



## GFS MARKETPLACE JSP12-71

### **GFS Marketplace, JSP12-71**

Public hearing at the request of Sun Vally, Ltd. for a recommendation to City Council regarding the Preliminary Site Plan, Special Land Use and Stormwater Management Plan. The subject property is located in Section 15 south of Twelve Mile Road and west of Donelson Drive in the RC, Regional Center District. The subject property is 2.15 acres and the applicant is proposing an approximately 16,000 sq. ft. GFS Marketplace retail store.

### **REQUIRED ACTION**

Recommend approval/denial of the Preliminary Site Plan, Special Land Use Permit and Stormwater Management Plan.

<b>REVIEW</b>	<b>RESULT</b>	<b>DATE</b>	<b>COMMENTS</b>
Planning	Approval recommended	01/16/13	<ul style="list-style-type: none"> <li>• Applicant has elected to seek a variance for the deficient building setbacks (100' required, 65' and 28' provided along east and south property lines).</li> <li>• Applicant has elected to seek a variance for the deficient parking setbacks (10' required, 4' and 3' provided along west and south property lines).</li> <li>• Administrative waiver of Community Impact Statement</li> <li>• City Council waiver required for Traffic Study</li> <li>• Items to address on the Final Site Plan.</li> </ul>
Engineering	Approval recommended	01/16//13	Items to address on the Final Site Plan.
Traffic	Approval recommended	01/08/13	Items to address on the Final Site Plan.
Landscaping	Approval recommended	12/26/12	<ul style="list-style-type: none"> <li>• City Council waiver required to permit more than 15 contiguous parking spaces. – Staff does not support.</li> <li>• City Council waiver required to allow the foundation landscaping to be relocated. – Staff supports provided additional plantings are provided.</li> <li>• Items to address on the Final Site Plan.</li> </ul>

Facade	Approval recommended	01/15/13	<ul style="list-style-type: none"><li>• <b>Section 9 facade waiver required for the overage of C-brick and split-faced C.M.U and underage of brick.</b></li><li>• <b>Applicant should provide additional articulation on east and west facades.</b></li><li>• Items to address on the Final Site Plan.</li></ul>
Fire	Approval recommended	01/03/13	Items to address on the Final Site Plan.

## Motion sheet

### Approval- Special Land Use

In the matter of GFS Marketplace, JSP12-71, motion to **recommend approval** of the Special Land Use permit, subject to the following:

- a. Planning Commission finding under Section 2516.2.c for the Special Land Use permit:  
That, relative to other feasible uses of the site,
  - The proposed use will not cause any detrimental impact on existing thoroughfares *(as noted in the traffic review letter)*.
  - The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood *(due to the fact that the proposed retail store will not generate a substantial amount of noise or adverse impacts.)*
  - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
  - The proposed use will promote the use of land in a socially and economically desirable manner.
  - The proposed use is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located *(as noted in the staff review letters)*; and
- b. Compliance with all conditions and requirements listed in the staff and consultant review letters.
- c. *(Insert specific considerations here)*

*(This motion is made because the plan is otherwise in compliance with Article 17, Article 24 and Article 25 and all other applicable provisions of the Zoning Ordinance.)*

### Approval – Preliminary Site Plan

In the matter of GFS Marketplace, JSP12-71, motion to **recommend approval** of the Preliminary Site Plan subject to the following:

- a. Applicant receiving variances from the Zoning Board of Appeals for the deficient building setbacks (100' required, 65' provided in eastern yard and 28' provided in southern yard);
- b. Applicant receiving variances from the Zoning Board of Appeals for the deficient parking setbacks (10' required, 4' provided in western yard and 3' provided in southern yard);
- c. City Council waiver of the required Traffic Study *(as the existing LOS along roadways will not be significantly impacted by the proposed development)*;
- d. Applicant providing an additional landscape island so that no more than 15 contiguous parking spaces are provided;
- e. City Council waiver to all the relocated foundation landscaping provided additional plantings are shown along the north and east sides of the building;
- f. Section 9 façade waiver for the overage of C-brick and split-faced C.M.U. and underage of brick provided the applicant shows additional articulation on the east and west facades;
- g. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- h. *(additional conditions here if any)*

for the following reasons...*(because it is otherwise in compliance with Article 17, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

Approval – Stormwater Management Plan

In the matter of GFS Marketplace, JSP12-71, motion to **recommend approval** of the Stormwater Management Plan, subject to:

- a. The conditions and items listed in the staff and consultant review letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

for the following reasons...*(because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

Denial- Special Land Use

In the matter of GFS Marketplace, JSP12-71 , motion to **recommend denial** of the Special Land Use permit,... *(because it does not meet the following standards of the ordinance for approval of a Special Land Use permit...)*

Denial – Preliminary Site Plan

In the matter of GFS Marketplace, JSP12-71 motion to **recommend denial** of the Preliminary Site Plan, *for the following reasons...(because the plan is not in compliance with Article 17, Article 24 and Article 25 of the Zoning Ordinance.)*

Denial Storm Water Management Plan

In the matter of GFS Marketplace, JSP12-71, motion to **recommend denial** of the Stormwater Management Plan, *for the following reasons...( because the plan is not in compliance with Chapter 11 of the Ordinance.)*

## PLANNING REVIEW



# PLAN REVIEW CENTER REPORT

January 16, 2013

## Planning Review

GFS Marketplace

JSP12-71

---

### Petitioner

Sun Vally, Ltd.

### Review Type

Preliminary Site Plan and Special Land Use

### Property Characteristics

- Site Location: South of Twelve Mile Road, west of Donelson Drive (Section 15)
- Site Zoning: RC, Regional Center
- Adjoining Zoning: North: OS-1, Office Service (across Twelve Mile Rd.); South and East: RC; West: OST, Planned Office Service Technology
- Current Site Use: Vacant outlot of Twelve Mile Crossing at Fountain Walk shopping center
- Adjoining Uses: North and West: Existing office; South and East: Shopping Center;
- School District: Novi Community District
- Existing Site Size: 67.21 acres
- Proposed Site Size: 2.15 acres
- Plan Date: 12-14-12

### Project Summary

The applicant is proposing to construct an approximately 16,000 sq. ft. GFS Marketplace retail store on an existing outlot near the northeast corner of the Twelve Mile Crossing at Fountain Walk shopping center. The applicant has proposed splitting the parcel off from the larger shopping center parcel. Associated parking and landscaping would also be constructed.

### Recommendation

**Provided the applicant receives the necessary variances from the Zoning Board of Appeals, staff recommends approval of the Preliminary Site Plan and Special Land Use Permit.** Considering the size of the undeveloped space in question, some of these variance requests may be unavoidable. In order to meet the building setbacks on all four sides of the proposed building, the applicant would have to reduce the size of the building by 30%. There are only minor planning related items to be addressed on the Final Site Plan submittal. There are more significant items to be addressed in the landscape and façade reviews. Prior to proceeding to the Planning Commission, the applicant should submit the relevant sheets for a revised Preliminary Site Plan review for façade and landscape only.

### Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 17 (RC, Regional Center District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. Building Setbacks: Buildings must be setback 100 feet from all property lines. The proposed building is setback 65 feet along the east property line and 28 feet along the south property line. The applicant has elected to seek variances from the Zoning Board of Appeals for these deficiencies. **If the variances are not granted, plans will need to be modified to meet the ordinance standards.**
2. Parking Setback: Parking areas must be setback 10 feet along side and rear property lines. The proposed parking setback in the western side yard is 4 feet and the proposed setback in the southern rear yard is 3 feet. The applicant has elected to seek variances from the Zoning Board of

Appeals for these deficiencies. **If the variances are not granted, plans will need to be modified to meet the ordinance standards.**

3. Minor Items: There are several minor items noted in the planning review chart and lighting review chart. **The applicant should adjust the plans accordingly for the Final Site Plan submittal.**
4. City Council Approval: In the RC District, proposed developments on parcels over 4 acres in area must be approved by the City Council after the review and recommendation of the Planning Commission.
5. Parcel Split: The applicant has indicated and the plan shows a proposed parcel split. This must be completed before Stamping Sets can be stamped approved by the Planning Division.
6. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.<sup>3</sup>

### **Special Land Use Considerations**

In the RC District, a retail establishment whose principal activity is the sale of merchandise in an enclosed building falls under the Special Land Use requirements (Section 1702.1). Section 2516.2.c of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review and recommendation to City Council of the Special Land Use Permit request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

### **Additional Requirements**

In the RC District, there are additional requirements for enclosed retail establishments as noted in Section 1702.1. Namely, the proposed retail establishment should be part of an existing or developing planned commercial shopping center. The proposed GFS Marketplace would be located within the parking area of the existing 12 Mile Crossing at Fountain Walk shopping center and therefore considered a part of the shopping center. In addition, retail establishments are also subject to the site plan review requirements of Section 2404.4 of the ordinance. This would require the Preliminary Site Plan to receive a recommendation for approval or denial from the Planning Commission with City Council ultimately approving or denying the proposed plan.



Section 2406.4.A of the Zoning Ordinance outlines specific factors the Planning Commission and City Council shall consider in the review:

1. The plan meets all the requirements of Section 2516 of this Ordinance for Preliminary Site Plans and the requirements set forth in the City's Site Plan and Development Manual. *Deficiencies and appropriate relief remedies are indicated in the review letters.*
2. The plan satisfies the intent of the Special Land Use provisions as stated in Section 2516.2.c. *See the Special Land Use Considerations noted in this Plan Review Letter.*
3. The Community Impact Statement and Traffic Study are provided, regardless of site size, in accordance with the requirements set forth in the City's Site Plan and Development Manual. **The applicant should request a waiver of the Community Impact Statement.** *Waivers of the Community Impact Statement can be granted administratively by the staff and in this case, a waiver seems appropriate given the amount of retail space being added compared to the existing retail space in the area. The applicant should request a waiver of the Traffic Study by the City Council.* *Staff would support this waiver. The City Council should consider the following factors when considering a waiver of the Traffic Study requirement:*
  - a. The existing Level of Service (LOS) along roadways will not drop below LOS C as a result of the proposed development;
  - b. The existing LOS along roadways will not be significantly impacted by the proposed development;
  - c. A similar Traffic Study was previously prepared and approved for the site.
4. The plan satisfies the intent of this Section with respect to use of the land and principal and accessory use relationships within the site as well as with uses on adjacent sites.
5. That all existing or proposed streets, road, utilities and marginal access service drives, as are required, are correctly located on the site plan in accordance with the approved plans for these improvements. *See the attached Engineering Review Letter for additional information.*
6. The plan meets all the applicable standards of this Ordinance relative to height, bulk and area requirements, building setbacks, off-street parking and preliminary site engineering requirements. *See the attached Plan Review Chart for additional information.*
7. That there exists a reasonable harmonious relationship between the location of buildings on the site relative to buildings on lands in the surrounding area; that there is a reasonable architectural and functional compatibility between all structures on the site and structures within the surrounding area to assure proper relationships between:
  - a. The topography of the adjoining lands as well as that of the site itself including any significant natural or manmade features. *Minimal topography for adjacent properties is included in the Preliminary Site Plan package.*
  - b. The relationship of one building to another whether on-site or on adjacent land, i.e., entrances, service areas and mechanical appurtenances. *The applicant has adequately screened mechanical appurtenances and service areas from adjacent properties.*
  - c. The rooftops of buildings that may lie below street levels or from windows of higher adjacent buildings. *No buildings will lie below street levels.*
  - d. Landscape plantings, off-street parking areas and service drives on adjacent lands. *See the Landscape Review Letter for additional information.*
  - e. Compliance with street, road and public utility layouts approved for the area. *See the Engineering and Traffic Review Letters for additional information.*
  - f. The architecture of the proposed building including overall design and façade materials used. *Architectural design and façade material are to be complimentary to existing or proposed buildings within the site and the surrounding area. It is not intended that contrasts in architectural design and use of façade materials is to be*

discouraged, but care shall be taken so that any such contrasts will not be so out of character with existing building designs and façade materials so as to create an adverse effect on the stability and value of the surrounding area. See *the Façade Review Letter* for additional information.

Section 2406.4.B indicates the City Council shall review the proposed plan considering the Planning Commission's recommendation and the requirements of Section 2404.4.A. As part of its approval of the Preliminary Site Plan, the Council is permitted to impose conditions that are reasonably related to the purposes of this section and that will:

1. Insure that public services and facilities affected by a proposed land use or activity will be capable of accommodating increased services and facility loads caused by the land use or activity;
2. Protect the natural environment and conserving natural resources and energy;
3. Insure compatibility with adjacent use of land; and
4. Promote the use of land in a socially and economically desirable manner.

#### **Site Addressing**

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at [www.cityofnovi.org](http://www.cityofnovi.org) under the forms page of the Community Development Department.

Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

#### **Pre-Construction Meeting**

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

#### **Chapter 26.5**

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits: The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

#### **Response Letter**

A letter from either the applicant or the applicant's representative addressing comments in this and other review letters is required prior to consideration by the Planning Commission and with the next plan submittal.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or [kkapelanski@cityofnovi.org](mailto:kkapelanski@cityofnovi.org).

  
Kristen Kapelanski, AICP, Planner

**Planning Review Summary Chart**

GFS Marketplace Store JSP12-71

Preliminary Site Plan

Plan Dated: 12-14-12

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Regional Commercial	Regional Commercial	Yes	
Zoning	RC	RC	Yes	
Use (Sec. 1701 and 1702)	Regional and Community shopping centers, Retail businesses, Sit-down restaurants	GFS retail store	Yes	<b>Special Land Use Permit Required</b>
Building Height (Sec. 2400)	Maximum 45 feet	28'6" to peak of roof	Yes	
<b>Building Setbacks (Sec. 2400)</b>				
Front (north)	100 feet	107 feet	Yes	
Exterior Side (east)	100 feet	65 feet	No	The applicant has applied for a variance from the Zoning Board of Appeals for the deficient setback.
Interior Side (west)	100 feet	126 feet	Yes	
Rear (south)	100 feet	28 feet	No	The applicant has applied for a variance from the Zoning Board of Appeals for the deficient setback.
<b>Parking Setbacks (Sec. 2400)</b>				
Front (north)	20 feet	52 feet	Yes	
Exterior Side (east)	20 feet	22 feet	Yes	
Interior Side (west)	10 feet	4 feet	No	The applicant has applied for variances from the Zoning Board of Appeals for the deficient setbacks.
Rear (south)	10 feet	3 feet		
Number of Parking Spaces (Sec. 2505)	Retail Space: 1 space/200 sq. ft. 15,670 sq. ft./200 = 78 spaces required	78 spaces provided	Yes	
Parking Space	9' x 19' parking	Minimum 9' x 17.5'	Yes	<b>A 4" curb must be</b>

Item	Required	Proposed	Meets Requirements?	Comments
Dimensions (Sec. 2506)	space dimensions and 24' wide drives for 90° spaces.  9' x 17' parking space dimensions permitted with a 4" curb	parking space dimensions and minimum 24' wide drives.		provided and indicated via a not wherever parking spaces are less than 19'.
Barrier Free Spaces (Barrier Free Code)	4 barrier free spaces (1 van accessible)	4 van accessible barrier free	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	8' wide with an 8' wide access aisle for van accessible	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	Barrier free signs shown.	Yes	
Loading Spaces (Sec. 2507)	10 square feet per front foot of building = 103 x 10 = 1,030 sq. ft.  All loading shall be in the rear yard or interior side yard if double fronted lot.	Adequate loading space provided via a truckwell in the rear yard	Yes	
Loading Space Screening (Sec. 2302A.1)	In the RC District, view of loading and waiting areas must be shielded from rights of way and adjacent properties.	Proposed loading will be below grade and screened by the building.	Yes	
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be setback a minimum of 10 feet from any building unless structurally attached to the building and setback the same as parking from all property lines; in addition, the	Dumpster located in the rear yard and setback appropriately from the building and property lines.	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
	structure must be in the rear or interior side yard.			
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	Screening details provided as part of proposed elevations.	Yes?	Applicant should confirm screening will be provided on the north side of the dumpster.
Exterior Signs	Exterior Signage is not regulated by the Planning Department or Planning Commission.			Please contact <u>Jeannie Niland</u> (248.347.0438).
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.	Lighting plan submitted	See lighting review chart.	
Sidewalks (City Code Sec. 11-276(b))	An 8' wide sidewalk shall be provided along Twelve Mile Road as required by the City's Pedestrian and Bicycle Master Plan.  Building exits must be connected to sidewalk system or parking lot.	Existing concrete walk along 12 Mile Road to remain.  Additional sidewalk connection provided	Yes	

Prepared by Kristen Kapelanski, (248) 347-0586 or [kkapelanski@cityofnovi.org](mailto:kkapelanski@cityofnovi.org)

**Lighting Review Summary Chart**

GFS Marketplace JSP12-71

Plan Date: 12-14-12

Item	Required	Meets Requirements?	Comments
Intent (Section 2511.1)	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties, reduce unnecessary transmission of light into the night sky	Yes	
Lighting plan (Section 2511.2.a.1)	Site plan showing location of all existing and proposed buildings, landscaping, streets, drives, parking areas and exterior lighting fixtures	Yes	
Lighting Plan (Section 2511.2.a.2)	Specifications for all proposed and existing lighting fixtures including: <ul style="list-style-type: none"> <li>▪ Photometric data</li> <li>▪ Fixture height</li> <li>▪ Mounting &amp; design</li> <li>▪ Glare control devices</li> <li>▪ Type and color rendition of lamps</li> <li>▪ Hours of operation</li> <li>▪ Photometric plan</li> </ul>	Yes	
Required conditions (Section 2511.3.a)	Height not to exceed maximum height of zoning district or 25 feet where adjacent to residential districts or uses.	Yes	
Required Notes (Section 2511.3.b)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- No flashing light shall be permitted</li> <li>- Only necessary lighting for security purposes and limited operations shall be permitted after a site's hours of operation.</li> </ul>	Yes	
Required	Average light level of	<b>Yes?</b>	<b>The applicant should</b>

Item	Required	Meets Requirements?	Comments
conditions (Section 2511.3.e)	the surface being lit to the lowest light of the surface being lit shall not exceed 4:1.		provide the average to minimum ratio.
Required conditions (Section 2511.3.f)	Use of true color rendering lamps such as metal halide is preferred over high and low pressure sodium lamps.	Yes	
Minimum Illumination (Section 2511.3.k)	<ul style="list-style-type: none"> <li>- Parking areas- 0.2 min</li> <li>- Loading and unloading areas- 0.4 min</li> <li>- Walkways- 0.2 min</li> <li>- Building entrances, frequent use- 1.0 min</li> <li>- Building entrances, infrequent use- 0.2 min</li> </ul>	Yes	
Maximum Illumination adjacent to Non-Residential (Section 2511.3.k)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candles	Yes	
Cut off Angles (Section 2511.3.1(2))	All cut off angles of fixtures must be 90 degrees when adjacent to residential districts	Yes	

**ENGINEERING REVIEW**





cityofnovi.org

## PLAN REVIEW CENTER REPORT

January 16, 2013

### Engineering Review

GFS Marketplace

JSP12-0071

---

#### Petitioner

Sun Valley, LTD, Owner

#### Review Type

Preliminary Site Plan

#### Property Characteristics

- Site Location: S. of Twelve Mile and W. of Donelson Dr.
- Site Size: 2.15 acres
- Plan Date: December 14, 2012

#### Project Summary

- Construction of an approximately 16,295 square-foot building and associated parking. Site access would be provided by two access points to the adjacent parking lot to the west.
- Water service would be provided by a 1.5-inch domestic lead and a 6-inch fire lead to serve the building, along with an additional hydrant on a 6-inch main from the existing 8-inch water main.
- Sanitary sewer service would be provided by connecting to an existing 6" lead from the 12" sanitary on Donelson dr.
- Storm water would be collected by a single storm sewer collection system and discharged into the existing detention basins located S. of West Oaks within the ITC property.

#### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments (to be addressed prior to the Final Site Plan submittal):**

General

1. Provide a note on the plans that all work shall conform to the current City of Novi standards and specifications.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Provide the Warranty Deed for the Fountain Walk Drive Right-of-Way prior to stamping set submittal. This is a previously unresolved matter with parcel 50-22-15-200-100.
4. Label the ROW half width for Twelve Mile Rd and Donelson Dr on all plan sheets.

Water Main

5. Provide a 20 ft wide public easement over the proposed water main extension and fire hydrant.
6. Provide a profile for the proposed water main.
7. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Storm Sewer

8. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps and the 10-year hydraulic grade line.
9. Provide a 0.1 foot drop for every change in direction greater than 30 degrees.
10. Denote the location of all building roof leads with length, slope, material type, and diameter.

Storm Water Management Plan

11. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
12. A minimum slope of 2% must be maintained in the proposed drainage ditch.
13. Specify the ultimate discharge point for flow carried by the drainage ditch.

Paving & Grading

14. Provide the sidewalk height adjacent to any the abutting parking stalls.
15. Provide top of curb and gutter elevations for the proposed parking lot.

Off-Site Easements

16. Provide an ingress/egress easement for two access points on the west side of the proposed parcel.
17. Provide a storm sewer easement for the off-site structure adjacent to the southwest corner of the proposed parcel
18. Provide a Surface Drainage Easement for any sheet flow that crosses proposed parcel bounds.

**The following must be submitted at the time of Final Site Plan submittal:**

19. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

**The following must be submitted at the time of Stamping Set submittal:**

21. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
22. An executed copy of the private ingress/egress easement for shared use of the parking lot to the west must be submitted to the Community Development Department.
23. An executed copy of the drainage easement with the adjacent property to the west must be submitted to the Community Development Department.
24. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.

25. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
26. Executed copies of any required off-site utility/construction easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

27. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
28. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
29. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
30. A permit for work within the right-of-way of Donelson Dr must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
31. A permit for work within the right-of-way of Twelve Mile Rd must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
32. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
33. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
34. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
35. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

36. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
37. Permits for the construction of each retaining wall (if any) must be obtained from the Community Development Department (248-347-0415).

Please contact Adam Wayne at (248) 735-5648 with any questions.



---

cc: Ben Croy, Engineering  
Brian Coburn, Engineering  
Kristen Kapelanski, Community Development Department  
Debora Peck, Water & Sewer Dept.

**TRAFFIC REVIEW**

January 8, 2013

Barbara McBeth, AICP  
Deputy Director of Community Development  
City of Novi  
45175 W. Ten Mile Rd.  
Novi, MI 48375



**SUBJECT: GFS Marketplace, JSP12-0071,  
Traffic Review of Preliminary Site Plan (PSP12-0059)**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

### **Recommendation**

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed on the final site plan.

### **Project Description**

What is the applicant proposing?

1. The applicant, Gordon Food Service, is proposing to construct a 16,295-s.f. store on a 2.15-acre parcel to be split off from the Twelve Mile Crossing at Fountain Walk shopping center. The subject parcel is on the southwest corner of Twelve Mile Road and Donelson Drive. All vehicular access would occur via the existing Fountain Walk parking lot, through which the necessary cross-access easements must be negotiated and duly recorded.

### **Trip Generation**

How much traffic would the proposed development generate?

2. The Institute of Transportation Engineers appears to have no trip generation data for this type of store. The Planning Commission may wish to have the applicant comment on typical daily and peak-hour trip generation by its stores.

### **Vehicular Access Locations**

Do the proposed driveway locations meet City spacing standards?

3. Not applicable. As noted above, all vehicular access would occur via the existing shopping center parking lot and associated access drives.

### **Vehicular Access Improvements**

Will there be any improvements to the abutting road(s) at the proposed driveway(s)?

4. Not applicable.

### Driveway Design and Control

Are the driveways acceptably designed and signed?

5. Not applicable.

### Pedestrian Access

Are pedestrians safely and reasonably accommodated?

6. In response to our pre-application comments, a sidewalk connection is now proposed to the Twelve Mile safety path at Donnelson. We had also recommended that a "suitable sidewalk connection" be provided to "the shopping center's main north building pad," but none has been proposed. The Planning Commission may wish to have the applicant address this issue.

### Parking and Circulation

Are parking spaces appropriately designed, marked, and signed? Can vehicles safely and conveniently maneuver through the site?

7. A note on sheet C-102 states that "all dimensions shown to concrete curb and gutter are to back of curb unless otherwise noted." **This note should be expanded, or supplemented by another note, to indicate that "all parking space dimensions (width as well as length) are referenced to face of curb or walk."**
8. We were unable to complete our normally comprehensive review due to the plan set lacking a Paving and Grading sheet showing the elevations of curbs, sidewalks, etc. **No later than the final site plan, a Paving and Grading sheet must be included (possibly earlier, depending on the wishes of the City Engineering reviewer).**
9. As requested, the sidewalk around the building has been widened to 7 ft; however, the adjacent parking spaces have been shortened only to 18 ft rather than the 17 ft requested; **the applicant should explain the need for the 1 ft of extra pavement** (rather than landscaping behind the sidewalk). Also, any space length less than 19 ft requires the sidewalk height to be limited to 4 inches (per Sec 2509.3.c(2)(c) of the Zoning Ordinance). Although we are unable to find any relevant elevation data in the plans, **it appears from a note on sheet C-103 ("Slope sidewalk down 6" so flush with bituminous pavement at striped aisle") that the sidewalk height is now proposed to be an unacceptable 6 inches.**
10. **The barrier-free sidewalk ramps, parking space markings, and signage need to be detailed consistent with ADA requirements and the specifications we provided with our pre-application comments** (another copy attached to current letter). Required items include:
  - a. **Sidewalk ramps shown and/or noted as having a preferred slope of 5%.**

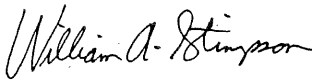


- b. **Striping color of blue (not yellow per the current plan note), with adjacent barrier-free and non-barrier-free spaces separated by abutting blue and white stripes.**
  - c. **Wheelchair symbols painted on the pavement in white (not blue), facing to the right when viewed from the parking aisle (not the left).**
  - d. **Two signs on each of the four posts, RESERVED PARKING [wheelchair symbol facing right] ONLY (R7-8) above VAN ACCESSIBLE (R7-8P), with a minimum of 6'-8" below the latter sign.**
11. **The plan note specifying various barrier-free parking features also needs to be revised to remove an obsolete reference to a "precast bumper block" (which will not be used) as well as inaccurate references to "a sign" (rather than two for each space) and the "Manual of Uniform Traffic Controls" (an incorrect title).**
12. **The proposed no parking zone immediately south of the main building entrance lacks a striping specification as well as any signage. A NO PARKING ANY TIME sign (R7-1 but with no arrow below) should be mounted on the building façade to the right of the window (see west elevation on sheet A-201). The crosshatching specification for this zone should match the one used at the northwest corner of the building pad (4-inch yellow, 4 ft on-center). With the installation of the requested sign, the words "NO PARKING" apparently intended as a pavement marking are optional.**

Sincerely,  
BIRCHLER ARROYO ASSOCIATES, INC.



Rodney L. Arroyo, AICP  
Vice President

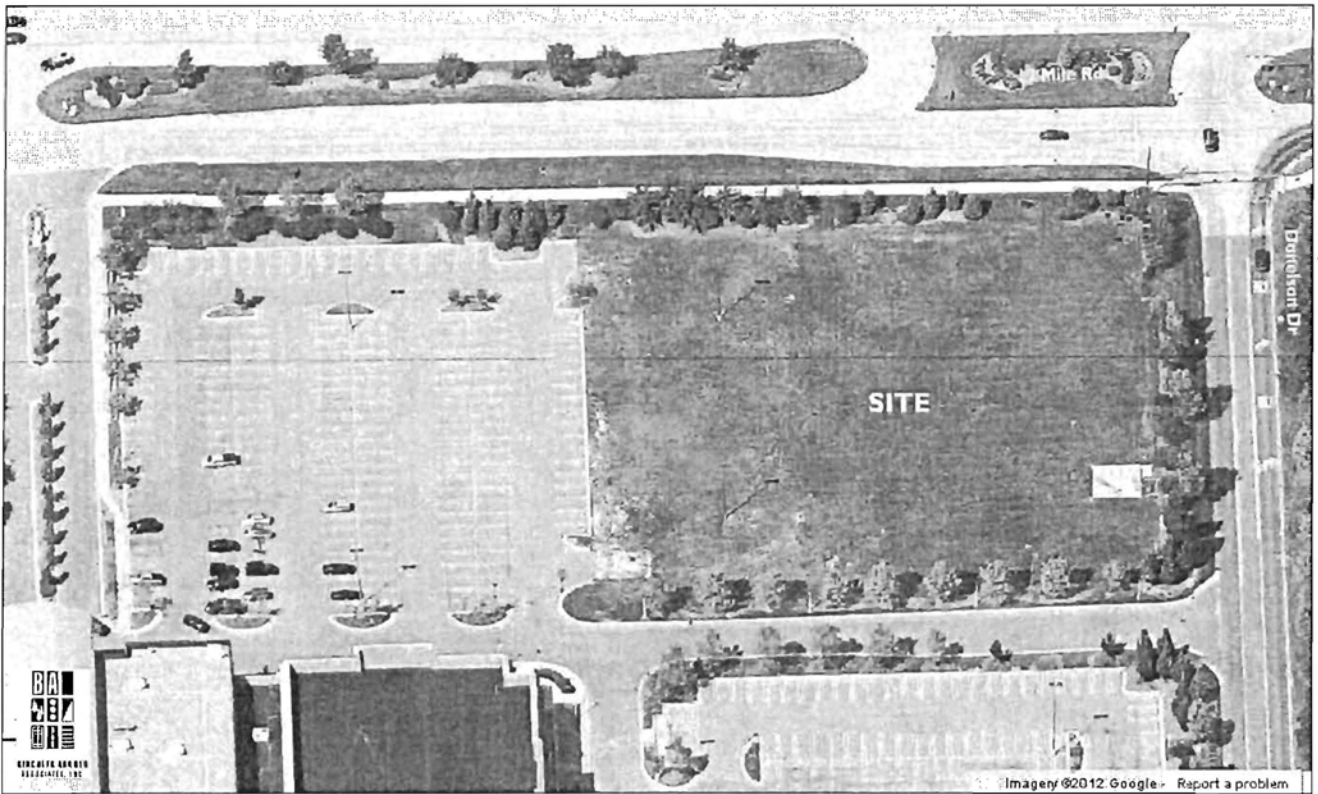


William A. Stimpson, P.E.  
Director of Traffic Engineering

Attachments:

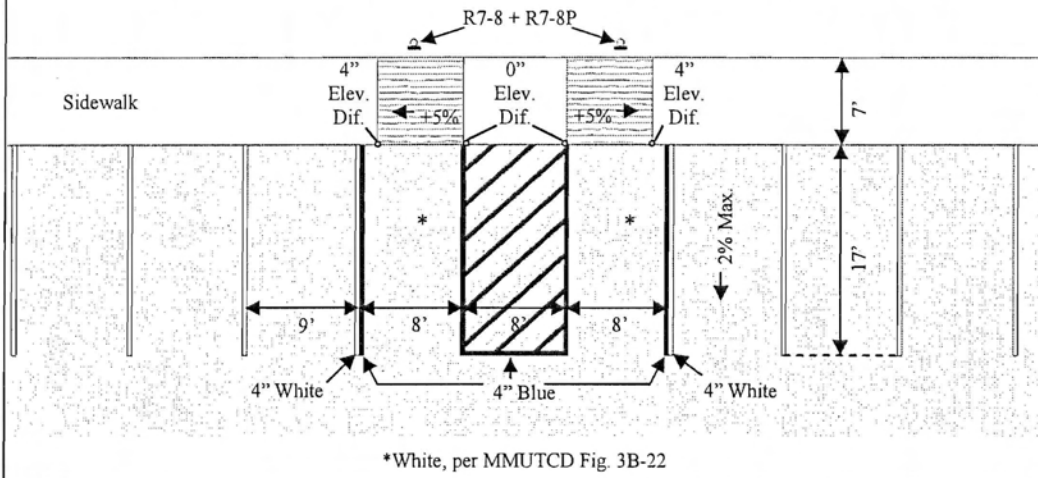
Aerial photo

Typical details for alternative treatment of barrier-free parking ramps

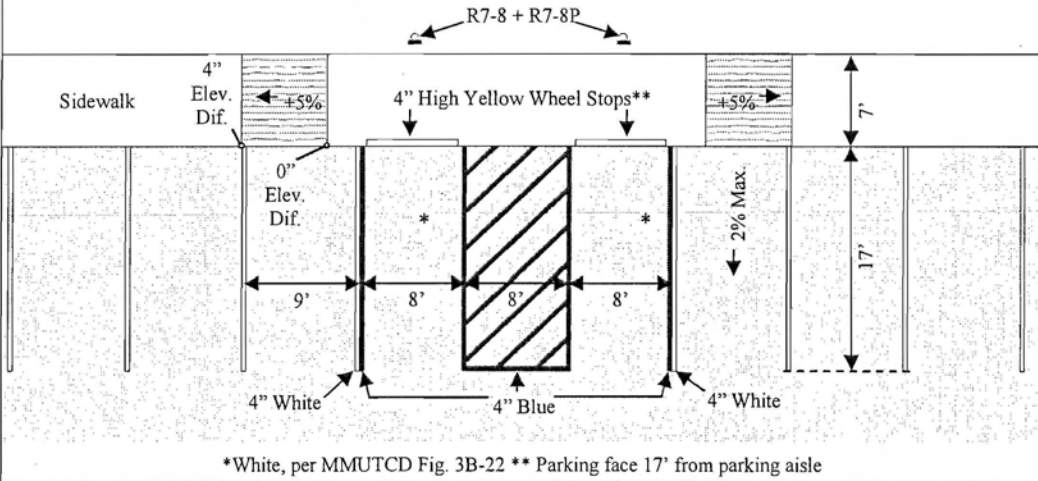


Site of Proposed Gordon Food Service (at Twelve Mile Crossing at Fountain Walk)

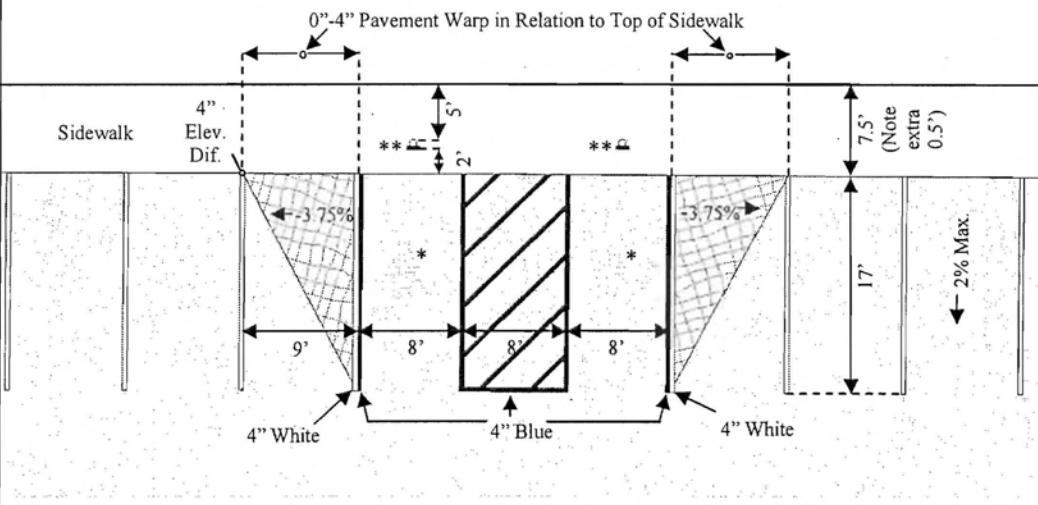
**Alternative A: Flat Parking Surface with Sidewalk Ramped - Wheel Stops Not Required**



**Alternative B: Flat Parking Surface with Sidewalk Ramps - Wheel Stops Required**



**Alternative C: Sloped Parking Surface with Flat Sidewalk**



\*White, per MMUTCD Fig. 3B-22 \*\* Standard signs with 6" diameter base pipes (If signs are located behind walk, wheel stops are needed.)

**LANDSCAPE REVIEW**



## PLAN REVIEW CENTER REPORT

December 26, 2012

### Preliminary Site Plan

GFS Marketplace

#### Property Characteristics

- Site Location: 12 Mile / Donelson Drive
- Site Zoning: RC – Regional Center
- Plan Date: 12/14/12

#### Recommendation

Approval of the Preliminary Site Plan for GFS Marketplace JSP#12-59 is recommended provided the Applicant receives the necessary waivers from the Planning Commission. Please address the concerns noted below upon subsequent submittal.

#### Ordinance Considerations

##### Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm is required along the right-of-ways adjacent to parking areas. The existing berm and slope will remain, thereby preserving the existing mature vegetation.
2. Right-of-way greenbelt planting calculations have been provided and requirements have been met. Existing mature vegetation will be preserved.

##### Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 45 LF adjacent to parking; one street tree is required per 55 LF where there is no parking. This requirement has been met.

##### Parking Landscape (Sec. 2509.3.c.)

1. A total of 2,359 SF of interior parking landscape area is required. This requirement has been met.
2. A total of 19 Parking Lot Canopy Trees are required. This requirement has been met.
3. The Applicant is proposing 16 parking spaces along the west property line. The ordinance requires an interior parking lot island for any bank of parking numbering greater than fifteen (15). **Staff would not support the waiver. A landscape island should be added.**

##### Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. The requirement has been met.

##### Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. The Applicant should add

landscape plantings on the east and north side of the building in order to meet the intent of the ordinance.

2. A total of 4,280 SF of building foundation landscape area is required. The Applicant has requested a variance for providing a majority of the foundation landscape along the east side of the building, but would need to provide more plantings in this area. With the addition of plantings on the east and north side of the building, the Applicant would meet the intent of the ordinance. **Staff would support the waiver if additional plantings are provided.**

**Plant List (LDM)**

1. Please provide the required Plant list per the requirements of the Ordinance and Landscape Design Manual. **Standard cost figures per the City of Novi must be used in calculating the total costs and should be shown on the plans.**

**Planting Notations and Details (LDM)**

1. Planting notations and details have been provided per the Ordinance and Landscape Design Manual.

**Irrigation (Sec. 2509 3.f.(6)(b))**

1. An Irrigation Plan must be provided upon Stamping Set submittal.

*Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.*



Reviewed by: David R. Beschke, RLA

**FACADE REVIEW**



January 15, 2013

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE - Façade Review – Preliminary & Final S.P.**  
**Gordon Food Service, PSP12-0059**  
 Façade Region: 1, Zoning District: RC-1

Dear Ms. McBeth;

The following is the Façade Review for Preliminary and Final Site Plan Approval of the above referenced project based on the drawings prepared by Paradigm Design, dated 12/18/12. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

	Noth (Front)	South	West	East	Ordinance Maximum (Minimum)
Brick (natural clay)	<b>0.0%</b>	<b>0.0%</b>	<b>0.0%</b>	<b>0.0%</b>	100% (30%)
C-Brick (Bella Brick, GFS Blend)	<b>64.5%</b>	<b>73.0%</b>	<b>70.0%</b>	<b>71.5%</b>	25.0%
EIFS	8.0%	7.0%	7.0%	7.5%	25%
Cast Stone (sills)	1.5%	2.0%	2.0%	1.5%	25%
Split Faced C.M.U.	<b>16.0%</b>	<b>15.0%</b>	<b>15.0%</b>	<b>16.5%</b>	10%
Flat Metal (coping)	3.0%	3.0%	3.0%	3.0%	50%

As shown above the percentages of Split Faced C.M.U. and C-Brick exceed the maximum percentage allowed by the Façade Ordinance and the percentage of Natural Clay Brick is below the minimum percentage required by the Façade Ordinance. The sample board provided by the applicant indicates that the proposed C-Brick exhibits a natural red color with a range of tones between individual units that will be consistent with natural clay brick. The Split Faced C.M.U. is used as a base capped by a stone sill that enhances the overall design. All colors have been carefully selected and are consistent with buildings in the surrounding area.



It is noted that the east façade consists of large expanses of the Brick and Split Faced C.M.U. with less articulation than the other facades. In consideration of the fact that this façade will be highly visible from Donaldson Drive, additional articulation of this facade is strongly recommended. This could be accomplished, for example by incorporating projecting pilasters with accompanying projecting cornices located approximately at the control joint locations along with false windows or variations in brick coursing. It is recommended that similar articulation be added to the west façade for the sake of consistency.

Recommendation - It is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the underage of Brick and the overage of C-Brick and Split Faced Concrete Masonry Units (C.M.U.). This recommendation is contingent upon the applicant submitting revised drawings showing additional articulation of the east and west façades consistent with the above comments.

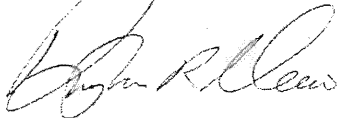
**Notes to the Applicant:**

1. A dumpster enclosure is indicated on the Site Plan however no detail is provided. It should be noted that the Façade Ordinance requires the dumpster enclosure to be constructed of materials that match the primary building (C-Brick).
2. The Façade Ordinance requires inspection(s) for all projects. Materials and colors displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material and paint color at the appropriate time, before installation on the building. Please use the Novi Building Department's Online Inspection Portal by following the link below. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade". Inspections will be performed by the end of the following business day. .

**<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>**

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA

**FIRE REVIEW**



November 20, 2012

January 3, 2013 - REVISED

TO: Barbara McBeth, Deputy Director of Community Development  
Joseph Shelton, Fire Marshal

RE: GFS Marketplace (New Retail) – Preliminary Site Plan

JSP#: 12-0071  
PSP12-0045  
PSP12-0059

**CITY COUNCIL**

**Mayor**  
Bob Gatt

**Mayor Pro Tem**  
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

**City Manager**  
Clay J. Pearson

**Director of Public Safety  
Chief of Police**  
David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Victor C.M. Lauria

**Assistant Chief of Police**  
Jerrod S. Hart

**Project Description:**

New retail location and building of approx. 15, 857 Sq/Ft on empty lot of 2.15 acres at the Fountain Walk Mall site property (12 Mile Rd x Donelson Dr).

**Comments:**

**Requirement met - 1/3/13 - noted by Contractor on final site plan -**  
Only one fire hydrant is shown on site plan. Per City of Novi Ordinance – section 912.2.3, building FDC must be located within 100 ft of hydrant. If field changes are made to the sprinkler system, note that FDC location must be within this distance to this hydrant.

**Recommendation:**

Second review has been completed and is recommended for **APPROVAL.**

Sincerely,

Andrew Copeland – Inspector II/CFPE  
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration  
45125 W. Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

**APPLICANT RESPONSE LETTER**

February 4, 2013

City Planning Commission  
45175 W Ten Mile Road  
Novi, MI 48375

Re: GFS Marketplace Store  
Preliminary Plan Review Response (JSP-12-71)  
Paradigm Project #1205049

Dear Planning Commissioners:

We are in receipt of a plan review report dated January 16, 2013 for the above project. This letter summarizes plan review comments from various departments. A large majority of the comments address items to be revised for future submittals, and these comments have been noted and we will comply at the time of future final site plan submittal. In response to the remaining questions/comments we have prepared the following:

**Waiver Requests:**

- ***We are formally requesting a waiver from the requirement to submit a Community Impact Statement, based on the relatively small project size compared to the overall existing Fountain Walk development***
- ***We are formally requesting a waiver from the requirement to submit a Traffic Impact Study, based again on the relatively small project size compared to the overall existing Fountain Walk development. In addition, previous traffic studies have been submitted and approved for the larger development, and these studies should still be considered valid even with the addition of the Gordon Food Service.***

**Planning Review** (will comply with all comments with additional input as follows):

- We have submitted for the various variance requests noted in the staff report, and expect to receive these approvals at the March ZBA meeting.
- Parking spaces located adjacent to the building will be revised to provide a 4" tall curb, and these spaces will also be shortened to 17' long (currently shown as 18' long).
- Dumpster screening will be provided on three sides (north, east and south) with a 6' tall masonry wall matching the building materials. A wood gate on the west side will complete the dumpster enclosure.
- Subsequent site lighting plans will include the average to minimum ration to demonstrate compliance with 4:1 maximum per zoning ordinance

**Engineering Review** (will comply with all comments, with additional input as follows):

- 3.) We have made the current land owner (Sun Valley Ltd.) aware of the need for Fountain Walk warranty deed, and will supply this prior to Final Site Plan submittal.
- 12 & 13.) The drainage ditch east of the building will be revised to slope at 2%, which will require a yard basin southeast of GFS building that will connect to an existing storm manhole in Donelson Street driveway.

16-18.) A Reciprocal Easement Agreement (REA) will be created between GFS and Sun Valley Ltd. (current Fountain Walk development owner) to address defined access easements, common driveways, storm water drainage and utilities). This will be provided to City prior to final site plan approval.

**Traffic Review** (will comply with all comments, with additional input as follows):

- 1.) We are working through the Reciprocal Easement Agreement (REA) document that will address cross-access and shared driveway areas. This document will be recorded at the time of closing on the property, and a copy provided to City at that time.
- 2.) Based on past project experience, a typical GFS store will provide trip generation most closely approximated by ITE Land Use 820 (Shopping Center). This is based on a comparison of GFS transaction data at various stores over a 1-year period. Using this land use code, approximately 700 daily trips are generated at the store, with a peak PM hour of 60 trips (30 inbound and 30 outbound).
- 6.) The preliminary site plan has contemplated a sidewalk connection to existing retail buildings southwest of the GFS property. However, due to grade concerns we are not showing this connection.
- 9.) Parking spaces adjacent to the building were reduced to 18' (from 20' on Concept Plan), and will be further reduced to 17' at the time of final site plan submittal. At that time, the sidewalk height will be clarified as 4" tall (not 6" as noted).
- 10.) Barrier free parking spaces will be further revised in accordance with both ADA and City requirements, as noted in comments a – d.
- 11.) Any reference to precast concrete bumper blocks will be eliminated (they are no longer proposed as part of this project).
- 12.) A "No Parking Any Time" sign will be added to the north side of the west elevation of the building as noted.

**Landscape Review** (will comply with all comments, with additional input as follows):

Parking-3.) The site plan as well as the landscape plan will be revised to show a wider landscape plan along west row of parking in order to reduce number of consecutive spaces to 15 (waiver request withdrawn)

Bldg Foundation-2.) Additional plantings will be added east of the proposed GFS building to offset requested waiver for foundation landscape area.

Plant List-1.) Standard cost figures will be incorporated into subsequent landscape plan submittals, and be shown on the plan.

**Facade Review** (will comply with all comments, with additional input as follows):

- 1.) The dumpster enclosure materials will match the building façade (C-brick) and this will be shown on plans as part of final site plan submittal

**Fire Review** (will comply with all comments, with additional input as follows):

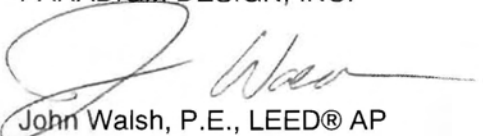
- The Fire Department Connection as shown on preliminary site plan is located within 100' of the relocated hydrant and complies with City ordinance.

Page 3 of 3  
February 4, 2013  
GFS Marketplace – Novi  
Preliminary Plan Review Response (JSP-12-71)  
Paradigm Project #1205049

I trust that our responses adequately address your concerns. Should you have any further questions, or require any additional information to complete your review, please do not hesitate to contact me at (616)785-5567 or [jwalsh@paradigmae.com](mailto:jwalsh@paradigmae.com).

Sincerely,

PARADIGM DESIGN, INC.



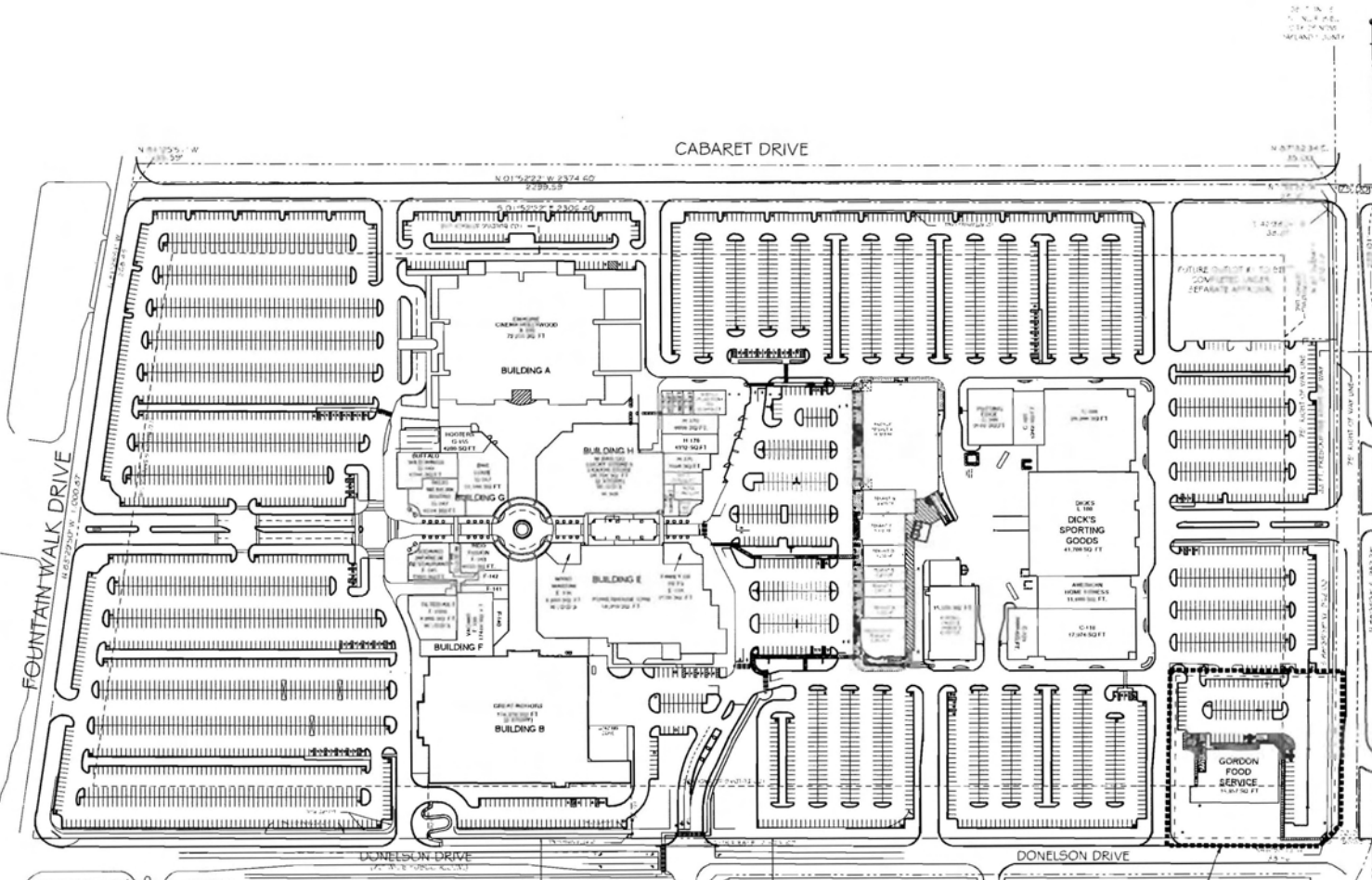
John Walsh, P.E., LEED® AP  
Associate

Cc: Ryan Systma - GFS  
Jack Watkins - Paradigm Design, Inc.  
File

**SITE PLAN**







**SITE DATA**

EXISTING ZONING	RC
CROSS SITE AREA	67.21 ACRES
EXISTING WETLANDS	NONE
EXISTING WOODLANDS	NONE
EXISTING BUILDING AREA	579,256 SQ. FT.
PROPOSED BUILDING AREA	57,493 SQ. FT.
MAXIMUM HEIGHT OF BUILDING	45 FEET
EXISTING PAVEMENT AREA	468,132 SQ. FT.
PROPOSED PAVEMENT AREA	
<b>BUILDING SETBACKS</b>	<b>REQUIRED</b> <b>PROVIDED</b>
NORTH SETBACK	100'            1378'
WEST SETBACK PROP. LINE	100'            1100'
EAST SETBACK PROP. LINE	100'            1134'
SOUTH SETBACK PROP. LINE	100'            1584'
<b>PARKING SETBACKS</b>	<b>REQUIRED</b> <b>PROVIDED</b>
NORTH SETBACK	20'              138'
WEST SETBACK PROP. LINE	10'              120'
EAST SETBACK PROP. LINE	20'              120'
SOUTH SETBACK PROP. LINE	20'              130'

<b>REQUIRED PARKING</b>	
THEATER:	
1 SPACE PER 3.4 SEATS PLUS 1 SPACE PER EVERY 2 EMPLOYEES	
3377 SEATS/3.4 SEATS + 30 EMPLOYEES/2 = 1008 SPACES	
RESTAURANTS:	
1 SPACE PER 70-SFT G.F.A.	
63804-SFT/70-SFT = 912 SPACES	
INCLUDING OUTDOOR SEATING	
<b>RETAIL:</b>	
1 SPACE PER 250-SFT G.F.A.	
51086-SFT/250-SFT = 2043 SPACES	
<b>TOTAL = 3983-SPACES</b>	
<b>PROVIDED PARKING</b>	
HANDICAPPED SPACES	72
STANDARD SPACES	4005
<b>TOTAL SPACES</b>	<b>4077-SPACES</b>

\* GFS TO PROVIDE PARKING ON SEPARATE LOT (NOT INCLUDE IN OVERALL PARKING CALCULATIONS)

**LEGAL DESCRIPTION:**  
 T1/4 NW 1/4 SECTION 15 PART OF NW 1/4 & PART OF NE 1/4 ALL DESCRIBED AS BEGINNING AT A POINT DISTANCE S 88-35-38 W 1690.26 FEET FROM NORTHEAST CORNER OF SECTION 15, THENCE S 01-53-38 E 2563.67 FEET, THENCE N 63-29-30 W 1000.87 FEET, THENCE N 81-25-51 W 268.45 FEET, THENCE N 01-52-22 W 2374.60 FEET, THENCE N 87-32-34 E 264.01 FEET, THENCE N 88-35-38 E 989.28 FEET TO THE POINT OF BEGINNING EXCEPT BEGINNING AT A POINT DISTANCE S 88-35-38 W 2679.54 FEET & S 87-32-34 W 229.01 FEET & S 01-52-22 E 75 FEET FROM NE SECTION CORNER, THENCE S 01-52-22 E 2306.40 FEET, THENCE N 81-25-51 W 35.59 FEET, THENCE N 01-52-22 W 2299.59 FEET, THENCE N 87-32-34 E 35 FEET TO THE POINT OF BEGINNING, ALSO EXCEPT BEGINNING AT N 1/4 CORNER, THENCE N 88-35-38 E 989.28 FEET, THENCE S 01-53-38 E 102 FEET, THENCE N 46-58-12 W 38.57 FEET, THENCE S 88-35-38 W 982 FEET, THENCE S 87-32-34 W 202.19 FEET, THENCE S 42-28-24 W 38.25 FEET, THENCE N 01-52-22 W 27 FEET, THENCE S 87-32-34 W 35 FEET, THENCE N 01-52-22 W 75 FEET, THENCE N 87-32-34 E 284.01 FEET, TO THE POINT OF BEGINNING 67.21 A5-12-00 FR 001 TO 004, 072, 079,084 TO 087,125-011&013 1-14-02 CORR

<b>Retail</b>	
Sears Outlet	156,238
American Home Fitness	11,600
Dick's Sporting Goods	41,700
Family of Pets	1,538
Existing Vacant Retail	102,087
Proposed Retail	50,046
Proposed Gordon Food Service	15,857
Subtotal =	379,044
<b>Restaurants</b>	
Bar Louie	11146
Buffalo Wild Wings	6766
Cold Stone Creamery	1505
Ginshiko Japanese Restaurant	7303
Hotlers	4200
Indo Fusion	4533
Rojp Mexican Bistro	6514
Wynl Martini =\Outdoor Seating	6269
Titled Kilt =\Outdoor Seating	8000
Proposed =\Outdoor Seating	7568
Subtotal =	63,804
<b>Entertainment</b>	
M-Bar-Go	60,704
Lucky Strike =\Outdoor Seating	
Liquor Store	
Chuck E. Cheese's	15535
Imagine Now Theatre	72255
Gibo's Salon & Day Spa	2814
Powerhouse Gym	58950
Putting Edge Fun Centers	9516
Subtotal	219874
42% > 20%	

**paradigm design**  
 550 3 MILE N.W. SITE # GRAND RAPIDS W 49544  
 16161 785 - 5656  
 16161 785 - 5657  
 PARADIM@AE.COM

**GFS MARKETPLACE**

NOVI LOCATED IN SECTION 15 APPROX. 40225 W. 12 MILE RD NOVI, MICHIGAN

**DEVELOPER:**  
**GFS MARKETPLACE REALTY FIVE, LLC**  
 P.O. BOX 1812 GRAND RAPIDS, MICHIGAN

**1205049**

**C-100**

FOUNTAIN WALK - OVERALL SITE PLAN

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features

# GFS Marketplace JSP12-71

Location

Twelve Mile Road

Subject Property

Donelson Drive

Map Author: Kristen Kapelanski  
Date: 02/05/13  
Project: GFS Marketplace JSP12-71  
Version #: 1.0

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



**City of Novi**

Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Feet  
0 15 30 60 90 120

1 inch = 91 feet

# GFS Marketplace JSP12-71

Zoning

Twelve Mile Road

Subject Property

Donelson Drive

Map Author: Kristen Kapelanski  
Date: 02/05/13  
Project: GFS Marketplace JSP12-71  
Version #: 1.0

### Map Legend

-  OS-1: Office Service District
-  RC: Regional Center District



**City of Novi**

Planning Division  
Community Development  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

**MAP INTERPRETATION NOTICE**  
Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

Feet  
0 15 30 60 90 120

1 inch = 91 feet

# GFS Marketplace JSP12-71

Future Land Use

Twelve Mile Road

Subject Property

Donelson Drive

Map Author: Kristen Kapelanski  
 Date: 02/05/13  
 Project: GFS Marketplace JSP12-71  
 Version #: 1.0

### Map Legend

-  Community Office
-  Regional Commercial



**City of Novi**

Planning Division  
 Community Development  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards, and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



1 inch = 91 feet

# GFS Marketplace JSP12-71

Natural Features

Twelve Mile Road

Subject Property

Donelson Drive

Map Author: Kristen Kapelanski  
 Date: 02/05/13  
 Project: GFS Marketplace JSP12-71  
 Version #: 1.0

### Map Legend

-  Wetlands
-  Woodlands



**City of Novi**

Planning Division  
 Community Development  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)



1 inch = 91 feet

#### MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.