



WEST PARK DEVELOPMENT JSP15-30

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Public hearing at the request of West Park Development for the approval of the Preliminary Site Plan, Wetlands Permit, Woodlands Permit and Storm water Management Plan under Roads and Utilities Construction Ordinance. The subject property is located south of Grand River Avenue and west of Beck Road in Section 17. The 31-acre property is zoned I-1, Light Industrial and the applicant is proposing to wetland fill and mitigation, construction of the Access Roadway to serve the developable parcels on the site including associated mass grading, storm water management, site utilities, Grand River Avenue access approach, berms, landscaping and emergency access connection to Providence Parkway.

Required Action

Approval/Denial of the Preliminary Site Plan, Wetlands Permit, Woodlands Permit and Stormwater Management Plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	07-09-15	Items to be addressed on the final site plan submittal
Engineering	Approval recommended	07-08-15	Items to be addressed on the final site plan submittal
Landscaping	Approval recommended	07-09-15	Planning Commission Waiver required for reduction of the minimum required street trees (staff supports). Planning Commission Waiver required for reduction of the minimum required green belt trees (staff supports). Items to be addressed on the final site plan submittal
Wetlands	Approval recommended	07-13-15	Items to be addressed on the final site plan submittal
Woodlands	Approval recommended	07-13-15	Items to be addressed on the final site plan submittal
Traffic	Approval recommended	07-07-15	Items to be addressed on the final site plan submittal
Facade	Not Applicable		
Fire	Approval recommended	06-26-15	All comments addressed

Motion sheet

Approval – Preliminary Site Plan

In the matter of West Park Development JSP15-30, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Landscape waiver to permit the reduction of the Right of Way trees between the existing sidewalk and the curb along Grand River Avenue and Proposed West Parkway Drive as listed in Section 5.5.3.B.ii in order to preserve the regulated wetland areas and a potential conflict with existing power line easements, as determined by the City's Landscape Architect during final site plan review and based on additional information requested, which is hereby granted;
- b. Landscape waiver to permit the reduction of the Greenbelt planting requirements along Grand River Avenue and Proposed West Parkway Drive as listed in Section Sec. 5.5.3.E.i.c in order to preserve the regulated wetland areas and a potential conflict with existing power line easements, as determined by the City's Landscape Architect during final site plan review and based on additional information requested, which is hereby granted;
- c. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- d. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

-- AND --

Approval – Wetland Permit

In the matter of West Park Development JSP15-30, motion to **approve** the Wetland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-- AND --

Approval – Woodland Permit

In the matter of West Park Development JSP15-30, motion to **approve** the Woodland Permit based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-- AND --

Approval – Stormwater Management Plan

In the matter of West Park Development JSP15-30, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because it otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

-- OR --

Denial – Preliminary Site Plan

In the matter of West Park Development JSP15-30, to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4 and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-- AND --

Denial- Wetland Permit

In the matter of West Park Development JSP15-30, motion to **deny** the Wetland Permit...*(because the plan is not in compliance with Chapter 12, Article V of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

-- AND --

Denial- Woodland Permit

In the matter of West Park Development JSP15-30, motion to **deny** the Woodland Permit...*(because the plan is not in compliance with Chapter 37 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

-- AND --

Denial – Stormwater Management Plan

In the matter of West Park Development JSP15-30, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

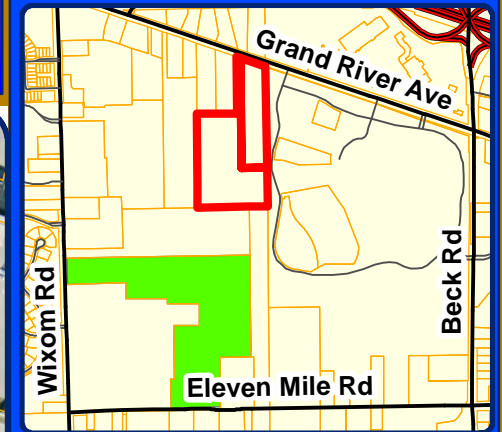
MAPS
Location
Zoning
Future Land Use
Natural Features

JSP 15-30 West Park Development

Location



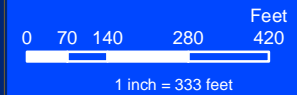
**Subject
Property**
Section 17



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Sri Komaragiri
Date: 07/16/15
Project: JSP15-30 West Park Development
Version #: 1

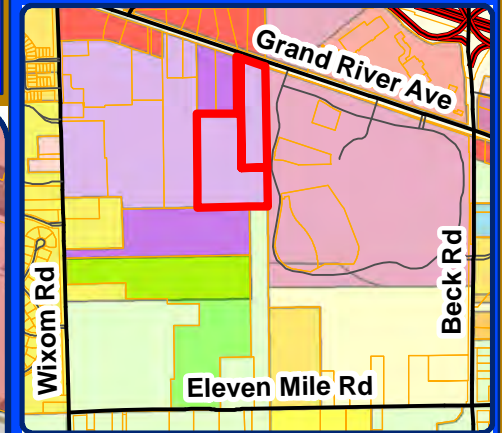
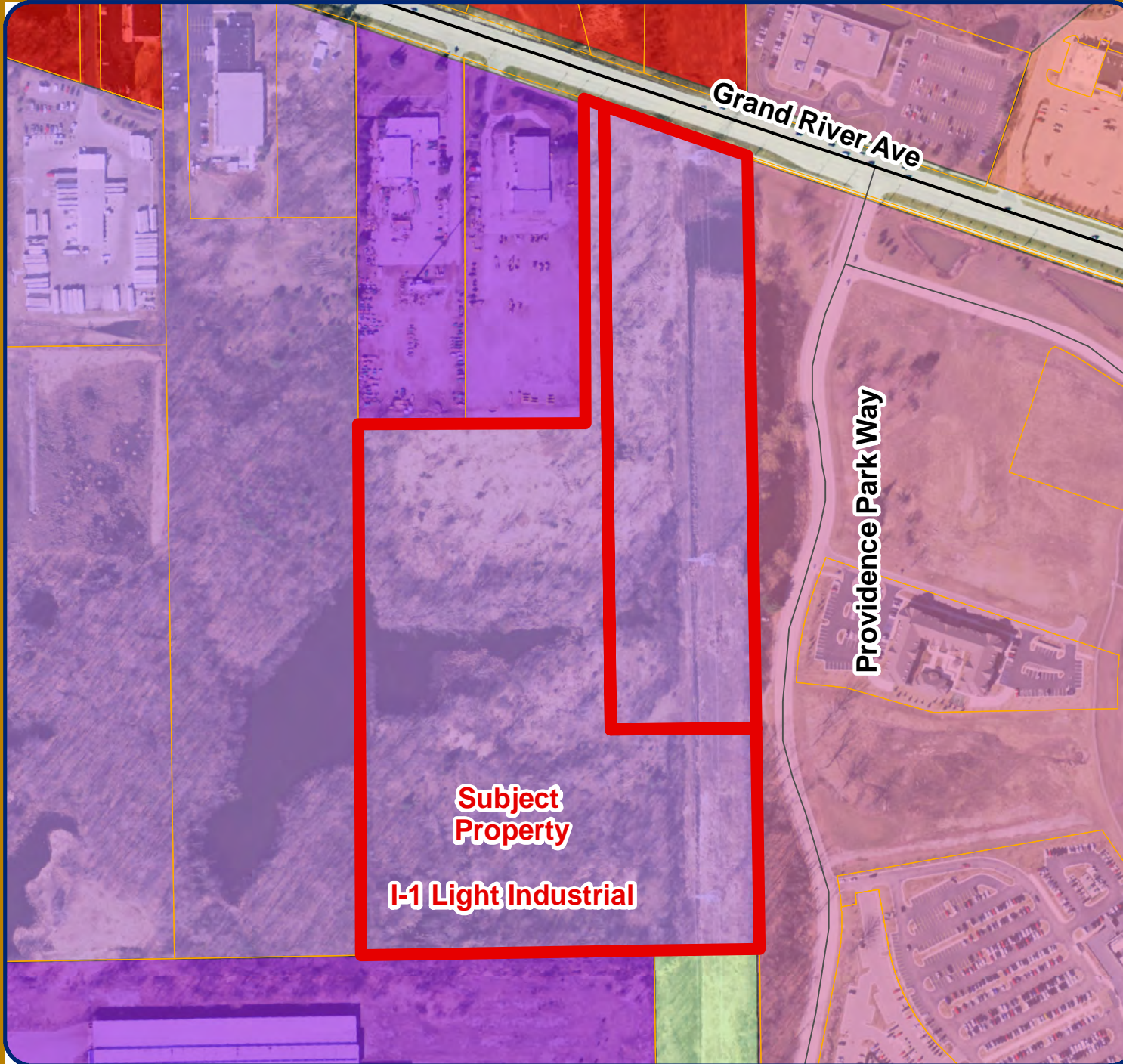


MAP INTERPRETATION NOTICE

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

JSP 15-30 West Park Development

Zoning



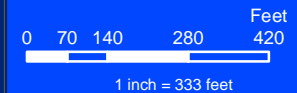
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- B-1: Local Business District
- B-2: Community Business District
- B-3: General Business District
- FS: Freeway Service District
- I-1: Light Industrial District
- I-2: General Industrial District
- OS-1: Office Service District
- OSC: Office Service Commercial
- OST: Office Service Technology



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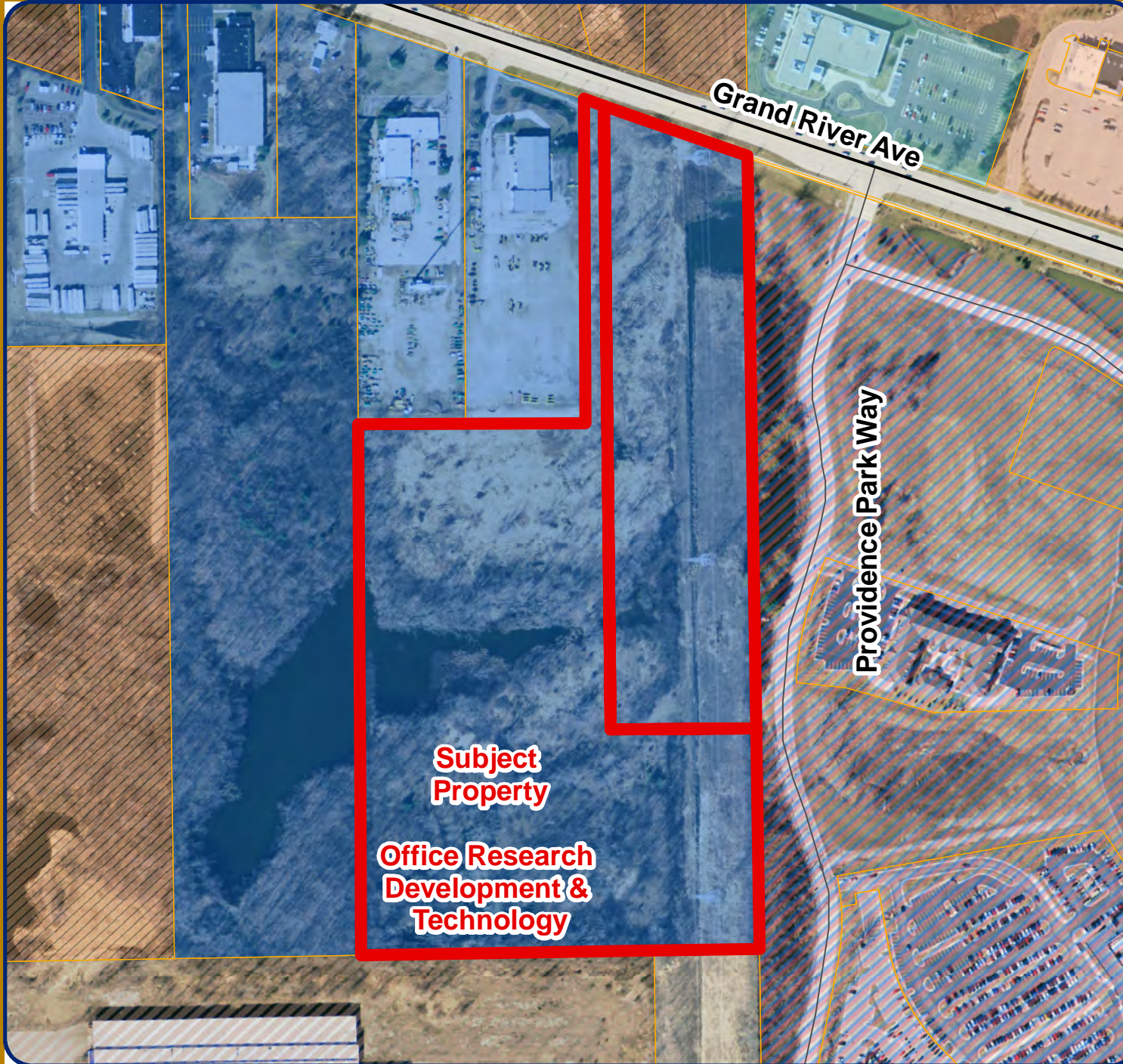


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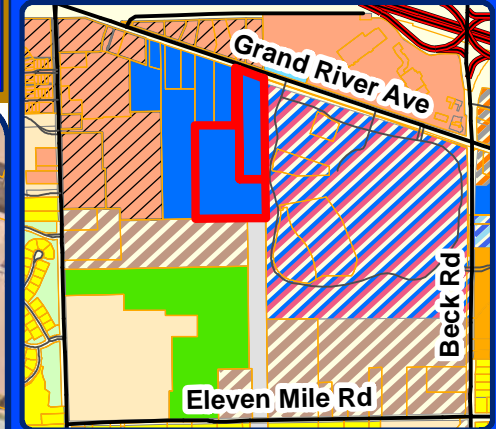
JSP 15-30 West Park Development

Future Land Use



**Subject
Property**

**Office Research
Development &
Technology**



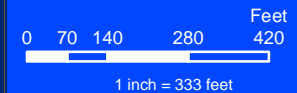
- SINGLE FAMILY
- MULTIPLE FAMILY
- SUBURBAN LOW-RISE
- COMMUNITY OFFICE
- OFFICE RES DEV TECH
- OFFICE COMMERCIAL
- OFFICE RD TECH w/RETAIL OVERLAY
- LOCAL COMMERCIAL
- COMMUNITY COMMERCIAL
- EDUCATIONAL FACILITY
- PUBLIC
- PUBLIC PARK
- PRIVATE PARK
- UTILITY



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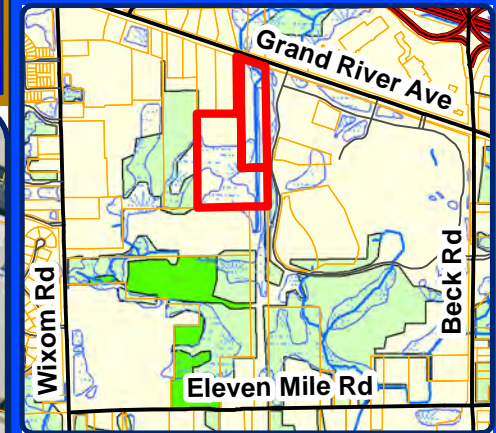
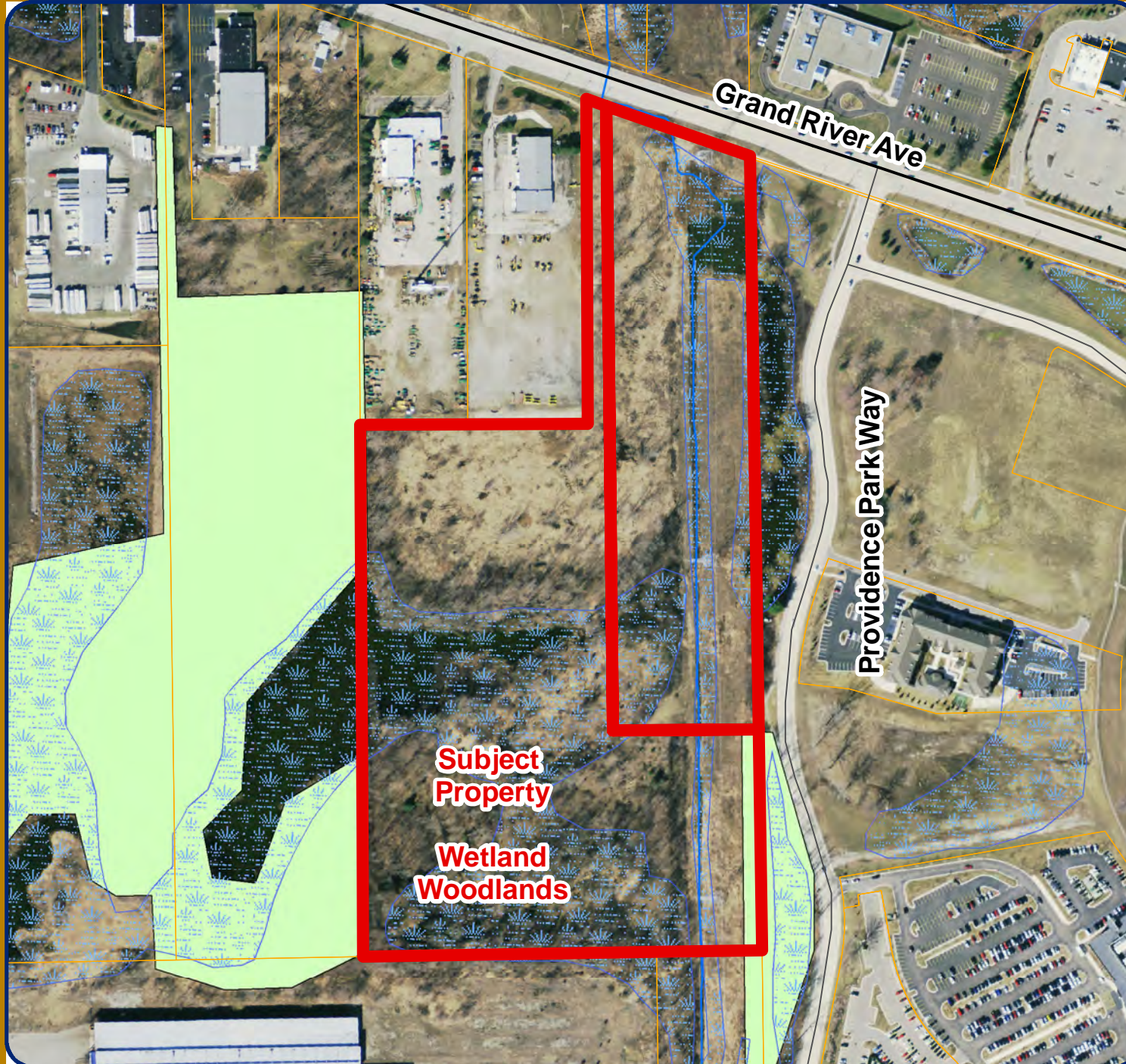


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JSP 15-30 West Park Development

Natural Features



Legend

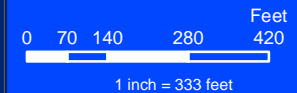
-  Wetlands
-  Woodlands



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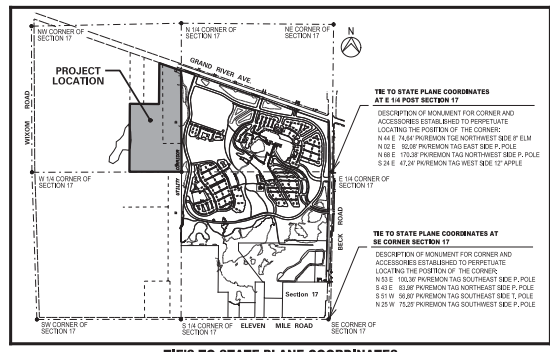
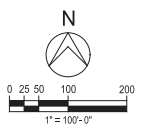
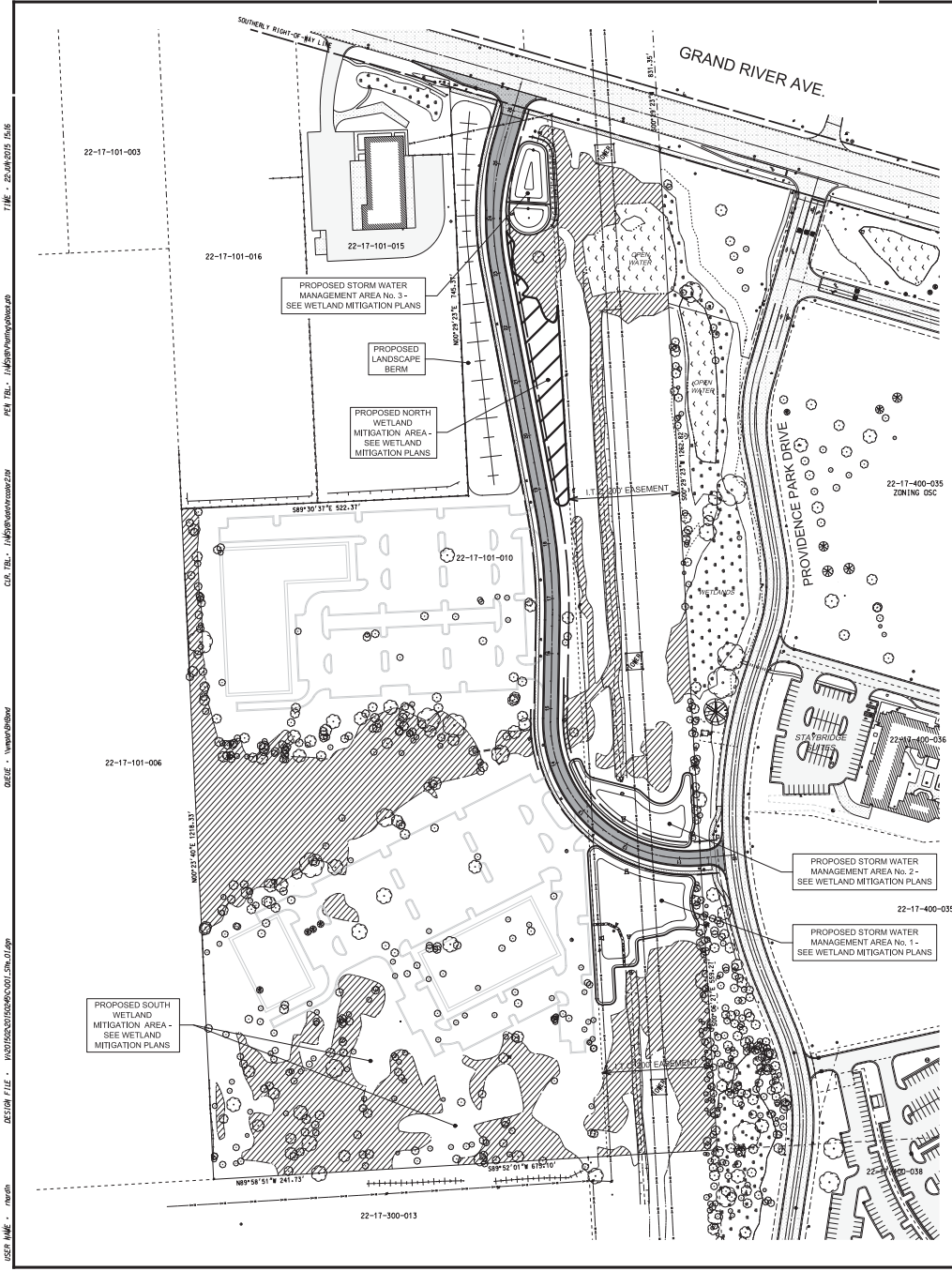


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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)



BENCH MARKS

HRC B.M. NOVI B.M.	NORTHING EASTING	ELEV.	DESCRIPTION
HRC 354	N: 382165.05 E: 1335002.19	986.32	MAGNAN WEST FACE OF POWER POLE WEST SIDE OF DITCH, 40'± SOUTH OF GRAND RIVER AND ALONG THE WEST SIDE OF ITC CORRIDOR
HRC 380	N: 355125.040 E: 13350413.72	986.84	MAGNAN WEST SIDE OF 20' POPULAR EAST SIDE OF PROVIDENCE PARKWAY 205' ± SOUTH OF SOUTH END OF STARBUCKS HOTEL
NOVI 10 NOVI 17A	N: 362079.1438 E: 13349561.14	969.807	BENCH TE SET IN SOUTH FACE OF POWER POLE LOCATED 10 FEET WEST OF DRIVE #4845 AND 20 FEET SOUTH OF BACK OF CURB OF GRAND RIVER
NOVI 151 E.M. 1721	N: 362055.6725 E: 13350524.18	966.091	"X" MARK NORTH END OF GATEPILL LOCATED 15 FEET NORTH OF BACK OF CURB OF GRAND RIVER AND 25 FEET EAST OF DRIVE #18158 GRAND RIVER

LEGAL DESCRIPTION (FROM WARRANTY DEED L36797 P.682)

A part of the Northwest 1/4 of Section 17, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; being more particularly described commencing at the North 1/4 corner of said Section 17; thence South 03 degrees 16 minutes 55 seconds East 831.75 feet, (previously described as South 00 degrees 29 minutes 23 seconds West 831.35 feet), along the North and South 1/4 line of said Section 17 to a point on the Southerly right of way of Grand River Avenue (100.00 feet wide) and the POINT OF BEGINNING; thence continuing South 03 degrees 16 minutes 55 seconds East 1827.86 feet (previously described as South 00 degrees 29 minutes 23 seconds West 1262.82 feet and South 00 degrees 05 minutes 27 seconds East 559.27 feet) along the North and South 1/4 line of said Section 17 to the center of said Section 17; thence South 86 degrees 39 minutes 04 seconds East 916.83 feet (previously described as South 89 degrees 52 minutes 01 seconds West 675.10 feet and North 89 degrees 58 minutes 51 seconds West 241.73 feet) along the East and West 1/4 line of said Section 17; thence North 02 degrees 44 minutes 09 seconds West 1219.61 feet (previously described as North 00 degrees 23 minutes 40 seconds East 1219.33 feet); thence North 87 degrees 21 minutes 50 seconds East 522.37 feet (previously described as South 89 degrees 30 minutes 37 seconds East); thence North 02 degrees 38 minutes 01 seconds West 745.51 feet (previously described as North 00 degrees 29 minutes 23 seconds East 745.37 feet) to a point on the Southerly right of way of said Grand River Avenue; thence South 73 degrees 56 minutes 49 seconds East 396.81 feet (previously described as South 70 degrees 44 minutes 31 seconds East 63.37 feet and South 70 degrees 44 minutes 31 seconds East 348.53 feet) along the Southerly right of way of said Grand River Avenue to the POINT OF BEGINNING.

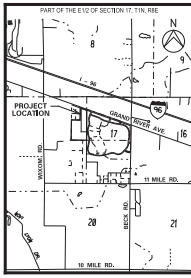
Tax parcels 22-17-101-010 and 22-17-101-012

WHITEHALL
REAL ESTATE INTERESTS

HRC 100
CONSULTING ENGINEERS SINCE 1915

655 HULET DRIVE
BLOOMFIELD HILLS, MICH. P.O. BOX 824
48300-0824
PHONE: (248) 454-6300
FAX: (248) 454-6312
PAK FAX: (248) 454-6300
WEB SITE: <http://www.hrc-eng.com>

05.15.2015	PRELIMINARY SITE PLAN APPROVAL
DATE	ISSUED / ADDITIONS / REVISIONS
DESIGNED	M.G.S.
DRAWN	T.E.W. / R.C.H.
CHECKED	G.J.T.
APPROVED	



WEST PARK OFFICE BUILDINGS
31 Acre Site
NEW ROADWAY

CITY OF NOVI
PART OF THE NW 1/4 OF SECTION 17, T1N R8E
OAKLAND COUNTY, MICHIGAN

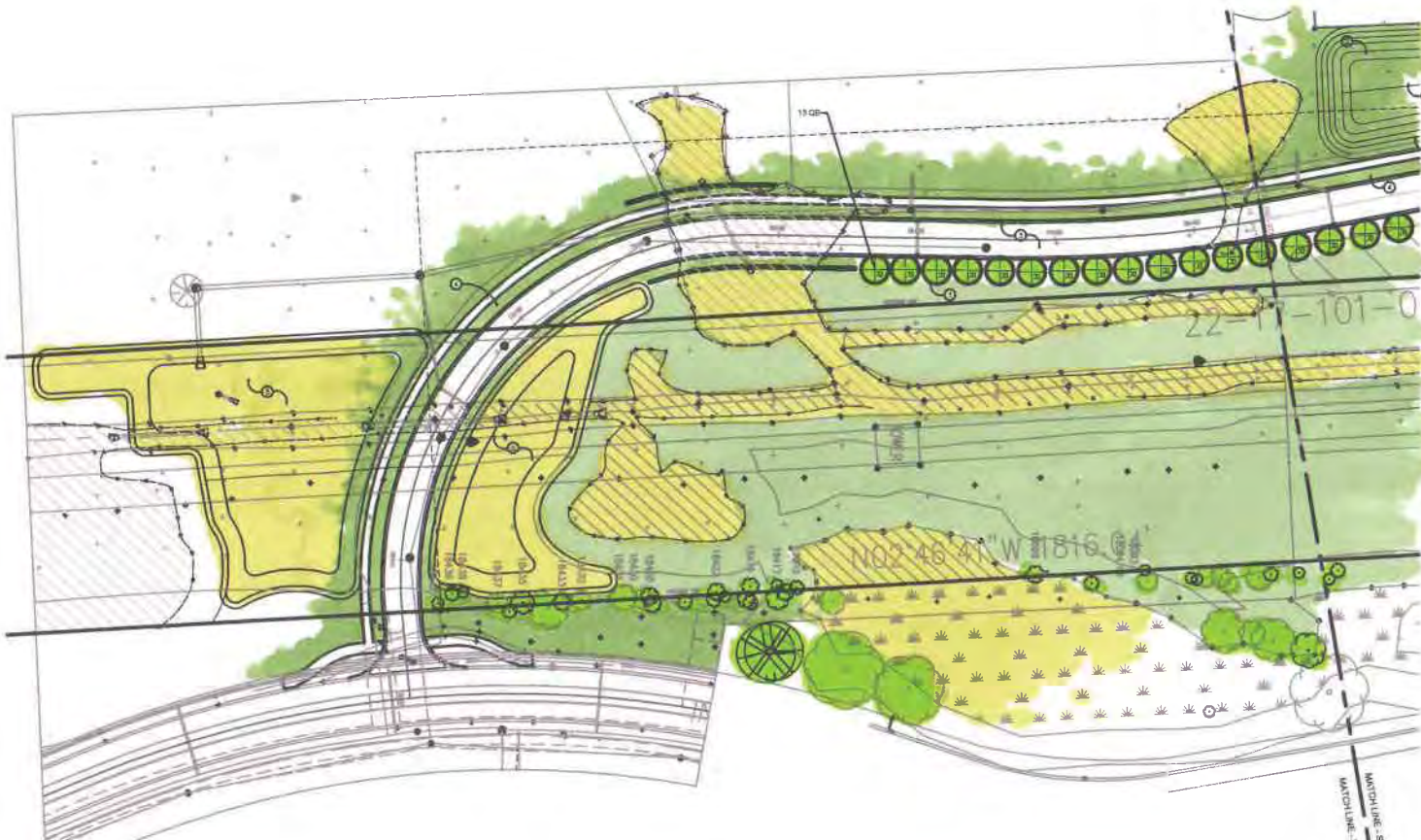
PROPOSED OVERALL SITE PLAN

HRC JOB NO.	SCALE
20150245	1" = 100'
DATE	SHEET NO.
JUNE 2015	C 01

NOTE:
ALL WORK SHALL CONFORM TO CITY OF NOVI STANDARDS AND SPECIFICATIONS.

NOTE:
ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM RECAL OBSERVATIONS AND RECORD MAPPINGS WHERE AVAILABLE. NO GUARANTEE IS MADE OR SHOULD BE ASSUMED AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THE DRAWING. PARTIES UTILIZING THE INFORMATION SHALL BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION.

USER: hrc\j...
 DATE: 05/15/2015 10:45:24 AM
 FILE: \\hrc\proj\2015\20150245\20150245.dwg
 PLOT: 22-17-101-010.dwg
 PLOT DATE: 05/15/2015 10:45:24 AM
 PLOT SCALE: 1" = 100'
 PLOT SHEET: C 01
 PLOT TOTAL SHEETS: 01
 PLOT STATUS: OK
 PLOT MESSAGE:



Note Key

- ① DECIDUOUS TREE PLANTING. SEE TYP DETAIL.
- ② EVERGREEN TREE PLANTING. SEE TYP DETAIL. SEE SHEET L-2
- ③ PROPOSED ROAD. SEE CIVIL.
- ④ SEEDED LAWN ON 4" DEPTH TOPSOIL TYP.
- ⑤ PROPOSED STORM WATER MANAGEMENT AREA. SEE WETLAND MITIGATION PLAN.
- ⑥ PROPOSED EARTHEN BERM. SEE SECTION SHEET L-2.

City of Novi Standard Notes

ALL LANDSCAPE MATERIALS, INSTALLATION, AND MAINTENANCE SHALL COMPLY WITH SECTION 2206 - SECTIONS 3 (INSTALLATION), 4 (MAINTENANCE) AND THE LANDSCAPE DESIGN MANUAL SECTION 3 - PLANT MATERIAL REQUIREMENTS.

ALL PLANT MATERIAL SHALL BE LOCALLY GROWN OR OF THE NORTHWESTERN AMERICAN REGION AND CONFORM TO THE CURRENT ANHYDRATED USE #01 GRADE PLANT MATERIAL.

ALL PLANTINGS SHALL BE INSTALLED BETWEEN MARCH 15TH AND NOVEMBER 15TH OF DESIGNATED CONSTRUCTION SEASON.

ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION FREE OF WEEDS AND DEBRIS WITH THE OBLIGATION FOR WEED CONTROL, PEST MONITORING DURING JUNE, JULY AND AUGUST. THE ESTABLISHMENT PERIOD SHALL BE 04 YEARS FROM THE DATE OF APPROVAL OF PLANTINGS BY THE CITY OF NOVI. REPLACEMENT OF ANY FAILING PLANT MATERIAL, INCLUDING TREES, SHALL BE OBLIGATED DURING THE TWO (2) YEAR ESTABLISHMENT PERIOD. FAILING PLANT MATERIAL SHALL BE REPLACED WITHIN ONE YEAR OR THE NEXT GROWING SEASON.

ALL LANDSCAPE AREAS SHALL BE IRRIGATED BY AN AUTOMATIC IRRIGATION SYSTEM.

ALL TREE WRAP, STAKES AND DUV SHALL BE REMOVED AFTER ONE WINTER SEASON.

NO PLANTINGS GREATER THAN 12" HIGH SHALL BE PLANTED WITHIN TEN (10) FEET OF FIRE HYDRANTS. PLANT MATERIAL SHALL NOT BLOCK VISIBILITY OF HYDRANT.

ANY AND ALL SUBSTITUTIONS OR DEVIATIONS SHALL BE APPROVED BY THE CITY PRIOR TO INSTALLATION.

NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK SEE PLANTING DETAILS FOR DEPTH.

Site Landscape Tabulations

R.O.W. STREET TREE REQUIREMENTS:
West Parkway Drive:
 1908.95 LF NOT ADJ. TO PARKING / 45 = 36.71 or 36 TREES
Grand River Ave:
 388 LF NOT ADJ. TO PARKING / 45 = 8.66 or 9 TREES

TOTAL R.O.W. TREES REQUIRED 45
TOTAL R.O.W. TREES PROVIDED 36
 *Note: No R.O.W. trees are provided along Grand River due to OORC site line requirements and the existing 200' TTC easement. Applicant requests a waiver for the requirement.

TREE PRESERVATION REQUIREMENTS:
TOTAL TREES REMOVED: 57
TOTAL REGULATED TREES REMOVED: 7

REPLACEMENT TREES REQUIRED: 15
REPLACEMENT TREES PROVIDED: 30

Note: Evergreen trees are calculated at 1.5:1. Thematic 15 evergreens should equal 30 replacement trees.

GREENBELT REQUIRED LANDSCAPE:

Providence Parkway and West Parkway Drive:
 Applicant requests a waiver for this requirement due to existing woodlands and wetlands that are present on site. Greenbelt requirements on the west side of West Parkway Drive for future buildings will be satisfied at the time of development.

Grand River Ave:
 Applicant requests a waiver for this requirement due to existing wetlands and 200' TTC easement that are present on site.

Plant Schedule

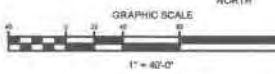
Tree	SYTS	SPS	Botanical Name	Common Name	Fls	Leafing	HT	WT	Comments	Price	Total
A-3	6	1	Acer s. Quercifolium	Sugar Maple	2-5	10-12	8-10	100-150	Sings. Straight Trunk	\$ 400.00	\$ 2,400.00
FD	2	1	Ficus glauca	White Spoke	1-2	10-12	8-10	100-150	Upraised, Branched to ground	\$ 1,200.00	\$ 2,400.00
QB	35	1	Quercus bicolor	Swing White Oak	2	10-12	8-10	100-150	Sings. Straight Trunk	\$ 400.00	\$ 14,000.00
QR	3	1	Quercus rubra	Northern Red Oak	2-3	10-12	8-10	100-150	Sings. Straight Trunk	\$ 400.00	\$ 1,200.00
										\$ 2.00	\$ 11,600.00
										\$ 35.00	\$ 1,100.00
											\$ 33,720.00

Legend

- ① ROW TREE
- ② WOODLAND REPLACEMENT TREE

SURVEY PROVIDED BY:
 HFC
 650 Hurd Drive
 Bloomfield Hills, MI 48303
 (248) 454-1000

**JOS N. WISER, 2008004
 DATE: March 2010**



RUSSELL DESIGN
 LANDSCAPE ARCHITECTURE

Design • Planning

114 Regson Street Suite 104 • Northville, MI 48167
 P: 248.374.5222 • F: 248.374.5469

West Park Office Building
 West Parkway Drive
 Novi, MI

White Hall Real Estate Interests
 35025 Thirteen Mile Road, Suite 250
 Novi, MI 48277
 248.374.0400

Address: W05-152
 Owner: JG
 Design: MJD
 Date: 08-21-10
 Scale: 1" = 40' - 0"



3 FULL WORKING DAYS BEFORE YOU DIG CALL

811

Know what's below
 Call before you dig

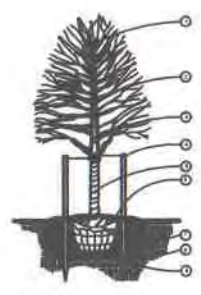
PRELIMINARY NOT FOR CONSTRUCTION

Landscaping Plan - South

L-1

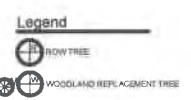


- Note Key**
- ① DECIDUOUS TREE PLANTING. SEE TYP. DETAIL.
 - ② EVERGREEN TREE PLANTING. SEE TYP. DETAIL.
 - ③ PROPOSED ROAD. SEE CIVIL.
 - ④ SEEDED LAWN ON 4" DEPTH TOPSOIL. TYP.
 - ⑤ PROPOSED STORM WATER MANAGEMENT AREA. SEE WETLAND MITIGATION PLANS.
 - ⑥ PROPOSED NORTH WETLAND MITIGATION AREA. SEE WETLAND MITIGATION PLANS.
 - ⑦ PROPOSED EARTHEN BERM. SEE SECTION.
 - ⑧ EXISTING JOE (TC) EMBANKMENT.
 - ⑨ WETLANDS TO REMAIN.



- ① INSURE BROADWAY LEAVING 30" MIN. CLEARANCE. LEAVES ON BRANCHES TO REMAIN FULL LEAF AND BROWN BRANCHES.
- ② INSURE ALL TREE BRANCHES, PLACES AND ANY OTHER MATERIALS WHICH ARE LIKELY TO BE CROPPED OR REMOVED.
- ③ STAKE TREES AND USE PROTECTIVE WRAPPING. STAKE TO BE 1/4" DIA. AND 10' LONG. STAKE TO BE 1/4" DIA. AND 10' LONG. STAKE TO BE 1/4" DIA. AND 10' LONG.
- ④ ALL PLANT MATERIALS SHALL BE DELIVERED TO THE SITE WITHIN 14 DAYS OF THE DATE OF INSTALLATION.
- ⑤ TREES SHALL BE DELIVERED IN A CONDITION TO BE PLANTED WITHIN 14 DAYS OF THE DATE OF INSTALLATION.
- ⑥ INSURE ALL BRANCHES OF BRANCHES REMAINING SHALL BE CUT AT A 45° ANGLE. LEAVES SHALL BE REMOVED FROM THE TOP OF THE BRANCHES.
- ⑦ REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE SITE. ALL MATERIALS SHALL BE REMOVED FROM THE SITE OF THE PROJECT.
- ⑧ INSURE SOIL IS IN A CONDITION TO BE PLANTED WITHIN 14 DAYS OF THE DATE OF INSTALLATION.
- ⑨ TREE SHALL BE A MINIMUM OF 10' TALL AT THE TIME OF INSTALLATION.
- ⑩ TREE SHALL BE A MINIMUM OF 10' TALL AT THE TIME OF INSTALLATION.

④ DECIDUOUS TREE PLANTING DETAIL City of Novi
1/2" = 1'-0"



Legend

- ⊕ ROW TREE
- ⊗ WOODLAND REPLACEMENT TREE

RUSSELL DESIGN
LANDSCAPE ARCHITECTURE
Design • Planning
114 Nelson Street Suite 5A • Northville, MI 48167
ph. 248.374.3222 • fax. 248.374.3400

West Park Office Building
West Parkway Drive
Novi, MI

White Hall Real Estate Interests
38525 Thirteen Mile Road, Suite 250
Novi, MI 48277
248.324.0400



Job Name: W05-152
Job No.: J12
Owner: MRR
Date: 06.21.15
Scale: 1" = 40' - 0"

06.18.15 PRELIM SITE PLAN APPROVAL
07.11.15 REV. PER WOODLAND REVIEW

**PRELIMINARY
NOT FOR CONSTRUCTION**

Project: Landscape Plan - North

Sheet Number: 001 of 001
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① CONCEPTUAL BERM SECTION @ R.O.W.
NOT TO SCALE

- Note Key**
- ① PROPOSED WALK
 - ② SEEDED LAWN ON 4" TOPSOIL
 - ③ NATURAL COLOR, FINELY SHREDED HARDWOOD BARK MULCH. PER DETAIL.
 - ④ PROPOSED TREES. SEE PLAN.



- ① INSURE BROADWAY LEAVING 30" MIN. CLEARANCE. LEAVES ON BRANCHES TO REMAIN FULL LEAF AND BROWN BRANCHES.
- ② INSURE ALL TREE BRANCHES, PLACES AND ANY OTHER MATERIALS WHICH ARE LIKELY TO BE CROPPED OR REMOVED.
- ③ STAKE TREES AND USE PROTECTIVE WRAPPING. STAKE TO BE 1/4" DIA. AND 10' LONG. STAKE TO BE 1/4" DIA. AND 10' LONG.
- ④ ALL PLANT MATERIALS SHALL BE DELIVERED TO THE SITE WITHIN 14 DAYS OF THE DATE OF INSTALLATION.
- ⑤ TREES SHALL BE DELIVERED IN A CONDITION TO BE PLANTED WITHIN 14 DAYS OF THE DATE OF INSTALLATION.
- ⑥ INSURE ALL BRANCHES OF BRANCHES REMAINING SHALL BE CUT AT A 45° ANGLE. LEAVES SHALL BE REMOVED FROM THE TOP OF THE BRANCHES.
- ⑦ REMOVE ALL NON-BIODEGRADABLE MATERIALS FROM THE SITE. ALL MATERIALS SHALL BE REMOVED FROM THE SITE OF THE PROJECT.
- ⑧ INSURE SOIL IS IN A CONDITION TO BE PLANTED WITHIN 14 DAYS OF THE DATE OF INSTALLATION.
- ⑨ TREE SHALL BE A MINIMUM OF 10' TALL AT THE TIME OF INSTALLATION.
- ⑩ TREE SHALL BE A MINIMUM OF 10' TALL AT THE TIME OF INSTALLATION.

③ EVERGREEN TREE PLANTING DETAIL City of Novi
1/2" = 1'-0"

SURVEY PROVIDED BY:
HRC
555 Huron Drive
Bloomfield Hills, MI 48303
(248) 454-4000
JOB NUMBER: 2009004
DATED: March 2008



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PLANNING REVIEW



PLAN REVIEW CENTER REPORT

July 09, 2015

Planning Review

West Park Development
JSP 15-30

Petitioner

West Park Development

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: Section 17 ; south of Grand River Avenue and west of Beck Road
- Site School District: Novi Schools
- Site Zoning: I-1: Light Industrial District
- Adjoining Zoning: West: I-1- Light Industrial District & I-2 – General Industrial District; East: OSC-Office Service Commercial; North: B-2-Community Business District
- Site Use(s): Vacant
- Adjoining Uses: Industrial/Office/Medical
- Site Size: 31 Acres
- Building Size: Not applicable-Roads and Utilities only
- Plan Date: 06-19-2015

Project Summary

The applicant received a wetland mitigation permit from Department of Environmental quality on January 07, 2011. The permit expires on January 07, 2016. The applicant would like to proceed with wetland fill and mitigation, construction of the Access Roadway to serve the developable parcels on the site including associated mass grading, storm water management, site utilities, Grand River Avenue access approach, berms, landscaping and emergency access connection to Providence Parkway.

The current plan is reviewed according to section 6.1.1.E for review of the proposed roads and any proposed utilities. This plan would require a City of Novi wetland permit for the proposed wetland mitigation measures.

Recommendation

Approval of the ***Preliminary Site Plan is recommended.*** The plan conforms to the requirements of the Zoning Ordinance, with additional details required at the time of Final Site Plan submittal. **Planning Commission approval of the Preliminary Site Plan, Wetland Permit and Stormwater Management plan is required.**

Ordinance Requirements

The plans for building construction and associated site developments are not provided at this point due to the speculative nature of the development. The current review is primarily based on Roads and Utilities construction only. All other items will be reviewed for conformance at a later stage when additional information is provided.

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.

1. Aerial Photograph (Sec 6.1.E.v): Submittal of a recent aerial photo in a scale not smaller than 1"=200' is required. **Provide a recent aerial photo as requested.**
2. Site condominium (Sec 6.1.E.vi): *The applicant has not yet made a determination about the type of development. Staff has not reviewed the building and parking plans for conformance with the zoning ordinance. A lot of factors will be evaluated for conformance based on the site condominium layout, such as, but not limited to frontage, setbacks and parking in front yard, etc.*
3. Sidewalk: **Label the proposed sidewalk along Grand River Avenue.**
4. Economic Impact: If known, the applicant is asked to provide economic impact information, such as the total cost of the proposed site improvements, and the number of anticipated jobs created (during construction). **Please provide the requested information.**
5. Development and Street Names: Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval. **Contact Richelle Leskun at 248-347-0475 to schedule a meeting with the Committee**
6. Other Reviews:
 - a. Engineering Review: Additional comments to be addressed with Final Site Plan submittal. Engineering recommends approval.
 - b. Landscape Review: Landscape review has identified few waivers that may be required. Refer to review letter for more comments. Landscape recommends approval.
 - c. Wetlands Review: Additional Comments to be addressed with Final Site Plan submittal. Wetlands recommend approval.
 - d. Woodlands Review: Additional Comments to be addressed with Final Site Plan submittal. Woodlands recommend approval.
 - e. Traffic Review: Additional Comments to be addressed with Final Site Plan submittal. Traffic recommends approval.
 - f. Facade Review: No buildings are proposed at this time.
 - g. Fire Review: Fire recommends approval.

PLANNING COMMISSION FINDINGS:

According to Section 6.1.E.2.B, The Planning Commission (or the City Council when designated as the reviewing body) shall consider the following factors in exercising its discretion over site plan approval:

- i. Whether the use proposed for the site is a use permitted in the district and complies with all the applicable requirements of the Novi Zoning Ordinance and/or any other code or ordinance regulating and controlling the use.
- ii. Whether traffic access to the site is such that vehicular congestion or other impairment of traffic may result from access to and from the site.
- iii. Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets.
- iv. Whether the zoning and use of surrounding land as they relate to the site being considered is such that the proposed use will be compatible with such surrounding zoning and use and will not be a physical barrier to the development of other surrounding lands.

- v. Whether the location of activities on the site, including the arrangement of buildings is such that activities may create noise, odor or other nuisances that would be a detriment to existing or future uses of abutting lands.

Response Letter

This Site Plan is scheduled to go before Planning Commission on July 22, 2015. Please provide the following **no later than Jul 15, 2015** if you wish to keep the schedule.

1. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
2. A PDF version of the all Site Plan drawings that were submitted for the Preliminary review AS IS, but including the recent changes made due to wetland and woodlands review and discussion.
3. A color rendering of the Site Plan, if any.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department. Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Signage

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5607 or skomaragiri@cityofnovi.org.





PLANNING REVIEW CHART

Review Date: July 09, 2015
Review Type: Preliminary Site Plan
Project Name: JSP15 – 0030: West Park Development
Plan Date: June 19, 2015
Prepared by: Sri Komaragiri, Planner
E-mail: skomaragiri@cityofnovi.org; **Phone:** (248) 735-5607

Items in **Bold** need to be addressed by the applicant prior to the approval of the Preliminary Site Plan.
Underlined items need to be addressed prior to the approval of the Final Site Plan

Item	Required Code	Proposed	Meets Code	Comments
<p>The applicant received a wetland mitigation permit from Department of Environmental quality on January 07, 2011. The permit expires on January 07, 2016. The applicant is interested to get the required approvals from the City to be able to complete the wetlands mitigation measures on site. City of Novi wetland permit cannot be issued without a site plan approval. The site plan at a minimum should fulfill the requirements of section 6.1.E. Roads and Utilities Site Plan. This site plan would require Planning Commission approval.</p> <p>An illustrative plan as listed in 6.1.E.i is required. An illustrative plan is considered as a concept plan and approval of the site plan shall not constitute approval of any development outside the roads and utilities. Rest of the site development other than roads and utilities will be reviewed as a separate site plan at a later stage prior to its construction.</p>				
Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Office Research Development and Technology	Office	Yes	
Area Study	The site does not fall under any special category	NA	Yes	
Zoning <i>(Effective December 25, 2013)</i>	I-1: Light Industrial	No Change to proposed zoning	Yes	
Uses Permitted <i>(Sec 3.1.18.B & C)</i>	Sec 3.1.18.B Principal Uses Permitted. Sec 3.1.18.C Special Land Uses	Uses to be determined when site plan is developed.	Yes/ No	All uses listed under Sec 3.1.18.C would require a special land use permit
Roads and Utilities Site Plan				
Site Plan <i>(Sec 6.1.E)</i>	- Site plans shall be submitted to the City for review of all plans that propose construction of new public and/or private roads, regardless of whether any buildings or other structures are proposed.	- Proposed private drive is to connect Providence Park way to Grand River Avenue. - The applicant has submitted a letter of intent which indicate the construction of wetland fill and mitigation, construction	Yes	Engineering is recommending approval with additional comments to be addressed during Final Site Plan

Item	Required Code	Proposed	Meets Code	Comments
	- Demonstrate the engineering feasibility if utilities are proposed	of the Access Roadway to serve the developable parcels on the site including associated mass grading, storm water management, site utilities, Grand River Avenue access approach, berms, landscaping and emergency access connection to Providence Parkway.		
Illustrative Plan (Sec 6.1.E.i)	Submittal of an illustrative plan required to show: future buildings, parking and landscaped areas, future lot lines, required building setbacks, public or private parks, open spaces, utility locations and storm water detention basins.	The submittal does not show additional information about proposed landscaped areas on site. The planting plan submitted refers to planting within wetland mitigation areas.	Yes	The plans for building construction are not determined at this point due to the speculative nature of the development The current review is primarily based on Roads and Utilities construction only.
Written Statement (Sec 6.1.E.ii)	A written statement reinforcing the illustrative plan explaining in detail the full intent of the applicant, indicating type of structures contemplated, expected uses of property and scheduling of development is required.	Applicant has provided with a cover letter explaining the intent and schedule of construction	Yes	
Topographic Map (Sec 6.1.E.iii)	A topographic map at a contour interval of not more than 2 feet is required.	Provided in sheet C-02	Yes	
Preliminary wetland Assessment (Sec 6.1.E.iii)	The Preliminary Wetland Assessment shall also provide information on the drainage patterns and hydrologic character of the wetlands.	Applicant has submitted mitigation plans as were approved by MDEQ in 2011		Refer to wetland comments for further details.

Item	Required Code	Proposed	Meets Code	Comments
<p>Preliminary Woodland Assessment (Sec 6.1.E.iii)</p>	<p>For woodlots greater than twenty (20) acres, one (1) sample per acre. Sample areas shall be a minimum of one-hundred (100) feet by fifty (50) feet. These samples shall include the type of understory vegetation, the predominant tree species in each sample area, and should be taken from dispersed areas within each woodlot. The city's Woodland Consultant will verify this information in the field at the time of the submittal of the conceptual development plan.</p>	<p>A tree survey showing the existing trees on site and possible tree removals is provided</p>	<p>Yes</p>	<p>Refer to woodland comments for further details.</p>
<p>Boundary Survey (Sec 6.1.E.iv)</p>	<p>A boundary survey prepared by a registered land surveyor or civil engineer is required.</p>	<p>Provided in sheet C-02</p>	<p>Yes</p>	
<p>Aerial Photograph (Sec 6.1.E.v)</p>	<p>Submittal of a recent aerial photo in a scale not smaller than 1"=200' is required.</p>	<p>Not Provided</p>	<p>No</p>	<p>Provide a scaled recent aerial photograph</p>
<p>Contemplated Storm and Sanitary Sewer design (Sec 6.1.E.vi)</p>	<p>If utilities are not proposed to be constructed at the same time roads are constructed, the applicant shall submit a plan with an indication of the contemplated storm and sanitary sewer design with preliminary engineering calculations, and a preliminary topographic map indicating how the land area is proposed to be shaped.</p>	<p>Applicant has provided required information. Refer to Engineering review letter for further details</p>	<p>Yes</p>	

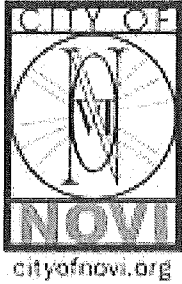
Item	Required Code	Proposed	Meets Code	Comments
Site condominium (Sec 6.1.E.vi)	If development is proposed as a site condominium, compliance with Section 6.3 is required, including the provision for Master Deed review.	Applicant has not yet made the determination	NA	This will be reviewed at the time of development for the rest of the site.
Exterior Lighting (Sec. 5.7.5.A)	The following uses shall be exempt from the provisions of this Section: Roadway and airport lighting required by the appropriate public agency for health, safety and welfare purposes;	No lighting information is provided at this time	NA	Are there plans for proposing lighting along the proposed drive? A lighting and photometric plan is required for the rest of the development during site plan review for that phase.
Height, bulk, density and area limitations (Sec 3.1.23)				
Frontage on a Public Street. (Sec. 5.12)	No lot or parcel of land shall be used for any purpose permitted by this Ordinance unless said lot or parcel shall front directly upon a public street, unless otherwise provided for in this Ordinance.	The site plan includes two parcels (22-17-101-010 and 22-17-101-012, both fronting on Grand River Avenue.	Yes	Is the proposed drive going to be public or private? Refer to Engineering comments for further requirements.
Access to Major Thoroughfare (Sec. 5.13)	For uses making reference to this Section, vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive	Access to Grand River Avenue is proposed	Yes	
Maximum % of Lot Area Covered (Sec 3.1.5.D) (By All Buildings)	25%	Information not provided	No	Provide the tentative information which is current
Building Height (Sec. 4.65)	35 ft. or 2.5 stories, whichever is less	Buildings are not proposed at this time	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Minimum Zoning Lot Size for each Unit in Ac (Sec 3.1.5.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
Minimum Zoning Lot Size for each Unit: Width in Feet (Sec 3.1.5.D)			NA	
Building Setbacks (Sec 3.1.23.D)				
Front	40ft.	Buildings are not proposed at this time	NA	Setbacks will be determined for conformance at the time of review of development plans for the rest of the site.
Rear	20ft.		NA	
Side	20ft.		NA	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall provide setback equal to front yard	Not abutting a street	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	No Off-street parking is permitted in front yard unless all conditions in Sec 3.6.2.E are met	No parking is proposed in front yard	NA	Setbacks will be determined for conformance at the time of review of development plans for the rest of the site.
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking is allowed inside and rear yards unless the property abuts a residential district. If yes, additional requirements listed in Sec 3.6.2.F shall be met	A part of the rear yard abuts residential. Buildings and parking are not proposed at the time of this development. Areas shown are for illustrative purpose only.	NA	Review of setbacks is dependent on the location of proposed lot lines and front yard.
Setback from Residential District (Sec 3.6.2.H)	Additional yard setbacks are required if the property abuts residential. For I-1, 5 feet of setback per 1 foot of building height or 100 feet, whichever is greater			

Item	Required Code	Proposed	Meets Code	Comments
Wetland/Watercourse Setback (Sec 3.6.2.M)	25ft. buffer from boundary of a wetland and 25ft. from the ordinary high-water mark of a watercourse is required.	Applicant is proposing to encroach into existing wetlands and buffers. The site plan involves wetland mitigation plans.	Yes	Refer to wetlands review for further details
Additional Building Height (Sec 3.6.2.O)	Additional height for up to 65 feet is allowed for certain sites provided the criteria in Sec 3.6.2.O are met.	Building height unknown.	NA	
Parking setback screening (Sec 3.6.2.P)	The required parking setback shall be screened per section 5.5.3.	Landscape plan is not provided. The current plan is being reviewed for roads and utilities only	NA	
Modification of parking setback requirements (Sec 3.6.2.Q)	The Planning Commission may modify parking setbacks provided such modification does not reduce the total area of setback area requirements on site	The applicant is not proposing changes to the allowed setbacks,	NA	
Sidewalk Requirements				
Sidewalks Article XII Sec. 11-276(b)& Sec. 11-279	<ul style="list-style-type: none"> - A 6' -10' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts - All pedestrian safety paths shall be concrete and four (4) in. thick except residential driveway crossings which shall be six (6) in. thick, and industrial/commercial driveway crossings which shall be eight (8) in. thick. 	A sidewalk is proposed along Grand River Avenue	No	<p>Label the sidewalk along Grand River Avenue.</p> <p>Proposed roadway is to be developed according to public road standards. A sidewalk is required on both sides of the street. Refer to Engineering comments for further details.</p>
Pedestrian Connectivity	Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in	Information regarding proposed sidewalks between the buildings is not provided.	NA	Pedestrian connectivity will be reviewed during the Site plan approval process for the rest of the development.

Item	Required Code	Proposed	Meets Code	Comments
	relation to access streets			
Building Code and other design standard Requirements				
Building Code	Building exits must be connected to sidewalk system or parking lot.	Information not provided, unable to determine	NA	
Design and Construction Standards Manual (DSM)	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	The plans are in general conformance. Some dimensions are missing	No	
Other Requirements				
Performance Standards (Sec 5.14)	Compliance with the requirements of Section 5.14 is required		NA	Compliance will be reviewed at a later stage during review of rest of the development.
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Street name is to be reviewed and approved by Street Naming Committee.		<u>Contact Richelle Leskun at 248-347-0475 to schedule a meeting with the Committee</u>
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>
NOTES:				
<ol style="list-style-type: none"> 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals. 				

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

07/08/2015

Engineering Review
West Park Office Complex
JSP15-0030

Applicant

WEST PARK INVESTORIS, LLC

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River Ave. and W. of Providence Park Ring Rd.
- Site Size: 31.0 acres
- Plan Date: 06/19/15

Project Summary

- Construction of a road, storm water detention, and wetland mitigation for a future office park.
- Storm water would be collected by three storm sewer collection system and detained in of three on detention basins.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. A right-of-way permit will be required from the City of Novi and Oakland County.
2. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
3. Traffic signs in the RCOC right-of-way will be installed by RCOC.
4. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.
5. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.
6. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.
7. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.
8. Clarify if the proposed road is planned to be a Public or Private road.
9. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.
10. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Water Main

11. Provide details for proposed water main connections.
12. Show the water main connection on the north side of Grand River Ave.
13. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.
14. Callout and provide details for a jack and bore under Grand River Ave. to connect to the existing water main on the north side of the road.
15. Provide a profile for all proposed water main 8-inch and larger.
16. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

17. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.
18. Provide profiles for all proposed sanitary sewer 8-inches and larger.
19. Provide pipe material and slope for all proposed sanitary sewer.
20. Provide a sanitary sewer basis of design.
21. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (04/14 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office.

Storm Sewer

22. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.
23. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.
24. Match the 0.80 diameter depth above invert for pipe size increases.
25. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.
26. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basins.
27. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
28. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
29. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

Storm Water Management Plan

30. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.
31. Provide runoff coefficient, and impervious/pervious area size details and calculations for the proposed future building sites.

32. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
33. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.
34. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.
35. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).
36. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.
37. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.
38. Provide supporting calculations for the runoff coefficient determination.
39. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns), a coefficient of 0.95 shall be used for impervious area, and a coefficient of 1.00 shall be used for open water.
40. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.

Paving & Grading

41. Provide 5-foot wide sidewalk/pathway on both sides of the proposed road.
42. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.
43. The right-of-way sidewalk shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 6/8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 6/8 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.
44. Provide top of curb/walk and pavement/gutter grades to indicate height of curb.
45. Add a note to the plan stating that the emergency access gate is to be installed and closed prior to the issuance of the first TCO in the subdivision.
46. Provide profiles for the proposed roadways that meet the following requirements:
 - a. Elevations shown at every station and half station on tangent. At all vertical curves, tangent elevation shall be shown for P.C., P.I. and P.T. only,

and corrected elevation shown at every station and half station. Length of vertical curves and stationing of P.C. and P.T. shall also be indicated.

- b. Elevation at spring points of all intersection radii.
- c. Profile of existing ground along centerline of proposed street; stationing of plan and profile; proposed grade elevation of top and curb.

Off-Site Easements

- 47. Approval from the neighboring property owner for the work associated with the detention basins and connection to the Providence Park Ring Rd. shall be forwarded to the Engineering Division **prior to site plan approval**.

The following must be submitted at the time of Final Site Plan submittal:

- 48. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
- 49. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

- 50. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
- 51. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
- 52. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.
- 53. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

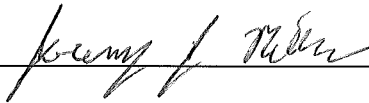
The following must be addressed prior to construction:

54. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
55. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
56. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.
57. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
58. A permit for work within the right-of-way of Grand River Ave. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
59. A permit for work within the right-of-way of Grand River Ave. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.
60. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
61. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.
62. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
63. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
64. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to

TCO, at which time it may be reduced based on percentage of construction completed.

65. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.
66. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Please contact Jeremy Miller at (248) 735-5694 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Sri Komaragiri, Community Development
Sabrina Lilla, Water & Sewer

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

July 9, 2015

Preliminary Site Plan - Landscaping

West Park Office Building – Road Plan

Review Type

Preliminary Site Plan Landscape Review

Project Number

JSP15-0030

Property Characteristics

- Site Location: Grand River, west of Providence Hospital
- Site Zoning: OSC
- Adjacent Zoning: I-1
- Plan Date: 6/9/15

Recommendation:

This project is **recommended for approval** with the understanding that the items listed below will be addressed satisfactorily in the Final Site Plans.

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Preliminary Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance.

EXISTING ELEMENTS

Existing Topography and Soils (Preliminary Site Plan checklist #10, #17)

1. **Please add existing topography to the landscape plans.**
2. **Soils information should be added to plan set, does not have to be on Landscape Plan.**

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Existing utilities are shown.
2. **Please add all proposed utilities including hydrants to landscape plan.**

Existing Trees Protection(Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. **Tree protection fencing locations should be added to the Soil Erosion Control and Removal plans.**
2. **Tree protection fence details on C05 and W11 should be modified to show fence at 1' outside of tree driplines.**
3. **Tree tags should be shown on Sheets C10 and C11 on all trees for easier checking against the tree chart.**

LANDSCAPING REQUIREMENTS

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

1. **Wherever wetlands do not immediately front on the Grand River right-of-way, the required berms and landscaping for rights-of-way frontage need to be provided to the greatest extent possible. A waiver for the berm and plantings not able to be planted in**

those areas will be supported.

2. Where the power line or power line easements don't allow trees to be planted, either along Grand River or along West Parkway Drive, a waiver may be sought for those trees. The number of trees impacted must be shown. The specific limitations caused by the easement (eg heights under the wires, within the easement but not under the lines, etc) need to be listed on the plans. Where some plantings, such as short shrubs, ornamental grasses, etc are allowed, please propose plantings along the street within those areas to provide a more attractive situation.

Street Tree Requirements (Zoning Sec. 5.5.3.E.i.c and LDM 1.d.)

1. Street trees need to be proposed along Grand River. Waivers for trees not allowed by DTE due to the easements, as discussed in item #1 will be supported. Waivers for street trees not allowed by the Oakland County Road Commission will also be supported, but the commission's letter denying x number of trees must be provided to the city to support the waiver.
2. Street trees are required for both sides of West Parkway Drive.
3. Where the power line or power line easements don't allow trees to be planted along West Parkway Drive, a waiver may be sought for those trees. The number of trees impacted must be shown. As noted above (item #2 for plantings adjacent to public rights-of-way), the specific limitations caused by the easement (eg heights under the wires, within the easement but not under the lines, etc) need to be listed on the plans. Where some plantings, such as short shrubs, ornamental grasses, etc are allowed, please propose plantings along the street within those areas to provide a more attractive situation.
4. Where future developments are proposed, it is acceptable to defer the plantings to those developments, but please indicate clearly the limits of those areas and the number of street trees to be planted by those developments.

Parking Lot Landscape or Perimeter Trees (Zoning Sec. 5.5.3.C.)

Not applicable to this project.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

Not applicable to this project.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

As the detention is proposed to be within the wetland, the plantings need to conform with wetland requirements. Please see ECT's report.

OTHER REQUIREMENTS

Plant List (LDM 2.h. and t.)

The provided list conforms to City requirements.

Planting Notations and Details & Cost estimates for Proposed Landscaping(LDM)

1. All notes and details conform to City requirements.
2. Please add the city's tree guying detail (included with this review).
3. Cost estimates conform to City's requirements.

Irrigation (LDM 1.a.(1)(e) and 2.s)

An automated irrigation system plan is required for all landscaped areas and should be provided with the Final Site Plan set.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Proposed contours, including road contours, should be included on the landscape plan.

Corner Clearance (Zoning Sec 5.9)

Corner clearance zones at the intersections at either end of West Parkway Drive should be indicated on the landscape plans.

If the applicant has any questions concerning the above review or the process in general, please do not hesitate to contact me at 248.735.5621 or rmeader rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART

Review Date: July 9, 2015
Project Name: JSP15 – 0030: WEST PARK OFFICE - ROAD
Plan Date: June 19, 2015
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan <i>(Zoning Sec 5.5.2, LDM 2.e.)</i>	§ New commercial or residential developments § Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. § 1"=20' minimum with proper North. Variations from this scale can be approved by LA § Consistent with plans throughout set	Yes	Yes	Scale: 1"=40'
Project Information <i>(LDM 2.d.)</i>	§ Name and Address	Yes	Yes	
Owner/Developer Contact Information <i>(LDM 2.a.)</i>	§ Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information <i>(LDM 2.b.)</i>	§ Name, Address and telephone number of RLA	Yes	Yes	
Sealed by LA. <i>(LDM 2.g.)</i>	§ Requires original signature	Yes	Yes	
Miss Dig Note <i>(800) 482-7171 (LDM.3.a.(8))</i>	§ Show on all plan sheets	Yes	Yes	
Zoning <i>(LDM 2.f.)</i>	§ Include all adjacent zoning	Yes	No	OSC – Need to add zoning of adjacent parcels
Survey information <i>(LDM 2.c.)</i>	§ Legal description or boundary line survey § Existing topography	Yes	Yes	Please show existing contours.
Existing plant material Existing woodlands or wetlands <i>(LDM 2.e.(2))</i>	§ Show location type and size. Label to be saved or removed. § Plan shall state if none	Yes	Yes	Please show all existing trees proposed to be saved on landscape plan.

Item	Required	Proposed	Meets Code	Comments
	exists.			
Soil types (LDM.2.r.)	§ As determined by Soils survey of Oakland county § Show types, boundaries	Yes	Yes	
Existing and proposed improvements (LDM 2.e.(4))	§ Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
Existing and proposed utilities (LDM 2.e.(4))	§ Overhead and underground utilities, including hydrants	Yes	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	§ Provide proposed contours at 2' interval	Yes	Yes	
Snow deposit (LDM.2.g.)	§ Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	§ Clear sight distance within parking islands § No evergreen trees	Yes	Yes	
Name, type and number of ground cover (LDM 1.c.(5))	§ As proposed on planting islands	Yes	Yes	On detail
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	§ A minimum of 300 SF to qualify § 6" curbs § Islands minimum width 10' BOC to BOC	Yes	Yes	
Curbs and Parking stall reduction (c)	§ Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
Contiguous space limit (i)	Maximum of 15 contiguous spaces	Yes	Yes	
Plantings around Fire Hydrant (d)	§ No plantings with matured height greater than 12' within 10 ft. of fire hydrants	Yes	Yes	
Landscaped area (g)	§ Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	landscaped			
Clear Zones (LDM 2.3.(5))	§ 25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of parking spaces not including access aisles x 10%	§ A = x 10% = sf	NA		
B = Total square footage of additional paved vehicular use areas (not including A) under 50,000 SF) x 5%	§ B = x 5% = sf § Paved Vehicular access area includes loading areas	NA		
C = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	§ C = x 1% = sf	NA		
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of parking spaces not including access aisles x 7%	§ A = 7% x xx sf = xx sf	NA		
B = Total square footage of additional Paved vehicular use areas (not including A) under 50,000 SF) x 2%	§ B = 2% x xx sf = xx sf	NA		
C = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 0.5%	§ C = 0.5% x 0 sf = 0 SF	NA		
All Categories				
D = A+B or A+C Total square footage of landscaped islands	xx + xx = xxx SF	NA		
E = D/75 Number of canopy trees required	§ xxx/75=xx Trees	NA		
Perimeter Green space	§ 1 Canopy tree per 35 lf ; xx/35=x trees § Perimeter green space	NA		

Item	Required	Proposed	Meets Code	Comments
	canopy Plantings required at 1 per 35 LF. Sub-canopy trees can be used under overhead utility lines.			
Parking land banked	§ NA	No		
Berms, Walls and ROW Planting Requirements				
Berms				
§ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours				
§ Berm should be located on lot line except in conflict with utilities.				
§ Berms should be constructed with 6" of top soil.				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	§ Refer to Residential Adjacent to Non-residential berm requirements chart	NA		
Planting requirements (LDM 1.a.)	§ LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	§ Refer to ROW landscape screening requirements chart for corresponding requirements.	No		<ol style="list-style-type: none"> 1. Within limitations posed by powerline and easements, which should be added to the plans (ie vegetation height restrictions, grading restrictions), please add berms and landscaping to greatest extent possible across entire Grand River frontage. 2. Waiver can be sought (and will be supported) for planting/berm shortages caused by easement limitations) 3. Waiver can be sought (and will be supported) for areas where wetlands have immediate frontage on Grand River ROW.
Cross-Section of Berms (LDM 2.j)				

Item	Required	Proposed	Meets Code	Comments
Slope, height and width	§ Label contour lines § Maximum 33% § Min. 5 feet flat horizontal areas	Yes	Yes	
Type of Ground Cover	§ Minimum 6" topsoil § Seed/sod or other living groundcover	Seeded lawn on 6" topsoil	Yes	
Setbacks from Utilities	§ Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	No		Please add note stating specific plant height restrictions and grading restrictions under power lines and within easements.
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	§ Freestanding walls should have brick or stone exterior with masonry or concrete interior	No		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (2)(3) (5)	§ 25 ft	25'	Yes	
Min. berm crest width	§ 3 ft	No	No	See above
Minimum berm height (9)	§ 3 ft.	No	No	See above
3' wall	§ (4)(7)	No		
Canopy deciduous or large evergreen trees Notes (1) (10)	§ 1 tree per 40 l.f. § 390/40 = 10 trees	0	No	See above
Sub-canopy deciduous trees Notes (2)(10)	§ 1 tree per 25 l.f. § 395/25 = 16 trees	0	No	See above
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	§ 1 tree per 45 l.f. § 395/45 = 9 trees along Grand River § Total length of West Parkway Drive = 2579lf § 2579*2=5158lf § 5158/45=115 trees required (distributed along both sides of West Parkway)	0	No	1. See above 2. Waiver can be sought if Oakland County Road Commission does not allow some or all of required trees. Please specify # of trees impacted. 3. Waiver can be sought if powerline easements do not allow some or all of

Item	Required	Proposed	Meets Code	Comments
				<p>required trees. Please specify # of trees impacted.</p> <p>4. Street trees along West Parkway Drive are required on both sides of the road wherever allowed.</p> <p>5. Please revise calculations and plantings to add street trees on both sides of West Parkway Drive.</p> <p>6. It is acceptable to defer right of way and street tree plantings on development sites to that development. Please add note on plans (in areas of future development) stating that required street trees and right-of-way plantings in areas to be developed in future will be planted with that development and clearly indicate the boundaries of those areas on the landscape plan. Please specify the number of street trees to be planted by future developments.</p>
<p>Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2) Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM</p>				
<p>Interior Street to Industrial subdivision (LDM 1.d.(2))</p>	<p>§ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</p> <p>§ No evergreen trees closer than 20 ft.</p> <p>§ 3 sub canopy trees per 40 l.f. of total linear frontage</p> <p>§ Plant massing for 25% of ROW</p>	<p>NA</p>		

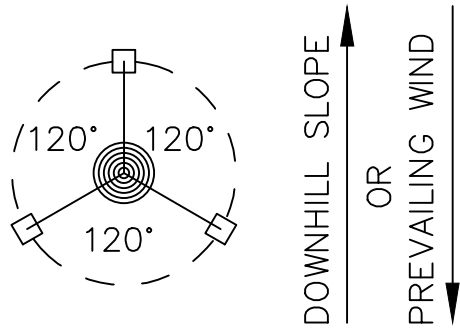
Item	Required	Proposed	Meets Code	Comments
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		NA		
Transformers/Utility boxes/Fire Hydrants (LDM 1.e from 1 through 5)	§ A minimum of 2ft. separation between box and the plants § Ground cover below 4" is allowed up to pad. § No plant materials within 8 ft. from the doors § No trees within 10' of fire hydrants	No		1. No transformers/utility boxes/fire hydrants are shown on plan. 2. If any of the above are proposed, they should be added to the landscape plan to ensure proper placement of plants.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	§ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. § xx If x 8ft = xx SF	NA		
Zoning Sec 5.5.3.D.ii. All items from (b) to (e)	§ If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	NA		
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	§ Clusters shall cover 70-75% of the basin rim area § 10" to 14" tall grass along sides of basin § Refer to wetland for basin mix	NA		1. Detention is within existing wetland. 2. Plantings should conform with wetland requirements.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	§ Provide intended date	Between Mar 15-Nov 15	Yes	
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	§ Include statement of intent to install and guarantee all materials for 2 years. § Include a minimum one cultivation in June, July and August for the 2-year warranty	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
	period.			
Plant source (LDM 2.n & LDM 3.a.(2))	§ Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	§ A fully automatic irrigation system and a method of draining is required with Final Site Plan	No		<u>Need for final site plan</u>
Other information (LDM 2.u)	§ Required by Planning Commission	NA		
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	§ City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) – Include all cost estimates				
Quantities and sizes	§ Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	
Type and amount of lawn		Yes	Yes	
Cost estimate (LDM 2.t)	§ For all new plantings, mulch and sod as listed on the plan	Yes	Yes	<u>Please provide updated costs on Final Site Plans per final plans</u>
Planting Details/Info (LDM 2.i) – Utilize City of Novi Standard Details				
Canopy Deciduous Tree	§ Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		No	No	Please add.
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	§ Plant materials shall not be planted within 4 ft. of property line	No	No	Please add note near property lines stating this.
Plant Materials & Existing Plant Material (LDM 3.b)	§ Clearly show trees to be removed and trees to be saved.	Yes	Yes	
Landscape tree	§ Substitutions to	No		

Item	Required	Proposed	Meets Code	Comments
credit (LDM3.b.(d))	landscape standards for preserved canopy trees outside woodlands/wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM			
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	Canopy Deciduous shall be 3" and sub-canopy deciduous shall be 2.5" caliper. Refer to section for more details	Yes	Yes	
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	No	Yes	
Recommended trees for planting under overhead utilities (LDM 3.e)	§ Label the distance from the overhead utilities	No		
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	§ Trees shall be mulched to 4" depth and shrubs, groundcovers to 3" depth § Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. § Refer to section for additional information	Yes	Yes	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.



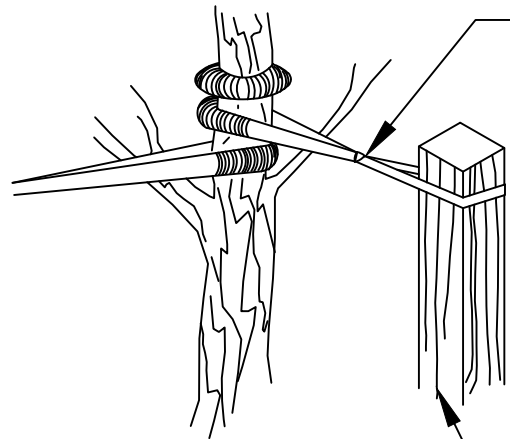
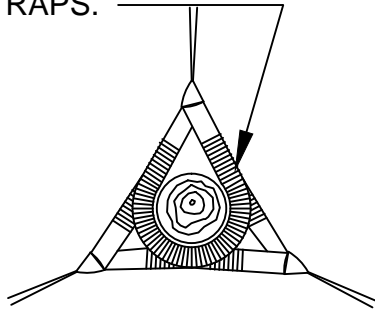
NOTE:

ORIENT STAKING/GUYING TO PREVAILING WINDS, EXCEPT ON SLOPES GREATER THAN 3:1 ORIENT TO SLOPE.

USE SAME STAKING/GUYING ORIENTATION FOR ALL PLANTS WITHIN EACH GROUPING OR AREA

STAKING/GUYING LOCATION

2"-3" WIDE BELT-LIKE FABRIC STRAPS.



2"-3" WIDE BELT-LIKE FABRIC STRAPS.

STAKES AS SPECIFIED 3 PER TREE

GUYING DETAIL

STAKING DETAIL

TREE STAKING DETAIL

Not to scale

WETLANDS REVIEW

July 13, 2015

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: West Park Office Buildings New Roadway (JSP15-0030)
Wetland Review of the Preliminary Site Plan (PSP15-0100)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed West Park Office Buildings New Roadway project prepared by HRC dated June 19, 2015 (Plan). Our office has also reviewed wetland plan sheets W1 through W5 that were received from Brooks Williamson and Associates, Inc. on Friday, July 10, 2015. The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. ECT conducted a wetland evaluation for the property on Friday, June 26, 2015.

The proposed development is located south of Grand River Avenue between Wixom Road and Novi Road in Section 17. The Plan proposes the construction of a new roadway that will provide access to future development areas on the subject property (parcels 22-17-101-010 and 22-17-101-012). The future development may include several office buildings and associated parking lots.

The current Plan is limited to the construction of a road connecting Grand River Avenue to the north with Providence Park Drive along the east side of the subject property. The Plan also includes the construction of three (3) proposed storm water detention areas and two (2) proposed wetland mitigation areas.

The proposed project site contains several areas of on-site wetlands. The wetland figures provided by the applicant's wetland consultant (Brooks Williamson and Associates, Inc., BWA), indicate a total of seven (7) on-site wetlands (see Figure 1, Figure 2 and Site Photos). While several of the wetlands appear to be regulated by both the City of Novi and the Michigan Department of Environmental Quality (MDEQ), a few of the wetlands (Wetland 5, 6, and 7) have previously been determined to be non-essential, and therefore not regulated by the City of Novi. These three (3) wetlands are quite small, have little storm water storage volume capacity or other essential wetland attributes.

The Preliminary Site Plan is currently **Approved as Noted** for Wetlands. ECT recommends that the Applicant address the concerns noted in the *Comments* section prior to submitting the Final Site Plan.

Onsite Wetland Evaluation

ECT visited the site on June 26, 2015 for the purpose of a wetland boundary verification. The focus of the inspection was to review site conditions in order to determine whether on-site wetland is considered regulated under the City of Novi's Wetland and Watercourse Protection Ordinance. Complete wetland boundary flagging was not in place for all on-site wetlands at the time of this site inspection. However, based on previous site visits and wetland assessments (ECT wetland boundary verification conducted in 2006/2007) for this property, the wetland boundaries appear to be accurately depicted on the Plan (see Figure 2 for approximate wetland locations).

In general, all wetlands on this site (Wetlands 1, 2, 3, 4, 5, 6 and 7) are emergent and scrub-shrub wetlands with several smaller areas of open water. The wetlands are generally of low to moderate quality.

What follows is a summary of the wetland impacts associated with the proposed site design.

Wetland Impact Review

The Plan includes three (3) impact areas (Impact Areas A, B, and C). It should be noted that the existing wetland areas, and areas of proposed wetland impacts, have been provided by the Applicant's wetland consultant. All three of the proposed wetland impacts appear to be associated with Wetland 1. It should also be noted the Plan proposes impacts to Wetlands 5 and 6, however, as discussed above, these wetlands (along with Wetland 7) have been deemed non-essential and therefore not regulated by the City of Novi (or MDEQ).

Wetland Impact Area A is associated with the construction of Storm Water Management Area No. 3 as well as the proposed roadway itself. Based on the previously-issued MDEQ wetland permit (MDEQ No. 09-63-0227-P, expiring January 7, 2016), it appears as if this proposed impact has been authorized by MDEQ. The specific wetland and/or wetland buffer (i.e., 25-foot wetland setback) impacts associated with this impact have been provided on the Plan. The applicant has clearly indicated and quantified all wetland and wetland buffer impacts individually on the Plan. This information is necessary prior to final approval of the site plan and associated permitting.

Wetland Impact Areas B and C are associated with the construction of Storm Water Management Areas No. 1 and No. 2 as well as the proposed roadway itself. Again, based on the previously-issued MDEQ wetland permit (MDEQ No. 09-63-0227-P, expiring January 7, 2016), it appears as if these proposed impacts to Wetland 1 have been authorized by MDEQ.

The following table (Table 1) summarizes the proposed wetland impacts:

Table 1. Proposed Wetland Impacts

<i>Wetland Impact Area</i>	<i>City Regulated?</i>	<i>MDEQ Regulated?</i>	<i>Fill Area (acre)</i>	<i>Fill (cubic yards)</i>	<i>Cut Area (acre)</i>	<i>Cut (cubic yards)</i>
A (Wetland 1)	Yes	Yes	0.40	391	0.25	2,000
B (Wetland 1)	Yes	Yes	0.15	615	N/A	N/A
C (Wetland 1)	Yes	Yes	0.06	325	0.06	78
TOTAL	--	--	0.61	1,331	0.31	2,078

In addition to wetland impacts, the Plan also appears to include impacts to the 25-foot natural features setback (i.e., wetland buffer). These impacts appear to be individually quantified on the Plan (Figure 12, Sheet W3). The following is a summary of the proposed wetland buffer impact areas:

Wetland Impact Area A (Buffer) – 0.36-acre impact
Wetland Impact Area B (Buffer) – 0.01-acre impact
Wetland Impact Area C (Buffer) – 0.56-acre impact
TOTAL 0.93-acre

It should be noted that the Plan indicates impacts to wetland buffers in addition to those associated with Wetland Impact Areas A, B, and C. The reason for this is that the applicant is proposing to construct on-site wetland mitigation in two separate locations. It is our understanding that the construction of this wetland is to mitigate for the impact to wetland associated with the construction of the new roadway as well as wetland impacts associated with future buildings and parking areas as shown. It should be noted that the MDEQ wetland permit issued for the site has approved the wetland mitigation plan. Therefore, Figure 12 (*Wetland and Watercourse Setback Impact*) on Sheet W3 appears to indicate impacts to the existing wetland buffer in Wetland Impact Areas A, B, and C totaling 0.93-acre (as noted above). An additional 0.90-acre of wetland buffer impacts appears to be indicated as well, in the south end of the site. These impacts are associated with one of the two (2) proposed wetland mitigation areas. The existing 25-foot wetland buffers in this southern area will be incorporated into the layout of the proposed South Mitigation Area.

The Plan also indicates the installation of eight (8) equalization culverts within wetlands (Figure 11, *Location of Culverts*, Sheet W3). The Applicant has previously provided a culvert schedule/table that provides associated lengths and inverts of the proposed culverts (this was included with the City of Novi Wetland & Watercourse Use Permit Application for the project).

Landscaping and Proposed Storm Water Basins

A detailed grading and landscaping plan for each of the proposed storm water detention basin areas should be provided on the Plan. It is currently difficult to ascertain what landscaping material (seed mixes/forbs/shrubs) are being proposed in these areas, specifically, in Storm Water Management Area No. 3. It is recommended that the proposed grading and planting in these areas be further clarified to ensure that the proposed vegetation will be appropriate for the resulting hydrologic conditions.

It should be noted that one of the wetland shrubs proposed on Sheet W10 appears to be a species non-native to Michigan. We suggest that the applicant provide a substitute for the highbush cranberry (*Viburnum Opulus V. AM*) currently shown on the plan. If *Viburnum trilobum* (American cranberry bush viburnum) is available this would be an acceptable substitute. Please review and revise the Plan as necessary.

The applicant should provide the supplier information for the proposed seed mixes on the Plan. As noted on the Plan, if any species is unavailable, a suitable alternative shall be planted with approval by consultant. If substitutions to the seed mix currently shown are made, ECT asks that a revised seed mix list be provided to the City for review/approval.

Wetland Mitigation Requirements

As noted above, the Plan now indicates two (2) main areas of proposed wetland mitigation. One of these areas (North Mitigation) is located on the north end of the site, just south of proposed Storm Water Management Area No. 3. This area of proposed wetland mitigation is also referred to as Area #4 (Figure 18, Sheet W5).

The second area (South Mitigation) is located in the southern section of the site. The South Mitigation Area is proposed to be constructed in upland areas located between sections of existing Wetlands 1 and 2 near the southern property boundary. This area of proposed wetland mitigation contains areas referred to as Areas #1, #2, and #3 (Figure 18, Sheet W5).

The areas of proposed wetland mitigation appear to be clearly quantified on the Plan as follows:

Wetland Mitigation Area 1 (South Mitigation Area) – 0.25-acre	
Wetland Mitigation Area 2 (South Mitigation Area) – 0.57-acre	
Wetland Mitigation Area 3 (South Mitigation Area) – 0.38-acre	
<u>Wetland Mitigation Area 4 (North Mitigation Area) – 0.42-acre</u>	
TOTAL	1.62-acre

Again, it is our understanding that the construction of this wetland is to mitigate for the impact to wetland associated with the construction of the new roadway as well as the future buildings and parking areas as shown. It should be noted that the MDEQ wetland permit issued for the site has approved the wetland mitigation plan.

In addition, to constructed wetland areas, the applicant has proposed to conduct invasive vegetative species control in the northern and southern sections of the site. The Plan notes that in the sections indicated on the Plan (Figure 13, *Wetland and Watercourse Setback Creation*, Sheet W4), areas will be treated by a certified professional applicator for common reed (*Phragmites australis*) and reed canary grass (*Phalaris arundinacea*). The Applicant should provide some additional information on the Plan with regard to the length/duration of the proposed invasive species treatments.

Permits & Regulatory Status

The on-site wetlands, with the exception of Wetlands 5, 6, and 7, appear to be regulated by the City of Novi as well as the MDEQ. The Applicant has provided the current MDEQ wetland permit (MDEQ Permit No. 09-63-0227-P) associated with this site. The Permit was issued on January 7, 2011 and expires on January 7, 2016.

The project as proposed will require a City of Novi *Wetland Non-Minor Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback*. This permit and authorization are required for the proposed impacts to wetlands and regulated wetland setbacks. As noted, on-site Wetlands 1, 2, 3, and 4 appear to be considered essential by the City as they appear to meet one or more of the essentiality criteria set forth in the City's Wetland and Watercourse Protection Ordinance (i.e., storm water storage/flood control, wildlife habitat, etc.).

Wetland Comments

ECT recommends that the Applicant address the items noted below in subsequent site Plan submittals (prior to submitting the Final Site Plan):

1. The Applicant should provide additional information on the Plan with regard to the length/duration of the proposed invasive species treatments proposed within the existing on-site wetland areas.
2. The highbush cranberry (*Viburnum Opulus V. AM*) currently shown on the plan is a non-native shrub. The applicant shall provide an acceptable, native substitute for it. American cranberry bush (*Viburnum*) is available this would be an acceptable substitute. Please review and revise the Plan as necessary.
3. The applicant should provide the supplier information for the proposed seed mixes on the Plan. As noted on the Plan, if any species is unavailable, a suitable alternative shall be planted with approval by consultant. If substitutions to the seed mix currently shown are made, ECT asks that a revised seed mix list is provided to the City for review/approval.

West Park Office Buildings New Roadway (JSP15-0030)
Wetland Review of the Preliminary Site Plan (PSP15-0100)
July 13, 2015
Page 5 of 9

Recommendation

The Preliminary Site Plan is currently **Approved as Noted** for Wetlands. ECT recommends that the Applicant address the concerns noted in the *Comments* section prior to submitting the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

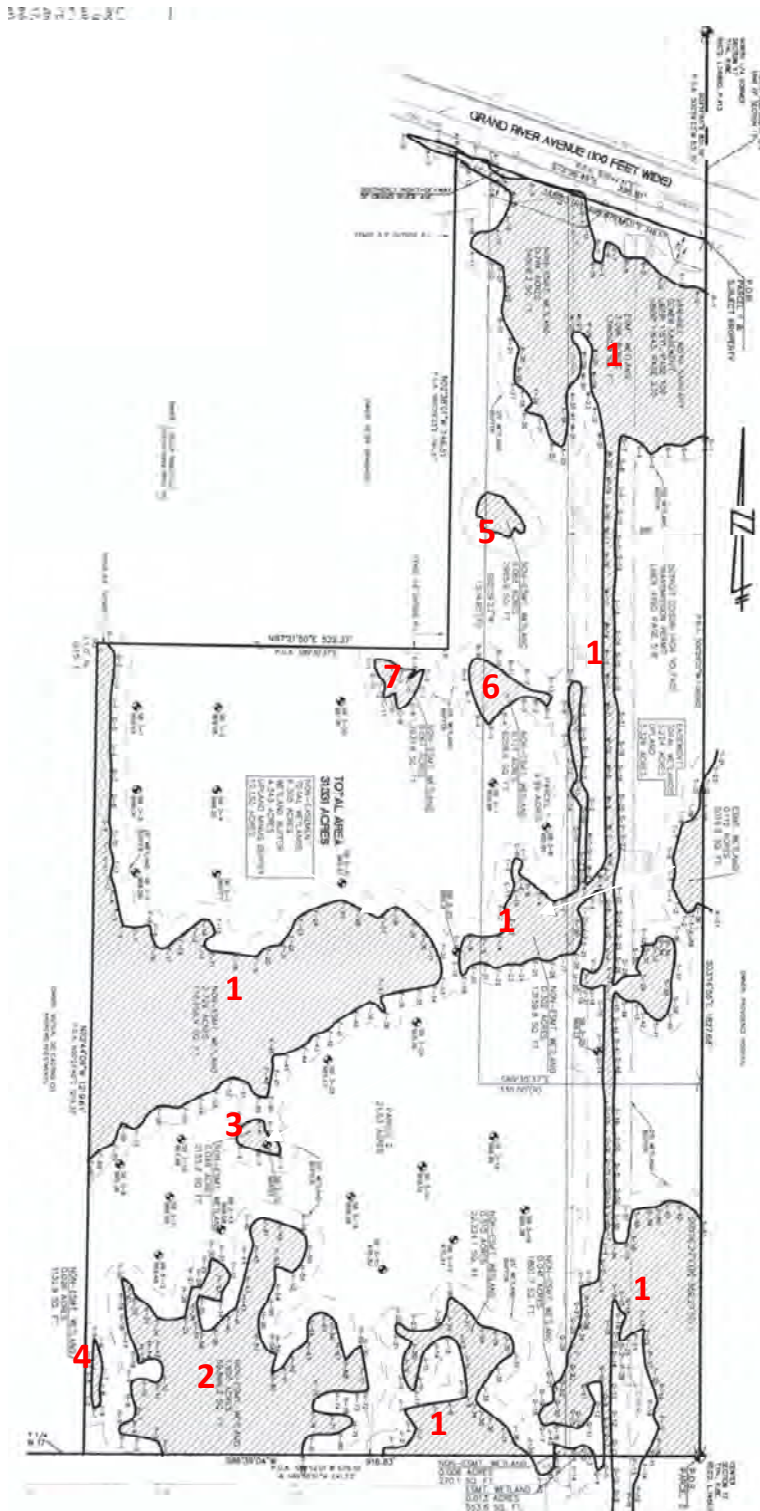
cc: Sri Komaragiri, City of Novi Planner
Rick Meader, City of Novi Landscape Architect
Stephanie Ramsay, City of Novi Customer Service

Attachments: Figure 1, Figure 2, and Site Photos



Figure 1 (Above). City of Novi Regulated Wetland & Woodland Map (approximate property boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue).

Figure 2 (Below). Wetland survey drawing provided for wetland evaluation previously conducted by ECT (approximately 2007). Provided to show approximate wetland boundaries and overall wetland locations.



Site Photos



Photo 1. Looking north at Wetland 1 (ECT, 6/26/15)



Photo 2. Looking north at open water area of Wetland 1 (ECT, 6/26/15)



Photo 3. Looking south at Wetland 1 north central area of proposed roadway (ECT, 6/26/15)



Photo 4. Looking north towards Grand River Ave. and northern extent of Wetland 1 (ECT, 6/26/15)

WOODLANDS REVIEW

July 13, 2015

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 West Ten Mile Road
Novi, MI 48375

Re: West Park Office Buildings – New Roadway (JSP15-0030)
Woodland Review of the Preliminary Site Plan (PSP15-0100)

Dear Ms. McBeth:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed West Park Office Buildings New Roadway project prepared by HRC dated June 19, 2015 (Plan). Our office has also reviewed wetland plan sheets L-1 and L-2 prepared by Russell Design dated July 11, 2015. The Plan was reviewed for conformance with the City of Novi Woodland Protection Ordinance Chapter 37. ECT conducted a woodland evaluation for the property on Friday, June 26, 2015.

The proposed development is located south of Grand River Avenue between Wixom Road and Novi Road in Section 17. The Plan proposes the construction of a new roadway that will provide access to future development areas on the subject property (parcels 22-17-101-010 and 22-17-101-012). The future development may include several office buildings and associated parking lots.

The current Plan is limited to the construction of a road connecting Grand River Avenue to the north with Providence Park Drive along the east side of the subject property. The Plan also includes the construction of three (3) proposed storm water detention areas.

The proposed project site contains one (1) area of City-Regulated Woodland (see Figure 1 and Site Photos). The area that has been designated as City-Regulated Woodland is located in the southeast corner of the subject property.

The Preliminary Site Plan is currently **Approved as Noted** for Woodlands. ECT recommends that the Applicant address the concerns noted in the *Comments* section prior to submitting the Final Site Plan.

The purpose of the Woodlands Protection Ordinance is to:

- 1) *Provide for the protection, preservation, replacement, proper maintenance and use of trees and woodlands located in the city in order to minimize disturbance to them and to prevent damage from erosion and siltation, a loss of wildlife and vegetation, and/or from the destruction of the natural habitat. In this regard, it is the intent of this chapter to protect the integrity of woodland areas as a whole, in recognition that woodlands serve as part of an ecosystem, and to place priority on the preservation of woodlands, trees, similar woody vegetation, and related natural resources over development when there are no location alternatives;*
- 2) *Protect the woodlands, including trees and other forms of vegetation, of the city for their economic support of local property values when allowed to remain uncleared and/or unharvested and for their natural beauty, wilderness character of geological, ecological, or historical significance; and*

- 3) *Provide for the paramount public concern for these natural resources in the interest of health, safety and general welfare of the residents of the city.*

Onsite Woodland Evaluation

ECT has reviewed the City of Novi Official Woodlands Map and completed an onsite Woodland Evaluation on Friday, June 26, 2015. An existing tree survey has been completed for this property by Michael J. Dul & Associates, Inc. The *Tree Survey and Inventory Plan* (Sheet C03) contains existing tree survey information (tree locations, tag numbers, species, diameter, condition and elevation as base of tree).

The surveyed trees have been marked with aluminum tree tags allowing ECT to compare the tree diameters reported on the *Tree Survey and Inventory Plan* to the existing tree diameters in the field. ECT found that the information provided on the Plan appears to accurately depict the location, species composition and the size of the existing trees. ECT took a sample of diameter-at-breast-height (DBH) measurements and found that the data provided on the Plan was consistent with the field measurements.

The entire site is approximately 31 acres with regulated woodland mapped across only a small portion in the southeast section. The majority of the site consists of previously-disturbed open areas, utility corridor (ITC), wetland areas and relatively-immature wooded areas. It appears as if the proposed site development will involve a relatively minor amount of impact to regulated woodlands and will include a small number of tree removals.

The majority of the trees on-site are cottonwood (*Populus deltoides*), silver maple (*Acer saccharinum*), black willow (*Salix sp.*), shagbark hickory (*Carya ovata*), red oak (*Quercus rubra*) and several other species. The area designated as City-Regulated Woodland consists of ash (*Fraxinus sp.*), elm (*Ulmaceae sp.*), pear (*Pyrus sp.*) and red oak (*Quercus rubra*).

Based on the information provided on the Plan, the maximum size tree diameter on the site appears to be a 36-inch diameter silver maple (#750). This tree appears to be proposed for preservation under the current site development plan. In terms of habitat quality and diversity of tree species, the project site is of fair quality. The majority of the wooded areas consist of relatively immature growth trees of good to fair health.

After our woodland evaluation and review of the *Tree Survey and Inventory Plan* submitted by the applicant's woodland consultant, there are a total of six (6) trees on-site that meet the minimum caliper size for designation as a specimen tree. These trees include:

- 24" diameter silver maple (no tag) (24" is the minimum caliper size for specimen trees);
- 36" diameter silver maple (#750) (24" is the minimum caliper size for specimen trees);
- 26" diameter ash (#743) (24" is the minimum caliper size for specimen trees);
- 24" diameter ash (#727) (24" is the minimum caliper size for specimen trees);
- 30" diameter ash (#725) (24" is the minimum caliper size for specimen trees);
- 28" diameter ash (#716) (24" is the minimum caliper size for specimen trees).

Of these 6 potential specimen trees, 4 of these trees will be saved and 2 are proposed for removal. The Applicant should be aware of the City's Specimen Tree Designation as outlined in Section 37-6.5 of the Woodland Ordinance. This section states that:

"A person may nominate a tree within the city for designation as a historic or specimen tree based upon documented historical or cultural associations. Such a nomination shall be made upon that form provided by the community development department. A person may nominate a tree within the city as a specimen tree based upon its size and good health. Any species may be nominated as a specimen tree for consideration by the planning commission.

Any tree designated by the planning commission as an historical or specimen tree shall be so depicted on an historic and specimen tree map to be maintained by the community development department. The removal of any designated specimen or historic tree will require prior approval by the planning commission. Replacement of the removed tree on an inch for inch basis may be required as part of the approval".

Proposed Woodland Impacts and Replacements

As shown, there appear to be relatively minor impacts to regulated woodlands associated with the proposed site development. It appears as if the proposed work (proposed road and storm water detention basins) will involve the removal of seven (7) trees located within designated City-Regulated Woodland area. It should be noted that the City of Novi replacement requirements pertain to regulated trees with d.b.h. greater than or equal to 8 inches.

Based on our review of the *Tree Survey and Inventory Plan* the impacts to on-site trees/woodlands are as follows:

- Total number of trees to be removed: 57
- Total number of City-Regulate trees removed: 7
- Regulated Stems to be Removed 8" to 11": 2 x 1 replacement (Requiring 2 Replacements)
- Stems to be Removed 11" to 20": 3 x 2 replacements (Requiring 6 Replacements)
- Stems to be Removed 20" to 30": 1 x 3 replacements (Requiring 3 Replacements)
- Stems to be Removed 30"+: 1 x 4 replacements (Requiring 4 Replacements)
- Total Woodland Replacement Tree Credits Required: 15

The current Plan appears to provide for on-site Woodland Replacement Trees. The Plan appears to propose the following Woodland Replacement Trees:

13 – white spruce (*Picea glauca*) – (@ 1.5 to 1 replacement ratio = 8 Woodland Replacement Credits);
4 – sugar maple (*Acer saccharum* 'Green Mountain') = 4 Woodland Replacement Credits;
3 – red oak (*Quercus rubrum*) = 3 Woodland Replacement Credits;
Total Proposed Woodland Replacement Credits = 15

With regard to the location of woodland replacement trees, the Woodland Ordinance states:

- *The location of replacement trees shall be subject to the approval of the planning commission and shall be such as to provide the optimum enhancement, preservation and protection of woodland areas. Where woodland densities permit, tree relocation or replacement shall be within the same woodland areas as the removed trees. Such woodland replanting shall not be used for the landscaping requirements of the subdivision ordinance or the zoning landscaping;*

- *Where the tree relocation or replacement is not feasible within the woodland area, the relocation or replacement plantings may be placed elsewhere on the project property;*
- *Where tree relocation or replacement is not feasible within the woodland area, or on the project property, the permit grantee shall pay into the city tree fund monies for tree replacement in a per tree amount representing the market value for the tree replacement as approved by the planning commission. The city tree fund shall be utilized for the purpose of woodland creation and enhancement, installation of aesthetic landscape vegetation, provision of care and maintenance for public trees and provision and maintenance of specialized tree care equipment. Tree fund plantings shall take place on public property or within right-of-ways with approval of the agency of jurisdiction. Relocation or replacement plantings may be considered on private property provided that the owner grants a permanent conservation easement and the location is approved by the planning commission;*
- *Where replacements are installed in a currently non-regulated woodland area on the project property, appropriate provision shall be made to guarantee that the replacement trees shall be preserved as planted, such as through a conservation or landscape easement to be granted to the city. Such easement or other provision shall be in a form acceptable to the city attorney and provide for the perpetual preservation of the replacement trees and related vegetation.*

The applicant shall demonstrate that the all proposed Woodland Replacement Trees will be guaranteed to be preserved as planted with a conservation easement or landscape easement to be granted to the city.

City of Novi Woodland Review Standards and Woodland Permit Requirements

Based on Section 37-29 (*Application Review Standards*) of the City of Novi Woodland Ordinance, the following standards shall govern the granting or denial of an application for a use permit required by this article:

No application shall be denied solely on the basis that some trees are growing on the property under consideration. However, the protection and conservation of irreplaceable natural resources from pollution, impairment, or destruction is of paramount concern. Therefore, the preservation of woodlands, trees, similar woody vegetation, and related natural resources shall have priority over development when there are location alternatives.

In addition, *"The removal or relocation of trees shall be limited to those instances when necessary for the location of a structure or site improvements and when no feasible and prudent alternative location for the structure or improvements can be had without causing undue hardship".*

There are a relatively small number of replacement trees required for the construction of the proposed development (roadway). The development site is surrounded by Grand River Avenue to the north, Providence Hospital to the east, Catholic Central High School to the south and retail/commercial developments to the west. Some degree of impacts to on-site trees and Regulated Woodlands appears to be unavoidable if this site is to be developed. ECT suggests that the applicant consider preserving existing trees to the greatest extent possible during the planning and development of the remainder (future use areas) of this site.

Comments and Recommendations

ECT recommends that the Applicant address the items noted below in subsequent site Plan submittals prior to receiving Woodland approval:

1. The Applicant is encouraged to provide preservation/conservation easements for any areas of remaining woodland.
2. The Applicant is encouraged to provide woodland conservation easements for any areas containing woodland replacement trees, if applicable. It is not clear how all of the proposed replacement trees will be guaranteed in perpetuity. As stated in the woodland ordinance:

Where replacements are installed in a currently non-regulated woodland area on the project property, appropriate provision shall be made to guarantee that the replacement trees shall be preserved as planted, such as through a conservation or landscape easement to be granted to the city. Such easement or other provision shall be in a form acceptable to the city attorney and provide for the perpetual preservation of the replacement trees and related vegetation.

3. A Woodland Permit from the City of Novi would be required for proposed impacts to any City-Regulated trees 8-inch d.b.h. or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be native species. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater. All coniferous replacement trees shall be 6-feet in height and be counted at a 1.5-to-1 replacement ratio.
4. A Woodland Replacement financial guarantee for the planting of replacement trees will be required, if applicable. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.

Based on a successful inspection of the installed on-site Woodland Replacement trees, seventy-five percent (75%) of the original Woodland Financial Guarantee shall be returned to the Applicant. Twenty-five percent (25%) of the original Woodland Replacement financial guarantee will be kept for a period of 2-years after the successful inspection of the tree replacement installation as a *Woodland Maintenance and Guarantee Bond*.

5. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site.
6. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the *Plant Material Spacing Relationship Chart for Landscape Purposes* found in the City of Novi *Landscape Design Manual*.

West Park Office Buildings New Roadway (JSP15-0030)
Woodland Review of the Preliminary Site Plan (PSP15-0100)
July 13, 2015
Page 6 of 10

Recommendation

The Preliminary Site Plan is currently **Approved as Noted** for Woodlands. ECT recommends that the Applicant address the concerns noted in the *Comments* section prior to submitting the Final Site Plan.

If you have any questions regarding the contents of this letter, please contact us.

Respectfully submitted,

ENVIRONMENTAL CONSULTING & TECHNOLOGY, INC.



Pete Hill, P.E.
Senior Associate Engineer

cc: Sri Komaragiri, City of Novi Planner
Rick Meader, City of Novi Landscape Architect
Stephanie Ramsay, City of Novi Customer Service

Attachments: Figure 1, Site Photos, Woodland Tree Replacement Chart



Figure 1. City of Novi Regulated Wetland & Woodland Map (approximate property boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue).

Site Photos



Photo 1. Looking north near southeastern corner of property (ECT, 6/26/15).



Photo 2. Looking west near northern section of property (ECT, 6/26/15).



Photo 3. Tree No. 604 (22-inch diameter cottonwood) proposed for removal along north section of site (ECT, 6/26/15).



Photo 4. Tree No. 604 (22-inch diameter cottonwood) proposed for removal along north section of site (ECT, 6/26/15).

Woodland Tree Replacement Chart

(from Chapter 37 Woodlands Protection)

(All canopy trees to be 2.5" cal or larger, evergreens as listed)

Common Name	Botanical Name
Black Maple	Acer nigrum
Striped Maple	Acer pennsylvanicum
Red Maple	Acer rubrum
Sugar Maple	Acer saccharum
Mountain Maple	Acer spicatum
Ohio Buckeye	Aesculus glabra
Downy Serviceberry	Amelanchier arborea
Yellow Birch	Betula alleghaniensis
Paper Birch	Betula papyrifera
American Hornbeam	Carpinus caroliniana
Bitternut Hickory	Carya cordiformis
Pignut Hickory	Carya glabra
Shagbark Hickory	Carya ovata
Northern Hackberry	Celtis occidentalis
Eastern Redbud	Cercis canadensis
Yellowwood	Cladrastis lutea
Beech	Fagus sp.
Thornless Honeylocust	Gleditsia triacanthos inermis
Kentucky Coffeetree	Gymnocladus dioica
Walnut	Juglans sp.
Eastern Larch	Larix laricina
Sweetgum	Liquidambar styraciflua
Tuliptree	Liriodendron tulipifera
Tupelo	Nyssa sylvatica
American Hophornbeam	Ostrya virginiana
White Spruce (1.5:1 ratio) (6' ht.)	Picea glauca
Black Spruce (1.5:1 ratio) (6' ht.)	Picea mariana
Red Pine	Pinus resinosa
White Pine (1.5:1 ratio) (6' ht.)	Pinus strobus
American Sycamore	Platanus occidentalis
Black Cherry	Prunus serotina
White Oak	Quercus alba
Swamp White Oak	Quercus bicolor
Scarlet Oak	Quercus coccinea
Shingle Oak	Quercus imbricaria
Burr Oak	Quercus macrocarpa
Chinkapin Oak	Quercus muehlenbergii
Red Oak	Quercus rubra
Black Oak	Quercus velutina
American Bladdernut	Staphylea trifolia
Bald Cypress	Taxodium distichum
American Basswood	Tilia americana
Hemlock (1.5:1 ratio) (6' ht.)	Tsuga canadensis

TRAFFIC REVIEW

July 7, 2015

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. 10 Mile Road
Novi, MI 48375

**SUBJECT: West Park Office Complex
Traffic Review for Preliminary Site Plan
JSP15-0030**

Dear Ms. McBeth,

The preliminary site plan for the above referenced project was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

1. General Comments

- a. The applicant, Whitehall Real Estate Interests, is proposing a new roadway that is located on the south side of Grand River Avenue, just west of Providence Parkway. The new roadway is approximately 1600' in length and ties into the west side of Providence Parkway.
- b. Three (3) future building sites, ranging in size from 15,000 S.F. to 80,950 S.F., are proposed along the future roadway.
- c. Providence Parkway is a City of Novi private road and Grand River Avenue is within the Road Commission for Oakland County's jurisdiction.
- d. The site is currently zoned as OSC with I-1 zoning to the west.

2. Potential Traffic Impacts – The applicant should consider providing information regarding future building use and potential traffic volumes in the Final Plan submittal in order to determine if any traffic studies will be required. This information will also be useful in verifying if turn lanes will be required at the exits to Grand River Avenue and Providence Parkway or if turn lanes/tapers will be necessary at any of the four (4) proposed driveways.

3. General Plan Comments – Review of the plan generally shows compliance with City standards; however, the following items at minimum may require further detail in the Final Plan submittal.

- a. Provide detailed (dimensioned) plans for the proposed site, including but not limited to:
 - i. Entrance radii and width at Grand River Avenue and Providence Parkway
 - ii. Proposed sidewalk
 - iii. Sight distance measurements
 - iv. Driveway radii and widths
 - v. Other details as necessary to convey design intent and the meeting of applicable City standards.
- b. The proposed roadway spacing generally shows compliance with City standards; however, the applicant should consider including dimensions to verify compliance.

4. Signing and Pavement Marking – The Preliminary Plan set did not include signing and pavement marking details. The applicant should consider including such details in the Final Site Plan submittal.



- 5. Bicycle and Pedestrian** – The City of Novi Non-Motorized Plan labels a proposed off-road trail within the limits of this site. The applicant should consider reviewing with the City the impact the proposed roadway would have on the future trail.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM

A handwritten signature in blue ink that reads "Paula K. Johnson".

Paula K. Johnson, PE
Senior Transportation Engineer

Cc: Matthew G. Klawon, PE

FIRE REVIEW



June 26, 2015

TO: Barbara McBeth- Deputy Director of Community Development
Sri Komaragiri- Plan Review Center

CITY COUNCIL

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RE: West Park Office

PSP#15-0100

Project Description: Review of new roadway and utilities only in section #17

Comments: Meets fire department standards

Recommendation: Recommended for approval

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT'S LETTER OF INTENT

WEST PARK INVESTORS, LLC

39525 13 Mile Rd., Suite 250

Novi, MI 48377

July 9, 2015

Sri Ravali Komaragiri
City of Novi
45175 Ten Mile Rd.
Novi, MI 48375

Re: West Park
Site Plan Approval
Novi, MI

Dear Sri,

In response to the review chart from the Pre-application meeting, set forth below are narrative statements from the petitioner in accordance with road and utilities site plan application requirements.

1. Intent of the proposal

The intent of our Site Plan Application petition is to obtain the necessary City approvals to proceed with wetland fill and mitigation (which by the terms of our State MDEQ Wetland permit must be substantially completed on or before January 6th, 2016), construction of the Access Roadway to serve the developable parcels on the site including associated mass grading, storm water management, site utilities, Grand River Drive access approach, berms, landscaping and emergency access connection to Providence Parkway. In order to compete for large-scale projects in Southeast Michigan, it is necessary to have all infrastructure improvements in place with the ability to deliver building product expeditiously, subject to the customary site plan approval process.

2. Timeline for roads and utilities construction and the reason

In the 4th quarter of this year, it is our intent to commence the site work shown on Sheets C03 and C04 as it pertains to Mass Grading, Wetland Filling and Mitigation and that portion of the Storm Water drainage system that will allow the site to drain without surface ponding. The balance of the work will be completed within the City of Novi allowable construction period.

3. Proposed schedule for building construction and the reason

The schedule for Building Construction is largely dependent upon market demand for Campus style build-to-suit projects that appeal to, and accommodate, specific users that are attracted to the Beck Road Interchange access, nearby retail and shopping along the Grand River Corridor and a Campus setting that has appealing natural land features (woodland, wetlands and water features). There is also a possibility that the subject site could provide for expansion of the St. John Providence Park Medical Campus depending upon the velocity of their growth and future Medical Office needs. Lastly, speculative construction may be considered subject to availability of financing, market strength and the available inventory of office/industrial product.

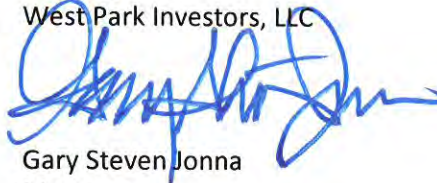
For reference purposes, we direct you to Drawing C01 (Proposed Overall Site Plan) which schematically illustrates the proposed buildings, parking and internal circulation.

4. Will this be a site condominium or lot split

We have yet to determine whether the site will be developed as a site condominium or conventional lot splits. Further discussions are needed with the Planning, Engineering and Assessing Departments with respect to the Access Roadway, potential for dedication of the Roadway, the possibility of a single-project SAD and various site development issues.

Let me know if you have additional questions.

Best regards,
West Park Investors, LLC



Gary Steven Jonna
Manager

Cc: Barb McBeth, City of Novi
Gary Tressel, HRC

APPLICANT'S RESPONSE LETTER



PRINCIPALS

George E. Hubbell
Thomas E. Biehl
Walter H. Alix
Keith D. McCormack
Nancy M. D. Faught
Daniel W. Mitchell
Jesse B. VanDeCreek
Roland N. Alix
Michael C. MacDonald
James F. Burton

SENIOR ASSOCIATES

Gary J. Tressel
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Timothy H. Sullivan

ASSOCIATES

Jonathan E. Booth
Marvin A. Olane
Marshall J. Grazioli
Donna M. Martin
Charles E. Hart
Colleen L. Hill-Stramsak
Bradley W. Shepler
Karyn M. Stickel

HUBBELL, ROTH & CLARK, INC.
OFFICE: 555 Hulet Drive
Bloomfield Hills, MI 48302-0360
MAILING: PO Box 824
Bloomfield Hills, MI 48303-0824
PHONE: 248.454.6300
FAX: 248.454.6312
WEBSITE: www.hrc-engr.com
EMAIL: info@hrc-engr.com

July 15, 2015

City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Attn: Sri Komaragiri, Planner

Re: West Park Office Complex
Preliminary Site Plan Approval
Response to City of Novi Planning Department Letter
Preliminary Site Plan Review
JSP#15-30

HRC Job No. 20150245

Dear Ms. Komaragiri:

The following are our responses to the Planning Department review letter dated July 9, 2015:

Petitioner
West Park Development

Review Type
Preliminary Site Plan

Property Characteristics

- Site Location: Section 17 ; south of Grand River Avenue and west of Beck Road
- Site School District: Novi Schools
- Site Zoning: I-1: Light Industrial District
- Adjoining Zoning: West: I-1- Light Industrial District & I-2 – General Industrial District; East: OSC-Office Service Commercial; North: B-2-Community Business District
- Site Use(s): Vacant
- Adjoining Uses: Industrial/Office/Medical
- Site Size: 31 Acres
- Building Size: Not applicable-Roads and Utilities only
- Plan Date: 06-19-2015

Project Summary

The applicant received a wetland mitigation permit from Department of Environmental quality on January 07, 2011. The permit expires on January 07, 2016. The applicant would like to proceed with wetland fill and mitigation, construction of the Access Roadway to serve the developable parcels on the site including associated mass grading, storm water management, site utilities, Grand River Avenue access approach, berms, landscaping and emergency access connection to Providence Parkway.

The current plan is reviewed according to section 6.1.1.E for review of the

proposed roads and any proposed utilities. This plan would require a City of Novi wetland permit for the proposed wetland mitigation measures.

Recommendation

Approval of the *Preliminary Site Plan is recommended*. The plan conforms to the requirements of the Zoning Ordinance, with additional details required at the time of Final Site Plan submittal. **Planning Commission approval of the Preliminary Site Plan, Wetland Permit and Stormwater Management plan is required.**

Ordinance Requirements

The plans for building construction and associated site developments are not provided at this point due to the speculative nature of the development. The current review is primarily based on Roads and Utilities construction only. All other items will be reviewed for conformance at a later stage when additional information is provided.

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. Please see the attached charts for information pertaining to ordinance requirements. Items in **bold** below must be addressed and incorporated as part of the final site plan submittal.

1. Aerial Photograph (Sec 6.1.E.v): Submittal of a recent aerial photo in a scale not smaller than 1"=200' is required. **Provide a recent aerial photo as requested.**

Response: A PDF Aerial with property lines and contours will be sent directly to the City for your use.

2. Site condominium (Sec 6.1.E.vi): *The applicant has not yet made a determination about the type of development. Staff has not reviewed the building and parking plans for conformance with the zoning ordinance. A lot of factors will be evaluated for conformance based on the site condominium layout, such as, but not limited to frontage, setbacks and parking in front yard, etc.*

Response: The Owner responded on July 9, 2015 with a letter attached for your consideration.

3. Sidewalk: **Label the proposed sidewalk along Grand River Avenue.**

Response: The sidewalk along Grand River Avenue will be labeled as a part of the Final Site Plan Submission.

4. Economic Impact: If known, the applicant is asked to provide economic impact information, such as the total cost of the proposed site

improvements, and the number of anticipated jobs created (during construction). **Please provide the requested information.**

Response: The Owner responded on July 9, 2015 with a letter addressing this issue – Copy of Letter is attached.

5. Development and Street Names: Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval. **Contact Richelle Leskun at 248-347-0475 to schedule a meeting with the Committee**

Response: The Owner would request this be delayed and be a requirement of Final Site Plan approval.

6. Other Reviews:
 - a. Engineering Review: Additional comments to be addressed with Final Site Plan submittal. Engineering recommends approval.
 - b. Landscape Review: Landscape review has identified few waivers that may be required. Refer to review letter for more comments. Landscape recommends approval.
 - c. Wetlands Review: Additional Comments to be addressed with Final Site Plan submittal. Wetlands recommend approval.
 - d. Woodlands Review: Additional Comments to be addressed with Final Site Plan submittal. Woodlands recommend approval.
 - e. Traffic Review: Additional Comments to be addressed with Final Site Plan submittal. Traffic recommends approval.
 - f. Facade Review: No buildings are proposed at this time.
 - g. Fire Review: Fire recommends approval.

PLANNING COMMISSION FINDINGS:

According to Section 6.1.E.2.B, The Planning Commission (or the City Council when designated as the reviewing body) shall consider the following factors in exercising its discretion over site plan approval:

- i. Whether the use proposed for the site is a use permitted in the district and complies with all the applicable requirements of the Novi Zoning Ordinance and/or any other code or ordinance regulating and controlling the use.
- ii. Whether traffic access to the site is such that vehicular congestion or other impairment of traffic may result from access to and from the site.
- iii. Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets.
- iv. Whether the zoning and use of surrounding land as they relate to the site being considered is such that the proposed use will be compatible with such surrounding zoning and use and will not be a physical barrier to the development of other surrounding lands.

- v. Whether the location of activities on the site, including the arrangement of buildings is such that activities may create noise, odor or other nuisances that would be a detriment to existing or future uses of abutting lands.

Response Letter

This Site Plan is scheduled to go before Planning Commission on July 22, 2015. Please provide the following **no later than Jul 15, 2015** if you wish to keep the schedule.

1. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.

Response: Response letter have been provided.

2. A PDF version of the all Site Plan drawings that were submitted for the Preliminary review AS IS, but including the recent changes made due to wetland and woodlands review and discussion.

Response: A PDF has been sent for your use.

3. A color rendering of the Site Plan, if any.

Response: Has been provided in PDF format by Russell Design.

Site Addressing

The applicant should contact the Building Division for an address prior to applying for a building permit. Building permit applications cannot be processed without a correct address. The address application can be found on the Internet at www.cityofnovi.org under the forms page of the Community Development Department. Please contact Jeannie Niland [248.347.0438] in the Community Development Department with any specific questions regarding addressing of sites.

Response: Understood.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

Response: Understood.

Chapter 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248- 347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Response: Understood – Please see Owner’s letter of July 9, 2015 for additional information.

Signage

Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Response: Understood.

PIANNING REVIEW CHART

Items in **Bold** need to be addressed by the applicant prior to the approval of the Preliminary Site Plan. Underlined items need to be addressed prior to the approval of the Final Site Plan

The applicant received a wetland mitigation permit from Department of Environmental quality on January 07, 2011. The permit expires on January 07, 2016. The applicant is interested to get the required approvals from the City to be able to complete the wetlands mitigation measures on site. City of Novi wetland permit cannot be issued without a site plan approval. **The site plan at a minimum should fulfill the requirements of section 6.1.E. Roads and Utilities Site Plan. This site plan would require Planning Commission approval.**

An illustrative plan as listed in 6.1.E.i is required. **An illustrative plan is considered as a concept plan and approval of the site plan shall not constitute approval of any development outside the roads and utilities. Rest of the site development other than roads and utilities will be reviewed as a separate site plan at a later stage prior to its construction.**

Zoning and Use Requirements				
Master Plan <i>(adopted August 25, 2010)</i>	Office Research Development and Technology	Office	Yes	
Area Study	The site does not fall under any special category	NA	Yes	

Zoning <i>(Effective December 25, 2013)</i>	I-1: Light Industrial	No Change to proposed zoning	Yes	
Uses Permitted <i>(Sec 3.1.18.B & C)</i>	Sec 3.1.18.B Principal Uses Permitted. Sec 3.1.18.C Special Land Uses	Uses to be determined when site plan is developed.	Yes/ No	All uses listed under Sec 3.1.18.C would require a special land use permit
Roads and Utilities Site Plan				
Site Plan <i>(Sec 6.1.E)</i>	- Site plans shall be submitted to the City for review of all plans that propose construction of new public and/or private roads, regardless of whether any buildings or other structures are proposed.	- Proposed private drive is to connect Providence Park way to Grand River Avenue. - The applicant has submitted a letter of intent which indicate the construction of wetland fill and mitigation, construction	Yes	Engineering is recommending approval with additional comments to be addressed during Final Site Plan
Item	Required Code	Proposed	Meets Code	Comments

	- Demonstrate the engineering feasibility if utilities are proposed	of the Access Roadway to serve the developable parcels on the site including associated mass grading, storm water management, site utilities, Grand River Avenue access approach, berms, landscaping and emergency access connection to Providence Parkway.		
Illustrative Plan <i>(Sec 6.1.E.i)</i>	Submittal of an illustrative plan required to show: future buildings, parking and landscaped areas, future lot lines, required building setbacks, public or private parks, open spaces, utility locations and storm water detention basins.	The submittal does not show additional information about proposed landscaped areas on site. The planting plan submitted refers to planting within wetland mitigation areas.	Yes	The plans for building construction are not determined at this point due to the speculative nature of the development. The current review is primarily based on Roads and Utilities construction only.

<p>Written Statement <i>(Sec 6.1.E.ii)</i></p>	<p>A written statement reinforcing the illustrative plan explaining in detail the full intent of the applicant, indicating type of structures contemplated, expected uses of property and scheduling of development is required.</p>	<p>Applicant has provided with a cover letter explaining the intent and schedule of construction</p>	<p>Yes</p>	
<p>Topographic Map <i>(Sec 6.1.E.iii)</i></p>	<p>A topographic map at a contour interval of not more than 2 feet is required.</p>	<p>Provided in sheet C-02</p>	<p>Yes</p>	
<p>Preliminary wetland Assessment <i>(Sec 6.1.E.iii)</i></p>	<p>The Preliminary Wetland Assessment shall also provide information on the drainage patterns and hydrologic character of the wetlands.</p>	<p>Applicant has submitted mitigation plans as were approved by MDEQ in 2011</p>		<p>Refer to wetland comments for further details.</p>

<p>Preliminary Woodland Assessment <i>(Sec 6.1.E.iii)</i></p>	<p>For woodlots greater than twenty (20) acres, one (1) sample per acre. Sample areas shall be a minimum of one-hundred (100) feet by fifty (50) feet. These samples shall include the type of understory vegetation, the predominant tree species in each sample area, and should be taken from dispersed areas within each woodlot. The city's Woodland Consultant will verify this information in the field at the time of the submittal of the conceptual development plan.</p>	<p>A tree survey showing the existing trees on site and possible tree removals is provided</p>	<p>Yes</p>	<p>Refer to woodland comments for further details.</p>
<p>Boundary Survey <i>(Sec 6.1.E.iv)</i></p>	<p>A boundary survey prepared by a registered land surveyor or civil engineer is required.</p>	<p>Provided in sheet C-02</p>	<p>Yes</p>	
<p>Aerial Photograph <i>(Sec 6.1.E.v)</i></p>	<p>Submittal of a recent aerial photo in a scale not smaller than 1"=200' is required.</p>	<p>Not Provided</p>	<p>No</p>	<p>Provide a scaled recent aerial photograph</p> <p>Response: Provided for your use.</p>

<p>Contemplated Storm and Sanitary Sewer design <i>(Sec 6.1.E.vi)</i></p>	<p>If utilities are not proposed to be constructed at the same time roads are constructed, the applicant shall submit a plan with an indication of the contemplated storm and sanitary sewer design with preliminary engineering calculations, and a preliminary topographic map indicating how the land area is proposed to be shaped.</p>	<p>Applicant has provided required information. Refer to Engineering review letter for further details</p>	<p>Yes</p>	
Item	Required Code	Proposed	Meets Code	Comments
<p>Site condominium <i>(Sec 6.1.E.vi)</i></p>	<p>If development is proposed as a site condominium, compliance with Section 6.3 is required, including the provision for Master Deed review.</p>	<p>Applicant has not yet made the determination</p>	<p>NA</p>	<p>This will be reviewed at the time of development for the rest of the site.</p>
<p>Exterior Lighting <i>(Sec. 5.7.5.A)</i></p>	<p>The following uses shall be exempt from the provisions of this Section: Roadway and airport lighting required by the appropriate public agency for health, safety and welfare purposes;</p>	<p>No lighting information is provided at this time</p>	<p>NA</p>	<p>Are there plans for proposing lighting along the proposed drive? Response: No Lighting Proposed A lighting and photometric plan is required for the rest of the development during site plan review for that phase.</p>
<p>Height, bulk, density and area limitations <i>(Sec 3.1.23)</i></p>				

Frontage on a Public Street. <i>(Sec. 5.12)</i>	No lot or parcel of land shall be used for any purpose permitted by this Ordinance unless said lot or parcel shall front directly upon a public street, unless otherwise provided for in this Ordinance.	The site plan includes two parcels (22-17-101-010 and 22-17-101-012, both fronting on Grand River Avenue.	Yes	Is the proposed drive going to be public or private? Response: To be determined during S.A.D. process. Refer to Engineering comments for further requirements.
Access to Major Thoroughfare <i>(Sec. 5.13)</i>	For uses making reference to this Section, vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive	Access to Grand River Avenue is proposed	Yes	
Maximum % of Lot Area Covered <i>(Sec 3.1.5.D)</i> (By All Buildings)	25%	Information not provided	No	Provide the tentative information which is current Response: Not Applicable – No Building are proposed at this time.
Building Height <i>(Sec. 4.65)</i>	35 ft. or 2.5 stories, whichever is less	Buildings are not proposed at this time	Yes	
Minimum Zoning Lot Size for each Unit in Ac <i>(Sec 3.1.5.D)</i>	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be		NA	

Minimum Zoning Lot Size for each Unit: Width in Feet (Sec 3.1.5.D)	determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space		NA	
Building Setbacks (Sec 3.1.23.D)				
Front	40ft.	Buildings are not proposed at this time	NA	Setbacks will be determined for conformance at the time of review of development plans for the rest of the site.
Rear	20ft.		NA	
Side	20ft.		NA	
Note To District Standards (Sec 3.6.2)				
Exterior Side Yard Abutting a Street (Sec 3.6.2.C)	All exterior side yards abutting a street shall provide setback equal to front yard	Not abutting a street	NA	
Off-Street Parking in Front Yard (Sec 3.6.2.E)	No Off-street parking is permitted in front yard unless all conditions in Sec 3.6.2.E are met	No parking is proposed in front yard	NA	Setbacks will be determined for conformance at the time of review of development plans for the rest of the site.
Off-Street Parking in Side and Rear Yards (Sec 3.6.2.F)	Off-street parking is allowed inside and rear yards unless the property abuts a residential district. If yes, additional requirements listed in Sec 3.6.2.F shall be met	A part of the rear yard abuts residential. Buildings and parking are not proposed at the time of this development. Areas shown are for illustrative purpose only.	NA	Review of setbacks is dependent on the location of proposed lot lines and front yard.

Setback from Residential District <i>(Sec 3.6.2.H)</i>	Additional yard setbacks are required if the property abuts residential. For I-1, 5 feet of setback per 1 foot of building height or 100 feet, whichever is greater			
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Item	Required Code	Proposed	Meets Code	Comments
Wetland/Water course Setback <i>(Sec 3.6.2.M)</i>	25ft. buffer from boundary of a wetland and 25ft. from the ordinary high-water mark of a watercourse is required.	Applicant is proposing to encroach into existing wetlands and buffers. The site plan involves wetland mitigation plans.	Yes	Refer to wetlands review for further details
Additional Building Height <i>(Sec 3.6.2.O)</i>	Additional height for up to 65 feet is allowed for certain sites provided the criteria in Sec 3.6.2.O are met.	Building height unknown.	NA	
Parking setback screening <i>(Sec 3.6.2.P)</i>	The required parking setback shall be screened per section 5.5.3.	Landscape plan is not provided. The current plan is being reviewed for roads and utilities only	NA	
Modification of parking setback requirements <i>(Sec 3.6.2.Q)</i>	The Planning Commission may modify parking setbacks provided such modification does not reduce the total area or setback area requirements on site	The applicant is not proposing changes to the allowed setbacks,	NA	
Sidewalk Requirements				

<p>Sidewalks Article XII <i>Sec. 11-276(b) & Sec. 11-279</i></p>	<ul style="list-style-type: none"> - A 6' -10' wide sidewalk shall be constructed along all arterial and collector roads except in industrial districts - All pedestrian safety paths shall be concrete and four (4) in. thick except residential driveway crossings which shall be six (6) in. thick, and industrial/commercial driveway crossings which shall be eight (8) in. thick. 	<p>A sidewalk is proposed along Grand River Avenue</p>	<p>No</p>	<p>Label the sidewalk along Grand River Avenue. Response: Labeling will be added at Final Site Plan Submission. Proposed roadway is to be developed according to public road standards. A sidewalk is required on both sides of the street. Refer to Engineering comments for further details. Response: Owner requests a deviation to only provide the walk on one side as shown.</p>
<p>Pedestrian Connectivity</p>	<p>Whether the traffic circulation features within the site and location of automobile parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in</p>	<p>Information regarding proposed sidewalks between the buildings is not provided.</p>	<p>NA</p>	<p>Pedestrian connectivity will be reviewed during the Site plan approval process for the rest of the development.</p>

	<p>relation to access streets</p>			
Building Code and other design standard Requirements				

Building Code	Building exits must be connected to sidewalk system or parking lot.	Information not provided, unable to determine	NA	
Design and Construction Standards Manual (DSM)	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	The plans are in general conformance. Some dimensions are missing	No	
Other Requirements				
Performance Standards (Sec 5.14)	Compliance with the requirements of Section 5.14 is required		NA	Compliance will be reviewed at a later stage during review of rest of the development.
Development and Street Names	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan approval	Street name is to be reviewed and approved by Street Naming Committee.		<u>Contact Richelle Leskun at 248-347-0475 to schedule a meeting with the Committee</u>
Development/ Business Sign	Signage if proposed requires a permit.			<u>For sign permit information contact Jeannie Niland 248-347-0438.</u>

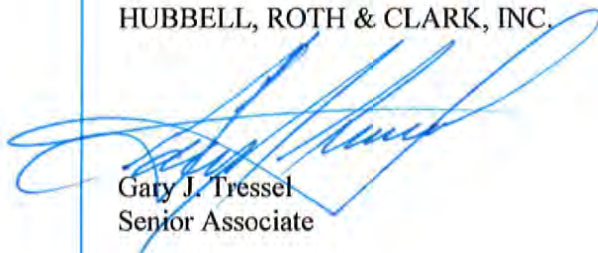
NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Gary J. Tressel
Senior Associate

GJT/nf

Enclosure

pc: City of Novi; Barbara McBeth
HRC; File



PRINCIPALS
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HUBBELL, ROTH & CLARK, INC.
 OFFICE: 555 Hulet Drive
 Bloomfield Hills, MI 48302-0360
 MAILING: PO Box 824
 Bloomfield Hills, MI 48303-0824
 PHONE: 248.454.6300
 FAX: 248.454.6312
 WEBSITE: www.hrc-engr.com
 EMAIL: info@hrc-engr.com

July 15, 2015

City of Novi
 45175 W. Ten Mile Road
 Novi, Michigan 48375

Attn: Jeremy Miller

Re: West Park Office Complex
 Preliminary Site Plan Approval
 Response to Engineering Preliminary Site Plan Review
 JSP#15-0030

HRC Job No. 20150245

Dear Mr. Miller:

The following are our responses to the Engineering review letter dated July 8, 2015:

Applicant
 WEST PARK INVESTORIS, LLC

Review Type
 Preliminary Site Plan

Property Characteristics

- Site Location: S. of Grand River Ave. and W. of Providence Park Ring Rd.
- Site Size: 31 .0 acres
- Plan Date: 06/19/15

Project Summary

- Construction of a road, storm water detention, and wetland mitigation for a future office park.
- 11 Storm water would be collected by three storm sewer collection system and detained in of three on detention basins.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 1 1 , the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. A right-of-way permit will be required from the City of Novi and Oakland County.

Response: Understood – Will Submit with Final Site Plan Documents.

2. Provide a traffic control sign table listing the quantities of each sign type proposed

for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.

Response: Understood – Will Submit with Final Site Plan Documents.

3. Traffic signs in the RCOC right-of-way will be installed by RCOC.

Response: Understood – Will Submit with Final Site Plan Documents.

4. Provide a note that compacted sand backfill shall be provided for all utilities within the influence of paved areas, and illustrate on the profiles.

Response: Understood – Will Submit with Final Site Plan Documents.

5. Provide a construction materials table on the Utility Plan listing the quantity and material type for each utility (water, sanitary and storm) being proposed.

Response: Understood – Will Submit with Final Site Plan Documents.

6. Provide a utility crossing table indicating that at least 18-inch vertical clearance will be provided, or that additional bedding measures will be utilized at points of conflict where adequate clearance cannot be maintained.

Response: Understood – Will Submit with Final Site Plan Documents.

7. Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Department for review.

Response: Understood – Will Submit with Final Site Plan Documents.

8. Clarify if the proposed road is planned to be a Public or Private road.

Response: Understood – Will Submit with Final Site Plan Documents.

9. Generally, all proposed trees shall remain outside utility easements. Where proposed trees are required within a utility easement, the trees shall maintain a minimum 5-foot horizontal separation distance from any existing or proposed utility. All utilities shall be shown on the landscape plan, or other appropriate sheet, to confirm the separation distance.

Response: Understood – Will Submit with Final Site Plan Documents.

10. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal. They can be found on the City website (www.cityofnovi.org/DesignManual).

Response: Understood – Will Submit with Final Site Plan Documents.

Water Main

11. Provide details for proposed water main connections.

Response: Understood – Will Submit with Final Site Plan Documents.

12. Show the water main connection on the north side of Grand River Ave.

Response: Understood – Will Submit with Final Site Plan Documents.

13. Note that a tapping sleeve, valve and well will be provided at the connection to the existing water main.

Response: Understood – Will Submit with Final Site Plan Documents.

14. Callout and provide details for a jack and bore under Grand River Ave. to connect to the existing water main on the north side of the road.

Response: Understood – Will Submit with Final Site Plan Documents.

15. Provide a profile for all proposed water main 8-inch and larger.

Response: Understood – Will Submit with Final Site Plan Documents.

16. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (-1 /07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Response: Understood – Will Submit with Final Site Plan Documents.

Sanitary Sewer

17. Provide a testing bulkhead immediately upstream of the sanitary connection point. Additionally, provide a temporary 1-foot deep sump in the first sanitary structure proposed upstream of the connection point, and provide a secondary watertight bulkhead in the downstream side of this structure.

Response: Understood – Will Submit with Final Site Plan Documents.

18. Provide profiles for all proposed sanitary sewer 8-inches and larger.

Response: Understood – Will Submit with Final Site Plan Documents.

19. Provide pipe material and slope for all proposed sanitary sewer.

Response: Understood – Will Submit with Final Site Plan Documents.

20. Provide a sanitary sewer basis of design.

Response: Understood – Will Submit with Final Site Plan Documents.

21. Seven (7) sealed sets of revised utility plans along with the MDEQ permit application (04/14 rev.) for sanitary sewer construction and the Streamlined Sanitary Sewer Permit Certification Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets. Also, the MDEQ can be contacted for an expedited review by their office

Response: Understood – Will Submit with Final Site Plan Documents.

Storm Sewer

22. A minimum cover depth of 3 feet shall be maintained over all storm sewers. Currently, a few pipe sections do not meet this standard. Grades shall be elevated and minimum pipe slopes shall be used to maximize the cover depth. In situations where the minimum cover cannot be achieved, Class V pipe must be used with an absolute minimum cover depth of 2 feet. An explanation shall be provided where the cover depth cannot be provided.

Response: Understood – Will Submit with Final Site Plan Documents.

23. Provide a 0.1-foot drop in the downstream invert of all storm structures where a change in direction of 30 degrees or greater occurs.

Response: Understood – Will Submit with Final Site Plan Documents.

24. Match the 0.80 diameter depth above invert for pipe size increases.

Response: Understood – Will Submit with Final Site Plan Documents.

25. Storm manholes with differences in invert elevations exceeding two feet shall contain a 2-foot deep plunge pool.

Response: Understood – Will Submit with Final Site Plan Documents.

26. Provide a four-foot deep sump and an oil/gas separator in the last storm structure prior to discharge to the storm water basins.

Response: Understood – Will Submit with Final Site Plan Documents.

27. Label all inlet storm structures on the profiles. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.

Response: Understood – Will Submit with Final Site Plan Documents.

28. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.

Response: Understood – Will Submit with Final Site Plan Documents.

29. Provide a schedule listing the casting type and other relevant information for each proposed storm structure on the utility plan. Round castings shall be provided on all catch basins except curb inlet structures.

Response: Understood – Will Submit with Final Site Plan Documents.

Storm Water Management Plan

30. The Storm Water Management Plan for this development shall be designed in accordance with the Storm Water Ordinance and Chapter 5 of the new Engineering Design Manual.

Response: Understood – Will Submit with Final Site Plan Documents.

31. Provide runoff coefficient, and impervious/pervious area size details and calculations for the proposed future building sites.

Response: Understood – Will Submit with Final Site Plan Documents.

32. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1 V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.

Response: Understood – Will Submit with Final Site Plan Documents.

33. Provide a 5-foot wide stone bridge allowing direct access to the standpipe from the bank of the basin during high-water conditions (i.e. stone 6-inches above high water elevation). Provide a detail and/or note as necessary.

Response: Understood – Will Submit with Final Site Plan Documents.

34. Provide an access easement for maintenance over the storm water detention system and the pretreatment structure. Also, include an access easement to the detention area from the public road right-of-way.

Response: Understood – Will Submit with Final Site Plan Documents.

35. Provide release rate calculations for the three design storm events (first flush, bank full, 100-year).

Response: Understood – Will Submit with Final Site Plan Documents.

36. The primary outlet standpipe shall be designed with a secondary outer pipe with numerous holes. The stone filter would rest against this outer pipe and would help protect the design standpipe from clogging.

Response: Understood – Will Submit with Final Site Plan Documents.

37. Provide a soil boring in the vicinity of the storm water basin to determine soil conditions and to establish the high water elevation of the groundwater table.

Response: Understood – Will Submit with Final Site Plan Documents.

38. Provide supporting calculations for the runoff coefficient determination.

Response: Understood – Will Submit with Final Site Plan Documents.

39. A runoff coefficient of 0.35 shall be used for all turf grass lawns (mowed lawns), a coefficient of 0.95 shall be used for impervious area, and a coefficient of 1.00 shall be used for open water.

Response: Understood – Will Submit with Final Site Plan Documents.

40. A 4-foot wide safety shelf is required one-foot below the permanent water surface elevation within the basin.

Response: Understood – Will Submit with Final Site Plan Documents.

Paving & Grading

41. Provide 5-foot wide sidewalk/pathway on both sides of the proposed road.

Response: Owner request waiver to have walked on only one side.

42. Provide a note on the Grading Plan stating the right-of-way pathway will match existing grades at both ends.

Response: Understood – Will Submit with Final Site Plan Documents.

43. The right-of-way sidewalk shall continue through the drive approach. If like materials are used for each, the sidewalk shall be striped through the approach. The sidewalk shall be increased to 6/8-inches thick along the crossing or match the proposed cross-section if the approach is concrete. The thickness of the sidewalk shall be increased to 6/8 inches across the drive approach. Provide additional spot grades as necessary to verify the maximum 2-percent cross-slope is maintained along the walk.

Response: Understood – Will Submit with Final Site Plan Documents.

44. Provide top of curb/walk and pavement/gutter grades to indicate height of curb.

Response: Understood – Will Submit with Final Site Plan Documents.

45. Add a note to the plan stating that the emergency access gate is to be installed and closed prior to the issuance of the first TCO in the

subdivision.

Response: Understood – Will Submit with Final Site Plan Documents.

46. Provide profiles for the proposed roadways that meet the following requirements:
- Elevations shown at every station and half station on tangent. At all vertical curves, tangent elevation shall be shown for P.C., P.I. and P.T. only, and corrected elevation shown at every station and half station. Length of vertical curves and stationing of P.C. and P.T. shall also be indicated.

Response: Understood – Will Submit with Final Site Plan Documents.

- Elevation at spring points of all intersection radii.

Response: Understood – Will Submit with Final Site Plan Documents.

- Profile of existing ground along centerline of proposed street; stationing of plan and profile; proposed grade elevation of top and curb.

Response: Understood – Will Submit with Final Site Plan Documents.

Off-Site Easements

47. Approval from the neighboring property owner for the work associated with the detention basins and connection to the Providence Park Ring Rd. shall be forwarded to the Engineering Division **prior to site plan approval.**

Response: Understood – Will Submit with Final Site Plan Documents.

The following must be submitted at the time of Final Site Plan submittal:

48. *A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.*

Response: Understood.

49. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

Response: Understood.

The following must be submitted at the time of Stamping Set submittal:

50. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.

Response: Understood.

51. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.

Response: Understood.

52. A draft copy of the 20-foot wide easement for the sanitary sewer to be constructed on the site must be submitted to the Community Development Department.

Response: Understood.

53. Executed copies of any required off-site utility easements must be submitted to the Community Development Department.

Response: Understood.

The following must be addressed prior to construction:

54. *A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).*

Response: Understood.

55. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.

Response: Understood.

56. An NPDES permit must be obtained from the MDEQ because the site is over 5 acres in size. The MDEQ requires an approved plan to be submitted with the Notice of Coverage.

Response: Understood.

57. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.

Response: Understood.

58. A permit for work within the right-of-way of Grand River Ave. must be obtained from the City of Novi. The application is available from the

City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.

Response: Understood.

59. A permit for work within the right-of-way of Grand River Ave. must be obtained from the Road Commission for Oakland County. Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating all work within the right-of-way will be constructed in accordance with the Road Commission for Oakland County standards.

Response: Understood.

60. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.

Response: Understood.

61. A permit for sanitary sewer construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the sanitary sewer plans have been approved.

Response: Understood.

62. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.

Response: Understood.

63. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.

Response: Understood.

64. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.

Response: Understood.

Jeremy Miller
July 15, 2015
HRC Job Number 20150245
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65. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Response: Understood.

66. Permits for the construction of each retaining wall must be obtained from the Community Development Department (248-347-0415).

Response: Understood.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Gary J. Tressel
Senior Associate

GJT/nf
Enclosure

Pc: City of Novi; Ben Croy, Brian Coburn, Sri Komaragiri, Sabrina Lilla
HRC; File



July 10, 2015

Ms. Sri Komaragiri
Ms. Barbara McBeth
Planning and Community Development
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

**RE: Response to Landscape Architectural Preliminary Site Plan Approval Review
JSP 15-0030**

Dear Ms. Komaragiri:

The comments provided in the preliminary site plan approval landscape review letter by Rick Meader dated April 20, 2015 have been addressed as follows. Revisions to our plans will appear on the final site plan documents.

EXISTING ELEMENTS

1. Existing Topography and Soils:

- a. We will add existing topography to our drawings.
- b. We will add soil type boundaries to our drawings.

2. Existing and Proposed Overhead and Underground Utilities including Hydrants:

- a. We will add proposed utilities and hydrants to our drawings.

3. Existing Trees Protection

- a. It appears that these items will be illustrated on the civil drawings. We will coordinate the same.

LANDSCAPE REQUIREMENTS

1. Adjacent to Public Rights-of-Way – Berm and Buffer:

- a. We will confirm where berms and required landscape can be installed and illustrate on our final site plan approval documents. We will request a waiver for the berm and plantings where they conflict with the existing wetlands.
- b. We will provide required shrubs where feasible. We will request a waiver for the required trees where they conflict with the wetlands or utility easements.

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Ms. Sri Komaragiri
Ms. Barbara McBeth

c. We will provide required shrubs where feasible. We will request a waiver for the required trees where they conflict with the wetlands or utility easements.

d. We will discuss locating trees in the OCRC road right of way along Grand River with Scott Sintkowski (248) 858-4842 and will take appropriate action.

2. Street Tree Requirements

a. We will provide the required trees along West Parkway Drive. We will request a waiver for trees that conflict with existing wetlands or utility easements. We will provide required shrubs where feasible.

b. We will illustrate the future development and will indicate the required numbers of street trees along West Parkway Drive. We understand that these trees are not required to be planted until the proposed development proceeds.

3. Storm Basin Landscape

a. The required landscape for the storm basins will be addressed by the responsible party.

OTHER REQUIREMENTS:

a. We will illustrate proposed contours on our final site plan approval documents

b. We will show the corner clearance zones at road intersections.

WOODLAND AND WETLAND IMPACTS:

a. We have addressed the comments related to the woodland review.

b. The review comments related to the wetland review will be addressed by the responsible party.

If we can provide you any additional information, or answer any questions, please do not hesitate to call.

Sincerely,
RUSSELL DESIGN, INC.



Marc R. Russell, ASLA
Principal

BROOKS WILLIAMSON

AND ASSOCIATES, INC.

ENVIRONMENTAL
CONSULTING

30366 BECK ROAD
WIXOM, MI 48393

PHONE 248 · 624 · 9100
FAX 248 · 624 · 3963

July 10, 2015

Ms. Barbara McBeth
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Re: West Park Office Buildings New Roadway (JSP15-0030)
Wetland Review of the Preliminary Site Plan (PSP15-0100)
Response to Wetland Review dated July 8, 2015

Dear Ms. McBeth:

The following are responses to the wetlands review letter from July 8, 2015:

Environmental Consulting & Technology, Inc. (ECT) has reviewed the Preliminary Site Plan for the proposed West Park Office Buildings New Roadway project prepared by HRC dated June 19, 2015 (Plan). The Plan was reviewed for conformance with the City of Novi Wetland and Watercourse Protection Ordinance and the natural features setback provisions in the Zoning Ordinance. ECT conducted a wetland evaluation for the property on Friday, June 26, 2015.

The proposed development is located south of Grand River Avenue between Wixom Road and Novi Road in Section 17. The Plan proposes the construction of a new roadway that will provide access to future development areas on the subject property (parcels 22-17-101-010 and 22-17-101-012). The future development may include several office buildings and associated parking lots.

The current Plan is limited to the construction of a road connecting Grand River Avenue to the north with Providence Park Drive along the east side of the subject property. The Plan also includes the construction of three (3) proposed storm water detention areas and two (2) proposed wetland mitigation areas.

The proposed project site contains several areas of on-site wetlands. The wetland figures provided by the applicant's wetland consultant (Brooks Williamson and Associates, Inc., BWA), indicate a total of seven (7) on-site wetlands (see Figure 1, Figure 2 and Site Photos). While several of the wetlands appear to be regulated by both the City of Novi and the Michigan Department of Environmental Quality (MDEQ), a few of the wetlands (Wetland 5, 6, and 7) have previously been determined to be non-essential, and therefore not regulated by the City of Novi. These three (3) wetlands are quite small, have little storm water storage volume capacity or other essential wetland attributes.

The Preliminary Site Plan is currently **Not Approved** for Wetlands. ECT recommends that the Applicant address the concerns noted in the *Comments* section prior to site plan approval.

Response: Recommendation is noted. Per discussions between BWA and Mr. Pete Hill of ECT, all urgent concerns as defined by Mr. Hill (being comments 1, 2, 3, and 5 as noted below) are addressed within this response. All other comments will be addressed prior to or concurrent with application for final site plan approval.

Onsite Wetland Evaluation

ECT visited the site on June 26, 2015 for the purpose of a wetland boundary verification. The focus of the inspection was to review site conditions in order to determine whether on-site wetland is considered regulated under the City of Novi's Wetland and Watercourse Protection Ordinance. Complete wetland boundary flagging was not in place for all on-site wetlands at the time of this site inspection. However, based on previous site visits and wetland assessments (ECT wetland boundary verification conducted in 2006/2007) for this property, the wetland boundaries appear to be accurately depicted on the Plan (see Figure 2 for approximate wetland locations).

In general, all wetlands on this site (Wetlands 1, 2, 3, 4, 5, 6 and 7) are emergent and scrub-shrub wetlands with several smaller areas of open water. The wetlands are generally of low to moderate quality.

What follows is a summary of the wetland impacts associated with the proposed site design.

Wetland Impact Review

The Plan includes three (3) impacts areas (Impact Areas A, B, and C). It should be noted that the existing wetland areas, and areas of proposed wetland impacts, do not appear to be clearly quantified on the Plan (i.e., acreage). All three of the proposed wetland impacts appear to be associated with Wetland 1. It should also be noted the Plan proposes impacts to Wetlands 5 and 6, however, as discussed above, these wetlands (along with Wetland 7) have been deemed non-essential and therefore not regulated by the City of Novi (or MDEQ).

Wetland Impact Area A is associated with the construction of Storm Water Management Area No. 3 as well as the proposed roadway itself. Based on the previously-issued MDEQ wetland permit (MDEQ No. 09-63-0227-P, expiring January 7, 2016), it appears as if this proposed impact has been authorized by MDEQ. The specific wetland and/or wetland buffer (i.e., 25-foot wetland setback) impacts associated with this impact area are not clear on the Plan. The applicant should clearly indicate and quantify all wetland and wetland buffer impacts individually on future site plan submittals. This information is necessary prior to final approval of the site plan and associated permitting.

Wetland Impact Areas B and C are associated with the construction of Storm Water Management Areas No. 1 and No. 2 as well as the proposed roadway itself. Again, based on the previously-issued MDEQ wetland permit (MDEQ No. 09-63-0227-P, expiring January 7, 2016), it appears as if these proposed impacts to Wetland 1 have been authorized by MDEQ. The specific wetland and/or wetland buffer (i.e., 25-foot wetland setback) impacts associated with these impact areas are also not clear on the Plan. As noted above, the applicant should clearly indicate and quantify all wetland and wetland buffer impacts individually on future site plan submittals. The future construction of the buildings and parking lots shown on the plan are not included as part of this application.

In addition to wetland impacts, the Plan also appears to include impacts to the 25-foot natural features setback (i.e., wetland buffer). However, these impacts do not appear to be individually quantified on the Plan. The applicant should clearly indicate and quantify all wetland buffer impacts individually on future site plan submittals. This information is necessary prior to final approval of the site plan and associated permitting.

It should be noted that the Plan indicates impacts to wetland buffers in addition to those associated with Wetland Impact Areas A, B, and C. The reason for this is that the applicant is proposing to construct on-site wetland mitigation in two separate locations. It is our understanding that the construction of this wetland is to mitigate for the impact to wetland associated with the construction of the new roadway as well as wetland impacts associated with future buildings and parking areas as shown. It should be noted that the MDEQ wetland permit issued for the site has approved the wetland mitigation plan. Therefore, Figure 12 (*Wetland and Watercourse Setback Impact*) on Sheet W3 appears to indicate impacts to the existing wetland buffer in Wetland Impact Areas A, B, and C totaling 0.93-acre. An additional 0.90-acre of wetland buffer impacts appears to be indicated as well, in the south end of the site. These impacts are associated with one of the two (2) proposed wetland mitigation areas. The existing 25-foot wetland buffers in this southern area will be incorporated into the layout of the proposed South Mitigation Area. Impacts necessary for construction of the proposed roadway and for the proposed Wetland Mitigation Area construction should be indicated clearly (and quantified) on the Plan.

The Plan also indicates the installation of eight (8) equalization culverts within wetlands (Figure 11, *Location of Culverts*, Sheet W3). The Applicant should provide a culvert schedule/table that provides associated lengths and inverts of the proposed culverts.

Landscaping and Proposed Storm Water Basins

A detailed grading and landscaping plan for each of the proposed storm water detention basin areas should be provided on the Plan. It is currently difficult to ascertain what landscaping material (seed mixes/forbs/shrubs) are being proposed in these areas, specifically, in Storm Water Management Area No. 3. It is recommended that the proposed grading and planting in these areas be further clarified to ensure that the proposed vegetation will be appropriate for the resulting hydrologic conditions.

It should be noted that one of the wetland shrubs proposed on Sheet W10 appears to be a species non-native to Michigan. We suggest that the applicant provide a substitute for the highbush cranberry (*Viburnum Opulus V. AM*) currently shown on the plan. If *Viburnum trilobum* (American cranberry bush viburnum) is available this would be an acceptable substitute. Please review and revise the Plan as necessary.

The applicant should provide the supplier information for the proposed seed mixes on the Plan. As noted on the Plan, if any species is unavailable, a suitable alternative shall be planted with approval by consultant. If substitutions to the seed mix currently shown are made, ECT asks that a revised seed mix list be provided to the City for review/approval.

Wetland Mitigation Requirements

As noted above, the Plan now indicates two (2) areas of proposed wetland mitigation. One of these areas (North Mitigation) is located on the north end of the site, just south of proposed Storm Water Management Area No. 3. The second area (South Mitigation) is located in the southern section of the site. The South Mitigation Area is proposed to be constructed in upland areas located between sections of existing Wetlands 1 and 2 near the southern property boundary.

As with the proposed areas of wetland impacts, the areas of proposed wetland mitigation do not appear to be clearly quantified on the Plan. The applicant should clearly indicate and quantify all wetland mitigation acreages individually on future site plan submittals. This information is necessary prior to final approval of the site plan and associated permitting.

Again, it is our understanding that the construction of this wetland is to mitigate for the impact to wetland associated with the construction of the new roadway as well as the future buildings and parking areas as shown. It should be noted that the MDEQ wetland permit issued for the site has approved the wetland mitigation plan.

In addition, to constructed wetland areas, the applicant has proposed to conduct invasive vegetative species control in the northern and southern sections of the site. The Plan notes that in the sections indicated on the Plan (Figure 13, *Wetland and Watercourse Setback Creation*, Sheet W4), areas will be treated by a certified professional applicator for common reed (*Phragmites australis*) and reed canary grass (*Phalaris arundinacea*). The Applicant should provide some additional information on the Plan with regard to the length/duration of the proposed invasive species treatments.

Permits & Regulatory Status

The on-site wetlands, with the exception of Wetlands 5, 6, and 7, appear to be regulated by the City of Novi as well as the MDEQ. The Applicant has provided the current MDEQ wetland permit (MDEQ Permit No. 09-63-0227-P) associated with this site. The Permit was issued on January 7, 2011 and expires on January 7, 2016.

The project as proposed will require a City of Novi *Wetland Non-Minor Use Permit* as well as an *Authorization to Encroach the 25-Foot Natural Features Setback*. This permit and authorization are required for the proposed impacts to wetlands and regulated wetland setbacks. As noted, on-site Wetlands 1, 2, 3, and 4 appear to be considered essential by the City as they appear to meet one or more of the essentiality criteria set forth in the City's Wetland and Watercourse Protection Ordinance (i.e., storm water storage/flood control, wildlife habitat, etc.).

Wetland Comments

ECT recommends that the Applicant address the items noted below in subsequent site Plan submittals prior to receiving Wetland approval:

1. The applicant should clearly indicate and quantify the quantity (acreage) of all existing wetland and wetland buffer areas individually on future site plan submittals. This information is necessary prior to final approval of the site plan and associated permitting.

Response: BWA has updated Sheets W1-W5 to clearly and individually indicate and quantify all existing wetland and wetland buffer areas. The following figures have been updated or added to the W1-W5 plan set to reflect this alteration: Figure 3, Figure 19.

2. The applicant should clearly indicate and quantify all proposed wetland and wetland buffer impacts individually on future site plan submittals. This information is necessary prior to final approval of the site plan and associated permitting.

Response: BWA has updated Sheets W1-W5 to clearly and individually indicate and quantify all areas of wetland and wetland buffer impact. The following figures have been updated or added to the W1-W5 plan set to reflect this alteration: Figure 5, Figure 7, and Figure 12.

3. Impacts necessary for construction of the proposed roadway and for the proposed Wetland Mitigation Area construction should be indicated clearly on the Plan.

Response: BWA has updated Sheets W1-W5 to clearly indicate all impacts necessary for construction of the proposed roadway and for the proposed Wetland Mitigation Area construction. The following figures have been updated or added to the W1-W5 plan set to reflect this alteration: Figure 5, Figure 7, and Figure 12.

4. The Applicant should provide a culvert schedule/table that provides associated lengths and inverts of the proposed culverts.

Response: The Applicant provided a culvert schedule/table that provides associated lengths and inverts of the proposed culverts as a part of the City of Novi Wetlands Use Permit Application - Supplementary Information text, dated June 12, 2015. The culvert schedule/table can be found on page 9 of said document.

5. The applicant should clearly indicate and quantify all wetland mitigation acreages individually on future site plan submittals. This information is necessary prior to final approval of the site plan and associated permitting.

Response: BWA has updated Sheets W1-W5 to clearly and individually indicate and quantify all wetland mitigation acreages. The following figures have been updated or added to the W1-W5 plan set to reflect this alteration: Figure 18.

6. The Applicant should provide some additional information on the Plan with regard to the length/duration of the proposed invasive species treatments.

Response: The Applicant will provide some additional information on the Plan with regard to the length/duration of the proposed invasive species treatments prior to or concurrent with application for final site plan approval.

7. The highbush cranberry (*Viburnum Opulus* V. AM) currently shown on the plan is a non-native shrub. The applicant shall provide an acceptable, native substitute for it. American cranberry bush (*Viburnum*) is available this would be an acceptable substitute. Please review and revise the Plan as necessary.

Response: The Applicant will provide an acceptable, native substitute for *Viburnum opulus v. am* prior to or concurrent with application for final site plan approval. The recommended substitute of *Viburnum trilobum* is noted.

8. The applicant should provide the supplier information for the proposed seed mixes on the Plan. As noted on the Plan, if any species is unavailable, a suitable alternative shall be planted with approval by consultant. If substitutions to the seed mix currently shown are made, ECT asks that a revised seed mix list is provided to the City for review/approval.

9. **Response: The Applicant will provide all supplier information for the proposed seed mixes on the Plan. As noted on the Plan, if any species is unavailable, a suitable alternative shall be planted with approval by BWA. If substitutions to the seed mix currently shown are made, a revised seed mix list will be provided to the City for review/approval. All information relating to any of the preceding will be provided prior to or concurrent with application for final site plan approval.**

Recommendation

The Preliminary Site Plan is currently **Not Approved** for Wetlands. ECT recommends that the Applicant address the concerns noted in the *Comments* section prior to site plan approval.

If you have any questions regarding the contents of this letter, please contact us.

Response: Recommendation is noted. Per discussions between BWA and Mr. Pete Hill of ECT, all urgent concerns as defined by Mr. Hill (being comments 1, 2, 3, and 5 as noted above) have been addressed within this response. Comment 4 has also been addressed. All other comments will be addressed prior to or concurrent with application for final site plan approval.

Sincerely,



Don Berninger
Brooks Williamson and Associates, Inc.

cc: Mr. Gary Jonna, West Park Investors, LLC
Mr. Gary Tressel, HRC
Mr. Pete Hill, ECT
Ms. Sri Komaragiri, City of Novi Planner
Mr. Rick Meader, City of Novi Landscape Architect
Ms. Stephanie Ramsay, City of Novi Customer Service

Attachments: Figure 1 (ECT Included)
Figure 2 (ECT Included)
Site Photos (ECT Included)
Sheets W1-W5 (BWA Response)



Figure 1 (Above). City of Novi Regulated Wetland & Woodland Map (approximate property boundary shown in red). Regulated Woodland areas are shown in green and regulated Wetland areas are shown in blue).

Figure 2 (Below). Wetland survey drawing provided for wetland evaluation previously conducted by ECT (approximately 2007). Provided to show approximate wetland boundaries and overall wetland locations.

Site Photos



Photo 1. Looking north at Wetland 1 (ECT, 6/26/15)



Photo 2. Looking north at open water area of Wetland 1 (ECT, 6/26/15)



Photo 3. Looking south at Wetland 1 north central area of proposed roadway (ECT, 6/26/15)



Photo 4. Looking north towards Grand River Ave. and northern extent of Wetland 1 (ECT, 6/26/15)



July 10, 2015

Ms. Sri Komaragiri
Ms. Barbara McBeth
Planning and Community Development
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

**RE: Response to West Park Office Buildings New Roadway (JSP15-0030)
Woodland Review of the Preliminary Site Plan (PSP15-0100)**

Dear Ms. Komaragiri:

The comments provided in the preliminary site plan approval landscape review letter by Pete Hill of ECT dated July 10, 2015 have been addressed as follows.

WOODLANDS

Pursuant to a conversation with Pete Hill we are in agreement with the plan review and on-site evaluation as follows:

1. It should be noted that the Applicant states that a total of 45 regulated trees shall be removed requiring a total of 79 Woodland Replacement credits. Based on our review of the Plan it appears as if only seven (7) regulated trees are proposed for removal requiring fifteen (15) Woodland Replacement trees. ECT suggests that the Applicant better describe how these quantities were derived and review and revise the Plan as necessary.

The on-site inventory of the existing trees was conducted by another firm. We will amend our drawings to reflect the removal of seven trees and the 15 required replacements. These changes will be submitted as part of our final site plan approval drawings.

2. The current Plan does appear to provide for on-site Woodland Replacement Trees. The applicant should review and revise the Plan in order to better indicate how the Woodland Replacement requirements will be met on-site. It is recommended that the applicant provide a table that specifically describes the species and quantities of proposed Woodland Replacement trees.

We have included a legend, plant schedule and corresponding symbols identifying the proposed tree locations. We believe this provides sufficient designation.

3. Norway spruce (Picea abies) is not an acceptable Woodland Replacement tree species. In addition, it should be noted that while white spruce (Picea glauca) is acceptable as a Woodland Replacement species, it will be credited at a 1.5-to-1 replacement ratio. Please review and revise the Plan as necessary in order to provide the necessary number of Woodland Replacement trees. A list of acceptable Woodland Replacement Tree species is attached.

We will amend our drawings to reflect that all 15 required replacements will be white spruce (*Picea glauca*).

4. The Plan shall clearly indicate the locations, sizes, species and quantities of all Woodland Replacement trees. It is recommended that the applicant provide a table that specifically describes the species and quantities of proposed Woodland Replacement trees.

See #2 above.

5. The Applicant is encouraged to provide preservation/conservation easements for any areas of remaining woodland.

This request will be addressed by the owner.

6. The Applicant is encouraged to provide woodland conservation easements for any areas containing woodland replacement trees, if applicable. It is not clear how all of the proposed replacement trees will be guaranteed in perpetuity.

The request to provide a conservation easement will be addressed by the owner. We are intimately aware of the ordinance requiring the guarantee of all required plant material. Historically the owner has adhered to this requirement on all of his projects. This project will be no different.

7. A Woodland Permit from the City of Novi would be required for proposed impacts to any City-Regulated trees 8-inch d.b.h. or greater. Such trees shall be relocated or replaced by the permit grantee. All replacement trees shall be native species. All deciduous replacement trees shall be two and one-half (2 ½) inches caliper or greater. All coniferous replacement trees shall be 6-feet in height and be counted at a 1.5-to-1 replacement ratio.

We will provide the required replacements on our drawings as part of the final site plan submission.

8. A woodland replacement financial guarantee for the planting of replacement trees will be required, if applicable. This financial guarantee will be based on the number of on-site woodland replacement trees (credits) being provided at a per tree value of \$400.

Understood.

Based on a successful inspection of the installed on-site Woodland Replacement trees, seventy-five percent (75%) of the original Woodland Financial Guarantee shall be returned to the Applicant. Twenty-five percent (25%) of the original Woodland Replacement financial guarantee will be kept for a period of 2-years after the successful inspection of the tree replacement installation as a Woodland Maintenance and Guarantee Bond.

Understood.

9. The Applicant will be required to pay the City of Novi Tree Fund at a value of \$400/credit for any Woodland Replacement tree credits that cannot be placed on-site.

Understood.

Page 2
Ms. Sri Komaragiri

10. Replacement material should not be located 1) within 10' of built structures or the edges of utility easements and 2) over underground structures/utilities or within their associated easements. In addition, replacement tree spacing should follow the Plant Material Spacing Relationship Chart for Landscape Purposes found in the City of Novi Landscape Design Manual.

Understood.

Due to the findings mentioned above, we will be responsible to provide the 15 replacements if deciduous or 23 replacements if evergreen. We will provide a woodland permit.

If we can provide you any additional information, or answer any questions, please do not hesitate to call.

Sincerely,
RUSSELL DESIGN, INC.

A handwritten signature in black ink that reads "MARC R. RUSSELL". The signature is stylized and includes a long horizontal flourish at the end.

Marc R. Russell, ASLA
Principal



PRINCIPALS
George E. Hubbell
Thomas E. Biehl
Walter H. Alix
Keith D. McCormack
Nancy M.D. Faught
Daniel W. Mitchell
Jesse B. VanDeCreek
Roland N. Alix
Michael C. MacDonald
James F. Burton

SENIOR ASSOCIATES
Gary J. Tressel
Kenneth A. Melchior
Randal L. Ford
William R. Davis
Dennis J. Benoit
Robert F. DeFrain
Thomas D. LaCross
Albert P. Mickalich
Timothy H. Sullivan

ASSOCIATES
Jonathan E. Booth
Marvin A. Olane
Marshall J. Grazioli
Donna M. Martin
Charles E. Hart
Colleen L. Hill-Stramsak
Bradley W. Shepler
Karyn M. Stichel

HUBBELL, ROTH & CLARK, INC.
OFFICE: 555 Hulet Drive
Bloomfield Hills, MI 48302-0360
MAILING: PO Box 824
Bloomfield Hills, MI 48303-0824
PHONE: 248.454.6300
FAX: 248.454.6312
WEBSITE: www.hrc-engr.com
EMAIL: info@hrc-engr.com

July 15, 2015

City of Novi
45175 W. Ten Mile Road
Novi, Michigan 48375

Attn: Barbara McBeth, AICP, Deputy Director of Community Development

Re: West Park Office Complex HRC Job No. 20150245
Preliminary Site Plan Approval
Response to Preliminary Site Plan Traffic Review
JSP15-0030

Dear Ms. McBeth:

The following are our responses to the AECOM Traffic response letter dated July 7, 2015:

The preliminary site plan for the above referenced project was reviewed to the level of detail provided and AECOM recommends **approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

1. General Comments

- a. The applicant, Whitehall Real Estate Interests, is proposing a new roadway that is located on the south side of Grand River Avenue, just west of Providence Parkway. The new roadway is approximately 1600' in length and ties into the west side of Providence Parkway.
- b. Three (3) future building sites, ranging in size from 15,000 S.F. to 80,950 S.F., are proposed along the future roadway.
- c. Providence Parkway is a City of Novi private road and Grand River Avenue is within the Road Commission for Oakland County's jurisdiction.
- d. The site is currently zoned as OSC with I-1 zoning to the west.

2. Potential Traffic Impacts – The applicant should consider providing information regarding future building use and potential traffic volumes in the Final Plan submittal in order to determine if any traffic studies will be required. This information will also be useful in verifying if turn lanes will be required at the exits to Grand River Avenue and Providence Parkway or if turn lanes/tapers will be necessary at any of the four (4) proposed the driveways.

Response:

3. General Plan Comments – Review of the plan generally shows compliance with City standards; however, the following items at minimum may require further detail in the Final Plan submittal.

- a. Provide detailed (dimensioned) plans for the proposed site, including but not limited to:
 - i. Entrance radii and width at Grand River Avenue and Providence Parkway

- ii. Proposed sidewalk
- iii. Sight distance measurements
- iv. Driveway radii and widths
- v. Other details as necessary to convey design intent and the meeting of applicable City standards.

Response: Understood and we will work with the City and R.C.O.C. to resolve any issues. R.C.O.C. has given Preliminary Geometric Approval to the proposed roadway connection to Grand River Avenue.

- b. The proposed roadway spacing generally shows compliance with City standards; however, the applicant should consider including dimensions to verify compliance.

Response: Understood and will furnish with Final Site Plan Submission.

- 4. **Signing and Pavement Marking** – The Preliminary Plan set did not include signing and pavement marking details. The applicant should consider including such details in the Final Site Plan submittal.

Response: Understood and will furnish with Final Site Plan Submission.

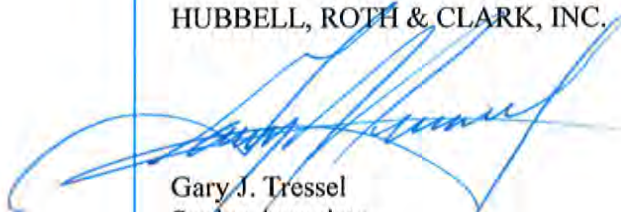
- 5. **Bicycle and Pedestrian** – The City of Novi Non-Motorized Plan labels a proposed off-road trail within the limits of this site. The applicant should consider reviewing with the City the impact the proposed roadway would have on the future trail.

Response: Understood and will furnish with Final Site Plan Submission.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Gary J. Tressel
Senior Associate

GJT/nf
Enclosure

pc: AECOM; Paula Johnson
HRC; C. Hill-Stramsak, File