



NHK INTERNATIONAL BUILDING ADDITION JSP14-79

NHK INTERNATIONAL BUILDING ADDITION JSP14-79

Consideration at the request of Dembs Development, Inc for approval of the Preliminary Site Plan and Stormwater Management Plan. The subject property is located in Section 9, north of Twelve Mile Road, west of West Park Drive in the I-1, Light Industrial District. The subject property is approximately 4.02 acres and the applicant is proposing to expand the existing 45,052 square foot one story building by adding approximately 5,000 square foot space. The entire building space will be further renovated in the interior to accommodate new offices for NHK international.

Required Action

Approval/Denial of the Preliminary Site Plan and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	12-15-14	Items to be addressed on the final site plan submittal
Engineering	Approval recommended	01-05-15	Items to be addressed on the final site plan submittal
Traffic	Approval recommended	12-19-14	Items to be addressed on the final site plan submittal
Landscaping	Not Applicable		The changes do not require a landscape plan
Wetlands	Not Applicable		No Wetlands exist on site
Woodlands	Not Applicable		No Woodlands exist on site
Facade	Approval Recommended	01-05-15	Section 9 Waiver is not required.
Fire	Approval recommended	12-30-14	All Comments addressed

Motion Sheet

Approval –Preliminary Site Plan

In the matter of NHK International Building Addition, JSP 14-79, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- b) (additional conditions here if any)

This motion is made because the plan is otherwise in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

-AND-

Approval –Stormwater Management Plan

In the matter of NHK International Building Addition, JSP 14-79, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a) The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b) (additional conditions here if any)

This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.

-OR-

Denial –Preliminary Site Plan

In the matter of NHK International Building Addition, JSP 14-79, motion to **deny** the Preliminary Site Plan, *for the following reasons... (because the plan is not in compliance with Article 19, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

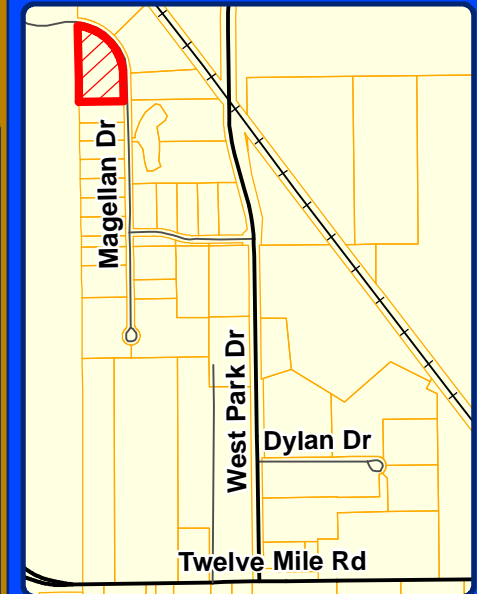
Denial –Stormwater Management Plan

In the matter of NHK International Building Addition, JSP 14-79, motion to **deny** the Stormwater Management Plan, *for the following reasons... (because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features

NHK International Building Addition

Location



Map Legend

 Subject Property



1 inch = 200 feet



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 01/07/2015
Project: NHK International
Version #: 1

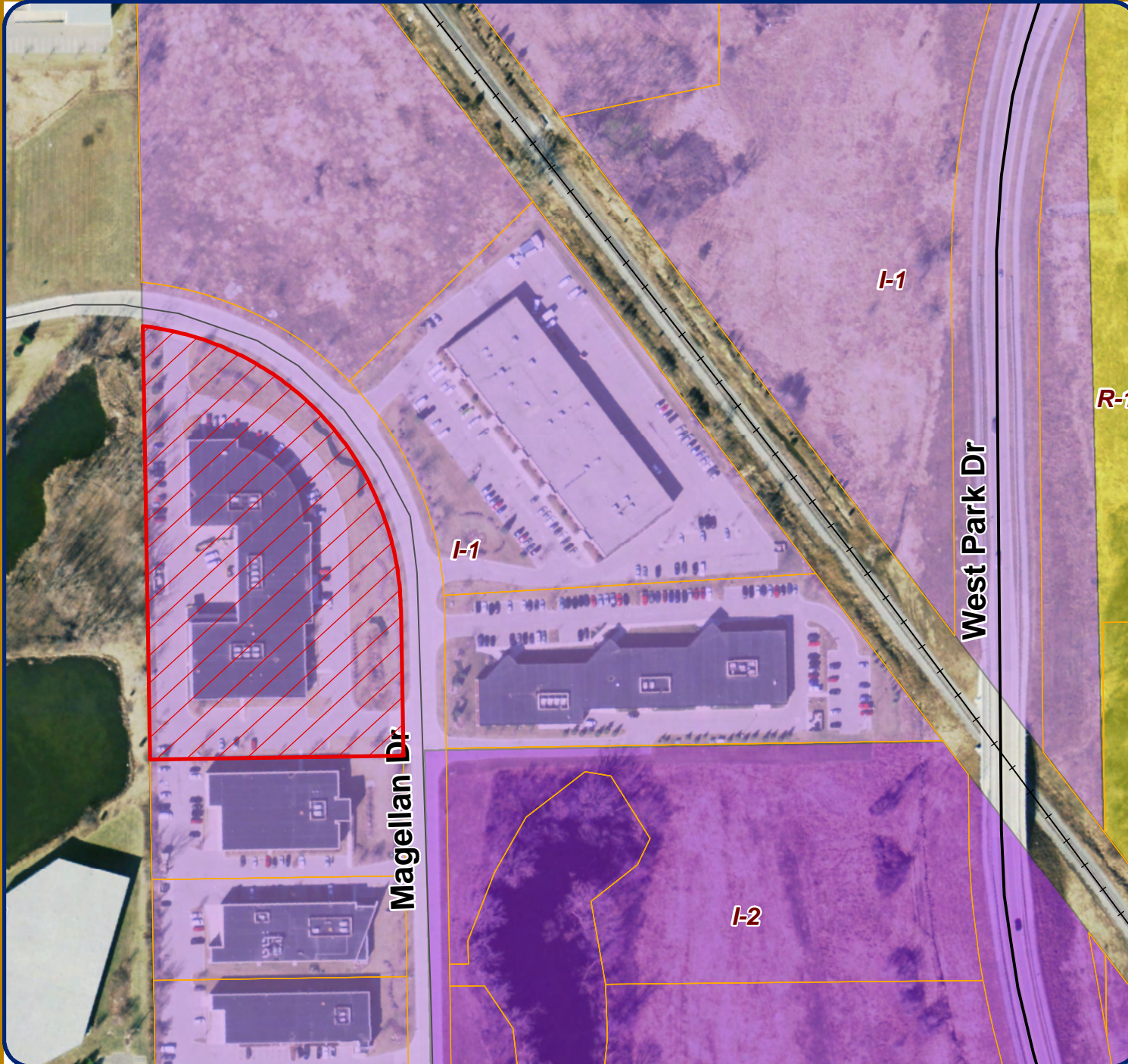
Amended By:
Date:
Department:

MAP INTERPRETATION NOTICE





Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

NHK International Building Addition

Zoning



Map Legend

-  Subject Property
-  R-1: One-Family Residential District
-  I-1: Light Industrial District
-  I-2: General Industrial District



1 inch = 200 feet



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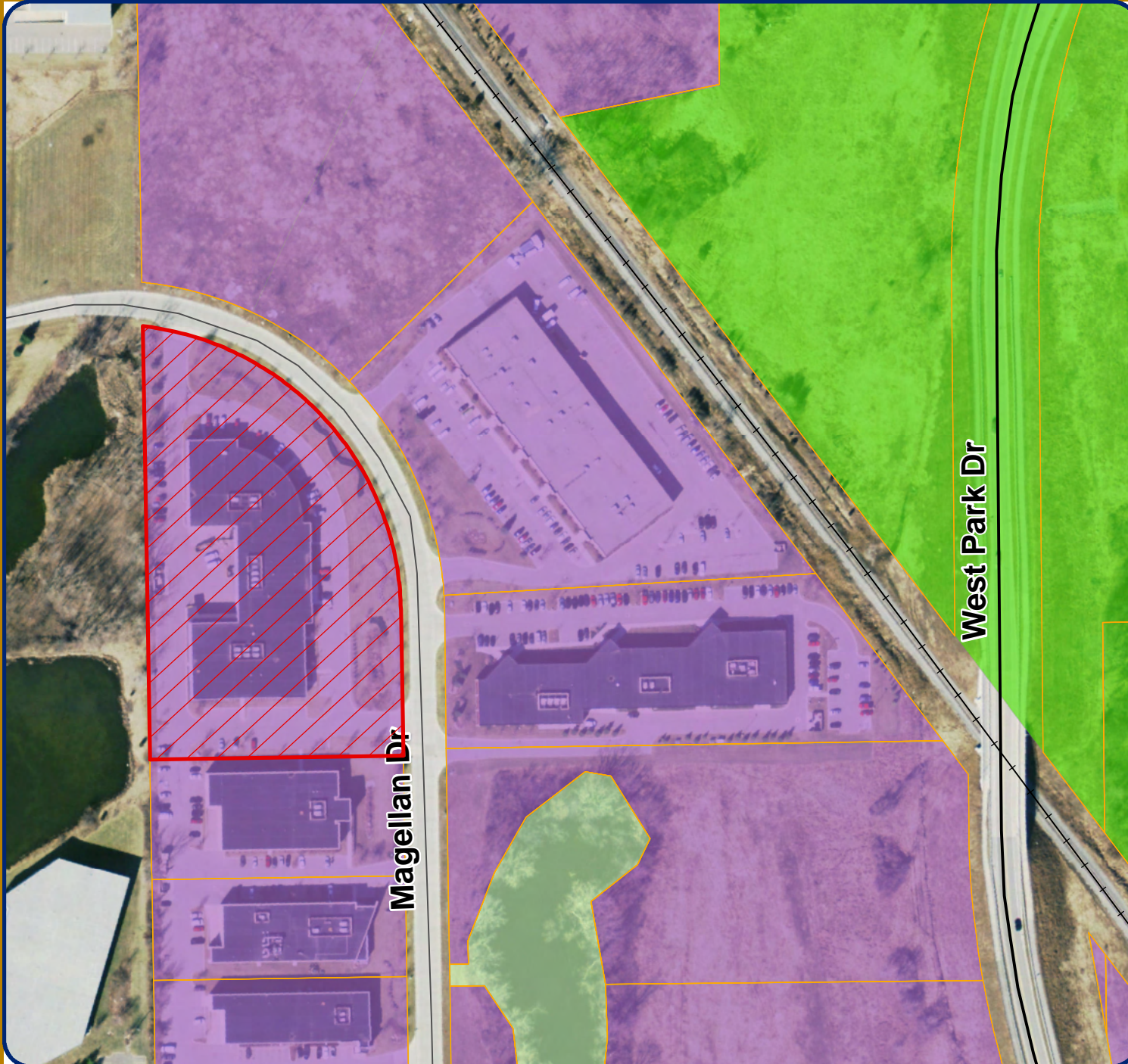
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NHK International Building Addition

Future Landuse



Map Legend

 Subject Property

Future Land Use - 2010

 INDUSTRIAL RESEARCH DEV TECH

 PUBLIC PARK

 PRIVATE PARK



1 inch = 200 feet



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NHK International Building Addition

Natural Features



Map Legend

-  Subject Property
-  Wetlands
-  Woodlands



1 inch = 200 feet



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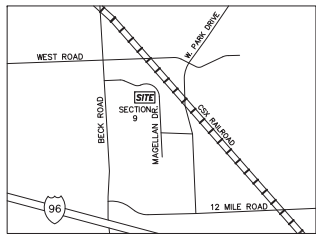
Amended By:
Date:
Department:

MAP INTERPRETATION NOTICE

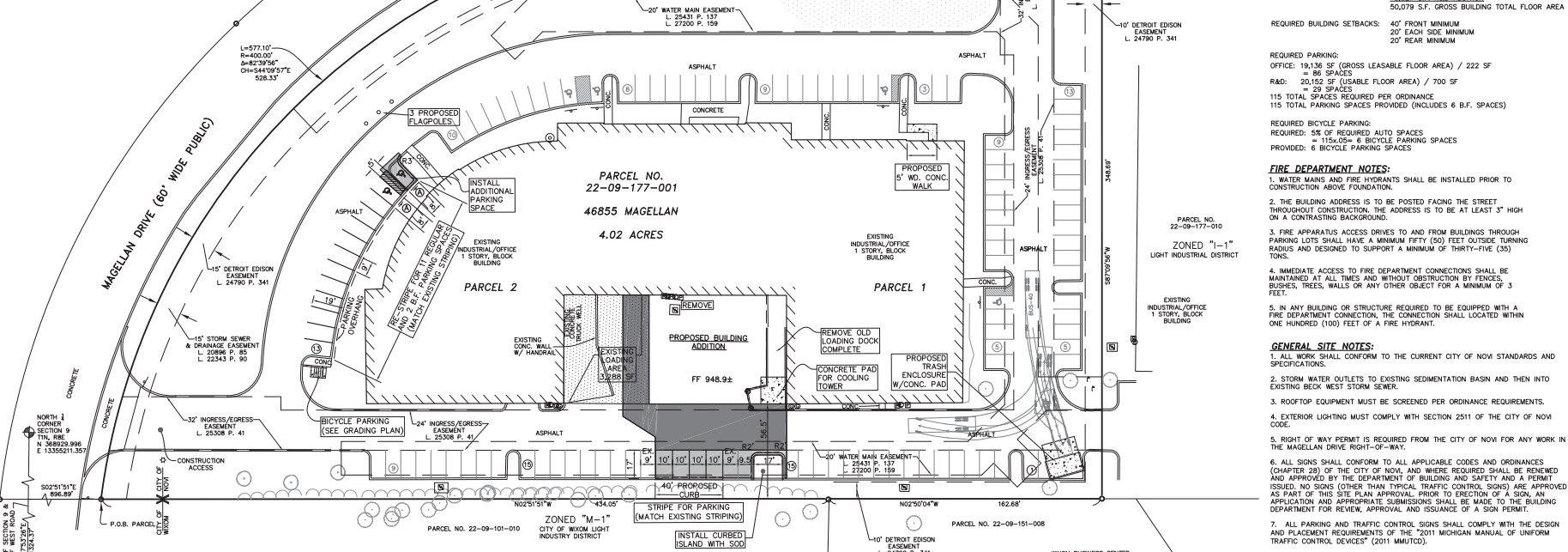
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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



LOCATION MAP
N.T.S.
ZONED "L-1"
LIGHT INDUSTRIAL DISTRICT



BENCHMARKS:
CITY OF NOV#13 - "X" ON NORTH RIM OF GATEWELL LOCATED WEST OF INTERSECTION MAGELLAN DR. & HUMBOLDT DR., 10' WEST OF BACK OF CURB & 25' NORTH OF E OF HUMBOLDT DR. ELEVATION 945.93
CITY OF NOV#14 - "X" ON NORTHEAST FLANGE BOLT OF HYDRANT, 10' EAST OF BACK OF CURB BETWEEN #4820 & #4850 ELEVATION 948.15
SITE BM#1 - ARROW ON HYDRANT 4.48' SOUTHWEST OF THE SOUTHWEST CORNER BUILDING. ELEVATION 951.28
SITE BM#2 - ARROW ON HYDRANT 4.33' WEST OF THE NORTHWEST CORNER BUILDING. ELEVATION 950.14

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

NOTE:
THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AS DISCLOSED BY AVAILABLE UTILITY COMPANY RECORDS AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE COMPANY. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF A CONFLICT IS APPARENT.

LEGEND

EXISTING STORM	FF	FINISH FLOOR	PROF. DRAINAGE ARROW
EXISTING WATER MAIN	TF 40.00	PROF. TOP OF PAVEMENT ELEV.	
EXISTING SANITARY	TC 40.00	PROF. TOP OF CURB ELEV.	
EX. CATCH BASIN	(C) 40.00	PROF. GUTTER ELEV.	
EX. MANHOLE	(M) 40.00	PROF. TOP OF WALK ELEV.	
EX. END SECTION	40.00	PROF. SPOT ELEV.	
EX. HYDRANT	HC	PROF. CATCH VALVE	
EX. WATER SHUTOFF	WS	PROF. CATCH BASIN	
EX. GATE VALVE	GV	PROF. MANHOLE	
EX. SIGN	S	PROF. END SECTION	
EX. PEDESTAL	P	PROF. STORM SEWER	
EX. TRANSFORMER	T	PROF. SANITARY SEWER	
EX. LIGHT POLE	L	PROF. WATER MAIN	
EX. TREE/TAG NO.	(T)	PROF. GATE VALVE	
EX. TREE LINE	TL	PROF. HYDRANT	
EX. POWER POLE	PP	PITCH IN CURB AND GUTTER	
EX. CUY WIRE	W	PITCH OUT CURB AND GUTTER	

PAVING LEGEND

STANDARD PAVING	STANDARD PAVING
HEAVY DUTY PAVING	HEAVY DUTY PAVING
CONCRETE	CONCRETE

SHEET INDEX

1	FINAL SITE PLAN
2	PARTIAL TOPOGRAPHIC SURVEY
3	DEMOLITION PLAN
4	GRADING, UTILITY, AND STORM WATER MANAGEMENT PLAN
5	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
6	SOIL EROSION AND SEDIMENTATION CONTROL DETAILS
7	CITY OF NOV STORM SEWER DETAILS
PPF-8	FAUDIE ARCHITECTURE PRELIMINARY FLOOR PLAN
PE-2	PRELIMINARY ELEVATIONS

TRAFFIC SIGNING REQUIREMENTS
ITEM MMLUCD CODE QUANTITY SIZE DESCRIPTION
A R7-8 2 12"x18" RESERVED PARKING ONLY

TRAFFIC SIGNING AND STRIPING REQUIREMENTS
1. ALL PERMANENT AND TEMPORARY TRAFFIC SIGNAGE & STRIPING SHALL COMPLY WITH THE 2011 MUTCD.
2. SIGNS SHALL BE MOUNTED ON 1 1/2" SQUARE GALVANIZED STEEL POST, WALL OR FENCE MOUNTED AS INDICATED ON THE PLANS, LOCATE AND INSTALL IN ACCORDANCE WITH ALL APPLICABLE STANDARDS AND REGULATIONS.
3. STRIPING FOR HANDICAPPED PARKING SPACES SHALL BE BLUE, WHERE A HANDICAPPED PARKING SPACE ADJUTS A NON-HANDICAPPED SPACE, THE TWO SPACES SHALL BE SEPARATED BY ABUTTING BLUE AND WHITE STRIPES.
4. AN END PARKING SPACE ADJUTING A CURB OR WALK SHOULD BE 8 FEET WIDE IF DESIGNATED A HANDICAPPED SPACE OR 9 FEET WIDE IF NOT.
5. EACH INTERNATIONAL SYMBOL OF ACCESSIBILITY (WHEELCHAIR) TO BE PAINTED ON THE PAVEMENT SHALL BE WHITE.

APPLICANT/DEVELOPER:
DEMUS DEVELOPMENT, INC.
2750 STANSBURY, SUITE 200
FARMINGTON HILLS, MI 48334
PHONE: (248) 380-7100
FAX: (248) 560-3030

ARCHITECT:
FAUDIE ARCHITECTURE
26201 EVERGREEN ROAD, SUITE 123
SOUTHFIELD, MI 48076
PHONE: (248) 619-2354

SURVEYOR/ENGINEER:
ALPINE ENGINEERING, INC.
4892 WEST ROAD
NOV, MICHIGAN 48377
PHONE: (248) 926-3701
FAX: (248) 926-3765

PARCEL ID: 22-09-177-001
DESCRIPTION:

PARCEL 1:
A part of the Northwest 1/4 of Section 9, Town 1 North, Range 8 East, City of Nov, Oakland County, Michigan, being more particularly described as commencing at the Northwest corner of said Section 9; thence N87°53'28"E 1324.37 feet along the North line of said Section 9 and the centerline of West Road; thence S02°51'51"E 1283.61 feet to the point of beginning; thence N87°02'56"E 348.71 feet; thence S02°50'04"E 200.00 feet; thence S87°02'56"W 348.69 feet to the Easterly line of Wixom Business Center as recorded in Liber 199 of Plots, Pages 6, 7 and 8 of Oakland County Records; thence N02°50'04"W 162.68 feet along the Easterly line of said Wixom Business Center to the Northeast corner of Wixom Business Center; thence N02°51'51"W 37.33 feet to the point of beginning.

PARCEL 2:
A part of the Northwest 1/4 of Section 9, Town 1 North, Range 8 East, City of Nov, Oakland County, Michigan, being more particularly described as commencing at the Northwest corner of said Section 9; thence N87°53'28"E 1324.37 feet along the North line of said Section 9 and the centerline of West Road; thence S02°51'51"E 896.89 feet to the point of beginning; thence 577.03 feet along a curve to the right, said curve having a radius of 400.00 feet, a central angle of 82°39'56" and a chord bearing a distance of S44°02'57"E 528.53 feet; thence S87°02'56"W 348.71 feet; thence N02°51'51"W 396.72 feet to the point of beginning.

SITE DATA:
SITE AREA: 4.02 ACRES
EXISTING/PROPOSED ZONING: I-1 LIGHT INDUSTRIAL
BUILDING AREAS: 18,408 S.F. OFFICE
26,648 S.F. R&D AREA
5,027 S.F. R&D ADDITION
50,079 S.F. GROSS BUILDING TOTAL FLOOR AREA

REQUIRED BUILDING SETBACKS: 40' FRONT MINIMUM
20' EACH SIDE MINIMUM
20' REAR MINIMUM

REQUIRED PARKING:
OFFICE: 19,136 SF (GROSS LEASABLE FLOOR AREA) / 222 SF
= 86 SPACES
R&D: 20,152 SF (USABLE FLOOR AREA) / 700 SF
= 29 SPACES
115 TOTAL SPACES REQUIRED PER ORDINANCE
115 TOTAL PARKING SPACES PROVIDED (INCLUDES 6 B.F. SPACES)

REQUIRED BICYCLE PARKING:
REQUIRED: 5% OF REQUIRED AUTO SPACES
= 115.00 = 6 BICYCLE PARKING SPACES
PROVIDED: 6 BICYCLE PARKING SPACES

FIRE DEPARTMENT NOTES:
1. WATER MAINS AND FIRE HYDRANTS SHALL BE INSTALLED PRIOR TO CONSTRUCTION ABOVE FOUNDATION.
2. THE BUILDING ADDRESS IS TO BE POSTED FACING THE STREET THROUGHOUT CONSTRUCTION. THE ADDRESS IS TO BE AT LEAST 3" HIGH ON A CONTRASTING BACKGROUND.
3. FIRE APPARATUS ACCESS DRIVES TO AND FROM BUILDINGS THROUGH PARKING LOTS SHALL HAVE A MINIMUM FIFTY (50) FEET OUTSIDE TURNING RADIUS AND DESIGNED TO SUPPORT A MINIMUM OF THIRTY-FIVE (35) TONS.
4. IMMEDIATE ACCESS TO FIRE DEPARTMENT CONNECTIONS SHALL BE MAINTAINED AT ALL TIMES AND WITHOUT OBSTRUCTION BY FENCES, BUSHES, TREES, WALLS OR ANY OTHER OBJECT FOR A MINIMUM OF 3 FEET.
5. IN ANY BUILDING OR STRUCTURE REQUIRED TO BE EQUIPPED WITH A FIRE DEPARTMENT CONNECTION, THE CONNECTION SHALL LOCATED WITHIN ONE HUNDRED (100) FEET OF A FIRE HYDRANT.

GENERAL SITE NOTES:
1. ALL WORK SHALL CONFORM TO THE CURRENT CITY OF NOV STANDARDS AND SPECIFICATIONS.
2. STORM WATER OUTLETS TO EXISTING SEDIMENTATION BASIN AND THEN INTO EXISTING BECK WEST STORM SEWER.
3. ROOFTOP EQUIPMENT MUST BE SCREENED PER ORDINANCE REQUIREMENTS.
4. EXTERIOR LIGHTING MUST COMPLY WITH SECTION 2511 OF THE CITY OF NOV CODE.
5. RIGHT OF WAY PERMIT IS REQUIRED FROM THE CITY OF NOV FOR ANY WORK IN THE MAGELLAN DRIVE RIGHT-OF-WAY.
6. ALL SIGNS SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES (CHAPTER 28) OF THE CITY OF NOV, AND WHERE REQUIRED SHALL BE RENEWED AND APPROVED BY THE DEPARTMENT OF BUILDING AND SAFETY AND A PERMIT ISSUED. NO SIGNS (OTHER THAN TYPICAL TRAFFIC CONTROL SIGNS) ARE APPROVED AS PART OF THIS SITE PLAN APPROVAL. PRIOR TO ERECTION OF A SIGN, AN APPLICATION AND APPROPRIATE SUBMISSIONS SHALL BE MADE TO THE BUILDING DEPARTMENT FOR REVIEW, APPROVAL AND ISSUANCE OF A SIGN PERMIT.
7. ALL PARKING AND TRAFFIC CONTROL SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (2011 MUTCD).
8. NOTIFY THE CITY OF NOV A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
9. CALL MISS DIG (811) A MINIMUM OF 72 HOURS PRIOR TO THE START OF CONSTRUCTION.
10. ALL SOIL EROSION AND SILT MUST BE CONTROLLED AND CONTAINED ON-SITE.
11. ALL EXCAVATION UNDER OR WITHIN A 1 ON 1 INFLUENCE OF PUBLIC PAVEMENT, EXISTING OR PROPOSED, SHALL BE BACKFILLED AND COMPACTED WITH SAND (CLASS II MDT).
12. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES.
13. PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT, ENGINEERING SITE INSPECTION IS REQUIRED.
14. IF DETERMINED IS ANTICIPATED OR ENCOUNTERED DURING CONSTRUCTION THE CONTRACTOR IS REQUIRED TO SUBMIT A DETERMINING PLAN TO THE CITY ENGINEERING DIVISION FOR REVIEW.
15. ONLY NECESSARY LIGHTING FOR SECURITY PURPOSES AND LIMITED OPERATIONS SHALL BE USED AFTER THE SITE'S HOURS OF OPERATION.
16. NO OUTSIDE STORAGE SHALL BE PERMITTED.
17. NO ADDITIONAL LIGHTING IS PROPOSED.

COMMERCIAL
SITE PLANNING
SURVEYING
ALTA SURVEYS
BOUNDARY SURVEYS
TOPOGRAPHIC SURVEYS
PARCEL SPOTS
CONSTRUCTION LAYOUT

RESIDENTIAL
SUBDIVISIONS
MULTI-FAMILY
MULTI-FAMILY
CONSTRUCTION LAYOUT

ALPINE
ENGINEERING, INC.
CIVIL ENGINEERS & LAND SURVEYORS

4892 WEST ROAD
NOV, MICHIGAN 48377
(248) 926-3701 (BUS)
(248) 926-3765 (OFFICE)
WWW.ALPINE-INC.COM

811
Know what's below
Call before you dig.

DEMUS DEVELOPMENT, INC.
FINAL SITE PLAN
BECK WEST CORPORATE PARK - 46855 MAGELLAN
RANGE 8 E
CITY OF NOV, MICHIGAN

CLIENT: DEMUS DEVELOPMENT, INC.

REVISED
2014/11/19 PRE-APP. SUBMITTAL
2014/12/12 P&P/ASP SUBMITTAL

DATE: 2014/11/14
DRAWN BY: TG
CHECKED BY: SD/TG

SCALE: 1" = 30' FT.
1
07-283

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

December 15, 2014

Planning Review

NHK International

JSP14-79

Petitioner

Dembs Development, Inc

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: 46855 Magellan Dr; South of West Rd and East of Beck Rd
- Site Zoning: I-1, Light Industrial
- Adjoining Zoning: North, East and South: I-1, Light Industrial, West: City of Wixom
- Current Site Use: Industrial/Office
- Adjoining Uses: North : Industrial office; West: City of Wixom
- School District: Walled School District
- Site Size: 4.02 Gross Site Acreage
- Plan Date: 12-12-2014

Project Summary

The subject property is located in Section 9, north of Twelve Mile Road, west of West Park Drive in the I-1, Light Industrial District. The subject property is approximately 4.02 acres and the applicant is proposing to expand the existing 45,052 square foot one story building by adding approximately 5,000 square foot space. The entire building space will be further renovated in the interior to accommodate new offices for NHK international. With their move, they are estimating an upwards of 100 jobs for their corporate offices along with research can testing location. The overall anticipated cost of the project to date is in the range of 4.1 million dollars. The new construction/ renovation portion of the projects will also likely generate about 50 short terms jobs.

Recommendation

Approval of the *Preliminary/Final Site Plan is recommended*. The plan generally conforms to the requirements of the Zoning Ordinance; however there are additional **façade, traffic and Engineering related items to be addressed on Final Site Plan submittal**. Planning Commission approval of the Preliminary/Final Site Plan is required.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 19 (Light Industrial District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant on the Final Site Plan Submittal.

1. Bicycle Parking

Sec 2526. 6. b. Bicycle parking facility layout, location and design standards. All bicycle parking spaces shall be paved and adjacent to a bicycle rack of the inverted "U" design, that is solid, cannot be easily removed with common tools, provides at least two (2) contact points for a bicycle, is at least three (3) feet in height, and permits the locking of a bicycle through the frame and one (1) wheel with a standard U-Lock or cable in an upright position. The rack shall be securely anchored in concrete or asphalt. Alternative installations and designs may be considered if the proposed rack design functions similar to the inverted "U" design.

A note reflecting this requirement is added to the sheet. In addition, provide a detail of the bike rack as required.

Signage

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required **prior to consideration by the Planning Commission and with the next plan submittal.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.



Sri Ravali Komaragiri, Planner

PLANNING REVIEW SUMMARY CHART

Review Date: 15 December 2014

Project Name: JSP14 – 0079: NHK International

Plan Date: 12 December 2014

Prepared by: Sri Komaragiri, Planner **E-mail:** skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant and/or the Planning Commission before approval of the Final Site Plan.

Item	Required Code	Proposed	Meets Code?	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Industrial Research and Development	Research & Development, Office	Yes	The Preliminary Site Plan will require a Planning Commission approval. Sec 2516. C (9)
Zoning <i>(Effective December 25, 2013)</i>	I-1 Light Industrial District Article 19	I-1	Yes	
Uses Permitted <i>Sec. 1901.</i>	Sec. 1901. - Principal Uses Permitted.	Research & Development, Office	Yes	
Frontage on a Public Street. <i>Sec. 2517.</i>		Magellan Drive	Yes	
Height, bulk, density and area limitations <i>(Requirements Sec 2400 and related foot notes)</i>				
Minimum Zoning Lot Size for each Unit in Ac	(g) Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
Minimum Zoning Lot Size for each Unit: Width in Feet			NA	
Open Space Area	----	---	---	---
Maximum % of Lot Area Covered (By All Buildings)	(g)			
Building Height <i>Sec 2400</i>	40 (w)	26'-6"	Yes	
Building Setbacks Front Side Side	40 ft. (w) 20 ft. (h, m, t) 20 ft. (c, i, m, t)	Existing	NA	

Item	Required Code	Proposed	Meets Code?	Comments
Rear	20 ft. (i, l, m, t)			
Parking Setbacks Front Side Side Rear	(h) 10 ft. 10 ft. 10 ft.	Existing	NA	
Setback related footnotes				
Off-Street Parking in Front Yard	Sec 2400 (h)	Existing parking	NA	
Exterior Side Yard Abutting a Street	Sec 2400 (c)	Not abutting a street	NA	
Off-Street Parking in Side and Rear Yard	Sec 2400 (i)	Existing parking	NA	
Setback from Residential District	Sec 2400 (m)	Not adjacent to residential districts	NA	
Wetland/Watercourse Setback.	Sec 2400 (t)	No wetlands and watercourse on site	NA	
Off-Street Loading Space	Sec 2400 (l)		NA	
Additional Height and Setbacks	Sec 2400 (w)	Not Applicable	NA	
Parking, Loading and Dumpster Requirements (Section 2505, Section 2506 and Section 2507)				
Number of Parking Spaces Industrial or research establishments and related accessory offices <i>Sec.2504.14.e(1)</i> Business offices or professional offices <i>Sec.2504.14.d(2)</i>	- 1 space for 700 SF usable floor area or five (5) plus one (1) for each one and one-half (1 ½) employees in the largest working shift, whichever is greater - For 20,152 SF UFA, required spaces = 29 spaces - 1 space for 222 SF GLA For 19,136 SF, required spaces = 86 spaces - Total Required = 29 + 86= 115 spaces	Total Proposed = 115 spaces	Yes	
Parking Space Dimensions and Maneuvering Lanes <i>Sec. 2506</i>	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4"	Proposed 90° Parking: 10 ft. x 17 ft. Existing 90° Parking: 9 ft. x 17 ft.	Yes	

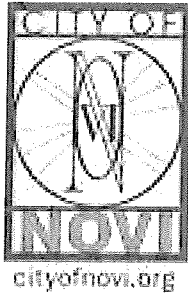
Item	Required Code	Proposed	Meets Code?	Comments
	curb at these locations and along landscaping			
End Islands <i>Sec. 2506.13</i>	<ul style="list-style-type: none"> - End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance. - No parking stall located adjacent to a parking lot entrance from a street (public or private) shall be located closer than 25 feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer. 	No new end islands are proposed	Yes	
Barrier Free Spaces <i>Barrier Free Code</i>	4 barrier free parking spaces (for total 101 to 150)& 1 van barrier free parking space	3 regular barrier Free parking & 2 van barrier free spaces are proposed	Yes	
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 5' wide with a 5' wide access aisle for regular accessible spaces 	All barrier free spaces on site are existing	Yes	
Barrier Free Signs <i>Barrier Free Design Graphics Manual</i>	One sign for each accessible parking space.	All barrier free spaces on site are existing	Yes	
Bicycle Parking Facilities <i>Sec. 2526. 2. a</i>	5% of total parking spaces = 6 bicycle parking spaces	6 bike spaces are proposed	Yes	Provide a detail for the bike rack. Sec 2526.6.b

Item	Required Code	Proposed	Meets Code?	Comments
Loading Spaces <i>Sec. 2507.3</i>	Provide in rear or interior side yard	Existing Loading Area in the rear	Yes	
Loading Spaces Screening <i>Sec. 2507.3b</i>	When loading and unloading is to be conducted within an interior side yard, the City may require aesthetic screening of the facility in accordance with the guidelines set forth in Section 2509 of this Ordinance	No changes made to existing loading space	NA	
Dumpster <i>Sec. 2503.F</i>	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	<ul style="list-style-type: none"> - Existing dumpsters are moved to south west corner of the site in the rear. - No - Yes - Yes - Yes - Yes 	Yes	
Dumpster Enclosure <i>Sec. 21-145. (c)</i>	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad Screening Materials: Masonry, wood or evergreen shrubbery	<ul style="list-style-type: none"> - An enclosure is shown on the plans - A concrete surface is indicated 	Yes	

Item	Required Code	Proposed	Meets Code?	Comments
Lighting and Other Equipment Requirements				
Exterior lighting <i>Sec. 2511</i>	Photometric plan and exterior lighting details needed at time of Final Site Plan submittal	No additional lighting is proposed	Yes	
Roof top equipment and wall mounted utility equipment <i>Sec. 2503.2.E.(1)</i>	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Rooftop equipment is proposed and is screened	Yes	
Roof top appurtenances screening <i>Sec 2503.E.2</i>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.			See Façade Comments
Sidewalks Requirements				
Sidewalks Article XII <i>Sec. 11-276(b)& Sec. 11-279</i>	<ul style="list-style-type: none"> - A 5'-8' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts - All pedestrian safety paths shall be concrete and four (4) inches thick except residential driveway crossings which shall be six (6) inches thick, and industrial/commercial driveway crossings which shall be eight (8) inches thick. 		Yes	
Pedestrian Connectivity	The Planning Commission shall consider the following factors in exercising its discretion over site plan approval Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian	Sidewalks are proposed across the site for convenient pedestrian access	Yes	

Item	Required Code	Proposed	Meets Code?	Comments
	traffic both within the site and in relation to access streets (Section 2516.2.b (3)).			
Building Code and other design standard Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.	All exits are connected to internal sidewalk	Yes	
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		Yes	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	<ul style="list-style-type: none"> -in the range of 4.1 million dollars -upwards of 100 jobs for corporate offices and in the range of 50 or so short term jobs 	Yes	
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

January 5, 2015

Engineering Review

NHK International

JSP14-0079

Applicant

DEMBS DEVELOPMENT

Review Type

Preliminary/Final Site Plan

Property Characteristics

- Site Location: E. of Beck Rd. and N. of 12 Mile Rd.
- Site Size: 4.02 acres (Site) – 0.3 acres (Disturbed Area)
- Plan Date: 12/12/14

Project Summary

- Construction of an approximately 5,027 square-foot building addition and associated parking.
- Storm water would be collected by a single storm sewer collection system and detained in an off-site basin. Net impervious area will decrease, no additional detention is required.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Approval of the Final Site Plan is recommended, with items to be addressed at Stamping Set submittal.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual.

The Final Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Stamping Set submittal:

General

1. Provide the City's standard detail sheets for storm sewer (1 Sheet-6/15/98) at the time of the Stamping Set submittal.

Storm Sewer

2. Provide profiles for 12-inch storm sewer.
3. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
4. Match the 0.80 diameter depth above invert for pipe size increases.
5. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
6. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.

Paving & Grading

7. Provide top of curb/walk and pavement/gutter grades to indicate height of curb adjacent to parking stalls or drive areas.

The following must be addressed prior to construction:

8. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
9. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application required). A grading permit fee in the amount of \$125 must be paid to the City Treasurer's Office.
10. Material certifications must be submitted to Spalding DeDecker for review prior to the construction of any utilities on the site. Contact Ted Meadows at 248-844-5400 for more information.
11. Construction inspection fees in the amount of \$2,980.98 must be paid to the City Treasurer's Office.
12. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department, Building Division (248-347-0430) for forms and information. The financial guarantee and inspection fees will be determined during the SESC review.

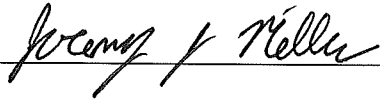
The following must be addressed prior to issuance of a Temporary Certificate of Occupancy approval for the development:

13. The amount of the incomplete site work performance guarantee for this development at this time is \$32,964.75 (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

14. Spalding DeDecker will prepare the record drawings for this development. The record drawings will be prepared in accordance with Article XII, Design and Construction Standards, Chapter 11 of the Novi Code of Ordinances.

Prior to preparing stamping sets, the Applicant is advised to provide any revised sheets directly to the Engineering Department for an informal review and approval.

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Sri Komaragiri, Community Development Department
Michael Andrews, Water & Sewer Dept.
Sheila Weber, Treasurer's
T. Meadows, B. Allen; Spalding DeDecker

TRAFFIC REVIEW



December 19, 2014

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

**SUBJECT: NHK International, Traffic Review for Final Site Plan 01/06/14
JSP14-0079**

Dear Ms. McBeth,

URS has completed our review of the final site plan submitted for the above referenced project between the City and applicant. Our comments are as follows:

1. **General Comments** – The applicant, Dembs Development, Inc., is proposing a 5,058 square foot addition along the west side of the existing building, where the current loading area exists.
2. **Potential Traffic Impacts** – The proposed modifications to the building are expected to minimally impact traffic; therefore, additional traffic impact studies are not recommended at this time.
3. **General Plan Comments** – The proposed plans are in general conformance with the City of Novi Code of Ordinances traffic-related elements.
4. **Internal Site Access and Operations** - The proposed is in general conformance with the City of Novi Code of Ordinances.
5. **Signing and Pavement Marking** – The pavement marking details provided are in general conformance with the City of Novi Code or Ordinance.
 - a. The R7-8 signs proposed on plan sheet 1 are in compliance. The proposed handicap spaces are not van accessible and therefore, the R7-8p “Van Accessible” sign in the “Handicap Sign” detail on plan sheet 4 should be removed.
6. **Bicycle and Pedestrian Master Plan** – the proposed six (6) bicycle parking spaces are in compliance with the City of Novi Code of Ordinances.

We recommend approval of the final site plan subject to issue 5a listed above being satisfactorily addressed.



Sincerely,

URS Corporation Great Lakes

A handwritten signature in blue ink, appearing to read "Matthew G. Klawon".

Matthew G. Klawon, PE
Manager, Traffic Engineering and ITS Engineering Services

FACADE REVIEW



January 5, 2015

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Facade Review, Final Site Plan**
NHK of Michigan, PSP14-0212
 Façade Region: 3, Zoning District: I-1

Dear Ms. McBeth;

The following is the Façade Review for Final Site Plan Approval of the above referenced project based on the drawings prepared by Faudie Architects, dated 12/12/14. The percentages of materials proposed for each façade are as shown below. Materials that are in violation of the Ordinance, if any, are shown on bold.

Façade Region 3	North	South	West	East	Façade Ordinance Section 2520 Maximum (Minimum)
Split Faced C.M.U.	75%	75%	65%	75%	75%
Single Score C.M.U.	15%	15%	25%	15%	25%
Ribbed Metal (R.T.U. Screen)	10%	10%	10%	10%	50%

This project consists of an approximately 5,000 square foot addition on the west side of the existing building. The proposed addition substantially represents a continuation of existing materials and is in full compliance with the Façade Ordinance. The drawings indicate that the new masonry will be stained to match the color of the existing masonry. A Section 9 Waiver is not required for this project.

Notes to the Applicant:

1. Inspections – The Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Associates, Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

FIRE REVIEW



December 30, 2014

TO: Barbara McBeth- Deputy Director of Community Development
Kristen Kapelanski- Plan Review Center
Sri Komaragiri- Plan Review Center

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Gwen Markham

Andrew Mutch

Doreen Poupard

Wayne Wrobel

Laura Marie Casey

City Manager
Pete Auger

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrold S. Hart

RE: NHK International

PSP#14-0199

PSP#14-0211

Project Description: Addition to existing structure at 46855 Magellan

Comments: Meets Fire Department Standards

Recommendation: Approval

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER



46892 West Road, Suite 109
Novi, Michigan 48377
Phone: (248) 926-3701
Fax: (248) 926-3765
Web: www.alpine-inc.net

January 7, 2015

Sri Komaragiri
City of Novi Community Development Department
45175 West 10 Mile Road
Novi, Michigan 48375

Re: **NHK International**
Preliminary/Final Site Plan Response Letter
City of Novi Review# JSP14-79

Dear Ms. Komaragiri:

This letter is in response to the Plan Review Center Report received on January 6, 2015 for the above referred project:

Planning Review dated December 15, 2015

1. A detail of the bike rack will be provided on the Final Site Plan submittal.

Engineering Review dated January 5, 2015

General

1. City standard detail sheets for storm sewer will be provided with the Stamping Set submittal.

Storm Sewer

2. Profile for the 12-inch storm sewer will be provided on the Final Site Plan submittal.
3. Based on existing storm sewer invert elevations, alignments and minimum allowable pipe slopes, 0.1-foot drop in the downstream invert of storm structures where a change in direction exceeds 30 degrees cannot be achieved for the storm sewer relocation.
4. 0.80 diameter depth above invert for pipe size increases will be shown on the Final Site Plan.
5. There are no storm manholes proposed with differences in invert elevations exceeding two feet.
6. The 10-year HGL will be shown on the storm sewer profiles with HGL at least 1-foot below the structure rims.

Paving & Grading

7. Additional proposed elevations will be provided on the Final Site Plan submittal.

Items required prior to construction

- 8.-12. Required items will be provided prior to construction.

Items required prior to Temporary Certificate of Occupancy approval

- 13.-14. Required items will be provided.

URS Review dated December 19, 2014

- 5a. The "Van Accessible" sign in the "Handicap Sign" detail on sheet 4 will be removed on the Final Site Plan submittal.

DRN & Associates, Architects review Dated January 5, 2015

No response necessary.

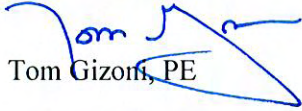
City of Novi Fire Department Review dated December 30, 2014

No response necessary.

January 7, 2015
NHK International
Page 2 of 2

If you have any questions please feel free to call our office at (248) 926-3701.

Regards,
Alpine Engineering Inc.


Tom Gizom, PE

Enclosures

cc: Dembs Development, Inc.



DEMBS

Development Inc.

46855 Magellan Dr., Suite 200
Novi, Michigan 48377
(248) 380-7100 • Fax (248) 560-3030

December 12, 2014

Ms. Barbara McBeth
City of Novi
45175 Ten Mile Road
Novi, MI 48375

Re: NHK International, Inc., 46855 Magellan Rd.

Dear Barb,

Attached within please find our site plan review submittal package for the development of the new offices for NHK International within the City. I would like to thank you and the rest of your team for the assistance you had provided to us in our up front pre-application process for the project. The "help us to help you" concept to project planning, that I had mentioned and we discussed at the end of our pre app meeting as a way to streamline the process on fast track projects such as this and future developments, I believe would be embraced by all.

As I had mentioned at our initial meeting, NHK International is extremely excited about their move to Novi and looks forward to a successful project along with a longstanding relationship with the City. With their move of this facility to Novi comes upwards of one hundred (100) jobs for their corporate offices along with a research and testing department location for their company. The new construction/ renovation portion of the project will also more than likely generate somewhere in the range of fifty (50) or so short term jobs for the various consultants and subcontractors working on the project.

To date the overall anticipated projected cost for the project in the range of 4.1 million dollars.

Thank you again for your cooperation in assisting in expediting this project that we feel is economically important to all parties involved.

Sincerely,

Dembs Development, Inc.

Glenn E. Jones

Pre-Construction and Development

CC: Charles Boulard/ City of Novi
Sri Komaragiri/ City of Novi

Encl.