



## NOVI-TEN SHOPPING CENTER RENOVATION JSP23-08

### **NOVI-TEN SHOPPING CENTER RENOVATION JSP23-08**

Approval of the request by TriCap Holdings LLC for a Section 9 Façade Waiver for the Novi-Ten Shopping Center exterior renovations. The subject parcel is located in Section 23, west of Meadowbrook Road and north of Ten Mile Road. It is zoned B-3, General Business. The façade improvements are limited to the front facades of both buildings; the side and rear facades will remain substantially unaltered, except for repainting. The grocery store entrance is significantly redesigned and features a stepped raised roofline that will emphasize the primary store in the shopping center. Minor site modifications and parking lot improvements are proposed as well, which are being reviewed administratively by staff.

### **Required Action**

Approval/Denial of a Section 9 Façade Waiver.

REVIEW	RESULT	DATE	COMMENTS
Façade	Approval recommended	5-26-23	<b>Section 9 Waiver for:</b> <b><u>North Building:</u> Overage of Ribbed Metal Panels</b> <b><u>West Building:</u> Overages of Painted CMU, Integral Colored CMU, and Ribbed Metal Panels</b>

## **MOTION SHEET**

### **Approval – Section 9 Façade Waiver**

In the matter of the request by TriCap Holdings LLC, for JSP23-08 Novi-Ten Shopping Center Renovation, motion to approve a Section 9 Façade Waiver to allow:

- i. An overage of ribbed metal panels on the North Building façade (0% maximum allowed; 25% proposed on the south elevation, 4% proposed on the west elevation, and 7% proposed on the east elevation) and on the West Building (0% maximum allowed; 16% proposed on the east elevation)
- ii. An overage of painted CMU on the West Building (0% maximum allowed; 5% proposed on the east elevation and 10% proposed on the north elevation); and
- iii. An overage of integral color CMU on the West Building façade (0% maximum allowed; 2% proposed on the east elevation, 10% proposed on the south elevation, and 1% proposed on the north elevation).

These approvals are based on and subject to the following:

- a. The façade improvements are limited to the front facades; the side and rear facades will remain substantially unaltered, except for repainting.
- b. The combination of the proposed new materials and the existing materials to be repainted creates a well-balanced composition of colors and textures. The increased definition of primary entrances and use of high-quality materials on the front facades represents a significant improvement to the overall appearance of the shopping center.
- c. The findings of compliance with Ordinance standards in the consultant review letter and the conditions and items listed in that letter being addressed on the Final Site Plan; and
- d. *(additional conditions here, if any).*

This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.

**- OR -**

### **Denial – Section 9 Façade Waiver**

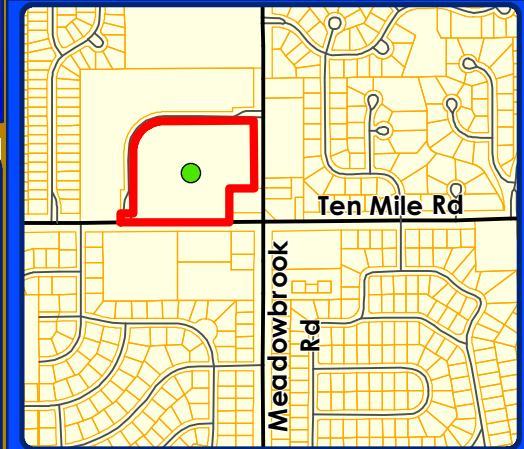
In the matter of the request by TriCap Holdings LLC, for JSP23-08 Novi-Ten Shopping Center Renovation, motion to deny the Section 9 Façade Waiver ... *(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance).*

**MAPS**  
**Location**  
**Zoning**  
**Future Land Use**  
**Natural Features**


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# JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION

## LOCATION



### LEGEND

 Subject Site



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

Map Author: Ben Peacock  
Date: 6/14/23  
Project: JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION  
Version #: 1

0 35 70 140 210 Feet

1 inch = 167 feet

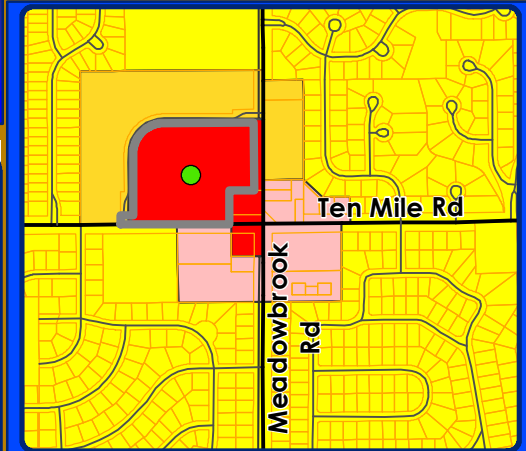
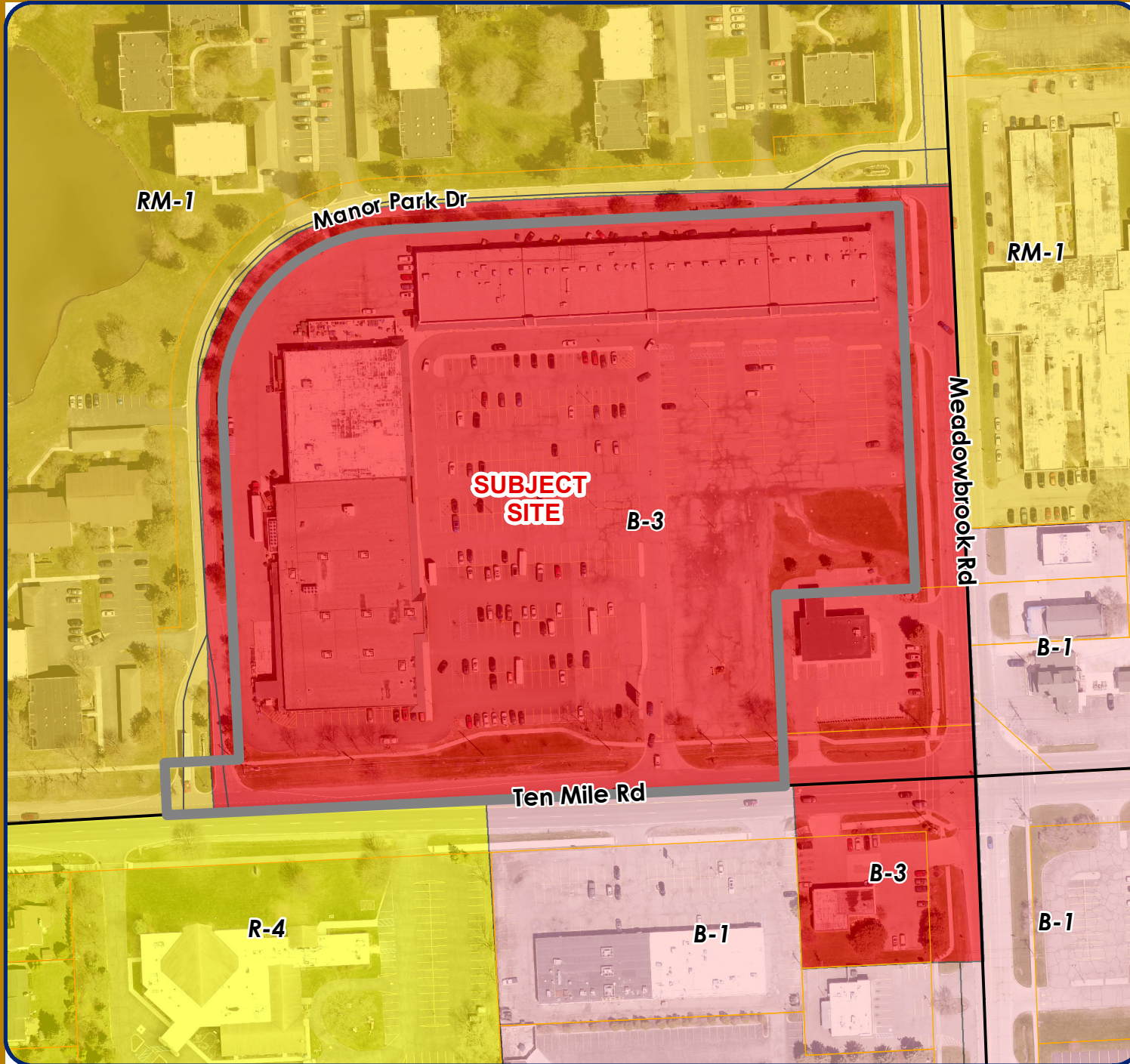


#### MAP INTERPRETATION NOTICE

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# JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION

## ZONING



### LEGEND

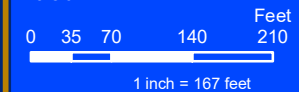
- Subject Site
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-1: Local Business District
- B-3: General Business District



### City of Novi

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45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Ben Peacock  
Date: 6/14/23  
Project: JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION  
Version #: 1

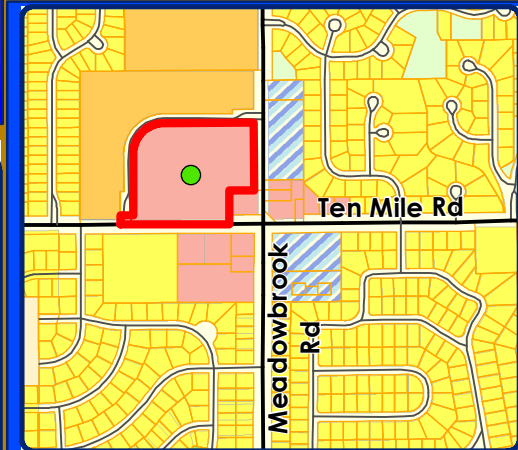
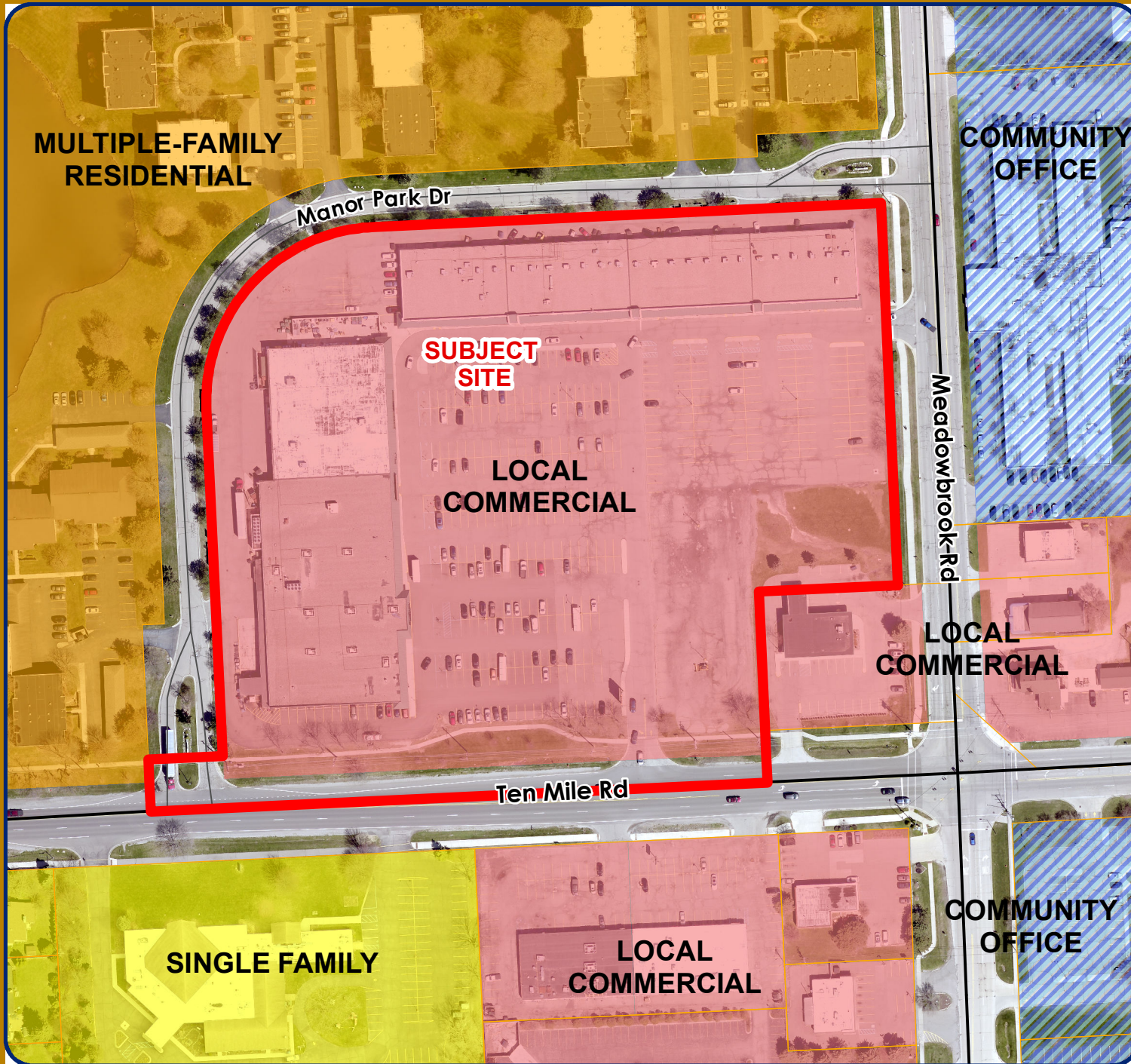


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# JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION

## FUTURE LAND USE



### LEGEND

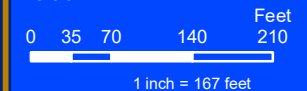
- Subject Site
- Single Family
- Multiple-Family Residential
- Community Office
- Local Commercial
- Educational Facility
- Public Park
- Private Park



### City of Novi

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City Hall / Civic Center  
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Map Author: Ben Peacock  
Date: 6/14/23  
Project: JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION  
Version #: 1

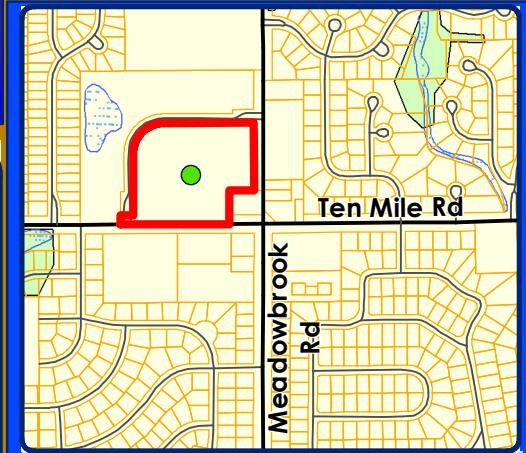


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# JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION

## NATURAL FEATURES



### LEGEND

-  Subject Site
-  Wetlands
-  Woodlands



### City of Novi

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Date: 6/14/23  
Project: JSP23-08 NOVI-TEN SHOPPING CENTER RENOVATION  
Version #: 1

0 35 70 140 210 Feet

1 inch = 167 feet



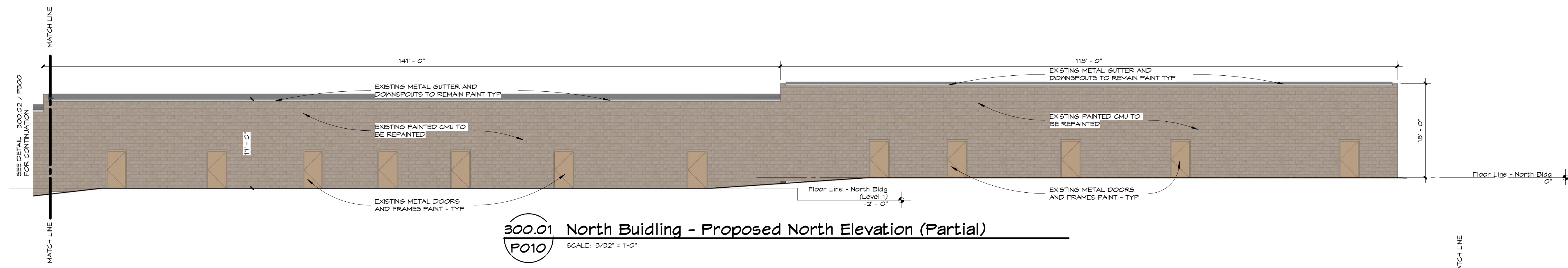
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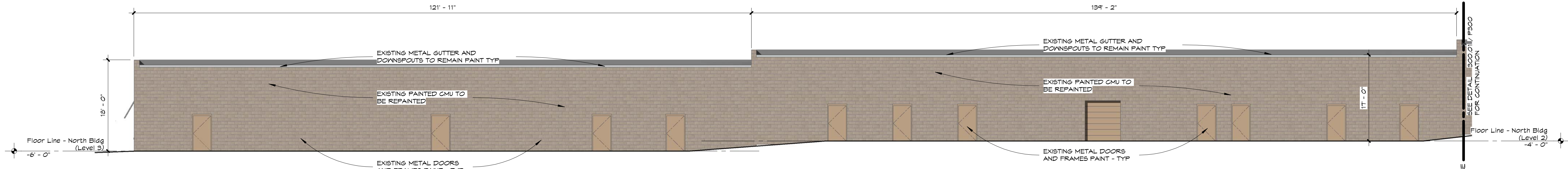
## FACADE ELEVATIONS AND MATERIALS

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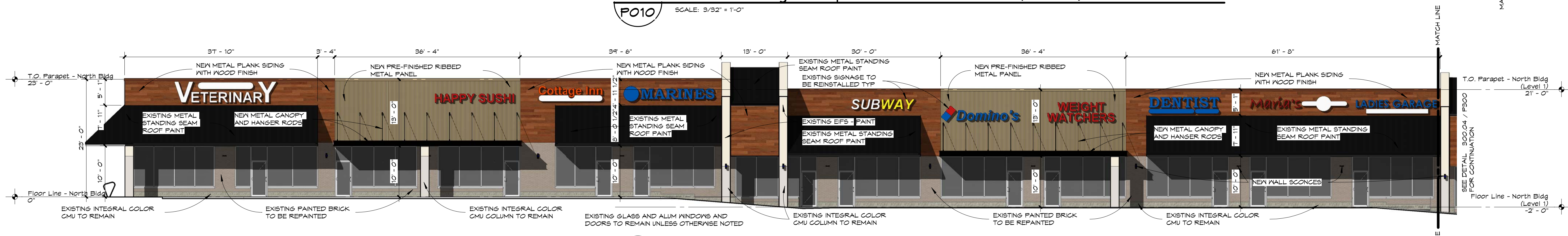




**300.01 North Building - Proposed North Elevation (Partial)**  
P010 SCALE: 3/32" = 1'-0"



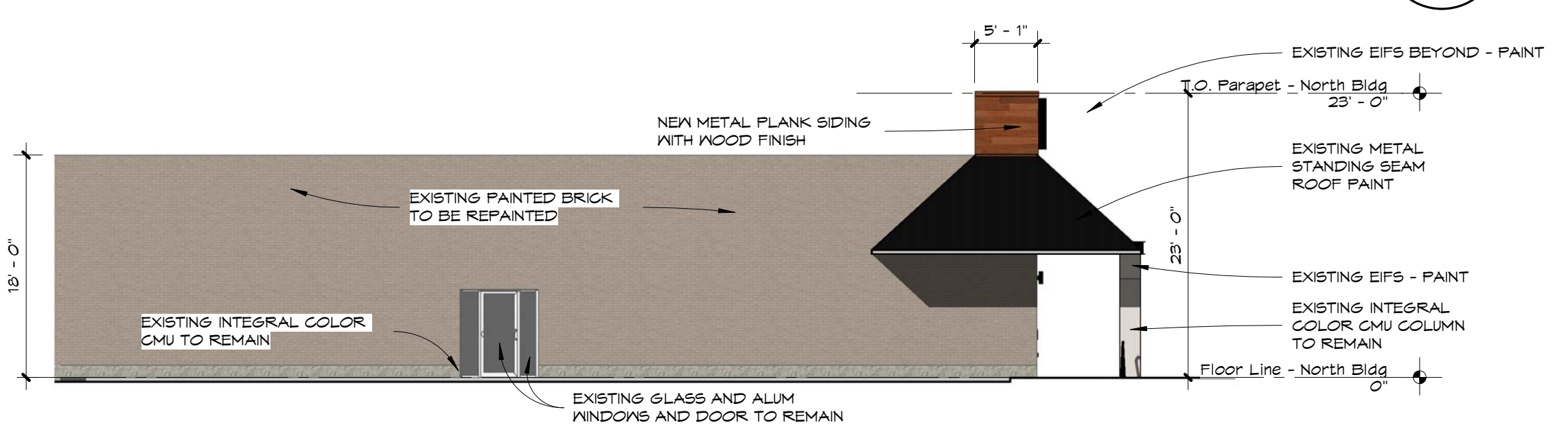
**300.02 North Building - Proposed North Elevation (Partial) Continued**  
P010 SCALE: 3/32" = 1'-0"



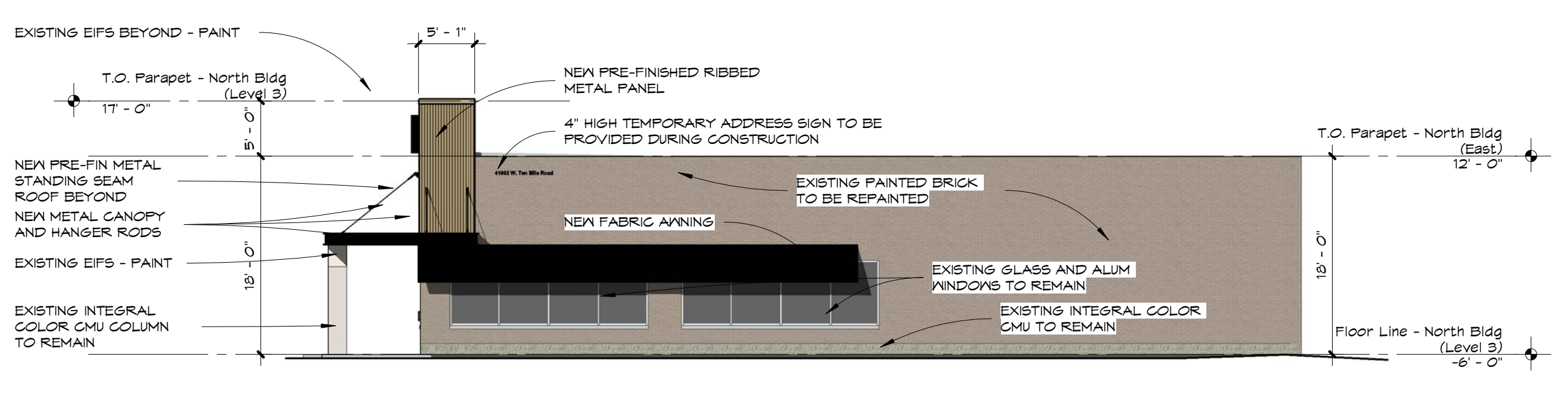
**300.03 North Building - Proposed South Elevation (Partial)**  
P010 SCALE: 3/32" = 1'-0"



**300.04 North Building - Proposed South Elevation (Partial) Continued**  
P010 SCALE: 3/32" = 1'-0"



**300.05 North Building - Proposed West Elevation**  
P010 SCALE: 3/32" = 1'-0"

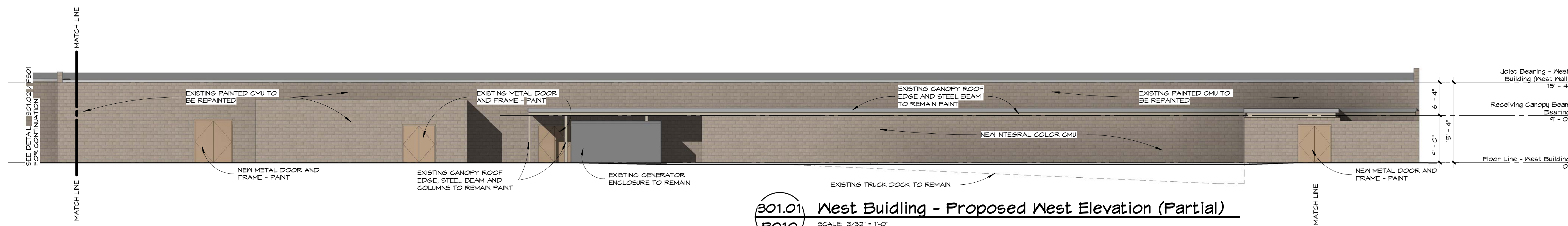


**300.06 North Building - Proposed East Elevation**  
P010 SCALE: 3/32" = 1'-0"

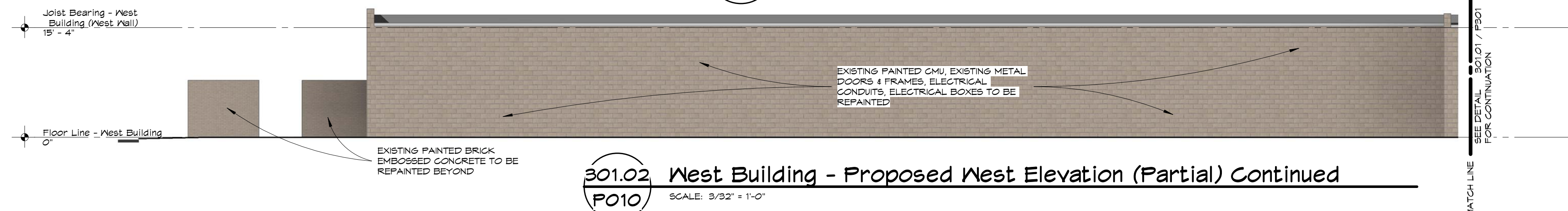


**SIEGAL/TUOMALA ASSOCIATES ARCHITECTS & PLANNERS INC.**

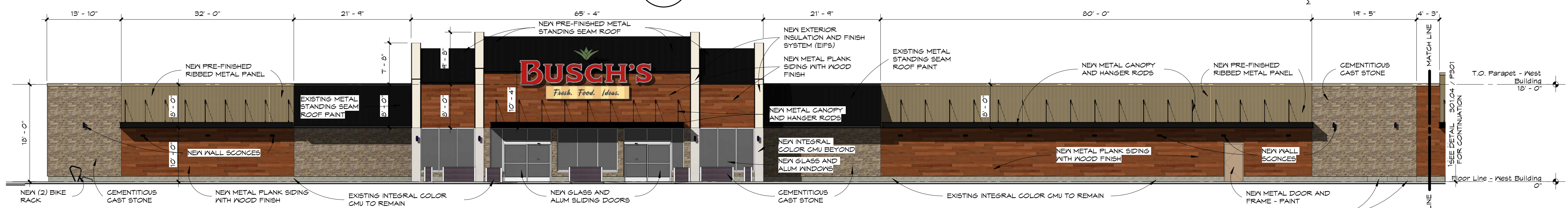
29200 northwestern hwy  
suite 160  
southfield, mi 48034  
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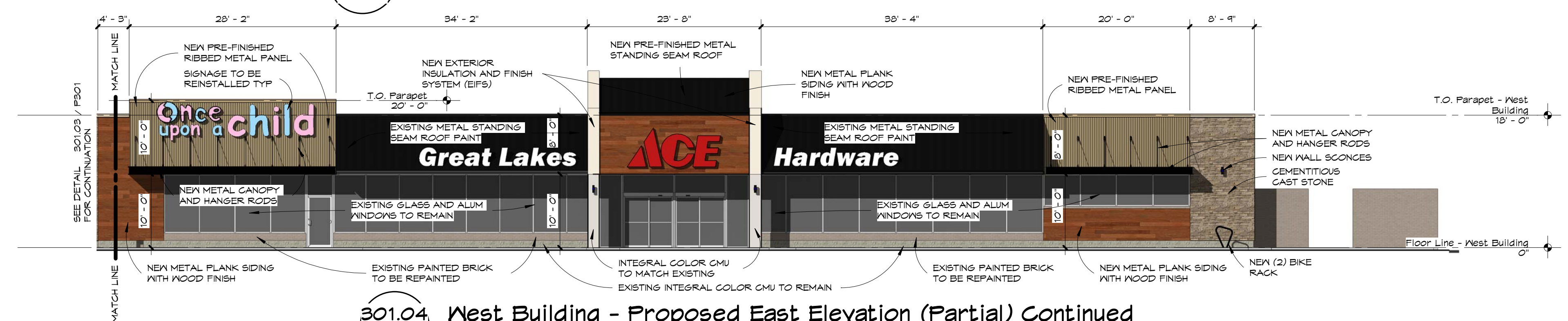
**301.01 West Building - Proposed West Elevation (Partial)**  
P010 SCALE: 3/32" = 1'-0"



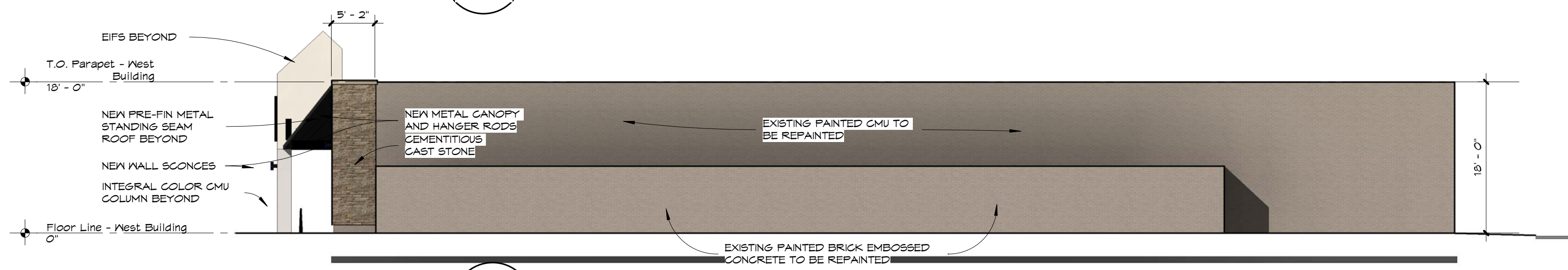
**301.02 West Building - Proposed West Elevation (Partial) Continued**  
P010 SCALE: 3/32" = 1'-0"



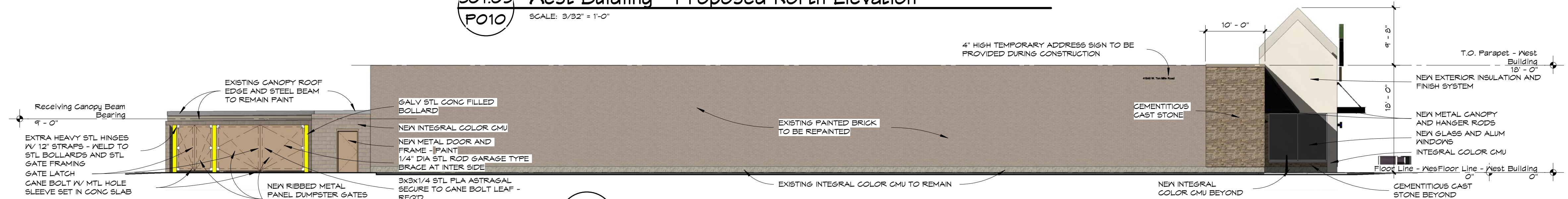
**301.03 West Building - Proposed East Elevation (Partial)**  
P010 SCALE: 3/32" = 1'-0"



**301.04 West Building - Proposed East Elevation (Partial) Continued**  
P010 SCALE: 3/32" = 1'-0"



**301.05 West Building - Proposed North Elevation**  
P010 SCALE: 3/32" = 1'-0"



**301.06 West Building - Proposed South Elevation**  
P010 SCALE: 3/32" = 1'-0"

project name:  
**NOVI TEN SHOPPING CENTER RENOVATION - Preliminary Site Plan**  
41400-41774 W. Ten Mile Road  
Novi, Michigan

date/ revision:  
■ May 17, 2023 - SPA

sheet title:  
**West Building - Proposed Exterior Elevations**

project number:  
**2534**

sheet number:  
**P301**

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Busch's Market - Enlarged Entry View

Shopping Center Proposed Materials		
Material	Color	Manufacture
Metal Plank Siding	Dark Cherry	Longboard Architectural Products
		British Columbia, Canada
Cementitious Cast Stone	Chardonnay	Cultured Stone - Pro-Fit Alpine Ledge Stone
		Cultured Stone, Chester, SC
Metal Ribbed Panel (Future Roof Equipment Screening)	Siema Tan	BR-12 Metal Panel
		Berridge Manufacturing Company, San Antonio, TX
CMU	Match existing	Integral color
Metal Standing Seam Roof	Pre-Finished	Tee-Panel
		Berridge Manufacturing Company, San Antonio, TX
Roof	Matte Black	
Existing Metal Standing	Painted to match	
Roof/ Canopy	Matte Black	
Existing Painted Brick & CMU	Painted to match	
		ribbed metal panel
Exterior Insulation and Finish System New & Existing	Off White	
Metal Canopy with Hanger rods	Pre-Finished	Super Lumideck Flat Soffit
		Mapes Architectural Canopies, Lincoln, NE

West Building Materials Percentages			
East Elevation	Material Area	Percentage of Façade	Allowable Percentages
Cementitious Stone	11,120.20 SF	11.12%	50%
Existing Painted Brick	130.60 SF	1.59%	0%
Existing CMU	373.55 SF	4.55%	50%
Metal Door & Frame, Painted	24.00 SF	0.29%	
Metal Ribbed Panel	1,181.90 SF	14.38%	25%
Metal Canopy	196.30 SF	2.39%	
Existing Metal Standing Seam Roof, Painted	927.90 SF	11.29%	50%
Integral Color CMU	120.00 SF	1.46%	50%
Glass and Aluminum Framing	1,534.40 SF	18.67%	25%
Metal Standing Seam Roof, Pre-Finished	525.40 SF	6.39%	50%
Wood look Metal Panel	1,886.10 SF	22.95%	50%
Exterior Insulation and Finish System	158.00 SF	1.92%	50%
<b>Total East Façade Area</b>	<b>8,218.55 SF</b>	<b>100.00%</b>	

West Building Materials Percentages			
West Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted CMU	5,137.40 SF	78.66%	0%
Integral Color CMU	1,231.50 SF	18.86%	50%
Existing Painted Metal Doors	116.00 SF	1.78%	
Metal Door and Frame, Painted	46.00 SF	0.70%	
<b>Total West Façade Area</b>	<b>6,530.90 SF</b>	<b>100.00%</b>	

West Building Materials Percentages			
North Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted Brick	1,443.90 SF	50.72%	0%
Existing Painted CMU	288.80 SF	10.15%	0%
Existing Concrete Embossed Wall	800.00 SF	28.10%	
Cementitious Stone	148.70 SF	5.22%	50%
Exterior Insulation and Finish System	120.80 SF	4.24%	50%
Integral Color CMU	16.60 SF	0.58%	50%
Metal Standing Seam Roof, Painted	22.80 SF	0.80%	50%
Metal Canopy	5.00 SF	0.18%	
<b>Total North Façade Area</b>	<b>2,846.60 SF</b>	<b>100.00%</b>	

West Building Materials Percentages			
South Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted Brick	2,447.40 SF	76.05%	0%
Cementitious Stone	251.10 SF	7.80%	50%
Exterior Insulation and Finish System	156.60 SF	4.86%	50%
Integral Color CMU	330.80 SF	10.27%	50%
Metal Standing Seam Roof, Painted	22.80 SF	0.71%	50%
Metal Canopy	10.00 SF	0.31%	
<b>Total South Façade Area</b>	<b>3,220.70 SF</b>	<b>100.00%</b>	

North Building Materials Percentages			
East Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted Brick	1,320.00 SF	80.63%	0%
Existing CMU	98.00 SF	5.99%	50%
Metal Ribbed Panel	65.00 SF	3.97%	50%
Metal Canopy	10.40 SF	0.64%	
Existing Metal Standing Seam Roof, Painted	22.50 SF	1.37%	50%
Exterior Insulation and Finish System	121.20 SF	7.40%	50%
<b>Total East Façade Area</b>	<b>1,637.10 SF</b>	<b>100.00%</b>	

North Building Materials Percentages			
West Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted Brick	1,320.00 SF	81.15%	0%
Existing CMU	98.00 SF	6.02%	50%
Wood look Metal Panel	65.00 SF	4.00%	50%
Existing Metal Standing Seam Roof, Painted	22.50 SF	1.38%	50%
Exterior Insulation and Finish System	121.20 SF	7.45%	50%
<b>Total West Façade Area</b>	<b>1,626.70 SF</b>	<b>100.00%</b>	

North Building Materials Percentages			
North Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted CMU	8,139.80 SF	94.48%	0%
Metal Door and Frame, Painted	476.00 SF	5.52%	
<b>Total North Façade Area</b>	<b>8,615.80 SF</b>	<b>100.00%</b>	

North Building Materials Percentages			
South Elevation	Material Area	Percentage of Façade	Allowable Percentages
Existing Painted Brick	1,254.00 SF	9.97%	0%
Existing CMU	307.80 SF	4.04%	50%
Metal Ribbed Panel	2,028.20 SF	14.12%	50%
Metal Canopy	174.30 SF	1.39%	
Existing Metal Standing Seam Roof, Painted	2,869.90 SF	22.81%	50%
Glass and Aluminum Framing	3,402.90 SF	27.04%	25%
Wood look Metal Panel	2,139.00 SF	17.00%	50%
Exterior Insulation and Finish System	206.30 SF	1.64%	50%
<b>Total South Façade Area</b>	<b>12,582.40 SF</b>	<b>100.00%</b>	

project name:  
NOVI TEN SHOPPING CENTER RENOVATION - Preliminary Site Plan  
41400-41774 W. Ten Mile Road  
Novi, Michigan

date/ revision:  
May 17, 2023 - SPA

sheet title:  
Exterior Perspectives & Materials

project number:  
2534

sheet number:

P302

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West Building - Perspective Looking North West



North Building - Perspective Looking North West



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METAL RIBBED WALL PANEL, DUMPSTER GATES AND FUTURE ROOF SCREENING DESIGN



EXTERIOR INSULATION AND FINISH SYSTEM PAINT COLOR (NEW AND EXISTING)

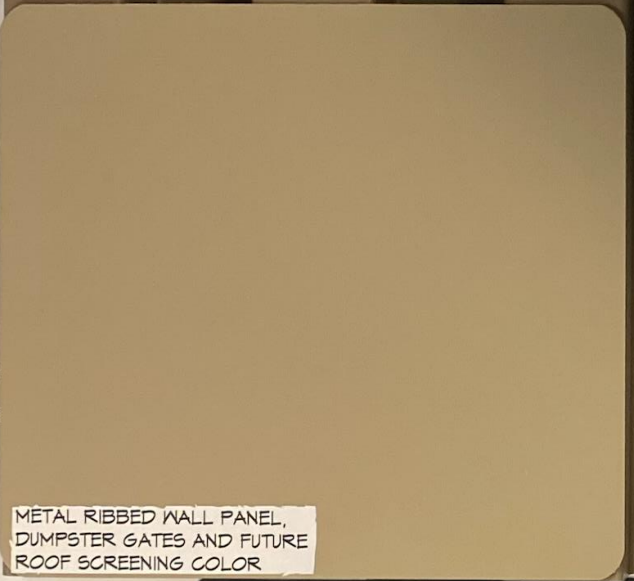


EXISTING PAINTED CMU/ BRICK PAINT COLOR



METAL PLANK SIDING COLOR

METAL RIBBED WALL PANEL, DUMPSTER GATES AND FUTURE ROOF SCREENING COLOR



METAL RIBBED WALL PANEL, DUMPSTER GATES AND FUTURE ROOF SCREENING COLOR

project name: NOVI TEN SHOPPING CENTER RENOVATION - Preliminary Site Plan 41400-41774 W. Ten Mile Road Novi, Michigan

EXISTING METAL STANDING SEAM ROOF/ CANOPY PAINT COLOR



NEW CMU COLOR AND TEXTURE



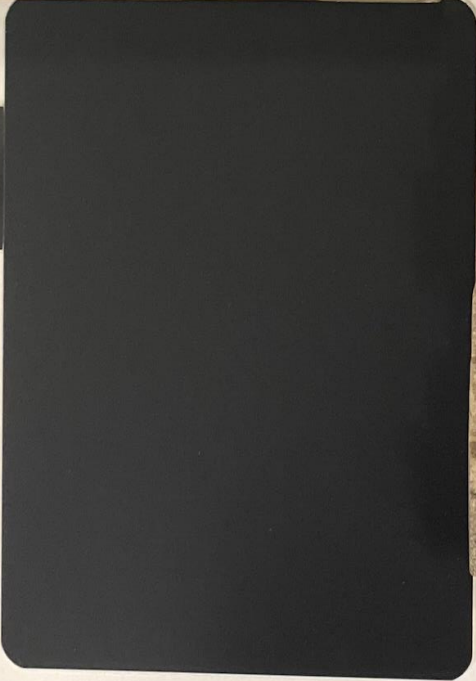
date/ revision:

- May 16, 2023
- 
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sheet title:

Material Board

METAL STANDING SEAM ROOFING AND METAL CANOPY WITH HANGER RODS



CEMENTITIOUS CAST STONE

project number:

2534

sheet number:

P001

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## FAÇADE REVIEW

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May 26, 2023

*Façade Review Status Summary:*  
**Section 9 Waiver Recommended**

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

Re: **FACADE ORDINANCE – Novi Ten Shopping Center, Preliminary Site Plan JSP23-08**  
 Façade Region: 1, Zoning District: B-3

Dear Ms. McBeth;

This review is based on the drawings prepared by Siegal Tuomaala Architects, dated 5/17/23. This project is considered a façade Alteration as described in Section 5.15.6 of the Ordinance. Materials that are in non-compliance with the Façade Ordinance, if any, are **highlighted** in the chart below. The sample board required by Section 5.15.4.D of the Ordinance was not provided at the time of this review.

<b>North Building</b>	<b>South (Front)</b>	<b>West (Left)</b>	<b>East (Right)</b>	<b>North (Rear) (Unaltered)</b>	<b>Ordinance Maximum (Minimum)</b>
Painted Brick (Existing)	<b>14%</b>	<b>81%</b>	<b>75%</b>	<b>0%</b>	0%
Painted CMU (Existing)	<b>5%</b>	<b>6%</b>	<b>5%</b>	<b>100%</b>	0%
Ribbed Metal (New)	<b>25%</b>	<b>4%</b>	<b>7%</b>	0%	0%
Flat Metal (Canopy)	2%	0%	1%	0%	50%
Wood Look Metal Panels	21%	0%	0%	0%	50%
Standing Seam (Existing, Painted)	30%	1%	0%	0%	25%
EIFS (Painted)	3%	8%	2%	0%	25%
Fabric Awning	0%	0%	10%	0%	25%

The design consists of a combination of new façade materials and repainting of the remaining previously painted materials. The façade improvements are limited to the front facades; the side and rear facades will remain substantially unaltered, except for repainting. The grocery store entrance is significantly redesigned and features a stepped raised roofline that will emphasize the primary store in the shopping center. The entrance to the hardware store is similarly enhanced albeit to a lesser degree.

**North Building** - As shown above the percentage of Painted Brick and Painted CMU exceeds the maximum amount allowed by the Ordinance on all facades. In this case these are existing painted materials that are proposed to be repainted. The percentage of new Ribbed Metal panels exceeds the maximum amount allowed by the Ordinance on the south façade. A Section 9 Waiver would be required for these deviations.

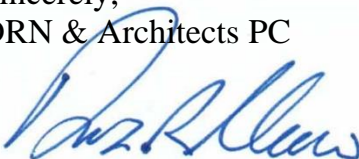
West Building	East (Front)	South (Left)	North (Right)	West (Rear) (Unaltered)	Ordinance Maximum (Minimum)
Painted Brick (Existing)	3%	75%	50%	0%	0%
Stone (Proposed)	16%	8%	5%	0%	50%
Painted CMU (Existing & New)	5%	0%	10%	80%	0%
Painted Concrete (Existing)	0%	0%	28%	0%	0%
Integral Color CMU (New)	2%	10%	1%	20%	0%
Ribbed Metal (New)	16%	0%	0%	0%	0%
Flat Metal (Canopy)	4%	1%	1%	0%	50%
Flat Metal (Wood Look)	26%	0%	0%	0%	50%
Standing Seam (Existing & New)	24%	1%	1%	0%	25%
EIFS (Painted)	4%	5%	4%	0%	25%

**West Building** - As shown above the percentage of Painted Brick, Painted CMU, Painted Concrete and Integral Colored CMU exceeds the maximum amount allowed by the Ordinance. In this case the existing painted materials are proposed to be repainted. The percentage of proposed new Ribbed Metal panels exceeds the maximum amount allowed by the Ordinance on the east façade. A Section 9 Waiver would be required for these deviations.

**Recommendation** - In this case, the combination of proposed new materials (Ribbed Metal and Wood Finish Metal) and existing materials to be repainted (Brick, CMU and Standing Seam) creates a well-balanced composition of colors and textures. The increased definition of primary entrances and use of high-quality materials on the front facades represents a significant improvement to the overall appearance of the shopping center. Therefore, it is our recommendation that the design is consistent with the intent and purpose of the Façade Ordinance and that a Section 9 Waiver be granted for the aforementioned deviations. The applicant should provide the Sample Board required by Section 5.15.4.D of the Ordinance to indicate the proposed colors of all materials.

**General Notes:**

1. It should be noted that all roof top equipment must be screened from view from all vantage points both on-site and off-site using materials in compliance with the Façade Ordinance.
2. Inspections – The Façade Ordinance requires inspection(s) for all projects. The applicant should request inspection of the brick and awning color prior to installation. It is the applicant’s responsibility to request the inspection at the appropriate time (before installation). Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”. <http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

Sincerely,  
 DRN & Architects PC  
  
 Douglas R. Necci, AIA