATE: May 8, 2018

REGARDING: 42900 Ten Mile Road, Parcel # 50-22-23-376-006 (PZ18-0014)

BY: Larry Butler, Deputy Director Community Development

I. GENERAL INFORMATION:

Applicant

Steven Agazzi

Variance Type

Dimensional Variance

Property Characteristics

Zoning District:	General Industrial (I-2)
Location:	East of Novi Road and North of Ten Mile Road
Parcel #:	50-22-23-376-006

Request

The applicant is requesting variances from the City of Novi Zoning Code of Ordinance Section 3.1.19.D. for reduction of minimum front yard setback for building (100 feet required, 22 feet existing non-conforming and 18 feet proposed) and for reduction of minimum side yard setback for building (50 feet required, 20 feet existing non-conforming and 12 feet proposed). Section 7.1.4.A to allow the proposed enlargement of the existing non-conforming structure by increasing its nonconformity. This property is zoned General Industrial (I-2).

II. STAFF COMMENTS:

III. RECOMMENDATION:

The Zoning Board of Appeals may take one of the following actions:

1. I move that we **grant** the variance in Case No. **PZ18-0014**, sought by _____, for _____ because Petitioner has shown practical difficulty requiring _____.
- (a) Without the variance Petitioner will be unreasonably prevented or limited with respect to use of the property because _____.
- (b) The property is unique because _____.

(c) Petitioner did not create the condition because_____.

(d) The relief granted will not unreasonably interfere with adjacent or surrounding properties because_____.

(e) The relief if consistent with the spirit and intent of the ordinance because_____.

(f) The variance granted is subject to:

1. _____.
2. _____.
3. _____.
4. _____.

2. I move that we **deny** the variance in Case No. **PZ18-0014**, sought by _____, for _____ because Petitioner has not shown practical difficulty requiring _____.

(a) The circumstances and features of the property including _____ are not unique because they exist generally throughout the City.

(b) The circumstances and features of the property relating to the variance request are self-created because_____.

(c) The failure to grant relief will result in mere inconvenience or inability to attain higher economic or financial return based on Petitioners statements that _____.

(d) The variance would result in interference with the adjacent and surrounding properties by_____.

(e) Granting the variance would be inconsistent with the spirit and intent of the ordinance to_____.

Should you have any further questions with regards to the matter please feel free to contact me at (248) 347-0417.

Larry Butler
Deputy Director Community Development
City of Novi



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ZONING BOARD OF APPEALS APPLICATION

APPLICATION MUST BE FILLED OUT COMPLETELY

I. PROPERTY INFORMATION (Address of subject ZBA Case)				Application Fee: <u>\$300.00</u>	
PROJECT NAME / SUBDIVISION LUCARI INVESTMENTS: BUILDING & SITE IMPROVEMENTS (JSP18-03)				Meeting Date: <u>May 8th, 2018</u>	
ADDRESS 42900 10 MILE ROAD		LOT/SIUTE/SPACE # N / A		ZBA Case #: <u>PZ 18 - 0014</u>	
SIDWELL # 50-22-23-376-006		May be obtain from Assessing Department (248) 347-0485			
CROSS ROADS OF PROPERTY NORTH SIDE OF 10 MILE RD., EAST OF NOVI RD.					
IS THE PROPERTY WITHIN A HOMEOWNER'S ASSOCIATION JURISDICTION? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO			REQUEST IS FOR: <input type="checkbox"/> RESIDENTIAL <input checked="" type="checkbox"/> COMMERCIAL <input type="checkbox"/> VACANT PROPERTY <input type="checkbox"/> SIGNAGE		
DOES YOUR APPEAL RESULT FROM A NOTICE OF VIOLATION OR CITATION ISSUED? <input type="checkbox"/> YES <input checked="" type="checkbox"/> NO					
II. APPLICANT INFORMATION					
A. APPLICANT		EMAIL ADDRESS SAGAZZI@COMCAST.NET		CELL PHONE NO. 810 - 560 - 5850	
NAME STEVEN AGAZZI				TELEPHONE NO.	
ORGANIZATION/COMPANY AGAZZI DEVELOPMENT & MANAGEMENT, LLC				FAX NO. 248 - 773 - 7404	
ADDRESS P.O. BOX 531214		CITY LIVONIA		STATE MI	ZIP CODE 48153
B. PROPERTY OWNER <input type="checkbox"/> CHECK HERE IF APPLICANT IS ALSO THE PROPERTY OWNER					
Identify the person or organization that owns the subject property:		EMAIL ADDRESS SAGAZZI@COMCAST.NET		CELL PHONE NO. 810 - 560 - 5850	
NAME STEVEN AGAZZI				TELEPHONE NO.	
ORGANIZATION/COMPANY LUCARI INVESTMENTS, LLC				FAX NO. 248 - 773 - 7404	
ADDRESS P.O. BOX 531214		CITY LIVONIA		STATE MI	ZIP CODE 48153
III. ZONING INFORMATION					
A. ZONING DISTRICT					
<input type="checkbox"/> R-A <input type="checkbox"/> R-1 <input type="checkbox"/> R-2 <input type="checkbox"/> R-3 <input type="checkbox"/> R-4 <input type="checkbox"/> RM-1 <input type="checkbox"/> RM-2 <input type="checkbox"/> MH <input type="checkbox"/> I-1 <input checked="" type="checkbox"/> I-2 <input type="checkbox"/> RC <input type="checkbox"/> TC <input type="checkbox"/> TC-1 <input type="checkbox"/> OTHER _____					
B. VARIANCE REQUESTED					
INDICATE ORDINANCE SECTION (S) AND VARIANCE REQUESTED:					
1. Section <u>3.1.19.D</u>		Variance requested		<u>front bldg setback (100 ft required, 22 ft existing non-conforming and 18 ft proposed)</u>	
2. Section <u>3.1.19.D</u>		Variance requested		<u>side bldg setback (50 ft required, 20 ft existing non-conforming and 12 ft proposed)</u>	
3. Section <u>7.1.4.A</u>		Variance requested		<u>Enlarge existing building by increasing non-conformity</u>	
4. Section _____		Variance requested		_____	
IV. FEES AND DRAWINGS					
A. FEES					
<input type="checkbox"/> Single Family Residential (Existing) \$200 <input type="checkbox"/> (With Violation) \$250 <input type="checkbox"/> Single Family Residential (New) \$250 <input checked="" type="checkbox"/> Multiple/Commercial/Industrial \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> Signs \$300 <input type="checkbox"/> (With Violation) \$400 <input type="checkbox"/> House Moves \$300 <input type="checkbox"/> Special Meetings (At discretion of Board) \$600					
B. DRAWINGS 1-COPY & 1 DIGITAL COPY SUBMITTED AS A PDF					
<ul style="list-style-type: none"> • Dimensioned Drawings and Plans • Site/Plot Plan • Existing or proposed buildings or addition on the property • Number & location of all on-site parking, if applicable 			<ul style="list-style-type: none"> • Existing & proposed distance to adjacent property lines • Location of existing & proposed signs, if applicable • Floor plans & elevations • Any other information relevant to the Variance application 		



ZONING BOARD OF APPEALS APPLICATION

V. VARIANCE

A. VARIANCE (S) REQUESTED

DIMENSIONAL USE SIGN

There is a five-(5) hold period before work/action can be taken on variance approvals.

B. SIGN CASES (ONLY)

Your signature on this application indicates that you agree to install a **Mock-Up Sign ten-(10) days** before the schedule ZBA meeting. Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next schedule ZBA meeting, or cancelled. A mock-up sign is **NOT** to be actual sign. Upon approval, the mock-up sign must be removed within five-(5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five-(5) days of the meeting.

C. ORDINANCE

City of Novi Ordinance, Section 3107 – Miscellaneous

No order of the Board permitting the erection of a building shall be valid for a period longer than one-(1) year, unless a building permit for such erection or alteration is obtained within such period and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

No order of the Board permitting a use of a building or premises shall be valid for a period longer than one-hundred and eighty-(180) days unless such use is establish within such a period; provided, however, where such use permitted is dependent upon the erection or alteration or a building such order shall continue in force and effect if a building permit for such erection or alteration is obtained within one-(1) year and such erection or alteration is started and proceeds to completion in accordance with the terms of such permit.

D. APPEAL THE DETERMINATION OF THE BUILDING OFFICIAL

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official / Inspector or Ordinance made

CONSTRUCT NEW HOME/BUILDING ADDITION TO EXISTING HOME/BUILDING SIGNAGE
 ACCESSORY BUILDING USE OTHER _____

VI. APPLICANT & PROPERTY SIGNATURES

A. APPLICANT

Applicant Signature

4/27/18

Date

B. PROPERTY OWNER

If the applicant is not the owner, the property owner must read and sign below:

The undersigned affirms and acknowledges that he, she or they are the owner(s) of the property described in this application, and is/are aware of the contents of this application and related enclosures.

Property Owner Signature

4/27/18

Date

VII. FOR OFFICIAL USE ONLY

DECISION ON APPEAL:

GRANTED DENIED

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following and conditions:

Chairperson, Zoning Board of Appeals

Date



Community Development Department

45175 Ten Mile Road
Novi, MI 48375
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**REVIEW STANDARDS
DIMENSIONAL VARIANCE**

The Zoning Board of Appeals (ZBA) will review the application package and determine if the proposed Dimensional Variance meets the required standards for approval. In the space below, and on additional paper if necessary, explain how the proposed project meets each of the following standards. (Increased costs associated with complying with the Zoning Ordinance will not be considered a basis for granting a Dimensional Variance.)

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.
 Not Applicable Applicable If applicable, describe below:

* SEE ATTACHED SUPPLEMENT *

and/or

- b. **Environmental Conditions.** Exceptional topographic or environmental conditions or other extraordinary situations on the land, building or structure.
 Not Applicable Applicable If applicable, describe below:

and/or

- c. **Abutting Property.** The use or development of the property immediately adjacent to the subject property would prohibit the literal enforcement of the requirements of the Zoning Ordinance or would involve significant practical difficulties.
 Not Applicable Applicable If applicable, describe below:

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

* SEE ATTACHED SUPPLEMENT *

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

* SEE ATTACHED SUPPLEMENT *

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

* SEE ATTACHED SUPPLEMENT *

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

* SEE ATTACHED SUPPLEMENT *



Dykema Gossett PLLC
39577 Woodward Avenue
Suite 300
Bloomfield Hills, MI 48304
WWW.DYKEMA.COM
Tel: (248) 203-0700
Fax: (248) 203-0763
Alan M. Greene
Direct Dial: (248) 203-0757
Direct Fax: (855) 236-1206
Email: AGreene@dykema.com

April 27, 2018

Via Hand Delivery

Community Development Department
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Re: Supplement Explanation In Support of Dimensional Variances for Building Addition And Site Renovations (42900 Ten Mile Road – Agazzi Development)

Dear Sir/Madam:

This Supplement is submitted in support of the dimensional (side yard and front yard setback) variances requested by Agazzi Development & Management, LLC, for its facility located at 42900 Ten Mile Road, “Agazzi”. Agazzi is a general contracting business that specializes in masonry and concrete construction. Agazzi’s affiliate, Lucari Investments, LLC, purchased the property at issue in 2014. The property consists of a shop/warehouse building with an attached front office portion. Agazzi uses the shop area for equipment repair and maintenance and the front office for its business operations, including for its business estimator, project manager, business sales, etc. Although the property is zoned I-2, it has an unusual bowling alley shape, being only 150’ wide, which preclude its use for most of the I-2 uses. Indeed, the structure is already non-conforming with respect to building setbacks. The office building is old, unattractive and there is no landscaping whatsoever.

The Applicant seeks to demolish the front office portion of the facility and construct a new slightly larger office (940 square feet larger than currently existing) to accommodate its business needs. The request is for a variance to allow a side-yard setback to the east (abutting a developed I-2 property) of 12’-0”, from the current existing non-conforming setback of 20’-0”. This would place the new office in the same setback line as the larger shop area behind it. The front yard setback variance requested is 18’-0” from the current existing non-conforming setback of 22’-0”. But this is in essence approximately the same setback line as the roof overhang of the current existing office. As a result, these variances will have no additional adverse impact whatsoever on adjacent properties. As shown on the site plan, there is no change in the front entrance location, the access drives, parking area, or vehicular site circulation.



On the other hand, the proposal will result in substantial improvements to the existing facility, particularly with respect to visible aesthetics along Ten Mile Road and will help continue the trend of improvements and modernization of this business corridor. The improvements include---replacement of an aging and unattractive office building, with a brand new brick and stone facade; new landscaping meeting current City ordinances; foundation plantings that continue the entire length of the East side of the shop area; and a new masonry screen wall with decorative piers integrated within the landscaping. More specific responses to the standards for a variance as required in the City's variance application are set forth below.

Standard #1. Circumstances or Physical Conditions.

Explain the circumstances or physical conditions that apply to the property that do not apply generally to other properties in the same zoning district or in the general vicinity. Circumstances or physical conditions may include:

- a. **Shape of Lot.** Exceptional narrowness, shallowness or shape of a specific property in existence on the effective date of the Zoning Ordinance or amendment.

Although the property is zoned I-2, it is extremely narrow and deep, being only 150' wide along the road frontage, which would exclude virtually all heavy industrial and manufacturing uses permitted as of right in the I-2 district, which today requires 50' side-yard setbacks. It is a thin slice of property in a transition zone between I-2 property to the east and I-1 property to the west. In fact, the proposal involves only a small (940 square foot) expansion of the office facility and improvement of the office building and site landscaping. The expansion simply places the office area in the same setback line as the shop behind the office and places the front of the office in line with the existing roof overhang.

Standard #2. Not Self-Created.

Describe the immediate practical difficulty causing the need for the Dimensional Variance, that the need for the requested variance is not the result of actions of the property owner or previous property owners (i.e., is not self-created).

The Applicant purchased the property in 2014 and simply seeks to modernize the offices, improve the materials used and aesthetics of the front office building, while adding enough square footage for two additional necessary office spaces and improve the landscaping and buffering. The property dimensions were created and buildings constructed many years ago and were conforming when constructed. We have no knowledge of the history of zoning or how the zoning requirements have changed since the property was developed, but those changes were not created by the Applicant or to Applicant's knowledge, its predecessors in interest.

Standard #3. Strict Compliance.

Explain how the Dimensional Variance in strict compliance with regulations governing area, setback, frontage, height, bulk, density or other dimensional requirements will unreasonably prevent the property owner from using the property for a permitted purpose, or will render conformity with those regulations unnecessarily burdensome.

The existing shop area (the largest portion of the facility) is already a non-conforming structure due to the extreme narrowness of the property and the extensive setbacks for general uses in the I-2 district, which are intended to buffer large-scale manufacturing, assembling and fabrication uses from other properties. (See Zoning Ordinance Section 3.1.19.) Those uses are not applicable here, nor can they ever be based on the shape, size and configuration of the property. Applicant needs more office space to successfully operate its family business out of this location and projects this small office expansion will accommodate its needs for many years into the future. Conformity with the set-backs is unnecessarily burdensome in that it would be impossible to make the changes requested that are necessary for the success of the business and allow for modern and sufficient office space to improve a building constructed at least a generation ago.

Standard #4. Minimum Variance Necessary.

Explain how the Dimensional Variance requested is the minimum variance necessary to do substantial justice to the applicant as well as to other property owners in the district.

The variance request allows the minimum expansion needed to operate the business. More important, the size and location of the expansion was dictated by site conditions and is the most logical. The office space is simply expanded a few feet to the east and west to be in the same building setback line as the larger shop area behind it, and the South elevation is expanded a few feet to be in line with the roof overhang of the existing office area which will be demolished.

Standard #5. Adverse Impact on Surrounding Area.

Explain how the Dimensional Variance will not cause an adverse impact on surrounding property, property values, or the use and enjoyment of property in the neighborhood or zoning district.

There will be no adverse impact to neighboring properties. As stated above, the new office area (which has no impacts in terms of noise, dust, odor or related impacts) will be no closer to adjacent properties than the existing shop area. The property to the east, the side as to which the variance is requested, is zoned I-2 and is developed with a massive facility presumably used for I-2 uses. The variance requested here will have no impact whatsoever on the use or enjoyment of the neighboring properties.



Community Development Department
April 27, 2018
Page 4

We appreciate your consideration of this variance request. The Applicant believes its investment in this replacement of the office component of the facility at the front of the property will not only be an important benefit of its ongoing business operations, but will be a significant benefit to the City as well, particularly with the improvements to building aesthetics, landscaping and buffering along 10 Mile Road.

Sincerely,

DYKEMA GOSSETT PLLC

Alan M. Greene

PRELIMINARY SITE PLANS FOR 42900 TEN MILE ROAD BUILDING ADDITION

LEGAL DESCRIPTION (AS PROVIDED)

(Per ALTA survey done by: Basney & Smith, Inc. - Engineering & Surveying, Job No.: 14-5-05, Dated: 05/16/14)

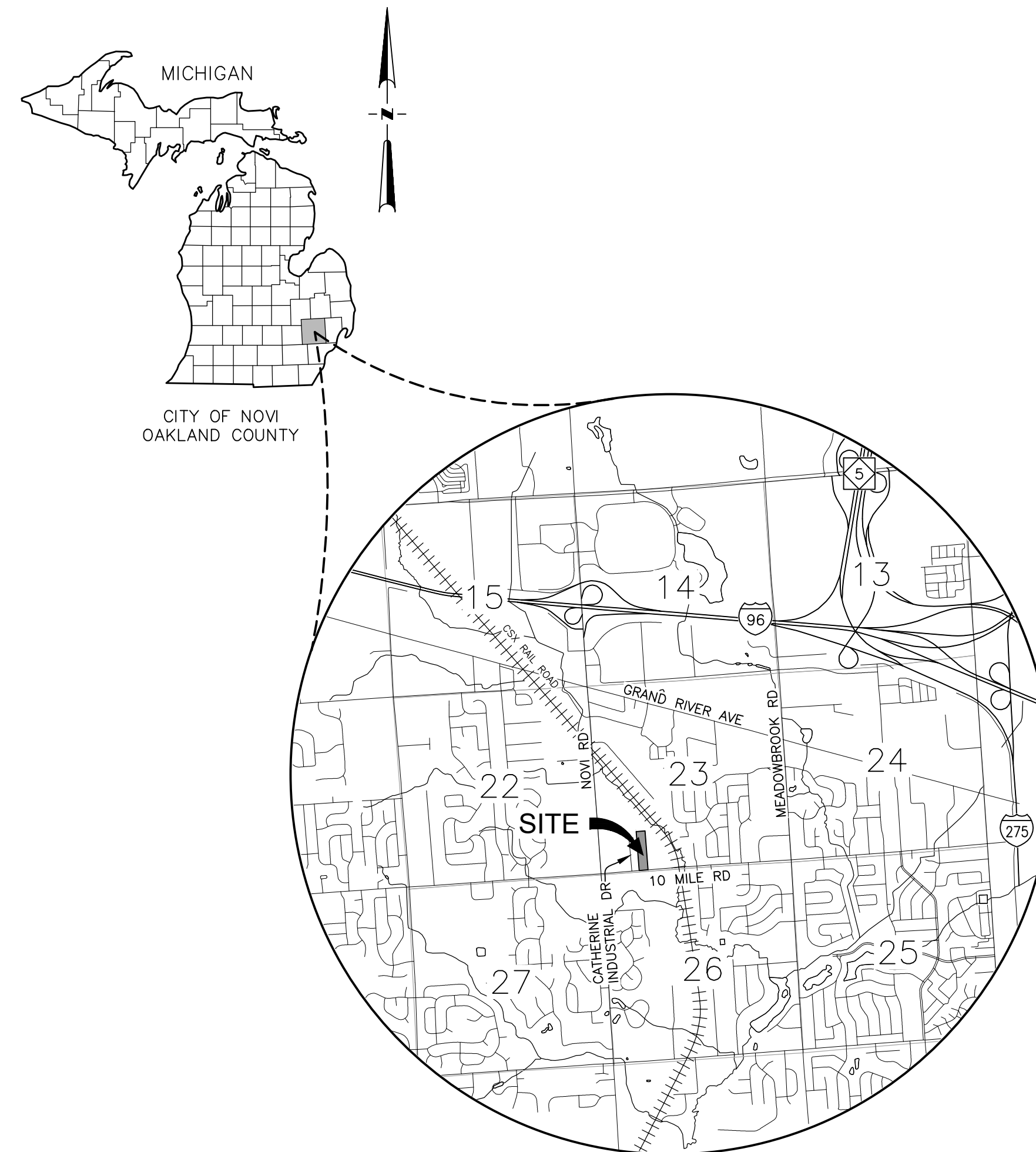
Parcel Tax Number: 50-22-23-376-006

Commencing at the Southwest corner of the East 1/2 of the Southwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, running thence North 1 degree East along the West line of said East 1/2 of said Southwest 1/4 a distance of 871.20 feet; thence South 89 degrees 37 minutes 40 seconds East 150.00 feet; thence South 1 degree West 871.20 feet to the South line of said Section 23; thence North 89 degrees 37 minutes 40 seconds West along said South line a distance of 150.00 feet to the Point of Beginning.

Except:

Part of the Southwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as beginning at a point distant North 89 degrees 37 minutes 40 seconds West 1184.33 feet and North 01 degrees 00 minutes 00 seconds East 870.20 feet from the South 1/4 corner of Section 23, Town 1 North, Range 8 East, and proceeding thence North 89 degrees 37 minutes 40 seconds West 150.00 feet; thence North 01 degrees 00 minutes 00 seconds east 1.00 foot; thence South 89 degrees 37 minutes 40 seconds East 150.00 feet; thence South 01 degrees 00 minutes 00 seconds West 1.00 foot to the Point of Beginning.

Containing 130,522 sq. ft./3.00 acres.



LOCATION MAP

BEARING REFERENCE

Bearings are based on Project Coordinate System:
Michigan State Plane Coordinate System, NAD83 (Conus) (Mol) (GRS80), South Zone 2113, International Feet, Ground (Lat: 42-28-01-7, Lon: 83-28-10-2, Elev: 892, Scale Factor: 1.0001092528).

DESIGN ENGINEER



MONUMENT ENGINEERING GROUP ASSOCIATES, INC

ENGINEERS - SURVEYORS - CONSULTANTS
LANDSCAPE ARCHITECTS - LAND PLANNERS

638 S GRAND AVE.,
FOWLERVILLE, MI 48836
ALLAN W PRUSS, PE, PS
PHONE: 517-223-3512

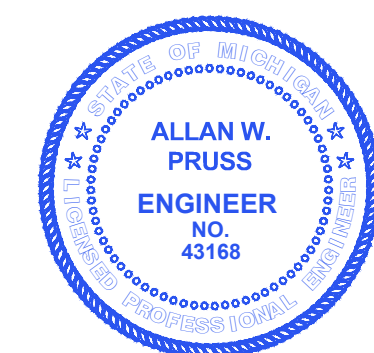
CLIENT

AGAZZI DEVELOPEMENT & MANAGEMENT, LLC
P.O. BOX 531214
LIVONIA, MI 48153
PH: (810) 560-5850
FAX: (248) 773-7404
sagazzi@comcast.net

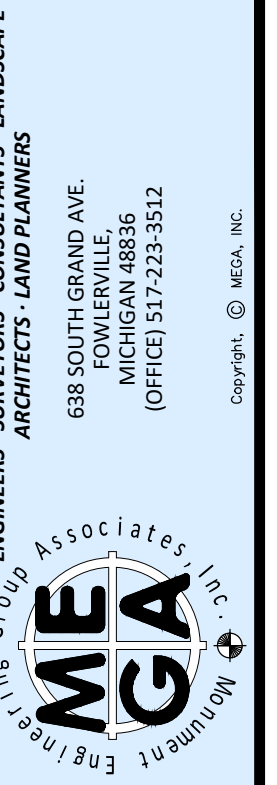
ARCHITECT

GAV & ASSOCIATES, INC.
24001 ORCHARD LAKE ROAD
SUITE 180a
FARMINGTON HILLS, MI 48336
248-985-9101

SHEET INDEX		PLAN SUBMITTALS	
	PRELIMINARY SITE PLAN SUBMITTAL		
	3/14/18		
INCLUDED SHEETS			
GENERAL			
SHEET	G-1.0	COVER	●
SURVEY			
SHEET	V-1.0	TOPOGRAPHIC SURVEY & DEMOLITION PLAN	●
SITE PLAN			
SHEET	C-1.0	DIMENSION & PAVING	●
VEHICLE CIRCULATION			
SHEET	C-2.0	EMERGENCY VEHICLE CIRCULATION	
SHEET	C-2.1	REFUGE VEHICLE CIRCULATION	
GRADING			
SHEET	C-7.0	GRADING, SOIL EROSION & SEDIMENTATION CONTROL PLAN	●
DETAILS			
SHEET	C-11.0	DETAILS	●
SPECIFICATIONS			
SHEET	C-12.0	SPECIFICATIONS	●
CITY OF NOVI, OAKLAND COUNTY STANDARD DETAILS			



Allan W. Pruss



CLIENT :
STEVEN AGAZI
AGAZZI DEVELOPEMENT &
MANAGEMENT, LLC
P.O. BOX 531214
LIVONIA, MI 48153
(810) 560-5850

COVER
42900 TEN MILE ROAD BUILDING ADDITION
PART OF SW 1/4, SEC. 23, T1N-R8E
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

DATE	REVISIONS
3/14/2018	PRELIMINARY SITE PLAN SUBMITTAL

CONT. INT.: 1 FOOT
FIELD : SS, DF, TG
V. SCALE : N/A

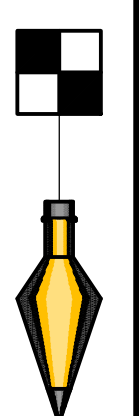
SCALE: N/A

JOB#: 17-094

DRWG. by :DC, DD
CHECK : AP
DATE : 9/11/2017
17-094_G-1.0_Cover
SHEET :

G-10

DRAFT



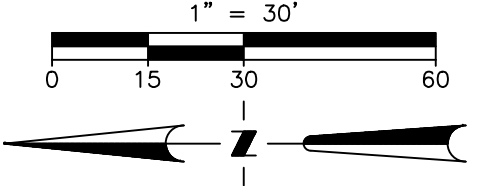
NOT FOR CONSTRUCTION

EXISTING LEGEND

- DECIDUOUS TREE, CONIFEROUS TREE, SHRUB TREE LINE/ CANOPY
- DITCH/ DRAINING COURSE
- UG TELE, MH, TELE PED, CABLE PED
- UG FIBER, PED, LINE MARKER, VAULT
- UG ELEC, MH, TRANSFORMER, AC UNIT, METER
- OH ELEC, UTIL POLE, GUY WIRE
- GROUND LIGHT, POLE, POLE W/ ARM LT
- LIGHT MH, LT CTRL BOX, PH, BOOTH, PARK, METER
- ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
- UG GAS, MH, VALVE, LINE MARKER
- GAS WELL, METER, VENT
- WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
- WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
- IRRIGATION CONTROL VALVE, SPRINKLER HEAD
- STORM SEWER, MH, CB, INLET, YARD DRAIN
- SANITARY SEWER, MH, CLEAN OUT
- MISC. MANHOLE, HAND HOLE, HAND BOX
- SIGN, FLAG POLE, GUARD POST, ROCK
- SECTION LINE, SECTION CORNER
- FOUND IRON ROD (FIR), FD MON, FD PK
- SET IRON ROD (SIR), SET PK, MAG NAIL

- SPOT ELEVATION
- CONTOUR
- FENCE
- GUARD RAIL
- SOIL BORING
- EX. ASPHALT
- EX. CONCRETE
- EX. GRAVEL
- REGULAR SPACES
- BARRIER FREE SPACES

**42900 TEN MILE ROAD
TOPOGRAPHIC SURVEY &
DEMOLITION PLAN**



STRUCTURE SCHEDULE

EX. STORM SEWER			EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES	STRUCTURE	RIM ELEV.	PIPES
(10113) CBB	891.68	12" W IE= 889.81 12" E IE= 889.74	(10284) SAN	894.70	15" W IE= 877.43 15" E IE= 890.43 10" N IE= 878.25
(10285) CBR	894.68	12" NW IE= 890.51 12" E IE= 890.25 12" W IE= 890.41	(10287) SAN	898.96	15" W IE= 877.60 15" E IE= 877.57
(10406) CBS	890.25	4" N IE= 886.55	(10517) SAN	899.85	NOT INVENTORIED AT TIME OF SURVEY
(10512) CBR	898.39	4" S IE= 897.52			
(10516) CBS	898.79	12" N IE= 890.52 12" SE IE= 890.45			

BENCHMARKS

DATUM: NAVD88

BM A = REFERENCE CITY OF NOVI BENCHMARK NGS #2611 "X" ON SOUTH SOUTHEAST FLANGE BOLT OF FIRE HYDRANT, LOCATED 30 FEET SOUTH OF CENTERLINE OF 10 MILE ROAD & 215 FEET WEST OF INTERSECTION OF CATHERINE INDUSTRIAL DRIVE AND 10 MILE ROAD. ELEV = 899.94

BM B: BIG ARM ON HYDRANT, 33'± SOUTH OF CENTERLINE 10 MILE ROAD & 66'± WEST OF SUBJECT'S WEST PROPERTY LINE. ELEV = 897.15

BM C: UTILITY POLE, 940'± NORTH OF CENTERLINE 10 MILE ROAD & 2.6'± EAST OF SUBJECT'S EAST PROPERTY LINE. ELEV = 888.28

PARKING

There are no striped parking spaces on the subject property.

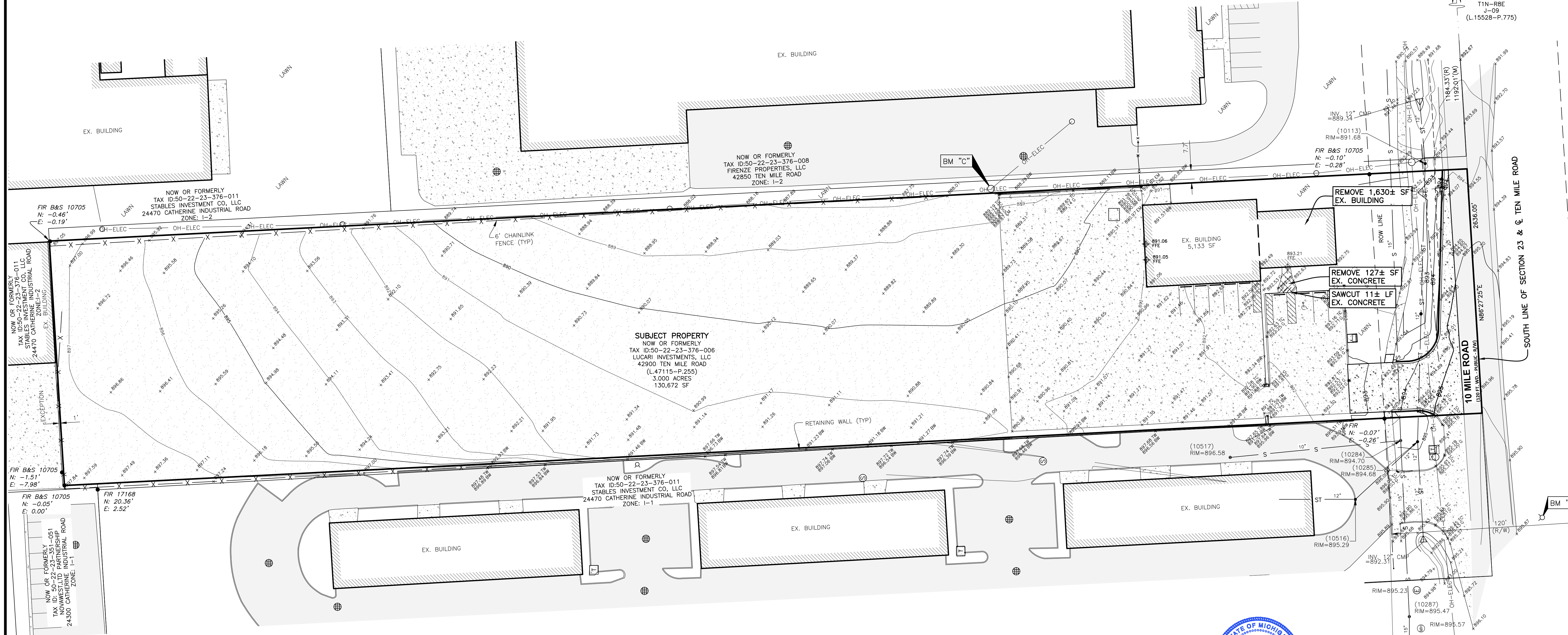
DEMOLITION LEGEND

- ABANDON IN PLACE
- ABANDON LINEAR FEATURE
- SAWCUT
- REMOVE LINEAR FEATURE
- REMOVE OBJECT
- REMOVE PAVEMENT

NOTES

Approach, parking lot and bike rack work to be completed prior to building addition work.

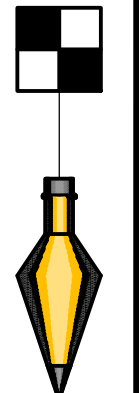
No populations of Phragmites australis were found on site.



Allan W. Pruss

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AGAZI DEVELOPMENT & MANAGEMENT, LLC
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LIVONIA, MI 48153
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TOPO SURVEY & DEMO PLAN
42900 TEN MILE ROAD BUILDING ADDITION
PART OF SW 1/4, SEC. 23, T1N-R8E
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS	DATE
PRELIMINARY SITE PLAN SUBMITTAL	3/14/2018

CONT. INT.: 1 FOOT
FIELD : SS, DF, TG
V. SCALE : N/A

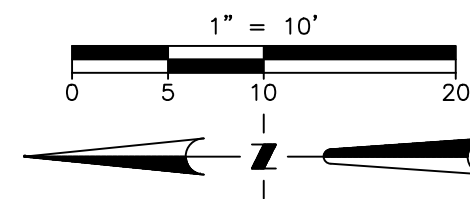
SCALE: 1" = 30'

JOB# : 17-094

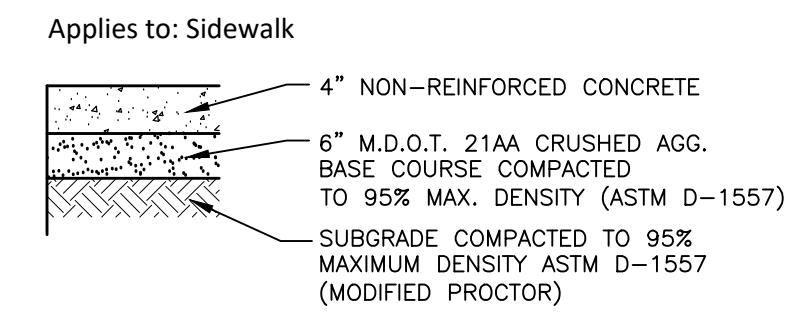
DRWG. by : DC, DD
CHECK : AP
DATE : 9/11/2017
17-094_V-1.0_Topo
SHEET :

V-10

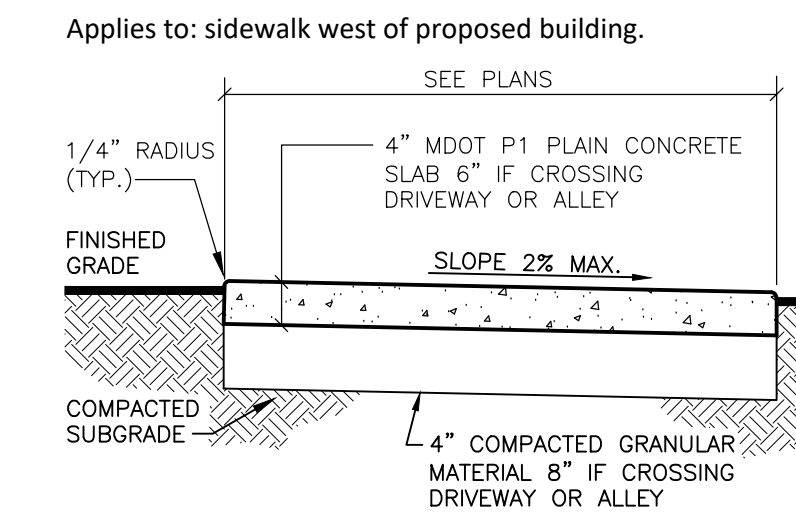
42900 TEN MILE ROAD
DIMENSION & PAVING PLAN



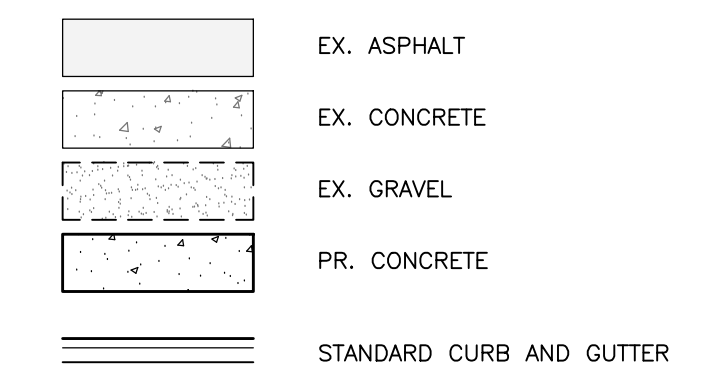
CONCRETE PAVEMENT SECTION



SIDEWALK SECTION



PAVEMENT LEGEND



ZONING INFORMATION

This zoning information is taken from City of Novi Zoning Ordinance
 Dated: January 8, 2015

Subject Parcel Zoning Classification: (I-2) (General Industrial)

Building Setbacks:

Front (South):	100'
Side (West):	50'
Side (East):	50'
Rear (North):	50'

Parking Setbacks:

Front (South):	Varies
Side (West):	20'
Side (East):	20'
Rear (North):	20'

Subject Parcel Area: 3.00 Acres

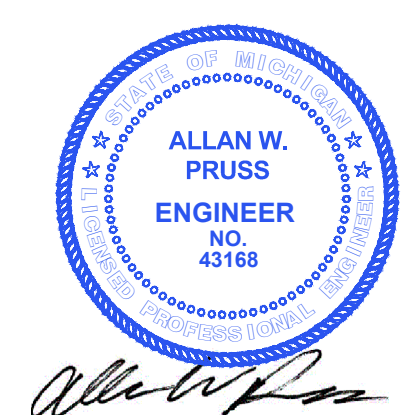
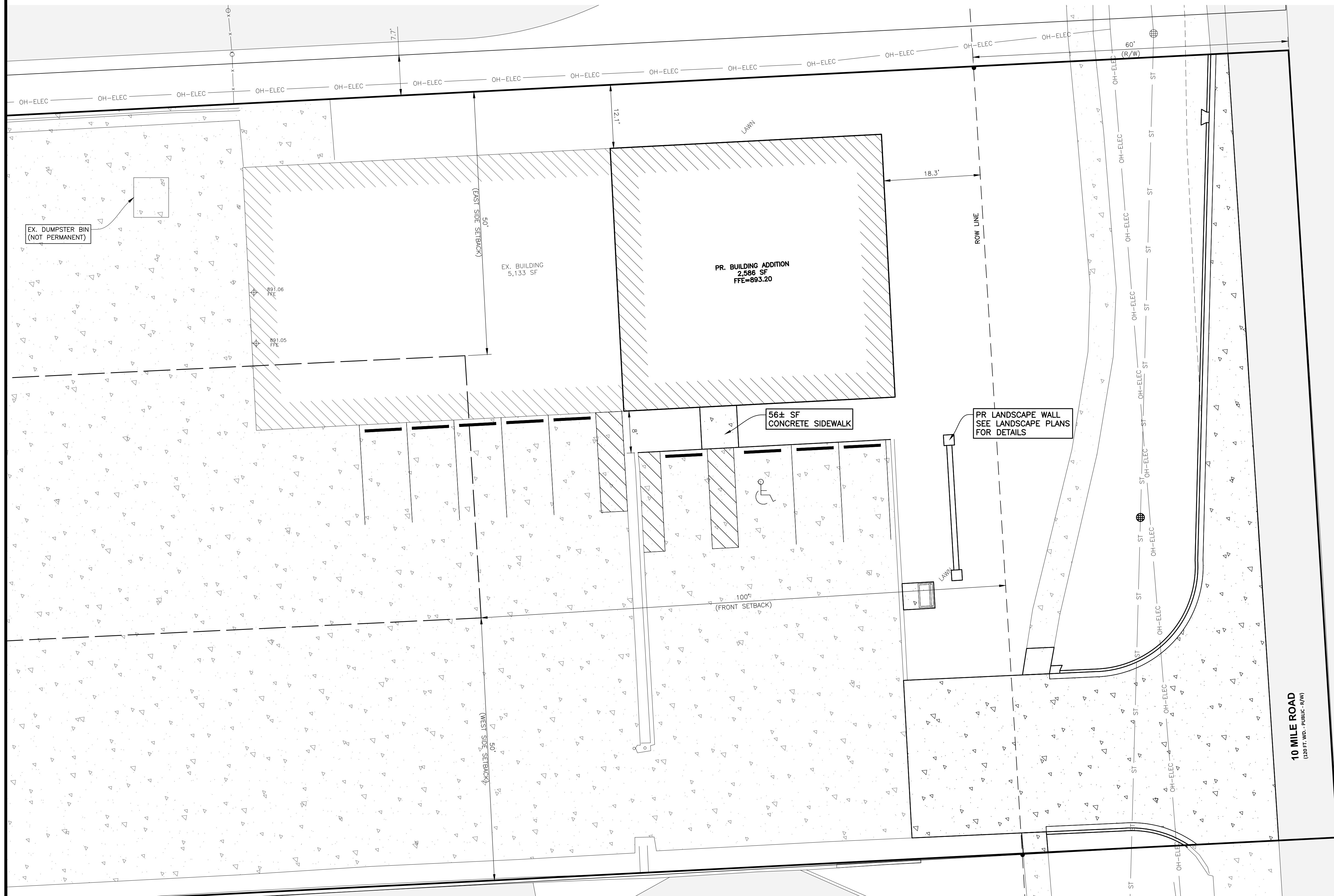
Proposed Building Addition:
 Pr. Building: 2,586 SF

Adjacent Zoning:

North:	I-2
South:	I-1
East:	I-2
West:	I-1
Northwest:	I-1

NOTES

Approach, parking lot and bike rack work to be completed prior to building addition work.



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DIMENSION PLAN
 42900 TEN MILE ROAD BUILDING ADDITION
 PART OF SW 1/4, SEC. 23, T1N-R8E
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS	DATE
PRELIMINARY SITE PLAN SUBMITTAL	3/14/2018

CONT. INT.: 1 FOOT
 FIELD : SS, DF, TG
 V. SCALE : N/A

SCALE: 1" = 10'

JOB#: 17-094

DRWG. by :DC, DD
 CHECK : AP
 DATE : 9/11/2017
 17-094-C-1.0_Dim
 SHEET :

C-10

BENCHMARKS

DATUM: NAVD88

BM A = REFERENCE CITY OF NOVI BENCHMARK NGS: #2611
 "X" ON SOUTH SOUTHEAST FLANGE BOLT OF FIRE HYDRANT, LOCATED
 30 FEET SOUTH OF CENTERLINE OF 10 MILE ROAD & 215 FEET WEST
 OF INTERSECTION OF CATHERINE INDUSTRIAL DRIVE AND 10 MILE
 ROAD.
 ELEV = 899.94

BM B:
 BIG ARM ON HYDRANT, 33± SOUTH OF CENTERLINE 10 MILE ROAD &
 66± WEST OF SUBJECT'S WEST PROPERTY LINE.
 ELEV = 897.15

BM C:
 UTILITY POLE, 940± NORTH OF CENTERLINE 10 MILE ROAD & 2.6±
 EAST OF SUBJECT'S EAST PROPERTY LINE.
 ELEV = 888.28

GRADING LEGEND

- 940.00 TP PROPOSED TOP OF PAVEMENT GRADE
- 940.00 SW PROPOSED SIDEWALK GRADE
- 940.00 FG PROPOSED FINISH GRADE
- 940.00 TC PROPOSED TOP CURB GRADE
- 939.50 GP PROPOSED GUTTER PAN GRADE
- 940.0 MA MATCH EXISTING
- 940.0 RIM PROPOSED RIM GRADE
- 940.00 ADJ-RIM ADJUSTED RIM GRADE
- 1400.0 X EXISTING ELEVATION
- 900 EXISTING CONTOUR
- 900 PROPOSED CONTOUR

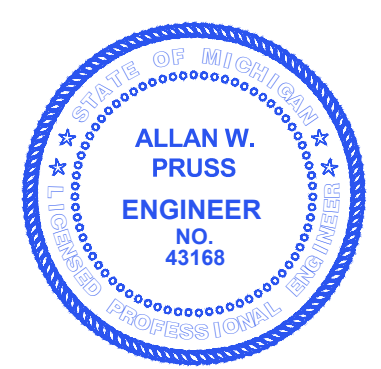
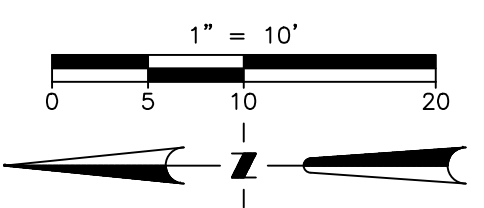
WARNING NOTE

1. Overhead electric lines are present in the area of proposed grading/delay.

NOTES

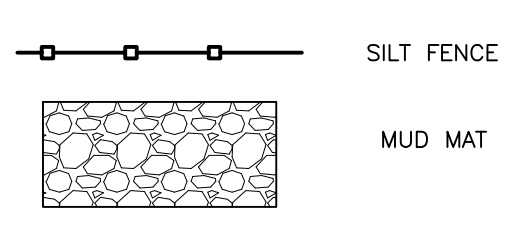
Approach, parking lot and bike rack work to be completed prior to building addition work.

42900 TEN MILE ROAD
GRADING, SOIL EROSION & SEDIMENTATION CONTROL PLAN



Allan W. Pruss

SESC LEGEND



EROSION CONTROL QUANTITIES

Disturbed Area: 0.219 Acres

QTY	UNIT	ITEM
305	LF	SILT FENCE
2	EA	INLET FILTER

MDMB SOIL EROSION & SEDIMENTATION CONTROL MEASURES

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET (MDMB)

EROSION CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
E6	MULCH		For use in areas subject to erosion surface flows or severe wind or on newly seeded areas.
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading obtained).

SEDIMENT CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
S51	SILT FENCE		Use adjacent to critical areas, to prevent sediment laden sheet flow from entering these areas.
S53	STABILIZED CONSTRUCTION ACCESS		Used at every point where construction traffic enters or leaves a construction site.
S55	SEDIMENT BASIN		At the outlet of disturbed areas and at the location of a permanent detention basin.
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

EROSION & SEDIMENT CONTROLS			
KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
ES.31	CHECK DAM		Used to reduce surface flow velocities within constructed and existing flow corridors.

XX TEMPORARY X PERMANENT

EROSION CONTROL STANDARDS

- All erosion and sediment control work shall conform to the standards and specifications of Oakland County Water Resources Commissioner's office.
- Daily inspection shall be made by the contractor for effectiveness of erosion and sedimentation control measures, and any necessary repairs shall be performed without delay.
- Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes and ponds.
- Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. Contractor shall remove temporary measures as soon as permanent stabilization of slopes, ditches and other changes has been accomplished.
- Staging of the work will be done by the contractor as directed in these places and as required to insure progressive stabilization of disturbed areas.
- Soil erosion control practices will be established in early stages of construction by the contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
- A certified storm water operator will be named on the MDEQ notice of coverage for NPDES as required.
- All disturbed areas are to be top soiled and seeded with the following min ratio: top-soil 3" in depth, grass seed 210 lbs per acre, fertilizer 150 lbs per acre, straw mulch 3" depth 1.5 to 2 tons per acre.

SOIL EROSION CONTROL MAINTENANCE SCHEDULE AND NOTES.

- Contractor must obtain a soil erosion and sedimentation control permit from Oakland County Water Resources Commissioner's office prior to commencing work.
- Earthwork shall be limited to the proposed site as shown on the plan.
- Contractor shall inspect the soil erosion/sedimentation control devices once a week and/or within 24 hours of a rainfall event which results in a storm water discharge from the site. Any damage to erosion control measures must be repaired immediately.
- All mud or debris tracked onto existing public roads from the site due to construction shall be promptly removed by the contractor.
- Silt fence maintenance shall include the removal of any built-up sediment when the sediment height accumulates to 1/3 to 1/2 of the height of the fence. The contractor is responsible to remove, replace, re-trench or re-backfill the siltation fence should it fail or be damaged during construction.
- Permanent stabilization must be completed within 30 days of final grading.
- Access roads must be maintained as necessary, to keep them effective, new layers of stone may be added as old layers become compacted. Steps should also be taken to repair the access roads if ruts or ponding water appears.
- Inlet filters should be inspected for buildup of silt and other debris. This is evident if geotextile/sod structure is causing flooding. Maintenance would consist of removing of sediments with a stiff bristle broom or square point shovel. If inlet filter is beyond this level of repair, it may be necessary to replace both the sod and geotextile filter.
- If soil erosion/sediment control measures are inadequate for the site. The proper erosion control authority must be notified.

SOIL EROSION AND SEDIMENTATION CONTROL SEQUENCE OF CONSTRUCTION

- The contractor shall install silt fence as shown on approved plans.
- Remove all topsoil and organic matter. Topsoil may be stored on site in designated area to be used for future planting and fill areas. Truck remaining top soil offsite and properly dispose.
- Construct buildings.
- Finish grade around buildings and stabilize as soon as possible. stabilize all disturbed areas with class a seed and mulch. In areas of slopes of 1:4 or steeper, contractor to seed and install pegged in place erosion control blankets.
- Repair/clean inlet filters as required.
- Install final landscaping per separate landscape plan.
- Stone around outlet standpipe structure shall be refreshed.
- Remove temporary soil erosion measures once seeded vegetation has established. Clean all affected storm structures as necessary

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GRADING & SESC PLAN
 42900 TEN MILE ROAD SITE IMPROVEMENTS
 PART OF SW 1/4, SEC. 23, T1N-R8E
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

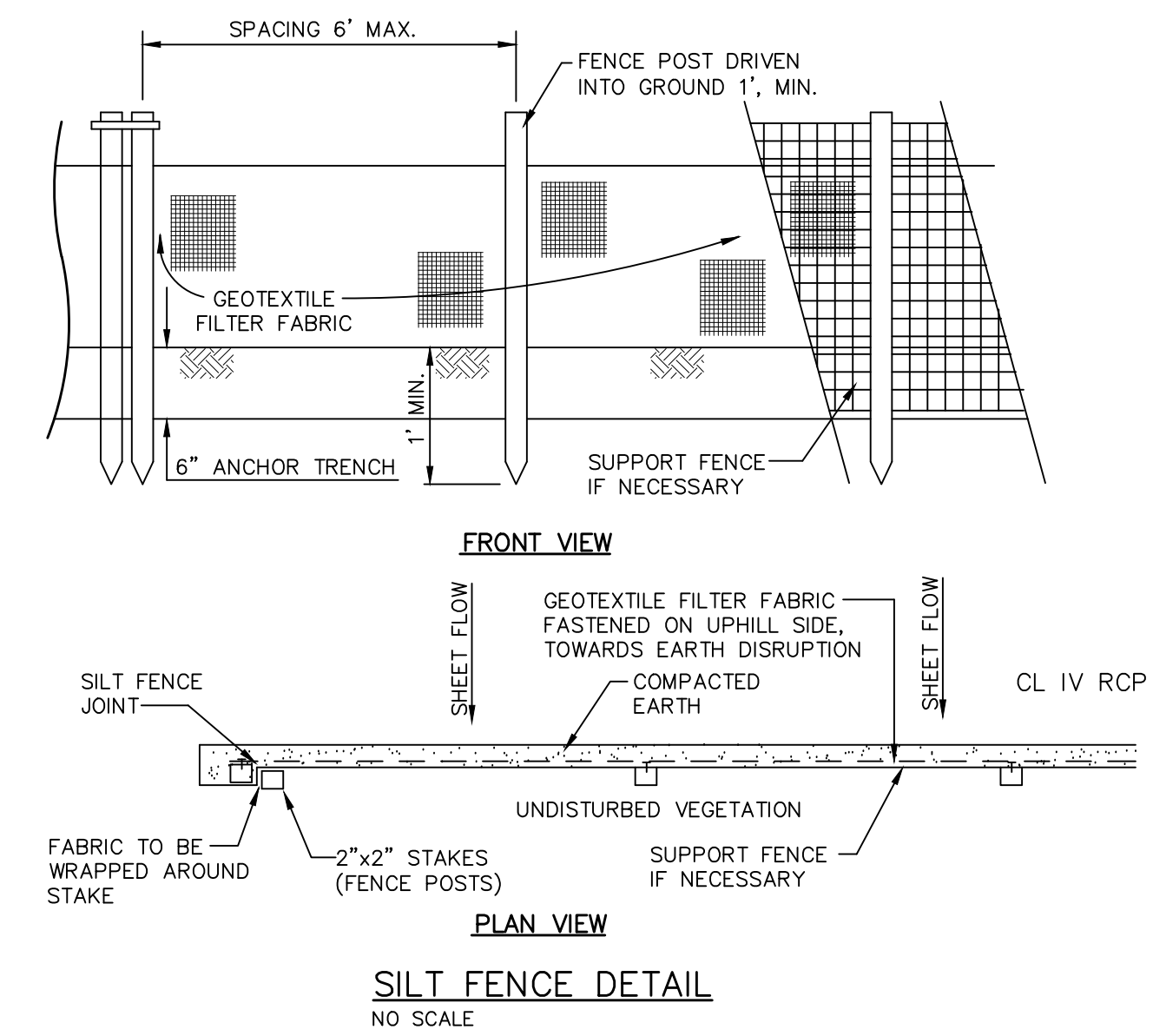
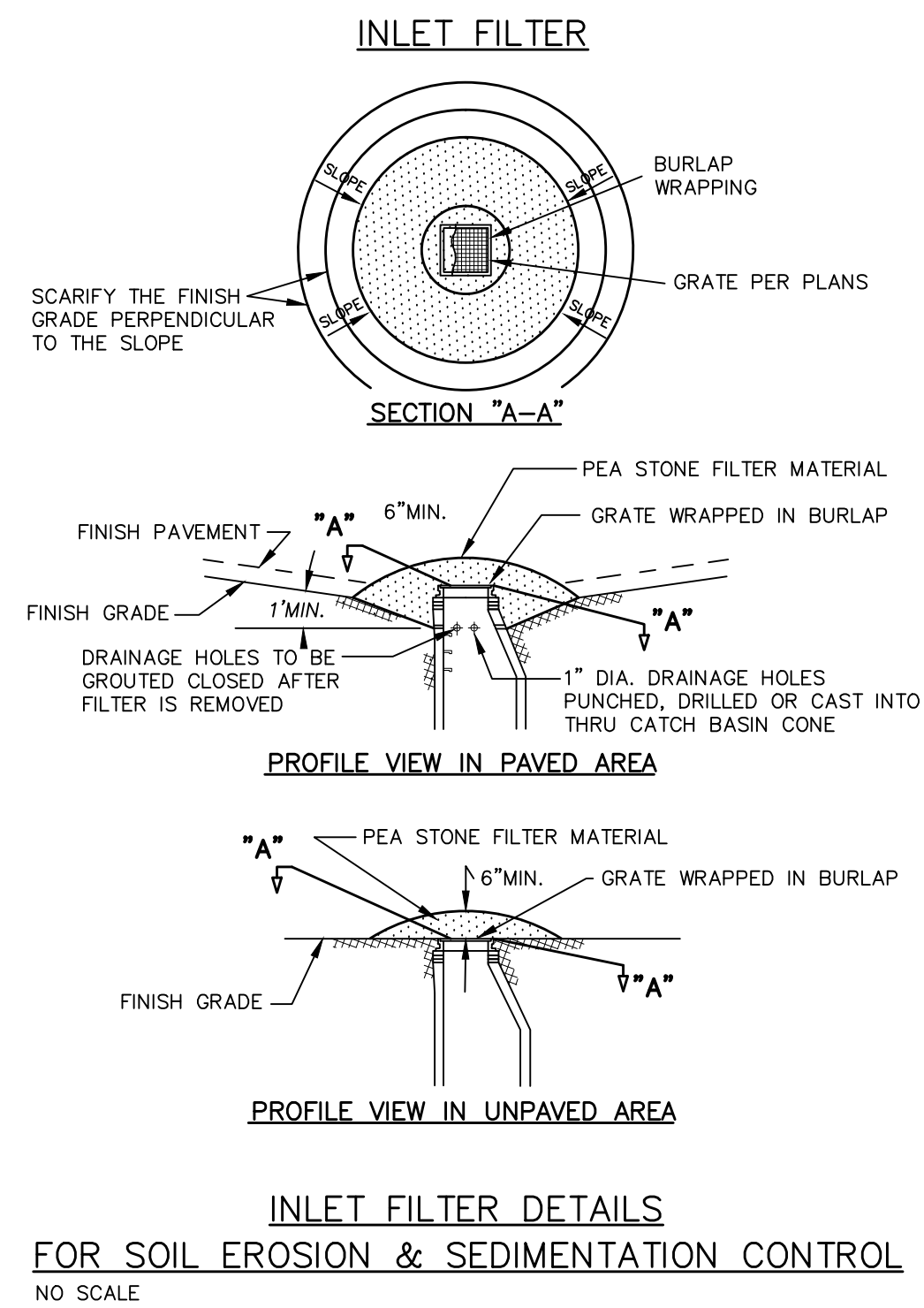
REVISIONS	DATE
PRELIMINARY SITE PLAN SUBMITTAL	9/25/2017
PRELIMINARY SITE PLAN SUBMITTAL	3/1/2018
REVISED PER REVIEW	3/14/2018

CONT. INT.: 1 FOOT
 FIELD : SS, DF, TG
 V. SCALE : N/A
SCALE: 1" = 10'
JOB#: 17-094
 DRWG. by :DC, DD
 CHECK : AP
 DATE : 9/11/2017
 17-094-C-7.0_Grade
 SHEET :

C-7.0

DRAFT

NOT FOR CONSTRUCTION



Allan W. Pruss



DRAFT

REVISIONS	DATE
PRELIMINARY SITE PLAN SUBMITTAL	3/14/2018

CONT. INT.: 1 FOOT
 FIELD : SS, DF, TG
 V. SCALE : N/A
 SCALE: N/A
 JOB# : 17-094
 DRWG. by :DC, DD
 CHECK : AP
 DATE : 9/11/2017
 17-094_C-11.0_Dets
 SHEET :

GENERAL NOTES

- 1. All construction and materials shall be in accordance with the current standards and specifications of the local municipality, the County D.P.W., the County Drain Commissioner, Detroit Metro Water & Sewerage Department, Michigan Department of Transportation, Michigan Department of Environmental Quality, the State of Michigan, and the County Road Commission where applicable.
2. Rules, regulations or laws of any controlling Governmental Agency shall govern, when they are more stringent than the requirements of these specifications.
3. Should the contractor encounter a conflict between these plans and specifications, either among themselves or with the requirements of any and all reviewing and permit-issuing agencies, he shall seek clarification in writing from the engineer before commencement of construction. Failure to do so shall be at sole expense to the contractor.
4. The Contractor shall provide all materials, labor and equipment to complete the type of work which is bid, in accordance with the plans, specifications, details and to the satisfaction of the Owner and Owner's Representative.
5. Contractor agrees that in accordance with generally accepted construction practices, contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property, that this requirement shall be made to apply continuously and not be limited to normal working hours, and contractor further agrees to defend, indemnify and hold design professional harmless from any and all liability, real or alleged, in connection with the performance work on this project, excepting liability arising from the sole negligence of the design professional.
6. Any work within street or highway right-of-ways shall be done in accordance with the requirements of the governmental agencies having jurisdiction and shall not begin until permits have been issued by these governing authorities.
7. All necessary permits, bonds, insurances, etc., shall be paid for by the Contractor.
8. All elevations shown are based on benchmarks provided by the local municipality unless otherwise noted on the drawings.
9. All items of work not specifically indicated as pay items on the drawings or in the bid package shall be considered incidental items.
10. The contractor shall be responsible for dust control during the periods of construction.
11. At least three (3) working days prior to any excavation, the Contractor shall contact MISS DIG (1-800-482-7171) to verify the location of any existing underground utilities and shall notify representatives of other utilities in the vicinity of the work.
12. All properties or facilities in the surrounding areas, public or private, destroyed or otherwise disturbed due to construction, shall be replaced and/or restored to the original condition by the Contractor, at no additional cost to the owner.
13. Manhole, catch basin, gate well rims and hydrant finish grade elevations must be as-built and approved by the Engineer before the Contractor's work is considered complete. Agency requirements for record drawings also apply.
14. Contractor shall remove and dispose of off-site any trees, brush, stumps, trash or other unwanted debris, at the Owner's direction, including sidewalk foundations and floors. The trimming or burying of trash, stumps or other debris will not be allowed.
15. All references to M.D.O.T. specifications refer to the most current Standard Specifications For Construction.
16. All Contractors bidding this project shall have visited the site to become thoroughly familiar with the site and the conditions in which they will be conducting their operations. Any variance found between the plans and existing conditions shall be reported immediately to the Design Engineer.
17. The locations and dimensions shown on the plans for existing underground facilities are in accordance with available information provided by the utility companies and governmental agencies without uncovering and measuring. The Design Engineer does not guarantee the accuracy of this information or that all existing underground facilities are shown.
18. The Owner may employ and pay for the services of an Engineer to provide on-site inspection and verify in the field that all backfill, pavements and concrete curb and gutter have been placed and compacted in accordance with the plans and specifications. If, in the opinion of the Engineer, the work does not meet the technical or design requirements stipulated for the work, the Contractor shall make all necessary adjustments as directed by the Engineer. The Contractor shall make no deviations from the contract documents without specific written approval of the Owner.
19. All excavated material removed from the sanitary sewer, storm sewer and water main trenches under, through and within 3 feet of the 45' zone of influence line of existing or proposed paving, sidewalk areas and perians, not suitable for backfill, shall be removed from these areas and disposed of.
20. The Contractor shall restore to their present conditions any pavement or public right-of-way that is disturbed by the operations of the Contractor. All restoration work in public rights-of-way shall be performed to the satisfaction of the government agencies having jurisdiction.
21. The Contractor shall provide all necessary barricades, signage and lights to protect the work and safely maintain traffic, in accordance with local requirements and the Manual of Uniform Traffic Control Devices (latest edition).
22. O.S.H.A. safety requirements - all work, work practice, and materials shall comply with all applicable local, state and federal safety, occupational, health and environmental regulations and also NFPA and ANSI codes as applicable. All work inside a confined space such as manholes or underground structures shall be coordinated with utility owner and all worker safety requirements strictly enforced. Lanes shall be the sole responsibility of the contractor.
23. It shall be the contractor's responsibility to arrange for or supply temporary water service, sanitary facilities and electricity.
24. Contractor shall provide for the continuous operation of existing facilities without interruption during construction unless specifically authorized otherwise by the respective authority.
25. The contractor shall note existing underground utilities in the project plans. Backfill trenches for existing utilities shall be examined critically. Any trench which, in the opinion of the soils engineer are found to be soft, unstable, or unsuitable material shall be completely excavated and backfilled with suitable material. Sand backfill shall be used under pavement or within the 1 on 1 land influence of pavement or structures.

SECTION 02015 - EROSION CONTROL STANDARDS

- 1. All erosion and sediment control work shall conform to standards and specifications of the jurisdictional agency under Part 91 of Act 451 of 1994, as amended.
2. Under "Michigan's Permit-By-Rule For Construction Activities", promulgated under Act 245, Public Acts of 1929 as amended, an NPDES Storm Water Discharge Coverage permit is required for any construction activity that disturbs 1 acre or more of land. A certified storm water operator is required for the supervision and inspection of the soil erosion control measures at the construction site in accordance with the provisions of these rules.
3. Daily inspections shall be made by contractor while working to determine the effectiveness of erosion and sediment control measures. Any necessary repairs shall be performed without delay. All soil erosion control provisions shall be properly maintained during construction.

SECTION 02015 - EROSION CONTROL STANDARDS, CONTINUED

- 4. Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any on-site areas or in waterways. Waterways include both natural and man-made open ditches, streams, storm drains, lakes, and ponds.
5. Contractor shall apply temporary erosion and sedimentation control measures when required and as directed on these plans. Contractor shall remove all temporary measures as soon as permanent permanent stabilization of slopes, ditches, and other earth change areas have been completed.
6. Staging the work will be done by the contractor as directed in these plans and as required to ensure progressive stabilization of disturbed earth.
7. Soil erosion control practices will be established in early stages of construction by the Contractor. Sediment control practices will be applied as a perimeter defense against any transporting of silt off the site.
8. Dust shall be controlled by watering or by other approved means throughout all construction operations.
9. Permanent soil erosion control measures for slopes, channels, ditches or any disturbed land area shall be completed within 5 calendar days after final grading or the final earth change has been completed. When it is not possible to permanently stabilize a disturbed area after an earth change has been completed or where significant earth change has been completed or where significant earth change activity ceases, temporary soil erosion control measures shall be implemented within 5 calendar days. All temporary soil erosion control measures shall be maintained until permanent soil erosion control measures are implemented and established before a certificate of compliance is issued.
SECTION 02200 - GRADING AND EARTHWORK SPECIFICATIONS
1. Although a sub-surface investigation may have been made by the owner, the bidder and any sub-contractors shall make a personal investigation of site and existing surface and sub-surface conditions. The contractor is responsible to acquaint himself with conditions of the work area. The contractor is advised to determine the sub-surface soil conditions and ground water conditions to his own satisfaction prior to bidding. No modifications to the unit prices bid for any item will be made due to variable sub-surface conditions. Dewatering, if determined necessary by the contractor, shall be by open pits or deep wells will be incidental to the installation cost of the item.
2. The Contractor shall be responsible for having determined to his satisfaction prior to the submission of his bid the confirmation of the ground, the character and quality of the substrata, the types and quantities of materials to be encountered, the nature of the groundwater conditions, the prosecution of the work, the general and local conditions including recent climatic changes, the time of year in which construction will take place and all other matters which can in any way affect the work under this Contract.
3. Prior to commencing the excavation the Contractor shall submit a plan of his proposed operations and time schedule to the Owner & Owners Representative for their approval.
4. The Contractor shall consider, and his plan for excavation shall reflect, the equipment and methods to be employed in the excavation and what methods will be used when wet conditions are encountered requiring groundwater control or other moisture conditioning. The Contractor shall submit an outline of his earthwork methods which shall take into account the overall construction schedule. The prices established in the proposal for the work to be done shall reflect all costs pertaining to the work. No claims for extras based on substrata or groundwater table conditions or moisture conditioning will be allowed.
5. The Contractor shall keep informed and the Owner's Representative informed at all times as to a "fill surplus or shortage" situation. Shortage or surplus of suitable material at the conclusion of the grading and earthwork operation shall be the sole responsibility of the Contractor and he will be required to supply the deficiency or dispose of the surplus without additional cost to the Owner.
6. The Contractor shall remove vegetation, debris, unsatisfactory soil materials, obstructions, and other deleterious materials from ground surface prior to cut or fill operations.
7. Materials for fill or backfill required to grade the site and achieve design elevations shall be either on or off-site soils which are free of organic matter and debris. No topsoil shall be used as engineered fill.
8. No fill may be placed until the exposed surfaces have been approved by the Geotechnical Engineer. All fill materials shall be approved by the Geotechnical Engineer prior to placement.
9. If any unknown subsurface structures are encountered during construction, they shall be immediately brought to the attention of the Owner's representative and Design engineer prior to proceeding.
10. All fill material shall be placed and compacted at the optimum moisture content or as directed by the Geotechnical Engineer.
11. No frozen material shall be used as fill nor will any fill be placed on a frozen base.
12. No rock or similar material greater than 6" diameter shall be placed in the fill unless recommendations for such placement have been submitted by the Geotechnical Engineer in advance and approved by the Owner and Owner's Representative.
13. Compact fill material to at least the following percentage of Maximum Dry Density, as determined by ASTM D-1557 (Modified Proctor). No deviation from these compaction densities will be allowed unless specifically recommended by the Geotechnical Engineer and approved by the Owner and Owner's Representative.
TABLE: FILL AREAS, % OF MAXIMUM DRY DENSITY
- Fill under building (extending 5' beyond footings at a slope of 1 on 1) 95%
- Fill in the upper 18" under pavement or sidewalks 95%
- Fill placed under or behind retaining walls 95%
- All other fill 90%
14. All fill material shall be placed and compacted in lifts, that will not exceed the depth in which the compaction equipment can achieve the maximum density required for the entire depth of the material placed in the lift.
15. All areas where fill has been placed or the existing soils have been disturbed shall be subject to compaction testing by the Geotechnical Engineer and shall be to the satisfaction of the Geotechnical Engineer, Owner and Owner's Representative.
16. Fill material under pavements or structures shall be free of organic or deleterious materials which are suitable for supporting pavements and structures without adverse shrinking or swelling.
17. Fill material in berms and landscape areas shall be suitable to support growth of the landscaping materials (typical for the local climate) and as proposed by the Landscape Architect.
18. The Contractor is responsible for the removal and disposal of, in a legal manner, any trees, brush or debris that are within the designated cutting and filling areas to bring the site to proposed grades.
19. The Contractor shall stockpile excavated material only in designated areas as directed by the Owner or Owner's Representative.
20. During the performance of site grading operations, the subgrade shall be examined critically, and any areas discovered which, in the opinion of the Owner's Representative or Geotechnical Engineer, are soft and unstable, shall be excavated to such depths as may be necessary to insure satisfactory supporting properties as determined by the Geotechnical Engineer. These areas of excavation shall be backfilled immediately and shall be brought back to the elevation of the surrounding areas with approved fill material and in accordance with the earth fill construction procedure.

SECTION 02200 - GRADING AND EARTHWORK SPECIFICATIONS, CONTINUED

- 21. Newly graded areas shall be protected from the action of the elements. Any settlement, displacement or washing out that may occur prior to commencing the next phase of construction shall be repaired, and grades reestablished to the required elevations and slopes.
22. The finished subgrade surface shall be shaped to indicated profiles and shall be reasonably smooth and free from irregular surface changes and shall be no more than 1 inch above or below the indicated subgrade elevations.
23. The grading Contractor shall backfill all parking lot planters and lawn areas to within 2 inches of the top adjacent curb grades. The top 4 inches minimum shall be topsoil, free from debris and stones larger than 1 inch in diameter.
24. The Contractor shall provide all necessary pumps, ditching, well point systems and other means for removing water from excavations, trenches, subgrades and other parts of the work. The Contractor shall continue de-watering operations until the water has been removed entirely. Upon completion of water removal the Contractor shall take appropriate action to dry the soils, regrade to proposed elevations and compact soils to the satisfaction of the Geotechnical Engineer and Owner's Representative.
25. The Contractor shall dispose of water in a safe and sanitary way to prevent flooding or injury to public or private property and shall obtain approval of the local governing authority before discharging run-off water to their system.
26. The Contractor shall provide a smooth transition between existing grades and new grades.

SECTION 02630/02641 - CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS

- 1. These Specifications shall govern the construction of all pavements, curb and gutter, sidewalks, service walks, driveway approaches, and loading dock areas, as indicated on the Drawings.
2. Reference specifications where applicable to work under this section are referred by abbreviation as follows:
A. American Association of State Highway and Transportation Officials (AASHTO).
B. American Concrete Institute (ACI)
C. Michigan Department of Transportation/Current Standard Specifications For Construction (M.D.O.T.)
D. American Society for Testing and Materials (ASTM)
The fine aggregate shall meet all requirements of Section B.02 of MDT Specification for No. 2NS Natural Sand.
The coarse aggregate shall meet all requirements of Section B.02 of M.D.O.T. Specifications For No. 6AA Coarse Aggregate.
3. The Contractor shall submit, to the Owner, two copies of materials certificates signed by Material Producer and Contractor. Certificates shall state that each material item meets specified requirements.
4. The Contractor shall submit, to the Geotechnical Engineer, job mix-formulas for each required cement-aggregate mixture. Mix designs shall be within allowable tolerances as specified for the particular application.
5. Concrete mix shall be air-entrained and proportioned to provide the following:
A. Compressive strength at 28 days: 3500 psi min., or as indicated on plans.
B. Total air content by volume: 5% to 8%.
C. Slump 3 inch maximum, or as indicated on plans.
6. The Contractor shall at his expense furnish samples of fresh concrete and provide safe and satisfactory facilities for obtaining the samples.
7. Construct concrete curbing only when ground temperature is above 35 degrees F. and base is dry.
8. All cement used in curb construction shall be Portland Cement, Type I or IA ASTM C-150.
9. Water used in concrete shall be clean, free from oil, acids, strong alkalis or vegetable matter and potable. If Municipal water is used in concrete, all necessary permits shall be obtained from the Municipal Water Department.
10. Air Entraining Admixture shall be in accordance with ASTM C-260.
11. All ready-mixed concrete suppliers must be approved by the Owner. Concrete shall be manufactured and delivered to the job site by a ready mixed concrete manufacturer thoroughly experienced in ready-mixed concrete. If requested by the Owner, submit a written description of proposed ready-mixed concrete Manufacturer, giving qualifications of Personnel, location of batching plant, list of Projects similar in scope of specified work, and other information as may be requested by the Owner.
12. The Contractor shall submit a Statement of Purchase for Ready-Mixed Concrete: Prior to actual delivery of concrete, submit to the Geotechnical Engineer four copies of Statement of Purchase, giving the dry weights of cement and saturated surface dry weights of fine and coarse aggregates and quantities, type and name of admixtures (if any) and of water per cu.yd., that will be used in the manufacture of the concrete. The Contractor shall also furnish evidence satisfactory to the Geotechnical Engineer that the materials to be used and proportions selected will produce concrete of the quality specified. Whatever strengths are obtained, the quantity of cement used shall not be less than the minimum specified.
13. Ready-Mixed Concrete Delivery Tickets: Submit one copy of each delivery ticket to the Geotechnical Engineer and Contractor in accordance with Section 16 of ASTM C94.
14. Ready-Mixed concrete shall be batched, mixed and transported in accordance with ASTM C94, and comply with ACI 304 "Recommended Practice for Measuring, Mixing, Transporting and Placing Concrete," except as otherwise specified herein.
15. Ready-mixed concrete shall be mixed and delivered to the point of discharge at the job by means of a ready mix concrete truck.
16. No water from the truck water system or elsewhere shall be added after the initial introduction of the mixing water for the batch. Under no circumstances shall the approved maximum water content be exceeded nor shall the slump exceed the maximum specified.
17. Discharge of the concrete shall be completed within 1-1/2 hours or before the drum has revolved 300 revolutions, whichever comes first, after the introduction of the mixing water to the cement and aggregates or the introduction of the cement to the aggregates.
18. In hot weather (air temperature 80-degrees F. and above) or under conditions contributing to quick stiffening of the concrete, the time shall be reduced to one hour.
19. Concrete delivered in cold weather (air temperature 45-degrees F. and lower) shall have a temperature not less than 60-degrees F. at the point of discharge at the job, and in compliance with ACI 306R "Cold Weather Concrete" concrete shall not be permitted when the air temperature is 35-degrees F. or lower.
20. Concrete delivered under hot weather conditions contributing to quick stiffening of concrete, or in air temperature of 80-degrees F. and over, shall have a temperature between 60- and 80-degrees F. at the point of discharge at the job, and in accordance with ACI 305R "Hot Weather Concreteing."
21. In no case shall the mixer or truck be flushed out onto the street pavement, in a catch basin or sewer manhole, or in any public right-of-way.
22. Reinforcement bars shall be per ASTM A615-84A, Grade 60 Deformed Billet - Steel Bars:
The Wire shall be black, annealed steel wire, not less than 16 gauge.
23. Bar supports shall conform to "Bar Support Specifications" contained in ACI "Manual of Standard Practice." Provide chairs, spacers and other devices suitable for proper spacing supporting and fastening reinforcing bars.
25. When forms are used and the curb radius is less than 200 feet, the curved alignment shall be provided for by either standard steel forms equipped with flexible lines or by flexible forms. The forms shall be of the full depth of the section. Curb and gutter forms shall be so constructed as to permit the inside of the forms to be securely fastened to the outside forms.
26. All new curb shall be placed only on a prepared subgrade, smooth and leveled to the grades established by the Engineer.

SECTION 02630/02641 - CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

- 27. Compact and cut-to-grade subgrade under forms so that forms when set will be uniformly supported for the entire length. Securely stake and brace or tie forms to prevent leakage of mortar. Bracing with earth will not be permitted.
28. Coat surfaces of forms to be in concrete with a light clear paraffin oil or parting compound which will not stain the concrete.
29. The interior surfaces of concrete retaining equipment shall be maintained free of hardened concrete, debris, water, snow, ice and other deleterious materials.
30. Curbing may be constructed either by use of forms or by a mechanical curb and gutter paver, provided the required finish, and cross-section, as shown on Drawings are obtained. Concrete shall be placed to provide one course monolithic structure without the use of mortar topping or sand-cement drier. Concrete shall be spaded or vibrated sufficiently to ensure satisfactory consolidation.
31. Provide reinforcement for concrete curb as shown on the Drawings. Reinforcement shall be kept clean and free from objectionable rust. Bends or kinks in reinforcing bars shall be corrected before placing. All reinforcement shall be accurately located in forms and securely held in place before and during concrete placing, by supports adequate to prevent displacement during the course of construction.
32. The concrete curb surface shall be struck off the required cross-section with a template. After the concrete curb has been floated to an even surface, the contraction joint shall be cut on the curb face with a broom with a 1/2 inch radius edging tool that will finish to a width of 2 inches. After the concrete has slightly set, a broom shall be brushed lightly across the surface parallel to forms so as to impart a rough finish.
33. Contraction joints shall be cut in Concrete Curbing at 10' intervals. The joint shall cut 1/4 inch wide by 1/3 the depth of the concrete curb section.
34. Isolation joints shall be placed in curbing at tangent points in curb returns at intersections, at both sides of structures located in the line and in runs of curb at intervals not exceeding 400 feet. Isolation joints shall be 1" thick pre-formed joint filler strips. The strips shall extend the full depth of the concrete curb section. Isolation joints shall be placed in curb at the end of each days pour and when abutting previously poured curb.
35. The curing compound shall be white membrane type and comply with ASTM C-309. It shall not allow a loss of moisture more than 0.055 gr/sq/cm when applied at 200 sq/ft/gal.
36. All contraction joints in concrete curb sections shall be sealed with either hot poured joint sealer or cold applied joint sealer.
37. Slightly underfill joint groove with joint sealer to prevent extrusion of the sealer. Remove excess joint sealer materials as soon after sealing as possible.
38. Freshly placed concrete shall be protected as required to maintain the temperature of the concrete at not less than 50 degrees F. nor more than 80 degrees F. and in a moist condition throughout the curing period of time necessary for the concrete to cure. Changes in temperature of the concrete during curing shall be as uniform as possible and shall not exceed 5 degrees F. in any one hour, nor 50 degrees F. in any 24 hour period.
39. Cold weather protection: When the temperature of the atmosphere is 40-degrees F. or above, and below the concrete shall be protected by heating, insulation covering or combination thereof as required to maintain the temperature of the concrete at or above 50-degrees F. and in a moist condition continuously for the concrete curing period. "Cold weather protection shall meet the requirements of ACI 306R "Cold Weather Concreteing".
40. Hot Weather Protection: When the temperature of the atmosphere is 90-degrees F. or above, or during other climatic conditions which will cause too rapid drying of the concrete, the concrete shall be protected by windbreaks, shading, fog spraying light colored moisture retaining covering, or a combination of thereof as required to maintain the temperature of the concrete below 80 degrees F. and in a moist condition continuously for the concrete curing period. "Hot weather protection shall meet the requirements of ACI 305R "Hot Weather Concreteing".
41. All forms, rails and stakes shall be removed within 24 hours after placing the curb.
42. After completion of concrete curbing in an area, remove all weather protection materials, rubbish and debris resulting from specified work, sweep concrete curbs clean, and seal joints.
43. All cement used in sidewalk construction shall be Portland Cement, Type I or IA ASTM C-150.
44. All new walks and concrete pavements shall be placed only on a prepared subgrade, smoothed and leveled to the grades established by the Engineer. In clay soils the subgrade shall be excavated 2-inches below the sidewalk base and filled with approved sand meeting MDT Class II, Sand Designation.
45. Construct concrete surface course only when ground temperature is above 35 degrees F. and base is dry.
46. Sidewalks shall pitch toward the street or away from buildings with a required cross slope of 1/4-inch per foot of width. In some extreme cases, as determined by the Engineer, the cross-slope may be increased but in no case shall it be less than 3/16-inch per foot of width.
47. Prior to placing the concrete, all debris, stones, dirt, etc., shall be removed from the subgrade. The subgrade shall be moistened with water in such a manner as to thoroughly wet the material without forming puddles or pockets of water. No concrete shall be placed on frozen subgrade.
48. Forms shall be metal or wood and of an approved section. They shall be straight, free from distortion and shall show no vertical variation greater than 1/8-inch in 10-foot lengths from the true plane surface on the top of the forms when tested with a 10-foot straightedge, and shall show no lateral variation greater than 1/4-inch in 10-foot from the true plane surface of the lateral face of the form when tested with a 10-foot straightedge. They shall be of the depth specified for the sidewalk, or concrete pavement per plane and details, and be securely held in place and true to line and grade.
49. The concrete shall be deposited continuously in the forms in such a manner as to avoid segregation and it shall be thoroughly tamped or vibrated so that the forms are entirely filled and the concrete thoroughly consolidated. The slabs shall be placed in sections or blocks in one operation as a monolith.
50. The concrete surface shall be struck off to a plane surface with a straightedge. After the concrete has been floated to an even surface, the contraction joint shall be cut and all slab edges rounded with a 1/2-inch radius edging tool that will finish to a width of 2-inches. After the concrete has slightly set, a broom shall be brushed lightly across the surface at right angles to forms so as to impart a rough finish.
51. Contraction joints shall be placed at right angles to the edge of the sidewalk or concrete pavement and perpendicular to the surface and at a depth of at least 1/4 the slab thickness with a minimum depth of 1-1/4-inches for sidewalks and 3-inches for concrete pavement slabs.
52. Contraction joints in sidewalks shall be spaced at a minimum of every 5-feet, or as shown on the plans.
53. Isolation papers shall be of the pre-molded, non-extruding, asphalt impregnated type, not less than 1/2-inch thick. The length shall be equal to the width of the slab, and the depth equal to the thickness of the slab plus 1-inch.
54. Isolation joints shall be placed at the following location for sidewalks and concrete pavements:
A. At the back of the curb and front edge of the sidewalks and pavement slabs adjacent to each driveway approach and service walk.
B. At intervals not to exceed 50-feet in all public sidewalks.
C. At the back of the curb where the ramps extend from the curb key flag on the pavement.
D. Between the key flag and the ramp in all cases, except where there are existing expansion joints at the intersections of the sidewalks and the key flag.
E. At any place where a sidewalk or concrete pavement abuts a building or fixed structure.
F. At any other locations indicated on the Plan.

SECTION 02630/02641 - CONCRETE CURB, SIDEWALK AND PAVEMENT SPECIFICATIONS, CONTINUED

- 55. Contraction joints in the concrete pavement in the loading area will be as follows:
A. Transverse joints shall be at 10-foot intervals or as shown on plans and details.
B. Longitudinal joints shall be at 12-foot intervals or as shown on plans and details.
56. Prior to applying joint sealer, clean joint groove of foreign matter and loose particles, and dry surface.
SECTION 02650 - TRAFFIC LANE AND PARKING LOT MARKING
1. Provide all materials, labor, equipment, and services necessary to complete all traffic lane and parking lot markings as indicated in the Construction Documents.
2. Work includes, but not limited to painting of letters, markings, stripes and islands on the pavement surface applied in accordance with this Specification and at the locations shown on the Plans or as directed by the Engineer.
3. The paint shall meet the requirements of Federal Specification TT-P-115C(3), with or without reflectorized beads as required on the Plans.
4. Color shall be as Specified on the Plans or as follows:
A. Traffic lane striping shall be white or yellow reflectorized, as shown on the Plans.
B. Traffic marking and curb faces shall be white unless noted otherwise.
C. Parking lot striping shall be white, unless noted otherwise.
D. Handicap stall striping meeting current ADA requirements shall be blue unless noted otherwise.
5. The painting shall be performed only when the existing surface is dry and clean, when the atmospheric temperature is above 40-degrees F. and when the weather is not excessively windy, dusty or foggy.
6. All equipment for the Work shall be approved by the Contractor and shall include the apparatus necessary to properly clean the existing surface, a mechanical marking machine, and such auxiliary hand painting equipment as may be necessary to satisfactorily complete the job.
7. The mechanical marker shall be an approved atomizing spray-type marking machine suitable for application of traffic paint. It shall produce an even and uniform film thickness at the required coverage and shall be designed so as to apply markings of uniform cross-sections and clear-cut edges without running or spattering and within the 1/2 inch tolerance set forth herein. When required, a dispenser shall be furnished, which is properly designed for attachment to the mechanical marker and suitable for dispensing the required quantity of reflective beads.
8. Suitable adjustments shall be provided on the sprayer/sprayers of a single machine or by furnishing additional equipment for painting the width required.
9. Immediately before application of the paint, the existing surface shall be dry and entirely free from dirt, grease, oil, acids, debris, or other foreign matter which would reduce the bond between the coat of paint and the pavement. The surface shall be thoroughly cleaned by sweeping and blowing as required to remove all dirt, debris and loose materials. Areas which cannot be satisfactorily cleaned by brooming and blowing shall be scrubbed as directed with a water solution of tri-sodium phosphate (10%Na3P04 by weight) or an approved equal solution. After scrubbing, the solution shall be rinsed off and the surface dried prior to painting.
10. Existing markings or stripes which are to be abandoned or removed shall be obliterated or obscured by the best method suited for the purpose and to the satisfaction of the Owner or Owners Representative.
11. The Contractor is responsible for laying out a sample section of striping which is to be approved by the Owner or Owners Representative as to quality before the Contractor may proceed with the striping. The Contractor is to insure that all subsequent striping meets the quality of the approved sample application.
12. On those sections of pavements where no previously applied figures, markings, or stripes are available to serve as a guide, suitable layouts and lines of proposed stripes shall be spotted in advance of the paint application. Control points shall be spaced at such intervals as will ensure accurate location of all markings.
13. The Contractor shall provide an experienced Technician to supervise the location alignment, layout, dimensions and application of the paint.
14. Markings shall be applied at the locations and to the dimensions and spacing indicated on the Plans or as specified. Paint shall not be applied until the indicated alignment is laid out and the conditions of the existing surface have been approved by the Owner or Owners Representative.
15. The paint shall be mixed in accordance with the manufacturer's instructions before application. The paint shall be thoroughly mixed and applied to the surface of the pavement with the marking machine at its original consistency without the addition of thinner. If the paint is applied by brush, the surface shall receive two (2) coats; the first coat shall be thoroughly dry before the second coat is applied.
16. A minimum of one (1) week shall elapse between application of the bituminous seal coat, slurry seal or the placement of the bituminous surface course and the marking of the pavement. The paint shall not bleed excessively, cur, or discolor when applied to bituminous or concrete surfaces.
17. In the application of straight stripes, any deviation in the edges exceeding 1/2-inch in 50 feet shall be obliterated and the marking corrected. The width of the markings shall be as designated within a tolerance of 5 percent (5%). All painting shall be performed to the satisfaction of the Owner or Owners Representative by competent and experienced Equipment Operators, Laborers, and Artisans in a neat and workmanlike manner.
18. Paint shall be applied uniformly by suitable equipment at a rate of 0.0094 gal./s.f. for stencils and 0.00313 gal./ft. for striping. Paint application shall produce an average wet film thickness of 0.015-inches.
19. After applications of the paint, all markings shall be protected while the paint is drying. The fresh paint shall be protected from injury or damage of any kind. The Contractor shall be directly responsible and shall erect or place suitable warning signs, flags, or barricades, protective screens or coverings as required to protect the markings from damage or discoloration by spatter, splashes, spillage, drippings of paint or other material.



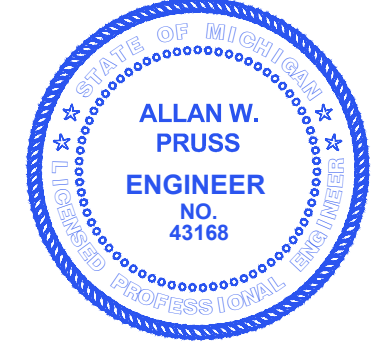
CLIENT: STEVEN AGAZI AGAZI DEVELOPMENT & MANAGEMENT, LLC P.O. BOX 531214 LIVONIA, MI 48153 (810) 960-9860

42900 TEN MILE ROAD BUILDING ADDITION PART OF SW 1/4, SEC. 23, T1N-R8E CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

SPECIFICATIONS

DATE: 3/14/2018

REVISIONS: PRELIMINARY SITE SUBMITTAL



CONTRACT: INT-1 FOOT FIELD: SS, DF, TG V. SCALE: N/A

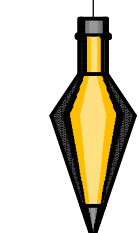
JOB#: 17-094

DRWG. by: DC, DD CHECK: AP DATE: 9/11/2017 17-094_C-12.0_Specs SHEET:

Call MISS DIG 3 full working days before you dig: Michigan's One-Call Utility Notification Organization 1-800-482-7171 online at: www.missdig.org

C-12.0

DRAFT

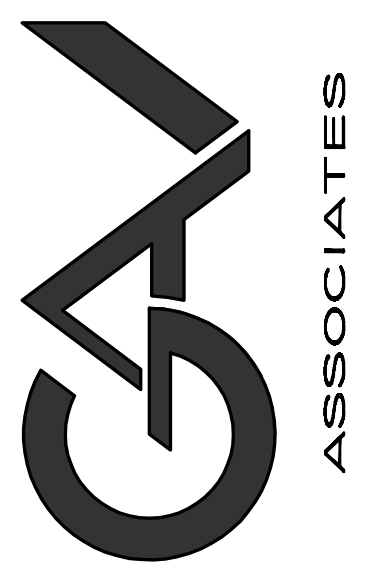


NOT FOR CONSTRUCTION

ISSUED FOR	DATE
REVIEW	8.12.15
PRELIM SPA	

ARCHITECTURAL DESIGN
RESIDENTIAL
COMMERCIAL
INDUSTRIAL

G.A.V. ASSOCIATES, INC
24001 ORCHARD LAKE RD., STE. 180A
FARMINGTON, MICHIGAN 48336
TEL: (248) 388-9191
WEB: WWW.GAVASSOCIATES.COM



PROPOSED NEW ADDITION FOR:
AGAZZI DEVELOPMENT
42900 TEN MILE
NOVI, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV		

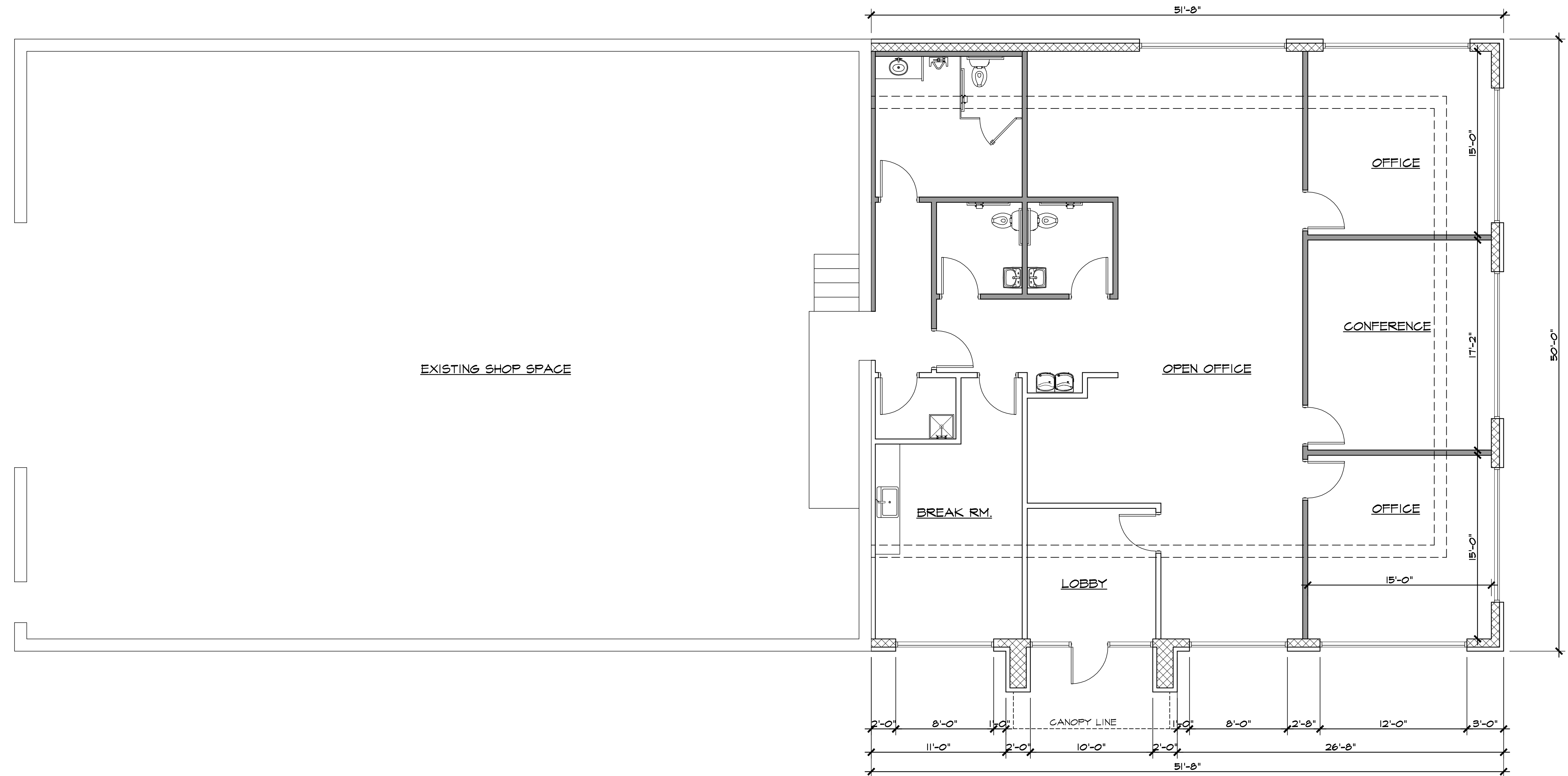
SCALE : SEE PLAN

FILE NAME : .

JOB # : 15092

SHEET TITLE
FLOOR
PLAN

SHEET #
A.101

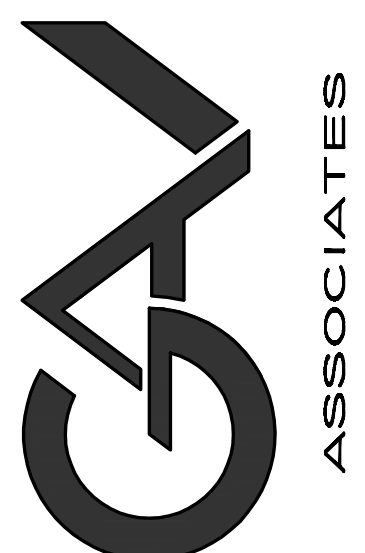


NORTH **FLOOR PLAN** SCALE: 3/16" = 1'-0"

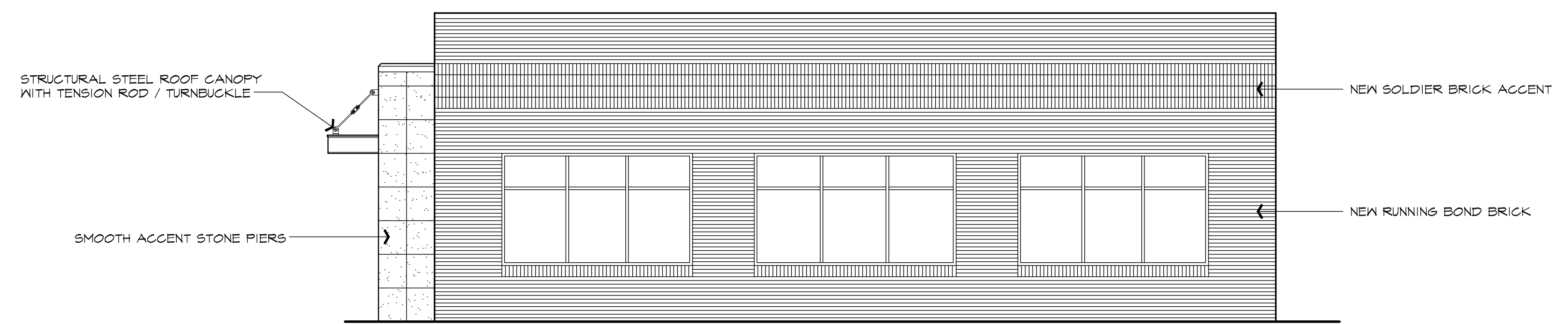
ISSUED FOR	DATE
REVIEW	8.12.15
SFA	9.13.16

ARCHITECTURAL DESIGN
RESIDENTIAL
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INDUSTRIAL

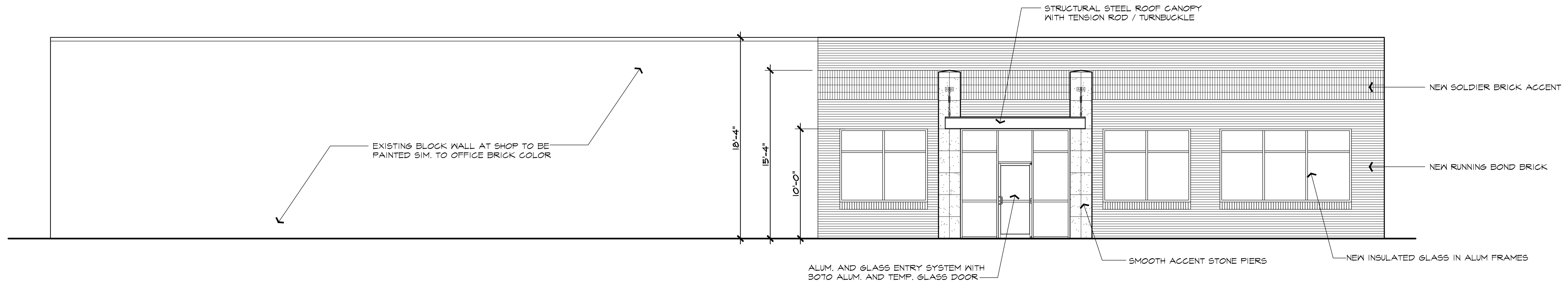
G.A.V. ASSOCIATES, INC
24001 ORCHARD LAKE RD., STE. 180A
FARMINGTON, MICHIGAN 48336
PH: (248) 988-9191
WEB: WWW.GAVASSOCIATES.COM



WEST ELEVATION
SCALE: 3/16" = 1'-0"



SOUTH ELEVATION
SCALE: 3/16" = 1'-0"



EAST ELEVATION
SCALE: 3/16" = 1'-0"

PROPOSED NEW ADDITION FOR:
AGAZZI DEVELOPMENT
42900 TEN MILE
NOV, MICHIGAN

DRAWN:	DESIGNED:	CHECKED:
AV		

SCALE : SEE PLAN

FILE NAME :

JOB # : 15092

SHEET TITLE
EXTERIOR
ELEVATIONS

SHEET #
A.201

Legal Description

(Per ALTA survey done by: Basney & Smith, Inc. - Engineering & Surveying, Job No.: 14-5-05, Dated: 05/16/14)
 Parcel Tax Number: 50-22-23-376-006
 Commencing at the Southwest corner of the East 1/2 of the Southwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, running thence North 1 degree East along the West line of said East 1/2 of said Southwest 1/4 a distance of 871.20 feet; thence South 89 degrees 37 minutes 40 seconds East 150.00 feet; thence South 1 degree West 871.20 feet to the South line of said Section 23; thence North 89 degrees 37 minutes 40 seconds West along said South line a distance of 150.00 feet to the Point of Beginning.
 Except:
 Part of the Southwest 1/4 of Section 23, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as beginning at a point distant North 89 degrees 37 minutes 40 seconds West 1184.33 feet and North 01 degrees 00 minutes 00 seconds East 870.20 feet from the South 1/4 corner of Section 23, Town 1 North, Range 8 East, and proceeding thence North 89 degrees 37 minutes 40 seconds West 150.00 feet; thence North 01 degrees 00 minutes 00 seconds east 1.00 foot; thence South 89 degrees 37 minutes 40 seconds East 150.00 feet; thence South 01 degrees 00 minutes 00 seconds West 1.00 foot to the Point of Beginning.
 Containing 130,522 sq. ft./3.00 acres.

Landscape Requirements

- This is an existing development. The Landscape Plan does not address areas of the site that are not being disturbed.
- Parking Lot Landscape Requirements:
 - Total square footage of landscape island(s) -
 - Required - Total s.f. of existing vehicular use area (v.u.a) x 5% = 182 s.f. (3632 s.f. of v.u.a. x 5%)
 - Provided - Existing island is 147 s.f.
 - Number of interior canopy trees -
 - Required - Total s.f. of required landscape island/200 = 1 (182 s.f./200 = .91 or 1 tree)
 - Provided - Four existing large evergreen shrubs in the existing island shall remain. One larger sized deciduous canopy tree is proposed in the outer boundary of the parking area.
 - Perimeter green space -
 - Required - One canopy tree per 35 lf. of parking lot v.u.a. = 247 lf. / 35 = 7 trees
 - Provided - One interior canopy tree as noted above, one ornamental tree as part of the greenbelt plantings and one canopy tree as part of the street tree plantings is provided.
- Right-of-Way Landscape Screening Requirements:
 - Greenbelt width -
 - Required - 25'
 - Provided - The existing Greenbelt area is approximately 20'.
 - Minimum berm -
 - Required - 3'
 - Provided - None is provided. The site does not have room for a 3' high berm.
 - Three foot wall -
 - Required - A 3' high masonry wall is provided in front of the parked car area. Minimum 3' high evergreen shrubs screen the remaining v.u.a.
 - Canopy trees or Large evergreen trees -
 - Required - 1 per 40 linear feet adjacent to parking. Width adjacent to parking is 83' subtract 30' wide drive = 53' divided by 40 = 1.325 or 1 tree.
 - 1 per 60 linear feet NOT adjacent to parking. Width NOT adjacent to parking is 67' divided by 60 = 1.11 or 1 tree.
 - Provided - 1 larger sized canopy tree adjacent to parking (also used in interior parking lot (requirements) = 2 trees.
 - 1 larger sized canopy tree NOT adjacent to parking = 2 trees.
 - Sub canopy deciduous trees -
 - Required - 1 per 35 linear ft. adjacent to parking. Width adjacent to parking is 83' subtract 30' wide drive = 53' divided by 35 = 1.51 or 2 trees.
 - 1 per 40 linear feet NOT adjacent to parking. Width NOT adjacent to parking is 67' divided by 40 = 1.67 or 2 trees.
 - Provided - 2 trees adjacent to parking.
 - 2 trees NOT adjacent to parking.
 - In area between sidewalk and curb -
 - Required - 1 per 45 lin. ft. = 150 subtract the RCOC sight vision clearance zone measured at the halfway point between the ROW and edge of pavement = 102' divided by 45 = 2.26 or 2 trees
 - Provide - The RCOC clear vision zone does eliminate almost all of the area between the sidewalk and curb. 1 larger sized canopy tree has been provided = 2 trees.
- Interior Site Landscaping:
 - Required - Entire perimeter of the building x 8 with a minimum of 4' width. Proposed building perimeter is 150 l.f. x 8 = 1200 s.f.
 - Provided - 1255 s.f. of interior landscape area has been provided on 3 sides of the proposed building and 371 s.f. has been provided on the east wall of the existing building.
- Parking lot screening: A minimum opacity of 80% in the winter and 90% in summer at a height of 3' will be provided with the proposed plant material within 2 years.

TREE SPECIES DIVERSITY CHART:

Symbol	Scientific Name	Common Name	Size	Qty.	Genus %	Species %
AC	Amelanchier canadensis	Serviceberry	8-10' ht.	2	22.2%	22.2%
AP	Acer p. 'Bloodgood'	Japanese Maple	2' cal.	1	22.2%	11.1%
AR	Acer r. 'Red Sunset'	Red Maple	> 5" cal.	1	(22.2%)	11.1%
GT	Gleditsia l.t. 'Imperial'	Honeylocust	> 5" cal.	2	22.2%	22.2%
MS	Malus s. 'Firebird'	Crabapple	2' cal.	3	33.3%	33.3%
TOTAL				9	100%	100%

General Landscape Notes:

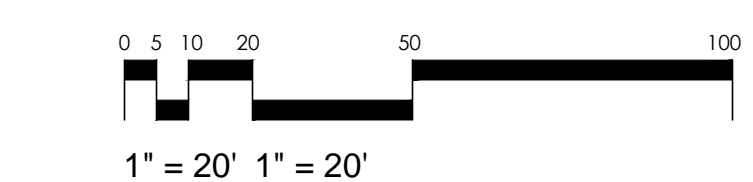
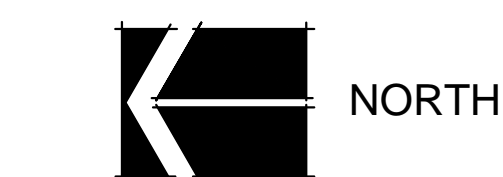
- Base information provided by Monument Engineering Group Associates, Inc.
- Soil(s) of subject property consists of 10B, Marlette sandy loam, 1 to 6 percent slopes, 100%. Soils report from USDA is attached separately.
- The subject site is zoned I-2. Properties to the west, north and east are zoned I-2. Property to the south is zoned I-1.
- The contractor(s) shall verify the location of all underground utilities prior to construction.
- All existing vegetation shown is to be saved and protected during the demolition and construction process. See typical tree protection detail sheet L2 to be placed along the curb line of existing landscape island to protect existing cedar trees, and at property lines east and west, to protect neighbor's trees.
- All landscape areas to be grass common to region except where other plant material is called for.
- Plant beds shall be edged with aluminum edging separating mulch from turf grass areas.
- All landscape areas disturbed by construction shall be scarified to a depth of 2", graded smooth to allow for positive drainage. For any landscape area so designated to remain whether on or off site, remove weeds, rocks construction items, etc., scarify area, re-seed and fertilize. All R.O.W. curb and gutters are to be cleaned of debris.
- Lawn seed mix:
 - 50 percent creeping red fescue (*Festuca rubra* variety).
 - 30 percent Kentucky blue grass (*Poa pratensis*).
 - 20 percent perennial rye grass (*Lolium perenne*).
- The Contractor shall provide a WATER PERMEABLE WEED MAT for all planting beds !!!!
- Plants shall conform to the sizes as shown on the drawings and shall be of sound health. All measurements such as spread, ball size, height, caliper and quality designations shall be in conformance to the latest edition of the American Standards for Nursery Stock. All plant material shall be Upper Midwest/Great Lakes grown, be free of disease and insects, and conform to the American Standard for Nursery Stock of the American Nurserymen. Any substitutions to the plant species listed on these plans must be approved by the City in writing prior to installation.
- Prune all dead and broken branches from all plants immediately after installation.
- Planting soil mixture shall be prepared on-site by mixing 3 parts topsoil to 1 part existing site soils to 1 part peat, adding 5 lbs. of superphosphate to each cubic yard of the mixture.
- Organic mulch requirements: shade trees, ornamental trees and evergreen trees - 3" of shredded bark; shrubs and shrub beds - 3" of shredded bark; perennial flowers - 2" of shredded bark.
- All Landscaping shall be maintained in a healthy, neat and orderly state following installation. The property's landscape will be guaranteed for 2 years from the date of acceptance and maintained in accordance with the requirements of Ordinance section 5.5.5D and 5.5.6A and B, including replacement of all dead or falling plant material within 3 months of its discovery, or the next appropriate growing period, whichever comes first.
- Plant material shall be installed between March 15 and November 15 or 2019.
- See Sheet L2 for City of Novi standard planting details, additional details and Plant List.
- See separate attachment for itemized cost estimate.
- Snow deposit area shall be in the storage yard behind the masonry wall.
- All plant materials and lawns (within property lines) to receive permanent underground automatic irrigation system designed by an irrigation contractor licensed by the State. The Contractor shall provide drawings for approval by the City prior to installation.
- Install pipe sleeves where irrigation lines cross or are under pavement. All sleeves to be twice the diameter of the pipe(s) is houses.
- The distance from the trunk of the proposed Honeylocust in the ROW and the overhead power lines is 12.8' as dimensioned on the plan.
- Install heavy duty plant ties to the proposed aluminum fencing and stake in front of proposed vines in order to train the vine up onto the fencing. See detail sheet L2.
- A bicycle rack of the inverted "U" design, anchored to concrete pad, color black, that meets City of Novi guidelines, shall be installed in location shown on the plans.

Legend

- | | | | |
|-----------------------------------|--|---------------------------|--|
| EXISTING TREE TO REMAIN | | TREE PROTECTION FENCING | |
| EXISTING EVERGREEN TREE TO REMAIN | | PROPOSED ALUMINUM FENCING | |
| EXISTING CEDAR TREE TO REMAIN | | RCOC CLEAR VISION ZONE | |
| SPADE BED EDGE | | PLANTKEY | |
| CANOPY TREE | | QTY. | |
| ORNAMENTAL TREE | | SPECIES | |
| SHRUBS | | | |
| PERENNIALS | | | |
| GRASSES | | | |



Know what's below.
Call before you dig.



1" = 20' 1" = 20'



Design Solutions LLC
 Landscape Architects & Planners
 2500 Duxton RD
 Okemos, MI 48864
 517 333-7026



LANDSCAPE PLAN
 AGAZZI DEVELOPMENT & MANAGEMENT, LLC
 P.O. BOX 531214 LIVONIA, MI 48153
 PH: (810) 560-5850 FAX: (248) 773-7404
 sagazzie@comcast.net
 42900 W. 10 MILE RD., NOVI, MICHIGAN

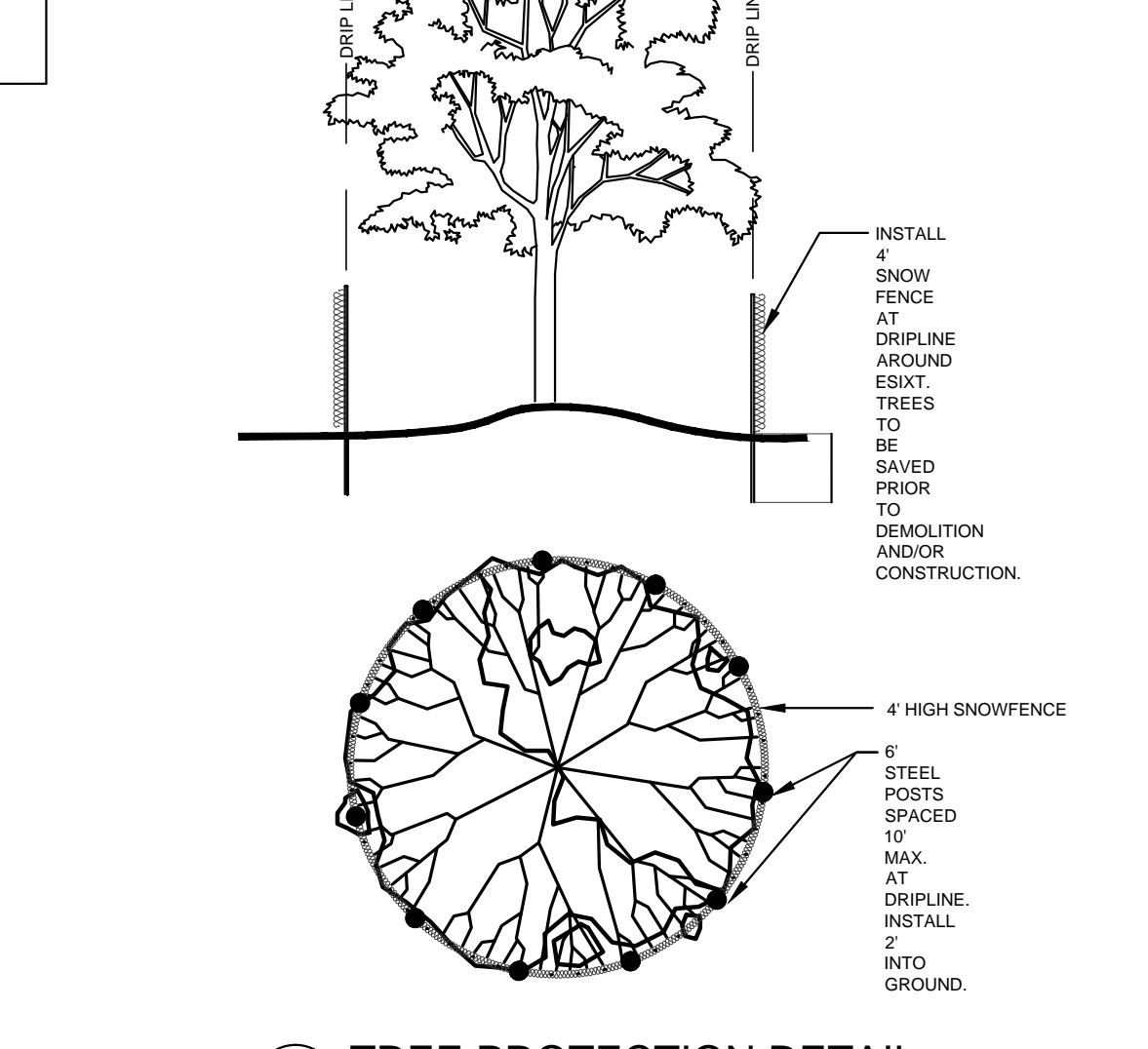
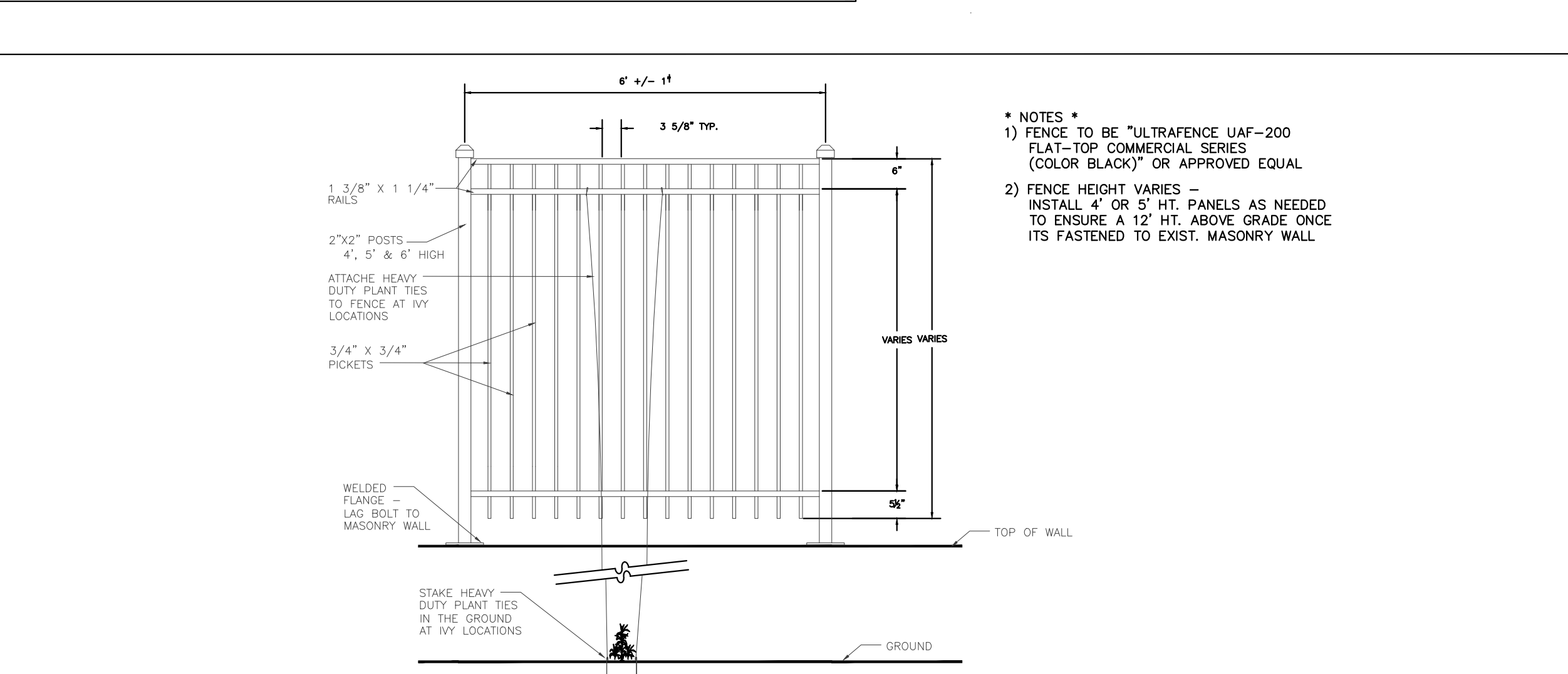
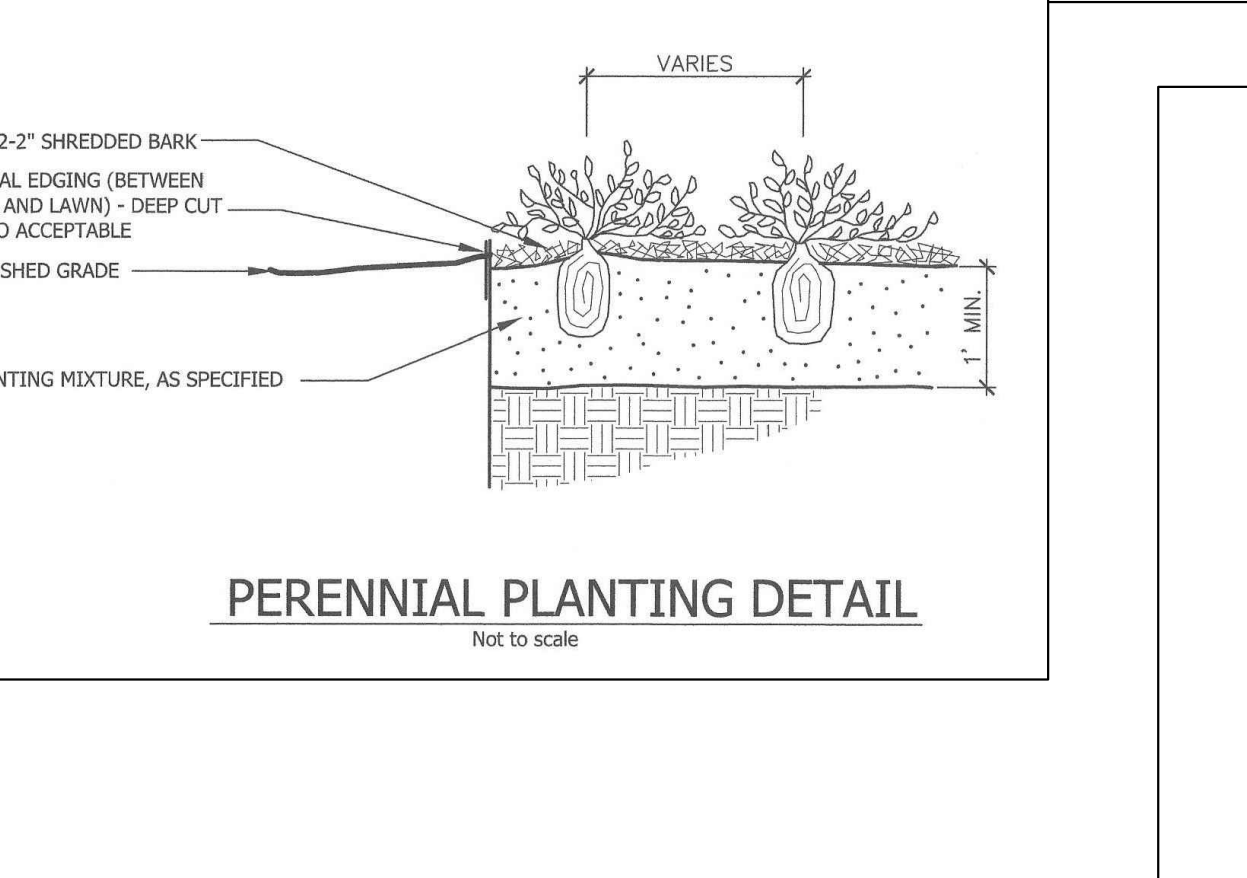
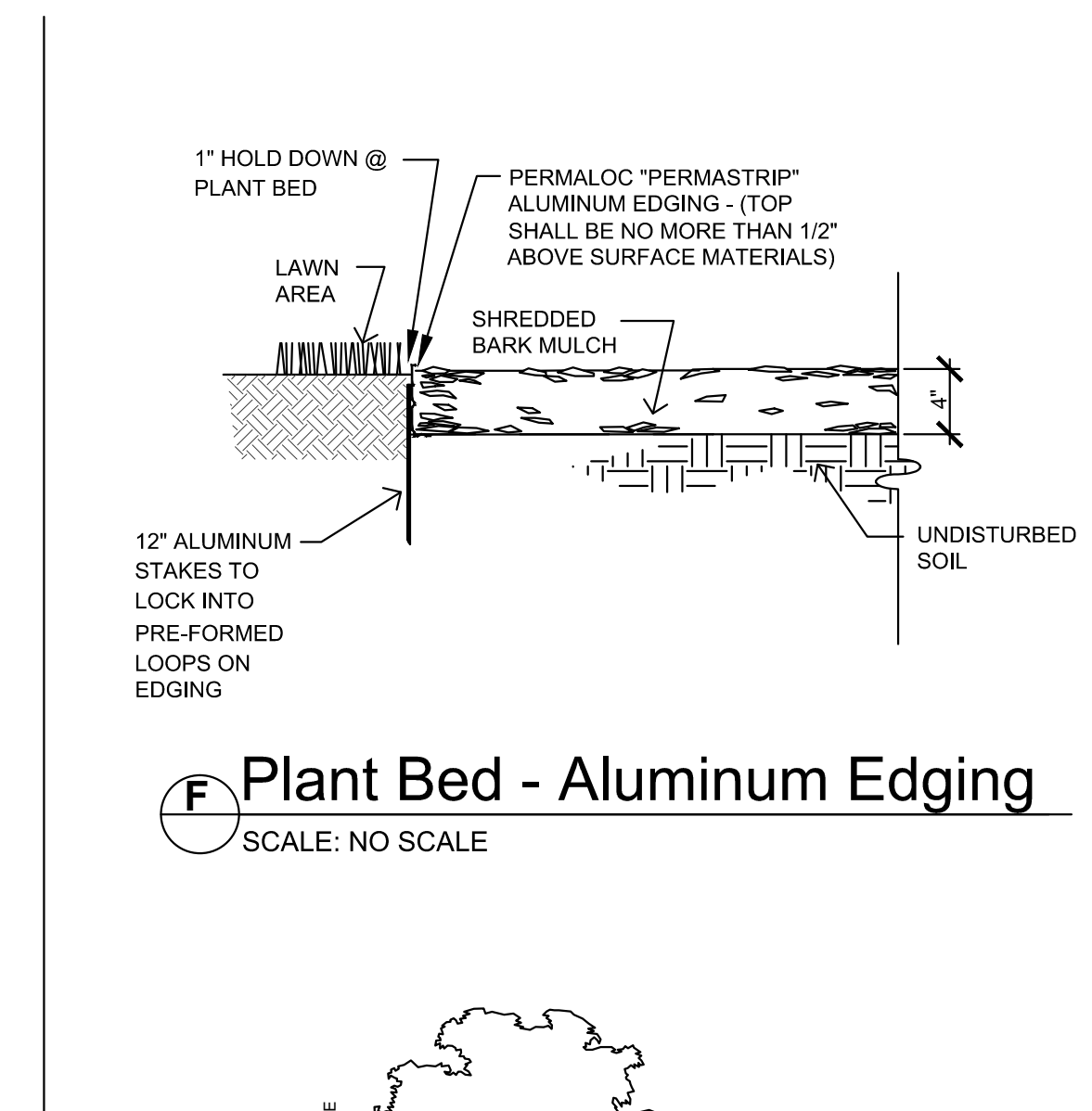
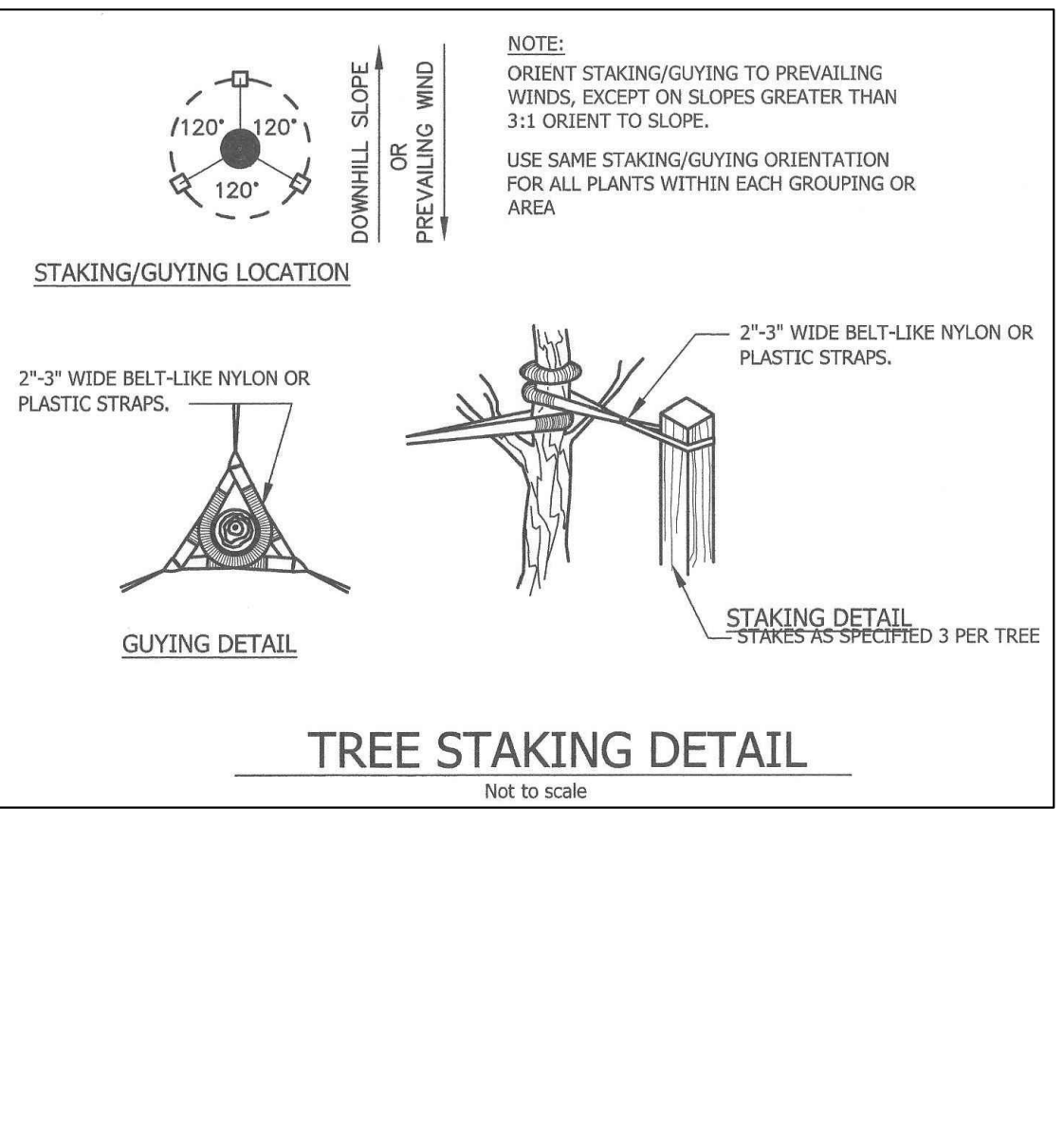
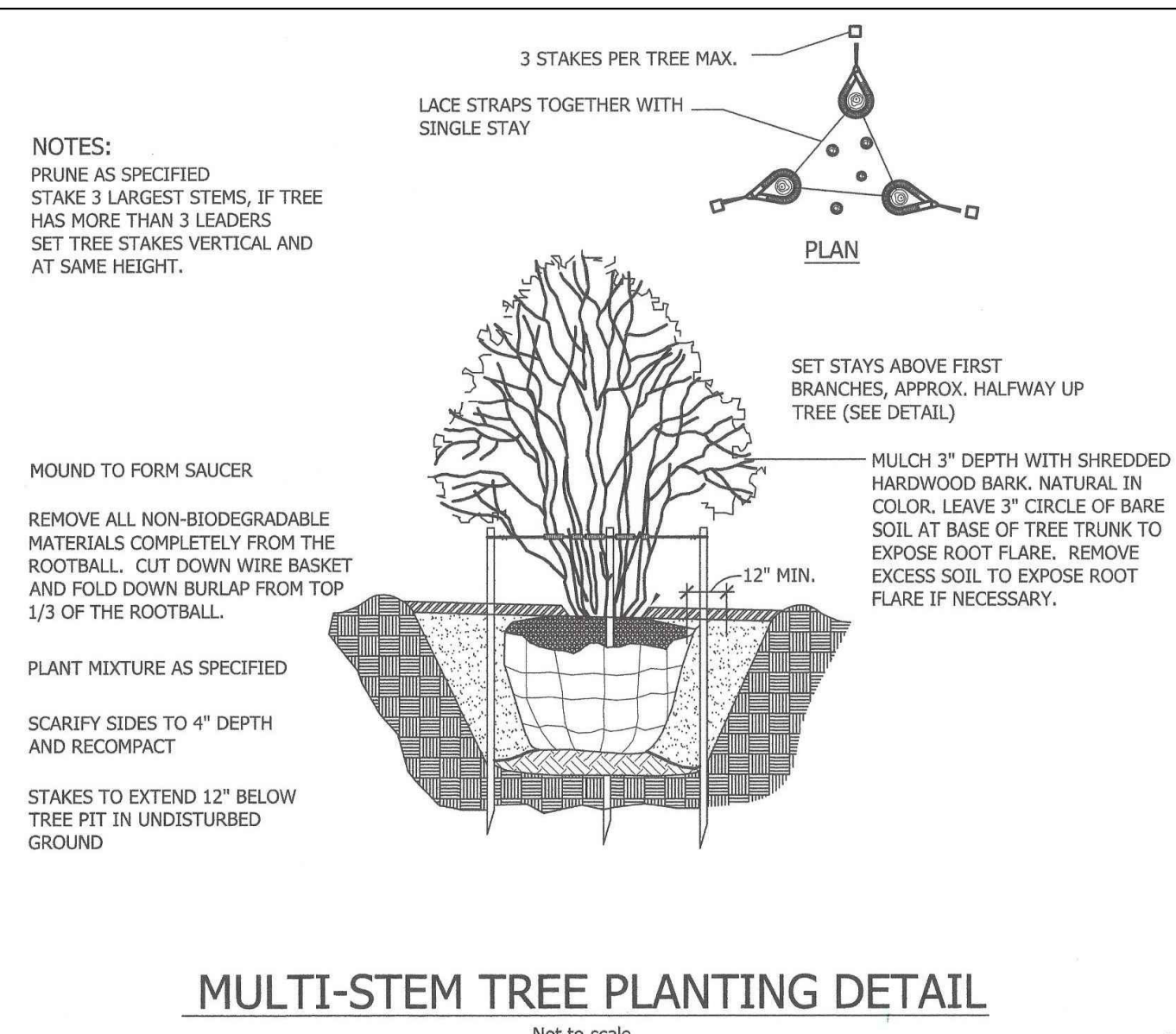
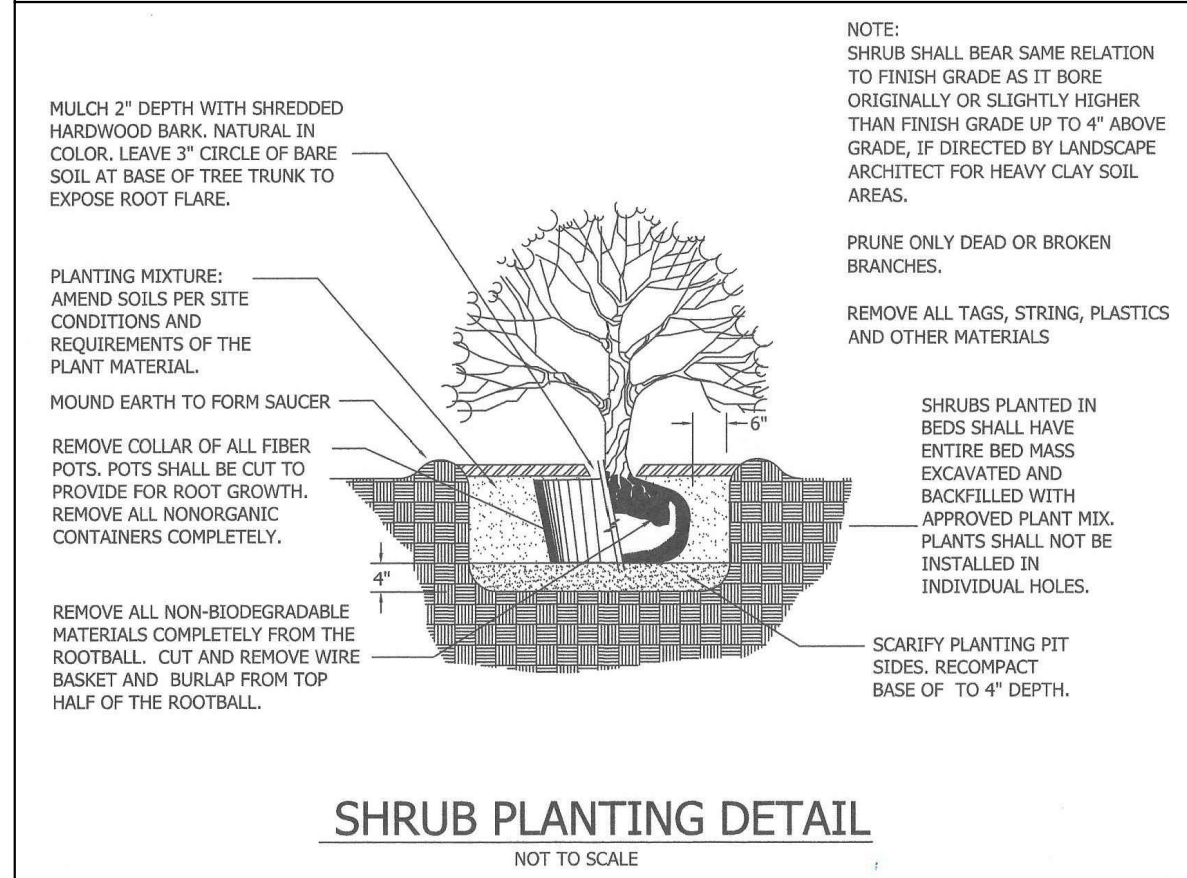
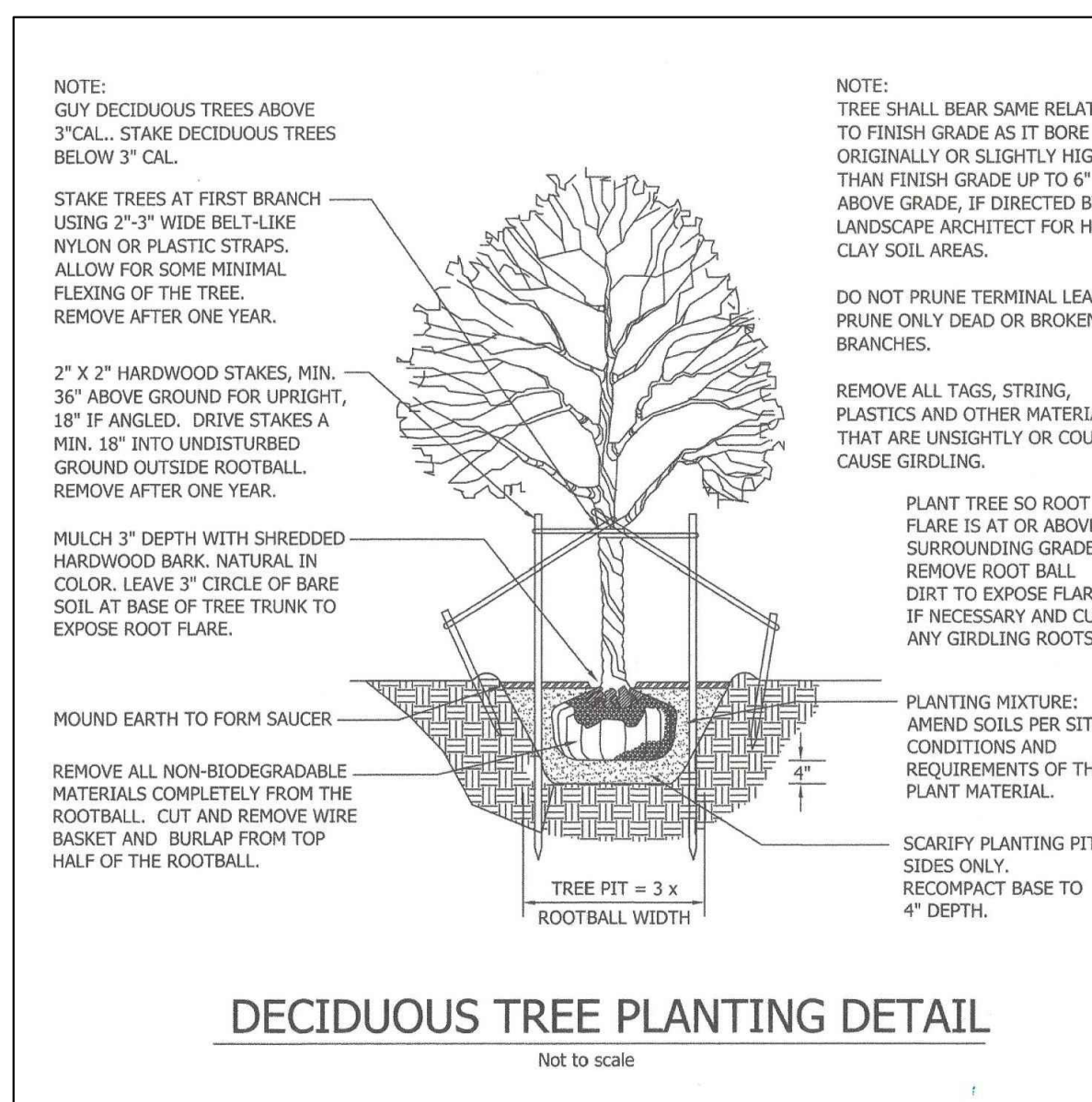
SHEET TITLE:
 PROJECT FOR:
 DATE:
 September 18, 2017

REVISIONS:
 1) Per Plan Review
 March 16, 2018

SCALE:
 1" = 20'

PROJECT NO.:
 17014

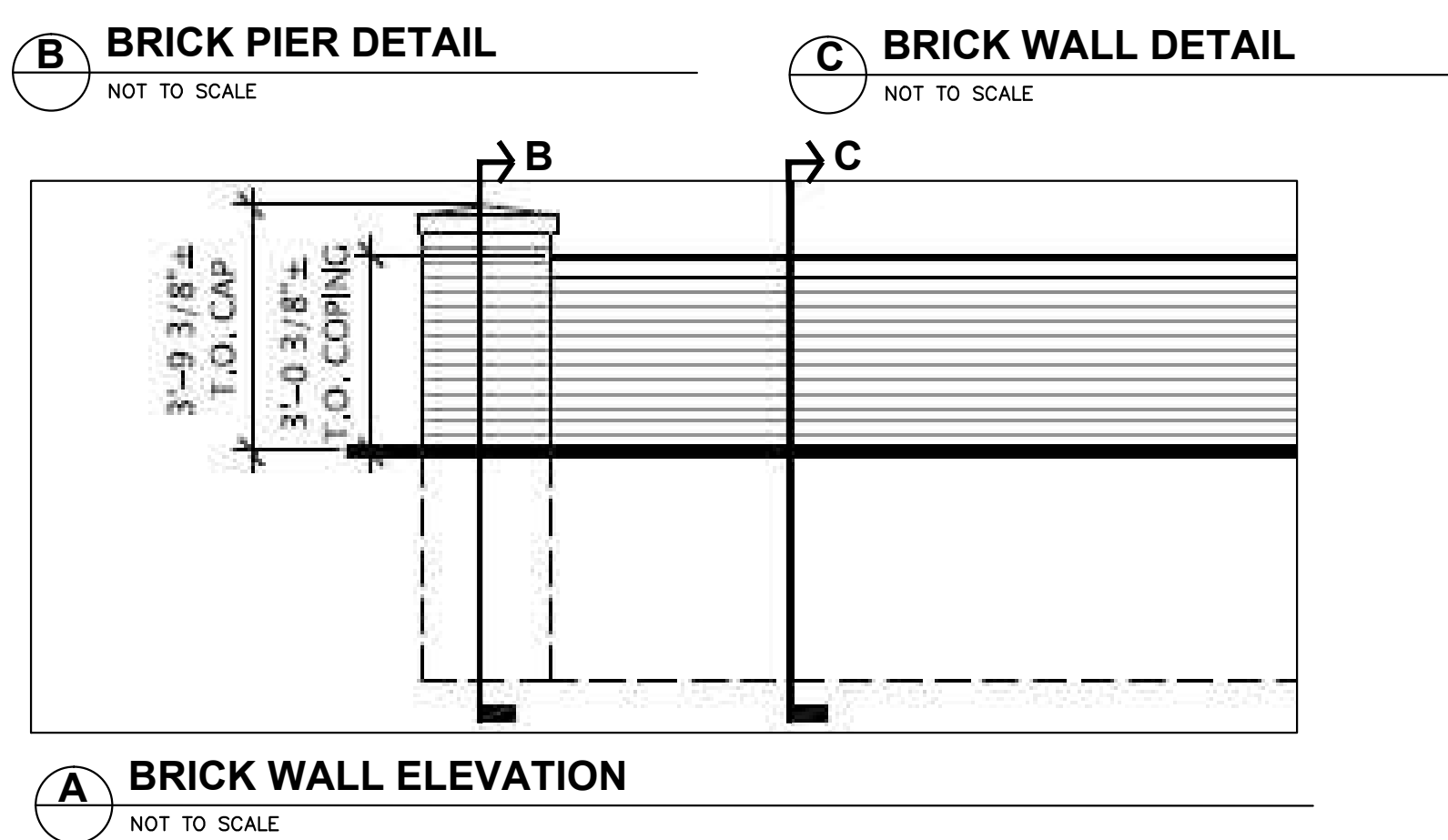
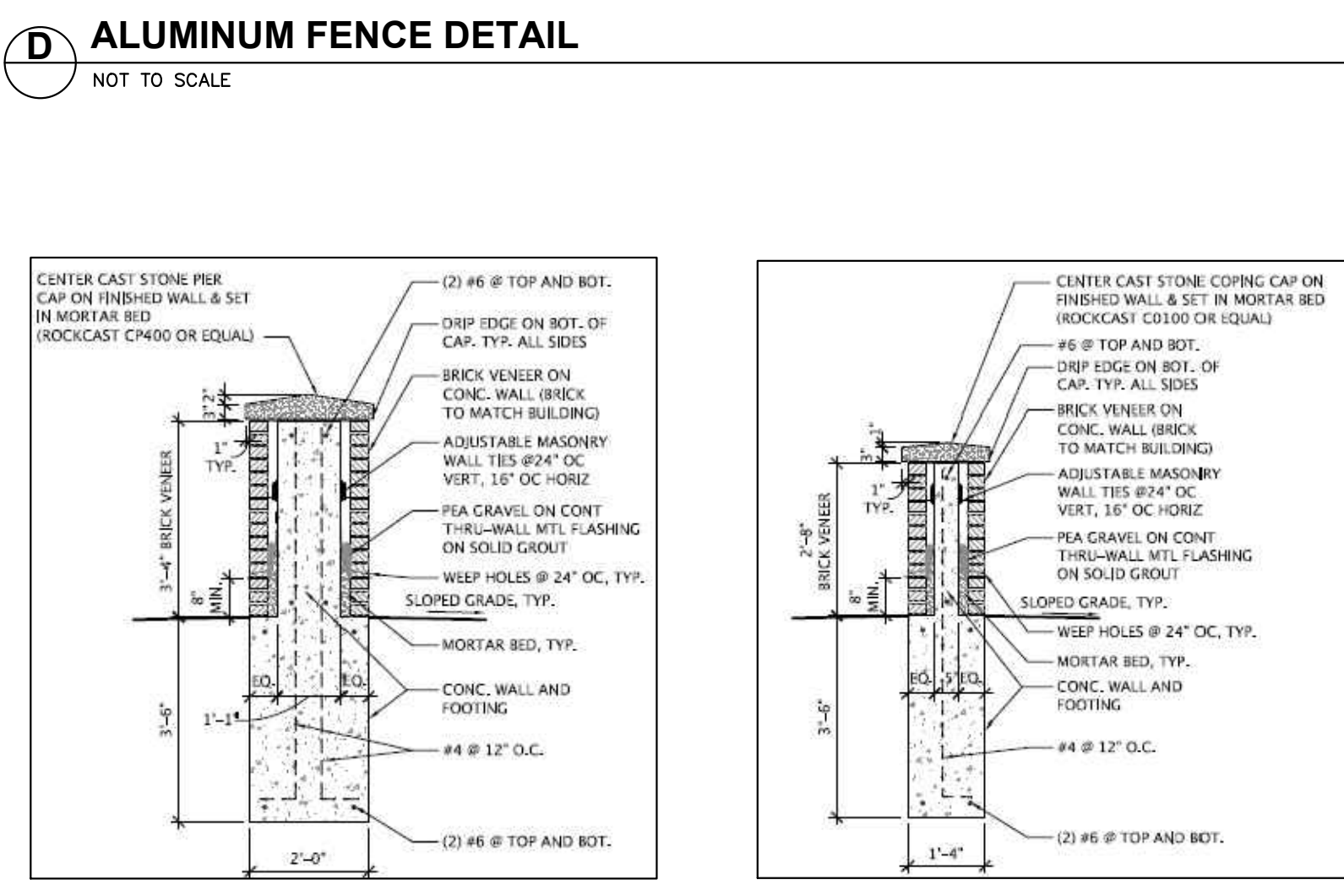
SHEET NO.:
L1



PLANT LIST

Qty.	Key	Botanical Name	Common Name	Size				Root	Remarks
				Caliper	Height	Spread	Other		
Trees									
2	AC	Amelanchier canadensis	Serviceberry		8-10'			B&B	Multi-stem
1	AP	Acer palmatum 'Bloodgood'	Bloodgood Japanese Maple	2"				B&B	
1	AR	Acer rubrum 'Red Sunset'	Red Sunset Maple	> 5"				B&B	
2	GT	Gleditsia t.i. 'Imperial'	Imperial Honeylocust	> 5"				B&B	
3	MS	Malus sargentii 'Firebird'	Firebird Crabapple	2"				B&B	
Shrubs									
20	BG	Buxus 'Green Gem'	Golden Mop Falsecypres		30"			B&B	
8	CP	Chamaecyparis p. 'Golden Mop'	Golden Mop Falsecypres		30"			B&B	
16	JB	Juniperus s. 'Broadmoor'	Broadmoor Juniper			24"		B&B	
5	JH	Juniperus h. 'Blue Rug'	Blue Rug Juniper			24"		B&B	
9	SJ	Spiraea japonica 'Magic Carpet'	Magic Carpet Spirea		18"			B&B	
12	TD	Taxus densiformis	Dense Yew		30"			B&B	
15	VC	Viburnum c. 'Compactum'	Compact Koreanspice Viburnum		24"			B&B	
Ornamental Grasses & Perennials									
15	CZ	Coreopsis v. 'Zagreb'	Zagreb Coreopsis					1 Gal.	Cont.
16	LS	Leucanthemum x s. 'Snow Lady'	Snow Lady Shasta Daisy					1 Gal.	Cont.
9	PQ	Parthenocissus quinquefolia	Virginia Creeper					1 Gal.	Cont.
4	PS	Pennisetum setaceum	Rose Fountain Grass					1 Gal.	Cont.

B&B = Balled & Burlapped Cont. = Container Gal. = Gallon



Design Solutions LLC
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517 333-7026

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SUSAN SHAFER
LANDSCAPE ARCHITECT
NO. 1038
MICHIGAN LANDSCAPE ARCHITECT

PLANT LIST AND DETAILS

AGAZZI DEVELOPMENT & MANAGEMENT, LLC
P.O. BOX 531214 LIVONIA, MI 48153
PH: (810) 560-5850 FAX: (248) 773-7404
segazzie@comcast.net

PROJECT ADDRESS: 42800 W. 10 MILE RD., NOVI, MICHIGAN

SHEET TITLE:

PROJECT FOR:

DATE: September 18, 2017

REVISIONS:
1) Per Plan Review March 16, 2018

SCALE: NO SCALE

PROJECT NO.: 17014

SHEET NO.: L2















42910
42916
42920

ONE WAY
RIGHT TURN AT
RED LIGHT

Properties of Michigan, LLC
AVAILABLE
OFFICE
WAREHOUSE
1000-4000 sq. ft.
248-344-8970





OUTDOOR ACCENTS

INC.

Since 1988

Office: 248 366-3052
Cell Phone: 248 939-6251
Fax: 248 366-3053

2245 Keith Road
West Bloomfield, MI 48324

City of Novi
C/o Agazzi Development
42900 10 Mile Road
Novi, MI 48375

Re: Proposed New Addition to the Agazzi Development Site

As an owner of Novi Ten and Outdoor Accents, located at 42780 West 10 Mile Road, Novi MI 48375. We are in support of the redevelopment of the stated property and the necessary variances needed to complete the project. As a neighbor with an investment in the community I feel that the variance needed would enhance the curb appeal and beauty of the road side of 10 Mile ultimately increasing the value of the area.

Sincerely

A handwritten signature in black ink, appearing to read 'Mark Garmo', written over a horizontal line.

Mark Garmo
Owner of Novi 10



April 6th, 2018

City of Novi
45175 W. 10 Mile Rd
Novi, MI 48375
Re: Site Plans for 42900 Ten Mile Rd

To Whom It May Concern;

I have reviewed the plans for building/ lot improvements submitted by Agazzi Development for 42900 Ten Mile Rd. I approve of both changes and improvements to be made to this property. We have no objections for the ZBA proposed variation of the front yard and side yard setback. We are pleased to see these changes take place as they will greatly improve the look of the building and street view. Please contact me if you have any questions.

A handwritten signature in blue ink, appearing to read "Cesar Damino", written over a horizontal line.

Cesar Damino
Firenze Properties/ Tramar Industries, Inc
(248) 426-5555
42850 W. 10 Mile Rd
Novi, MI 48375