



THE BOND (fka The District) JSP18-10

THE BOND JSP 18-10

Consideration at the request of Bond at Novi LLC for JSP 18-10 for recommendation to the City Council for approval or denial of the revised Preliminary Site Plan and Storm Water Management Plan. The subject property is zoned TC-1 (Town Center One) and is approximately 7.74 acres. It is located west side of the recently renamed Bond Street in the south west corner of Grand River Avenue and Novi Road in Section 22. The applicant previously received approval of the proposal of a mixed-use development with two four-story multi-family residential buildings with a total of 260 apartments and a single-story commercial building (5,578 SF). The current submittal makes revisions that will require modifications of some of the previously approved waivers.

Required Action

Recommendation to City Council for approval or denial of revised Preliminary Site Plan and Storm Water Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	12/4/20 Revised	<ul style="list-style-type: none"> • Formal agreement to utilize the City's land to access the northwestern entrance until the planned extension of Bond Street is completed. • Items to be addressed by the applicant prior to Final Site Plan approval
Engineering	Approval recommended	11/9/20	<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended	12/3/20 Revised	Modification of waiver for: <ul style="list-style-type: none"> • Deficiency in multifamily unit trees, • Items to be addressed by the applicant prior to Final Site Plan approval
Woodlands	Not Applicable		<ul style="list-style-type: none"> • No changes to the previous approval
Wetlands	Not Applicable		<ul style="list-style-type: none"> • No changes to the previous approval
Traffic	Not Applicable		<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Approval recommended	11/8/20 Revised	Section 9 waiver revision for: <ul style="list-style-type: none"> • Underage of brick, overage of EIFS, underage of combined percentages of brick and stone for Building 1 and Building 2
Fire	Not Applicable		<ul style="list-style-type: none"> • Items to be addressed by the applicant prior to Final Site Plan approval

MOTION SHEET

Approval – Revised Preliminary Site Plan

In the matter of The Bond JSP18-10, motion to recommend approval to City Council the Revised Preliminary Site Plan based on and subject to the following:

1. The previously approved waivers and Development Agreement granted by City Council and the approved variances granted by the Zoning Board of Appeals;
2. The applicant will need to obtain an easement agreement with the City to grant access through the City's parcel from the vehicle entrance at the northwestern portion of the property to Grand River Avenue, including any access improvements that may be required.
3. A revised section 9 waiver for the following deviations *as the overall appearance of the building would not be significantly improved by strict application of the percentage listed in the Ordinance*:
 - a. not providing the minimum required brick (30% minimum required) on the east (17% proposed), north (24-28% proposed) and south (18% proposed) facades for Building 1 and 2;
 - b. exceeding the maximum allowed percentage of EIFS (25% maximum allowed) on all facades (proposed: East-54%, North-38-56%, South- 61% and West- 77%) for Building 1 and 2;
 - c. not providing the minimum required brick and stone (50% minimum required) for TC-1 district on all façades (proposed: East-26%, North-32%, South- 30% and West- 23%) for Building 1 and 2;
 - d. the previously approved Section 9 waivers for the commercial building and parking garage remain unchanged

As the interesting massing and creative use of materials is not compromised by the proposed revisions as recommended by the City's façade consultant, and the proposed QCO Rusted Steel is similar to the previously approved Woodgrain metal material, which is hereby granted;
4. Revision of the landscape waiver from Sec 5.5.3.F.ii.b(1) for a deficiency in the number of total number multifamily unit trees provided (171 required, 129 provided) *as the number of ground floor units has increased but the building footprint has not changed and the site is otherwise well-landscaped*;
5. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
6. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Revised Stormwater Management Plan

In the matter of The Bond JSP18-10, motion to recommend approval to the City Council of the Revised Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Revised Preliminary Site Plan

In the matter of The Bond JSP18-10, motion to **recommend denial to the City Council of the Revised Preliminary Site Plan**...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

Denial – Revised Stormwater Management Plan

In the matter of The Bond JSP18-10, motion to **recommend denial to the City Council of the Stormwater Management Plan**...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS

Location

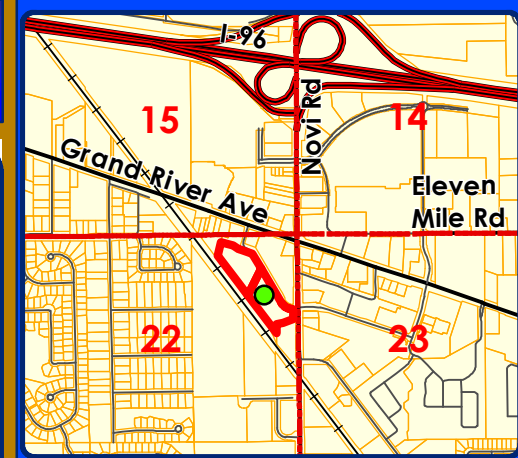
Zoning

Future Land Use

Natural Features

JSP 18-10 THE BOND fka THE DISTRICT

Location Map



LEGEND

 Sections



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 06/21/18
Project: JSP 18-10 THE BOND fka THE DISTRICT
Version #: 1



1 inch = 282 feet

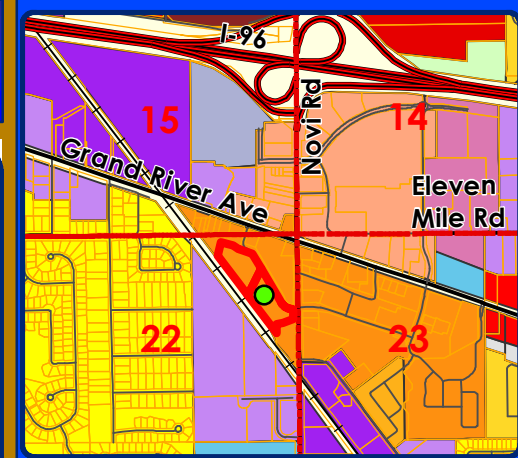
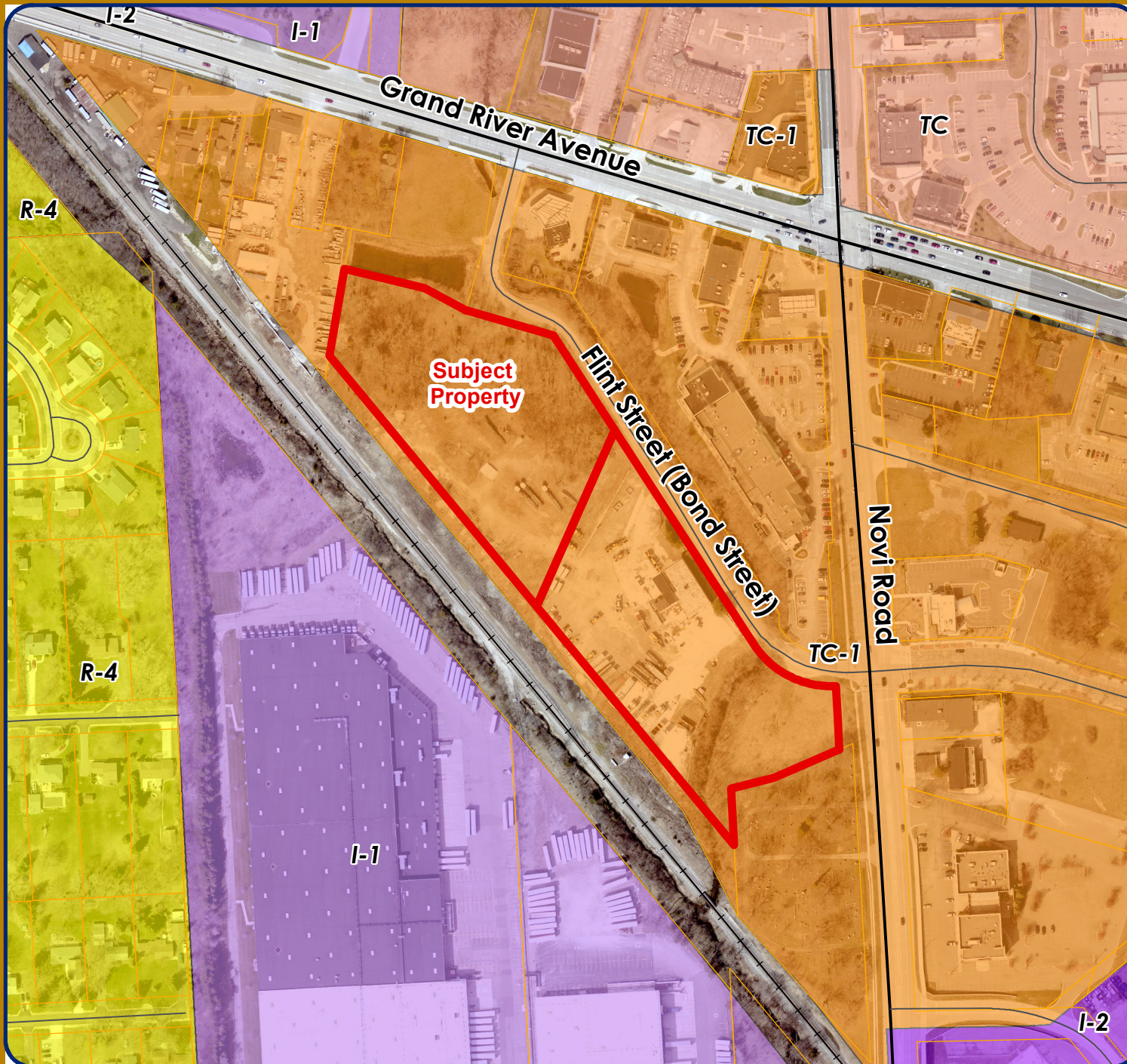


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 18-10 THE BOND fka THE DISTRICT

Zoning



LEGEND

- Sections
- R-A: Residential Acreage
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-3: General Business District
- C: Conference District
- EXPO: EXPO District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology
- RC: Regional Center District
- P-1: Vehicular Parking District
- TC: Town Center District
- TC-1: Town Center -1 District



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Feet
 0 62.5 125 250 375

1 inch = 282 feet

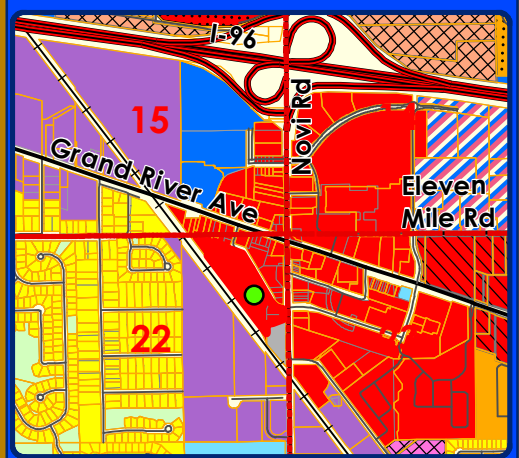
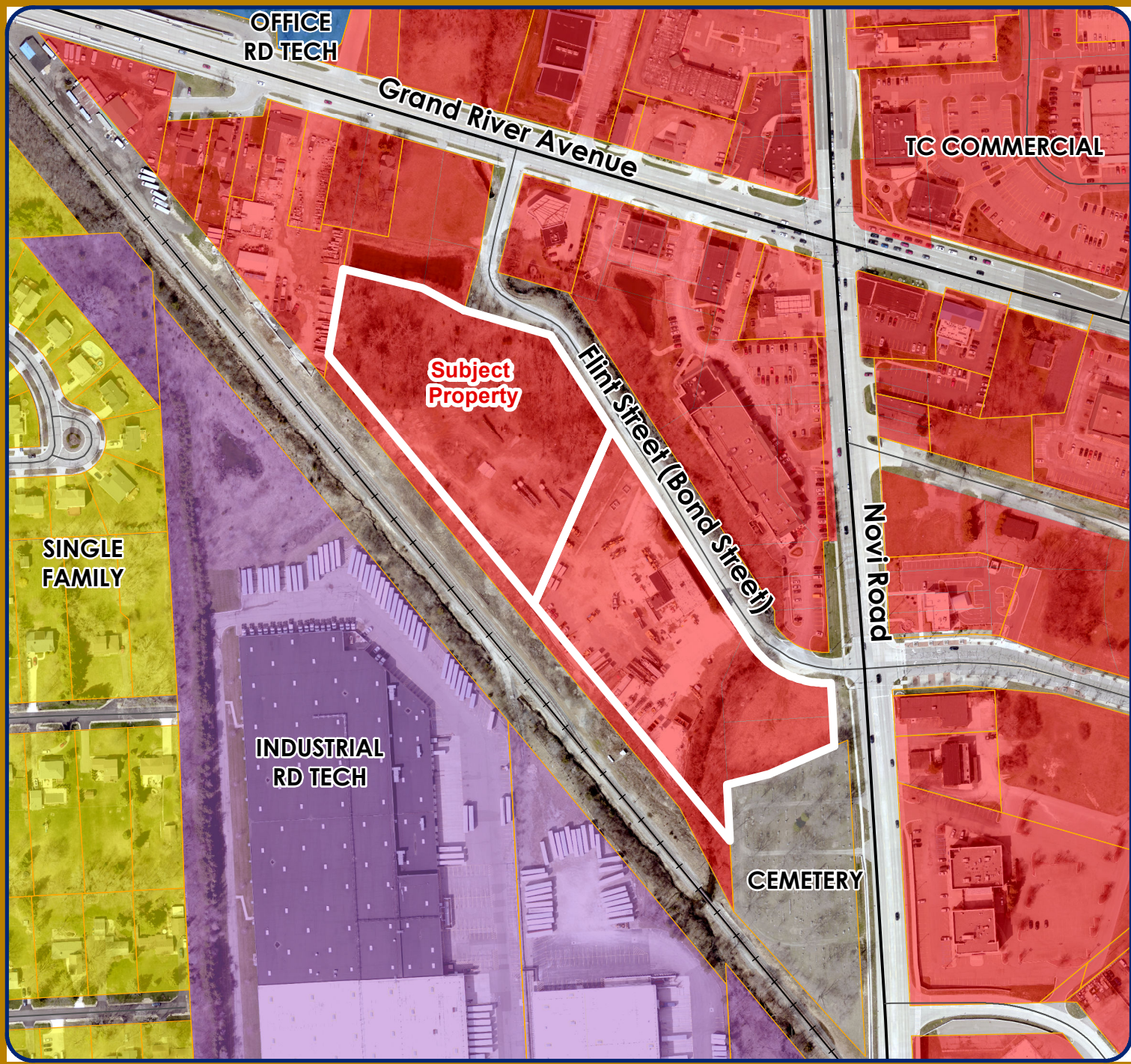


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JSP 18-10 THE BOND fka THE DISTRICT

Future Land Use



LEGEND

- Sections
- FUTURE LAND USE**
- Single Family
- Multiple Family
- PD1
- Office RD Tech
- Office Commercial
- Industrial RD Tech
- Heavy Industrial
- Regional Commercial
- TC Commercial
- TC Gateway
- Public
- Private Park
- Cemetery



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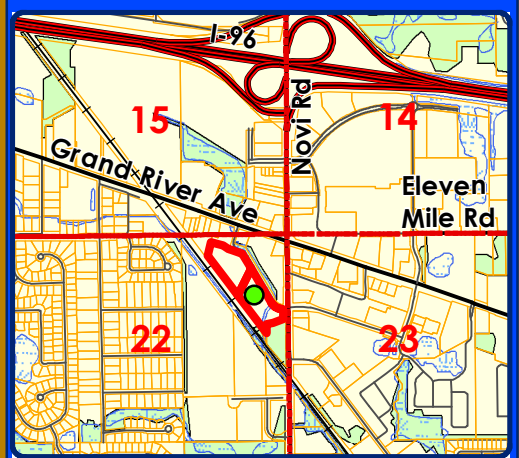
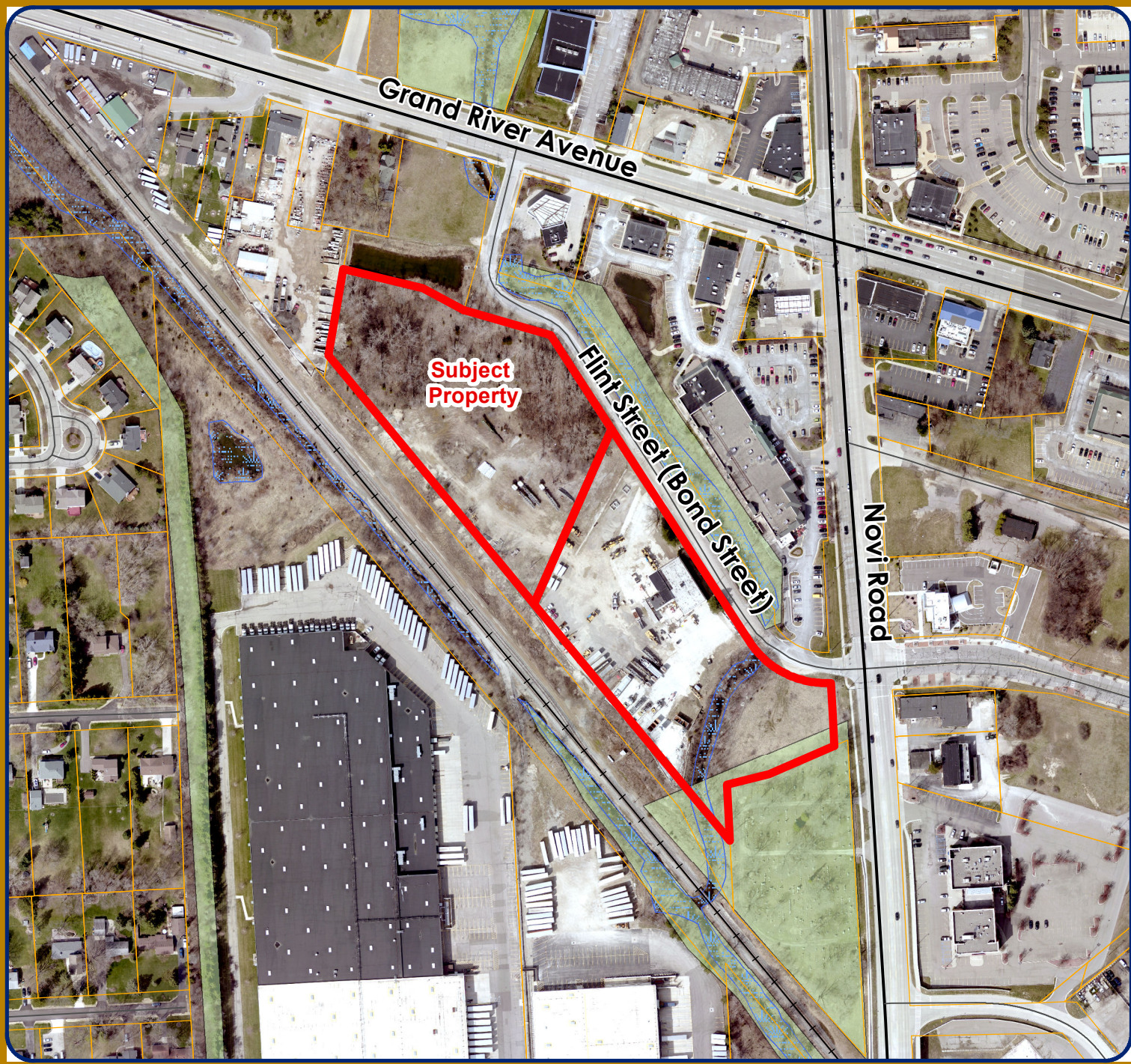


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JSP 18-10 THE BOND fka THE DISTRICT

Natural Features



- LEGEND**
- Sections
 - WETLANDS
 - WOODLANDS



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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

PRELIMINARY SITE PLANS FOR:

THE BOND

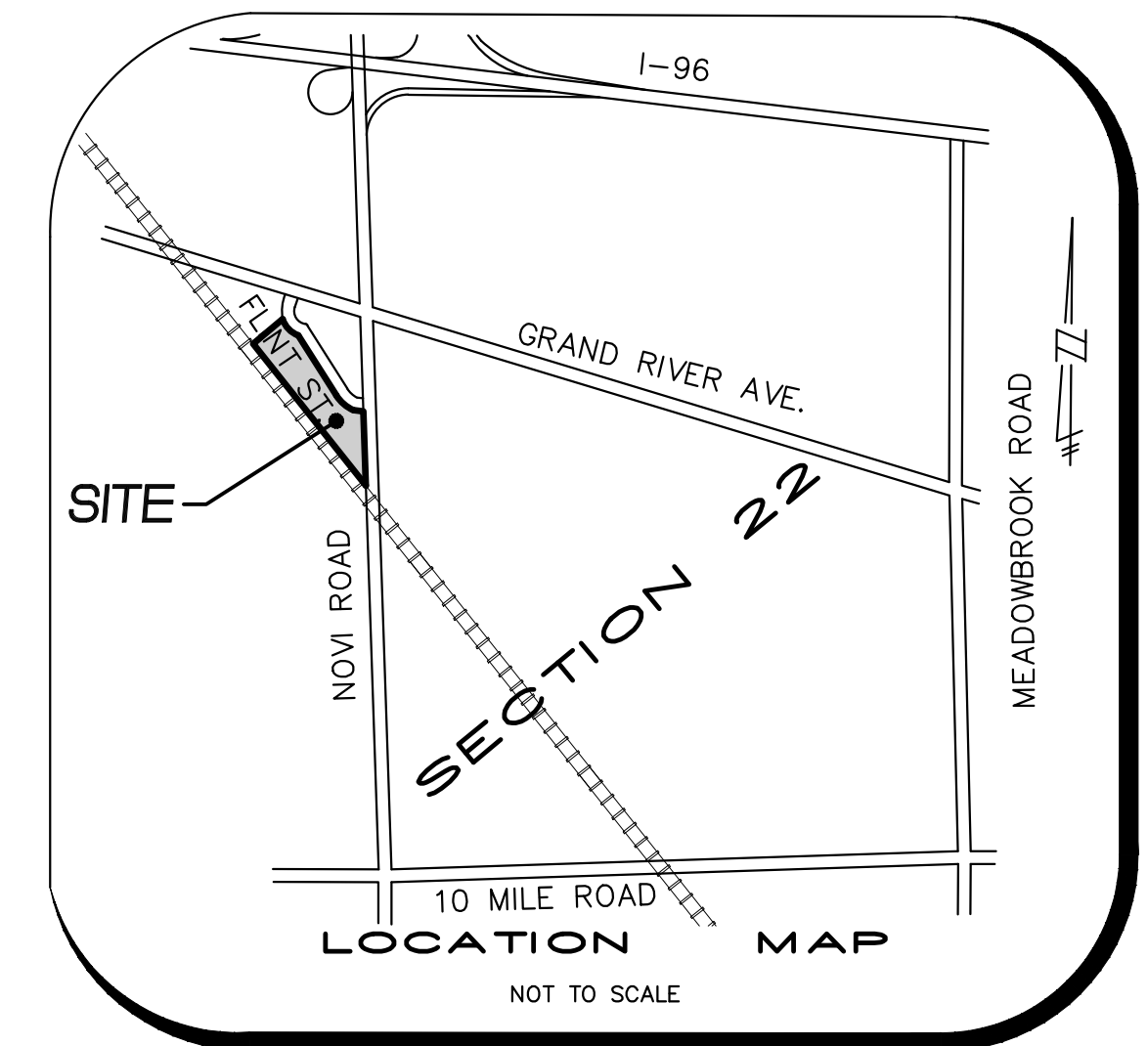
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST,
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
PREPARED FOR:



DTN MANAGEMENT COMPANY
2502 LAKE LANSING ROAD, SUITE C
LANSING, MICHIGAN 48912
PHONE: 517.371.5300



TRICAP HOLDINGS LLC
30600 NORTHWESTERN, SUITE 430
FARMINGTON, MICHIGAN 48334
PHONE: 248.538.1389 EXT. 236



LEGAL DESCRIPTION
PHASE 1 - RESIDENTIAL

A Parcel of land located in a part of the Northeast 1/4 of Section 22, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; being more particularly described as commencing at the Northeast Corner of said Section 22; thence Due South, 138.97 feet, along the East line of said Section 22 and centerline of Novi Road; thence North 70°38'00" West, 704.61 feet, along the Northerly property line of "Supervisor's Plat No. 3", as recorded in Liber 54A of Plats, Page 84, Oakland County Records and the Southerly right-of-way line of Grand River Avenue (100 foot width), to the Northeast corner of Lot 8 of said "Supervisor's Plat No.3"; thence South 12°11'25" West, 168.50 feet, along the easterly line of said Lot 8 to the Southeast corner of said Lot 8; thence North 73°15'20" West, 100.00 feet, along the southerly line of said Lot 8, to the Southwest corner of said Lot 8 and to a point on the easterly line of Lot 7 of said "Supervisor's Plat No.3"; thence South 11°53'39" West, 100 feet, along the easterly line of said Lot 7; thence South 41°25'40" West, 30.70 feet, for a POINT OF BEGINNING; thence South 69°38'58" East, 187.64 feet; thence 125.39 feet along a curve to the right, said curve having a radius 176.00 feet, a central angle 40°49'10" and a chord bearing and distance of South 49°14'23" East, 122.75 feet; thence South 28°49'48" East, 612.64 feet; thence 90.40 feet along a curve to the left, said curve having a radius of 235.00 feet, a central angle of 22°02'24" and a chord bearing and distance of South 39°51'00" East, 89.84 feet; thence South 59°53'11" West, 42.67 feet; thence South 34°38'36" West, 47.87 feet; thence South 21°03'51" West, 83.19 feet; thence South 15°22'53" West, 85.73 feet; thence South 06°20'23" West, 38.08 feet; thence North 36°26'24" West, 1133.42 feet; thence North 13°04'21" East, 171.48 feet; thence South 73°24'45" East, 47.01 feet; thence 105.11 feet along a curve to the left, said curve having a radius of 257.00 feet, a central angle of 23°26'02" and a chord bearing and distance of South 57°55'57" East, 104.38 feet, to the Point of Beginning. All of the above containing 6.874 Acres. All of the above subject to easements, restriction and right-of-ways.

FUTURE PHASE 2 - COMMERCIAL

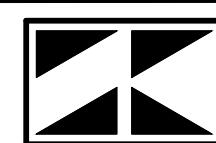
A Parcel of land located in a part of the Northeast 1/4 of Section 22, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; being more particularly described as commencing at the Northeast Corner of said Section 22; thence Due South, 968.86 feet, along the East line of said Section 22 and centerline of Novi Road; thence Due West, 60.01 feet, for a POINT OF BEGINNING; thence Due South 111.36 feet; thence South 69°32'00" West, 139.49 feet; thence South 79°31'27" West, 85.50 feet; thence Due South, 110.57 feet; thence North 36°26'24" West, 103.20 feet; thence North 06°20'23" East, 38.08 feet; thence North 15°22'53" East, 85.73 feet; thence North 21°03'51" East, 83.19 feet; thence North 34°38'36" East, 47.87 feet; thence North 59°53'11" East, 42.67 feet; thence 55.87 feet along a curve to the left, said curve having a radius of 235.00 feet, a central angle of 13°37'17", and a chord bearing and distance of South 57°40'51" East, 55.74 feet; thence 23.03 feet along a curve to the left, said curve having a radius of 232.50 feet, a central angle of 05°40'35" and a chord bearing and distance of South 59°46'47" East, 23.02 feet; thence 82.96 feet along a curve to the left, said curve having a radius of 238.00 feet, a central angle of 19°58'21", and a chord bearing and distance of South 80°00'37" East, 82.54 feet; thence South 89°59'48" East, 6.81 feet, to the Point of Beginning. All of the above containing 1.071 Acres. All of the above subject to easements, restriction and right-of-ways. All of the above subject to the rights of the public on Novi Road.



- INDEX**
- COVER SHEET
 - OVERALL SITE PLAN
 - R.O.W. TAKING PLAN AND OPEN SPACE PLAN
 - STORM WATER MANAGEMENT PLAN
 - PHASING PLAN
 - PARCEL SPLIT - SUBJECT PROPERTY
 - PARCEL SPLIT - PROPOSED PARCELS

BENCHMARKS:

RR SPIKE IN SOUTH FACE OF POWER POLE LOCATED ON THE WEST SIDE OF FLINT STREET ± 88' SOUTHEAST OF THE SOUTHEAST BUILDING CORNER.
ELEVATION 908.44 (CITY OF NOVI DATUM)
RIM OF SANITARY MANHOLE AT NORTHERNMOST POINT OF PROPERTY
ELEVATION 908.51 (CITY OF NOVI DATUM)



SEIBER, KEAST ENGINEERING, L.L.C.

CONSULTING ENGINEERS

100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331

ARCHITECTURAL DESIGN PREPARED BY:
HUMPHREYS & PARTNERS ARCHITECTS, L.P.
5339 ALPHA ROAD
SUITE 300, DALLAS, TX 57240
PHONE: 972.701.9636

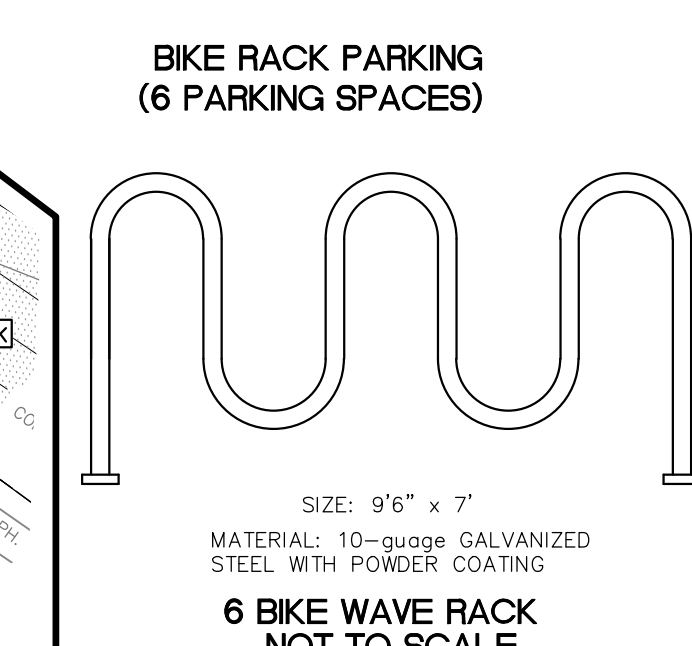
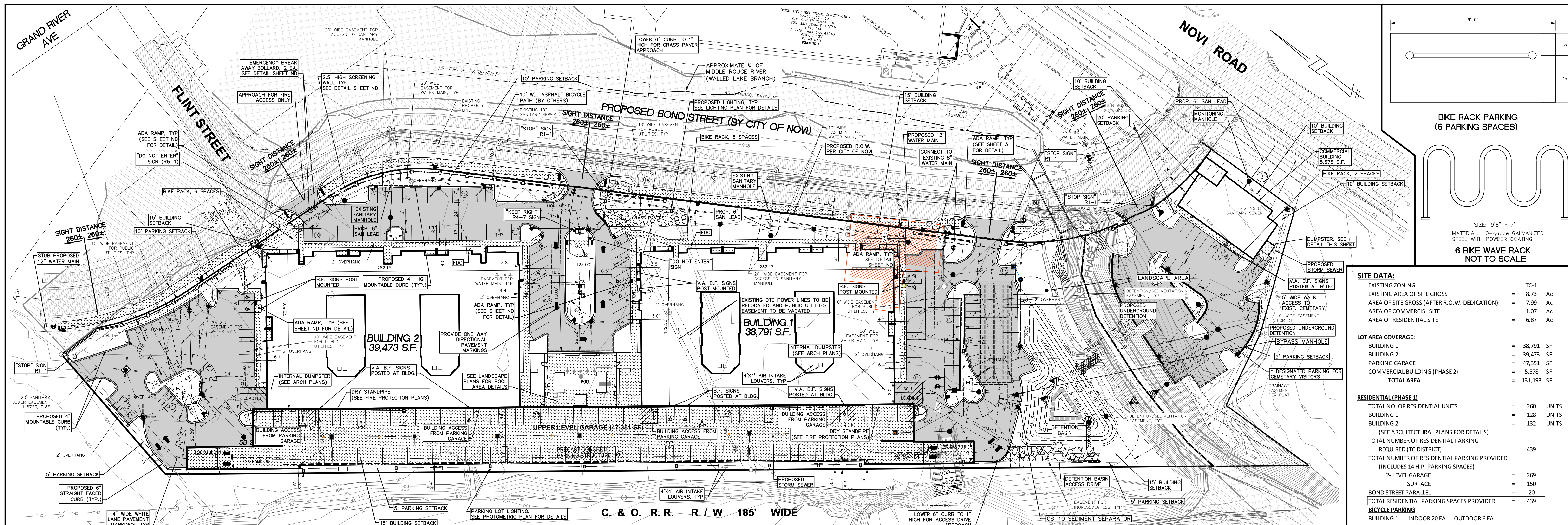
BOUNDARY SURVEY PREPARED BY:
FAZAL KHAN & ASSOCIATES, INS
43279 SCHOENHERR
STERLING HEIGHTS, MICHIGAN 48313
PHONE: 586.739.8007
FAX: 586.739.6994

LANDSCAPE PLANS PREPARED BY:
HPLA STUDIO
5339 ALPHA ROAD, SUITE 300
DALLAS, TEXAS 75240
PHONE: 972.701.9636
hplastudio.com

PROPERTY BOUNDARY & TOPO INFORMATION
ALPINE ENGINEERING, INC.
46892 WEST ROAD, SUITE 109
NOVI, MICHIGAN 48377
PHONE: 248.926.3765

- REVISED PER NOVI PLANNING REVIEW 06-11-18
- REV FOR ZBA SUBMITTAL 10-07-19
- REV FOR PSP ADMINISTRATIVE REVIEW 10-08-20

05-10-18	DESIGNED BY: A.A.	JOB NUMBER: 17-032
	CHECKED BY: R.E.	DRAWING FILE: 1-17032-CV.DWG
COVER SHEET		
SEIBER, KEAST ENGINEERING, L.L.C.		SHEET
CONSULTING ENGINEERS 100 MAINCENTRE • SUITE 10 • NORTHVILLE, MI • 48167 PHONE: 248.308.3331		1



SITE DATA:

EXISTING ZONING	TC-1
EXISTING AREA OF SITE GROSS	= 8.73 Ac
AREA OF SITE GROSS (AFTER R.O.W. DEDICATION)	= 7.99 Ac
AREA OF COMMERCIAL SITE	= 1.07 Ac
AREA OF RESIDENTIAL SITE	= 6.87 Ac

LOT AREA COVERAGE:

BUILDING 1	= 38,791 SF
BUILDING 2	= 39,473 SF
PARKING GARAGE	= 47,351 SF
COMMERCIAL BUILDING (PHASE 2)	= 5,578 SF
TOTAL AREA	= 131,193 SF

RESIDENTIAL (PHASE 1)

TOTAL NO. OF RESIDENTIAL UNITS	= 260 UNITS
BUILDING 1	= 128 UNITS
BUILDING 2	= 132 UNITS

(SEE ARCHITECTURAL PLANS FOR DETAILS)

TOTAL NUMBER OF RESIDENTIAL PARKING REQUIRED (TC DISTRICT)	= 439
TOTAL NUMBER OF RESIDENTIAL PARKING PROVIDED (INCLUDES 14 H.P. PARKING SPACES)	= 439

2-LEVEL GARAGE = 269
SURFACE = 150

BOND STREET PARALLEL

TOTAL RESIDENTIAL PARKING SPACES PROVIDED	= 439
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BIKEWAY PARKING

BUILDING 1	INDOOR 20 EA.	OUTDOOR 6 EA.
BUILDING 2	INDOOR 20 EA.	OUTDOOR 6 EA.
TOTAL RESIDENTIAL SPACES = 52 (50 REQUIRED)		

COMMERCIAL (PHASE 2)

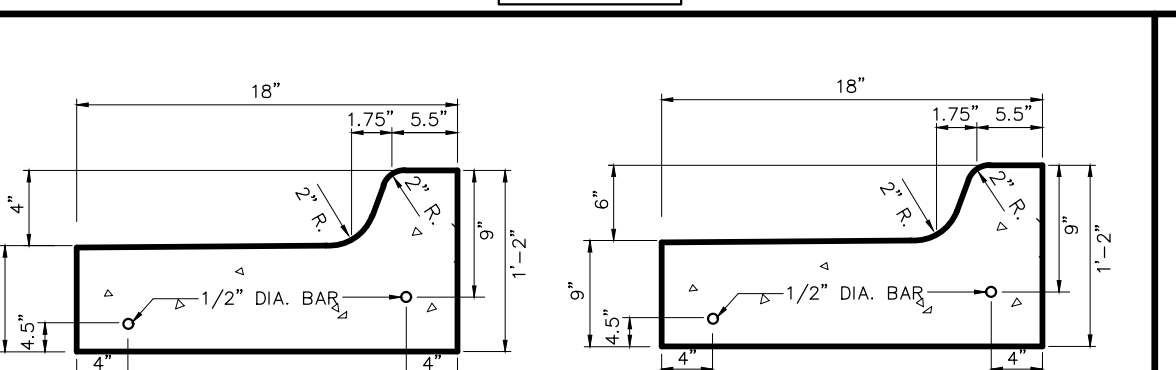
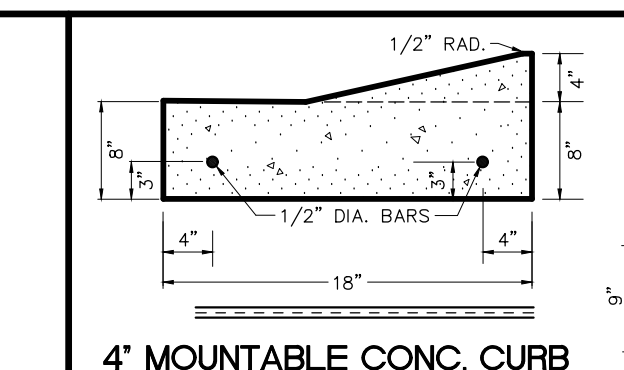
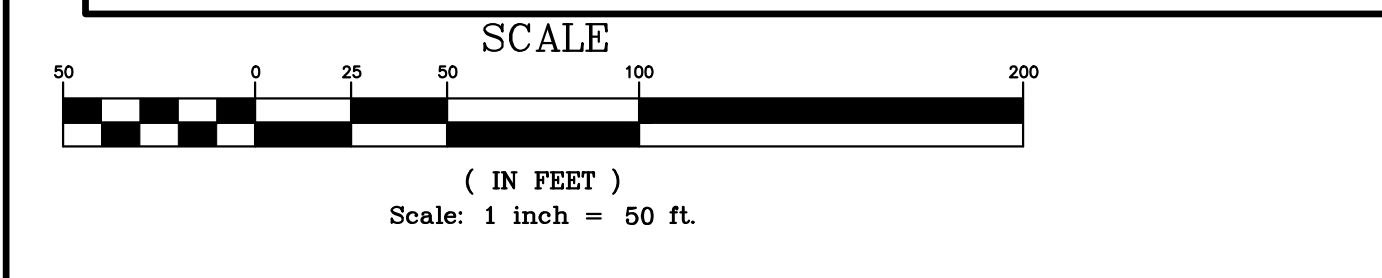
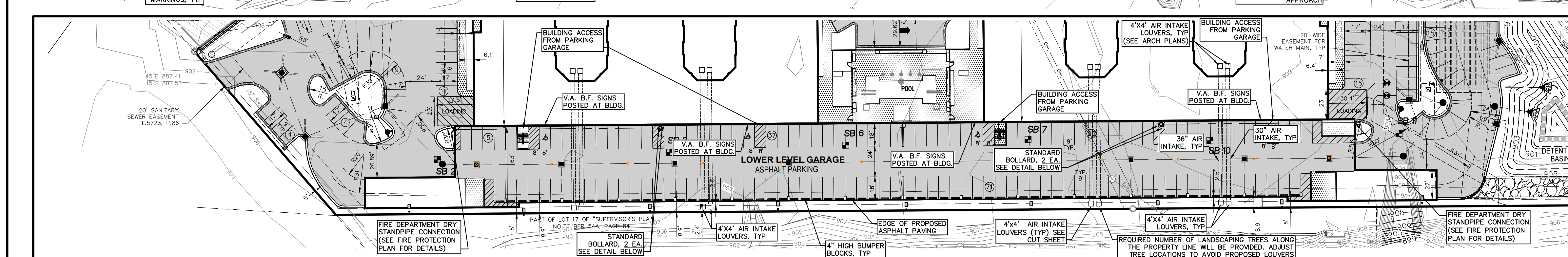
TOTAL FLOOR AREA (USE T.B.D.)	= 5,587 SF
PARKING SPACES PROVIDED (INCLUDES 2 H.P. PARKING SPACES)	= 49
BIKEWAY PARKING OUTDOOR 2 EA. (2 REQUIRED)	

BUILDING SETBACK REQUIREMENTS FOR TC-1 DISTRICT

RESIDENTIAL	FRONT	15 FT
	SIDE	15 FT
	REAR	15 FT
COMMERCIAL	FRONT	MIN 0 FT
	SIDE	MIN 0 FT
	REAR	MIN 0 FT

MINIMUM PARKING SETBACK REQUIREMENTS FOR TC-1 DISTRICT

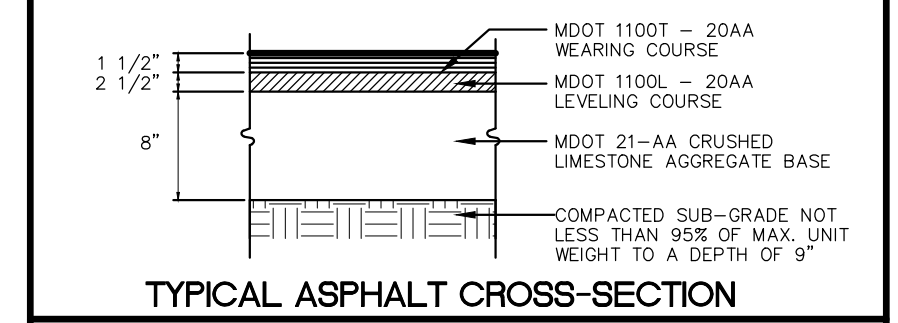
RESIDENTIAL	FRONT	MIN. 10 FT
	SIDE	5 FT
	REAR	5 FT
COMMERCIAL	FRONT	20 FT
	SIDE	10 FT
	REAR	10 FT



SIGN QUANTITIES

DESCRIPTION	QUANTITY	PANEL	POST
R1-1 30" "STOP" SIGN	4	4	4
R5-1 "DO NOT ENTER" SIGN	2	2	2
V.A. BARRIER FREE SIGN	8	2	2
BARRIER FREE SIGN	8	4	4
R4-7 "KEEP RIGHT" SIGN	1	1	1

NOTE: ALL TRAFFIC SIGNAGE SHALL COMPLY WITH CURRENT MUTCD STANDARDS.



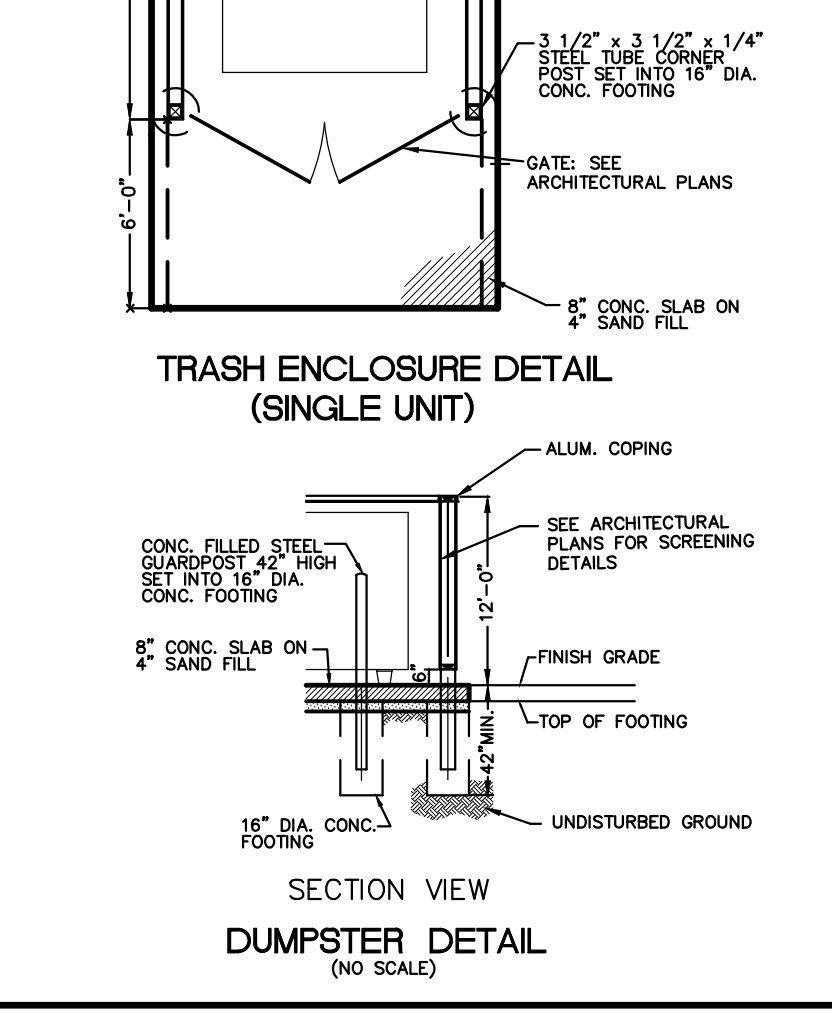
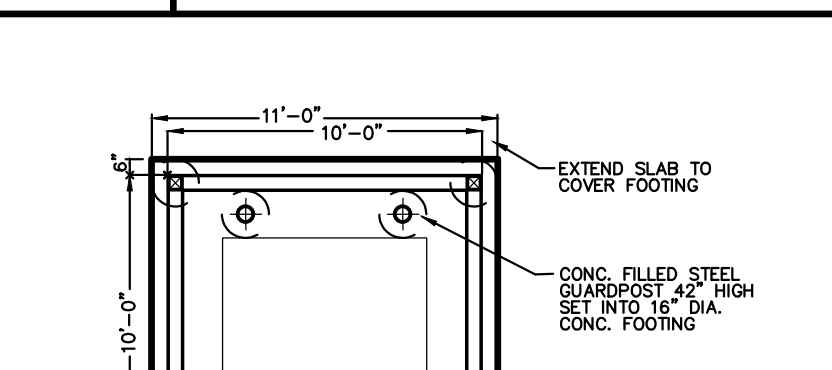
SOIL CLASSIFICATIONS

(FROM U.S.S.C. SOIL SURVEY OF OAKLAND COUNTY, MI 1980)

13B - OSHTEMO-BOYER LOAMY SANDS, 0-6% SLOPES

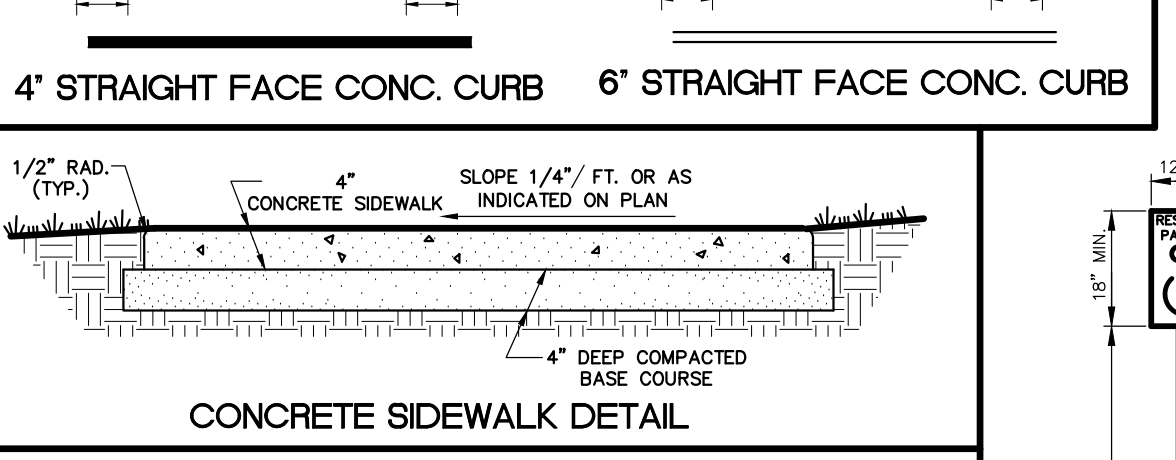
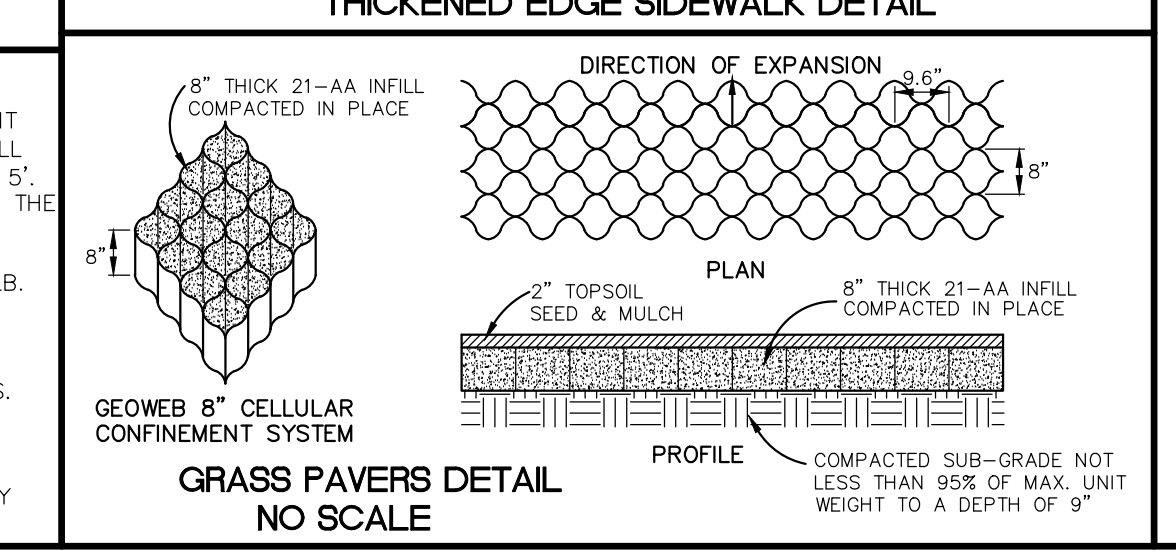
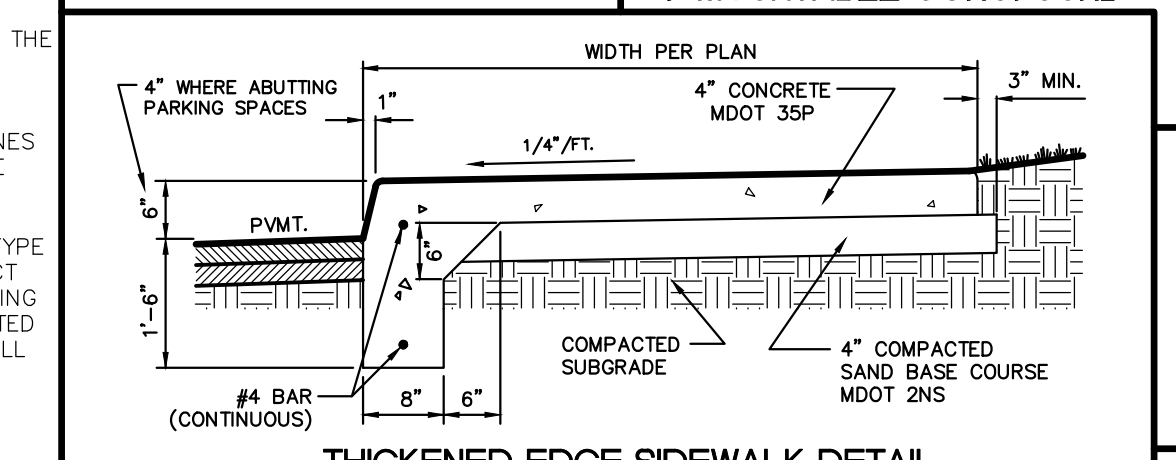
59 - URBAN LAND

The soils classification determined from the Soils Survey of Oakland County, Michigan 1980, published by the United States Department of Agriculture, Soils Conservation Service is 59-Urban Land, (Entire Parcel). Site Plan is graphical representation.



- STRIPING NOTES:**
- THE CROSSWALK PAVEMENT MARKINGS SHALL COMPLY WITH THE MUTCD.
 - PARKING LOTS SHALL HAVE PARKING AREAS AND RAMP PAVEMENT MARKINGS MARKED BY PAINTED 4-INCH WIDE LINES ACCURATELY AND NEATLY ARRANGED AS INDICATED ON THE PLAN. LINES SHALL BE PAINTED WITH AN APPROVED WHITE TRAFFIC PAINT COMPATIBLE WITH BITUMINOUS/CONCRETE SURFACES SUCH AS SHERWIN WILLIAMS NO. 82 90W; PPG TYPE 11-3 OR 11-4, OR AS APPROVED BY THE OWNER. PROTECT ALL PAINTED AREAS UNTIL PAINT IS COMPLETELY DRY. PARKING AREAS FOR THE PHYSICALLY HANDICAPPED SHALL BE PAINTED WITH BLUE PAINT FOR STRIPING. WHEEL CHAIR SYMBOL SHALL BE PAINTED WHITE. ALL PAINTED MARKINGS AND STRIPING SHALL BE PROVIDED IN TWO COATS.
 - THE INTERNATIONAL SYMBOL FOR ACCESSIBILITY SHALL BE WHITE OR WHITE WITH BLUE BACKGROUND.

- SIGNING NOTES**
- ALL SIGNS SHALL HAVE A MINIMUM BOTTOM MOUNTING HEIGHT OF 7' FROM FINAL GRADE FOR GROUND MOUNTED SIGNS. WALL MOUNTED SIGNS MAY HAVE A BOTTOM MOUNTING HEIGHT OF 5'.
 - ALL ROADSIDE SIGNS SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGE OF THE SIGN.
 - SINGLE SIGNS WITH NOMINAL DIMENSIONS OF 12"x18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A GALVANIZED 2 LB. U-CHANNEL POST. MULTIPLE SIGNS AND/OR SIGNS WITH NOMINAL DIMENSIONS GREATER THAN 12"x18" SHALL BE MOUNTED ON A GALVANIZED 3 LB. OR GREATER U-CHANNEL POST AS DICTATED BY THE WEIGHT OF THE PROPOSED SIGNS.
 - TRAFFIC CONTROL SIGNS SHALL USE THE FHWA STANDARD ALPHABET SERIES.
 - TRAFFIC CONTROL SIGNS SHALL HAVE A HIGH INTENSITY PRISMATIC (HIP) SHEETING TO MEET FHWA RETROREFLECTIVITY REQUIREMENTS.



- PROPOSED IMPROVEMENTS**
- WOODLANDS PLAN, TREE INVENTORY REMOVAL & REPLACEMENT PLAN WILL BE PROVIDED WITH LANDSCAPE PLANS.
 - MUNICIPAL SEWER TO BE PROVIDED BY CONNECTING TO AN EXISTING SANITARY SEWER LOCATED ALONG FLINT STREET AS SHOWN.
 - MUNICIPAL WATER TO BE PROVIDED BY CONNECTING TO AN EXIST. WATER MAIN LOCATED ALONG FLINT STREET.
 - STORM WATER DETENTION SHALL BE PROVIDED ON SITE.
 - CONCRETE SIDEWALKS SHALL BE CONSTRUCTED AS SHOWN. ALL SIDEWALK STUBS SHALL BE PROVIDED WITH RAMPS AND DETECTABLE WARNING SURFACES.
 - ALL ROADWAYS TO BE PRIVATE.
 - A CITY OF NOV. RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN ANY PUBLIC ROAD RIGHT-OF-WAY.
 - ALL SIDEWALKS TO BE ADA COMPLIANT.

BARRIER-FREE RESERVED PARKING SIGNS

NOTE: ACCESSIBLE PARKING SPACE SIGNS SHALL HAVE A MIN. HEIGHT AND SIZE TO PERMIT THE SPACE TO BE EASILY IDENTIFIED AND ARE ELEVATED SUCH THAT THEY SHALL NOT PRESENT A HAZARD TO PERSONS WALKING NEAR THE SIGN.

THE BOND

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

NO.	ITEM	DATE
1	REVISED PER NON-PLANNING REVIEW	08-27-18
2	REV FOR ZPA SUBMITTAL	10-07-19
3	REV FOR PSP ADMINISTRATIVE REVIEW	10-08-20

DESIGNED BY: A.A. DATE: 05-10-18
CHECKED BY: R.E. JOB NUMBER: 17-032
DRAWING FILE: 2-17032-0A.dwg

UTILITY WARNING

UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.

811 Know what's below. Call before you dig.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

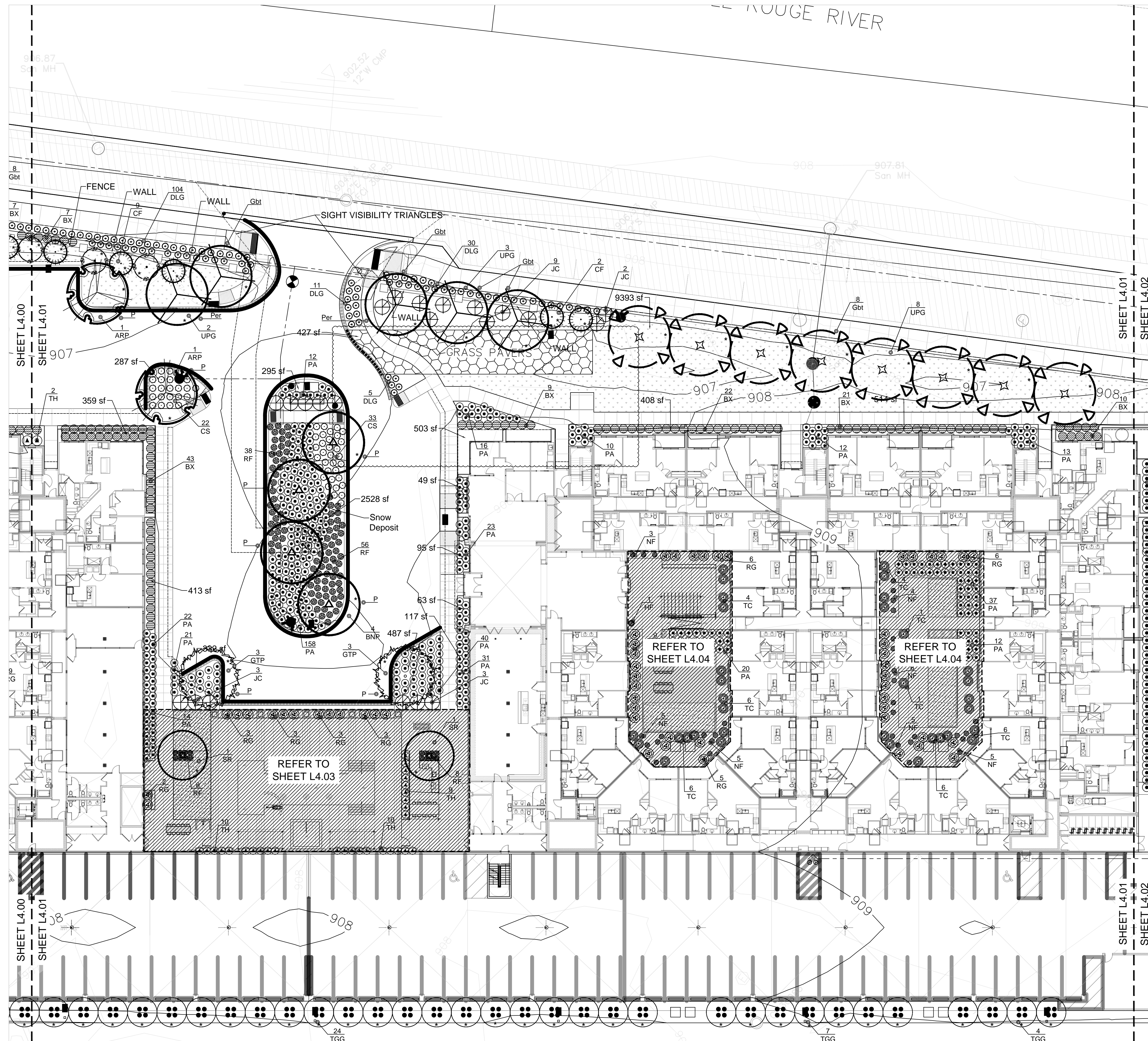
OVERALL SITE PLAN

SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS
100 MAINCENTRE • SUITE 10 • NORTHVILLE, MI • 48167
PHONE: 248.308.3331

SHEET **2**

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION
1	08/14/2020	ADDENDUM B
2	09/25/2020	ADDENDUM C

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PLANT PALETTE - OVERALL

NAME	QTY.	ROOT	CALIPER	UNIT PRICE/ TOTAL
<i>Malus 'Adirondack'</i> ADIRONDACK CRABAPPLE (MAG)	22	B&B	2.5" CAL. MIN.	\$350.00/ \$7,700.00
<i>Ulmus x 'Pioneer'</i> PIONEER ELM (UPG)	16	B&B	3" CAL. MIN.	\$400.00/ \$6,400.00
<i>Quercus rubra</i> RED OAK (QR)	08	B&B	3" CAL. MIN.	\$400.00/ \$3,200.00
<i>Cornus florida</i> FLOWERING DOGWOOD (CF)	17	B&B	3" CAL. MIN.	\$400.00/ \$6,800.00

PARKING LOT AND PERIMETER TREES

NAME	QTY.	ROOT	CALIPER	UNIT PRICE/ TOTAL
<i>Acer rubrum</i> RED MAPLE (ANM)	06	B&B	3" CAL. MIN.	\$400.00/ \$2,400.00
<i>Acer rubrum</i> 'October Glory' OCTOBER GLORY RED MAPLE (ARP)	11	B&B	3" CAL. MIN.	\$400.00/ \$4,400.00
<i>Betula nigra</i> RIVER BIRCH - MULTI STEM (BNP)	04	B&B	N/A - 15' HEIGHT	\$400.00/ \$1,600.00
<i>Gleditsia triacanthos</i> 'Shademaster' SHADEMASTER HONEY LOCUST (GTP)	12	B&B	3" CAL. MIN.	\$400.00/ \$4,800.00
<i>Liriodendron tulipifera</i> TULIP TREE (LTP)	10	B&B	3" CAL. MIN.	\$400.00/ \$4,000.00

GENERAL LANDSCAPING

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/ TOTAL
<i>Buxus x 'Green Velvet'</i> GREEN VELVET BOXWOOD (BX)	157	36"		\$50.00/ \$7,850.00
<i>Taxus x media</i> 'Hicksii' HICKS YEW (TH)	07	36"		\$50.00/ \$350.00
<i>Juniperus communis</i> COMMON JUNIPER (JC)	37	6"	B&B	\$50.00/ \$1,850.00
<i>Calamagrostis x acutiflora</i> 'Karl Foerster' KARL FOERSTER GRASS (KF)	06	#2 CONT.		\$15.00/ \$90.00
<i>Pennisetum alopecuroides</i> 'Hameln' HAMELN FOUNTAIN GRASS (PA)	443	#2 CONT.		\$15.00/ \$6,645.00
<i>Rubackia fulgida</i> 'Goldstrum' BLACK-EYED SUSAN (RF)	121	#2 CONT.		\$15.00/ \$1,815.00
<i>Hemerocallis</i> 'Violet Light' VIOLET LIGHT DAYLILY (DLG)	293	#2 CONT.		\$15.00/ \$4,395.00
<i>Thuja</i> 'Green Giant' GREEN GIANT ARBORVITAE (TGG)	52	6"	B&B	\$50.00/ \$2,600.00
<i>Leucanthemum x superbum</i> 'Alaska' SHASTA DAISY ALASKA (CS)	121	#2 CONT.		\$15.00/ \$1,815.00

UNIT LANDSCAPING

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/ TOTAL
<i>Picea glauca</i> WHITE SPRUCE (AG)	09	8'	B&B	\$400.00/ \$3,600.00
<i>Abies concolor</i> WHITE FIR (AC)	13	8'	B&B	\$400.00/ \$5,200.00

DETENTION PLANTING

NAME	QTY.	HEIGHT	ROOT	UNIT PRICE/ TOTAL
<i>Cornus amomum</i> SILKY DOGWOOD (CA)	17	36"		\$50.00/ \$850.00
<i>Cornus rugosa</i> ROUND-LEAVED DOGWOOD (CR)	17	36"		\$50.00/ \$850.00
<i>Viburnum dentatum</i> ARROW-WOOD (VD)	17	36"		\$50.00/ \$850.00
EMERGENT WETLAND SEED MIX (BY CARDNO JFNEW) 39.8 LBS PER ACRE APPLICATION RATE 2.2 LBS OF EMERGENT SEED MIX 3"-6" OF TOPSOIL OR WETLAND MULCH SHALL BE PLACED IN THIS AREA. USE SEED MAT.				2,135 SF
STORMWATER SEED MIX (BY CARDNO JFNEW) 32.6 LBS PER ACRE APPLICATION RATE 2.3 LBS OF STORMWATER SEED MIX 3"-6" OF TOPSOIL SHALL BE PLACED IN THIS AREA				3,220 SF

GRASS

NAME	QUANTITY	UNIT PRICE/ TOTAL
KENTUCKY BLUE GRASS	22,378 SF	\$8.00/per sf/ \$179,024.00
TOTAL:		\$255,084.00

LANDSCAPE SUMMARY - MULTI-FAMILY

Existing Zoning	TC-1	FOUNDATION LANDSCAPING - INCLUDING DECK
GREENBELT ("Gbt")		Building Perimeter 2,072 LF Landscape Required 16,576 SF (2,072' x 8') Landscape Provided 16,645 SF
Street Frontage Adjacent to Pkg. 230'		
Trees Required 10 Trees (230' / 25')		
Trees Provided 0 Trees		
Ornamental Trees Required 16 Trees (230' / 15')		
Ornamental Trees Provided 17 Trees		
Street Frontage not Adjacent to Pkg. 850'		
Less Drive Openings 159'		
Net Frontage 691'		
Trees Required 23 Trees (691' / 30')		
Trees Provided 19 Trees		
Ornamental Trees Required 35 Trees (691' / 20')		
Ornamental Trees Provided 18 Trees		
PARKING LOT LANDSCAPING ("P")		
Vehicular Use Area (Exclusive of Deck) 68,138 SF		
VUA up to 50,000 SF 3,750 SF (50,000 x 7.5%)		
VUA Over 50,000 SF 181 SF (18,138 x 1%)		
Landscape Area Required 3,931 SF		
Landscape Area Provided 4,376 SF		
Trees Required 20 Trees (734' / 35')		
Trees Provided 23 Trees		
PARKING LOT PERIMETER LENGTH ("Per")		
Parking Lot Perimeter Length 734 LF		
Trees Required 21 Trees (734' / 35')		
Trees Provided 22 Trees		
MULTI-FAMILY UNIT TREES TOTAL ("**")		
Trees Required 171 Trees		
Trees Provided 182 Trees		
MULTI-FAMILY REQUIREMENTS		Units Proposed 57 Units (Ground Floor) Trees Required 171 Trees (57 x 3) Trees Provided 182 Trees
WOODLAND REPLACEMENT		Trees Required 139 Trees Trees Provided 0 Trees Trees to be Paid Into Fund 139 Trees
DETENTION POND		High Water Length 411 LF Plantings Required 288 LF (411' x 70%) Plantings Provided 300 LF (73%)
REQUESTED WAIVERS		1. Section 5.5.A requiring a 10'-15' High Berm adjacent to the I-1 Zoning District. A two story parking deck abuts the I-1 Zoning effectively buffering the residences. 2. Section 5.5.D.i.b requiring 75% of foundation landscaping to be located in beds with a minimum 4' width. Due to the urban nature of this project, beds are less than 4'. 3. Section 5.5.F.i.b.(1) requiring 3 trees per unit. This requirement cannot be met due to limited planting area.
Notes:		A. Transformer to be screened per detail on sheet L-3 of preliminary landscape submittal by Allen Design. B. Plantings shall be located to closer than 4' to property lines. C. Plantings shall be no closer than 10' to hydrants and utility structures



THE BOND OF NOVI

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OKLAND COUNTY, MICHIGAN

PROJECT #: 17659

12/03/2020



HUMPHREYS & PARTNERS
 LANDSCAPE ARCHITECTURE, L.L.C.
 5339 ALPHA ROAD SUITE 300
 DALLAS, TX 75240
 T: (972) 701-9636
 F: (972) 701-9639
 W: www.hplastudio.com

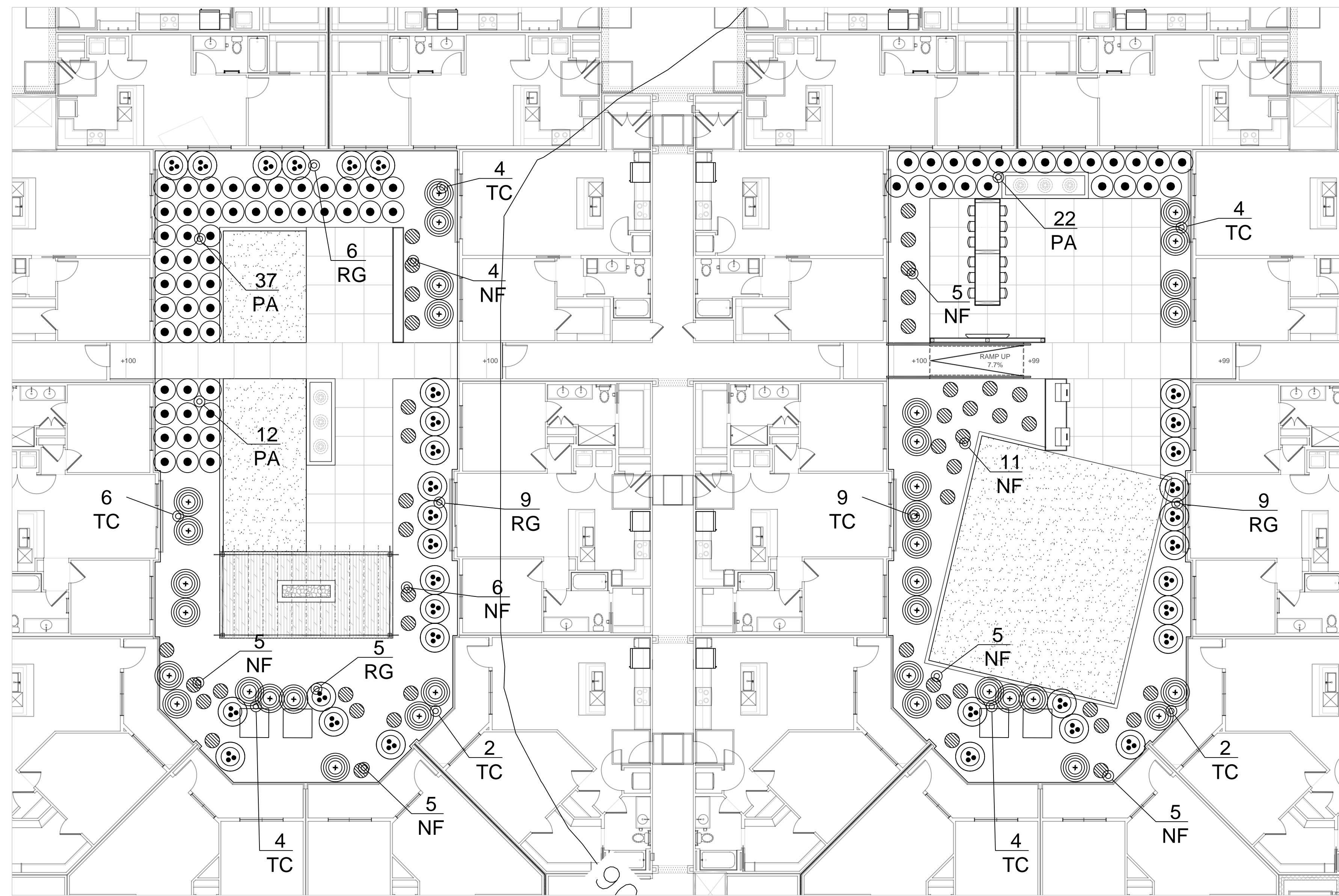
CLIENT
 DTN MANAGEMENT
 2502 LAKE LANSING RD
 SUITE C,
 LANSING, MI 48912

SHEET TITLE
 LANDSCAPE PLAN

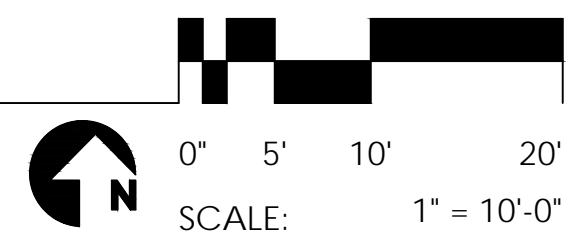
SHEET NUMBER
 L4.01

SCALE: AS INDICATED

PRELIMINARY SITE PLAN SUBMITTAL - 2020-DECEMBER-03



LANDSCAPE PLAN
WEST COURTYARDS



PLANT PALETTE - WEST COURTYARDS

SHRUBS					
NAME	QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
<i>Rhus glabra</i> SMOOTH SUMAC (RG)	37	#5 CONT.	MIN. 30" HT.	\$50.00/	\$1,850.00
<i>Taxus canadensis</i> CANADA YEW (TC)	35	#5 CONT.	MIN. 30" HT.	\$15.00/	\$525.00
ACCENTS					
NAME	QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
<i>Nepeta x faassenii</i> 'Walker's Low' WALKER'S LOW CATMINT (NF)	46	#3 CONT.		\$15.00/	\$690.00
<i>Pennisetum alopecuroides</i> 'Hameln' HAMELN FOUNTAIN GRASS (PA)	71	#2 CONT.		\$15.00/	\$1,065.00
				TOTAL:	\$4,130.00

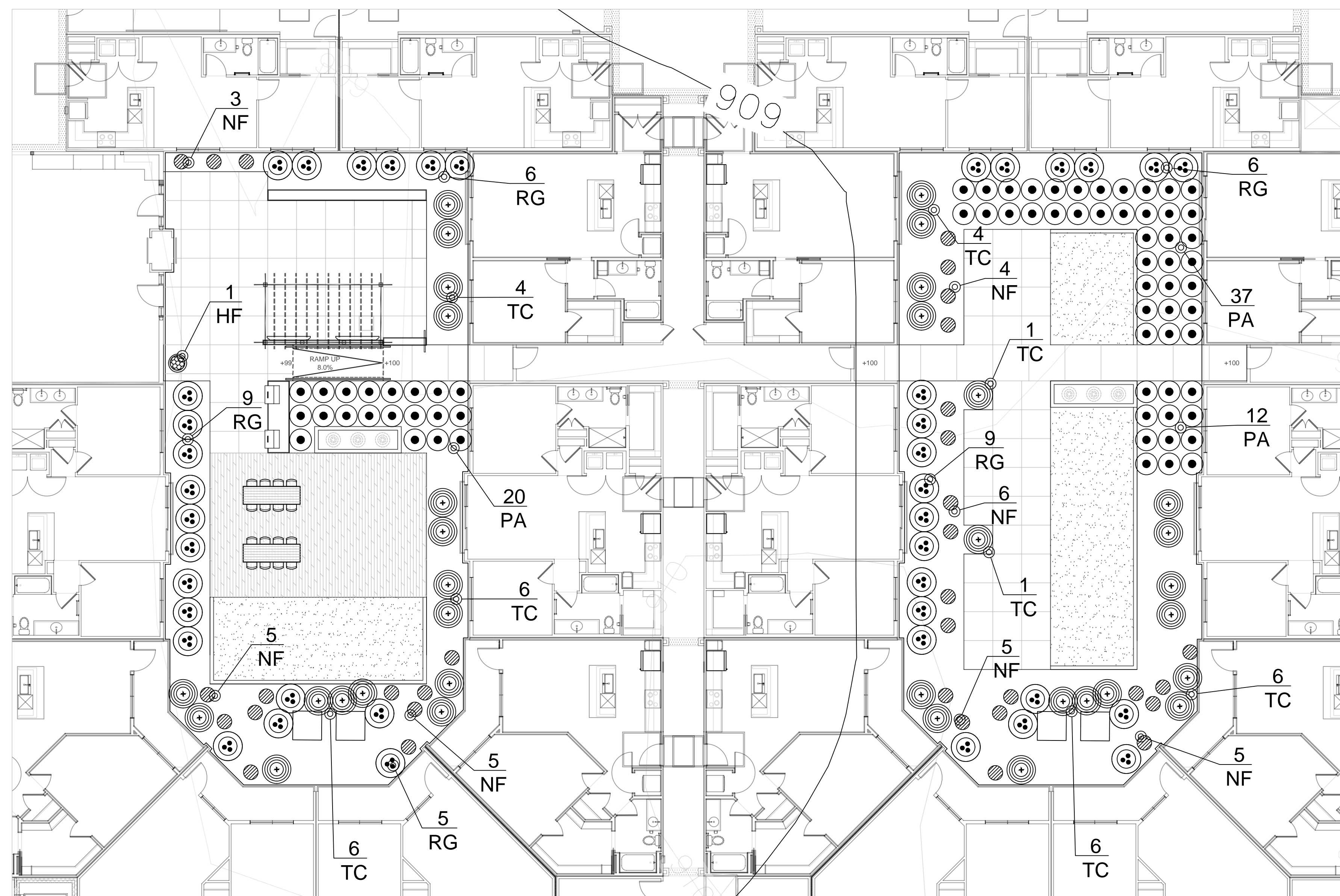
DESIGNED BY: SPENCER OKESON
DRAWN BY: SPENCER OKESON
LAOR: DANIEL R. ERLANDSON
PLOT DATE: 12/03/2020

ISSUE FOR PRICING/BIDDING:
07/02/2019
ISSUE FOR PERMIT APPLICATION:
01/20/2020
ISSUE FOR CONSTRUCTION:
ISSUE DATE

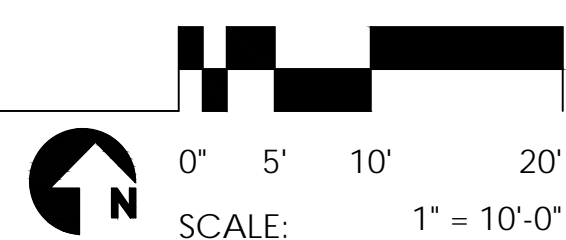
REVISION SCHEDULE

NO.	DATE	DESCRIPTION
A	08/14/2020	ADDENDUM B
B	09/25/2020	ADDENDUM C

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LANDSCAPE PLAN
EAST COURTYARDS



PLANT PALETTE - EAST COURTYARDS

SHRUBS					
NAME	QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
<i>Rhus glabra</i> SMOOTH SUMAC (RG)	40	#5 CONT.	MIN. 30" HT.	\$50.00/	\$2,000.00
<i>Taxus canadensis</i> CANADA YEW (TC)	34	#5 CONT.	MIN. 30" HT.	\$15.00/	\$510.00
ACCENTS					
NAME	QTY.	SIZE	HEIGHT	UNIT PRICE/	TOTAL
<i>Hosta 'Frances'</i> FRANCEE HOSTA (HF)	01	#3 CONT.		\$15.00/	\$15.00
<i>Pennisetum alopecuroides</i> 'Hameln' HAMELN FOUNTAIN GRASS (PA)	69	#2 CONT.		\$15.00/	\$1,035.00
<i>Irish versicolor</i> BLUE FLAG IRIS (NF)	33	#3 CONT.		\$15.00/	\$495.00
				TOTAL:	\$4,055.00

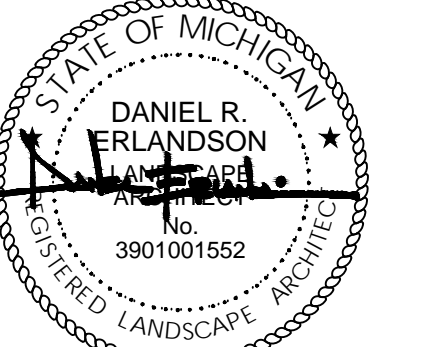
LANDSCAPE SUMMARY - MULTI-FAMILY

Existing Zoning	TC-1	FOUNDATION LANDSCAPING - INCLUDING DECK
GREENBELT ("Gbt")		Building Perimeter 2,072 LF
Street Frontage Adjacent to Pkg.	230'	Landscape Required 16,576 SF (2,072' x 8')
Trees Required	10 Trees (230' / 25')	Landscape Provided 16,645 SF
Trees Provided	0 Trees	
Ornamental Trees Required	16 Trees (230' / 15')	MULTI-FAMILY REQUIREMENTS
Ornamental Trees Provided	17 Trees	Units Proposed 57 Units (Ground Floor)
Street Frontage not Adjacent to Pkg.	850'	Trees Required 171 Trees (57 x 3)
Less Drive Openings	159'	Trees Provided 182 Trees
Net Frontage	691'	WOODLAND REPLACEMENT
Trees Required	23 Trees (691' / 30')	Trees Required 139 Trees
Trees Provided	19 Trees	Trees Provided 0 Trees
Ornamental Trees Required	35 Trees (691' / 20')	Trees to be Paid Into Fund 139 Trees
Ornamental Trees Provided	18 Trees	
PARKING LOT LANDSCAPING ("P")		DETENTION POND
Vehicular Use Area (Exclusive of Deck)	68,138 SF	High Water Length 411 LF
VJA up to 50,000 SF	3,750 SF (50,000 x 7.5%)	Plantings Required 288 LF (411' x 70%)
VJA Over 50,000 SF	181 SF (18,138 x 1%)	Plantings Provided 300 LF (73%)
Landscape Area Required	3,931 SF	REQUESTED WAIVERS
Landscape Area Provided	4,376 SF	1. Section 5.5.A requiring a 10'-15' High Berm adjacent to the I-1 Zoning District. A two story parking deck abouts the I-1 Zoning effectively buffering the residences.
Trees Required	20 Trees (734' / 35')	2. Section 5.5.D.i.b requiring 75% of foundation landscaping to be located in beds with a minimum 4' width. Due to the urban nature of this project, beds are less than 4'.
Trees Provided	23 Trees	3. Section 5.5.F.i.b.(1) requiring 3 trees per unit. This requirement cannot be met due to limited planting area.
PARKING LOT PERIMETER LENGTH ("Per")		Notes:
Parking Lot Perimeter Length	734 LF	A. Transformer to be screened per detail on sheet L-3 of preliminary landscape submitted by Allen Design.
Trees Required	21 Trees (734' / 35')	B. Plantings shall be located closer than 4' to property lines.
Trees Provided	22 Trees	C. Plantings shall be no closer than 10' to hydrants and utility structures
MULTI-FAMILY UNIT TREES TOTAL ("M")		
Trees Required	171 Trees	
Trees Provided	182 Trees	

THE BOND OF NOVI

SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

PROJECT #: 17659



12/03/2020



HUMPHREYS & PARTNERS
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F: (972) 701-9639
W: www.hplastudio.com

CLIENT
DTN MANAGEMENT
2502 LAKE LANSING RD
SUITE C,
LANSING, MI 48912

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L4.04

SCALE: AS INDICATED

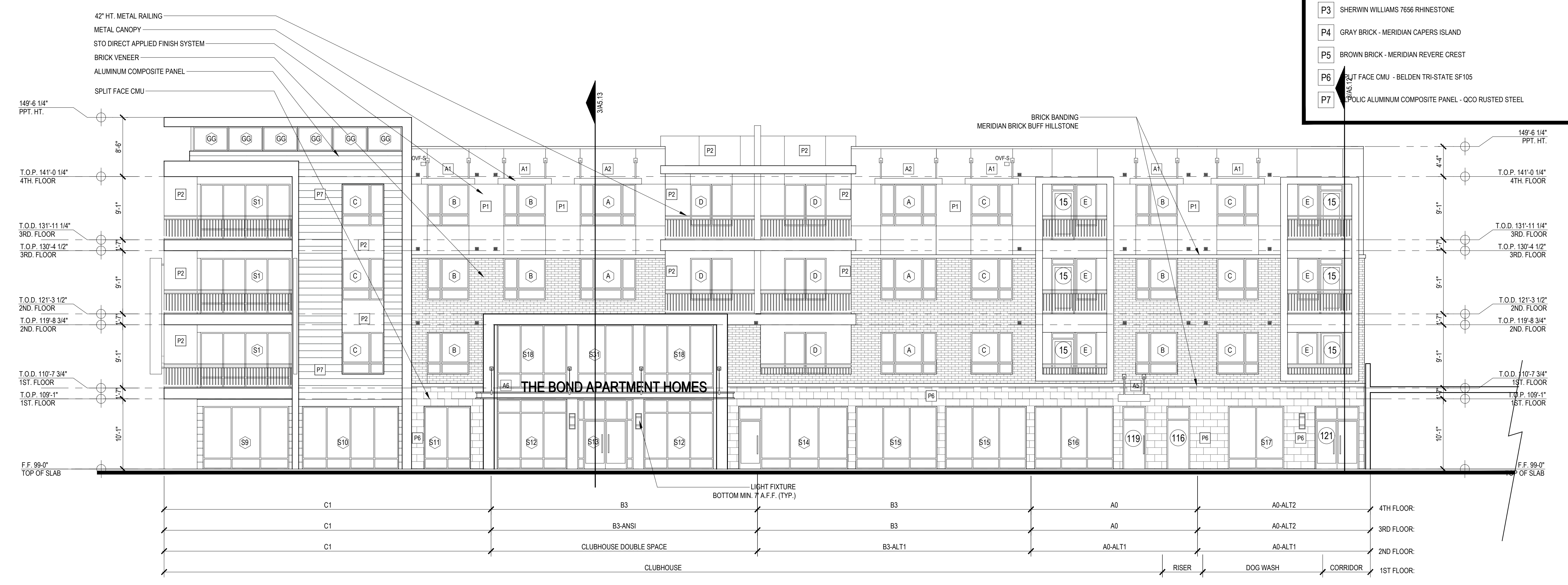
PRELIMINARY SITE PLAN SUBMITTAL - 2020-DECEMBER-03

Designed by:	XC	
Drawn by:	VDL	
Architect of Record:	CS	
Date Plotted:	07/29/2020	
Issue for Pricing / Bidding:	---/---	
Issue for Permit Application:	---/---	
Issue for Construction:	---/---	
Revisions:		
#	DATE	COMMENTS
A	07/29/2020	ADDENDUM B

COLOR LEGEND	
1.	ALL BRICK HEADERS AND BANDING TO MATCH SURROUNDING BRICK TYP.
2.	ALL FIBER CEMENT TRIM - AGED PEWTER
3.	STOREFRONT WINDOWS - DARK BRONZE ANODIZED
4.	VINYL WINDOW: SW 7656 RHINESTONE
5.	METAL AWNING: DARK BRONZE
6.	BRICK MORTAR COLOR: GREY
7.	METAL RAILING: DARK BRONZE
8.	BALCONY FASCIA: SW 7348 URBAN BRONZE
P1	SHERWIN WILLIAMS 7543 AVENUE TAN
P2	SHERWIN WILLIAMS 7048 URBANE BRONZE
P3	SHERWIN WILLIAMS 7656 RHINESTONE
P4	GRAY BRICK - MERIDIAN CAPERS ISLAND
P5	BROWN BRICK - MERIDIAN REVERE CREST
P6	SPLIT FACE CMU - BELDEN TRI-STATE SF105
P7	POLIC ALUMINUM COMPOSITE PANEL - QOO RUSTED STEEL

SYMBOL LEGEND - ELEVATIONS		
1	DOOR TAG	T.O.P. 100'-0" XTH FLOOR
A	WINDOW TAG	T.O.P. 100'-0" XTH FLOOR
XX	WALL SECTION TAG	T.O.H. 100'-0" XTH FLOOR
XX A/XXX	DETAIL SECTION TAG	T.O.S. 100'-0" XTH FLOOR
[Symbol]	FIBER CEMENT LAP SIDING	T.O.S. 100'-0" XTH FLOOR
[Symbol]	CAST STONE	T.O.S. 100'-0" XTH FLOOR
[Symbol]	METAL PANEL	T.O.S. 100'-0" XTH FLOOR
[Symbol]	FINISH FLOOR	F.F. 100'-0"
[Symbol]	FIREWALL - NON-COMBUSTIBLE MATERIALS 4'-0" ON EITHER SIDE OF THE FIREWALL	
[Symbol]	BRICK VENEER	

- ### ELEVATION NOTES
- PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
 - MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT 6'-8" A.F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
 - REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
 - FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
 - PROVIDE A WATER TIGHT BUILDING(S), ROOF AND EXTERIOR ENVELOPE THAT SHEDS WATER PROPERLY.
 - ALL PATIOS, PORCHES, BALCONIES, AND SIDEWALKS TO BE SLOPED 1/4" PER 1'-0" MINIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS.
 - GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 5% MIN FOR 10' PER IBC 1904.3.
 - GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & HARDSCAPE DRAWINGS FOR FINE GRADING.
 - PROJECT ADDRESS SIGNAGE TO BE 12" HT. INDIVIDUAL MOUNT, METAL REVERSE PAN CHANNEL NUMBER, STREET NUMBERS ONLY.
 - SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT.
 - ALL EXTERIOR COLORS, FINISHES, AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, U.N.O.
 - ALIGN ALL MECHANICAL VENTS BOTH HORIZONTALLY AND VERTICALLY.
 - PER 2015 IBC SECTION 1403.2.2(2), ARCHITECTURAL TRIM THAT EXCEEDS 40'-0" AFG IN HEIGHT ON BUILDING (S.B.) CONSTRUCTION SHALL BE OF APPROVED, NON-COMBUSTIBLE MATERIALS AND SHALL BE SECURED TO THE WALL WITH METAL OR OTHER APPROVED, NON-COMBUSTIBLE BRACKETS.



2 BLDG 1 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"



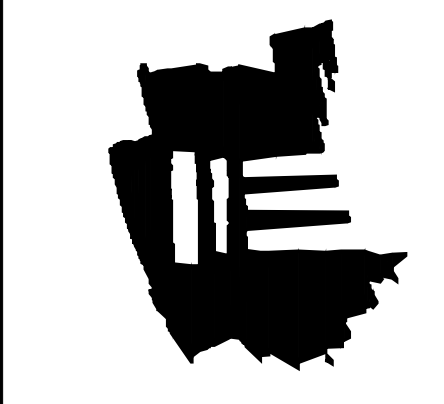
1 BLDG 1 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"

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THE BOND OF NOVI
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



HUMPHREYS & PARTNERS
ARCHITECTS, L.P.
121 W. WACKER DRIVE - SUITE 2000 - CHICAGO, ILLINOIS 60601
(312) 650-4400 / (872) 701-8639 FAX
DALLAS - NEWPORT BEACH - NEW ORLEANS - ORLANDO
SAN RAMON - SCOTTSDALE - MONTEVIDEO
www.humphreys.com



SHEET CONTENTS:
BLDG 1
ELEVATIONS
SHEET NO.

A4.16

ADDENDUM B

Designed by:	XC	
Drawn by:	VDL	
Architect of Record:	CS	
Date Plotted:	07/29/2020	
Issue for Pricing / Bidding:	---/---	
Issue for Permit Application:	---/---	
Issue for Construction:	---/---	
Revisions:		
#	DATE	COMMENTS
1	07/29/2020	ADDENDUM B

COLOR LEGEND	
1.	ALL BRICK HEADERS AND BANDING TO MATCH SURROUNDING BRICK TYP.
2.	ALL FIBER CEMENT TRIM - AGED PEWTER
3.	STOREFRONT WINDOWS: DARK BRONZE ANNOXIDIZED
4.	VINYL WINDOW: SW 7656 RHINESTONE
5.	METAL AWNING: DARK BRONZE
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7.	METAL RAILINGS: DARK BRONZE
8.	BALCONY FASCIA: SW 7348 URBAN BRONZE

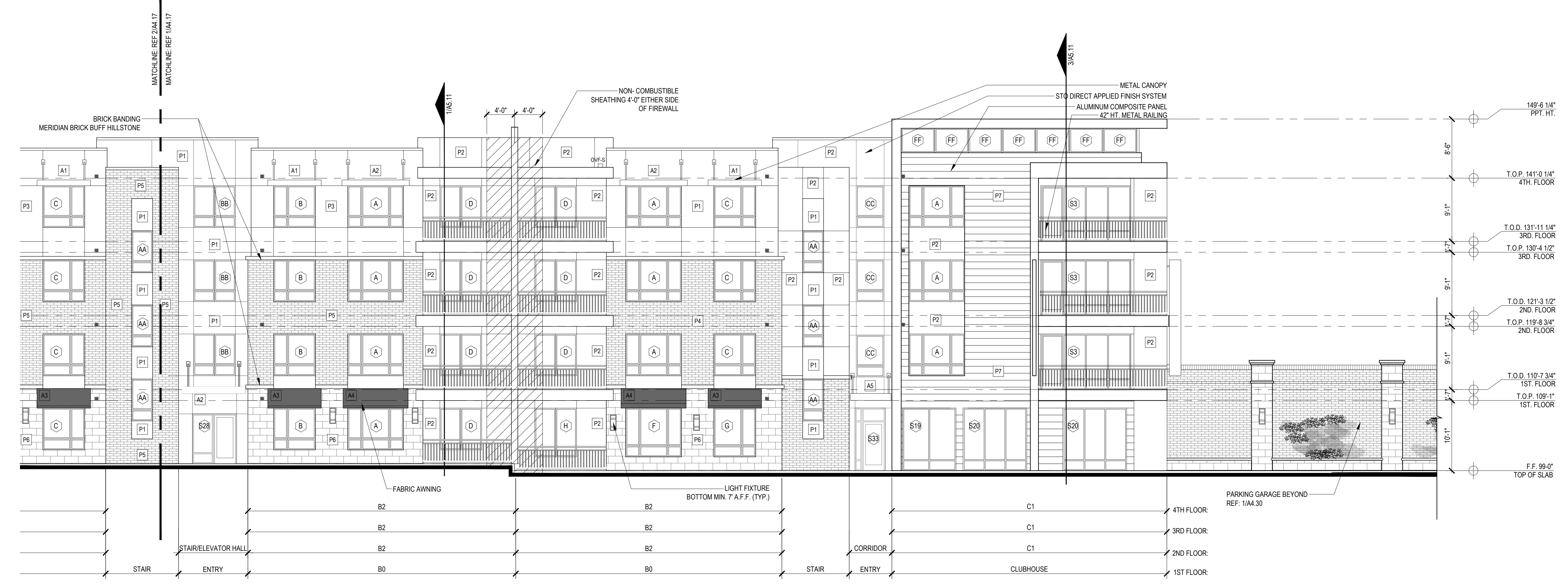
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P4	GRAY BRICK - MERIDIAN CAPERS ISLAND
P5	BROWN BRICK - MERIDIAN REVERE CREST
P6	SPLIT FACE CMU - REVERE TRI-STATE SF105
P7	ALPOLIC ALUMINUM COMPOSITE PANEL - QCO RUSTED STEEL

SYMBOL LEGEND - ELEVATIONS			
①	DOOR TAG	⊕ T.O.P. 100'-0" XTH FLOOR	TOP OF PLATE
Ⓐ	WINDOW TAG	⊕ T.O.D. 100'-0" XTH FLOOR	TOP OF DECK
XX	WALL SECTION TAG	⊕ T.O.H. 100'-0" XTH FLOOR	TOP OF HEEL
ⓧ	DETAIL SECTION TAG	⊕ T.O.S. 100'-0" XTH FLOOR	TOP OF SLAB
[Hatched]	FIBER CEMENT LAP SIDING	⊕ F.F. 100'-0"	FINISH FLOOR
[Solid]	CAST STONE	[Hatched]	FIREWALL - NON-COMBUSTIBLE MATERIALS 4'-0" ON EITHER SIDE OF THE FIREWALL
[Horizontal Lines]	METAL PANEL	[Grid]	BRICK VENEER

- ### ELEVATION NOTES
- PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS.
 - MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT 6'-8" A.F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL.
 - REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS.
 - FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS.
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 - PER 2015 IBC SECTION 1402.2.2(2), ARCHITECTURAL TRIM THAT EXCEEDS 40'-0" AFG IN HEIGHT ON BUILDING (S.B. III) CONSTRUCTION SHALL BE OF APPROVED, NON-COMBUSTIBLE MATERIALS AND SHALL BE SECURED TO THE WALL WITH METAL OR OTHER APPROVED, NON-COMBUSTIBLE BRACKETS.



2 BLDG 1 - PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 BLDG 1 - PARTIAL EAST ELEVATION
SCALE: 1/8" = 1'-0"

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THE BOND OF NOVI
SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



HUMPHREYS & PARTNERS
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SHEET CONTENTS:
BLDG 1
ELEVATIONS
SHEET NO.

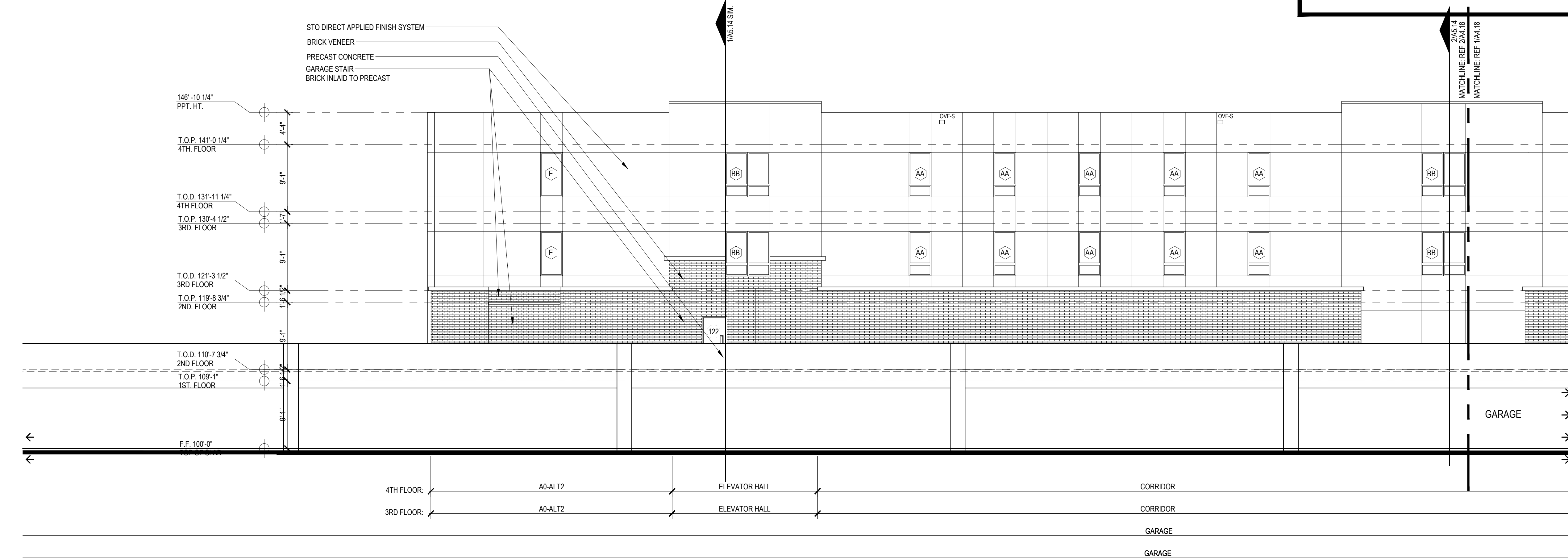
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ADDENDUM B

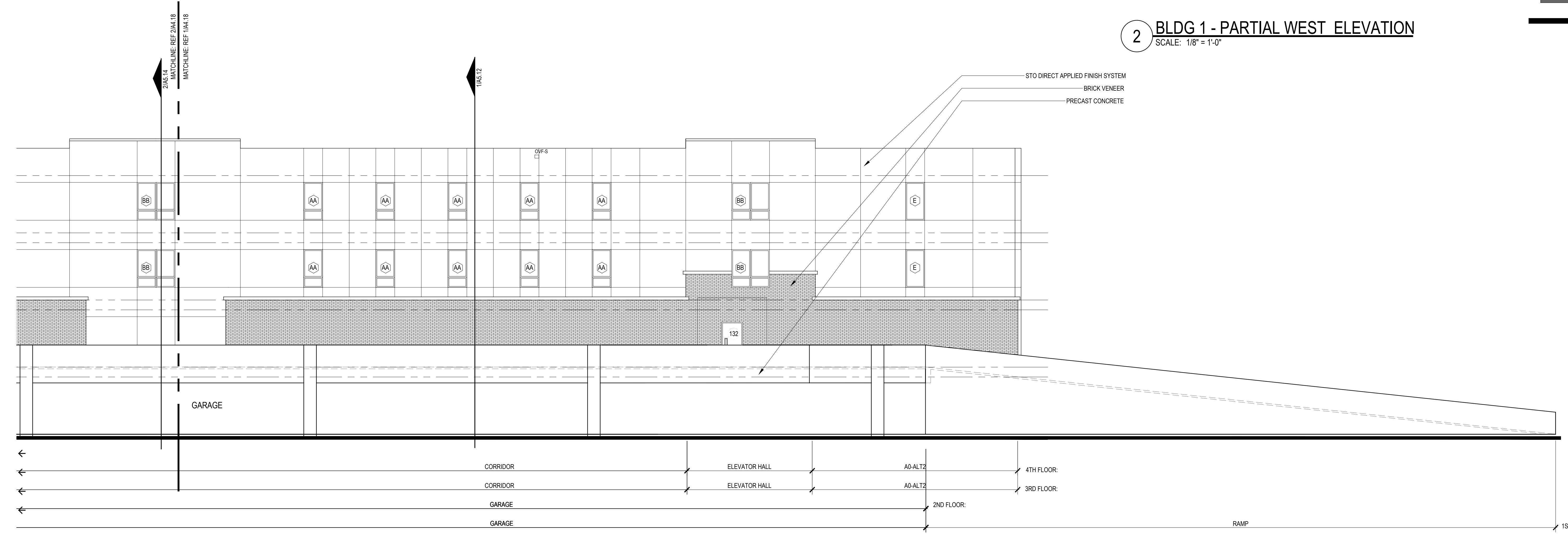
COLOR LEGEND	
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2.	ALL FIBER CEMENT TRIM - AGED PEWTER
3.	STOREFRONT WINDOWS - DARK BRONZE ANNOXIDIZED
4.	VINYL WINDOW: SW 7656 RHINESTONE
5.	METAL AWNING: DARK BRONZE
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P5	BROWN BRICK - MERIDIAN REVERE CREST
P6	SPLIT FACE CMU - BELDEN TRI-STATE SF105
P7	ALPOLIC ALUMINUM COMPOSITE PANEL - QCO RUSTED STEEL

SYMBOL LEGEND - ELEVATIONS		
(1)	DOOR TAG	T.O.P. 100'-0" XTH FLOOR TOP OF PLATE
(A)	WINDOW TAG	T.O.D. 100'-0" XTH FLOOR TOP OF DECK
XX	WALL SECTION TAG	T.O.H. 100'-0" XTH FLOOR TOP OF HEEL
(XX A/XXX)	DETAIL SECTION TAG	T.O.S. 100'-0" XTH FLOOR TOP OF SLAB
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2 BLDG 1 - PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"



1 BLDG 1 - PARTIAL WEST ELEVATION
SCALE: 1/8" = 1'-0"

Designed by: XC
 VDL
 Drawn by: VDL
 Architect of Record: CS
 Date Plotted: 07/29/2020
 Issue for Pricing / Bidding: -/-/-/
 Issue for Permit Application: -/-/-/
 Issue for Construction: -/-/-/

Revisions:		
#	DATE	COMMENTS
1	07/29/2020	ADDENDUM B

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SHEET CONTENTS:
 BLDG 1
 ELEVATIONS
 SHEET NO.

A4.18

ADDENDUM B

Designed by:	XC	
Drawn by:	VDL	
Architect of Record:	CS	
Date Plotted:	07/29/2020	
Issue for Pricing / Bidding:	---/---	
Issue for Permit Application:	---/---	
Issue for Construction:	---/---	
Revisions:		
#	DATE	COMMENTS
1	07/29/2020	ADDENDUM B

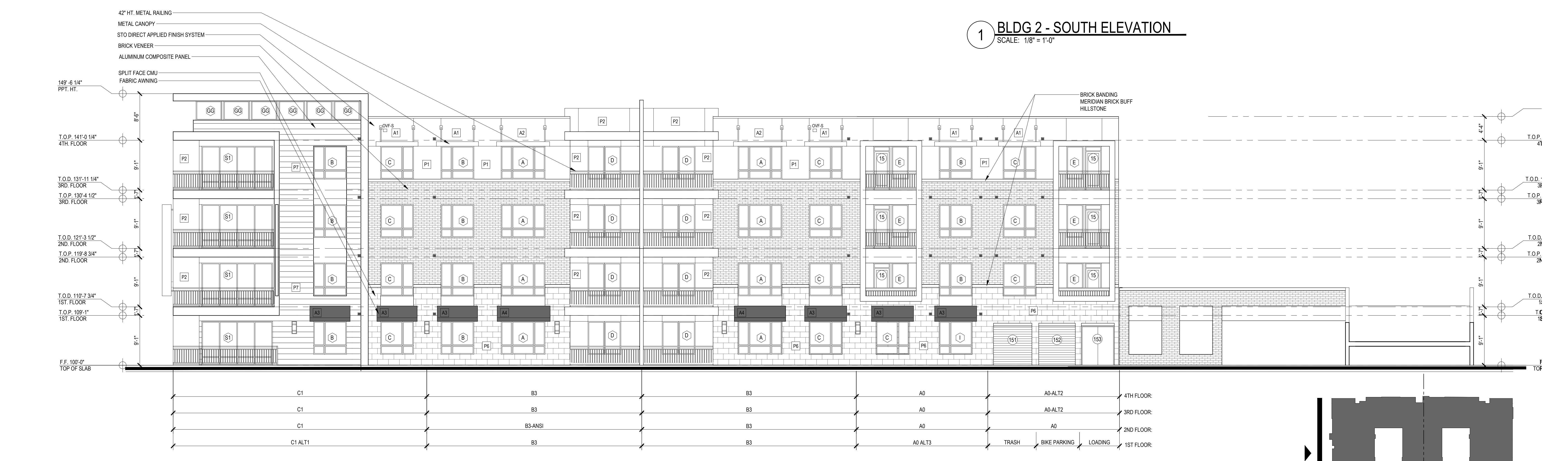
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SYMBOL LEGEND - ELEVATIONS			
①	DOOR TAG	⊕ T.O.P. 100'-0" XTH FLOOR	TOP OF PLATE
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▨	FIBER CEMENT LAP SIDING	⊕ F.F. 100'-0"	FINISH FLOOR
▩	CAST STONE	▨	FIREWALL - NON-COMBUSTIBLE MATERIALS 4'-0" ON EITHER SIDE OF THE FIREWALL
▧	METAL PANEL	▧	BRICK VENEER

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1 BLDG 2 - SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 BLDG 2 - NORTH ELEVATION
SCALE: 1/8" = 1'-0"

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SHEET CONTENTS:
BLDG 2
ELEVATIONS
SHEET NO.

A4.26

ADDENDUM B

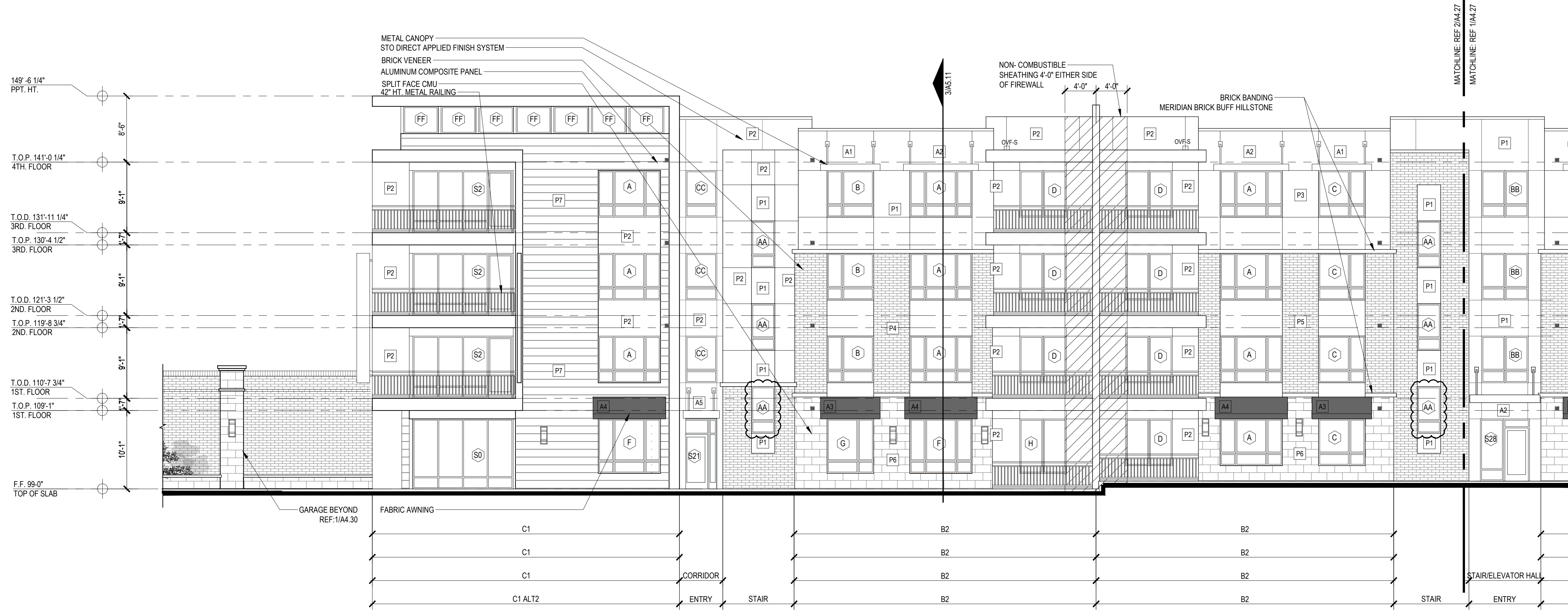
Designed by:	XC	
Drawn by:	VDL	
Architect of Record:	CS	
Date Plotted:	07/29/2020	
Issue for Pricing / Bidding:	---/---	
Issue for Permit Application:	---/---	
Issue for Construction:	---/---	
Revisions:		
#	DATE	COMMENTS
A	07/29/2020	ADDENDUM B

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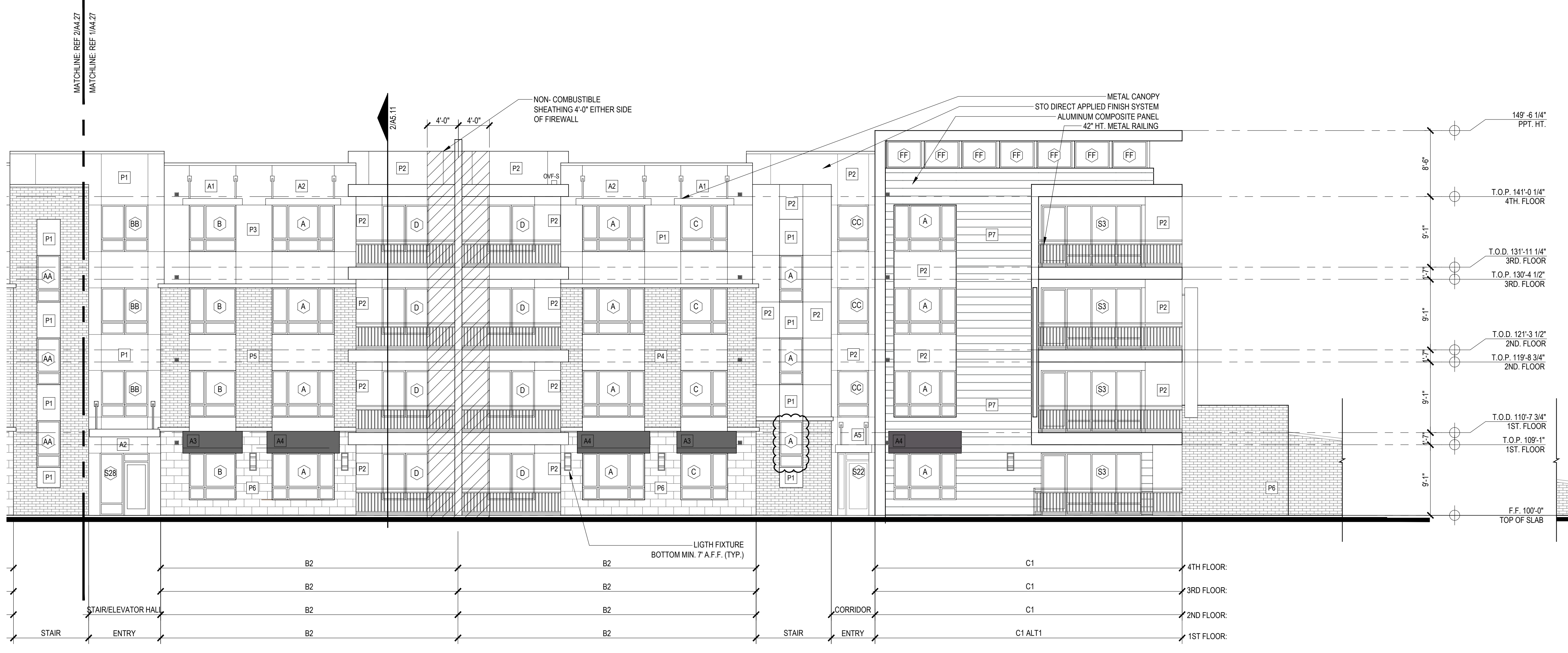
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[Pattern]	METAL PANEL	[Pattern]	BRICK VENEER

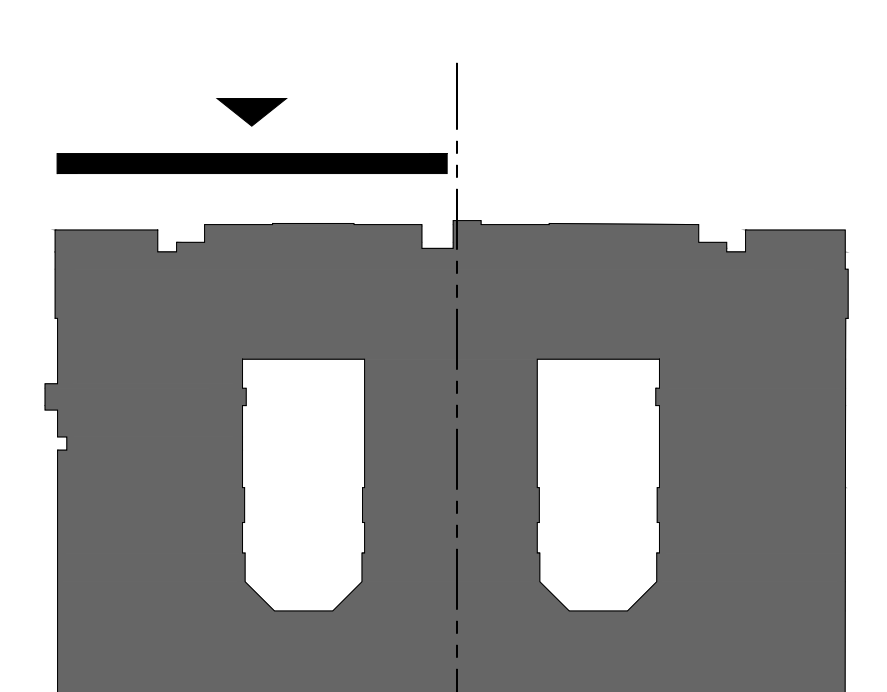
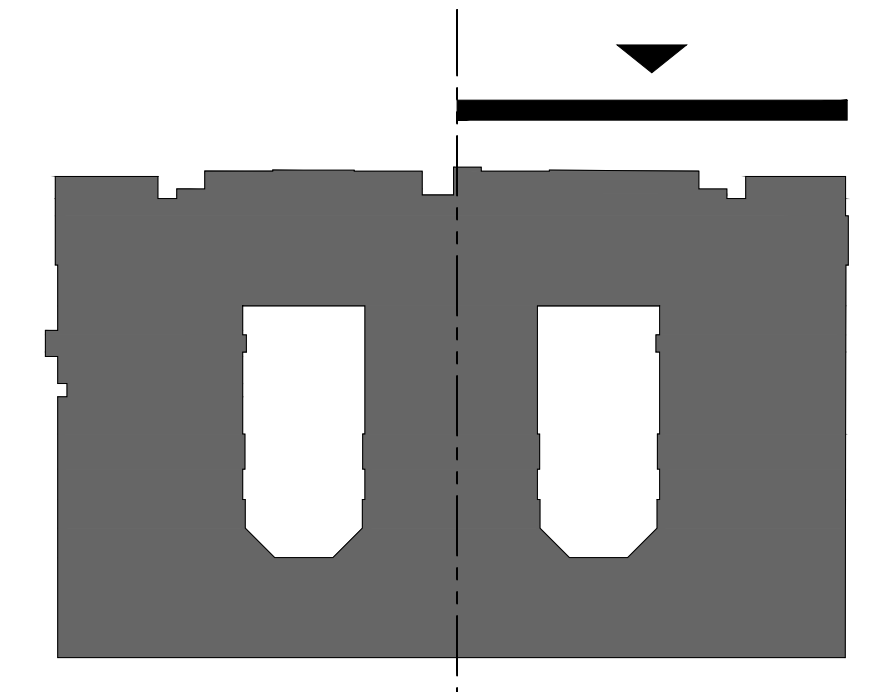
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SHEET CONTENTS:
BLDG 2
ELEVATIONS
SHEET NO.

A4.27

ADDENDUM B

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 - PER 2015 IBC SECTION 1402.2.2(2), ARCHITECTURAL TRIM THAT EXCEEDS 40'-0" AFG IN HEIGHT ON BUILDING (I.E. III) CONSTRUCTION SHALL BE OF APPROVED, NON-COMBUSTIBLE MATERIALS AND SHALL BE SECURED TO THE WALL WITH METAL OR OTHER APPROVED, NON-COMBUSTIBLE BRACKETS.

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THE BOND OF NOVI
 SECTION 22, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN



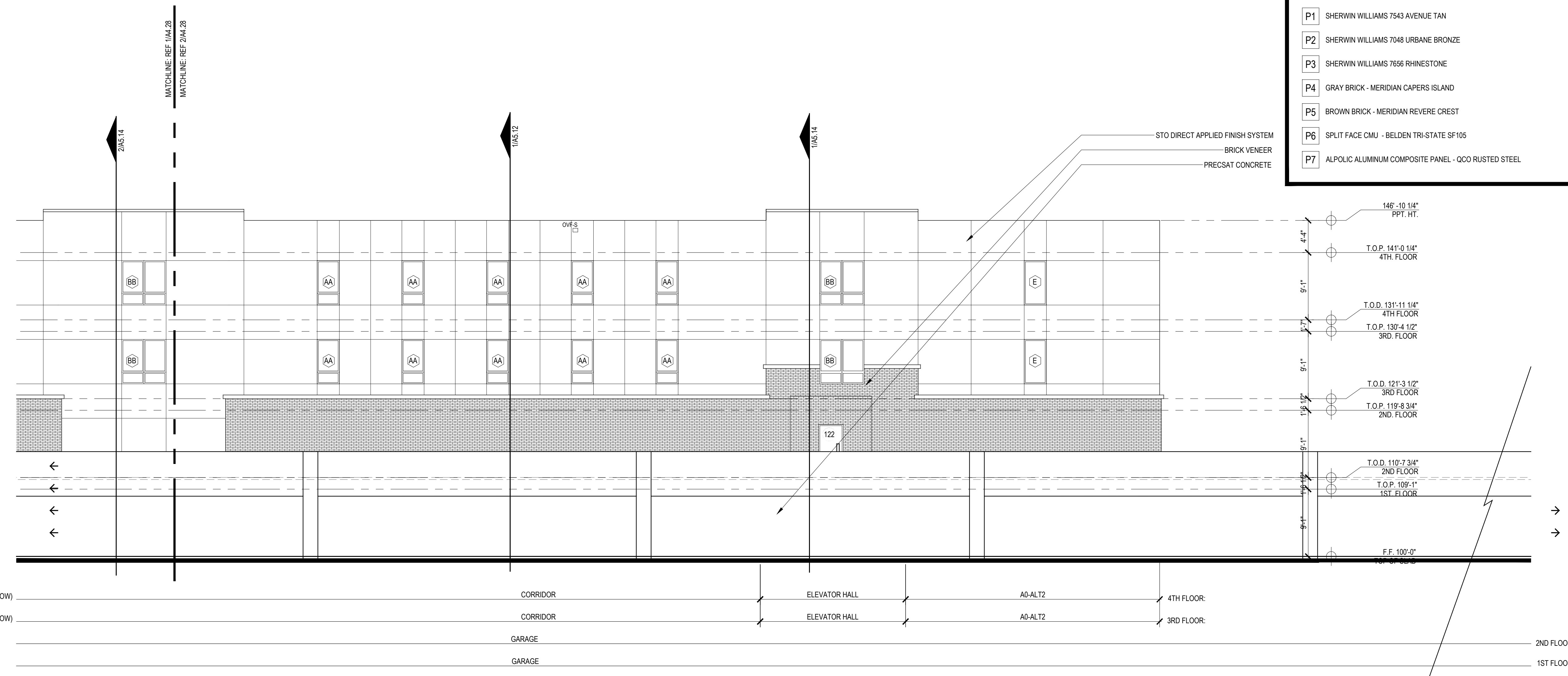
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 ARCHITECTS, L.P.
 121 W. WACKER DRIVE - SUITE 2000 - CHICAGO, ILLINOIS 60601
 (312) 690-4400 / (872) 701-8639 FAX
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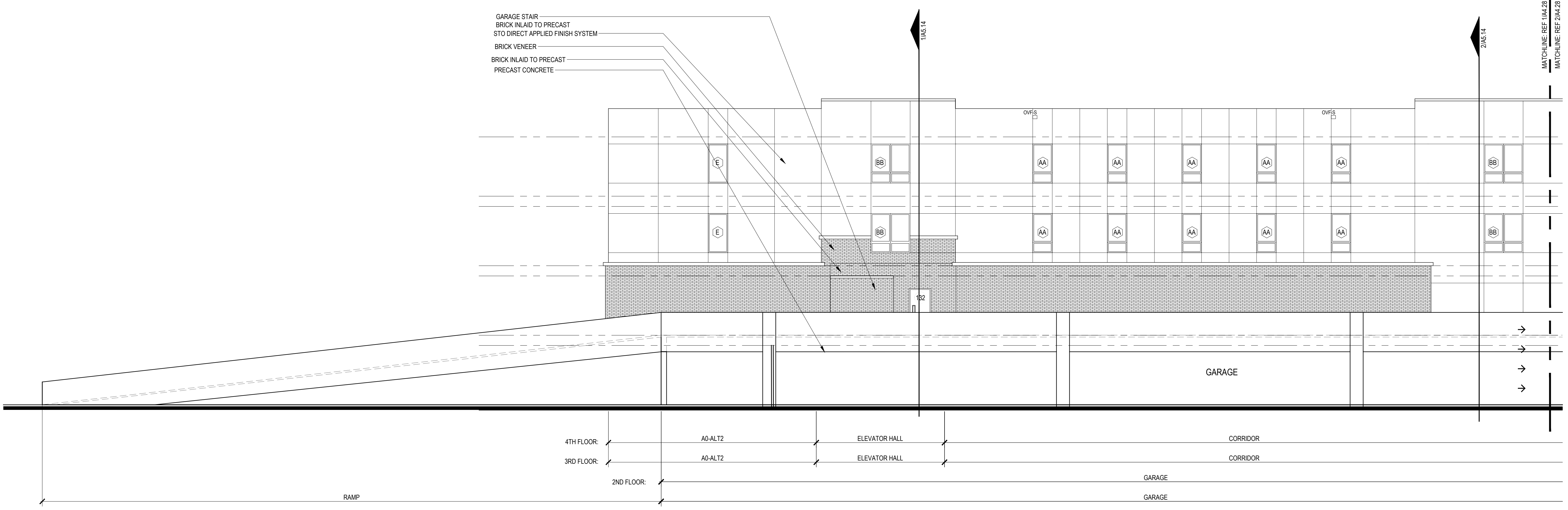
SHEET CONTENTS:
 BLDG 2
 ELEVATIONS
 SHEET NO.

A4.28

ADDENDUM B



2 BLDG 2 - PARTIAL WEST ELEVATION
 SCALE: 1/8" = 1'-0"



1 BLDG 2 - PARTIAL WEST ELEVATION
 SCALE: 1/8" = 1'-0"



ADDENDUM B

COLOR LEGEND		SYMBOL LEGEND - ELEVATIONS	
1. ALL BRICK HEADERS AND BANDING TO MATCH SURROUNDING BRICK TYP. 2. ALL FIBER CEMENT TRIM AGED PEWTER 3. STOREFRONT WINDOWS: DARK BRONZE ANNOXIDIZED 4. VINYL WINDOW: SW 7656 RHINESTONE 5. METAL AWNING: DARK BRONZE 6. BRICK MORTAR COLOR: GREY 7. METAL RAILINGS: DARK BRONZE 8. BALCONY FASCIA: SW 7348 URBAN BRONZE		① DOOR TAG ⓐ WINDOW TAG XX WALL SECTION TAG XX AX.XX DETAIL SECTION TAG FIBER CEMENT LAP SIDING CAST STONE METAL PANEL T.O.P. 100'-0" XTH FLOOR T.O.D. 100'-0" XTH FLOOR T.O.H. 100'-0" XTH FLOOR T.O.S. 100'-0" XTH FLOOR F.F. 100'-0" TOP OF PLATE TOP OF DECK TOP OF HEEL TOP OF SLAB FINISH FLOOR FIREWALL - NON-COMBUSTIBLE MATERIALS 4'-0" ON EITHER SIDE OF THE FIREWALL BRICK VENEER	
P1 SHERWIN WILLIAMS 7543 AVENUE TAN P2 SHERWIN WILLIAMS 7048 URBANE BRONZE P3 SHERWIN WILLIAMS 7656 RHINESTONE P4 GRAY BRICK - MERIDIAN CAPERS ISLAND P5 BROWN BRICK - MERIDIAN REVERE CREST P6 SPLIT FACE CMU - BELDEN TRI-STATE SF105 P7 ALPOLIC ALUMINUM COMPOSITE PANEL - QOO RUSTED STEEL		ELEVATION NOTES 1. PROVIDE 1/2" MINIMUM OF SLOPE AWAY FROM WALL ON TOP SURFACE OF WALL PROJECTIONS. 2. MOUNT ALL EXTERIOR WALL LIGHT FIXTURES WHERE BOTTOM OF LIGHT FIXTURE IS AT 6'-8" A.F.F. WHERE THEY PROJECT MORE THAN 4" FROM FACE OF WALL. 3. REFER TO CIVIL AND STRUCTURAL DRAWINGS FOR F.F.E. AND SLAB BREAKS 4. FLASHING, WATERPROOF MEMBRANES, PROPER CAULKS AND SEALANTS (BACKER RODS AS REQUIRED) SHALL BE INSTALLED AROUND ALL WINDOWS, DOORS, ROOF OPENINGS, HORIZONTAL AND VERTICAL JOINTS OF DISSIMILAR MATERIALS, MATERIAL TRANSITIONS, TRIMS, BALCONIES AND OTHER WEATHER EXPOSED AREAS. 5. PROVIDE A WATER TIGHT BUILDING(S), ROOF AND EXTERIOR ENVELOPE THAT SHEDS WATER PROPERLY. 6. ALL PATIOS, PORCHES, BALCONIES, AND SIDEWALKS TO BE SLOPED 1/4" PER 1'-0" MINIMUM IN DIRECTION INDICATED ON PLANS AND AWAY FROM EXTERIOR WALLS. 7. GRADES AROUND ALL EXTERIOR WALLS OF THE BUILDING TO BE 8 INCHES MINIMUM BELOW THE FINISHED FLOOR AND IS TO SLOPE AWAY FROM THE BUILDING 5% MIN FOR 10' PER B.C. 1804.3. 8. GRADE ELEVATIONS ARE APPROXIMATE. REFER TO CIVIL & HARDSCAPE DRAWINGS FOR FINE GRADING. 9. PROJECT ADDRESS SIGNAGE TO BE 12" HT. INDIVIDUAL MOUNT, METAL REVERSE PAN CHANNEL NUMBER, STREET NUMBERS ONLY. 10. SIGNS ARE FOR REFERENCE ONLY. ALL SIGNS SHALL BE REVIEWED AND INSTALLED UNDER SEPARATE PERMIT. 11. ALL EXTERIOR COLORS, FINISHES, AND DECORATIVE TRIM BANDS TO TERMINATE AT AN INSIDE CORNER, U.N.O. 12. ALIGN ALL MECHANICAL VENTS BOTH HORIZONTALLY AND VERTICALLY. 13. PER 2015 IBC SECTION 1403.2.2(2), ARCHITECTURAL TRIM THAT EXCEEDS 40'-0" AFG IN HEIGHT ON BUILDING (S, M) CONSTRUCTION SHALL BE OF APPROVED, NON-COMBUSTIBLE MATERIALS AND SHALL BE SECURED TO THE WALL WITH METAL OR OTHER APPROVED, NON-COMBUSTIBLE BRACKETS.	

Designed by: XC
 Drawn by: PVP/MDL
 Architect of Record: CS
 Date Plotted: 07/29/2020
 Issue for Pricing / Bidding: -/-/-/
 Issue for Permit Application: -/-/-/
 Issue for Construction: -/-/-/

Revisions:		
#	DATE	COMMENTS
1	07/29/2020	ADDENDUM B

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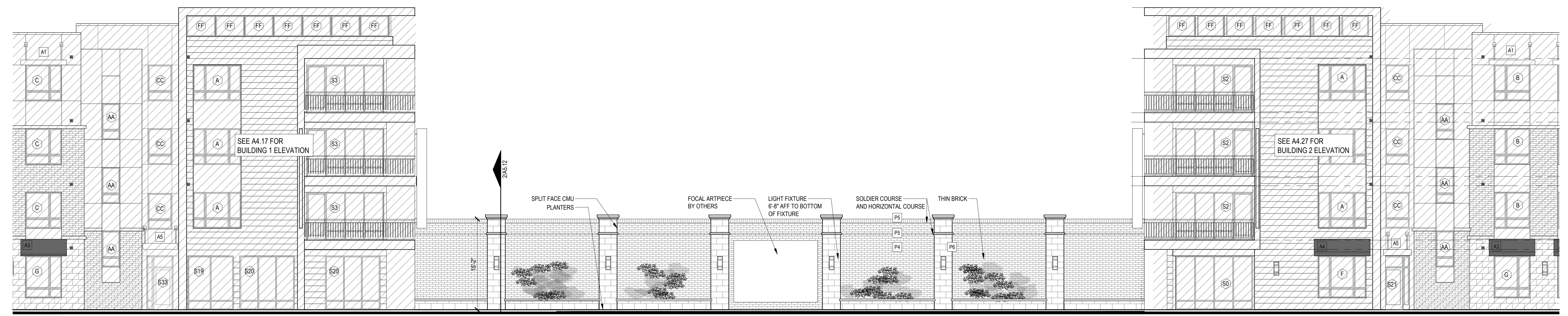


SHEET CONTENTS:
 BLDG 1&2
 EAST ELEVATION
 SHEET NO.

A4.30

17659

ADDENDUM B



1 BLDG 1&2 - PARTIAL EAST ELEVATION - COURTYARD
 SCALE: 1/8" = 1'-0"

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

December 4, 2020

Planning Review

The Bond fka The District

JSP 18-10

PETITIONER

The Bond, fka The District

REVIEW TYPE

2nd Revised Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	22	
Site Location	west side of Flint Street in the south west corner of Grand River Avenue and Novi Road ; 50-22-22-226-005 and 50-22-22-226-003;	
Site School	Novi Community School District	
Site Zoning	TC-1: Town Center One	
Adjoining	North	TC-1: Town Center One
	East	TC-1: Town Center One
	West	I-1 Light Industrial across rail road
	South	TC-1: Town Center One
Current Site	Vacant	
Adjoining Uses	North	Commercial
	East	Commercial: City Center Plaza
	West	Gen Mar and CVS warehouse
	South	Novi Cemetery
Site Size	After ROW dedication 7.74 acres	
Plan Date	Revised October 8, 2020 (Original: May 10, 2018)	

PROJECT SUMMARY

The subject property is approximately 7.74 acres and is located on the southwest side of the renamed Bond Street (formerly Flint Street). Bond Street is located near the southwest quadrant of Grand River Avenue and Novi Road (Section 22). The applicant is proposing to redevelop the former Fendt Transit Mix Concrete Plant into a mixed use development with two four-story multi-family residential buildings with 260 units and a single-story commercial building. The site improvements include a two-level parking structure, surface parking, site amenities such as a swimming pool, landscaped courtyards and related landscape improvements. The current resubmittal primarily includes revisions to the façade materials, the western parking lot access and layout, and landscaping plan.

APPROVAL SUMMARY

The preliminary site plan has received the following approvals:

1. On June 27, 2018, the Planning Commission held a public hearing and recommended City Council to approve the Preliminary Site Plan, Phasing Plan, Woodlands Permit, and Storm Water Management Plan.
2. On July 23, 2018, the City Council approved the Preliminary Site Plan, Phasing Plan, Woodlands Permit, and Storm Water Management Plan.

3. On August 14, 2018, the Zoning Board of Appeals approved a list of variances as noted in City Council action summary attached.
4. On November 25, 2019, City Council approved the First Amendment of the Development Agreement to permit up to 260 units, with 641 rooms.
5. On November 19, 2019, the Zoning Board of Appeals approved a variance to allow an increase up to 59% of the maximum number of 1-bedroom units, where the ordinance allows up to 50%.

RECOMMENDATION

Approval of the 2nd revised Preliminary Site Plan is **recommended** subject to Planning Commission's recommendation and City Council approval of the change in façade materials and landscape waivers. However, Landscape review is not recommending approval at this time, and requests additional information be addressed in a revised Preliminary Site Plan submittal.

The Planning Commission will be asked to make a recommendation to the City Council for approval, approval subject to conditions, or denial of the Revised Preliminary Site Plan and Storm Water Management Plan.

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Current Revised Site Plan: With the current revised plan, the applicant is proposing modify the previously approved façade material percentages, revise the western parking lot layout and access point, and make adjustments to the landscape screening walls. The parking lot changes are due to a portion of the Bond Street not being constructed at this time, so the access point has been moved to the west, which will provide access to the City-owned parcel. The number of parking spaces has increased by 1. **The revised site plan does not indicate significant changes to the building footprint or the site layout.** The site plan is subject to all previous approved conditions and deviations. The plans will be reviewed for compliance again at the time of final site plan.
2. Access to City-owned parcel: The applicant shall provide clarification about the intent of the stub street to the City-owned parcel to the north. **The applicant shall indicate whether they are requesting temporary construction easement, emergency access easements, and/or permanent cross-access easements for use of the adjacent properties, and show the route through that property on the plans.**

OTHER REVIEWS

The current revised site plan is processed for Planning, Engineering, Façade and Landscape review only. All other reviewers will provide comments at the time of final site plan review.

- a. Engineering Review: Approval of the revised Preliminary Site Plan and Storm Water Management Plan is recommended. Additional comments to be addressed with Final Site Plan.
- b. Landscape Review: Approval of the revised Preliminary Site Plan is **recommended** at this time. Additional details will need to be addressed at the time of Final Site Plan submittal.
- c. Façade Review: Modification of Section 9 façade waiver is recommended for approval.

PLANNING COMMISSION MEETING

This Site Plan is scheduled to go before Planning Commission for a recommendation to City Council on **December 9, 2020, at 7:00 p.m.**

CITY COUNCIL MEETING

Following issuance of a recommendation by the Planning Commission, this item will be scheduled to go to City Council for consideration of a Second Amendment to the Development Agreement.

FINAL SITE PLAN SUBMITTAL

After receiving the approval from City Council, the applicant should submit the following for Final Site Plan review and approval

1. Six copies of Final Site Plan addressing all comments from Preliminary review
2. Response letter **addressing all comments and refer to sheet numbers where the change is reflected. Please refer to the last review letters from other reviewers.**
3. [Final Site Plan Application](#)
4. [Final Site Plan Checklist](#)
5. Engineering Cost Estimate
6. Landscape Cost Estimate
7. [Other Agency Checklist](#)
8. Legal Documents as required (note that off-site easements need to be executed and any on-site easements need to be submitted in draft form before stamping sets will be stamped)

ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER

After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:

1. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
2. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

STAMPING SET APPROVAL

Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals**, to the Community Development Department for final Stamping Set approval.

SITE ADDRESSING

A new address is required for this project. The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found by clicking on this [link](#).

Please contact the Ordinance Division 248.735.5678 in the Community Development Department with any specific questions regarding addressing of sites.

STREET AND PROJECT NAME

The project and the street name are approved. Please contact Madeleine Kopko (248-347-0579) in the Community Development Department for additional information. The address application can be found by clicking on this [link](#).

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.



Lindsay Bell, AICP – Senior Planner

CITY COUNCIL ACTION SUMMARY

On July 23, 2018, the City Council approved the Preliminary Site Plan, Phasing Plan, Woodlands Permit, and Storm Water Management Plan based on the following motion:

Approval of the request of DTN Management/Tricap Holdings for JSP 18-10 for the Preliminary Site Plan, Phasing Plan, Woodland Permit, and Storm Water Management Plan, subject to and based on the following:

1. The applicant shall provide a form of agreement and/or financial guarantees as acceptable to the City, at the time of Final Site Plan submittal, to assure that the commercial component will be built within a certain time as suggested by applicant and approved by the City.
2. City Council finding per Section 4.82.2.b. for allowing an increase of the maximum number of rooms allowed (421 allowed, 627 proposed) *based on justification provided by the applicant in their response letter dated June 22, 2018; (later increased to 641 rooms on 11-25-2019)*
3. A City Council waiver for exceeding the maximum allowable front yard building setback per Section 3.1.26.D (10 ft. maximum allowed, approximately 15 ft. proposed) *due to the unusual and shallow shape of the subject property;*
4. City Council approval according to Sec. 3.6.2.Q. for allowing an increase in the minimum required parking setback as listed in Sec. 3.1.26.D for six parking spaces designated for public use (10 ft. maximum allowed, approximately 7 ft. proposed) *as the applicant has clearly demonstrated that the minimum parking setback area is met in the remainder of the site;*
5. City Council variance from Sec. 11-239(b)(1),(2) of Novi City Code for the absence of hard surface for parking lot and driveway for proposed temporary parking lot of six spaces in Phase 1 *as the requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
6. City Council variance from Sec. 11-239(b)(1),(2) of Novi City Code for absence of curb and gutter for parking lot and driveway for proposed temporary parking lot of six spaces in Phase 1 *as the requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
7. City Council variance from Sec. 11-239(b)(3) of Novi City Code for absence of pavement markings and layout including end islands for proposed temporary parking lot of six spaces in Phase 1 *as the requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
8. A Section 9 waiver for the following deviations *as the overall appearance of the building would not be significantly improved by strict application of the percentage listed in the Ordinance:*
 - a. Not providing the 30 percent minimum required brick on the facades for Building 1 and 2 as follows: east (28% proposed), north (28% proposed) and south (26% proposed);

- b. Exceeding the 25 percent maximum allowed percentage of EIFS on all facades for Building 1 and 2 (proposed: East - 28%, North - 38%, South - 35% and West - 48%);
 - c. Not providing the 50 percent minimum required brick and stone for TC-1 district on the north façade for Building 1 and 2 (48% proposed);
 - d. Not providing the minimum 30 percent required brick on all facades for the Commercial Building (proposed: North - 23%, West - 8%, South - 8% and East - 17%);
 - e. Exceeding the 50 percent maximum allowed for Cast Stone on all facades for the Commercial Building (proposed: North - 55%, West - 76%, South - 76% and East - 64%);
 - f. Exceeding the maximum allowed percentage for Ribbed Metal (0% allowed) on all facades providing the ribbed metal for the Commercial Building (proposed: North - 12%, West - 6%, South - 6% and East - 9%);
 - g. Exceeding the maximum allowed concrete for west facade of the parking structure (0% allowed, 100% proposed) in lieu of providing the minimum required brick (30% minimum required, 0% provided);
 - h. Exceeding the maximum allowed cast stone for north and south facades of the parking structure (0% allowed, 100% proposed) in lieu of providing the minimum required brick (30% minimum required, 0% provided);
9. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitaes along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening;*
 10. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt;
 11. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) *as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped;*
 12. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers);*
 13. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitaes are proposed in that area to help screen the view of the railroad and the industrial site;*
 14. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) *as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*
 15. The following variances would require Zoning Board of Appeals approval:
 - a. A Zoning Board of Appeals variance from Section 4.82.2 for increasing the maximum percentage of one bed room units allowed for this development (50% maximum allowed, 58% proposed) *based on applicants response that a 60% unit mix is recommended based on their internal marketing survey and assessment;*
 - b. A Zoning Board of Appeals variance from Section 3.27.1.D for allowing parking in side yard for commercial building(around 49 spaces) *due to the unusual shallow shape of the subject property and the inability to park in the rear yard;*
 - c. A Zoning Board of Appeals variance from Section 3.27.1.D for allowing parking in front yard for residential section (around 38 spaces, 9% of total 432 spaces) *due to the unusual shallow shape of the subject property and the inability to park in the rear yard;*
 - d. A Zoning Board of Appeals variance from Section 3.27.1.D for allowing parking in side yard for residential section (around 50 spaces,12% of total spaces in east and 35 spaces 12% of total spaces in west) *due to the unusual shallow shape of the subject property and the inability to park in the rear yard;*

- e. A Zoning Board of Appeals variance from Section 4.82.2.e for a reduction of the minimum building setback for Building 1 on the east side (15 ft. required, a minimum of 12 ft. with overhang of 8.8 ft. proposed for an approximate length of 12 ft., total building length is 283 ft.) *due to the unusual shallow shape of the subject property;*
- f. A Zoning Board of Appeals variance from Section 4.82.2.e for a reduction of the minimum building setback for Building 2 on the east side (15 ft. required, a minimum of 8 ft. with overhang of 3.8 ft. proposed for an approximate length of 16 ft., total building length is 283 ft.) *due to the unusual shallow shape of the subject property;*
- g. A Zoning Board of Appeals variance from Section 4.82.2.e for a reduction of the minimum building setback for the parking garage on the west side (15 ft. required, 5 ft. proposed for entire structure, total building length is 283 ft.) *due to the unusual shallow shape of the subject property;*
- h. A Zoning Board of Appeals variance from Section 5.7.3.E. for allowing an increase of the average to minimum light level ratio for the site (4:1 maximum allowed, 4.81 provided) *due to site layout and the site's shallow depth;*
- i. A Zoning Board of Appeals variance from Section 5.7.3.K for exceeding the maximum allowed foot candle measurements along the south property line abutting the railroad tracks (1 foot candle is maximum allowed, up to 1.7 foot candles is proposed for a small area);
- j. A Zoning Board of Appeals variance from Section 3.27.1.H. and Sec. 5.4.2 for allowing two loading areas in the side yard for the residential section *due to the unusual shallow shape of the subject property;*
- k. A Zoning Board of Appeals variance from Section Sec. 5.4.2 for a reduction in the minimum required loading area for each of the two loading spaces in the residential section (2,830 square feet required, 644 square feet provided) *due to residential nature of the development that does not require larger loading areas;*
- l. A Zoning Board of Appeals variance from Section 3.27.1.I. for a reduction in width of the sidewalk along a non-residential collector (12.5 feet required on both sides, 8 feet proposed on west side and 10 feet asphalt path proposed on east) *as it aligns with City's current plans for Flint Street realignment;*
- m. A Zoning Board of Appeals variance from Section 5.3.2. for a reduction of the minimum parking bay depth for spaces proposed in the parking garage (19 ft. minimum required, 18 ft. proposed) *as the depth is limited by the pre-fabricated manufacturers specifications; and*

16. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan.

This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance, Chapter 11 and Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

November 9, 2020

Engineering Review

The Bond
JSP18-0010

Applicant

Tri-Cap Holdings

Review Type

Revised Preliminary Site Plan

Property Characteristics

- Site Location: West of Novi Road, South of Grand River Avenue
- Site Size: 7.94 Acres
- Plan Date: 10/08/2020
- Design Engineer: Seiber Keast Engineering

Project Summary

- Proposed development including one commercial building at Novi Road and two multi-family apartment buildings with an attached parking deck.
- Water service will be provided via a connection to the existing 8-inch stub in Bond Street, just west of Novi Road.
- Residential sanitary sewer service will be provided via a connection to the existing 15-inch sewer along the south side of Bond Street and commercial sanitary sewer service will be provided via a connection to the existing 8-inch sanitary sewer on the west side of Novi Road.
- Storm water will be collected by a storm sewer collection system and bank full detention will be provided for both the residential and commercial properties. Storm water will be discharged to the Walled Lake Branch of the Middle Rouge River that eventually flows to the C&O District regional detention basin.

Recommendation

Approval of the Revised Preliminary Site Plan and Revised Preliminary Storm Water Management Plan is recommended.

Comments:

The Revised Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items that must be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the Final Site Plan submittal):

Additional Comments (to be addressed upon Final Site Plan submittal):

General

1. The plan set shall reference at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on www.cityofnovi.org.
2. The Non-domestic User Survey form shall be completed for the non-residential portion of the development and submitted to the City so it can be forwarded to Oakland County. This form was included in the original site plan package.
3. A right-of-way permit will be required from the City of Novi for work within the Bond Street right-of-way.
4. A right-of-way permit will be required from the Road Commission of Oakland County for work within the Novi Road right-of-way.
5. Label the proposed and existing right-of-way along Bond Street and Novi Road.
6. Provide a traffic control plan with the right-of-way permit application for the proposed road work activity.
7. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas and illustrate on the profiles.
8. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
9. Provide a construction materials table on the Paving Plan listing the quantity and material type for each pavement cross-section being proposed.
10. Provide a utility sheet that clearly distinguishes between proposed and existing utilities.
11. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided; or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
12. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
13. Install a backflow prevention Reduced Pressure Zone Assembly (RPZ) with an ASSE 1013 listing approval at each tap to the public water supply. A minimum clearance of 12-inches measured from the bottom of pressure relief valve to the finished landscaped grade shall be required. Provide a detail showing the

- RPZ installation setup and height above grade. If backflow preventer is to be enclosed, provide a detail of the enclosure with required drainage outlets. Show all locations on a site plan. A plumbing permit is required for the installation of the backflow preventer. Installation of the backflow preventer shall be in such a manner as to not require blowing out the system through the backflow preventer. Drain ports and blow out ports shall be included. Any deviations from these requirements must be approved through the Novi Water & Sewer Division Cross Connection Control Specialist (248-735-5661).
14. Soil borings shall be provided for a preliminary review of the constructability of the proposed development (roads, basin, etc.). Borings identifying soil types, and groundwater elevation should be provided with the site plan submittal.
 15. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Water Main

16. Provide a utility sheet that clearly shows the water main connection to the existing 8-inch stub on the eastern side of Bond Street.
17. Show the locations of separate domestic and fire leads for each building with a unique shut-off valve for each.
18. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.
19. Provide a profile for all proposed water main 8-inch and larger.
20. A MDEGLE water main permit has already been issued (W194162). If any major revisions are required of the approved plan, then a revised water main permit may be required.

Sanitary Sewer

21. Label the sanitary sewer monitoring manholes unique to the residential building and show all monitoring manholes within a dedicated 20-foot wide access easement or within the road right-of-way.
22. Provide a note on the construction materials table that 6-inch sanitary leads shall be a minimum SDR 23.5.
23. Provide a note on the Utility Plan stating that sanitary leads shall be buried at least 5 feet deep where under the influence of pavement.
24. Indicate the invert elevation at the building for each sanitary sewer lead.
25. Include a sanitary sewer basis of design on the utility plan, using the City's Sewer Unit Factor chart.
26. No public sanitary sewer is currently proposed. Thus, no Part 41 EGLE permit is required.

Storm Sewer

27. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
28. Provide storm sewer sizing calculations.

29. Provide storm sewer profiles with the 10-year HGL shown and ensure the HGL remains at least 1-foot below the rim of each structure. Illustrate all pipes intersecting storm structures.
30. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.
31. Label all roof conductors and show where they will tie into the storm sewer system on the layout and on the profile.

Storm Water Management Plan

32. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the Engineering Design Manual.
33. Specify the material used for the maintenance access route to the detention basin outlet structure and label the width as at least 15 feet wide. Additionally, verify the access route does not conflict with proposed landscaping.
34. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way. These easements should be shown on the storm water management plan.
35. A 25-foot vegetated buffer shall be provided around the perimeter of each storm water basin, or submit a request for variance from the Design & Construction Standards where the 25-foot buffer cannot be achieved around the storm water basin.
36. Provide a soil boring in the vicinity of the proposed underground detention systems and detention basin to determine the high-water elevation of the groundwater table.
37. Provide manufacturer's details and sizing calculations for the pretreatment structure within the plans.
38. Provide critical elevations (low water, first flush, bank full and pavement elevation) of the detention systems on the underground detention system cross-sections. Insure there is at least 1 ft. of freeboard between the 100-year elevation and the subgrade elevation under the pavement.
39. Provide an isolator row in the underground detention systems in addition to the pre-treatment unit. Ensure two inspection ports are located along the isolator row.
40. The underground storage system shall include 4-foot diameter manholes at the end of each outer row (four total) for maintenance access purposes.
41. The underground detention system shall be kept outside the influence of any planting areas.
42. Restricted discharge to an off-site regional detention basin is proposed. A storm water tap fee amount will be determined with the Final Site Plan if the following information is provided.

- a. Add a note to the storm water management plan that states the amount of impervious and semi-impervious area for both phases.

Paving & Grading

43. Refer to standard paving details and remove any redundant or conflicting details from the plan set.
44. Remove the concrete collar detail on sheet 4 and refer to the City standard paving details.
45. Provide a site grading plan. Site grading shall be limited to 1V:4H (25-percent), excluding landscaping berms.
46. Curbing and walks adjacent to the end of 17-foot stalls shall be reduced to 4-inches high, rather than the standard 6-inch height to be provided adjacent to 19-foot stalls. Provide additional details as appropriate.
47. Provide the proposed wall detail on the civil plans and indicate the height measured from the bottom of the footing to the top of the wall. Permits for the construction of each wall exceeding 48 inches in height must be obtained from the Community Development Department.
48. Specify what the stub in the parking lot to the northwestern property is necessary for. If it is for emergency access, show the off-site fire truck route and label a 20-foot wide emergency access easement.

Flood Plain

49. The applicant has noted that they are not doing any work within the floodplain, thus no permit is required.

Soil Erosion and Sediment Control

50. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter.

The following must be submitted at the time of Final Site Plan submittal:

51. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
52. Draft copies of any off-site utility easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.
53. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.

The following must be submitted at the time of Stamping Set submittal:

54. A draft copy of the Storm Drainage Facility Maintenance Easement Agreement (SDFMEA), as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department. Once the agreement is approved by the City's Legal Counsel, this agreement will then be sent to City Council for approval/acceptance. The SDFMEA will then be recorded at the office of the Oakland County Register of Deeds. This document is available on our website.
55. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
56. Draft copies of the 20-foot wide easements for the sanitary sewer monitoring manholes to be constructed on the two sites must be submitted to the Community Development Department.
57. If applicable, executed copies of any off-site utility easements must be submitted to the Community Development Department.

The following must be addressed prior to construction:

58. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
59. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
60. An NPDES permit must be obtained from the MDEGLE since the site is over 5 acres in size. The MDEGLE requires an approved plan to be submitted with the Notice of Coverage.
61. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
62. A permit for work within the right-of-way of Bond Street must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
63. A permit for work within the right-of-way of Novi Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating that all work within the road right-of-way will be constructed in accordance with RCOC standards.
64. A permit for water main construction was obtained from MDEGLE on May 15, 2019.

65. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
66. Unrestricted discharge into a regional detention basin is planned for this site. Therefore, a storm water tap fee will be required prior to the pre-construction meeting. An exact figure will be determined at the time of Final Site Plan approval.
67. A storm water performance guarantee, equal to 1.2 times the amount required to complete storm water management and facilities (as specified in the Storm Water Management Ordinance) must be posted with Community Development.
68. An incomplete site work performance guarantee, equal to 1.2 times the amount required to complete the site improvements as specified in the Performance Guarantee Ordinance, must be posted with Community Development.
69. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.
70. Permits for the construction of each retaining wall exceeding 48 inches in height (measured from bottom of the footing to top of the wall) must be obtained from the Community Development Department (248-347-0415).

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



Kate Richardson, EIT
Project Engineer

cc: Lindsay Bell, Community Development
Ben Croy, PE; Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

December 3, 2020

Second Revised Preliminary Site Plan – Landscaping The Bond

Review Type

Second Revised Preliminary Landscape Review

Property Characteristics

- Site Location: West side of Flint Street
- Site Acreage: 8.2 acres
- Site Zoning: TC-1
- Adjacent Zoning: North, East: TC-1; South, West: I-1
- Plan Date: 12/3/2020

Ordinance Considerations

This project was reviewed for conformance with Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items must be addressed on Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Manual. This review and the accompanying Landscape Chart are summaries and are not intended to substitute for any Ordinance.

Recommendation:

The project is **recommended for approval**. The extent of one waiver previously granted, that regarding the shortage in multi-family unit trees, has been increased from 20 trees to 42 trees. It is still supported by staff because the increased deficiency is a factor of the increase in ground-level units being increased from 49 to 57 without an increase in the building footprint. The number of trees provided hasn't decreased.

LANDSCAPE WAIVERS GRANTED BY PLANNING COMMISSION 6/27/2018:

1. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitaes along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening;*
2. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt;
3. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) *as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped;*
4. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers);*
5. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitaes are proposed in that area to help screen the view of the railroad and the industrial site;*
6. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for

use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;

Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. No overhead utility lines will remain in the vicinity of the project.
3. **Please include all existing and proposed utilities, including utility lines and Fire Department Connections (hydrants, structures, underground lines, overhead lines and light fixtures) on the landscape plan so conflicts can be resolved.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

No replacements are planted on the site. A deposit to the tree fund will be made for all woodland replacements required.

Residential Adjacent to Non-Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. The property abuts the railroad which is backed by I-1, an active CVS warehouse with frequent large truck traffic.
2. As that property has been developed with an industrial use, the requirement for a 10-15 foot tall landscaped berm falls on the residential property.
3. No berm or wall is proposed along the west property line. *A landscape waiver was granted for the deficiency as a line of Green Giant arborvitae are proposed along the parking deck.*

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer Landscape (Zoning Sec. 5.5.3.B.ii and iii)

1. No berm along the right-of-way is required in the TC-1 district, but a 2.5' tall brick wall or decorative fence with brick pilasters is required between the parking areas and the right-of-way. A combination of wall and fence wall is proposed along the entire frontage.
2. A 20-foot deep greenbelt is required between the right-of-way and parking areas. Most of those frontages do not have the required 20 feet greenbelt. *A landscape waiver was granted for the decrease in greenbelt to 10 feet, with the understanding that additional screening vegetation would be planted in the narrow areas.*
3. Please add additional screening shrubs behind or in front of the fence where headlights would shine on the road through the fence. They should be at least 3 feet tall.
4. Greenbelt canopy trees within 15 feet of the parking lot can be double-counted as perimeter trees. Use notation to show what requirements a tree is being used for.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

Street trees are not required along the right-of-way in the TC-1 district.

Multi-family Unit Trees and Interior Street Trees (Sec 5.5.3.F.ii.b(1) and (2).

1. Based on 57 ground-level dwelling units, 171 deciduous canopy or large evergreen trees are required on the site. It appears that 129 trees, including 51 arborvitae and parking lot trees, are provided. *A landscape waiver was granted by the Planning Commission for a deficiency of 20 trees*
2. **As the current plan appears to show a deficiency of 42 trees, a new waiver would be required. It is supported by staff for the reason given above.**

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

Multi-family unit trees were used to meet the parking lot interior trees and perimeter canopy trees, which should be based on the standard parking lot requirements.

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

Please show the parking lot perimeter with a heavy line and provide calculations for the number of trees required. It appears that the perimeter length was undercalculated, but there are still sufficient trees to meet the requirement.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

35% of the building frontages facing public roads must be landscaped. This requirement is met for all of the frontages.

Plant List (LDM 4, 11)

1. Provided
2. 11 of 22 species used (50%) are native to Michigan. While this meets the requirement of the ordinance, please work to increase the percentage.
3. Adirondack crabapples comprise 21% of the trees planted, not counting the Green Giant arborvitae. Please reduce the number of crabapples on the site to no more than 16.

Planting Notations and Details (LDM)

Please add all notes and details per the Landscape Chart.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

Provided.

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.
2. If an irrigation system will be used, it must be included with Final Site Plans.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Only detention pond contours are provided.

Snow Deposit (LDM.2.q.)

Please indicate areas on the landscape plan where snow can easily be deposited without damaging plantings.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

No trees will be saved.

Corner Clearance (Zoning Sec 5.9)

Please remove all plantings from the right-of-way.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



LANDSCAPE REVIEW SUMMARY CHART – Second Revised Preliminary Site Plan

Review Date: December 3, 2020
Project Name: JSP18 – 0010: The Bond
Plan Date: December 3, 2020
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

NOTE: As the landscape plans provided only include The Bond apartments, and the set provided does not include many of the sheets in the complete set, including existing conditions, the tree survey and grading, this review only addresses the landscaping for the multi-family section of the project. See previous reviews for comments related to the commercial section of the project and existing conditions.

LANDSCAPE WAIVERS GRANTED BY PLANNING COMMISSION 6/27/2018:

1. Landscape waiver from Sec. 5.5.3.B.ii for the lack of a berm and screening *as the applicant proposed a line of arborvitae along the property line to soften the view toward the railroad tracks and industrial site beyond in lieu of required landscape screening;*
2. Landscape waiver from Sec. 5.5.3.B.ii for a reduction in the required greenbelt width between the right-of-way and parking areas along Flint/Bond Street (20 ft. width required, a range of 10 ft. to 20 ft. provided). A 2.5 foot brick wall screening the parking and additional landscaping in the narrower areas help to compensate for the lack of space in the areas with just a 10 foot greenbelt;
3. Landscape waiver from Sec. 5.5.3.F.ii.b(1) for a reduction in the total number multifamily unit trees provided (147 trees required, 127 provided) *as the reduction is only 14% from the total requirements and the site is otherwise well-landscaped;*
4. Landscape waiver from Sec. 5.5.3.F.ii.B(2) for the reduction in the number of interior roadway perimeter trees provided (1 tree short) *due to conflict with fire access lane (grass pavers);*
5. Landscape waiver from Sec. 5.5.3.D. for the deficiency in the foundation landscaping coverage around the parking deck *due to limited space available along the southwest side, along the railroad. Large arborvitae are proposed in that area to help screen the view of the railroad and the industrial site;*
6. Landscape waiver from Sec. 5.5.3.C.(3) Chart footnote for not proposing the required parking lot perimeter trees for the temporary gravel parking proposed to be constructed for use by visitors to Novi Cemetery in Phase 1 (11 trees required, 0 proposed) *as the landscape requirements will be met at the time of Phase 3 construction within a certain time mutually agreed between the applicant and the City;*

PLEASE COPY THIS LIST TO THE PLANS' SHEET L4.00

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements – Basic Information (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e)</i>	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF 	<ul style="list-style-type: none"> ▪ Plan Scale 1"=20' ▪ Detail Scale: 1"=10' ▪ Property lines are not clearly shown on the landscape plans 	<ul style="list-style-type: none"> ▪ Yes ▪ Yes ▪ No 	1. Please put the landscape plans on 24"x36" sheets instead of 30"x42" as they are much easier to work with in the office and in the

Item	Required	Proposed	Meets Code	Comments
	whichever is less. ▪ 1" -20' minimum with proper North. Variations from this scale can be approved by LA			field. 2. The property lines/Right-of-way lines must be clearly shown (darker) on the landscape plans so compliance with all greenbelt tree requirements can be verified.
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
Survey information (LDM 2.c.)	Legal description or boundary line survey	<ul style="list-style-type: none"> • Legal description on Cover Sheet • No existing topo is provided in this set but was provided in full set 	Yes	
Project Information (LDM 2.d.)	Name and Address	A location map is provided on the Cover sheet but not on the Landscape Plans	Yes/No	<u>Please include the location map on the landscape plans.</u>
Sealed by LA. (LDM 2.g.)	Requires original signature	Copy of seal and signature		<u>Live signature will be required on printed stamping sets.</u>
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Not included on landscape plans	No	<u>Please put the Miss Dig note on all of the landscape plan sheets.</u>
EXISTING CONDITIONS				
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> ▪ Show location type and size. ▪ Label to be saved or removed. ▪ Plan shall state if none exists. 	A tree survey, chart and replacement calculations were part of the complete set.	Yes	No trees are being saved.
Stream protection				<u>Please be sure that proper buffers and protection for stream are provided on the demolition plan and grading/soil erosion plans.</u>
Soil type (LDM.2.r.)	As determined by Soils survey of Oakland	Sheet 2	Yes	

Item	Required	Proposed	Meets Code	Comments
	county			
Zoning (LDM 2.f.)	Site: TC-1 North, East, Southeast: TC-1 South, West: RR, I-1	Site: TC-1 East, North: TC-1 West, South: RR, I-1	Yes	<u>Please show the zoning of all adjacent properties on the landscape plans.</u>
PROPOSED IMPROVEMENTS				
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	All improvements are shown on the landscape plan.	Yes	<u>Please call out the dog park on the landscape plan and show the enclosing fencing line too.</u>
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	No utility lines or structures are shown on the landscape plan	No	<ol style="list-style-type: none"> <u>Please show all utility lines and structures on the landscape plan, including the underground detention basin.</u> <u>Please adjust utilities and plantings such that all required trees can be placed per the ordinance</u> <u>Please include all light posts on the landscape plan to avoid conflicts with landscaping.</u>
Proposed topography - 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Detention pond contours shown	Yes	
Clear Zones (LDM 2.e.(5))	25 ft. corner clearance required. Refer to Zoning Sec 5.5.9	Zones are provided and only short shrubs are located within them.	Yes	
LANDSCAPING REQUIREMENTS				
Berms and ROW Planting				
<ul style="list-style-type: none"> All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours Berm should be located on lot line except in conflict with utilities. Berms should be constructed with 6" of topsoil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	<u>Residential adjacent to I-1 requires:</u> <ul style="list-style-type: none"> 10-15 foot high landscaped berm with 6 foot wide crest. Opacity 80% winter, 90% summer. 	No berm is proposed	No	<ol style="list-style-type: none"> The line of tall, narrow evergreens provided along the property line west of the parking deck is provided as alternative screening <i>The Planning Commission</i>

Item	Required	Proposed	Meets Code	Comments
				<i>approved a waiver for this.</i>
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List			See above.
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
ROW Landscape Screening Requirements Chart (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	<ul style="list-style-type: none"> • Adjacent to parking: 20 ft • Not adjacent to parking: 0 ft 	Significant stretches with less than 20' between the property line and parking are proposed.	No	<ol style="list-style-type: none"> 1. A landscape waiver was granted for the areas with greenbelt depth less than required adjacent to parking with the condition that additional screening landscaping is provided in the shallower greenbelt areas. 2. Please add more screening shrubs in the areas where fencing abuts parking.
Min. berm crest width	No berm is required in TC-1	None	Yes	
Min. berm height (9)	No berm is required in TC-1	None	Yes	
3' wall (Zoning section 3.27.D)	In the TC-1 district, an ornamental 2.5' brick wall or decorative fence with brick pilasters is required between surface parking lots and public rights-of-way.	<ul style="list-style-type: none"> ▪ A 2.5' wall or brick piers with decorative fencing is indicated along much of the frontage on Sheets 4-4.04. ▪ The fencing won't block headlights. 	<ul style="list-style-type: none"> ▪ Yes ▪ No 	<ol style="list-style-type: none"> 1. A combination of wall or decorative fencing with brick pillars consistent with other Town Center walls/fences is proposed. 2. Additional shrubs are provided in the areas with fencing.
Canopy deciduous or large evergreen trees Notes (1) (10) *Only the large canopy tree OR the subcanopy tree requirement needs to be met in TC-1 district, not both.	<ul style="list-style-type: none"> • Adjacent to parking: 1/25 lf* • 594 lf/25 = 24 trees • Not adjacent to parking: 1/30lf* • 465 lf/30 = 16 trees • Total of 40 trees 	31 trees	Yes (in combination with the subcanopy greenbelt trees)	<ol style="list-style-type: none"> 1. <u>Please revise the calculations on Final Site Plans to accurately show the canopy trees provided.</u> 2. <u>No greenbelt plantings can be in right-of-way. Please remove all plantings from the right-of-way.</u>

Item	Required	Proposed	Meets Code	Comments
Sub-canopy deciduous trees Notes (2)(10) *Only the large canopy tree or subcanopy tree requirement needs to be met in the TC-1 district, not both	<ul style="list-style-type: none"> • Adjacent to parking: 1/15 lf* • 594 lf/15 = 40 trees • Not adjacent to parking: 1/20lf* • 465 lf/20 = 23 trees • Total of 63 trees 	34 trees	Yes (in combination with canopy trees)	
Canopy deciduous trees in area between sidewalk and curb	Not required in TC-1.	None	Yes	
Building Foundation Landscaping – Parking Deck (Zoning Sec 5.5.3.D)				
Landscape area	<ul style="list-style-type: none"> • Bldg Perimeter less vehicular access points) * 8 • Areas must be at least 4 feet wide. • Lawn does not count as landscaping 	<ul style="list-style-type: none"> • 48 large evergreens along west side of deck • Landscape bed proposed on both ends of structure 	TBD	<ol style="list-style-type: none"> 1. Please provide calculations 2. Label landscape areas provided in SF 3. A landscape waiver for the deficiency in area provided around the parking deck was granted by the Planning Commission.
Multi-Family Residential (Zoning Sec 5.5.3.F.ii & LDM 1.d (2))				
Multi-family Unit Landscaping (Zoning Sec 5.5.3.F.iii.)	<ul style="list-style-type: none"> • 3 deciduous canopy trees or large evergreen trees per dwelling unit on the first floor. • 57 * 3 = 171 trees 	129 trees	No	<ol style="list-style-type: none"> 1. Please correct the calculation to reflect just the trees that can legitimately be counted as multifamily unit trees. It appears that some greenbelt trees were also counted as multifamily trees but shouldn't have been. 2. Please uniquely label trees used to meet the requirement. 3. A landscape waiver was granted by the Planning Commission for a deficiency of 20 multifamily unit trees (14% of the total). 4. The proposed plan appears to propose a deficiency of 42

Item	Required	Proposed	Meets Code	Comments
				<p>trees (24% of the requirement). This change requires an expansion of the original waiver. It is supported by staff because the increased deficiency is caused by the increase of 8 ground floor dwelling units within the buildings but the building footprints haven't changed, and the number of multifamily unit trees hasn't been decreased. There may be room for a few more trees on the site, but no more than that.</p>
<p>Interior Street Landscaping</p>	<ul style="list-style-type: none"> • 1 deciduous canopy tree along interior roads for every 35 lf (both sides), excluding driveways, interior roads adjacent to public rights-of-way and parking entry drives. • 55*2 (central drive)/35 = 3 trees 	<p>Number of trees provided to meet the requirement is not clear</p>	<p>TBD</p>	<p>A landscape waiver was granted by the Planning Commission for a deficiency of 1 tree.</p>
<p>Foundation Landscaping</p>	<p>35% of building façade fronts in multi-family section should be landscaped</p>	<p>All frontages exceed the 35% minimum landscaping requirement.</p>	<p>Yes</p>	<ol style="list-style-type: none"> 1. Please use a larger plant than <u>Pennisetum alopecuroides 'Hameln'</u> along the north side of Building 2. Straight <u>Pennisetum alopecuroides</u> would be acceptable. 2. Please label courtyards per their Building number, not East or West, on Sheet L4.04, as it appears they are shown per building.

Item	Required	Proposed	Meets Code	Comments
				<u>not per their directional location.</u>
Parking Area Landscape Requirements (LDM 1.c. & Calculations (LDM 2.o.))				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Groundcover is not specified – it appears to be sod	TBD	<u>Please clearly label what groundcovers will be used for the different areas of the site.</u>
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ 200sf landscape space per tree planted in island. ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	Islands are sufficiently sized	Yes	
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' with 4" curb adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	No bay other than on the deck is greater than 15 spaces.	Yes	<u>Add parking striping to plans.</u>
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas x 7.5%	$A = x \text{ SF} * 7.5\%$ $A = 50000 * 7.5\% = 3750\text{sf}$			Parking deck isn't included in area, which is correct.
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 1 %	$B = (68138 - 50000) \text{ SF} * 1\%$ $B = 18138 * 1\% = 181\text{sf}$			
All Categories				
C = A+B Total square footage of landscaped islands	$C = A + B$ $C = 3750 + 181 = 3931\text{sf}$	4376sf	Yes	
D = C/200 Number of canopy trees required	$D = C/200$ $D = 3931/200 = 20 \text{ trees}$	21 trees	Yes	
Parking Lot Perimeter Trees	1 Canopy tree per 35 lf $734\text{lf}/35 = 21 \text{ trees}$ $956\text{lf}/35 = 27 \text{ trees}$	28 trees	Yes	1. <u>It appears that the perimeter measurement is</u>

Item	Required	Proposed	Meets Code	Comments
				<p><u>significantly shorter than it should be (the last time the plan was considered the perimeter was 956lf and the lot hasn't changed significantly.</u></p> <p>2. <u>Please recalculate the perimeter and the required number of trees.</u></p> <p>3. <u>It appears that there are at least 2 greenbelt trees that could also be counted as perimeter trees that weren't.</u></p>
Parking land banked	NA			
Miscellaneous Landscaping Requirements				
Plantings around Fire Hydrant (d)	No plantings with mature height greater than 12' within 10 ft. of fire hydrants, manholes, catch basins or other utility structures.	Structures are shown but not utility lines.	No	<p>1. <u>Please show all utility lines on the landscape plan.</u></p> <p>2. <u>Show the location of the FDC(s) on the landscape plan.</u></p> <p>3. <u>Keep hydrants and FDCs clear for vision and access.</u></p> <p>4. <u>Trees closer than 10 feet from a hydrant or utility structure should be moved away from that structure. They should also be 5 feet from underground lines.</u></p>
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	As proposed on planting islands	Sod is indicated on cost estimate but isn't called out on plan.	No	Please label areas to be seeded or sodded as such.
Snow deposit (LDM.2.q.)	Show leave snow deposit areas on plan in locations where	Not indicated	No	<u>Please show areas for snow deposits that won't damage plants.</u>

Item	Required	Proposed	Meets Code	Comments
	landscaping won't be damaged			
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2 ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	No	No	<ol style="list-style-type: none"> 1. <u>Include city utility box screening detail in landscape plans.</u> 2. <u>Please show transformers and other utility boxes when their locations are determined.</u> 3. <u>If box locations are not determined by final site plans, add a note to plan stating that all utility boxes are to be landscaped per the detail.</u>
Detention/Retention Basin Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters of large native shrubs shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix ▪ Include seed mix details on landscape plan 	Required coverage and species are provided.	Yes	
Phragmites australis and Japanese knotweed	<ul style="list-style-type: none"> ▪ All populations of either plant on the site should be located on the Existing Conditions sheet. ▪ If found, plans for its removal per MDEGLE standards must be added to the plans. 	No populations of either plant are shown on the plans.	TBD	<ol style="list-style-type: none"> 1. <u>Please survey the entire site, including the Commercial section, for both plants.</u> 2. <u>If nothing is found, please add a note to that effect to the existing conditions plan.</u>
General Landscape Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	There are several trees that appear to be on the property line.	TBD	A landscape easement may be required for those trees.
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system with a method of draining, or an alternate means of providing sufficient water to the plantings for establishment and	No	TBD	<ol style="list-style-type: none"> 1. <u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival.</u>

Item	Required	Proposed	Meets Code	Comments
	long term survival is required in the Final Site Plans			2. <u>If xeriscaping is used, please provide information about plantings included.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		
Landscape tree credit (LDM3.b.(d))	<ul style="list-style-type: none"> ▪ Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. ▪ Refer to Landscape tree Credit Chart in LDM 	No		
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	<ul style="list-style-type: none"> • Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. • Refer to section for more details 			
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 11.b)		None		
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities		TBD	<ol style="list-style-type: none"> 1. <u>Please note whether any overhead lines exist and whether they will be removed.</u> 2. <u>If any exist and are to remain, subcanopy trees should be used in place of canopy trees at a rate of 1.5 subcanopy trees to 1 canopy tree, rounded up to the nearest whole number.</u>
Collected or Transplanted trees (LDM 3.f)		None		
Landscape Notes and Details– Utilize City of Novi Standard Notes				
Plant List (LDM 4, 10) – Include all cost estimates				
Quantities and sizes		Yes	Yes	
Root type		Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Botanical and common names	<ul style="list-style-type: none"> ▪ Species native to Michigan must comprise at least 50% of all species used except those in seed mixes and woodland replacements ▪ A species may comprise no more than 15% of the total tree count and a genus no more than 25% of the tree count. 	<ol style="list-style-type: none"> 1. 11 of 22 species (50%) used are native to Michigan. 2. Adirondack crabapples comprise 21% of the trees planted 	<ul style="list-style-type: none"> ▪ Yes ▪ No 	<ol style="list-style-type: none"> 1. <u>If possible, please substitute in more native species for non-native species.</u> 2. <u>Please use no more than 16 crabapples on the site.</u>
Type and amount of lawn		Seed and sod	TBD	<u>Please indicate whether seed or sod is used.</u>
Cost estimate (LDM 2.t)	For all new plantings, mulch and sod as listed on the plan	Provided	Yes	<u>Please use \$375 for the unit cost of evergreen trees and subcanopy trees.</u>
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Multi-stem tree				Not needed
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys	Wood stakes, fabric guys.	Yes	Yes	
Protective Tree Fence				Not needed
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. ▪ Include in cost estimate. ▪ Refer to section for additional information 			
Cross-Section of Berms (LDM, Zoning Sec 5.5.3.A)				
Slope, height and width	<ul style="list-style-type: none"> ▪ Label contour lines ▪ Maximum 33% slope ▪ Constructed of loam ▪ 6" top layer of topsoil 	None		Please provide berm detail if a berm is provided showing construction details listed
Setbacks from Utilities	Overhead utility lines		TBD	

Item	Required	Proposed	Meets Code	Comments
	and 15 ft. setback from edge of utility or 20 ft. setback from closest pole, 10 feet from structures, hydrants			
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	<ul style="list-style-type: none"> ▪ 30" screening walls/decorative fences are provided along most of frontage. ▪ City wall/ fence detail is included in site details. 	<ul style="list-style-type: none"> ▪ Yes ▪ Yes 	<u>If any retaining walls are required, please provide details for them.</u>
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		None indicated	No	<u>If walls are taller than 3 ½ feet, please have engineer design, sign and seal.</u>
Notes (LDM 2.i) – Utilize City of Novi Standard Details				
Installation date (LDM 5 & Zoning Sec 5.5.4)	<ul style="list-style-type: none"> ▪ Provide intended date ▪ Between Mar 15 – Nov 15 	None indicated	No	<u>Please add planting dates</u>
Maintenance & Statement of intent (LDM 10 & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Guarantee of 2 years is noted	No	1. Please add maintenance note, 2. Note that replacements must be within 3 months.
Plant source (LDM 10)	Shall be northern nursery grown, No.1 grade.	Yes		
Establishment period (LDM 10)	2 yr. Guarantee	Yes		
Approval of substitutions. (Zoning Sec 5.5.%E)	City must approve any substitutions <u>in writing</u> prior to installation.	Yes		
NOTES:				
1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				

FAÇADE REVIEW



November 8, 2020 (* Recommendation updated 12/4/20)

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE Revised Final Site Plan (3rd Review)
The Bond (FKA Flint St.), JSP18-0010
 Façade Region: 1, Zoning District: TC-1

Dear Ms. McBeth:

The following is a Façade Review for the above referenced project based on the revised drawings dated 7/29/20. This is the third review for this project. The percentages of materials proposed for each façade are as shown below. The percentage from the previously approved drawings is shown in parenthesis, for comparison. The percentages required by the Ordinance(s) are indicated in the right-hand column. Materials in non-compliance are highlighted in bold.

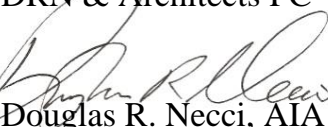
Building Type 1	East (Front)	North	South	West	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	17% (28%)	24% (28%)	18% (26%)	23% (47%)	100% (30% Min)
Cast Stone	9% (22%)	8% (20%)	12% (24%)	0% (5%)	50%
EIFS	54% (28%)	56% (38%)	61% (35%)	77% (48%)	25%
Metal Panel (Woodgrain)	13% (15%)	12% (7%)	9% (8%)	0%	50%
Spanderal Glass	3% (3%)	3% (3%)	3% (3%)	0%	50%
Fabric Awnings	3% (3%)	3% (3%)	3% (3%)	0%	10%
Flat Metal (Canopies)	1% (1%)	1% (1%)	1% (1%)	0%	50%
Combined Brick and Stone	26% (50%)	32% (48%)	30% (50%)	23% (52%)	TC-1 Ordinance 3.26.1.G, 50% Min.

Building Type 2	East (Front)	North	South	West	Façade Ordinance Section 5.15 Maximum (Minimum)
Brick	17% (28%)	28% (28%)	18% (26%)	23% (47%)	100% (30% Min)
Cast Stone	9% (22%)	20% (20%)	12% (24%)	0% (5%)	50%
EIFS	54% (28%)	38% (38%)	61% (35%)	77% (48%)	25%
Metal Panel (Woodgrain)	13% (15%)	7% (7%)	9% (8%)	0%	50%
Spanderal Glass	3% (3%)	3% (3%)	3% (3%)	0%	50%
Fabric Awnings	3% (3%)	3% (3%)	3% (3%)	0%	10%
Flat Metal (Canopies)	1% (1%)	1% (1%)	1% (1%)	0%	50%
Combined Brick and Stone	26%	32%	30%	23%	TC-1 Ordinance 3.26.1.G, 50% Min.

Building Types 1 and 2 – As shown above the proposed revision results in a significant reduction in Brick and proportional increase in EIFS, as compared to the approved drawings. In our previous review (No. 2) a Section 9 Waiver was recommended base on comparatively small deviations in the minimum percentage of Brick (26% vs 30%) and combined percentage of Brick and Stone (48% vs. 50%) together with the interesting massing and the creative use of materials. Our recommendation was also based on the fact that the applicant had made revisions from their first review to more closely meet the Ordinance. This application essentially returns to the design what was submitted in the first review.

Recommendation – We believe that the interesting massing and the creative use of materials that was present in the original design is not significantly compromised by the proposed revisions. Additionally, the prior design has been preserved on the north wall of building No. 2, the primary view when entering from Grand River Avenue. For these reasons we believe that extending the previous Section 9 Waivers to the revised design may be justified. It appears that the notations for the Woodgrain Metal material has been changed to “QCO Rusted Steel”. This material is highly significant in the overall aesthetic value of the building. * The applicant has provided an updated sample board that indicates that the materials are consistent with the previously approved sample board.

If you have any questions regarding this review, please do not hesitate to call.

Sincerely,
 DRN & Architects PC

 Douglas R. Necci, AIA

APPLICANT RESPONSE LETTER

THE BOND AT NOVI LLC

December 3, 2020

The City of Novi

45175 Novi Road

Novi, Michigan 48375

RE: JSP 18-10

Dear Ms. Bell;

We have resubmitted the revised landscape plan as you requested in your review letter dated November 10, 2020. We are seeking revised site plan approval in accordance with those revised landscape plans and the site, architectural plans and elevations previously submitted to you on October 20, 2020. We would like to obtain that approval by being on the Planning Commission's agenda for their December 9, 2020 meeting, and the first possible City Council meeting in January, 2021.

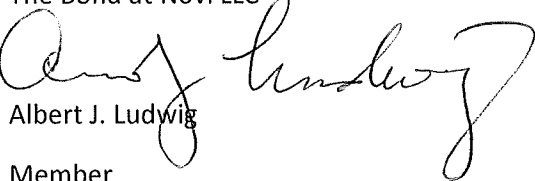
We understand we need and are therefore asking for waivers on the following items:

- A revised Section 9 waiver for the minor changes to the building materials as noted in the letter from DRN & Associates, Architects, PC. dated November 8, 2020. A new sample board was provided to Mr. Necci, who personally told me he would be supportive of our waiver request.
- Any revisions to the landscape waivers as determined by your landscape architect Rick Meader based on the revised landscape plan.
- A temporary cross access easement on the adjacent city owned property until the balance of Bond Street is completed. Once the city finishes the construction of Bond Street, we will relocate the westerly access point directly onto Bond Street, which will eliminate the need for this temporary drive on city property. A sketch of the temporary drive (which was suggested by the city) is attached.

Please let me know if anything further is needed from us to be on next week's agenda with staff's recommendation for approval. Thanks.

Very Truly yours;

The Bond at Novi LLC



Albert J. Ludwig

Member

THE BOND OF NOVI

ALPOLIC ALUMINUM COMPOSITE PANEL – QCO RUSTED STEEL



BROWN BRICK:
MERIDIAN BRICK –
REVERE CREST



GREY BRICK:
MERIDIAN BRICK –
CAPERS ISLAND



SPLIT FACE CMU – BELDEN TRI-STATE SF 105





BROWN BRICK



GRAY BRICK



BALCONY RAILING



BALCONY POUR STOP

BUFF CAST STONE



STUCCO



METAL PANEL