



## Kroger Office Expansion JSP13-65

### Kroger Office Expansion, JSP13-65

Consideration of the request of The Kroger Company of Michigan for Preliminary Site Plan and Stormwater Management Plan approval. The subject property is located in Section 24, at 40393 Grand River Avenue, west of Seeley Road in the I-1, Light Industrial District. The subject property is 1.63 acres and the applicant is proposing to add a 2,019 square foot addition on the north side of the existing building.

### REQUIRED ACTION

Approval/denial of the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	10/15/13	Items to address on the next plan submittal
Engineering	Approval recommended	10/15/13	Items to address on the next plan submittal
Landscaping	Approval recommended	10/10/13	Items to address on the next plan submittal
Façade	Approval recommended	10/08/13	No additional items to address
Fire	Approval recommended	09/30/13	No additional items to address

**Motion sheet**

Approval – Preliminary Site Plan

In the matter of Kroger Office Expansion, JSP13-65, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the next plan submittal; and
- b. *(additional conditions here if any)*

*This motion is made because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

Approval – Stormwater Management Plan

In the matter of Kroger Office Expansion, JSP13-65, motion to **approve** the Stormwater Management Plan, subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the next plan submittal; and
- b. *(additional conditions here if any)*

*This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**-OR-**

Denial

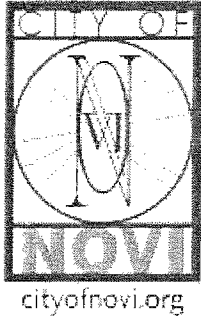
In the matter of Kroger Office Expansion, JSP13-65 motion to **deny** the Preliminary Site Plan, for the following reasons...*(because the plan is not in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance.)*

**-AND-**

Denial Stormwater Management Plan

In the matter of Kroger Office Expansion, JSP13-65, motion to **deny** the Stormwater Management Plan, for the following reasons...*( because the plan is not in compliance with Chapter 11 of the Ordinance.)*

## Planning Review



## PLAN REVIEW CENTER REPORT

October 15, 2013

### Planning Review

Kroger Office Expansion

JSP 13-65

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#### Petitioner

The Kroger Co. of Michigan

#### Review Type

Preliminary and Final Site Plan

#### Property Characteristics

- Site Location: 40393 Grand River Ave., south side of Grand River Ave., west of Seeley Road (Section 24)
- Site School District: Novi Schools
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, West and East: I-1; South: R-4, One-Family Residential
- Site Use(s): Existing Kroger Offices
- Adjoining Uses: North, West and East: various office/industrial; South: Single-Family Residential
- Site Size: 1.63 acres
- Plan Date: 09-23-13

#### Project Summary

The applicant is proposing to add a 2,019 square foot addition on the north side of the existing building. The addition would contain office space for Kroger Offices. No new parking is proposed on the site.

#### Recommendation

Approval of the **Preliminary and Final Site Plan is recommended**. There are only minor planning related items that need to be addressed at the time of Stamping Set submittal. The applicant should submit emailed revised plans for informal review prior to printing the Stamping Sets. Planning Commission approval is also required.

#### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (I-1, Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Applicable sections of the Zoning Ordinance and other regulatory documents are highlighted in gray on the attached chart. Items in **bold** below must be addressed by the applicant.

1. Photometric Plan: **The applicant should confirm no additional outside lighting is proposed.**

**Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested **prior to the Planning Commission meeting and with the Stamping Set submittal.**

**Stamping Set Approval**

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval. Plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.

**Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

**Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



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Kristen Kapelanski, AICP, Planner  
Attachments: Planning Review Chart

**PLANNING REVIEW SUMMARY CHART**

**Kroger Office Expansion**

**JSP13-65**

**Plan Date: 09-23-13**

**Preliminary and Final Site Plan Review**

<b>Item</b>	<b>Required</b>	<b>Proposed</b>	<b>Meets Requirements?</b>	<b>Comments</b>
Master Plan	Industrial Research Development Technology	No Change Proposed	Yes	
Zoning	I-1 Light Industrial District	No Change Proposed	Yes	
Use (Article 19)	Office, research & development, technology centers, warehousing, manufacturing, laboratories, utility buildings, indoor/outdoor recreation, other similar uses, and accessory structures	2,019 sq. ft. office addition	Yes	
Building Height (Sec. 2400 & Sec. 2503.2.E)	40 feet maximum	15'9"	Yes	
<b>Building Setback (Sec. 2400)</b>				
Front (north)	40 ft.	40 ft.	Yes	
Interior Side (east)	20 ft.	20 ft.	Yes	
Interior Side (west)	20 ft.	47 ft.	Yes	
Rear (south)	20 ft.	300 ft. +	Yes	
<b>Parking Setback (Sec. 2400)</b>				
Front (north)	Front yard parking permitted subject to (a) Dev. must be 2 acres (b) Must be setback same as req. bldg. setback (40 ft.) (c) Cannot occupy more than 50% of the area btwn. min. front yard setback and bldg. setback	No front yard parking is proposed.	N/A	

Item	Required	Proposed	Meets Requirements?	Comments
	(d) Must be screened by brick wall or landscaped berm (e) Planning Commission must make finding that prkg. area and lighting is compatible w/ surrounding development			
Interior Side (east)	10 ft.			
Interior Side (west)	10 ft.			
Rear (south)	10 ft.			
Number of Parking Spaces (Sec. 2505)	<u>Office</u> one space per 222 sq. ft. gross leasable area $5,619/222 = 25$ spaces  <b>Total spaces required for site = 25 spaces</b>	56 spaces	Yes	No new spaces proposed.
Parking Space Dimensions and Maneuvering Lanes (Sec. 2506)	9' x 19' parking space dimensions and 24' wide drives. 9' x 17' parking spaces allowed along 7' wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping.	No new spaces proposed	N/A	
Barrier Free Spaces (Barrier Free Code)	3 barrier free spaces required (1 van accessible)	3 barrier free spaces (2 van accessible) provided	Yes	No new spaces proposed.
Barrier Free Space Dimensions	8' wide with a 5' wide access aisle for standard barrier free	8' wide with a 5' wide access aisles for standard barrier	Yes	

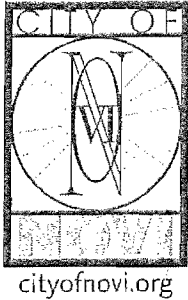
Item	Required	Proposed	Meets Requirements?	Comments
(Barrier Free Code)	spaces, and 8' wide with an 8' wide access aisle for van accessible spaces	free spaces		
Barrier Free Signs (Barrier Free Design Graphics Manual)	One sign for each accessible parking space.	Signage shown	Yes	No new spaces proposed.
Loading Spaces (Sec. 2507 and Sec. 22-100 City Code)	Must be in rear yard and screened from right-of-way and neighboring properties - minimum 360 sq. ft.	No new loading area provided	N/A	
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached and setback the same as parking from all property lines; the structure must be in the rear or interior side yard.	Existing dumpster and enclosure to remain	N/A	



Item	Required	Proposed	Meets Requirements?	Comments
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet required, interior bumpers or posts required. Enclosure to match building materials and be at least one foot taller than height of refuse bin.			
Exterior lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at time of Final Site Plan	Lighting plan submitted		<b>Any new lighting will need to be shown on a photometric plan.</b>
Sidewalks (City Code Sec. 11-276(b) and Subdivision Ordinance Sec. 4.05A and Non-Motorized Plan)	No additional sidewalks required	No additional sidewalks proposed	Yes	
Development/ Business Sign	Signage if proposed requires a permit			Please contact Jeannie Niland (248.347.0438) for information on sign permits

Prepared by Kristen Kapelanski, AICP (248)347-0586

## Engineering Review



## PLAN REVIEW CENTER REPORT

October 15, 2013

### Engineering Review

Kroger Office Expansion  
JSP13-0065

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#### Petitioner

Kroger Co. of Michigan, applicant

#### Review Type

Preliminary/Final Site Plan

#### Property Characteristics

- Site Location: S. of Grand River E. of Joseph Dr.
- Site Size: 0.155 acres
- Plan Date: September 23, 2013

#### Project Summary

- Construction of an approximately 2,019 square-foot building. Site access and parking is provided by the existing facilities.
- Storm water from the building addition would sheet flow into the proposed bioretention/detention basin and discharge into the existing storm sewer system.

#### Recommendation

**Approval of the Preliminary/Final Site Plan is recommended, with items to be addressed at informal Final Site Plan Review.**

#### Comments:

The Preliminary/Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at an informal Final Site Plan submittal:

#### General

1. Provide the City's standard detail sheet for storm sewer (1 Sheet-6/15/98) at the time of the Stamping Set submittal.
2. Remove "City of Novi inspecting engineers shall verify the bearing capacity of native soils to verify an adequate bedding depth is provided" from plan sheet 1 of 3.

Storm Sewer

3. Provide a two (2) foot diameter clean-out at the opposite end of the 6" perforated PVC versus an end section as provided.
4. Revise structure 2 to include a permanent four (4) foot sump versus a three (3) foot sump as provided.
5. Provide the location(s) for the proposed building downspouts. The outlet from each downspout must be stabilized to prevent erosion from occurring.

Storm Water Management Plan

6. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
7. Revise the runoff coefficient from 0.15 to 0.35 for all turn grass lawns.
8. Provide a table with the proposed runoff coefficients and their respective surface type.
9. Provide a soil boring log indicating that the bottom of the proposed bio retention facility is a minimum of three (3) feet above the ground water elevation.
10. Provide the bankfull dewatering time through the proposed restricted outlet. Please note that bank full volumes shall be retained in the detention facility for a minimum of 24 hours and no more than 40 hours.
11. Provide a cross-section of the proposed stormwater basin indicating first flush, bankfull, and 100-year storm elevations. This cross-section must also include the inverts of any applicable dewatering facilities and outlet control structures.
12. Denote an overland route for storm water that would occur in the event that the outlet control structure cannot accept flow. This route shall be directed to a recognized drainage course or drainage system. Verify that any structures or drainage swales accepting overland flow are capable of handling the 100-year flood capacity.
13. Provide a maintenance access route to the basin outlet structure. The maintenance access routes shall be a minimum of 15 feet wide, with a maximum slope of 1V:5H, and able to withstand the passage of heavy equipment. Verify that the access route does not conflict with the proposed landscaping.

Paving & Grading

14. Provide paving details for the proposed asphalt cross-section, sidewalk, and curb to be replaced.

**The following must be submitted at the time of Informal Final Site Plan submittal:**

15. A letter from either the applicant or the applicant's engineer must be submitted with the informal final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved. **Additionally, a statement must be provided stating that all changes to the plan have been discussed in the applicant's response letter.**
16. An updated itemized construction cost estimate must be submitted to the Community Development Department for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving (square footage), right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted with the Stamping Set:**

(Please note that all documents must be submitted together as a package with the Stamping Set submittal. Partial submittals will not be accepted).

17. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds. This document is available on our website.

**The following must be addressed prior to construction:**

18. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
19. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$125.00 must be paid to the City Treasurer's Office.
20. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
21. Construction inspection fees in the amount of \$3,183.13 must be paid to the City Treasurer's Office. **Note, this amount may change based upon revisions to the submitted plan set.**
22. A storm water performance guarantee in the amount of \$18,750.00 (equal to 150% of the cost required to complete the storm water management facilities) as specified in the Storm Water Management Ordinance must be posted at the Treasurer's Office. **Note, this amount may change based upon revisions to the submitted plan set.**

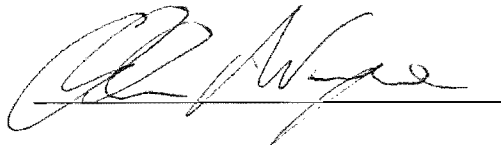
23. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.

**The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:**

24. The amount of the incomplete site work performance guarantee for this development at this time is \$22,435.50 (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed. **Note, this amount may change based upon revisions to the submitted plan set.**
25. All easements and agreements referenced above must be executed, notarized and approved by the City Attorney and City Engineer.
26. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.
27. A letter of credit or cash in an amount of \$1,250.00 (10% of the cost of storm water facilities for projects of less than \$100,000, or 5% for the cost of projects over \$100,000) must be posted for the storm water facilities. This deposit will be held for one year after the date of completion of construction and final inspection of the storm water facilities. **Note, this amount may change based upon revisions to the submitted plan set.**

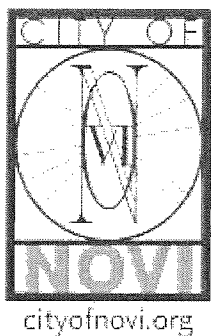
Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Department for an informal review and approval.

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Matt Preisz, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Sheila Weber, Treasurer's  
T. Meadows, B. Allen; Spalding DeDecker

## Landscape Review



## PLAN REVIEW CENTER REPORT

October 10, 2013

### Landscape Plan Review

Kroger Office Expansion

#### Petitioner

The Kroger Co. of Michigan

#### Review Type

Preliminary and Final Site Plan

#### Property Characteristics

Site Location: 40393 Grand River Avenue  
Site Size: 1.63 acres  
Zoning: I-1 (Light Industrial)  
Adjoining Zoning: North, West and East: I-1; South: R-4  
Proposed: Expansion of existing building  
Plan Date: 9/23/13

#### Recommendation

Approval of the **Preliminary and Final Site Plan is recommended.**

#### Ordinance Considerations

##### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. As there is no parking proposed along the frontage on Grand River Avenue, no landscape berm is required.
2. The Applicant has proposed a landscaped bioswales at the front of the building as a means of stormwater control. The feature will also act as an attractive amenity on the site.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. Existing street trees will not be affected by the building addition.

##### Parking Landscape (Sec. 2509.3.c.)

1. Existing parking will not be altered.

##### Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter parking lot canopy trees will not be altered.

##### Building Foundation Landscape (Sec. 2509.3.d.)

1. A 4' wide landscape bed is required around the building foundation. The Applicant has provided additional plantings at the area where the addition is proposed. The requirement has been met.
2. Existing trees to be preserved near the area of construction must be protected with fencing during the entire construction operation.



**Plant List (LDM)**

1. The Plant List as provided meets the requirements of the Ordinance and the Landscape Design Manual.

**Planting Notations and Details (LDM)**

1. Planting notations and details meet the requirements of the Ordinance and Landscape Design Manual.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. A notation states that all landscape areas will be irrigated.

*Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.*

Reviewed by: David R. Beschke, RLA

## Façade Review



October 8, 2013

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review**  
**Kroger Office Expansion, SP13-0156**  
 Façade Region: I-1 Zoning District: RC Building Size: 2,000 S.F.

Dear Ms. McBeth;

The following is the Facade Review for Preliminary Site Plan application for the above referenced project based on the drawings prepared by Jeffery A. Scott Architects, dated 9/23/13. The percentages of materials proposed are as shown on the table below. The maximum (and minimum) percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Facade Schedule are highlighted in bold.

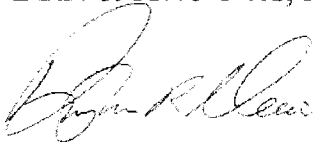
	NORTH	SOUTH (Unaltered)	EAST	WEST	Ordinance Maximum (Minimum)
Brick	<b>32%</b>	0%	46%	<b>24%</b>	100% (30% MIN)
EIFS	<b>59%</b>	<b>58%</b>	12%	<b>48%</b>	25%
Split Faced CMU	5%	<b>38%</b>	<b>31%</b>	0%	10%
CMU Accents	0%	0%	8%	<b>25%</b>	10%
Metal (Roof Screen)	4%	4%	3%	3%	50%

As shown above, the percentage of EIFS and Concrete Masonry Units (CMU) exceeds the maximum percentages allowed by the Facade Chart on the east and west facades and the minimum percentage of Brick is not provided on the north and west facades. The overage of CMU and EIFS on the south façade represents existing conditions; no alteration is proposed for the south façade. Section 2520.7 of the Façade Ordinance allows a continuation of existing materials on an addition provided that the visual effect is to appear as a continuation of the existing building. In this case the deviations from the Façade Chart on the north, east and west facades are a continuation of materials matching the existing building. This application is therefore in full compliance with the Façade Ordinance

Section 2516.C.10 of the Zoning Ordinance provides that an application may be approved administratively when a proposed alteration is in full compliance with the Facade Ordinance. As stated above, this alteration is in full compliance with Section 2520 and therefore qualifies for administrative approval.

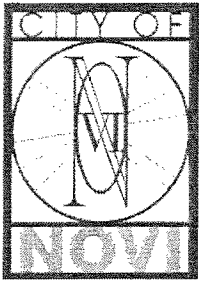
If you have any questions please do not hesitate to call.

Sincerely,  
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, with a large initial "D" and "N".

Douglas R. Necci, AIA

## Fire Review



August 28, 2013

**September 30, 2013**

TO: Barbara McBeth, Deputy Director of Community Development

RE: Kroger Office Expansion

SP#: PSP13-0145

**PSP13-0156**

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

**City Manager**  
Clay J. Pearson

**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Victor C.M. Lauria

**Assistant Chief of Police**  
Jerrod S. Hart

**Project Description:**

Proposed 2019 sq. ft. addition to building located at 40393 Grand River

**Comments:**

No comments from Fire Department

**Recommendation:**

**Approval**

Sincerely,

Joseph Shelton -- Fire Marshal  
City of Novi -- Fire Dept.

cc: file

Novi Public Safety Administration  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**Applicant Response Letter**



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architects • engineers

**TO:** Kristen Kapelanski  
City of Novi

**FROM:** Jeffery A Scott AIA  
Jeffery A. Scott Architects  
Matt Andrus  
Jeffery A. Scott Architects

**DATE:** Tuesday, November 5, 2013

**RE:** Kroger FE Office Expansion  
40393 Grand River Ave.  
Novi, Michigan 48375  
**Response Memo for Plan Review Center Report**

**JSA job #** 1368

**CC:** Mark Millerwise (The Kroger Company), and File.

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**RESPONSE FOR PLANNING REVIEW LETTER DATED October 15, 2013**

1. **Photometric Plan: The applicant should confirm no additional outside lighting is proposed.**

*Response: No additional outside lighting is proposed.*

2. **A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested prior to the Planning Commission meeting and with the Stamping Set submittal.**

*Response: We understand.*

3. **Stamping sets are still required for this project. After having received all of the review letters from the City staff the applicant should make the appropriate changes on the plans and submit 10 size 24" x 36" copies with original signature and original seals, to the Community Development Department for final Stamping Set approval. Plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.**

*Response: We understand.*



4. Chapter 26.5 of the City of Novi Code of Ordinance generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

*Response: We understand.*

5. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the Pre-Con, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

*Response: We understand.*

#### **RESPONSE FOR ENGINEERING REVIEW LETTER DATED October 15, 2013**

Please see the attached letter from Mickalich Engineering, Inc. that addresses the plan review comments.

#### **RESPONSE FOR LANDSCAPE REVIEW LETTER DATED October 10, 2013**

1. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.

*Response: We understand.*

**END OF MEMORANDUM**

# Mickalich Engineering, Inc.

Civil Engineering | Land Surveying | Planning

Jeffery A Scott Architects PC  
32316 Grand River Ave  
Suite 200  
Farmington, MI 48336

November 5, 2013

Attention: Mr. Matt Andrus  
Project Manager

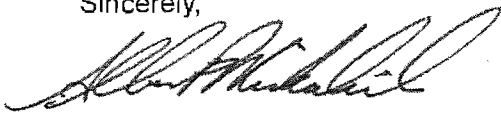
Re: Kroger  
Novi, MI

Dear Matt,

We have reviewed the "Plan Review Center Report" dated October 15, 2013 in regards to items 1 through 27 listed. The engineering plans shall incorporate all of these items in the engineering plans and will be addressed in detail at the informal Final Site Plan Review with the exception of item number 9 where a Request for Variance Design and Construction Standards has been applied for.

Should you have any questions please feel free to contact me.

Sincerely,

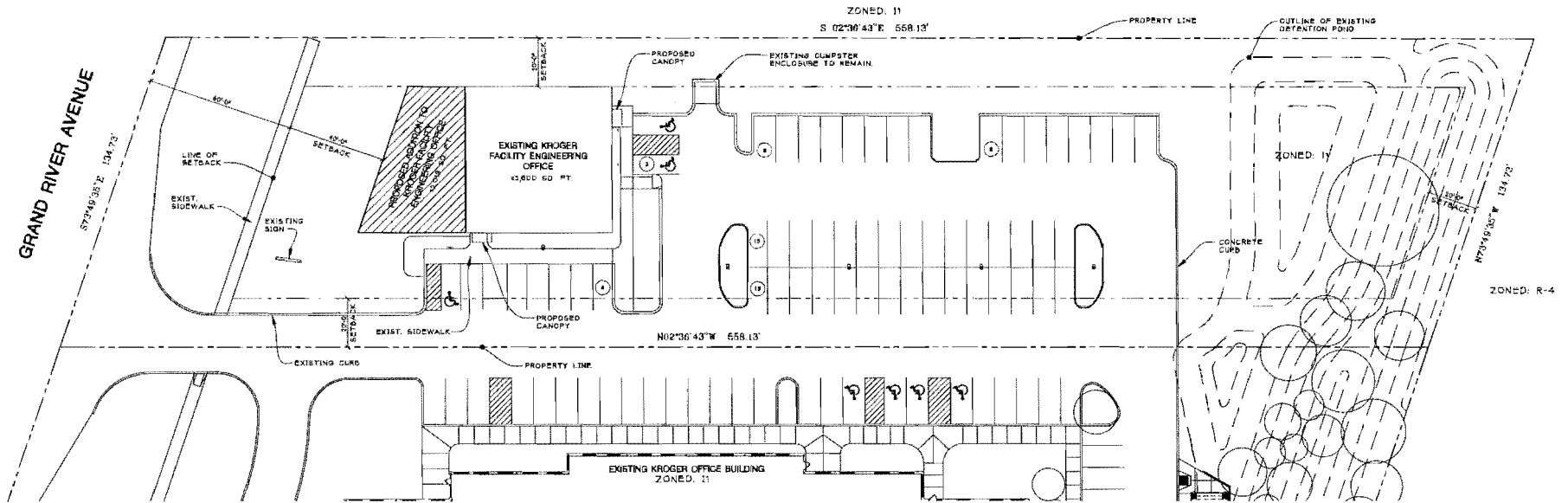


Albert P. Mickalich, PE

15243 Hawley Road  
Holly, MI 48442  
588.246.9872  
amickalich@gmail.com

[mickalichengineering.com](http://mickalichengineering.com)

Site Plan



**PROPOSED SITE PLAN**  
SCALE 1" = 20'

DETAILS OF DEVELOPMENT		
DATA	REQUIRED	PROVIDED
ZONING	I1 - LIGHT INDUSTRIAL DISTRICT	
SETBACKS		
RY	40'-0"	140'-0"
SY-EAST	20'-0"	18'-0" (EXISTING)
SY-WEST	10'-0"	47'-3"
RY	20'-0"	308'-7"
NET LOT AREA (SQ FT)		47,181 SQ. FT.
TOTAL ACREAGE		1.082 ACRES
BUILDING COVERAGE	6%	
BUILDING HEIGHT	15'-10" MAX	
GROSS FLOOR AREA	18,019 SQ. FT.	
# OF PARKING SPACES	17	58 (S HCL)

**LEGAL DESCRIPTION**

THE LAND REFERRED TO IS LOCATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:  
PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT ON THE NORTH AND SOUTH 1/4 LINE OF SECTION 24, DISTANT DUE NORTH 180.58 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, AND PROCEEDING THENCE NORTH 71 DEGREES 12 MINUTES 55 SECONDS WEST 134.73 FEET, THENCE DUE NORTH 388.10 FEET TO A POINT ON THE CENTERLINE OF GRAND RIVER AVENUE, THENCE ALONG CENTERLINE OF GRAND RIVER AVENUE SOUTH 71 DEGREES 12 MINUTES 55 SECONDS EAST 134.73 FEET, THENCE ALONG THE NORTH AND SOUTH 1/4 LINE OF SECTION 24 DUE SOUTH 388.10 FEET TO THE POINT OF BEGINNING EXCEPT THAT PART, TAKEN, USED OR DEEDED FOR GRAND RIVER AVENUE.

ASSURANCE NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS IN SCHEDULE A OF TITLE COMMITMENT NO. N-10580 OF LAWYERS TITLE INSURANCE CORPORATION BEARING AN EFFECTIVE DATE OF OCTOBER 16, 2009 AT 8:00 AM.

**GENERAL NOTES**

- MAJORITY OF LANDSCAPING WILL REMAIN AS EXISTING. SEE L-1 FOR NEW LANDSCAPE ITEMS.
- EXISTING IRRIGATION SYSTEM TO BE MODIFIED TO SERVE THE CHANGE IN LANDSCAPING PROPOSED AS PART OF THIS PROJECT.
- ANY CHANGES TO SITE SIGNAGE WILL BE ADDRESSSED UNDER A SEPARATE SUBMITTAL.
- NO CHANGES IN BUILDING SETBACKS PROPOSED.
- ALL MATERIALS WILL MATCH EXISTING AS INDICATED ON A-1.
- THE SITE PLAN IS BASED ON A SURVEY PREPARED BY LEYD DESIGN GROUP DATED 11-02-08 AS PROVIDED BY THE KROGER COMPANY.



**ZONING DATA:**

ZONING CLASSIFICATION: THE PROPERTY IS ZONED: I1 - LIGHT INDUSTRIAL DISTRICT  
MAXIMUM BUILDING HEIGHT: 40 FEET

SETBACKS  
FRONT SETBACK: 40 FEET  
SIDE SETBACK: 30 FEET  
REAR SETBACK: 10 FEET

NOTE: SIDE & REAR, IF ADJUTING A RESIDENTIAL ZONE FIVE (R5) FEET OF HORIZONTAL SETBACK FOR EACH FOOT OF BUILDING HEIGHT, OR ONE HUNDRED FEET, WHICHEVER IS GREATER.

PARKING: BUSINESS OFFICES: ONE IN FOR EACH TWO HUNDRED TWENTY-TWO (222) SQUARE FEET GFA (4-5 SPACES PER 1000 SQ. FT. GFA) FOR BUILDINGS UP TO 100,000 SQUARE FEET.

SOURCE: CITY OF NOVI ZONING ORDINANCE  
WEB SITE: HTTP://WWW.CITYOFNOVI.ORG/

DATE: 06-23-2010  
TIME: 06:28:20  
PROJECT NO.: 1368  
SHEET NO.: ASP-1

PROPOSED EXPANSION FOR

MICHIGAN DIVISION  
PROPOSED KROGER OFFICE  
FACILITY ENGINEERING EXPANSION  
40388 GRAND RIVER AVENUE  
NOVI, MICHIGAN 48275  
THE KROGER CO.

jeffery a. scott  
architects p.c.

85276 Grand River Ave. Suite 200  
Farmington, Michigan 48334-8201  
(248) 478-8800 Fax (248) 478-8833

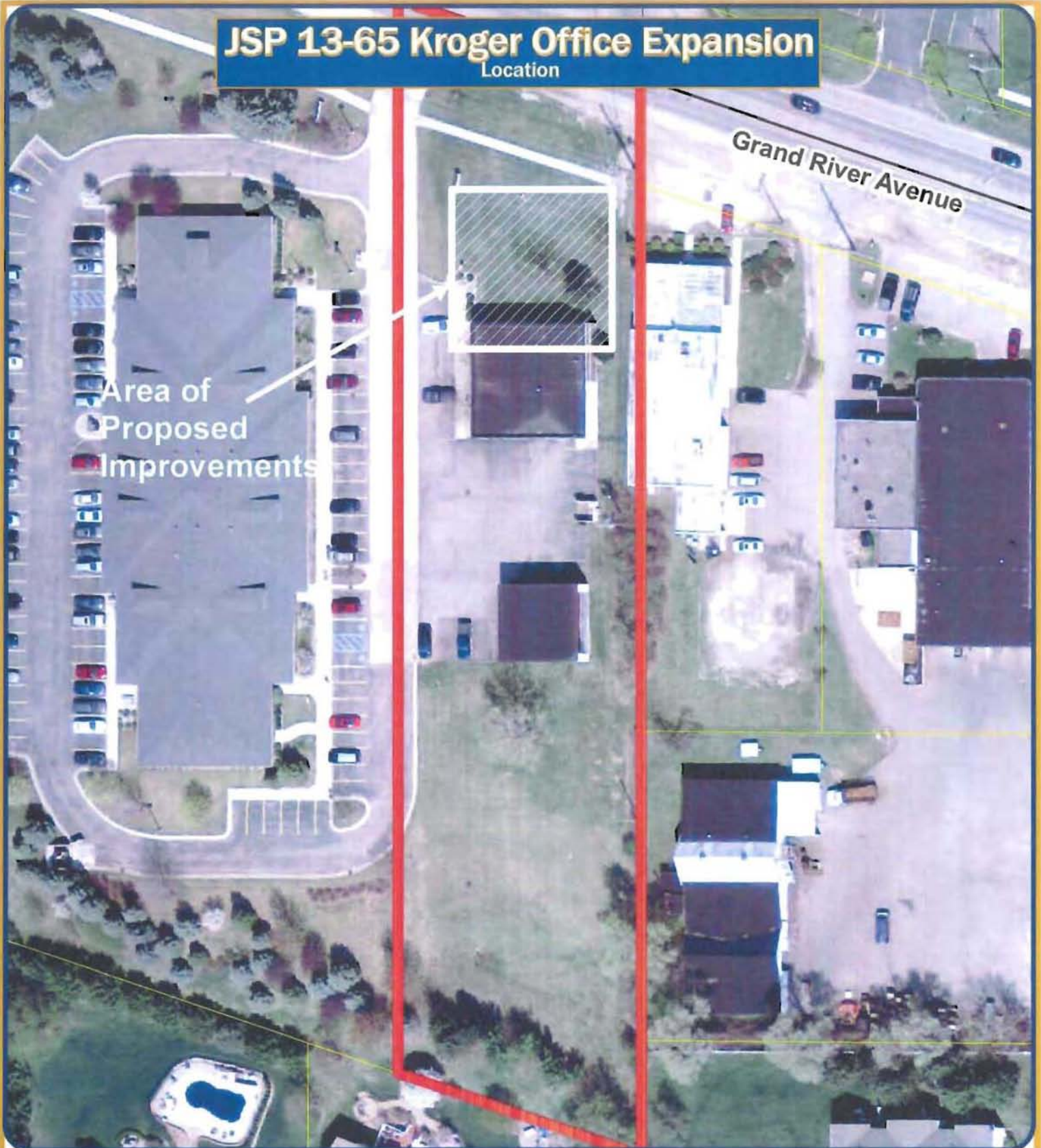
ARCHITECTURAL SITE PLAN

1368 ASP-1

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features


# JSP 13-65 Kroger Office Expansion

Location



Map Author:  
Date:  
Project:  
Version #

## Map Legend

 Subject Property



## City of Novi

Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

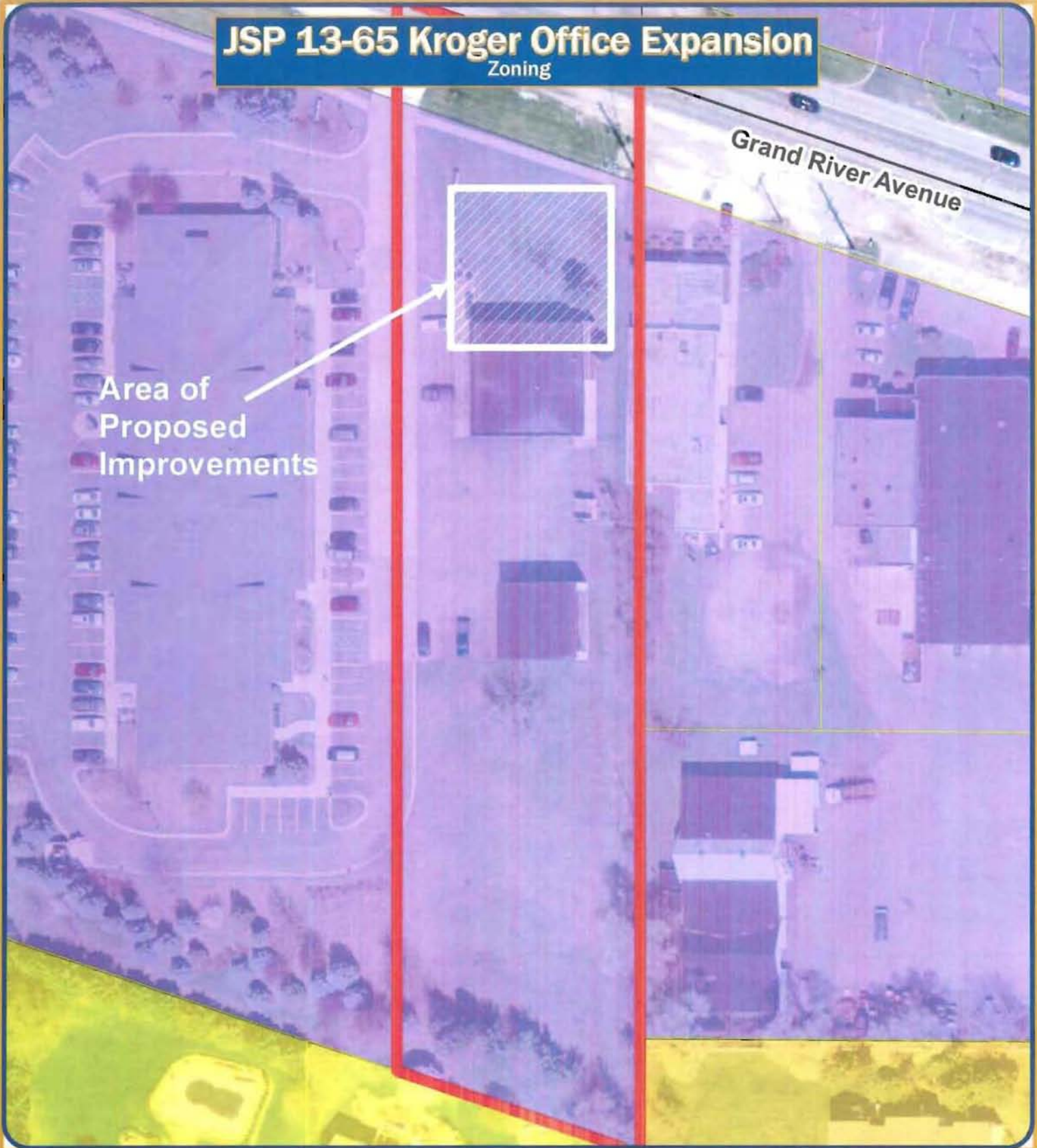
**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary system. This map was prepared to assist National Map Accuracy Standards and the current most accurate records available to the people of the City of Novi.  
Boundary measurements and area calculations are approximate and should not be considered as having any legal or official status. No warranty is made by the City of Novi for any use of this map. The City of Novi is not responsible for any errors or omissions in this map. The City of Novi is not responsible for any use of this map.

Feet  
0 12.5 25 50 75 100

1 inch = 68 feet

# JSP 13-65 Kroger Office Expansion

## Zoning



Area of  
Proposed  
Improvements

Grand River Avenue

Map Author:  
Date:  
Project:  
Version #:

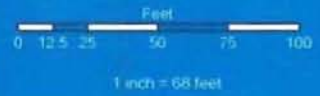
**MAP INTERPRETATION NOTICE**  
Map information displayed is not intended to replace or substitute for any official or primary source. This map was prepared to assist National Map Accuracy Standards and use the most recent available survey available to the project of the City of Novi. Boundary measurements and data not shown are approximate and should not be construed as survey measurements prepared by a Licensed Professional Surveyor in compliance with Michigan Public Act 232 of 1975 as amended. Please contact the City GIS Manager for further details and accuracy information related to this map.

**Map Legend**

-  Subject Property
-  R-4: One-Family Residential District
-  RM-1: Low-Density Multiple Family
-  I-1: Light Industrial District



**City of Novi**  
Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

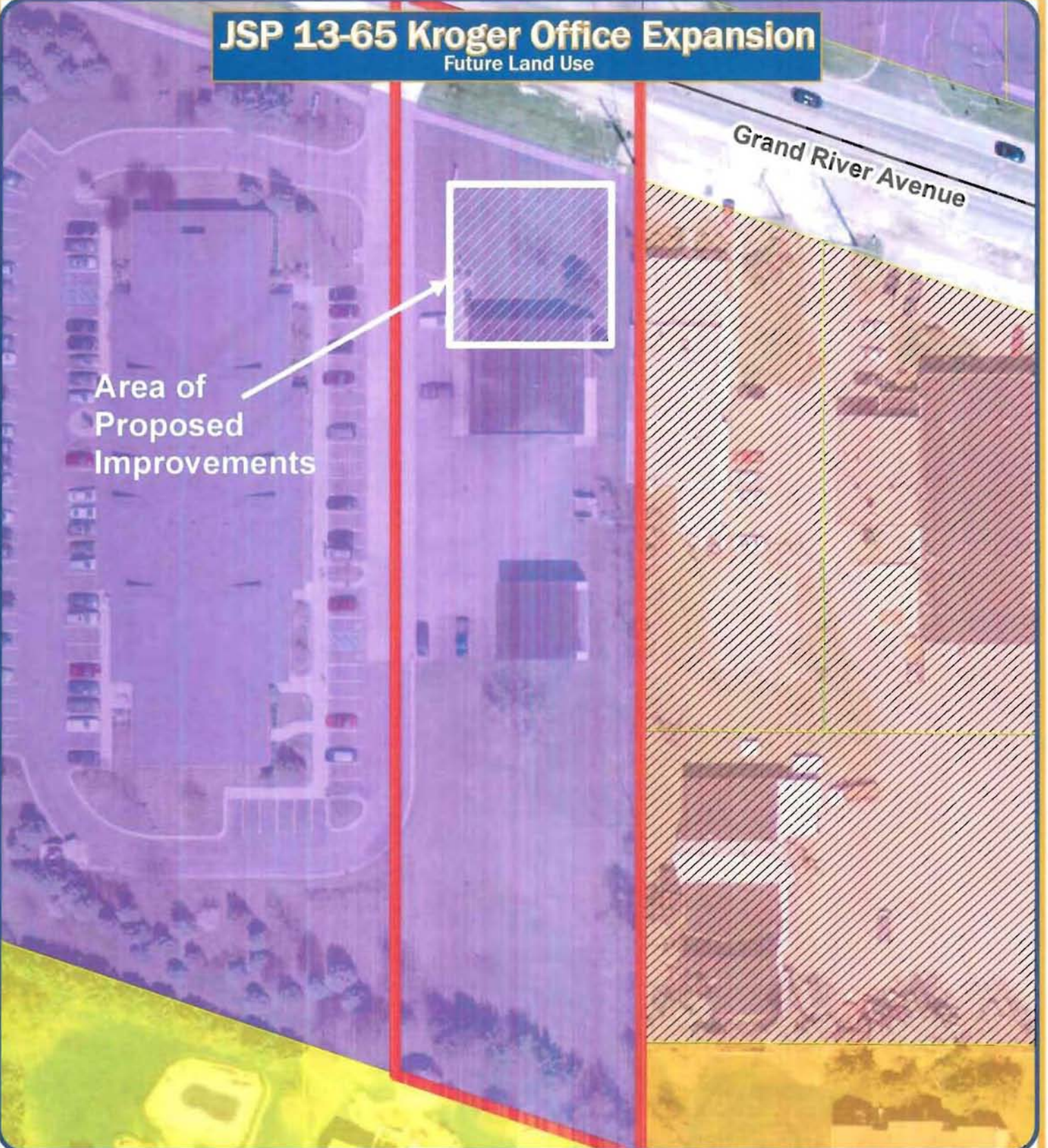
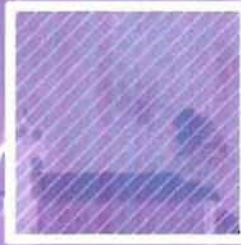


# JSP 13-65 Kroger Office Expansion

Future Land Use

Grand River Avenue

Area of  
Proposed  
Improvements



Map Author:  
Date:  
Project:  
Version #:

### Map Legend

-  Subject Property
-  Single Family
-  Multiple Family
-  Industrial RD Tech
-  Community Commercial

**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or governing authority. This map is intended for general informational purposes only. The City of Novi is not responsible for any errors or omissions on this map. The City of Novi is not responsible for any errors or omissions on this map. The City of Novi is not responsible for any errors or omissions on this map.



**City of Novi**

Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

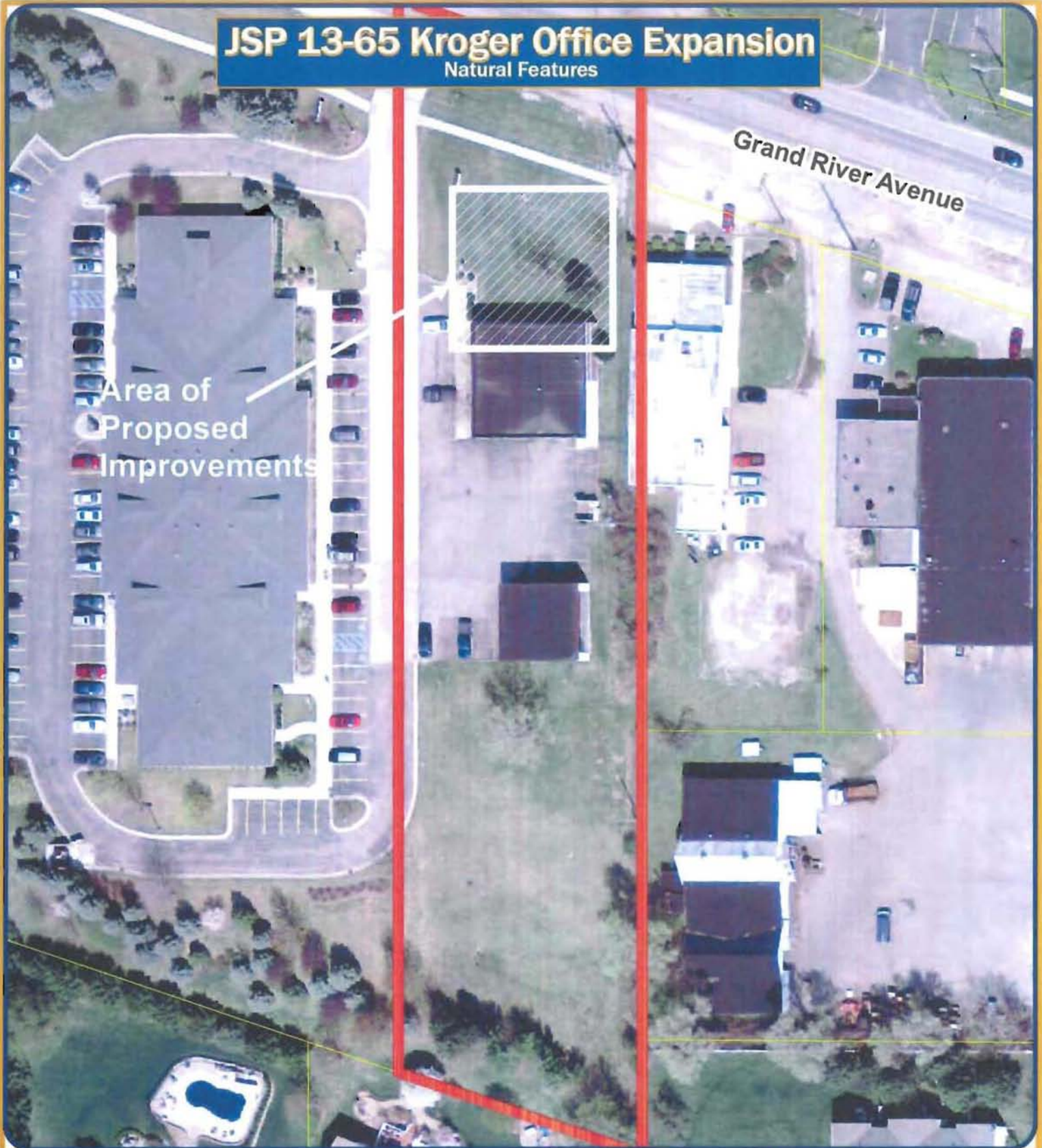


1 inch = 68 feet



# JSP 13-65 Kroger Office Expansion

## Natural Features



Map Author:  
Date:  
Project:  
Version #:

**Map Legend**

-  Subject Property
-  Wetlands
-  Woodlands

**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official of primary concern. This map was prepared to assist National Map Accuracy Standards and the National Wetlands Inventory. Accuracy is not guaranteed to the public by the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as having any legal effect. This map is for informational purposes only and does not constitute a contract. All rights reserved. Printed under the City of Novi's Management and Planning Information System. All rights reserved.



**City of Novi**  
Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org



1 inch = 68 feet

**LEGAL DESCRIPTION:**

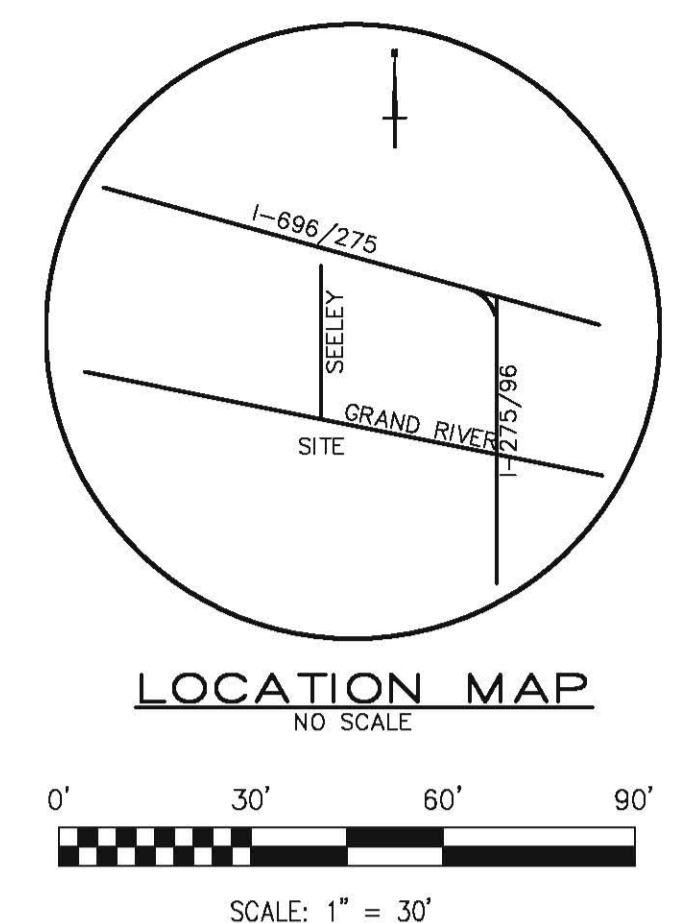
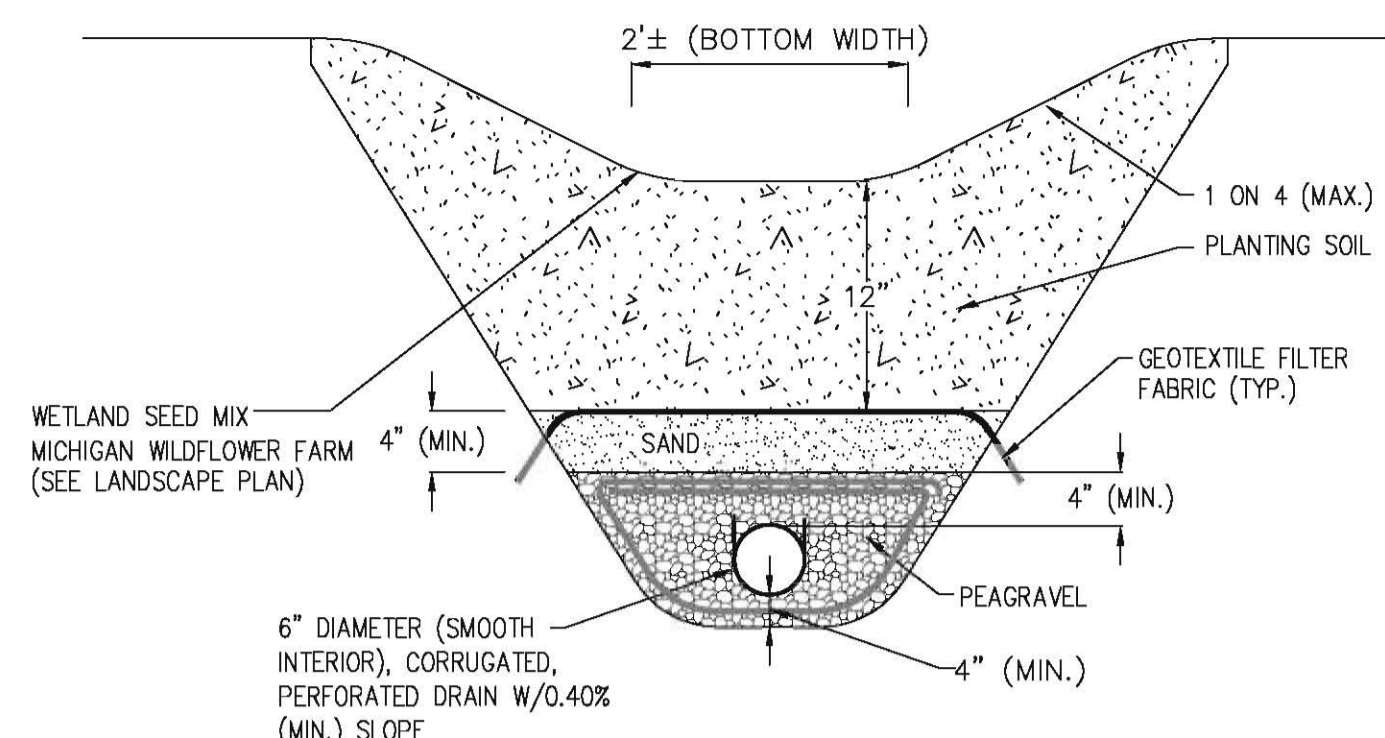
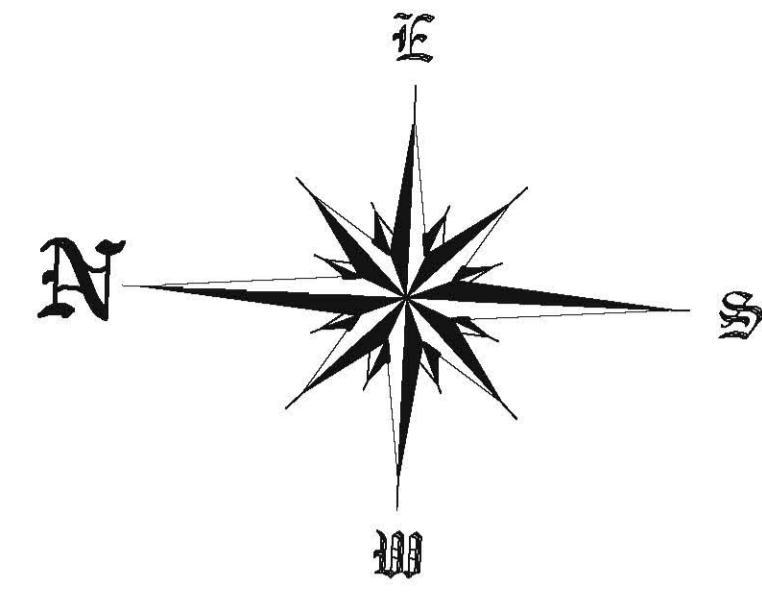
(Per Alta Survey by Ledy Survey Group)

The land referred to is located in the City of Novi, County of Oakland, State of Michigan, and is described as follows:

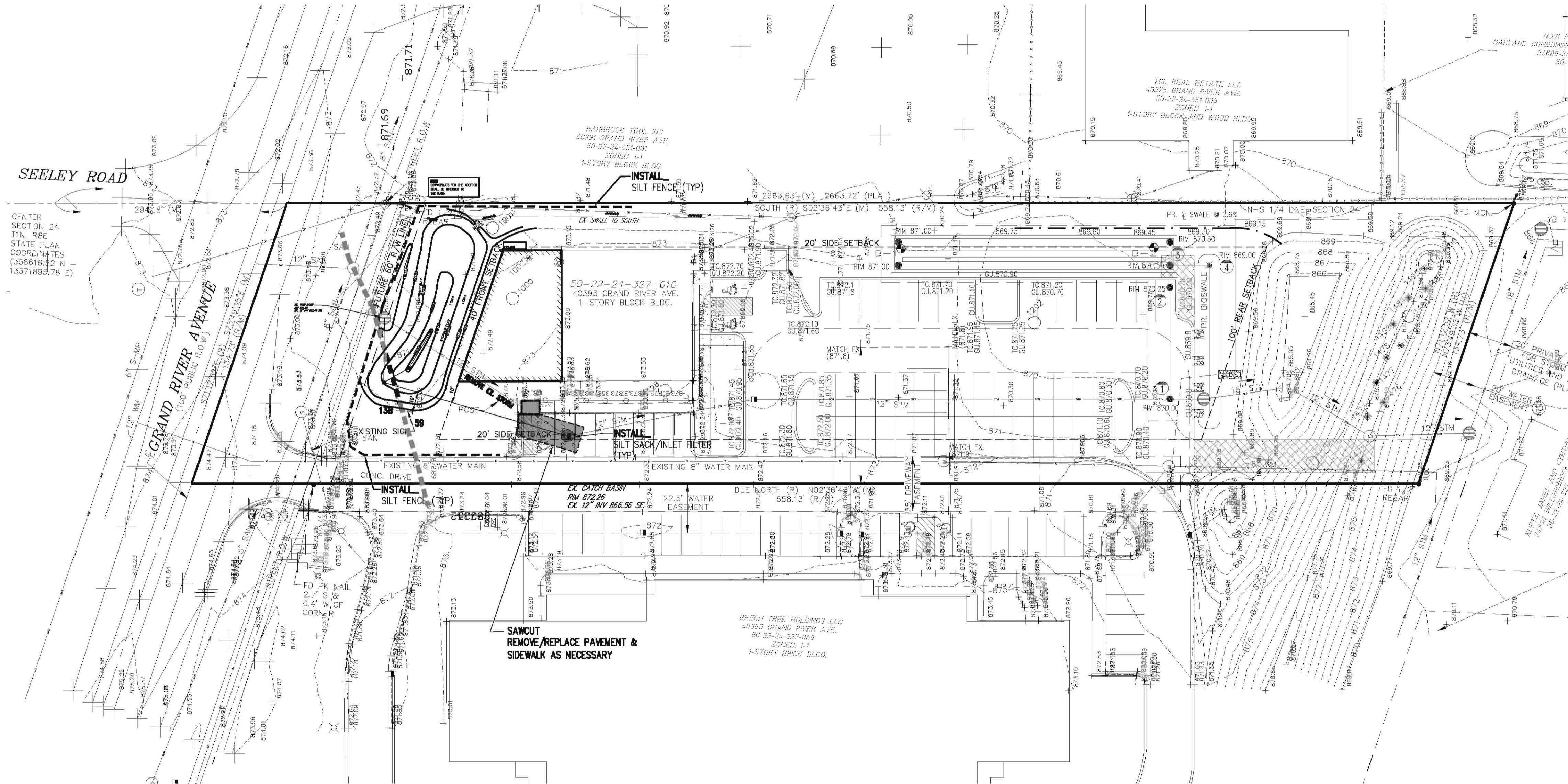
Part of the Southwest 1/4 of Section 24, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan, described as: Beginning at a point on the North and South 1/4 line of Section 24, distant due North 1810.39 feet from the South 1/4 corner of Section 24, Town 1 North, Range 8 East, and proceeding thence North 71 degrees 12 minutes 52 seconds West 134.73 feet; thence due North 558.13 feet to a point on the centerline of Grand River Avenue; thence along centerline of Grand River Avenue South 71 degrees 12 minutes 52 seconds East 134.73 feet; thence along the North and South 1/4 line of Section 24 due South 558.13 feet to the point of beginning. Except that part, taken, used or deeded for Grand River Avenue.

**BENCH MARKS:**

City of Novi BM 2442 – Bench Tie set in North face of Power Pole South of Intersection of Grand River Avenue and Seeley Road, West side of Building #40391. Elevation: 873.56 (NAVD 88)



**STORM WATER BIOSWALE**  
(NOT TO SCALE)



**LEGEND**

PR. GRADE	—	×870.00
PR. CONTOUR	—	880
PR. STORM SWR.	—	
PR. SANITARY SWR.	—	
PR. COMPACTED SAND BACKFILL	—	
PR. HYDRANT	—	
PR. GATE VALVE	—	
PR. CATCH BASIN	—	
PR. MANHOLE	—	
PR. R.Y.C.B.	—	
PR. REVERSE CURB	—	
PR. SILT FENCE	—	
PR. ASPHALT	—	
PR. MILL & OVERLAY	—	
PR. CONCRETE	—	
PR. SILT SACK/INLET FILTER	—	
DRAINAGE ARROW	—	V.I.F.
VERIFY IN FIELD	—	TC.000.00
TOP OF CURB ELEV.	—	CU.000.00
GUTTER PLAN ELEV.	—	TW.000.00
TOP OF WALK ELEV.	—	TA.000.00
TOP OF ASPHALT	—	

**Notes:**

Survey information & legal description taken from Alta Survey performed by Ledy Survey Group dated 11/02/09.

On Site Soils Consist of: (59) Urban Land, Northwest corner of property, 13B, OSHEMO-BOYER LOAMY SANDS Per USDA Soils Map

Proposed addition is to drain into the detention basin.

Approximately 2,019 square feet of additional impervious area proposed.

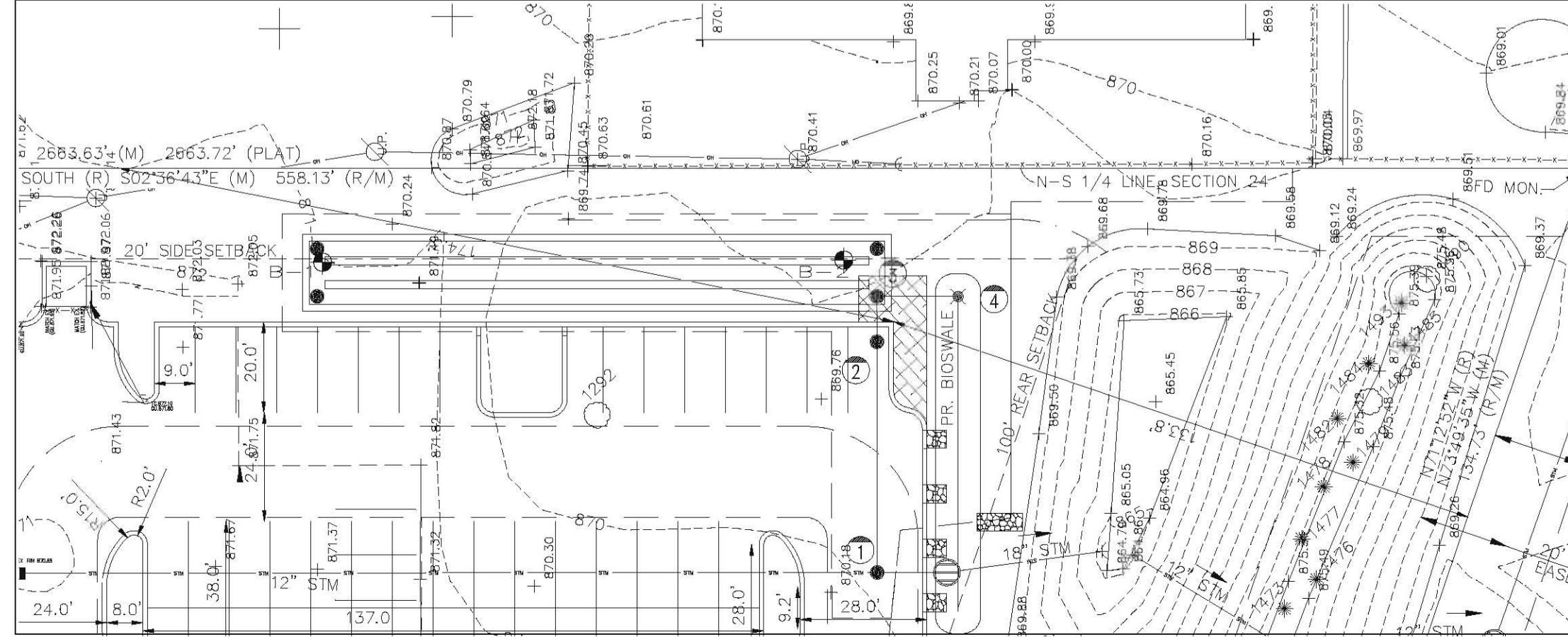
All work shall conform to the current City of Novi Standards & Specifications.

Compacted Class II sand backfill shall be provided for all utilities within the influence of the paved areas.

Dewatering is NOT anticipated. However if it is encountered, a dewatering plan shall be submitted to the Engineering Department for Review.

City of Novi inspecting engineers shall verify the bearing capacity of the native soils to verify an adequate bedding depth is provided.

It is the intent that all proposed grades shown where new pavement abuts existing pavement represent existing grades (i.e Match Existing).



- ④ INSTALL 4" dia OVERFLOW R.Y.C.B. w/ 4" SUMP & TRAPPED OUTLET RIM 869.00 12" INV. 865.40 N.
- ③ INSTALL 4" ACCESS MANHOLE RIM 870.50 36" INV. 865.30 N.&E. 12" INV. 865.30 W.&S.
- ② INSTALL 4" dia MAINTENANCE M.H. w/ 3" SUMP RIM 870.25 12" INV. 865.25 E. 12" INV. 865.25 W. w/ 3" RESTRICTOR
- ① INSTALL 4" dia M.H. OVER EX. 12" STORM SEWER RIM 870.25 12" INV. 865.00 E. EX. 12" INV. 864.87 N.&S. (VIF)



**Mickalich Engineering, Inc.**  
Civil Engineering | Land Surveying | Planning  
15243 Hawley Road (586) 246-9872  
Holly, MI 48442 amickalich@gmail.com

Engineer's Seal  
**ORIGINAL SIGNATURE IN BLUE**

Project Title  
**KROGER OFFICE**  
FACILITY ENGINEERING EXPANSION  
NOVI, MI

Sheet Title  
**SITE PLAN FOR NEW ADDITION**

Client  
**JEFFERY A. SCOTT ARCHITECTS P.C.**

Date	Issued for	By
08/22/13	DETENTION VOLUME	
09/23/13	MUNICIPAL REVIEW	

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**



Know what's below  
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MISS DIG System, Inc.

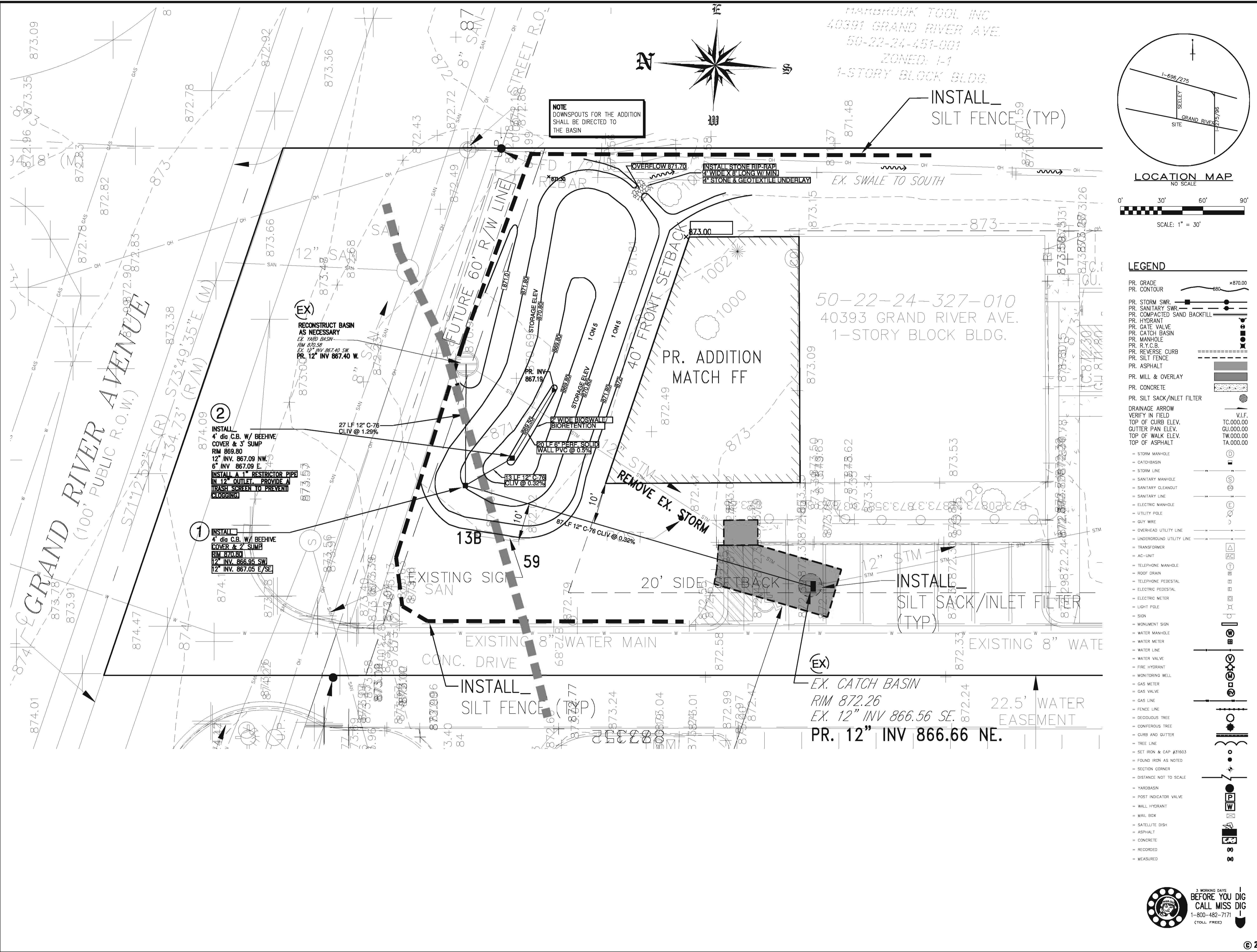
1-800-482-7171 www.missdig.net  
(TOLL FREE)

Scale	1"=30'
Drawn	PPP
Checked	APM
Approved	APM
Date	08/20/13

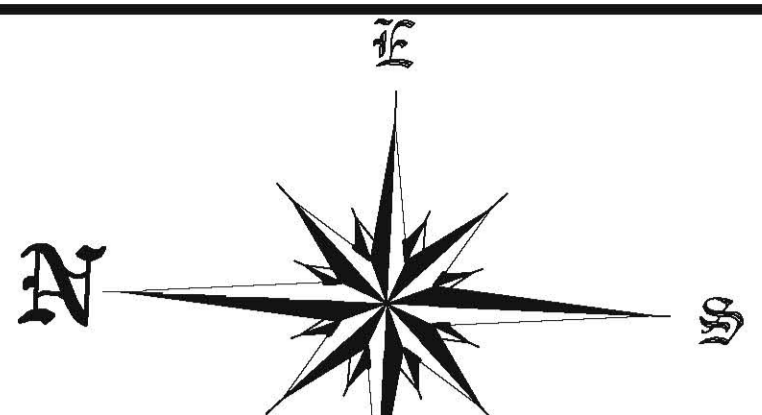
Job no.  
**13-073**

Sheet no.  
**1 OF 3**



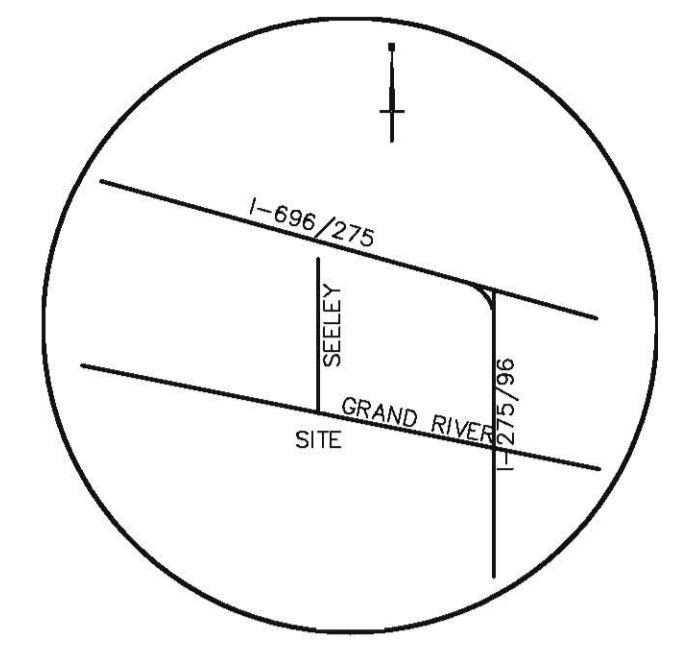


**NOTE**  
DOWNSPOUTS FOR THE ADDITION SHALL BE DIRECTED TO THE BASIN



HARBORCRAFT TOOL INC  
40391 GRAND RIVER AVE.  
50-22-24-451-001  
ZONED: I-1  
1-STORY BLOCK BLDG.

INSTALL SILT FENCE (TYP)



**LOCATION MAP**  
NO SCALE  
SCALE: 1" = 30'

**LEGEND**

- PR. GRADE
- PR. CONTOUR
- PR. STORM SWR.
- PR. SANITARY SWR.
- PR. COMPACTED SAND BACKFILL
- PR. HYDRANT
- PR. GATE VALVE
- PR. CATCH BASIN
- PR. MANHOLE
- PR. R.C.C.B.
- PR. REVERSE CURB
- PR. SILT FENCE
- PR. ASPHALT
- PR. MILL & OVERLAY
- PR. CONCRETE
- PR. SILT SACK/INLET FILTER
- DRAINAGE ARROW
- VERIFY IN FIELD
- TOP OF CURB ELEV.
- GUTTER PAN ELEV.
- TOP OF WALK ELEV.
- TOP OF ASPHALT
- V.I.F.
- TC.000.00
- CU.000.00
- TW.000.00
- TA.000.00
- STORM MANHOLE
- CATCH-BASIN
- STORM LINE
- SANITARY MANHOLE
- SANITARY CLEANOUT
- SANITARY LINE
- ELECTRIC MANHOLE
- UTILITY POLE
- GLY WIRE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- TRANSFORMER
- AC-LINE
- TELEPHONE MANHOLE
- ROOF DRAIN
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- ELECTRIC METER
- LIGHT POLE
- SIGN
- MONUMENT SIGN
- WATER MANHOLE
- WATER METER
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- MONITORING WELL
- GAS METER
- GAS VALVE
- GAS LINE
- FENCE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- CURB AND GUTTER
- TREE LINE
- SET IRON & CAP #31603
- FOUND IRON AS NOTED
- SECTION CORNER
- DISTANCE NOT TO SCALE
- YARDBASIN
- POST INDICATOR VALVE
- WALL HYDRANT
- MAIL BOX
- SATELLITE DISH
- ASPHALT
- CONCRETE
- RECORDED
- MEASURED

# MEI

Mickalich Engineering, Inc.  
Civil Engineering | Land Surveying | Planning

15243 Hawley Road (586) 246-9872  
Holly, MI 48442 amickalich@gmail.com

Engineer's Seal

ORIGINAL SIGNATURE IN BLUE

---

Project Title

**KROGER OFFICE**  
FACILITY ENGINEERING EXPANSION  
NOVI, MI

---

Sheet Title

**STORM WATER MANAGEMENT PLAN**

---

Client

**JEFFERY A. SCOTT ARCHITECTS P.C.**

---

Date	Issued for	By
08/22/13	DETENTION VOLUME	
09/23/13	MUNICIPAL REVIEW	

---

**3 FULL WORKING DAYS BEFORE YOU DIG CALL**

## 811

Know what's below  
Call before you dig

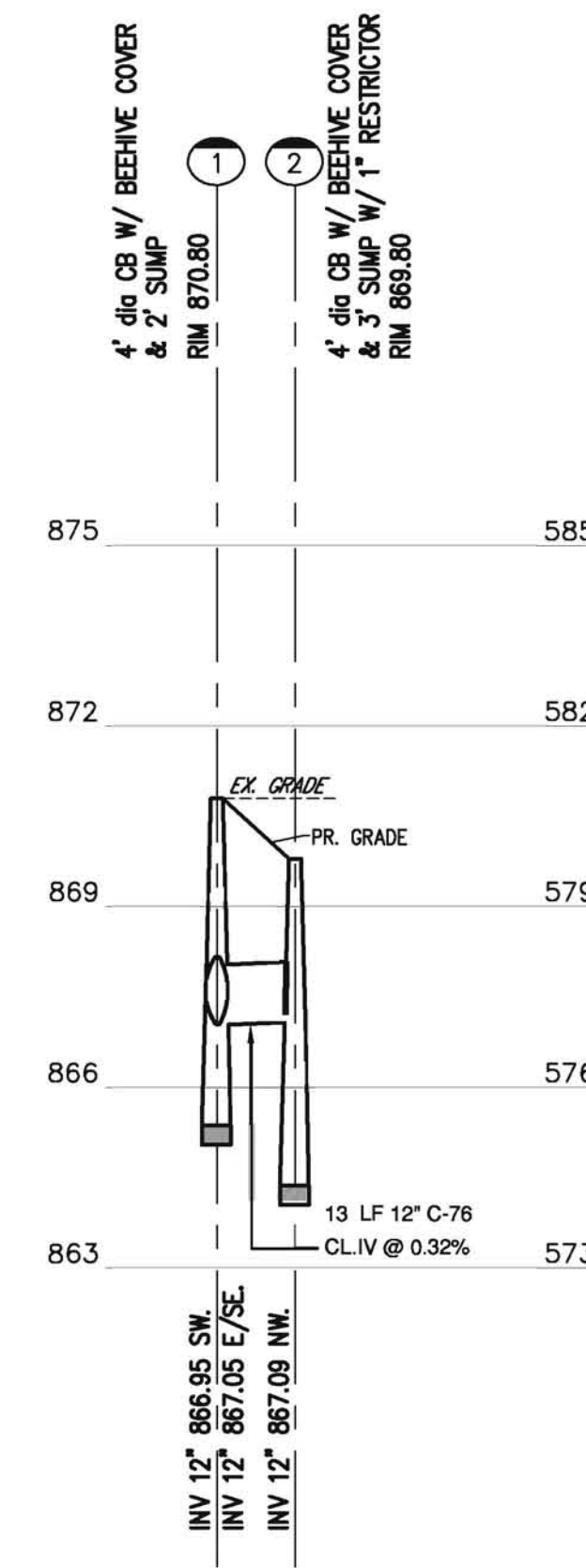
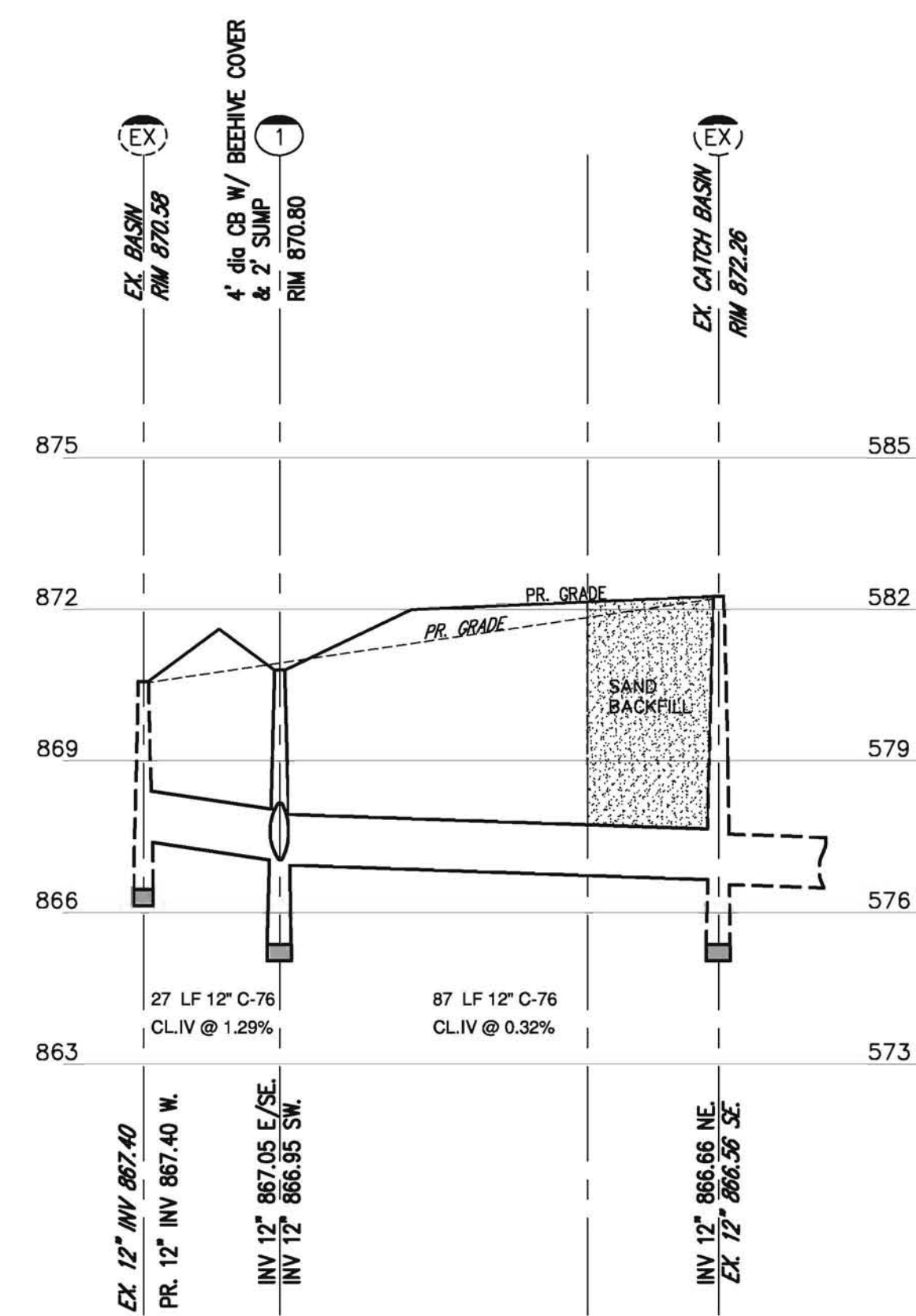
MISS DIG System, Inc.  
1-800-482-7171 www.missdig.net  
(TOLL FREE)

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Scale	1" = 10'
Drawn	RPP
Checked	APM
Approved	APM
Date	08/20/13
Job no.	13-073
Sheet no.	2 OF 3

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1-800-482-7171 (TOLL FREE)

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Proposed Storm Water Management

The existing storm catch that is located at the north property line shall remain and continue to except runoff from the Grand River right-of-way. The existing 12" pipe from the catch shall be removed, a new system of pipes and catch basins shall be installed in conjunction with a detention basin and bioretention swale for water quality. The outlet from this system shall remain the same as previous.

Bioretention:

The existing soil conditions in the area of the proposed bioswale is at the boundary of two classifications of soils per the USDA soil map, 13B and 59. The material for 13B has been identified as a soil that has a High transmit coefficient with rates from 3.96 ft/day to 11.9 ft/day.

Surface Area required:

$$A_f = \frac{V_{ff} \times d_f}{k(h_f + d_f)t_f}$$

relative to existing soils

$$A_f = \frac{81 \times 1}{2(0.3 + 1.0)(1.66)}$$

$$A_f = 18.75 \text{ sf surface area}$$

$V_{ff} = 81 \text{ cft}$   
 $k = 2.0 \text{ ft/day this conservative}$   
 $t_f = 1.66 \text{ (40hrs per EPA reqmts)}$

Restrictor Calculation

$$Q = 0.15 \text{ cfs/ac} \times 0.155 \text{ ac} = 0.023 \text{ cfs}$$

$$A = \frac{Q}{0.62 \times (2gh)^{1/2}}$$

$$A = \frac{0.023}{0.62 \times (64.4 \times (870.80 - 867.09))^{1/2}}$$

$$A = 0.0024 \text{ sf}$$

$D = ((4 \times 0.0024)/3.14)^{1/2} \times 12 = 0.66"$ , use a 1" diameter restrictor to prevent clogging.

Detention Calculation

$$\text{Drainage area} = 0.155 \text{ ac.}$$

$$\text{Weighted runoff coef.} = \frac{0.109(0.15) + 0.046(0.95)}{0.155} = 0.39$$

$$Q_0 = 0.15/0.95 = 0.158$$

$$T_{100} = -25 + ((10.3125/0.158))^{1/2} = 230.5$$

$$V_s = \frac{16,500(230.5)}{230.5 + 25} + 40(0.158)(230.5) = 13,428.8$$

$$VT = 13,430 \times 0.155 \times 0.39 = 812 \text{ cf}$$

VOLUME PROVIDED 942 CF

**MEI**

Mickalich Engineering, Inc.

Civil Engineering | Land Surveying | Planning

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 Holly, MI 48442 amickalich@gmail.com

Engineer's Seal

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SIGNATURE  
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Project Title

**KROGER OFFICE  
 FACILITY ENGINEERING EXPANSION  
 NOVI, MI**

Sheet Title

**STORM WATER  
 MANAGEMENT PLAN  
 PROFILES**

Client

**JEFFERY A. SCOTT  
 ARCHITECTS P.C.**

Date Issued for By

**3 FULL WORKING DAYS  
 BEFORE YOU DIG CALL**

**811**

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 (TOLL FREE)

Scale 1" = 10'

Drawn RPP

Checked APM

Approved APM

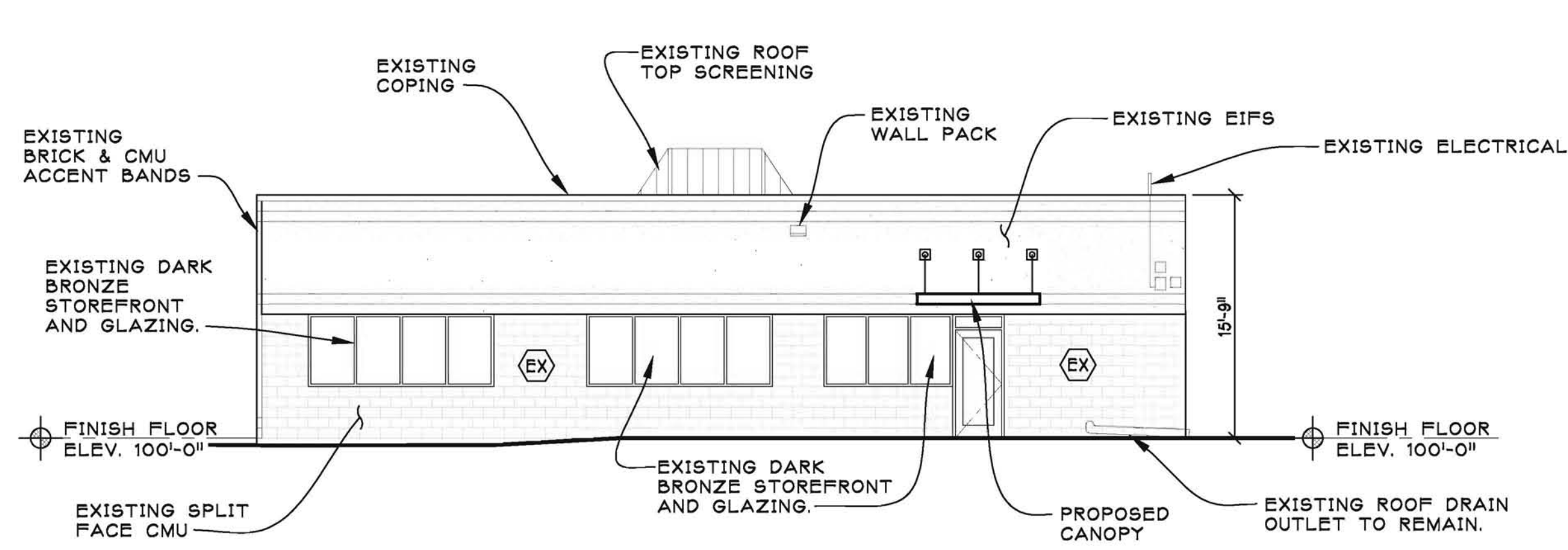
Date 08/20/13

Job no.

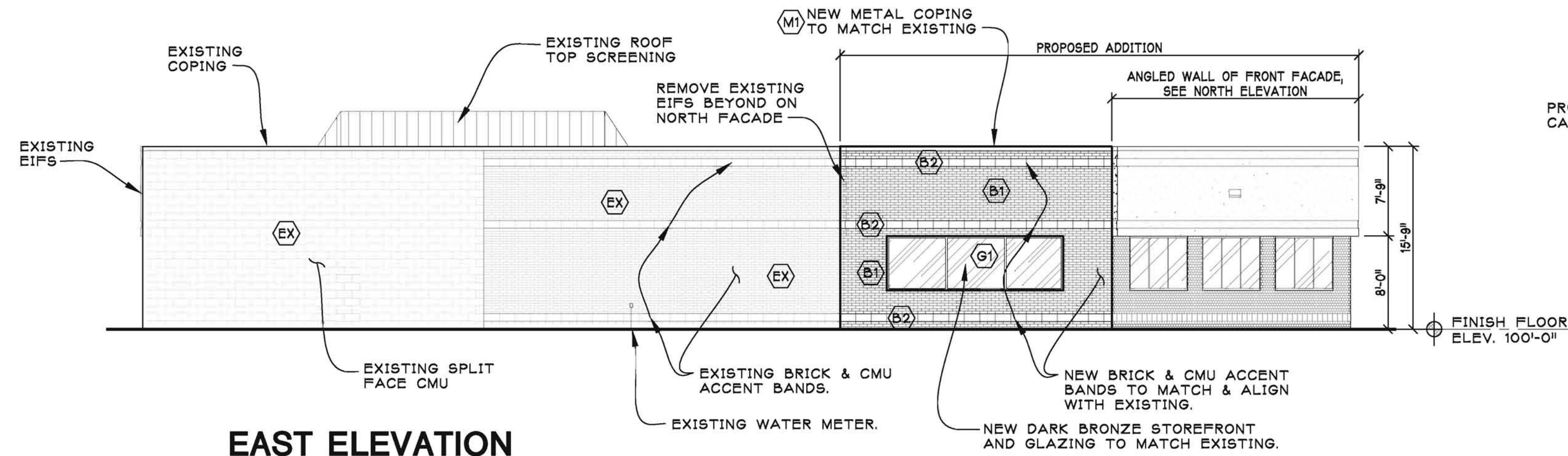
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Sheet no.

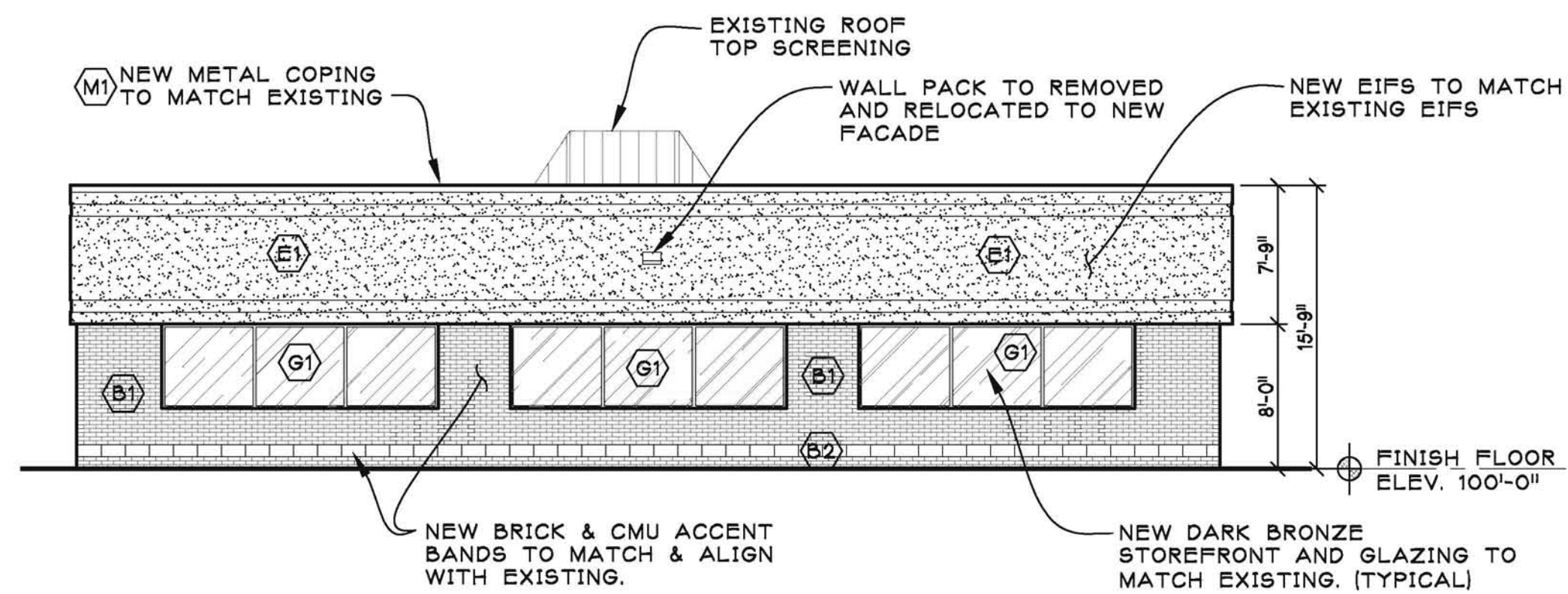
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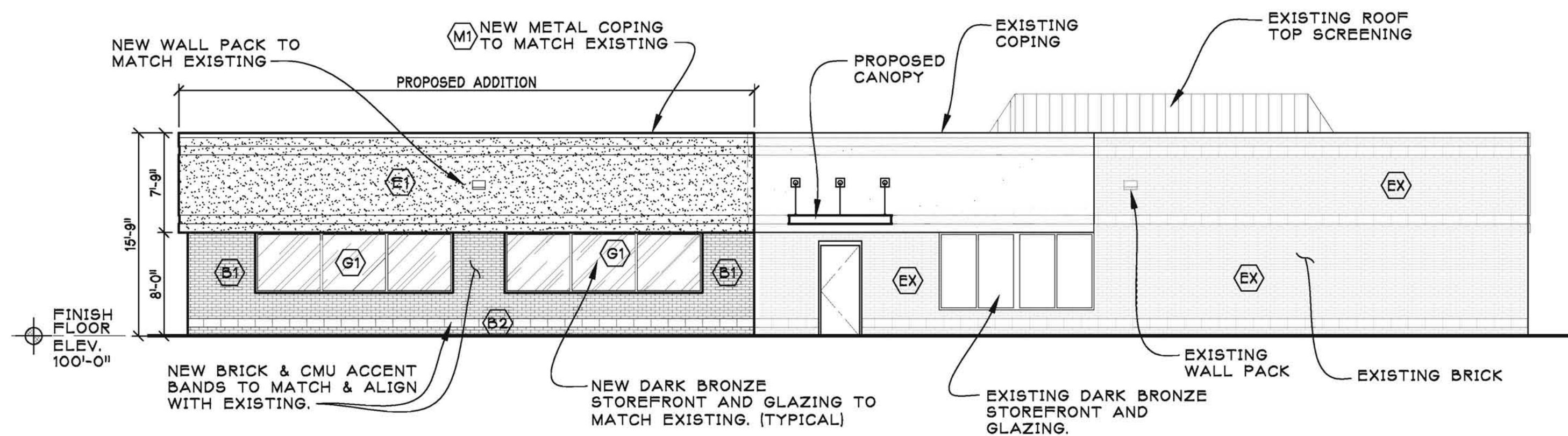
**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



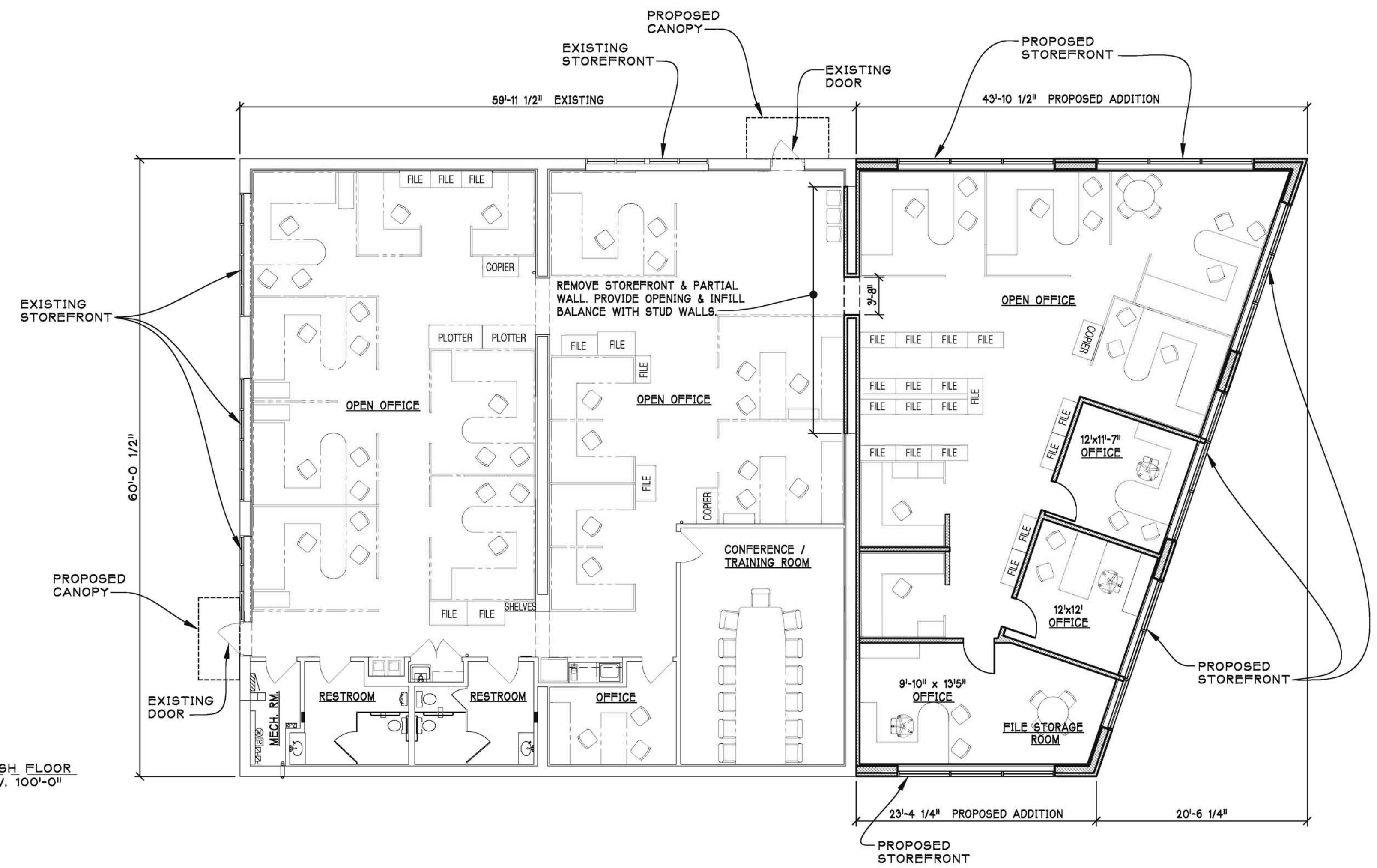
**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0" VIEW PERPENDICULAR TO NORTH FACADE



**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



 **FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISHES	
MATERIAL	DESCRIPTION
<b>MASONRY</b>	
(EX)	MASONRY EXISTING, NO NEW PROPOSED. CLEAN & REPAIR ANY DAMAGE TO MASONRY. REPAINT ALL EXISTING SPLIT FACE CMU.
(B1)	BRICK-1 NEW FACE BRICK TO MATCH EXISTING
(B2)	BLOCK-1 NEW SPLIT FACE CMU TO MATCH EXISTING. PAINT NEW TO MATCH EXISTING.
<b>EXTERIOR INSULATING FINISH SYSTEM</b>	
(E1)	EIFS-1 ALL EXISTING EIFS IS TO BE CLEANED AND REFINISHED, ALL NEW COLOR AND FINISH TO MATCH EXISTING.
<b>EXTERIOR GLAZING</b>	
(G1)	GL-1 1" INSULATED GLAZING WITH DARK BRONZE FRAMING TO MATCH EXISTING. USE TEMPERED GLAZING IN ALL DOORS AND WINDOW PAINS ADJACENT TO A DOOR
<b>EXTERIOR METALS</b>	
(M1)	M-1 ALL NEW PRE-FINISHED METAL COPING. TO MATCH EXISTING.
<b>ALL FINISHES TO MATCH EXISTING</b>	

SITE PLAN APPROVAL 09-23-2013  
PRE-APPLICATION SUBMITTAL 08-28-2013

**PROPOSED EXPANSION FOR**

  
**MICHIGAN DIVISION  
PROPOSED KROGER OFFICE  
FACILITY ENGINEERING EXPANSION**  
40393 GRAND RIVER AVENUE  
NOVI, MICHIGAN 48375  
**THE KROGER CO.**

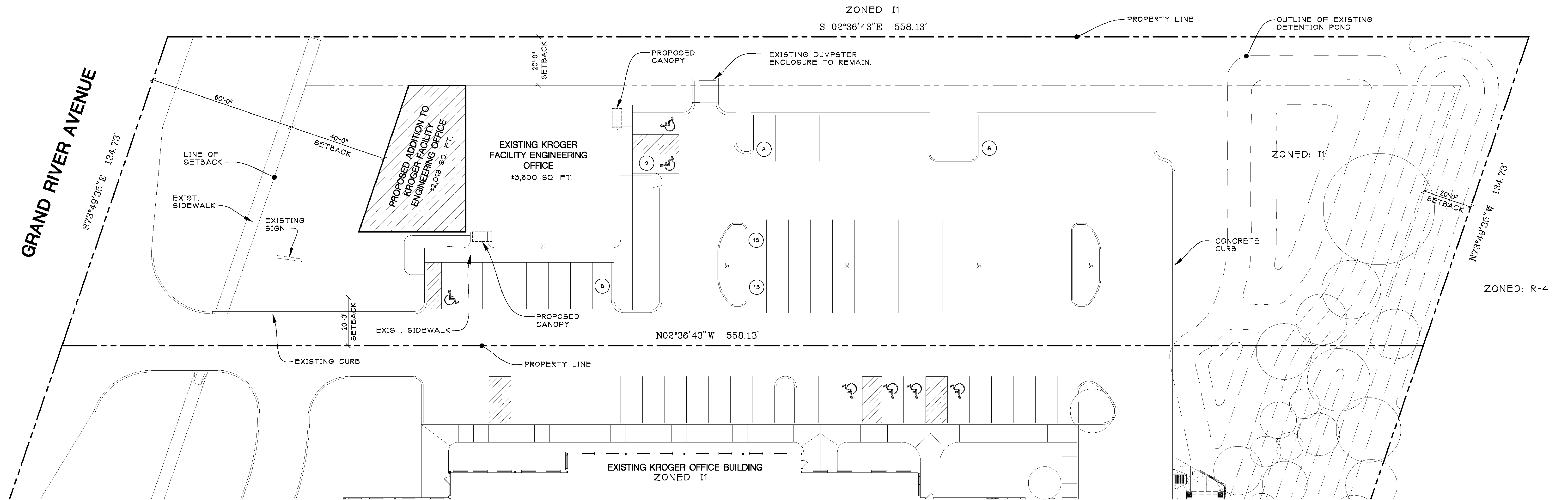
 **jeffery a. scott architects p.c.**

32316 grand river ave. suite 200  
farmington, michigan 48336-3261  
(248) 476-8800 fax (248) 476-8833

**FLOOR PLAN**

project no.	sheet no.
<b>1368</b>	<b>A-1</b>

PLOT FULL SIZE @ 24x36"



**PROPOSED SITE PLAN**  
SCALE 1" = 20'

DETAILS OF DEVELOPMENT		
DATA	REQUIRED	PROVIDED
ZONING	I1 - LIGHT INDUSTRIAL DISTRICT	
SETBACKS		
FY	40'-0"	146'-1"
SY-EAST	20'-0"	19'-6" [EXISTING]
SY-WEST	20'-0"	47'-3"
RY	20'-0"	358'-7"
NET LOT AREA (SQ.FT.)	±71,191 SQ. FT.	
TOTAL ACREAGE	±1.63 ACRES	
BUILDING COVERAGE	8%	
BUILDING HEIGHT	15'-11" ±6"	
GROSS FLOOR AREA	±5,619 SQ. FT.	
# OF PARKING SPACES	17	56 (3 HC)

### LEGAL DESCRIPTION

THE LAND REFERRED TO IS LOCATED IN THE CITY OF NOVI, COUNTY OF OAKLAND, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

PART OF THE SOUTHWEST 1/4 OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, CITY OF NOVI, OAKLAND COUNTY, MICHIGAN, DESCRIBED AS: BEGINNING AT A POINT ON THE NORTH AND SOUTH 1/4 LINE OF SECTION 24, DISTANT DUE NORTH 1810.38 FEET FROM THE SOUTH 1/4 CORNER OF SECTION 24, TOWN 1 NORTH, RANGE 8 EAST, AND PROCEEDING THENCE NORTH 71 DEGREES 12 MINUTES 52 SECONDS WEST 134.73 FEET; THENCE DUE NORTH 558.13 FEET TO A POINT ON THE CENTERLINE OF GRAND RIVER AVENUE; THENCE ALONG CENTERLINE OF GRAND RIVER AVENUE SOUTH 71 DEGREES 12 MINUTES 52 SECONDS EAST 134.73 FEET; THENCE ALONG THE NORTH AND SOUTH 1/4 LINE OF SECTION 24 DUE SOUTH 558.13 FEET TO THE POINT OF BEGINNING, EXCEPT THAT PART, TAKEN, USED OR DEEDED FOR GRAND RIVER AVENUE.

ASSURANCE NOTE: THE ABOVE LEGAL DESCRIPTION DESCRIBES THE SAME PROPERTY AS IN SCHEDULE A OF TITLE COMMITMENT NO. N-105080 OF LAWYERS TITLE INSURANCE CORPORATION BEARING AN EFFECTIVE DATE OF OCTOBER 16, 2009 AT 8:00 A.M.

### GENERAL NOTES

- MAJORITY OF LANDSCAPING WILL REMAIN AS EXISTING. SEE L-1 FOR NEW LANDSCAPE ITEMS.
- EXISTING IRRIGATION SYSTEM TO BE MODIFIED TO SERVE THE CHANGE IN LANDSCAPING PROPOSED AS PART OF THIS PROJECT.
- ANY CHANGES TO SITE SIGNAGE WILL BE ADDRESSED UNDER A SEPARATE SUBMITTAL.
- NO CHANGES IN BUILDING SETBACKS PROPOSED.
- ALL MATERIALS WILL MATCH EXISTING AS INDICATED ON A-1.
- THE SITE PLAN IS BASED ON A SURVEY PREPARED BY LEDY DESIGN GROUP DATED 11-02-09 AS PROVIDED BY THE KROGER COMPANY.

### ZONING DATA:

ZONING CLASSIFICATION: THE PROPERTY IS ZONED: I1 - LIGHT INDUSTRIAL DISTRICT  
MAXIMUM BUILDING HEIGHT: 40 FEET

SETBACKS:  
FRONT SETBACK: 40 FEET  
SIDE SETBACK: 20 FEET  
REAR SETBACK: 20 FEET

NOTE: SIDE & REAR, IF ABUTTING A RESIDENTIAL ZONE FIVE (5) FEET OF HORIZONTAL SETBACK FOR EACH FOOT OF BUILDING HEIGHT, OR ONE HUNDRED (100) FEET, WHICHEVER IS GREATER.

PARKING: BUSINESS OFFICES: ONE (1) FOR EACH TWO HUNDRED TWENTY-TWO (222) SQUARE FEET GLA [4.5 SPACES PER 1,000 SQ. FT. GLA] FOR BUILDINGS UP TO 100,000 SQUARE FEET.

SOURCE: CITY OF NOVI ZONING ORDINANCE  
WEB SITE: [HTTP://WWW.CITYOFNOVI.ORG/](http://WWW.CITYOFNOVI.ORG/)

**811**  
Know what's below.  
Call before you dig.

SITE PLAN APPROVAL 09-28-2013  
PRE-APPLICATION SUBMITTAL 08-26-2013

**PROPOSED EXPANSION FOR:**

**MICHIGAN DIVISION  
PROPOSED KROGER OFFICE  
FACILITY ENGINEERING EXPANSION**

40393 GRAND RIVER AVENUE  
NOVI, MICHIGAN 48375  
THE KROGER CO.

**jeffery a. scott architects p.c.**

32316 grand river ave. suite 200  
farmington, michigan 48336-3261  
(248) 476-8800 fax (248) 476-8833

**ARCHITECTURAL SITE PLAN**

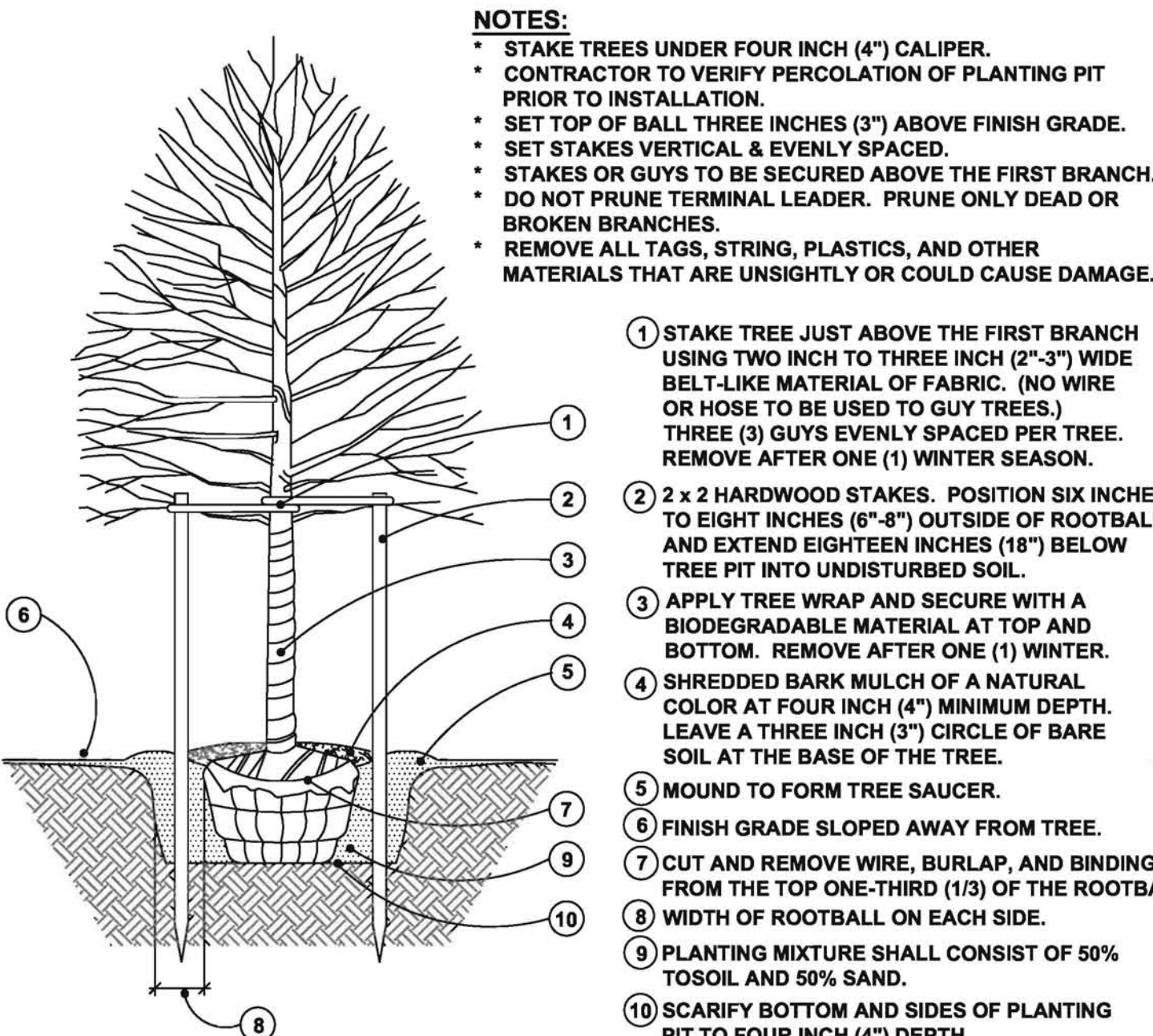
project no. 1368 sheet no. ASP-1

PLOT FULL SIZE @ 24x36

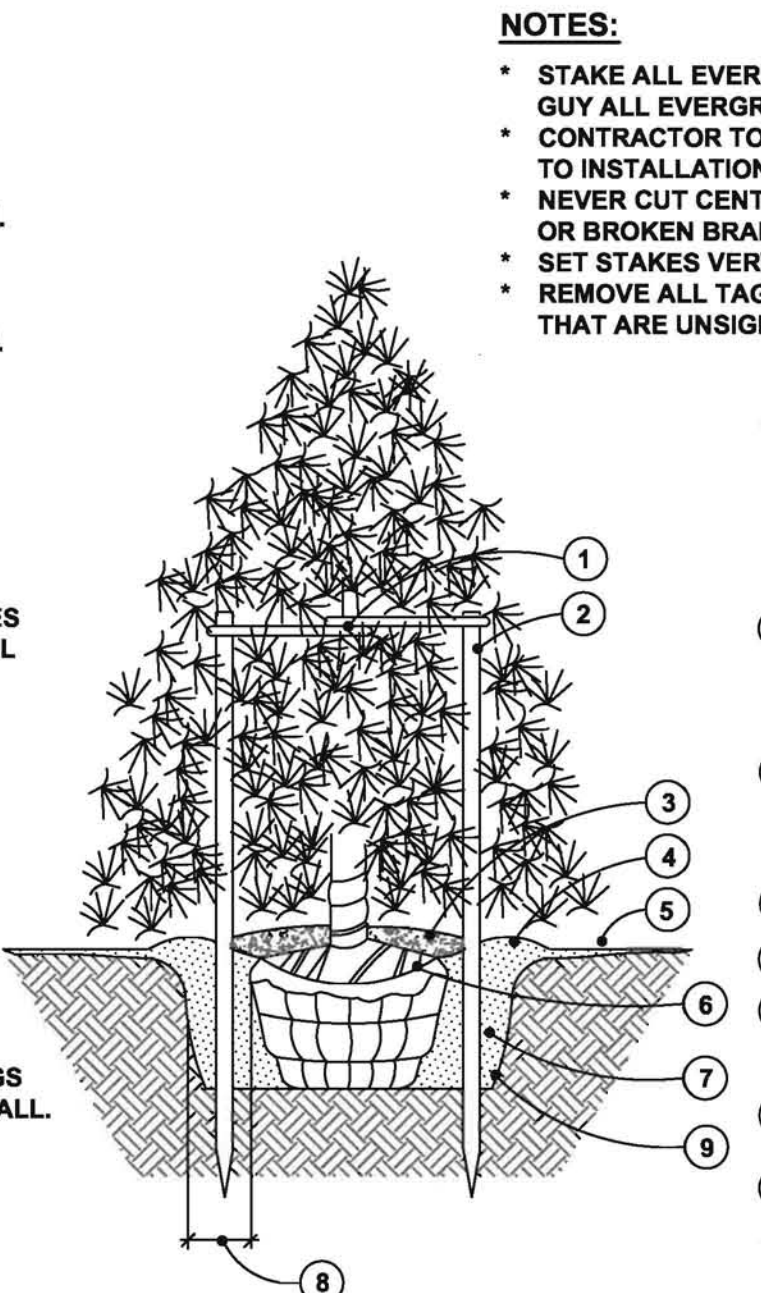
# LANDSCAPE PLANTING NOTES:

## PLANTING

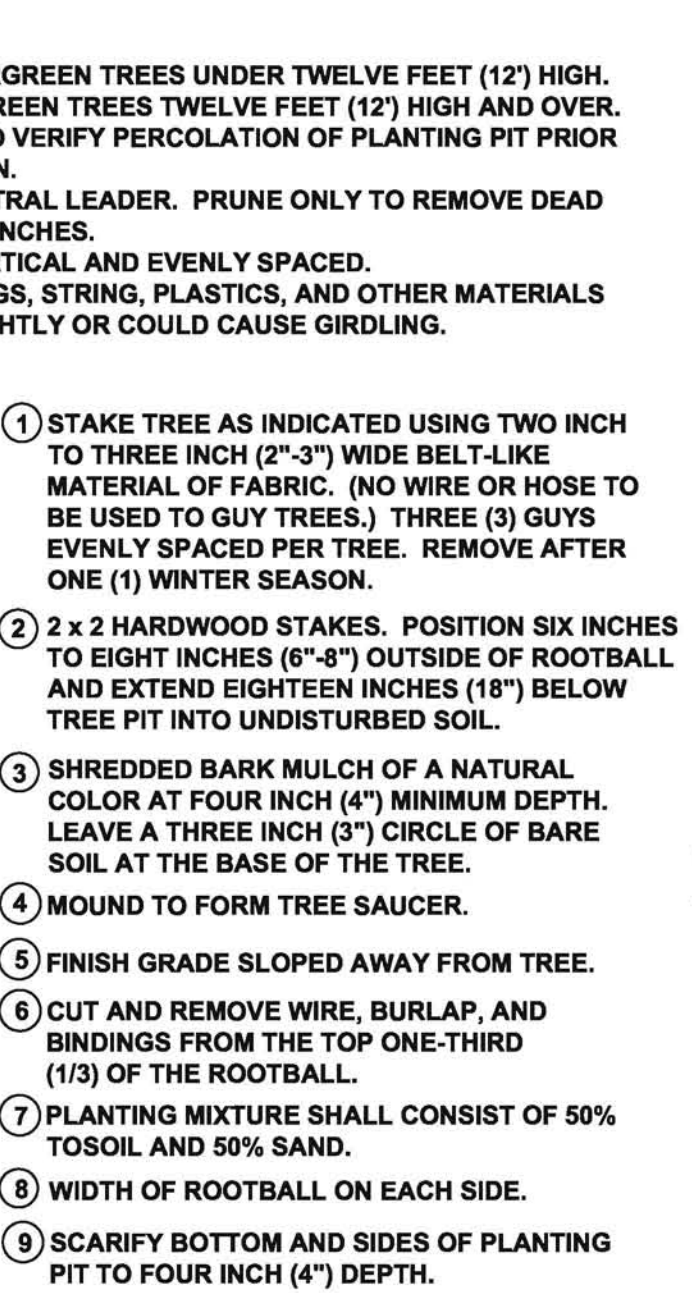
- Installation of all plant material shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock* and with the specifications set forth by the City of Novi, Michigan.
- The plant materials shall conform to the type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the *American Association of Nurserymen Standards for Nursery Stock*.
- The plant material shall be nursery grown and inspected by the Owner's representative before planting. The Owner's representative reserves the right to reject any plant material at any time.
- Plants designated "B&B" shall be balled and burlapped with firm balls of earth.
- Dig shrub pits one foot (1') larger than the shrub rootball, tree pits three (3) times the width of the tree rootball and backfill with one (1) part topsoil and one (1) part soil from excavated pit. Plant trees and shrubs at the same grade level as that which they were planted at the nursery. If wet, clay soils are evident, plant trees and shrubs slightly higher.
- The Contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented to give the best appearance.
- When the plant has been properly set, the pit shall be backfilled with the topsoil mixture, gradually filling, patting, and settling with water.
- Trees in lawn areas to have a four foot (4') circle of mulch, four inches (4") deep, and three inches (3") away from the trunk. Shrub beds are to be mulched with shredded bark mulch to a minimum depth of three inches (3"). Perennial beds are to be mulched with shredded bark mulch to a minimum depth of two inches (2"). Only natural color, finely shredded hardwood bark mulch will be accepted.
- Remove all twine, wire, and burlap from the top one third (1/3) of tree and shrub root balls and from tree trunks. Remove all non-biodegradable material such as plastic or nylon completely from branches and stems. All tree wrap, stakes, and guys are to be removed after one (1) winter season.
- All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured limbs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over three quarters of an inch (3/4") shall be painted with tree paint. Shrubs along the site perimeter shall be allowed to grow together in a natural form.
- Organic, friable topsoil shall be evenly distributed and fine graded over all areas to receive lawns at uniform depth of four inches (4") after settlement.
- All lawn areas shall be sodded with a Grade A Kentucky Blue Grass blend over the topsoil.
- All plantings shall be completed no later than November 30 in the fall season. The date of intended installation for landscape plant materials is approximately Fall, 2011. Plantings shall thereafter be reasonably maintained, including permanence and health of plant materials to provide a screen to abutting properties and including the absence of weeds and refuse.
- Plant trees and shrubs no closer than the following minimum distances from sidewalks, curbs, and parking stalls:
  - Shade/Canopy Trees: Five feet (5')
  - Ornamental/Flowering Trees: Ten feet (10')
  - Evergreen Trees: Five feet (5')
  - Evergreen/Flowering Shrubs: Four feet (4').
- Backfill directly behind all curbs and along sidewalks and compact to the top of curbs or walk to support vehicle and pedestrian weight without settling.
- All landscape areas, especially parking lot islands and landscape beds next to buildings shall be excavated of all building materials and poor soils to a depth of twelve inches to eighteen inches (12"-18") and backfilled with good, medium-textured planting soil (loam or light yellow clay). Add four inches to six inches (4"-6") of topsoil over the fill material and crown a minimum of six inches (6") above the top of curbs and/or walks after earth settling unless otherwise noted on the landscape plan.
- Conversion of all asphalt and gravel areas to landscape planting beds shall be done in the following manner:
  - Remove all asphalt, gravel, and compacted earth to a depth of six inches to eighteen inches (6"-18") depending on the depth of the sub base and dispose of off site; Call for an inspection prior to backfilling;
  - Replace excavated material with good, medium-textured planting soil (loam or light yellow clay) to a minimum of two inches (2") above the top of the curb and sidewalk, add four inches to six inches (4"-6") of topsoil and crown to a minimum of six inches (6") above the adjacent curb and walk after earth settling, unless otherwise noted on the landscape plan.
  - If conversion from asphalt to landscape occurs in or between an existing landscape area(s), replace excavated material from four inches to six inches (4"-6") below adjacent existing grade with good, medium-textured planting soil (loam or light yellow clay) and add four inches to six inches (4"-6") of topsoil to meet existing grades after earth settling.
- Edging shall consist of Perma-loc aluminum edging or approved equivalent.
- Elevate the rootballs of Yew shrubs to allow for better drainage.



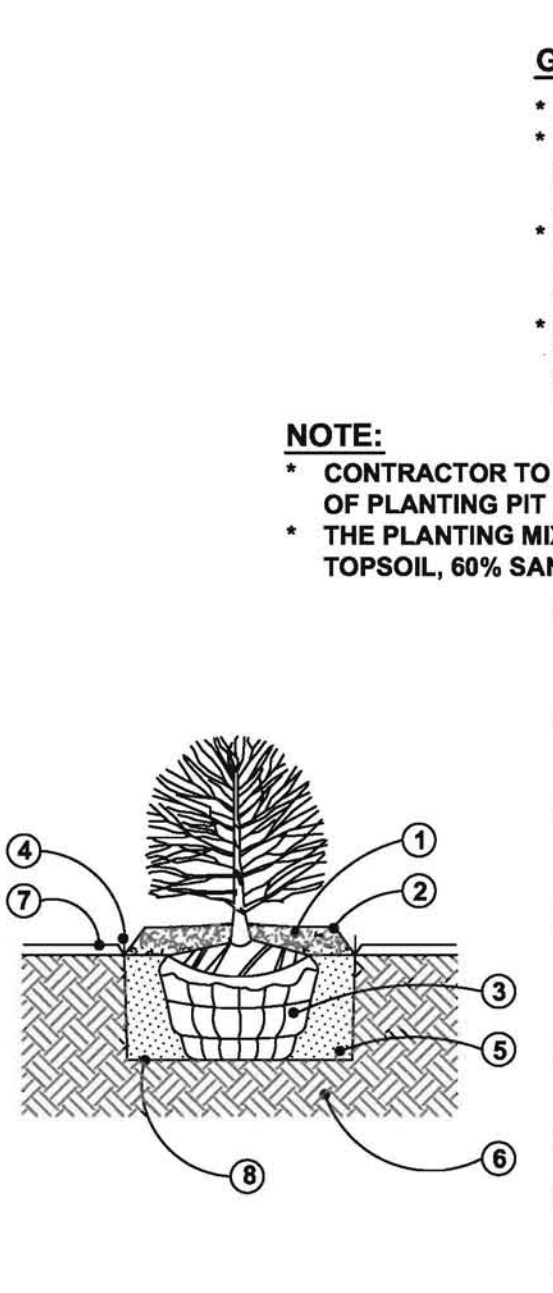
DECIDUOUS TREE PLANTING DETAILS



EVERGREEN TREE PLANTING DETAILS



SHRUB PLANTING DETAILS



PERENNIAL / GROUNDCOVER PLANTING DETAILS

- NOTES:**
- STAKE TREES UNDER FOUR INCH (4") CALIPER.
  - CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
  - SET TOP OF BALL THREE INCHES (3") ABOVE FINISH GRADE.
  - SET STAKES VERTICAL & EVENLY SPACED.
  - STAKES OR GUYS TO BE SECURED ABOVE THE FIRST BRANCH.
  - DO NOT PRUNE TERMINAL LEADER. PRUNE ONLY DEAD OR BROKEN BRANCHES.
  - REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE DAMAGE.

- NOTES:**
- STAKE ALL EVERGREEN TREES UNDER TWELVE FEET (12') HIGH. GUY ALL EVERGREEN TREES TWELVE FEET (12') HIGH AND OVER.
  - CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
  - NEVER CUT CENTRAL LEADER. PRUNE ONLY TO REMOVE DEAD OR BROKEN BRANCHES.
  - SET STAKES VERTICAL AND EVENLY SPACED.
  - REMOVE ALL TAGS, STRING, PLASTICS, AND OTHER MATERIALS THAT ARE UNSIGHTLY OR COULD CAUSE GIRDLING.

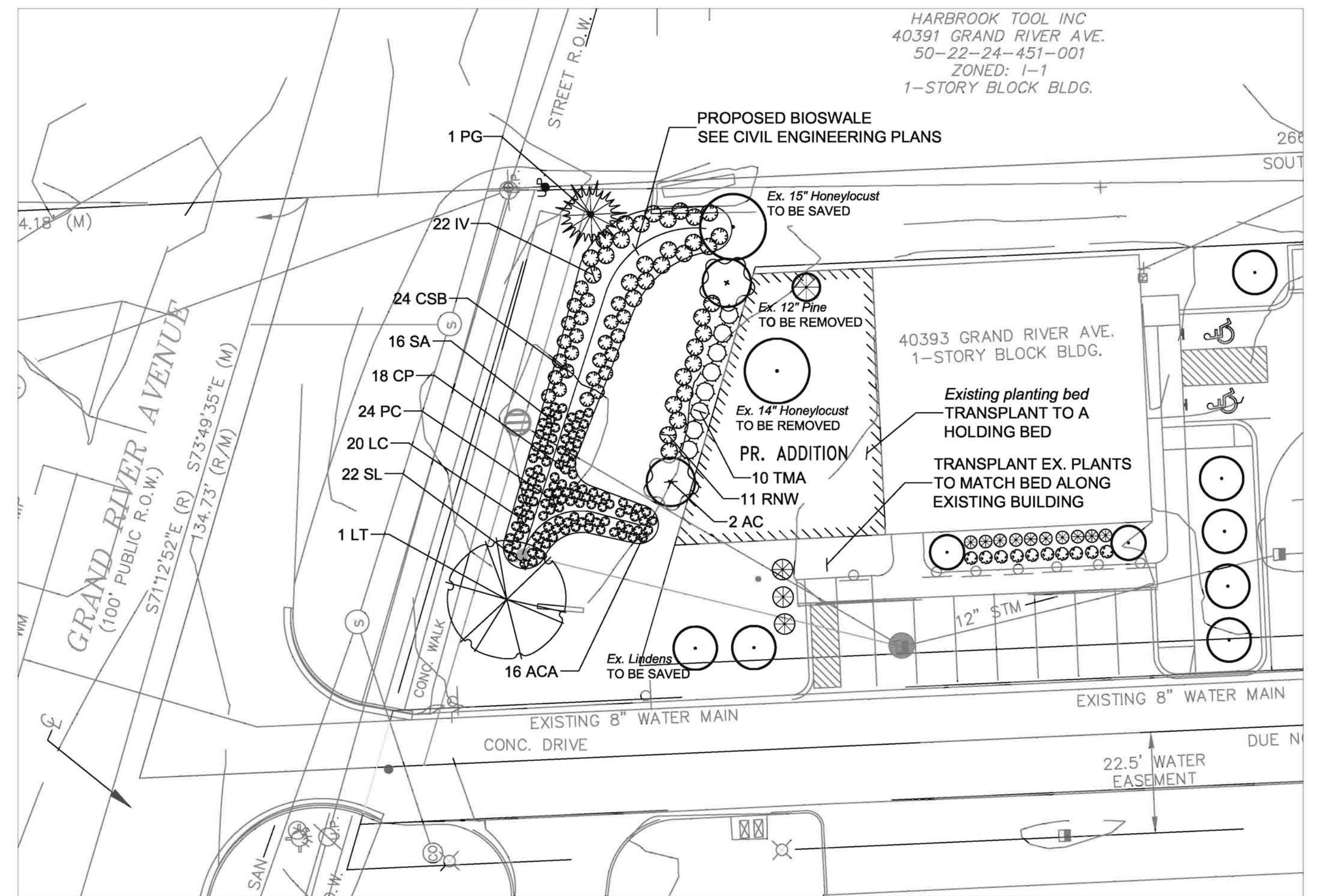
- NOTE:**
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
  - THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.

- NOTE:**
- CONTRACTOR TO VERIFY PERCOLATION OF PLANTING PIT PRIOR TO INSTALLATION.
  - PERENNIALS TO BE PLANTED UP TO THE EDGE OF THE SAUCER AROUND A TREE OR SHRUB BED.
  - THE PLANTING MIXTURE SHALL CONSIST OF 20% TOPSOIL, 60% SAND, AND 20% COMPOST.

- GENERAL NOTES FOR ALL PLANTINGS:**
- DO NOT CUT CENTRAL LEADER.
  - REMOVE ALL TAGS, STRINGS, PLASTICS, AND ANY OTHER NON-BIODEGRADABLE MATERIALS (EXCEPT LABEL FOR PLANT NAME) FROM PLANT STEMS OR CROWN WHICH ARE UNSIGHTLY OR COULD CAUSE GIRDLING.
  - PLANTS SHALL BEAR THE SAME RELATION TO FINISH GRADE AS IT BORE TO THE PREVIOUS GRADE IN THE NURSERY. SET THE BASE OF THE PLANT SLIGHTLY HIGHER THAN EXISTING GRADE IF PLANTING IN CLAY SOILS.
  - CENTER THE ROOTBALL IN THE PLANTING HOLE. LEAVE THE BOTTOM OF THE PLANTING HOLE FIRM. USE WATER TO SETTLE THE PLANTING MIX AND REMOVE ANY AIR POCKETS AND FIRMLY SET THE TREE OR SHRUB. GENTLY TAMP IF NEEDED.
- SHREDDED BARK MULCH AT THREE INCH (3") MINIMUM DEPTH. MULCH SHALL BE NATURAL IN COLOR.
  - FORM A SAUCER WITH MULCH AND SOIL AROUND SHRUB BED.
  - CUT AND REMOVE BURLAP AND BINDINGS FROM THE TOP ONE-THIRD (1/3) OF THE ROOTBALL.
  - 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
  - EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX.
  - UNDISTURBED SUBGRADE.
  - LAWN.
  - SCARIFY SUBGRADE.
- SEE PLANT LIST FOR SPACING DISTANCE.
  - SHREDDED HARDWOOD BARK OF A NATURAL COLOR MULCH AT TWO INCH (2") MINIMUM DEPTH.
  - 3/16" x 4" ALUMINUM EDGING (OR APPROVED EQUIVALENT) OR SPADED EDGE.
  - EXCAVATE PLANTING BED AND BACKFILL WITH PREPARED PLANTING MIX AT A TEN INCH (10") DEPTH.
  - UNDISTURBED SUBGRADE.
  - PLANTING MIX TO CONSIST OF EQUAL PARTS OF SAND, LEAF COMPOST, AND NATIVE SOIL.
  - LAWN.

# MAINTENANCE OF THE BIOSWALE:

- WEEDING:** Weeding should be conducted on a regular basis and at least once a month. Weeding is particularly important during the establishment period to insure that unwanted plants do not become a problem. Weed once per month in April and May, twice per month in June and July, and once per month in August, September, and October. The native plants proposed should be marked at the time of planting to avoid confusion regarding unwanted plants.
- WATERING:** Watering should be performed as needed. During the establishment period after the initial planting, watering is very important and should be conducted every two to three (2-3) days. The initial planting should be checked regularly for appropriate moisture availability. Two (2) methods for determining adequate moisture levels include the following: a.) if the plants wilt during the day when the temperature is at its highest, but revive during the night, then watering is not necessary, and b.) by testing the soil moisture at a depth of four inches (4") by inserting a small rod into the soil. If the soil is moist at a depth of four inches (4"), then watering is not necessary. When possible, the best method for watering is by hand at the base of the plant.
- MULCHING:** Mulch should be placed around the base of each plant to a depth of two to three inches (2"-3") for complete coverage within the planting bed. The mulch inhibits weed species and helps to retain moisture. Natural organic mulch without coloring dyes should be used and may include shredded hardwood bark mulch, cedar bark mulch, and shredded leaves. Do not use mulch nuggets or large chunks of wood as they may float and move around during inundated conditions. It is suggested that the initial application consist of the shredded hardwood or cedar bark mulch with reapplications after the first year of shredded leaves twice a year.
- EDGING:** The edge of the bioswale should be maintained to avoid grass growing into the planting bed. The edge can be maintained with a V-notch cut edge or with steel or aluminum edging. If the V-notch system is used, the channel should be maintained at four inches (4") or greater and renewed every eight (8) weeks.
- CUTTING BACK:** Tall wildflowers should be cut back by one-third. Early flowering plants can be cut back in late June or early July and late flowering plants in late October.
- THINNING:** After the bioswale has become established and thriving, it may be necessary to thin perennials by dividing individual plants in Spring or Fall.
- REPLACEMENT:** Any plants that die or become diseased should be replaced. Plant health should be checked regularly with very poor or dead plants replaced in the Spring or Fall.
- INFILTRATION:** Stormwater runoff should percolate through the system in four to six (4-6) hours. If pooling of water is evident after this time period check for blockages not allowing water seepage. If the problem is a result of fine sediments built up on the filter fabric, punch small holes in the filter fabric using a two foot to three foot (2'-3') number four (#4) reinforcing rod. If the soils are the problem, install a sand filter at least one foot (1') in width between the mulch layer and the underdrain system. If a clean out pipe is installed as a part of the system, check for any blockages that may reduce water infiltration.
- REMOVAL OF LITTER AND DEBRIS:** Litter, trash, and debris should be removed on a regular basis to insure that inlets remain free flowing and to keep the area in a neat and attractive appearance.
- INORGANIC APPLICATIONS:** In general, bioswales do not need fertilization as nutrients from surrounding areas is usually at an elevated level. If soil fertility appears to be an issue, the soil should be tested and appropriate actions taken based on the results. Insecticides, herbicides, fungicides, and rodenticides should not be used in the bio-retention pond. If a plant is diseased or infested with insects, it should simply be removed and replaced. The planting should be monitored annually in late Spring until it is well established.



LANDSCAPE PLANTING PLAN

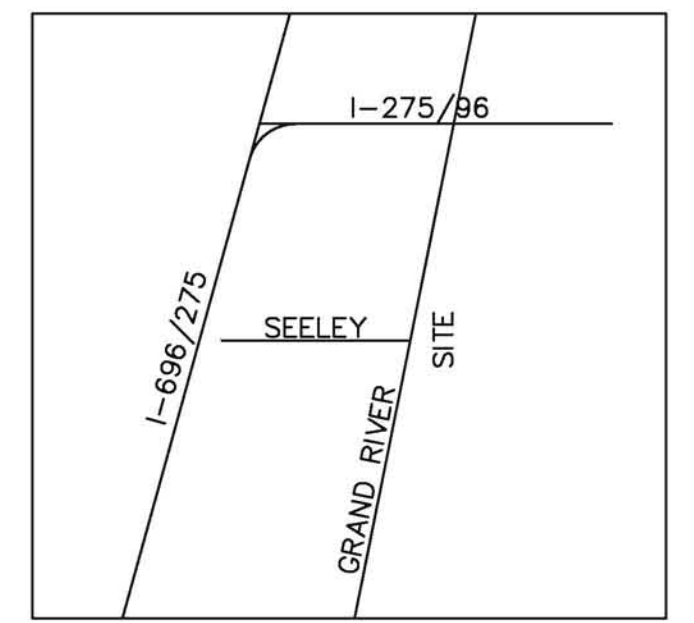
scale: 1" = 20'

# PLANT LIST

KEY QTY.	BOTANICAL NAME	COMMON NAME	SIZE
<b>FOUNDATION PLANTING</b>			
AC 2	<i>Amelanchier canadensis</i>	Serviceberry	2" cal. B&B
RNW 11	<i>Rosa sp. 'Nearly Wild'</i>	Nearly Wild Rose	24" ht., 3 gal. pot
TMA 10	<i>Taxus x media 'Angelica'</i>	Angelica Yew	30" ht. B&B
<b>DETENTION POND PLANTINGS</b>			
<b>Trees</b>			
LT 1	<i>Liriodendron tulipifera</i>	Tuliptree	3" cal. B&B
PG 1	<i>Picea glauca</i>	White Spruce	8' ht. B&B
<b>Shrubs</b>			
IV 22	<i>Ilex verticillata</i>	Winterberry	24" ht., 3 gal. pot
CSB 24	<i>Cornus sericea 'Bailey'</i>	Bailey Red-Twig Dogwood	24" ht., 3 gal. pot
<b>Emergent Plantings</b>			
ACA 16	<i>Acorus calamus</i>	Sweet Flag	Bare Root
CP 18	<i>Caltha palustris</i>	Marsh Marigold	Bare Root
LC 20	<i>Lobelia cardinalis</i>	Cardinalflower	Bare Root
PC 24	<i>Pontederia cordata</i>	Pickeral Weed	Bare Root
SA 16	<i>Scirpus acutus</i>	Hard-Stemmed Bulrush	Bare Root
SL 22	<i>Sagittaria latifolia</i>	Broad-Leaf Arrowhead	Bare Root

# COST ESTIMATE

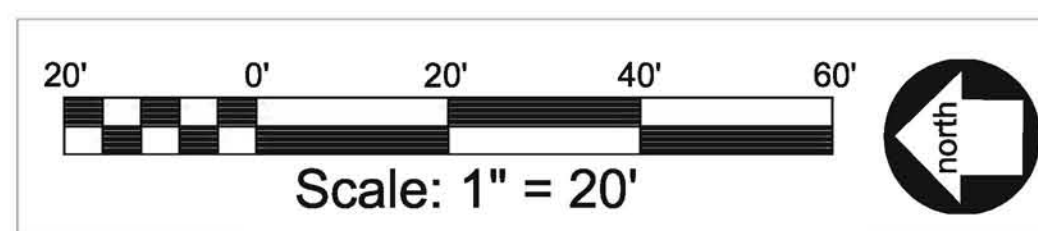
TOTAL MATERIALS SPECIFIED:			
* Deciduous Trees:	1	\$400	\$400.00
* Evergreen Trees:	1	\$325	\$325.00
* Ornamental Trees:	2	\$250	\$500.00
* Deciduous Shrubs:	57	\$50	\$2,850.00
* Evergreen Shrubs:	10	\$50	\$500.00
* Underground Irrigation Adjustment			\$1,000.00
* Emergent Plantings	116	\$5	\$580.00
* Tree Removal	2	\$300	\$600.00
* Transplants			\$1,000.00
* Shredded Hardwood Bark	8 cu. yds.	\$30	\$240.00
<b>TOTAL</b>			<b>\$7,995.00</b>



LOCATION MAP n.t.s.

**SOIL TYPE:**  
The soil on site consists of Urban Land (59) according to the *Soil Survey of Oakland County*.

date: August 22, 2013  
revised:



**LANDSCAPE PLAN FOR:**  
Jeffery A. Scott  
Architects P.C.  
32316 Grand River Ave.  
Farmington, Michigan  
48336-3261

**PROJECT LOCATION:**  
Proposed Kroger Division  
Engineering Office  
40393 Grand River Avenue  
Novi, Michigan 48375

LANDSCAPE PLAN BY:  
J. Brian Devlin, R.L.A.  
31736 West Chicago Ave.  
Livonia, Michigan 48150  
(734) 634-9208

L - 1: LANDSCAPE PLANTING PLAN  
\* Base data provided by Mickalich Engineering, Inc.