



LIVING & LEARNING ENRICHMENT CENTER JSP19-08

LIVING & LEARNING ENRICHMENT CENTER JSP 19-08

Public hearing at the request of Living & Learning Enrichment Center for Special Land Use, Preliminary Site Plan and Storm Water Management plan approval. The subject property contains 14.79 acres and is located in Section 35, on the south and west side of Eight Mile Road, north of Griswold. The site is known as the former Massey Estate. The applicant is proposing to repurpose the existing buildings and grounds for use by the non-profit organization, which serves teenagers and young adults with autism and related challenges.

Required Action

Approve/Deny the Special Land Use permit, Preliminary Site Plan and Storm Water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	8-28-20	<ul style="list-style-type: none"> • Variance for front parking setback (Supported by Staff) • Variance for exceeding the area and number of accessory structures permitted (Supported by Staff) • Items to be addressed by the applicant prior to Electronic Stamping Set approval
Engineering	Approval recommended	8-26-20	<ul style="list-style-type: none"> • City Council Waiver of payment into the City's Sidewalk Fund for missing sidewalks; • Administrative variances for Design & Construction Standards not being met for driveway width (20 feet) and lack of sidewalks (Supported as no connecting sidewalks within 300 feet) • Items to be addressed by the applicant prior to Final Site Plan approval
Landscaping	Approval recommended	8-26-20	<ul style="list-style-type: none"> • Waiver for lack of greenbelt berm (Supported by Staff) • Waiver for deficiency in subcanopy trees provided in greenbelt (Supported by Staff) • Waiver of parking lot curbs (Not Supported by Staff) • Waiver for lack of required interior parking lot area and trees (Applicant indicates they will correct) • Waiver for deficiency in trees along interior access way from the north to south (Supported by Staff) • Items to be addressed by the applicant prior to Final Site Plan approval
Traffic	Approval recommended	8-26-20	<ul style="list-style-type: none"> • Variance to maintain existing 16 foot two-way driveway at western staff parking/guest house entrance; • Variance for use of bumper blocks in lieu of curbs, and lack of curbs around end islands, drive aisles; • Variance for use of gravel in parking areas in lieu of

			<p>asphalt or concrete;</p> <ul style="list-style-type: none"> • Variance for 20-foot wide maneuvering aisle adjacent to parking; • Waiver for bicycle parking not separated by grade from the drive area and lack of separate 6 foot paved access; • Items to be addressed by the applicant prior to Final Site Plan approval
Façade	Not Applicable		<ul style="list-style-type: none"> • No significant changes proposed to existing buildings
Fire	Approval recommended	8-11-20	<ul style="list-style-type: none"> • Meets Fire Department standards

MOTION SHEET

Approval – Special Land Use Permit

In the matter of Living & Learning Enrichment Center JSP19-08, motion to **approve** the Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - i. The proposed use will not cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. *Although there may be additional traffic relative to the single family residential use, the proposed use is not anticipated to generate large volumes of traffic. The site plan shows additional parking areas are to be constructed to accommodate parking needs, and driveways are being widened to meet circulation standards.*
 - ii. The proposed use will not cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area, *because the Center will continue to use on-site well and septic systems. There is adequate space on-site to manage the small amount of additional impervious surface created by additional pavement for the driveways and parking.*
 - iii. The proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats *because the applicant is not proposing to remove any regulated trees or impact wetland areas. The natural features and characteristics of the land will be maintained largely in its current condition, whereas redevelopment of the property would remove the existing natural character.*
 - iv. The proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood, *because the proposed use will appear much the same as it does today while enriching the community.*
 - v. The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use, *because it complies with the goal that recommends supporting growth of existing businesses.*
 - vi. The proposed use will promote the use of land in a socially and economically desirable manner, *because the LLEC is a successful local non-profit that will be able to expand its service offerings and help an even greater number of clients. Further, repurposing the historic estate will allow many more people to enjoy the beautiful property.*
 - vii. The proposed use was previously determined by the Planning Commission and City Council to be eligible for Special Land Use approval in the RA Residential Acreage District. Certain variances will be required in order to accommodate the non-residential parking requirements while maintaining the existing character and layout of the property.

- b. *Additional comments here if any*

(This motion is made because the plan is otherwise in compliance with Article 3.1.5, Article 4, Article 5 and Article 6 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Preliminary Site Plan

In the matter of Living & Learning Enrichment Center JSP19-08 motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Planning waiver from Section 5.16.5.C & D to allow the driveway to serve as the access to the bicycle parking (*as there is not an existing sidewalk to connect to*) and for the bicycle parking to not be separated from the drive aisle by a raised curb, *which is hereby granted*;
- b. Landscape waiver from Section 5.5.3.B.ii for lack of 4 foot greenbelt berm, *as the existing tree and vegetation will be maintained, which is hereby granted*;
- c. Landscape waiver from Section 5.5.3.B.iii for deficiency in subcanopy trees provided in greenbelt, *due to the abundance of existing large trees and other vegetation, which is hereby granted*;
- d. Landscape waiver from Section 5.5.3.C. for lack of parking lot curbs, *as the applicant will provide bumper blocks to prevent cars from leaving the parking area, which is hereby granted*;
- e. Landscape waiver from Section 5.5.3.C. for deficiency in trees along interior access way from the north to south, *as it will maintain the character of the site, which is hereby granted*;
- f. This approval is subject to Zoning Board of Appeals approval for the following dimensional variances from the Zoning Ordinance:
 - i. From Section 3.6.2.B, a variance to allow the front yard parking setback to be less than the 75 feet required, 16 feet proposed, *as the area is screened, and due to site topography and existing site layout, there is not a location better suited to accommodate the required parking.*
 - ii. From Section 5.3.2, a variance to allow a 20-foot wide maneuvering lane adjacent to parking spaces where 24-foot width is required, *as it is a one-way drive and there is angled parking only on one side at any particular point.*
 - iii. From section 4.19.1 for exceeding the 1,500 square foot area of accessory buildings, *as the former estate property has many existing accessory structures and only a small alpaca shed (196 sf) is proposed to be added.*
 - iv. From section 4.19.1 for exceeding the number of accessory buildings permitted, *as the former estate property has six existing accessory structures and the small alpaca shed is needed to house a component of center's enrichment program.*
- g. This approval is also subject to City Council approval for the following Variances:
 - i. Absence of sidewalks along Griswold and Eight Mile as shown in the Non-Motorized Plan, with a waiver of the requirement to contribute into the City's Sidewalk Fund;
 - ii. Width of the western driveway on Baseline Road to remain as existing (16 feet), *as this will be an employee only parking area*;
 - iii. Use of gravel in the parking area rather than the required pavement; and
 - iv. Lack of curbs in parking areas (with bumper blocks to be used instead) and drive aisles.

- h. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- i. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

- AND -

Approval – Stormwater Management Plan

In the matter of Living & Learning Enrichment Center JSP19-08, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

- OR -

Denial – Special Land Use Permit

In the matter of Living & Learning Enrichment Center JSP19-08, motion to **deny** the Special Land Use permit for the following reasons:

(List and reasons...)

-AND-

Denial – Preliminary Site Plan

In the matter of Living & Learning Enrichment Center JSP19-08, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

-AND-

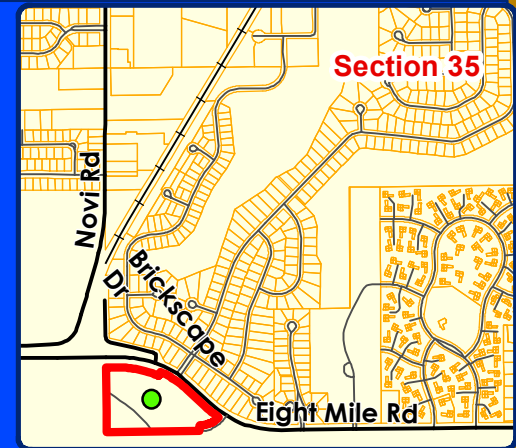
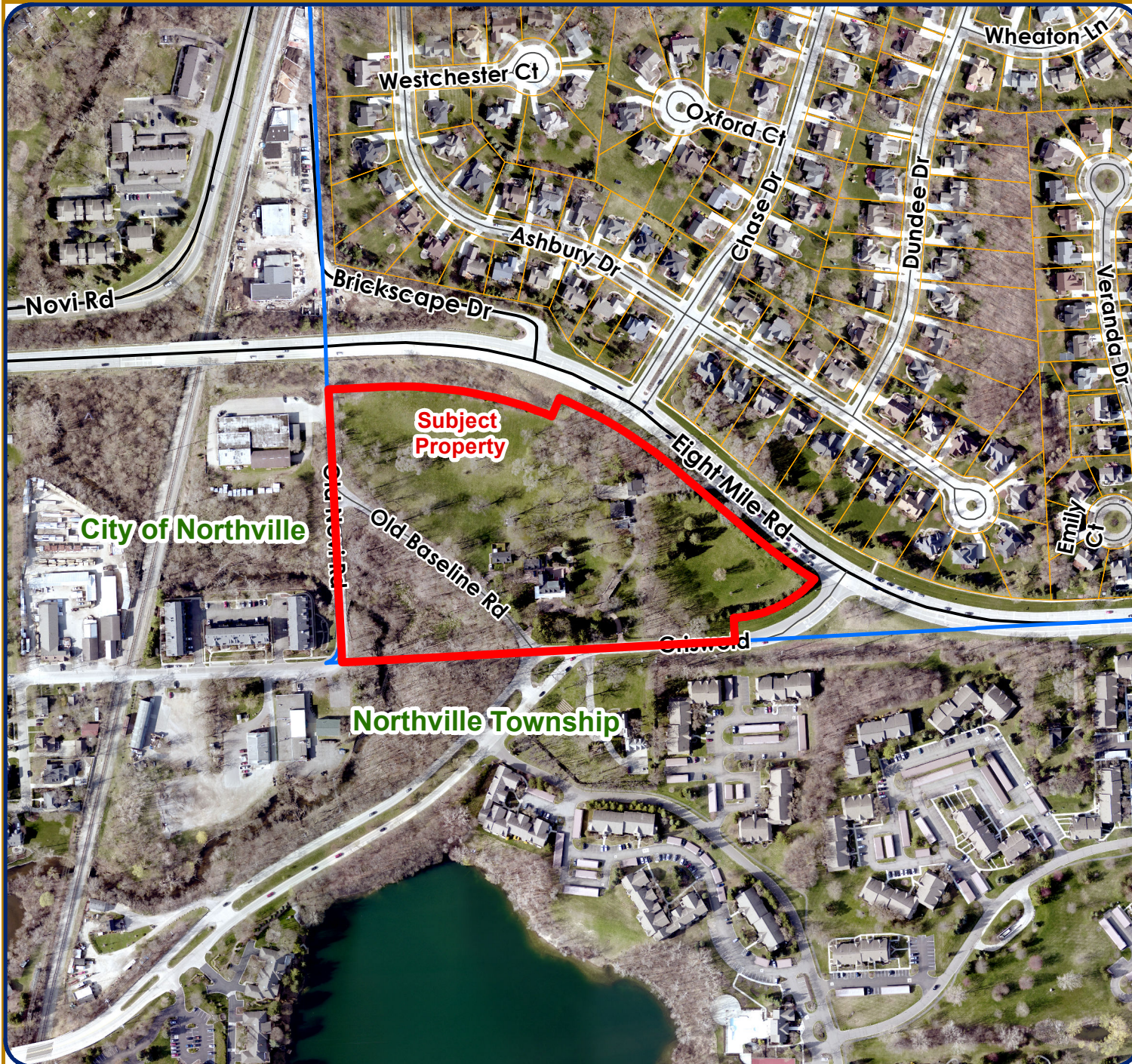
Denial – Stormwater Management Plan

In the matter of Living & Learning Enrichment Center JSP19-08, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*


MAPS
Location
Zoning
Future Land Use
Natural Features

LIVING & LEARNING CENTER UNLISTED USE: JSP 19-08

LOCATION



LEGEND

 Subject Property



City of Novi

Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
Date: 2/22/19
Project: LIVING & LEARNING JSP19-08
Version #: 1



1 inch = 371 feet

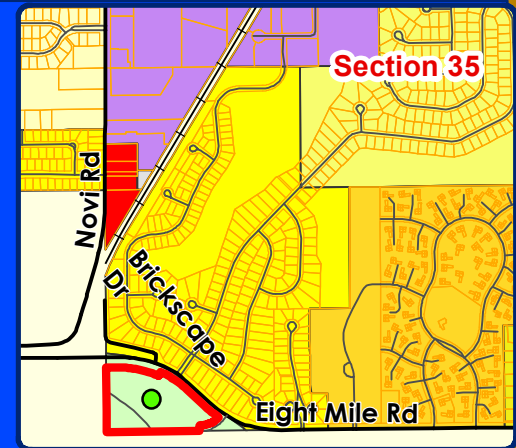


MAP INTERPRETATION NOTICE

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LIVING & LEARNING CENTER UNLISTED USE: JSP 19-08

ZONING



LEGEND

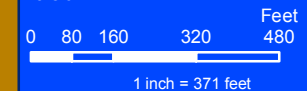
- R-A: Residential Acreage
- R-1: One-Family Residential District
- R-2: One-Family Residential District
- R-3: One-Family Residential District
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- B-3: General Business District
- I-1: Light Industrial District
- P-1: Vehicular Parking District
- Subject Property



City of Novi

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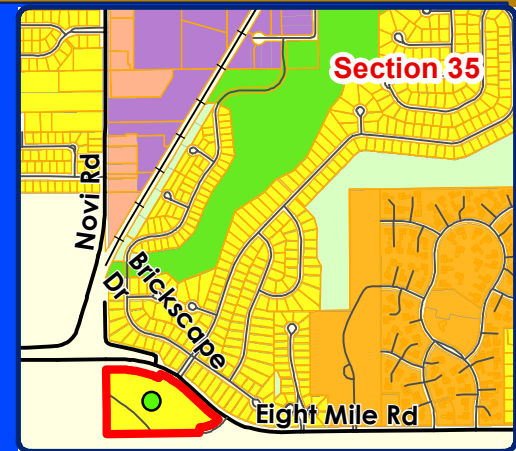


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LIVING & LEARNING CENTER UNLISTED USE: JSP 19-08

FUTURE LAND USE



LEGEND

- Single Family
- Multiple Family
- Industrial Research Development Technology
- Local Commercial
- Public Park
- Private Park
- Subject Property



City of Novi

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City Hall / Civic Center
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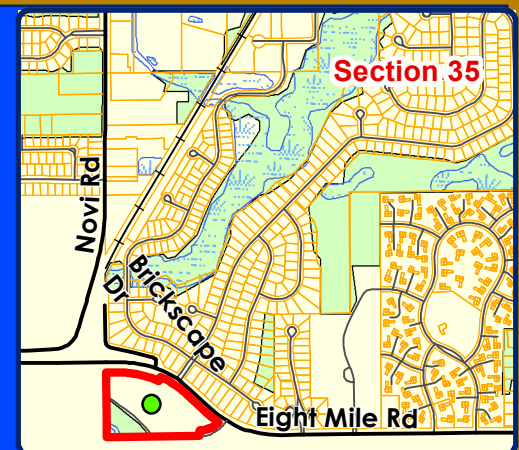


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LIVING & LEARNING CENTER UNLISTED USE: JSP 19-08

NATURAL FEATURES



LEGEND

- WETLANDS
- WOODLANDS
- Subject Property

CITY OF NOVI
City of Novi
Dept. of Community Development
City Hall / Civic Center
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

Map Author: Lindsay Bell
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0 80 160 320 480 Feet
1 inch = 371 feet

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SITE PLAN

(Full plan set available for viewing at the Community Development Department.)

PRELIMINARY SITE PLAN

LIVING AND LEARNING ENRICHMENT CAMPUS

SECTION 35, TOWN 1 N,
RANGE 8 E, CITY OF NOVI,
OAKLAND COUNTY, MICHIGAN
PREPARED FOR:
LIVING AND LEARNING ENRICHMENT CENTER
801 GRISWOLD
NORTHVILLE MI, 48167
248.321.4626

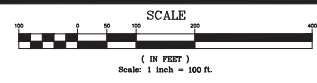
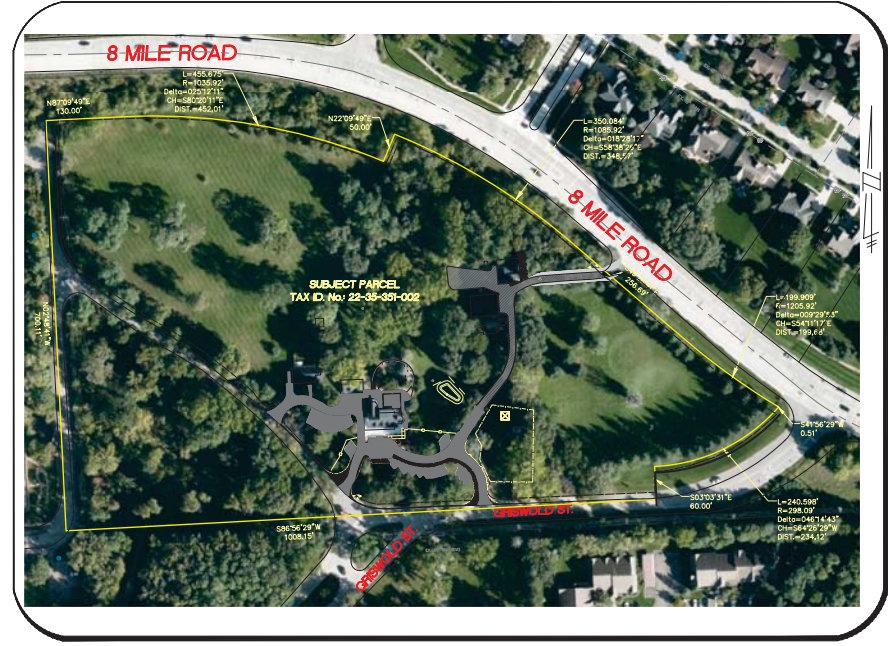


LEGAL DESCRIPTION

TOWN 1 NORTH, RANGE 8 EAST, SECTION 35, THAT PART OF THE SOUTHWEST ¼ LYING SOUTH OF THE SOUTH RIGHT-OF-WAY LINE OF BASELINE ROAD, EAST OF THE EAST RIGHT-OF-WAY LINE OF NOW ROAD & AND NORTH OF THE NORTH RIGHT-OF-WAY LINE OF EIGHT MILE ROAD & NORTHWESTERLY OF THE NORTHWESTERLY RIGHT-OF-WAY LINE OF A LINE DESCRIBED AS BEGINNING AT A POINT DISTANT SOUTH 87°33'03" WEST, 1540.02 FEET FROM THE SOUTH ¼ CORNER, THENCE NORTH 02°26'57" WEST 60 FEET, THENCE ALONG A CURVE TO THE LEFT, RADIUS 298.10 FEET, CHORD BEARS NORTH 85°03'03" EAST 228.15 FEET, A DISTANCE OF 234.13 FEET, THENCE NORTH 42°33'03" EAST 65 FEET TO THE POINT OF ENDING, 14.79 ACRES.

NOTES

1. ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF GRISWOLD STREET AND BASE LINE ROADS.
3. ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.



SHEET INDEX

1. COVER SHEET
 2. TOPOGRAPHIC SURVEY PROVIDED BY JEKABSON & ASSOCIATES, P.C.
 3. PRELIMINARY SITE PLAN
 4. GRADING AND STORM WATER MANAGEMENT PLAN
 5. ALPACA SHED PLAN
 6. EXISTING RESIDENCE FLOOR PLAN
- L1-L4
LANDSCAPE PLANS

BENCHMARKS

- BENCHMARK**
NORTH CORNER OF
NORTH BRIDGE PIER
ELEVATION = 833.44
- BENCHMARK**
NORTH EDGE OF FLAG
POLE BASE FLANGE
ELEVATION = 837.32

 **SEIBER, KEAST ENGINEERING, L.L.C.**
CONSULTING ENGINEERS

100 MAINCENTRE • SUITE 10 • NORTHVILLE, MICHIGAN • 48167
PHONE: 248.308.3331 FAX: 248.308.3335

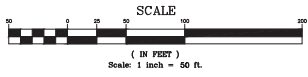
LANDSCAPE PLANS PREPARED BY:
ALLEN DESIGN, LLC
LANDSCAPE ARCHITECTURE
557 CARPENTER
NORTHVILLE, MICHIGAN 48167
PHONE: 248.467.4668

SURVEY PROVIDED BY:
JEKABSON & ASSOCIATES, P.C.
PROFESSIONAL LAND SURVEYORS
1320 GOLDSMITH
PLYMOUTH, MICHIGAN 48170
PHONE: 734.414.7200

ARCHITECTURAL INFORMATION PROVIDED BY:
M ARCHITECTS
114 RAYSON ST, SUITE 2C
NORTHVILLE, MICHIGAN 48167
PHONE: 248.349.2708

REVISIONS			ENGINEER'S SEAL
NO.	REV	DATE	

DATE: 06-10-2020 DESIGNED BY: A.A. JOB NUMBER: 19-004
CHECKED BY: B.B. ISSUING PLAN: 19-004-01.dwg



8 MILE ROAD

SIGN QUANTITIES		
SYMBOL	DESCRIPTION	QUANTITY
	R1-1 30" "STOP" SIGN W/ STREET SIGN	2 2
	T1RE LANE SIGN	3 3
	E1EMERGENCY VEHICLES ONLY SIGN	1 1
	E5-1 700 NOT ENTER SIGN	1 1
	V.A. BARRIER FREE SIGN	2 2
	O1ONE WAY SIGN	1 1

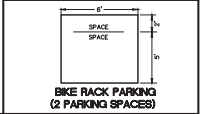
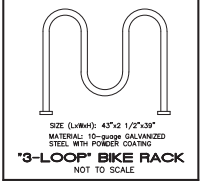
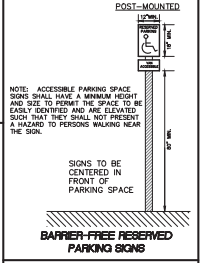
Site Data
 EXISTING ZONING: RA SINGLE FAMILY
 PROPOSED ZONING: NON-PROFIT EDUCATIONAL/ VOCATIONAL CENTER, ACCESSORY CARETAKER RESIDENCE AND MICROBUSINESS USER.
 NOTE: UNLIMITED USE DETERMINATION APPROVED BY CITY OF NOVI.
 AREA OF SITE: 14.79 AC.

Setback Requirements
 FOR BUILDINGS: 75' FRONT, REAR AND SIDE
 FOR PARKING: 75' FRONT ON GRISWOLD 20' SIDE ON BASELINE 75' REAR ON 8 MILE ROAD
 (VARIANCE WILL BE REQUESTED FOR ANY SETBACK DIMENSION LESS THAN WHAT IS REQUIRED.)

Lot Coverage
 MAX. LOT COVERAGE REQUIRED = 25% OF SITE AREA = 3.70 AC.
 LOT COVERAGE REQUIRED = 0.19 AC.

Parking Calculations
 PARKING REQUIRED PER SECTION 5.2 = (1 SPACE FOR EACH TEACHER, ADMINISTRATOR AND DAY EMPLOYEE).
 IN ANY BUSINESS DAY, NUMBER OF MENTORS & STAFF = 21
 NUMBER OF CLIENTS = 4
 PARKING REQUIRED = 25 SPACES
 PARKING PROVIDED = 29 SPACES (INCLUDING 3 CARE SPACES)

Bike Rack Requirements
 PER SECTION 5.16.1 OF THE CITY'S ZONING ORDINANCE
 PARKING REQUIRED = 2 SPACES
 PARKING PROVIDED = 2 SPACES
 GARABAGE TO BE CURBSIDE PICK UP.



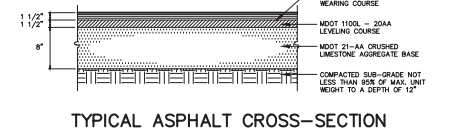
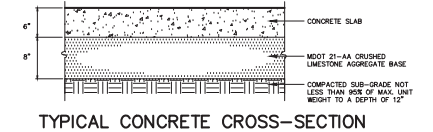
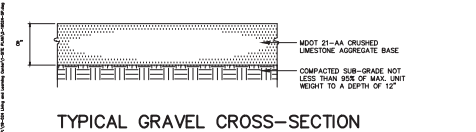
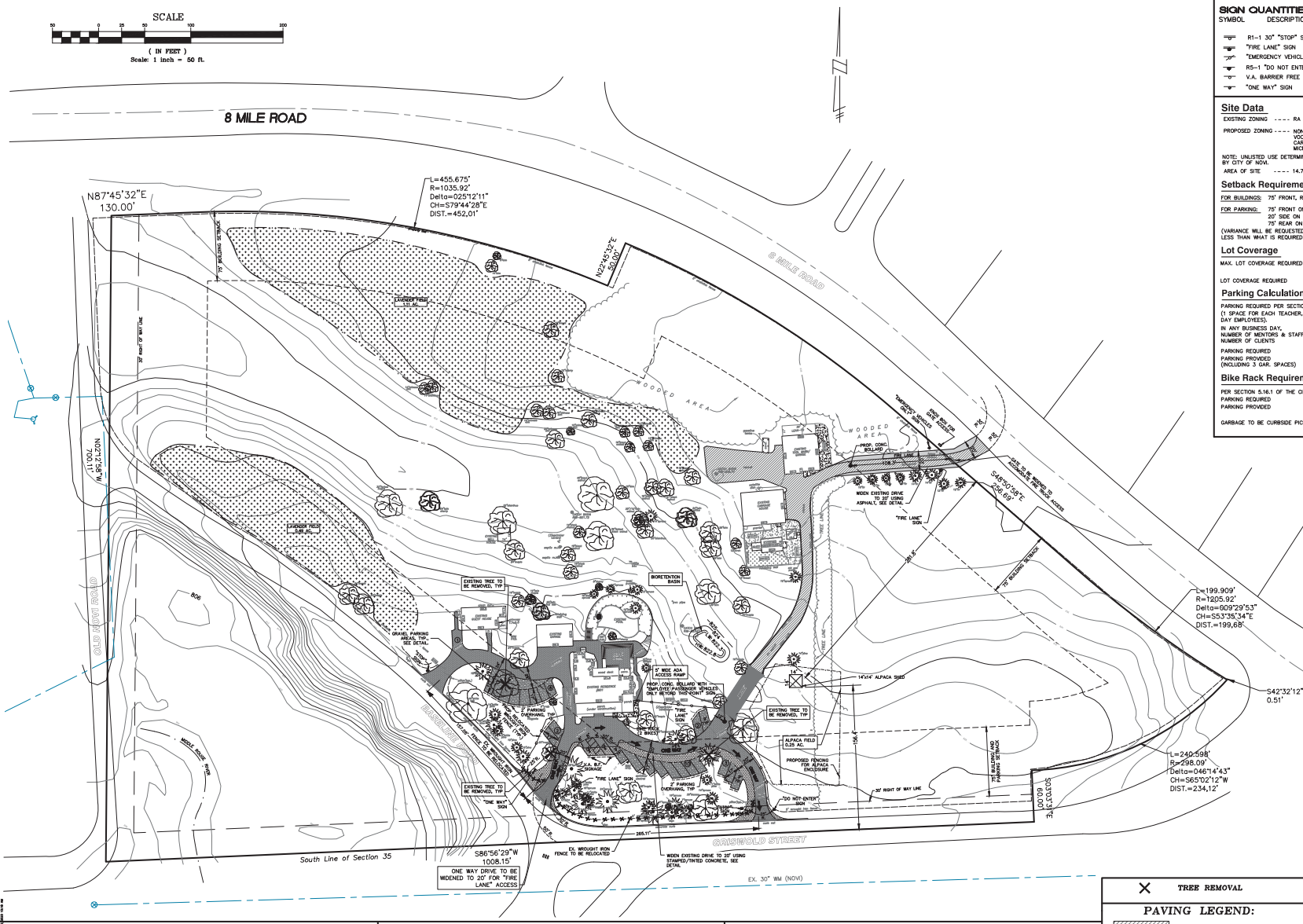
- PAVING NOTES:**
- EXISTING BRICK PAVERS TO REMAIN.
 - PARKING SPACES/AREAS OUTSIDE OF FIRE LANE SHALL BE 8" 21AA GRAVEL SURFACE.
- PARKING STRIP NOTES (HOP SPACES):**
- 4" BLUE STRIPES AT ACCESSIBLE SPACES.
 - STANDARD SPACES NEXT TO ACCESSIBLE SPACE, SHALL HAVE ABUTTING BLUE AND WHITE STRIPES.
 - PROVIDE DETAIL FOR HOP ACCESSIBLE PAVEMENT MARKINGS (WHEELCHAIR).

LIVING AND LEARNING CAMPUS
 SECTION 35, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN
 DATE: 06-18-2025 (APPROVED BY: A.A. JOB NUMBER: 19-084 CHECKED BY: B.E. DRAWING: 18-10001-07.dwg)

PRELIMINARY SITE PLAN

SEIBER, KEAST ENGINEERING, L.L.C.
 CONSULTING ENGINEERS
 100 MAINCENTRE SUITE 108 NORTHVILLE, MI 48167
 PHONE: 248.308.3331 EMAIL: info@seiberkeast.com

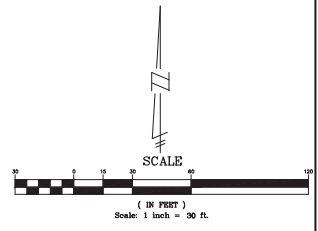
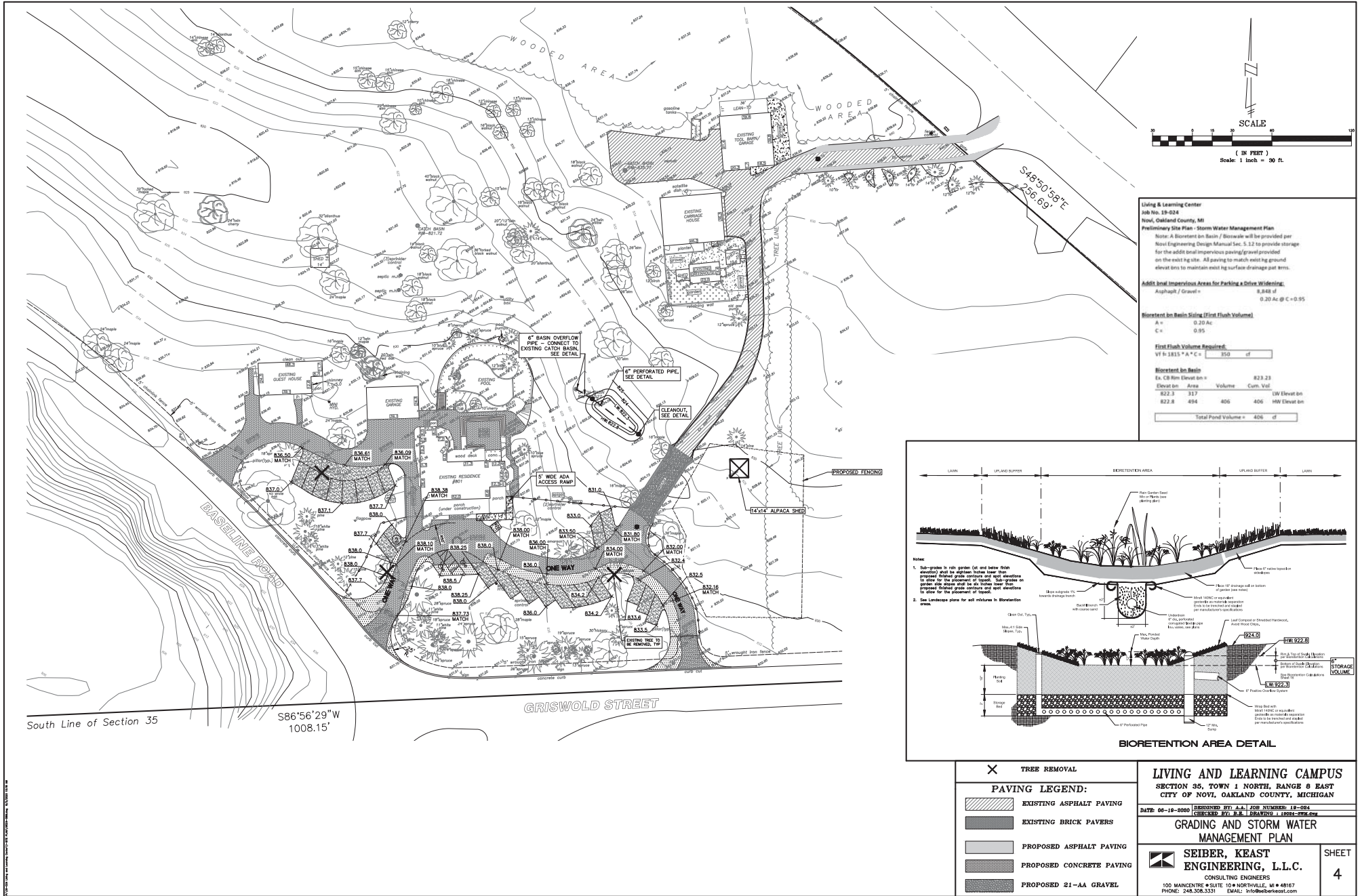
SHEET 3



PAVING LEGEND:

	EXISTING ASPHALT PAVING
	EXISTING BRICK PAVERS
	PROPOSED ASPHALT PAVING
	PROPOSED CONCRETE PAVING
	PROPOSED 21-AA GRAVEL

× TREE REMOVAL



Living & Learning Center
 Job No. 18-024
 Novi, Oakland County, MI

Preliminary Site Plan - Storm Water Management Plan

Note: A Bioretention Basin / Stormwater will be provided per
 Novis Engineering Design Manual Sec. 5.3.2 to provide storage
 for the additional impervious paving/gravel provided
 on the existing site. All paving to match existing ground
 elevations to maintain existing surface drainage patterns.

Additional Impervious Areas for Parking & Drive Widening:
 Asphalt / Gravel = 8,848 sf
 @ 2.0 Ac @ C = 0.95

Bioretention on Basin Sizing (First Flush Volume)

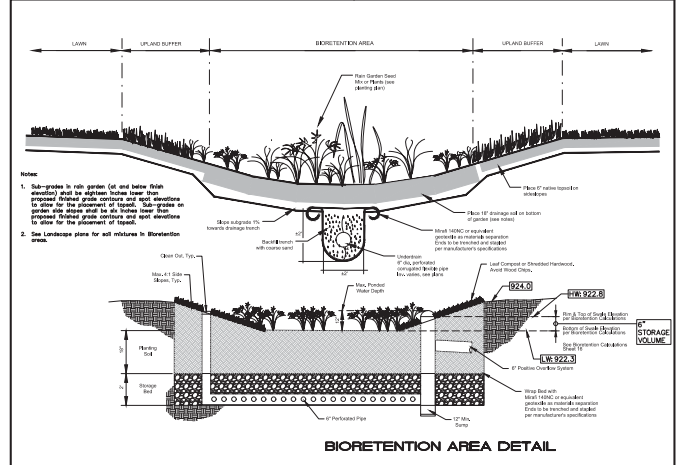
A = 0.20 Ac
 C = 0.95

First Flush Volume Required:
 V₁ = 1815 "A" * "C" = 350 cf

Bioretention on Basin

Elevat. on	Area	Volume	Com. Vol.	HW Elevat. on
822.3	317			
822.8	494	406	406	HW Elevat. on

Total Pond Volume = 406 cf



South Line of Section 35 S86°56'29"W 1008.15'

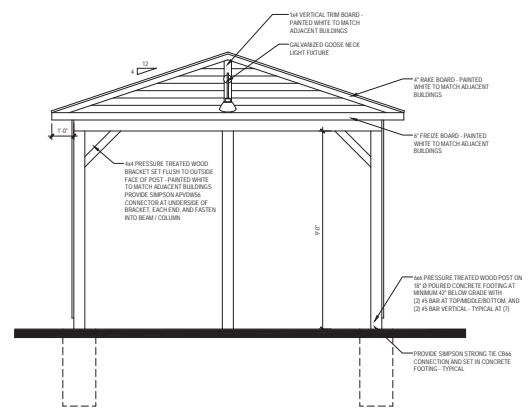
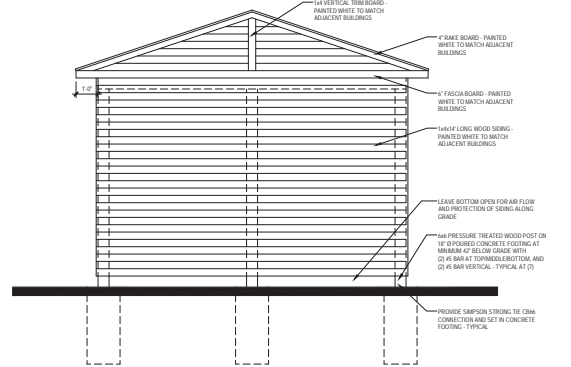
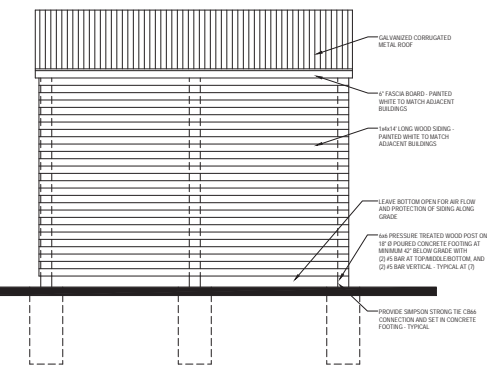
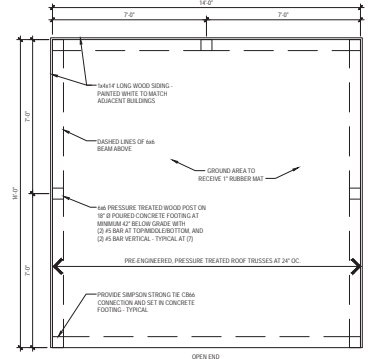
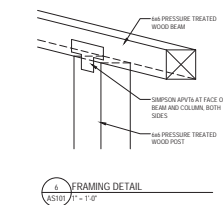
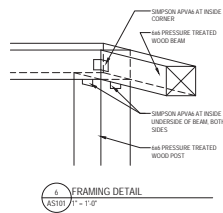
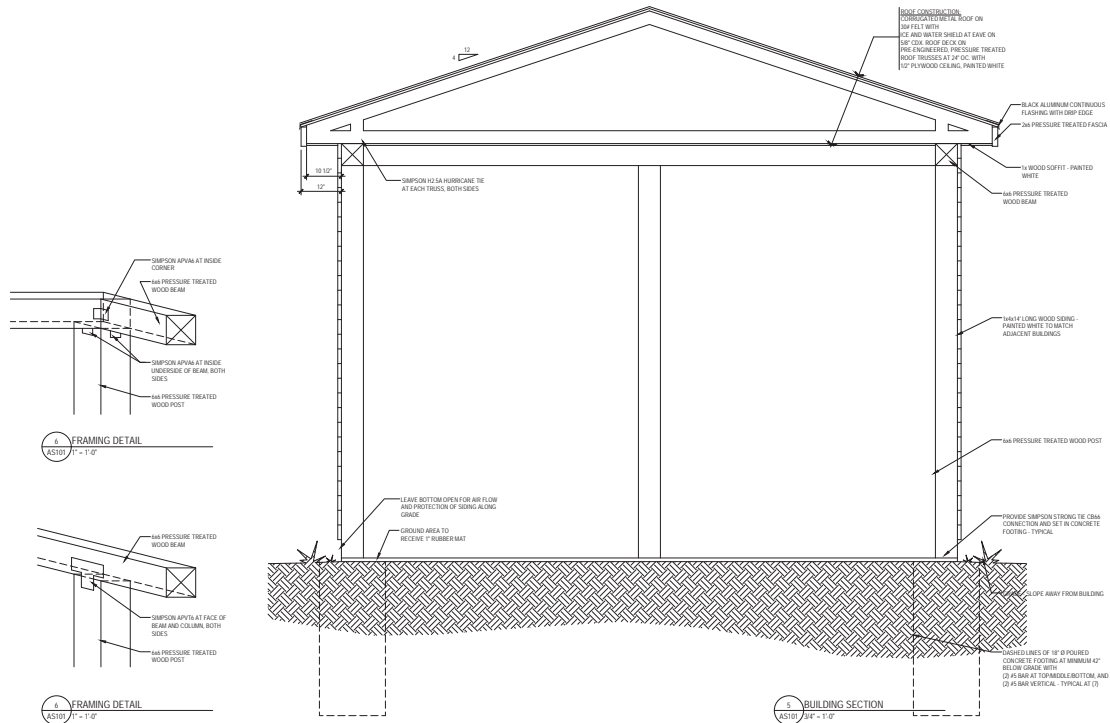
<p>× TREE REMOVAL</p> <p>PAVING LEGEND:</p> <ul style="list-style-type: none"> EXISTING ASPHALT PAVING EXISTING BRICK PAVERS PROPOSED ASPHALT PAVING PROPOSED CONCRETE PAVING PROPOSED 21-AA GRAVEL 	<p>LIVING AND LEARNING CAMPUS</p> <p>SECTION 35, TOWN 1 NORTH, RANGE 8 EAST CITY OF NOVI, OAKLAND COUNTY, MICHIGAN</p> <p>DATE: 08-18-2025 (REVISION BY: A.A.) JOB NUMBER: 18-024 CHECKED BY: J.E. PRATT / J. GOSWAMI</p> <p>GRADING AND STORM WATER MANAGEMENT PLAN</p>	<p>SHEET 4</p>
	<p>SEIBER, KEAST ENGINEERING, L.L.C.</p> <p>CONSULTING ENGINEERS</p> <p>100 MAINCENTRE SUITE 100 NORTHVILLE, MI 48167 PHONE: 248.308.3331 EMAIL: info@seiberkeast.com</p>	
	<p>18-024</p>	

DO NOT SCALE DRAWINGS. USE NOTED DIMENSIONS ONLY.

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ISSUE DATE

05.17.2020 PLANNING REVIEW



PROJECT
NEW LOCATION FOR:
LIVING AND LEARNING
CENTER

PROJECT ADDRESS
801 Griswold Street
Novi, Michigan

PROJECT NUMBER
20.06

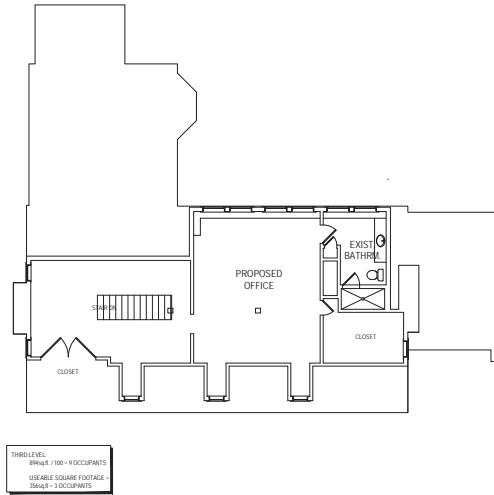
SHEET NAME
ALPACA SHED PLAN,
ELEVATIONS, AND SECTION

SHEET NUMBER
AS101

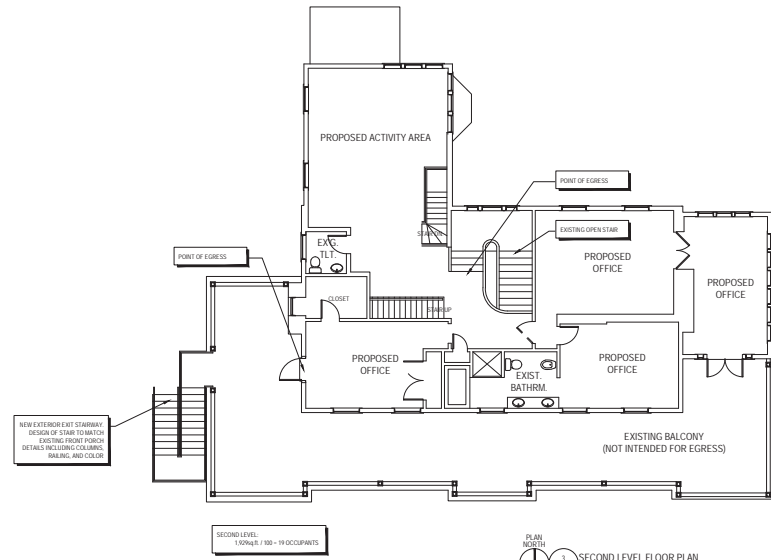


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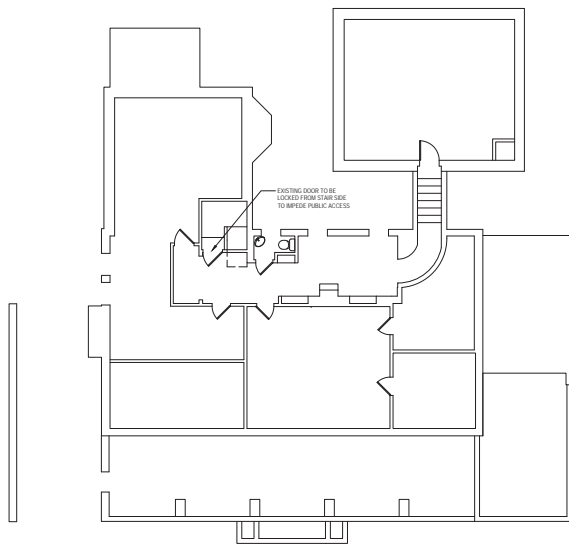
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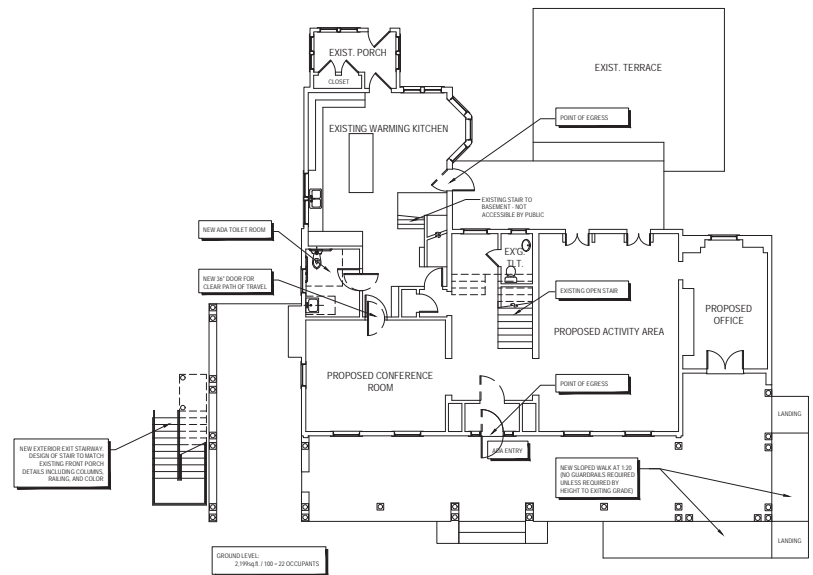
PLAN NORTH
4 THIRD LEVEL FLOOR PLAN
AS106 7/8" = 1'-0"



PLAN NORTH
3 SECOND LEVEL FLOOR PLAN
AS105 7/8" = 1'-0"



PLAN NORTH
2 BASEMENT LEVEL FLOOR PLAN
AS108 7/8" = 1'-0"



PLAN NORTH
1 GROUND LEVEL FLOOR PLAN
AS104 7/8" = 1'-0"



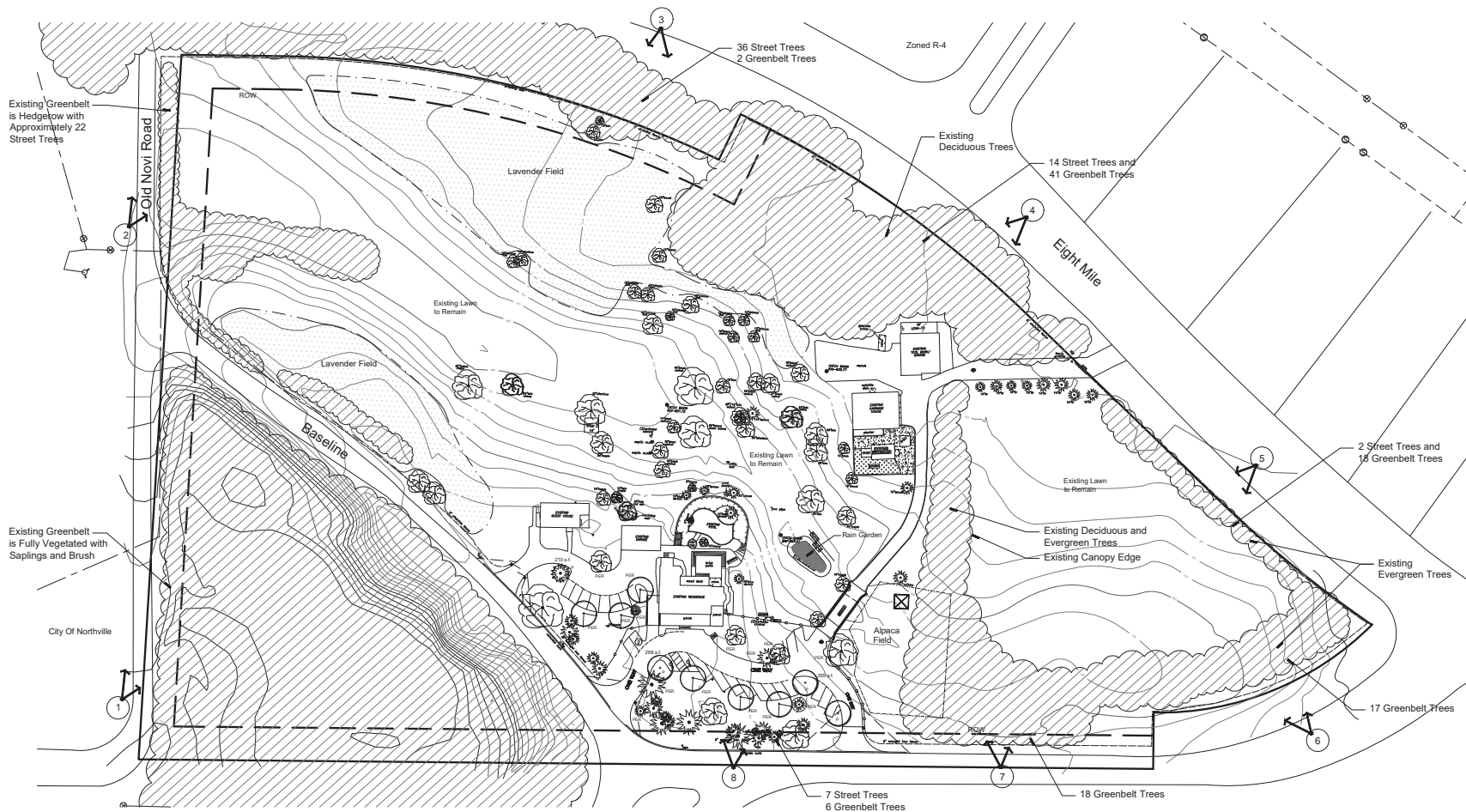
PROJECT
NEW LOCATION FOR:
LIVING AND LEARNING
CENTER

PROJECT ADDRESS
801 Griswold Street
Novi, Michigan

PROJECT NUMBER
20.06

SHEET NAME
ALPACA SHED PLAN,
ELEVATIONS, AND SECTION

SHEET NUMBER
AS102



Seal: _____



Title:
Landscape Plan

Project:
**Living and Learning
 Novi, Michigan**

Prepared for:
 Living and Learning Enrichment Center
 315 Griswold
 Northville, Michigan 48167
 248.308.3592

Revision: _____ Issued: _____
 Submission: _____ July 10, 2020

Job Number:
 20-038

Drawn By: _____ Checked By: _____
 jca jca



Sheet No. _____

Photo 1



Photo 3



Photo 5



Photo 7



Photo 2



Photo 4



Photo 6



Photo 8



PLANNING REVIEW



PLAN REVIEW CENTER REPORT

August 28, 2020

Planning Review

Living & Learning Enrichment Center
JSP19-08

PETITIONER:

Living & Learning Enrichment Center

REVIEW TYPE:

Special Land Use and Preliminary Site Plan

PROPERTY CHARACTERISTICS

Section	35
Site Location	801 Griswold Street; 22-35-351-002
Site School District	Northville Public School District
Site Zoning	RA Residential Acreage
Adjoining Zoning	North R-4 One Family Residential East R-4 One Family Residential West City of Northville (PR-1 Performance Regulated Industrial District and PUD Planned Unit Development) South Northville Township – I-1 Industrial, RM-1 Multiple Family & R-3 Single Family
Current Site Use	Estate home and accessory structures
Adjoining Uses	North Single Family Residential East Single Family Residential West Northville Lumber, Townhome community South Cider Mill, Apartment community
Site Size	14.79 Acres
Plan Date	June 19, 2020

PROJECT SUMMARY

The subject property is the former Massey Estate at 801 Griswold Street. It is located on the south and west side of Eight Mile Road, north of Griswold. The 14.64 acre site is bisected by Old Baseline Road, which connects Old Novi Road with Griswold. The applicant has recently purchased the property in order to repurpose the existing buildings for The Living and Learning Enrichment Center. The LLEC is a non-profit organization that serves teenagers and young adults with autism and related challenges. The overall vision for the Center is "to create individualize programs that will allow people to work and live independently within the community."

The applicant envisions offering programs such as art and music therapy, animal therapy, social skills groups, caregiver support groups, independent living programs, life skills classes, and microbusinesses. These microbusinesses may include a dog daycare, wooden pallet upcycling, returnable bottle and can sorting and storing, growing lavender and microgreens, and alpaca farming for yarn production and animal therapy. All farming produce and other products would be sold in the non-profit store in downtown Northville, or to local restaurants and businesses. The micro-businesses would provide

gainful employment to the Center's clients, as well as the special education departments of local school districts for job and life skills classes. The applicant has indicated that this is not considered a residential program, and that the main home would not be used as a residence. There is a guest house on the property that will be used as a residence for the caretaker.

At this time, the applicant plans to make minor renovations to the main residence to make it suitable for the Center's use, including adding ADA access and restrooms. The driveways and parking areas will be widened and made suitable to accommodate required parking and emergency vehicle access. The only new structure to be built is a 14 x 14 foot alpaca shed. Lavender fields have been recently planted. The existing wrought iron fence at the front of the property would be relocated closer to the home to open the driveway area to the public.

RECOMMENDATION

Approval of the *Preliminary Site Plan* and *Special Land Use Permit is recommended*. Planning Commission approval of the Special Land Use Permit is required under the terms of the Unlisted Use Determination previously granted. In its review, the Planning Commission will need to consider the standards for Special Land Use consideration, as described below. Certain conditions, if not corrected, will require variances be granted by the Zoning Board of Appeals and City Council.

SPECIAL LAND USE CONSIDERATIONS

Once an Unlisted Use Determination is granted, the use falls under Special Land Use requirements. Section 6.2.C of the Zoning Ordinance outlines specific factors the Planning Commission shall consider in the review of the Special Land Use Permit request:

- i. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service. **Although there may be additional traffic relative to the single family residential use, the proposed use is not anticipated to generate large volumes of traffic. Additional parking areas are to be constructed to accommodate parking needs, and driveways are being widened to meet circulation standards.**
- ii. Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area. **Because the Center will continue to use on-site well and septic systems, there is no additional impact on capabilities of public services. There is adequate space on-site to manage the small amount of additional impervious surface created by additional pavement for the driveways and parking.**
- iii. Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats. **The applicant is not proposing to remove any regulated trees or impact wetland areas. The natural features and characteristics of the land will be maintained largely in its current condition, whereas redevelopment of the property would remove the existing natural character.**
- iv. Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood. **The proposed use will appear much the same as it does today while enriching the community.**

- v. Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use. **It complies with the goal that recommends supporting growth of existing businesses.**
- vi. Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner. **The LLEC is a successful local non-profit that will be able to expand its service offerings and help an even greater number of clients. Further, repurposing the historic estate will allow many more people to enjoy the beautiful property.**
- vii. Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located. **Planning Commission and City Council previously determined the proposed Unlisted Use would be appropriate in the RA Residential Acreage District. Certain variances will be required in order to accommodate the non-residential parking requirements while maintaining the existing character and layout of the property.**

ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3.1.1 (RA Residential Acreage), Article 3.6 (Notes to District Standards), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance.

1. Parking Setbacks (Section 3.6.2.B): For non-residential uses in residential districts, the ordinance requires a front parking setback equal to the front building setback, or 75 feet. **The parking spaces shown on the site plan appear to be approximately 33 feet from the future right-of-way. This deviation will require a variance request from the Zoning Board of Appeals. Staff supports the deviation because the area is screened from Griswold and, due to site topography and existing site layout, there is not another location better suited to accommodate the required parking.**
2. Accessory Buildings - Area (Section 4.19.1): The ordinance states that the aggregate of accessory buildings shall not exceed 1,500 square feet. **The applicant has not provided the total floor area of all the accessory buildings on site, including the new alpaca shed. If that total area exceeds 1,500 square feet, a variance request from the Zoning Board of Appeals will be required. Staff supports the deviation due to the overall size of the property and many of the accessory buildings are existing on the property.**
3. Accessory Buildings - Number (Section 4.19.1): The ordinance states that no more than 2 detached accessory buildings are permitted on lots over 21,780 square feet. The proposed alpaca shed will bring the number of accessory buildings on the site to seven. The site is large enough to accommodate the additional building, and there is not another structure in a suitable location for reuse for the animals on the site. **This deviation will require a variance request from the Zoning Board of Appeals. Staff supports the deviation.**
4. Non-Motorized Plan: The applicant has not proposed to provide sidewalks along 8 Mile Road or Griswold Street as shown in the Non-Motorized Master Plan. **The applicant shall provide the required sidewalks. Alternatively, the applicant may request a Design and Construction Standards variance for the absence of the sidewalk with a justification of the request. The Code of Ordinances requests the cost of the sidewalk not constructed be paid in to the Sidewalk Fund. City Council approval would be required to waive payment into the fund.**

5. Fences (Section 5.11.1.A): The existing wrought iron fence at the front of the property would be relocated closer to the home to open the driveway area to the public. The ordinance states that fences in residential districts shall not extend toward the front of the lot nearer than the minimum front yard setback distance. Therefore the fence is an existing non-conformity, and the proposed new location will bring the fence into greater conformance with the Ordinance.

SUMMARY OF REVIEWS

- a. Engineering: Approval of the Preliminary Site Plan is recommended, provided City Council grants the required variances for deviations from the Design and Construction Standards. Additional comments to be addressed with final site plan.
- b. Landscape: Landscape recommends approval for Preliminary Site Plan, contingent on the landscape waivers being granted by the Planning Commission or the need for waivers being removed through adjustments to the plans. Additional comments to be addressed with final site plan.
- c. Wetlands: Not Applicable. No impacts to regulated wetlands proposed.
- d. Woodlands: Not Applicable. No impacts to regulated woodlands proposed.
- e. Traffic: Approval of the Preliminary Site Plan is recommended. Additional comments to be addressed with final site plan.
- f. Facade: Not Applicable.
- g. Fire: The plans meet Fire Department requirements. Approval is recommended.

NEXT STEP: PLANNING COMMISSION PUBLIC HEARING

The Special Land Use request and Site Plan are scheduled for a public hearing at the **September 16, 2020** Planning Commission meeting. Please provide a response addressing the comments listed in **bold no later than September 9th at noon**, if you wish to keep this schedule:

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE. (This has been received)**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers/variances as you see fit.
3. A color rendering of the Site Plan (Optional to be used for Planning Commission presentation).

REMAINING STEPS FOR FINAL APPROVAL:

1. Zoning Board of Appeals: As noted above, ZBA approval is required for the following items: 1. A variance for front yard parking setbacks; and 2. A variance for exceeding the number and area permitted for accessory buildings. If the Planning Commission approves the site plan, the applicant should then seek Zoning Board of Appeals variances for the items identified. The application can be found at this link. Please contact Kate Oppermann at 248-347-0459 for meeting and deadline schedules.
2. City Council Approval: As noted in the Engineering Review, City Council approval is required for the following items: 1. A variance for the use of gravel in the parking area and lack of curbs; and 2. A waiver of the requirement to pay into the City's Sidewalk Fund for missing sidewalks along Griswold and Eight Mile. After receiving Planning Commission's approval, the applicant should submit the following for City Council's consideration:
 - a. Cover letter requesting the variances with justification
3. Final Site Plan Approval: After receiving the Preliminary Site Plan approval, please submit the following for Final site plan review and approval
 - a. Five copies of Final Site Plan addressing all comments from Preliminary review

- b. Response letter addressing all comments and refer to sheet numbers where the change is reflected.
 - c. Final Site Plan Application
 - d. Final Site Plan Checklist
 - e. Engineering Estimate
 - f. Landscape Estimate
 - g. Other Agency Checklist
 - h. Legal Documents as required per the attached Engineering Legal Transmittal
4. **Electronic Stamping Set Approval:** After receiving Final Site Plan approval, please submit the following for Electronic stamping set approval:
 - a. Plans addressing the comments in all of the staff and consultant review letters in PDF format.
 - b. Response letter addressing all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**
 - c. Master Deed draft is required prior to final stamping set approval.
5. **Stamping Set Approval:** Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **8 size 24" x 36" copies with original signature and original seals,** to the Community Development Department for final Stamping Set approval. Plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets.

OTHER REQUIREMENTS

1. **Signage:** Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

PRE-CONSTRUCTION MEETING

A Pre-Construction meeting is required for this project. Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled, so it is suggested you contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] once the Final Site Plan has been approved to begin the Pre-Con checklist. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah.

CHAPTER 26.5

Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or lbell@cityofnovi.org.

A handwritten signature in black ink that reads "Lindsay Bell". The signature is written in a cursive, flowing style.

Lindsay Bell, AICP – Senior Planner



PLANNING REVIEW CHART: RA-One Family Residential & Special Land Use

Review Date: August 28, 2020
Review Type: Preliminary Site Plan
Project Name: JSP 19-08 LIVING & LEARNING ENRICHMENT CENTER
Location: 801 Griswold Street; 22-35-351-002
Plan Date: June 19, 2020
Prepared by: Lindsay Bell, AICP, Senior Planner
Contact: E-mail: lbell@cityofnovi.org; Phone: (248) 347-0484

Bold To be addressed with the next submittal
Underline To be addressed with final site plan submittal
Bold and Underline Requires Planning Commission and / or City Council Approval
Italics Notes to be noted

Item	Required Code	Proposed	Meets Code	Comments
Zoning and Use Requirements				
Master Plan <i>(adopted July 26, 2017)</i>	Single Family	Non-Profit Educational/ Vocational Center; Accessory caretaker residence and microbusiness uses	Yes	<i>Unlisted use determination granted by City Council 3/18/19</i>
Area Study	The site does not fall under any special category	NA	Yes	
Zoning <i>(Effective January 8, 2015)</i>	Residential Acreage (RA) Article 3	RA	Yes	
Uses Permitted (Sec 3.1.1.B & C)	Sec 3.1.1.B Principal Uses Permitted. Sec 3.1.1.C Special Land Uses	Unlisted use determination requires Special Land Use approval at the time of Site Plan approval	Yes	<i>Planning Commission approval required – 15 day public hearing notice</i>
Phasing	Phasing requires Planning Commission Approval	No phases proposed at this time	NA	
Height, bulk, density and area limitations (Sec 3.1.1.E)				
Maximum % of Lot Area Covered (By All Buildings)	25%	0.18 acre?	Yes?	Provide lot coverage calculation of ALL buildings – existing and proposed; if all buildings exceeds 25% coverage a variance is required
Building Height (Sec. 3.1.1.E)	35 feet or 2 ½ stories	Existing buildings except for alpaca shed (~13 feet)	Yes	
Building Setbacks (Sec 3.1.1.E)				
Front @ Griswold Street	For all non-residential uses:	Alpaca shed – 156 ft	Yes	

Item	Required Code	Proposed	Meets Code	Comments
(Sec. 3.6.2.B)	75 ft.			
Side (east and west)		exceeds	Yes	
Rear (north) – 8 mile frontage		Exceeds	Yes	
Parking Setback (Sec 3.1.1.E) Refer to applicable notes in Sec 3.6.2				
Front @ Griswold Street (Sec. 3.6.2.B)	75 feet	~33 feet?	No	<u>Variance required for front parking setback – provide dimensions on the plan from future ROW line</u>
Side (east and west)	20 ft. (or 75' where exterior side yard)	exceeds	Yes	
Rear (north) – 8 mile frontage	75 feet	exceeds	Yes	
Note To District Standards (Sec 3.6.2)				
Area Requirements	Unlisted use determination by Council included a minimum lot size of 5 acres	14 acres	Yes	
Parking Setbacks (Sec 3.6.2.B)	75 ft. front and exterior side setback; Refer to Sec 3.6.2 for more details	See above	No	
Building Setbacks (Sec 3.6.2.B&C)	Refer to Sec 3.6.2 for more details	See above	Yes	
Wetland/Watercourse Setback (Sec 3.6.2.M)	Refer to Sec 3.6.2 for more details	No wetland impacts proposed	Yes	
Accessory Uses (Sec. 4.19)				
Accessory Buildings (Sec 4.19.1)	B. shall not be erected in required front or exterior side yard C. Total floor area shall not occupy more than 25% of required rear yard E. Aggregate shall not exceed 1,500 sq ft	New alpaca shed meets location requirements; 196 sf in size	No	<u>Provide calculation of total floor area of accessory buildings</u> <u>Variances required if exceeding 1,500 sf of accessory buildings</u>
Height (Sec. 4.19.1.I)	Limited to 35 ft	~13 feet proposed	Yes	
Number of Accessory Buildings (Sec. 4.19.1.J)	Not more than 2 detached accessory buildings permitted on lots greater than 21,780 sf	7 accessory buildings existing and proposed	No	<u>Additional accessory structure would require variance from ZBA</u>
Parking, Loading and Dumpster Requirements (Sec. 5.2)				

Item	Required Code	Proposed	Meets Code	Comments
Number of Parking Spaces (Sec. 5.2) Elementary and Junior High (Sec. 5.2.12.B)	1 for each teacher, administrator and other day employee, or the requirements of the auditorium, whichever is greater 21 mentors/teachers 4 clients	29 spaces proposed	Yes	
Shared Parking Study (Sec. 5.2.7)	One is required if the applicant is requesting reduction of parking space due to multiple uses on Site. This would require Planning Commission's approval		NA	
Parking Space Dimensions and Maneuvering Lanes (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	- 90° Parking: - 9 ft. x 17 ft. w/ 2 foot overhang - 20-24 ft. driveways proposed	Yes	
Parking stall located adjacent to a parking lot entrance (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	NA	Yes	
End Islands (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance		Yes	See Traffic review letter
Barrier Free Spaces Barrier Free Code	Based on Total Parking required For 29 total spaces, 2 required	Shown	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Barrier Free Space Dimensions <i>Barrier Free Code</i>	<ul style="list-style-type: none"> - 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces 	Spaces meet dimensional requirements	Yes	
Barrier Free Signs <i>Barrier Free Code</i>	One sign for each accessible parking space.	Shown	Yes	
Minimum number of Bicycle Parking <i>Sec. 5.16.1</i>	Minimum two (2) spaces	2 provided	Yes	
Bicycle Parking General requirements <i>Sec. 5.16</i>	<ul style="list-style-type: none"> - No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations - Spaces to be paved and the bike rack shall be inverted "U" design - Shall be accessible via 6 ft. paved sidewalk 	Provided	Yes	
Bicycle Parking Lot layout <i>Sec 5.16.6</i>	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Provided	Yes	
Loading Spaces <i>Sec. 5.4.1</i>	Required on all premises where receipt or distribution of materials or merchandise occurs and shall be separate from parking areas	Not required	NA	

Item	Required Code	Proposed	Meets Code	Comments
Dumpster Sec. 4.19.2.F	<ul style="list-style-type: none"> - Located in rear yard - Attached to the building or - No closer than 10 ft. from building if not attached - Not located in parking setback - If no setback, then it cannot be any closer than 10 ft, from property line. - Away from Barrier free Spaces 	Curbside service proposed	Yes	
Dumpster Enclosure Sec. 21-145. (c)	<ul style="list-style-type: none"> - Screened from public view - A wall or fence 1 ft. higher than height of refuse bin - And no less than 5 ft. on three sides - Posts or bumpers to protect the screening - Hard surface pad. - Screening Materials: Masonry, wood or evergreen shrubbery 		NA	
Lighting and Other Equipment Requirements				
Exterior lighting Sec. 5.7	Photometric plan and exterior lighting details needed at time of Preliminary Site Plan submittal	No new lighting proposed	NA	
Roof top equipment and wall mounted utility equipment Sec. 4.19.2.E.ii	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	Roof top equipment is not indicated	Yes	
Roof top appurtenances screening	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Roof top equipment is not indicated	Yes	

Item	Required Code	Proposed	Meets Code	Comments
Sidewalk Requirements				
Article XI. Off-Road Non-Motorized Facilities	8 foot concrete sidewalk is required along Baseline and 8 Mile	None shown	No	Variance for Baseline/8 Mile sidewalks? Council/DCS variance
Pedestrian Connectivity	Assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets	Appears to comply	Yes	
Building Code	Building exits must be connected to sidewalk system or parking lot.	Not indicated	Yes	
Other Permit and Legal Requirements				
Design and Construction Standards Manual	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Topographic survey provided	Yes	
General layout and dimension of proposed physical improvements	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).		No	Refer to all review letters for additional information requested
Community Impact Statement	<ul style="list-style-type: none"> - All non-residential projects over 30 acres for permitted use - All non-residential over 10 acres for special land use - All residential over 150 units 		NA	
Economic Impact	<ul style="list-style-type: none"> - Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known) 	None provided	Yes	Provide additional information at the time of Preliminary Site Plan

Item	Required Code	Proposed	Meets Code	Comments
Development/ Business Sign & Street addressing	<ul style="list-style-type: none"> - Signage if proposed requires a permit. - The applicant should contact the Building Division for an address prior to applying for a building permit. 	Signage not proposed	Yes	For further information contact Ordinance at 248-735-5678
Project and Street naming	Some projects may need approval from the Street and Project Naming Committee.	This project does not need approval of the Project Name	NA	
Property Split	All property splits and combination must be submitted to the Assessing Department for approval.		NA	

NOTES:

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4 and 5 of the zoning ordinance for further details
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

ENGINEERING REVIEW



PLAN REVIEW CENTER REPORT

August 26, 2020

Engineering Review

Living and Learning Center

Applicant

Rachelle Vartanian

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: South of Eight Mile Road, North of Griswold Street
- Site Size: 14.64 acres
- Plan Date: 06/19/2020
- Design Engineer: Seiber Keast Engineering

Project Summary

- This mixed use property will include a main house, single-family residence, well house, garage and an alpaca stable.
- Twenty-nine parking spaces are proposed. Site access would be provided via Griswold Street and Baseline Road. The driveway off of Eight Mile Road would be for emergency access only.
- Water service would be provided by an existing on-site well.
- Sanitary sewer service would be provided by an existing on-site septic system.
- No storm water collection system is proposed or required.

Recommendation

The Preliminary Site Plan and Storm Water Management Plan are recommended for **approval**, with comments and required variances to be addressed at the time of Final Site Plan submittal.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11 of the Code of Ordinances, the Storm Water Management Ordinance and the Engineering Design Manual with the following exceptions, which can be addressed at Final Site Plan submittal:

General

1. The site plan shall be designed in accordance with the Design and Construction Standards (Chapter 11).
2. Provide a minimum of **two ties** to established section or quarter section corners.
3. Provide the area of disturbance on the plans.
4. Ensure the plan set references at least one city established benchmark. An interactive map of the City's established survey benchmarks can be found under the 'Map Gallery' tab on www.cityofnovi.org.
5. No additional right-of-way is requested for Eight Mile Road. However, the 30 feet of half-width prescriptive right-of-way along Old Novi Road and Griswold Street is requested to be dedicated to the City of Novi. Please label the right-of-way as **proposed**.
6. Old Baseline Road is an Oakland County road according to the City's records. There is no evidence that this road has dedicated right-of-way. Please reach out to County to determine if they need (additional) right-of-way.
7. A right-of-way permit is required from the City of Novi, Road Commission for Wayne County, and Road Commission for Oakland County.
8. The Non-Domestic User Survey form shall be submitted to the City so it can be forwarded to Oakland County.
9. Provide the City's standard detail sheets for paving (2 sheets-rev. 03/05/2018) at the time of the Stamping Set submittal. These details can be found on the City's website at this location: <http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>

Utilities

10. No connections to public utilities are proposed.
11. Provide confirmation from Oakland County that the septic system is sufficient for the proposed demand of this development.

Paving & Grading

12. Remove the paving details on sheet 3 and reference the City of Novi Paving Detail Sheets.
13. The City's Non-Motorized Master Plan requires a sidewalk along the south side of Eight Mile Road and the north side of Griswold Street. If the intent is not to construct this sidewalk, then a **Design and Construction Standards Variance** must be requested. The Engineering Division does not object to this request since there is a lack of sidewalks within 300 feet of the requested sidewalks.

- However, Section 11-256 (b) of the Code of Ordinances requests the cost of the sidewalk not constructed to be paid into the Sidewalk Fund. The lack of payment into this fund would require City Council approval.
14. The proposed 20 foot wide two-way driveway does not meet the required 30 feet outlined in Figure IX.1 of the Code of Ordinances. An **administrative variance** should be requested and would be supported if the applicant chooses to maintain the 20-foot wide driveway width.
 15. The lack of curbs and gravel parking spaces will require a **variance** from the Design and Construction Standards in the Code of Ordinances and it will require City Council approval. The Engineering Division does not oppose to this variance due to the lack of nearby wetlands or water body and minimal gravel requested for the parking lot. However, gravel does not allow for well-defined, striped parking stalls and the gravel will be difficult to maintain. Consider installing grass pavers instead.
 16. The quality and load capacity of the private, on-site bridge is the responsibility of the owner. The plans show that the bridge will only be accessible to employee vehicular travel and a sign has been placed on the southern side of the bridge to indicate this intention. The Eight Mile Road entrance is for emergency vehicles only.

Storm Water Management Plan

17. The impact of the proposed impervious surfaces on storm water management plan is considered negligible. Therefore, this development is not required to store the 100-year flood volume.
18. Label the existing catch basin being tied into on the bioretention profile and show the ultimate outlet.

Soil Erosion and Sediment Control

19. A SESC permit is required. A full review has not been completed at this time. The review checklist detailing all SESC requirements is attached to this letter.

The following must be submitted at the time of Final Site Plan submittal:

20. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and shall not include any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).

The following must be submitted at the time of Stamping Set submittal:

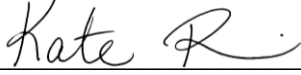
21. A draft copy of the warranty deed for the additional proposed right-of-way along Griswold Street and Old Novi Road must be submitted for review and acceptance by the City.

The following must be addressed prior to construction:

22. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
23. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).
24. An NPDES permit may be required from the MDEGLE if the area of disturbance is over 5 acres. The MDEGLE requires an approved plan to be submitted with the Notice of Coverage.
25. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
26. A permit for work within the right-of-way of Eight Mile Road, Griswold Street, and Old Novi Road must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
27. A permit for work within the right-of-way of Griswold Street and Old Novi Road must be obtained from the Road Commission for Oakland County (RCOC). Please contact the RCOC (248-858-4835) directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating that all work within the road right-of-way will be constructed in accordance with RCOC standards.
28. A permit for the work within the right-of-way of Eight Mile Road must be obtained from the Road Commission of Wayne County. Please contact Wayne County directly with any questions. The applicant must forward a copy of this permit to the City. Provide a note on the plans indicating that all work within the road right-of-way will be constructed in accordance with Wayne County standards.
29. Construction Inspection Fees will be determined once the construction cost estimate is submitted and must be paid prior to the pre-construction meeting.
30. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of/or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Kate Richardson at (248) 347-0586 with any questions.



Kate Richardson, EIT
Project Engineer

cc: Lindsay Bell, Community Development
Tina Glenn, Treasurers
Kristen Pace, Treasurers
Ben Croy, PE; Engineering
Victor Boron, Engineering

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

August 25, 2020

Preliminary Site Plan - Landscaping

Living & Learning Center

Review Type

Preliminary Site Plan Landscape Review

Job

JSP19-0008

Property Characteristics

- Site Location: 801 Griswold
- Site Acreage: 14.79 ac.
- Site Zoning: R-A
- Adjacent Zoning: North: R-A, East, South, West: City of Northville
- Plan Date: 6/19/2020

Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying landscape chart are summaries and are not intended to substitute for any Ordinance.

Recommendation

This project is **recommended for approval for Preliminary Site Plan**, contingent on the landscape waivers being granted by the Planning Commission or the need for waivers being removed through adjustments to the plans.

LANDSCAPE WAIVERS REQUIRED BY THE PROPOSED PLAN:

1. Lack of greenbelt berm. *Supported by staff.*
2. Deficiency in subcanopy trees provided in greenbelt. *Supported by staff.*
3. Lack of parking lot curbs. *Not supported by staff as currently configured.*
4. Lack of required interior parking lot area and trees. *Not supported by staff.*
5. Deficiency in trees along the interior access way from the north to the south. *Supported by staff.*

Ordinance Considerations

Existing and proposed overhead and underground utilities, including hydrants. (LDM 2.e.(4))
Provided

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. A complete tree survey is provided for the areas near the buildings. Groupings of existing trees that will not be impacted by the development are shown and characterized.
2. Three existing trees to be removed are shown on the landscape plan. They are not regulated.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project is not adjacent to non-residentially-zoned property such that screening would be required.

Adjacent to Public Rights-of-Way – Berm/Wall, Buffer and Street Trees (Zoning Sec. 5.5.3.B.ii, iii)

1. The required 4 foot tall berm is not proposed. *This requires a landscape waiver that would be supported by staff in order to preserve the existing trees.*
2. The required deciduous canopy or large evergreen trees are provided with existing trees.
3. **Only 6 of the required 111 subcanopy trees are provided.** *This requires a landscape waiver that is supported by staff due to the abundance of large trees and incidental plants along the site's frontage, and the desire to preserve the existing appearance of the site.*
4. The required street trees are provided with existing trees.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. **Based on the parking lot area, two more trees and 379sf more interior landscape area is required.** *The current configuration requires a landscape waiver that is not supported by staff. A suggestion is made on the landscape chart for how the need for a waiver could easily be eliminated. Please provide the required area and trees.*
2. The 15 required perimeter trees are provided with a combination of new and existing trees.
3. **A landscape waiver is required for the lack of curbing in the parking area. This waiver is not supported by staff.** *If an alternate means of preventing the cars from leaving the parking area and hitting trees could be provided, such as parking blocks or boulders, the waiver would be supported by staff.*
4. **A landscape waiver is required for the deficiency in trees along the interior access way.** *It is supported by staff to maintain the character of the site.*

Building foundation Landscaping (Zoning Sec 5.5.3.D)

As none of the buildings are changing size, no additional foundation landscaping is required.

Plant List (LDM 2.h. and t.)

1. Provided
2. 3 of 4 species used (75%) are native to Michigan.

Planting Notations and Details (LDM)

1. Provided
2. **Please include rain garden plantings in Planting Costs.**

Irrigation (LDM 1.a.(1)(e) and 2.s)

1. **The proposed landscaping must be provided with sufficient water to become established and survive over the long term.**
2. **Please provide an irrigation plan or note how this will be accomplished if an irrigation plan is not provided on Final Site Plans. An actual irrigation plan could be provided in the electronic stamping set if desired.**

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader@cityofnovi.org.



Rick Meader – Landscape Architect

LANDSCAPE REVIEW SUMMARY CHART – PRELIMINARY SITE PLAN

Review Date: August 24, 2020
Project Name: JSP19 – 0008: Living and Learning Center
Plan Date: June 19, 2020
Prepared by: Rick Meader, Landscape Architect E-mail: rmeader@cityofnovi.org;
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant on the Final Site Plan.

LANDSCAPE WAIVERS REQUIRED BY THE PROPOSED PLAN:

1. Lack of greenbelt berm. *Supported by staff*
2. Deficiency in subcanopy trees provided in greenbelt. *Supported by staff.*
3. Lack of parking lot curbs. *Not supported by staff as currently configured.*
4. Lack of required interior parking lot area and trees. *Not supported by staff.*
5. Deficiency in trees along the interior access way from the north to the south. *Supported by staff.*

Item	Required	Proposed	Meets Code	Comments
Landscape Plan Requirements (LDM (2))				
Landscape Plan (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> ▪ New commercial or residential developments ▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less. ▪ 1" =20' minimum with proper North. Variations from this scale can be approved by LA ▪ Consistent with plans throughout set 	Scale: 1" =50'	Yes	
Project Information (LDM 2.d.)	Name and Address	Yes	Yes	
Owner/Developer Contact Information (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
Landscape Architect contact information (LDM 2.b.)	Name, Address and telephone number of RLA/PLA/LLA who created the plan	Yes	Yes	
Sealed by LA. (LDM 2.g.)	Requires original signature	Yes	Yes	
Miss Dig Note (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	

Item	Required	Proposed	Meets Code	Comments
Zoning (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> RA <u>North:</u> R4 <u>East, South, West:</u> City of Northville	Yes	
Survey information (LDM 2.c.)	<ul style="list-style-type: none"> ▪ Legal description or boundary line survey ▪ Existing topography 	Topographic Survey provided		
Existing plant material Existing woodlands or wetlands (LDM 2.e.(2))	<ul style="list-style-type: none"> ▪ Show location type and size. Label to be saved or removed. ▪ Plan shall state if none exists. 	<ul style="list-style-type: none"> ▪ Combination of tree survey around project area and photos/characterization for rest of site: L-4 ▪ Tree Survey: L-3 ▪ 3 trees being removed for expansion of parking area ▪ No regulated trees are being removed 	Yes	Please show tree fencing protecting the fir trees along the north drive which will be widened, and all other trees to be protected, on the grading plan and/or demolition plan.
Soil types (LDM.2.r.)	<ul style="list-style-type: none"> ▪ As determined by Soils survey of Oakland county ▪ Show types, boundaries 	Sheet L-3	Yes	
Existing and proposed improvements (LDM 2.e.(4))	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes – parking area expansion, north drive expansion	Yes	
Existing and proposed utilities (LDM 2.e.(4))	Overhead and underground utilities, including hydrants	<ul style="list-style-type: none"> ▪ Water main shown across Base Line Road – none on site ▪ OH power lines also on south side of Base Line 	Yes	
Proposed grading. 2' contour minimum (LDM 2.e.(1))	Provide proposed contours at 2' interval	Spot elevations on Sheet 4	Yes	
Snow deposit (LDM.2.q.)	Show snow deposit areas on plan	Yes	Yes	
LANDSCAPING REQUIREMENTS				
Parking Area Landscape Requirements LDM 1.c. & Calculations (LDM 2.o.)				
General requirements (LDM 1.c)	<ul style="list-style-type: none"> ▪ Clear sight distance within parking islands ▪ No evergreen trees 	Yes	Yes	
Name, type and	As proposed on planting	Seed is indicated	Yes	

Item	Required	Proposed	Meets Code	Comments
number of ground cover (LDM 1.c.(5))	islands	for repairs of existing sod.		
General (Zoning Sec 5.5.3.C.ii)				
Parking lot Islands (a, b. i)	<ul style="list-style-type: none"> ▪ A minimum of 200 SF to qualify ▪ A minimum of 200sf unpaved area per tree planted in an island ▪ 6" curbs ▪ Islands minimum width 10' BOC to BOC 	<ul style="list-style-type: none"> ▪ Islands shown for credit have sufficient size. ▪ Curbing is not indicated 	<ul style="list-style-type: none"> ▪ Yes ▪ No 	<ol style="list-style-type: none"> 1. A landscape waiver is required for a lack of curbs or other containment measure. 2. Please provide an alternate means of keeping cars on the pavement (parking blocks, rocks, etc.)
Curbs and Parking stall reduction (c)	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Spaces are 17' long	Yes	See above
Contiguous space limit (i)	Maximum of 15 contiguous spaces	10 spaces is the maximum bay length	Yes	
Plantings around Fire Hydrant (d)	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	No fire hydrant is indicated in project area	Yes	
Landscaped area (g)	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
Clear Zones (LDM 2.3.(5))	25 ft corner clearance required. Refer to Zoning Section 5.5.9	<ul style="list-style-type: none"> ▪ Clear zones are provided for both Base Line Drive entries ▪ A clear vision zone is not provided for the 8 Mile Road access point. 	<ul style="list-style-type: none"> ▪ Yes ▪ No 	<ol style="list-style-type: none"> 1. Please indicate the clear vision zone per the Wayne County Road Commission regulations for the 8 Mile Road entry 2. Remove any shrubs taller than 30" or trees from the zone.
Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> • $A = x \text{ sf} * 7.5 \% = A \text{ sf}$ • $16292 * 7.5\% = 1222 \text{ sf}$ 	843 sf		Please revise the calculations to use the current requirements as shown to the left.
B = Total square footage of additional paved vehicular use areas (not including A or B) over 50,000 SF) x 1 %	<ul style="list-style-type: none"> • $B = x \text{ sf} * 1\% = B \text{ sf}$ • $(xxx - 50000) * 1\% = xx \text{ sf}$ 	0 sf		

Item	Required	Proposed	Meets Code	Comments
Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	$A = x \text{ sf} * 5\% = A \text{ sf}$	NA		
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	$B = 0.5\% \times 0 \text{ sf} = B \text{ SF}$	NA		
All Categories				
C = A+B Total square footage of landscaped islands	$1222 + 0 = 1222 \text{ SF}$	843 sf	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for the shortage in area. 2. The waiver request would not be supported by staff. 3. If 1 canopy tree was added on each side (north and south) of the 2 space bay off the central drive, those islands could provide all of the missing area and both of the missing trees.
D = C/200 Number of canopy trees required	<ul style="list-style-type: none"> ▪ $xx/200 = xx \text{ Trees}$ ▪ $1222/200 = 6 \text{ trees}$ 	4 trees including 1 existing tree.	No	See above
Perimeter Green space	<ul style="list-style-type: none"> ▪ 1 Canopy tree per 35 lf ▪ $528\text{lf}/35 = 15 \text{ trees}$ 	15 trees provided, including 6 existing trees	Yes	
Access way perimeter	<ul style="list-style-type: none"> ▪ 1 canopy tree per 35 lf on each side of road, less widths of access drives. (drive from north to south, over bridge) ▪ $(245\text{f})/35 = 7 \text{ trees}$ 	1 existing	No	<ol style="list-style-type: none"> 1. Please provide the calculation for the stretch of drive without trees abutting it. 2. A landscape waiver is required for the deficiency. 3. The waiver is supported by staff in order to maintain the character of the site.
Parking land banked	▪ NA	No		
Berms, Walls and ROW Planting Requirements				
Berms				

Item	Required	Proposed	Meets Code	Comments
<ul style="list-style-type: none"> ▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours ▪ Berm should be located on lot line except in conflict with utilities. ▪ Berms should be constructed with 6" of top soil. 				
Residential Adjacent to Non-residential (Sec 5.5.3.A) & (LDM 1.a)				
Berm requirements (Zoning Sec 5.5.A)	The site does not directly abut any non-residential property so this screening berm is not required.	No berm is provided	Yes	
Planting requirements (LDM 1.a.)	LDM Novi Street Tree List	NA		
Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)				
Berm requirements (Zoning Sec 5.5.3.A.(5))	An undulating berm a minimum of 4 feet high with a 4 foot wide crest is required in the greenbelt	None	No	<ol style="list-style-type: none"> 1. A landscape waiver is required to not provide the berm. 2. <i>For the reasons described below, the waiver is supported by staff.</i>
Walls (LDM 2.k & Zoning Sec 5.5.3.vi)				
Material, height and type of construction footing	Freestanding walls should have brick or stone exterior with masonry or concrete interior	No walls are proposed		
Walls greater than 3 ½ ft. should be designed and sealed by an Engineer		NA		
ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)				
Greenbelt width (RA) (2)(3) (5)	34 ft	Closest parking space is 34ft	Yes	
Min. berm crest width	4 ft	None	No	<ol style="list-style-type: none"> 1. A landscape waiver is required for the lack of berm. 2. <i>This is supported by staff because all existing large trees would need to be removed to install the berm.</i>
Minimum berm height (9)	4 ft	None	No	See above
3' wall	(4)(7)	None		
Canopy deciduous or large evergreen trees Notes (1) (10)	<ul style="list-style-type: none"> ▪ 1 tree per 40 lf ▪ 2781/40 = 69 trees 	More than 69 existing trees	Yes	Please add a note stating that a new canopy tree will be planted to replace the large, dead oak at the

Item	Required	Proposed	Meets Code	Comments
				central entrance when it is removed (preferably the same oak species).
Sub-canopy deciduous trees Notes (2)(10)	<ul style="list-style-type: none"> ▪ 1 tree per 25 lf ▪ 2781/25 = 111 trees 	6 trees - new	Yes	<ol style="list-style-type: none"> 1. A landscape waiver is required for the deficiency in subcanopy trees provided. 2. It is supported by staff because the site already has an abundance of trees and shrubs along its perimeter and the existing bucolic look would be impacted negatively by the addition of the subcanopy trees.
Canopy deciduous trees in area between sidewalk and curb (Novi Street Tree List)	<ul style="list-style-type: none"> ▪ 1 tree per 35 lf ▪ 2781/35 = 79 trees 	81 existing trees	Yes	
Non-Residential Zoning Sec 5.5.3.E.iii & LDM 1.d (2)				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				
Screening of outdoor storage, loading/unloading (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)		No loading zone is indicated	Yes	
Transformers/Utility boxes (LDM 1.e from 1 through 5)	<ul style="list-style-type: none"> ▪ A minimum of 2ft. separation between box and the plants ▪ Ground cover below 4" is allowed up to pad. ▪ No plant materials within 8 ft. from the doors 	No new transformer boxes are proposed.	TBD	<ul style="list-style-type: none"> ▪ If any transformer is added, please screen it per the detail. ▪ Please add detail to plans.
Building Foundation Landscape Requirements (Sec 5.5.3.D)				
Interior site landscaping SF	<ul style="list-style-type: none"> ▪ Equals to entire perimeter of the building x 8 with a minimum width of 4 ft. ▪ Total building perimeter = 838lf ▪ A: 838 lf x 8ft = 6704 SF 	<ul style="list-style-type: none"> ▪ Most buildings have some foundation landscaping. ▪ No exterior changes to the buildings are proposed except for a handicap access ramp. 	Yes	No additional foundation landscaping is required

Item	Required	Proposed	Meets Code	Comments
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to (e)</i>	If visible from public street a minimum of 60% of the exterior building perimeter should be covered in green space	Sufficient landscaping is provided	Yes	
Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)				
Planting requirements (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> ▪ Clusters shall cover 70-75% of the basin rim area ▪ 10" to 14" tall grass along sides of basin ▪ Refer to wetland for basin mix 	A small bioretention basin is proposed which will be entirely planted with native plantings.	Yes	
Phragmites Control (Sec 5.5.6.C)	<ul style="list-style-type: none"> ▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey. ▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site. 	None indicated	TBD	<ol style="list-style-type: none"> 1. Please survey the site for any populations of <i>Phragmites australis</i> and submit plans for its removal if any is found. 2. If none is found, please indicate that on the survey.
LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS				
Landscape Notes – Utilize City of Novi Standard Notes				
Installation date (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	Fall or spring	No	Please add dates
Maintenance & Statement of intent (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> ▪ Include statement of intent to install and guarantee all materials for 2 years. ▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period. 	Yes	Yes	
Plant source (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
Irrigation plan (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	No irrigation is proposed	No	<u>Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long-term survival.</u>
Other information (LDM 2.u)	Required by Planning Commission	NA		

Item	Required	Proposed	Meets Code	Comments
Establishment period (Zoning Sec 5.5.6.B)	2 yr. Guarantee	Yes	Yes	
Approval of substitutions. (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes	Yes	
Plant List (LDM 2.h.) - Include all cost estimates				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		<ul style="list-style-type: none"> ▪ 3 of 4 species used are native to Michigan (plus all of the bioretention basin plantings) ▪ The tree diversity is satisfactory 	Yes	
Type and amount of lawn		Only repair is proposed	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	Not necessary
Multi-stem Tree		No	TBD	Please add if Cornus kousa will be multi-stem
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	Please show actual tree fencing on Grading and/or Demolition Plan
Other Plant Material Requirements (LDM 3)				
General Conditions (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes		
Plant Materials & Existing Plant Material (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes - Sheet 4, L-4	Yes	Please show on Demolition Plan if one is provided.
Landscape tree credit (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/wetlands should be	No		

Item	Required	Proposed	Meets Code	Comments
	approved by LA. Refer to Landscape tree Credit Chart in LDM			
Plant Sizes for ROW, Woodland replacement and others (LDM 3.c)	2.5" canopy trees 6' evergreen trees	On plant list		
Plant size credit (LDM3.c.(2))	NA	No		
Prohibited Plants (LDM 3.d)	No plants on City Invasive Species List	None are used		
Recommended trees for planting under overhead utilities (LDM 3.e)	Label the distance from the overhead utilities	None on site where work is being done		
Collected or Transplanted trees (LDM 3.f)		No		
Nonliving Durable Material: Mulch (LDM 4)	<ul style="list-style-type: none"> ▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth ▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate. ▪ Refer to section for additional information 	Yes	Yes	
NOTES: 1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards. 2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification. 3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.				

TRAFFIC REVIEW



AECOM
 27777 Franklin Road
 Southfield
 MI, 48034
 USA
 aecom.com

Project name:
 JSP19-08 Living and Learning Center
 Preliminary Site Plan Traffic Review

From:
 AECOM

Date:
 August 26, 2020

To:
 Barbara McBeth, AICP
 City of Novi
 45175 10 Mile Road
 Novi, Michigan 48375

CC:
 Lindsay Bell, Kate Richardson, Madeleine Kopko,
 Victor Boron, Christian Carroll

Memo

Subject: JSP19-08 Living and Learning Center Preliminary Site Plan Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

GENERAL COMMENTS

1. The applicant, Living and Learning Enrichment Center, is proposing utilizing an existing multi-building facility on the southwest corner of the intersection of 8 Mile Road and Griswold St as a Living and Learning Center.
2. 8 Mile Road is under the jurisdiction of Wayne County. Griswold St and Baseline Rd (on the south side of the property) are under the jurisdiction of the Road Commission for Oakland County.
3. The parcel is currently zoned RA (Residential Acreage) and no zoning changes are proposed.
4. Summary of traffic-related waivers/variances:
 - a. **The applicant has indicated they are seeking a variance for not having a loading zone.**

TRAFFIC IMPACTS

1. AECOM was unable to perform an initial trip generation estimate based on the ITE Trip Generation Manual, 10th Edition due to lack of a comparable category for the development.
2. The number of trips is not expected to exceed the City's threshold of more than 750 trips per day or peak period thresholds of 100 trips.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	-

EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

1. The applicant is proposing to utilize the existing two (2) driveways on Baseline Road, one (1) driveway on Griswold St, and one (1) emergency access on 8 Mile Road.
 - a. The applicant should indicate any revisions to existing radii to ensure compliance with Figure IX.1 of the City's Code of Ordinances. If changes made do not meet the standards, **a variance may be required.**
 - b. The standard driveway width in Figure IX.1 of the City's Code of Ordinances is 30' for two-way driveways. The standard driveway width in Figure IX.2 of the City's Code of Ordinances is 16' for one-way driveways. **To keep the width of 20 as shown and the existing width of the two-way driveway, the applicant should request an administrative variance, as 20' is within the range permitted.**
 - c. Emergency access drives are required to be 18 feet wide, as per Figure VIII-K in the City's Code of Ordinances and the proposed is 20'.
2. There are no proposed modifications to 8 Mile Rd, Griswold St, or Baseline Rd.
3. The applicant should include sight distance measurements for the driveway along Griswold St and Baseline Rd. Refer to Figure VIII-E of the City's Code of Ordinances for more information. If the requirements are not met, **a variance will be required.**
4. The applicant has dimensioned driveway spacing along Baseline Rd to ensure compliance with Section 11.216.d of the City's Code of Ordinances.
5. There is no existing sidewalk along 8 Mile Rd, Griswold St, or Baseline Rd surrounding the property, and no sidewalk is proposed. 8 Mile Road is a auto-focused corridor according to the City's Non-motorized Master Plan. Sidewalk is present on the north side of 8 Mile Road.

INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

1. General Traffic Flow
 - a. **The applicant has indicated they are seeking a variance for a lack of a loading zone.** RA zoned areas are not listed in the zoning ordinance as requiring a loading zone.
 - b. The applicant has indicated aisle widths throughout the site and most are in compliance with City standards.
 - i. The connection between the west-most entrance and the main loop should be dimensioned to ensure it is in compliance. **If it is an existing connection that is not being changed, a variance may be required.**
 - c. The applicant has not indicated any trash receptacles. RA zoned areas do not require trash receptacles. However, due to land use, the applicant could consider providing one.
 - d. The applicant should provide vehicle/truck moving patterns throughout the site to ensure accessibility.
2. Parking Facilities
 - a. The applicant indicated in the accompanying letter they are providing 31 parking spaces. The applicant should refer to Section 5.2.12 of the City's Zoning Ordinance as well as the Planning Review Letter for parking quantity requirements.
 - b. The applicant has ensured that there are no more than 15 parking spaces adjacent to each other without an island.
 - c. The applicant has indicated 17' long parking spaces with the required 2' overhang.
 - i. The applicant should refer to Section 5.3.2 of the City's Zoning Ordinance and provide curb heights throughout the site.
 1. A 6" curb height is required for all landscaped areas.
 2. A 4" curb height is required abutting 17' parking spaces along with a 2' clear area for vehicle overhang.

3. Parking spaces with no curb require bumper blocks. These bumper blocks must be 4" in height and 6' in length. There must be a 17' from the end of the space to the face of the block. **A variance is required for bumper blocks to be used in lieu of curb.**
 - ii. The parking spaces are indicated to be paved with gravel. The City's Zoning Ordinance (5.3.7) requires parking facilities to be paved with asphalt or concrete. **A variance will be required if the paving material is not changed.**
 - iii. The applicant has indicated two (2) accessible parking spaces, both of which are van accessible. ADA requirements specify that spaces must have firm, stable, and slip resistant surfaces. The current plan appears to indicate half of each space is gravel. If this is the case, the paving material must be updated.
 - iv. The accessible parking spaces and aisle are in compliance with City and accessibility standards.
- d. Two (2) bicycle parking spaces are required per Section 5.16.1 of the City's Zoning Ordinance. The applicant has indicated the location of the bicycle parking.
 - i. The applicant has indicated the location and layout of bicycle parking. The applicant should indicate the 36" height required on the bicycle rack detail in future submittals.
 - ii. The applicant should note that a 6' path is required from the bicycle parking to the street. The applicant should dimension the clear area on the sidewalk connecting the bicycle parking to the street. The bicycle parking is also required to be separated from the parking and driving area, by a grade separation or other barrier **or a variance will be required.**
 - iii. Refer to Section 5.16 of the City's Zoning Ordinance for more information regarding the City requirements.
3. Sidewalk Requirements
 - a. The applicant is proposing a 5' wide gravel nature path that meanders throughout the perimeter of the property.
 - b. The applicant should indicate where sidewalks are proposed at the buildings on the site along with dimensions.
 - c. The applicant should label sidewalk ramps on the plans and should include the latest Michigan Department of Transportation (MDOT) detail.
 - i. Note that sidewalk ramps are required near the accessible parking spaces.

SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
 - a. The applicant has provided a signing table including details and should include proposed size of all signs in future submittals.
 - b. The applicant should provide a do not enter sign so that cars going south of the existing canopy do not proceed into the one-way entrance driveway.
2. The applicant should provide the following notes and details related to the proposed signing.
 - a. Single signs with nominal dimensions of 12" x 18" or smaller in size shall be mounted on a galvanized 2 lb. U-channel post. Multiple signs and/or signs with nominal dimension greater than 12" x 18" shall be mounted on a galvanized 3 lb. or greater U-channel post as dictated by the weight of the proposed signs.
 - b. The applicant should indicate a bottom height of 7' from final grade for all signs installed.
 - c. The applicant should indicate that all signing shall be placed 2' from the face of the curb or edge of the nearest sidewalk to the near edge of the sign.
 - d. Traffic control signs shall use the FHWA Standard Alphabet series.
 - e. Traffic control signs shall have High Intensity Prismatic (HIP) sheeting to meet FHWA retroreflectivity requirements.
3. The applicant has included parking space striping notes to indicate that:
 - a. The standard parking spaces shall be striped with four (4) inch white stripes.

Memo

- b. The accessible parking space and associated aisle should be striped with four (4) inch blue stripes.
 - c. Where a standard space is adjacent to an accessible space, abutting blue and white stripes shall be installed.
4. The applicant should provide a detail for the proposed international symbol for accessibility pavement markings that may be placed in the accessible parking space. The symbol shall be white or white with a blue background and white border with rounded corners.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

AECOM



Patricia Thompson, EIT
Traffic Engineer



Paula K. Johnson, PE
Senior Transportation Engineer

FIRE REVIEW



August 11, 2020

TO: Barbara McBeth- City Planner
Lindsay Bell-Plan Review Center
Madeleine Kopko-Planning Assistant

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Andrew Mutch

Laura Marie Casey

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Fire Chief
Jeffery R. Johnson

Assistant Chief of Police
Erick W. Zinser

Assistant Chief of Police
Scott R. Baetens

Assistant Fire Chief
John B. Martin

RE: Living and Learning Center

PSP# 20-0055

Project Description:

Alterations to the residence at 801 Griswold.

Comments:

Meets fire department standards

Recommendation:

APPROVED

Sincerely,

Kevin S. Pierce-Fire Marshal
City of Novi – Fire Dept.

cc: file

APPLICANT RESPONSE LETTER



September 9, 2020

Ms. Lindsay Bell, Planner
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Re: **Living & Learning Enrichment Campus**
Preliminary Site Plan Review
JSP 19-008

Dear Ms. Bell:

We received your comments on our August 28 Plan Review for the Living and Learning Enrichment Center's new property at 801 Griswold.

Please find enclosed our responses to the Plan Review report for Planning, Engineering, and Landscaping. We have also attached our July 30, 2020 letter, describing the operations of Living and Learning and the plans for the property.

We look forward to presenting before the Planning Commission on September 16.

Thank you for your support of Living and Learning!

Warm regards,

A handwritten signature in black ink, appearing to read "D Stein", is written in a cursive style.

Denise Stein
Chief Operating Officer
Living and Learning Enrichment Center



July 30, 2020

City of Novi
Community Development Department
45175 Ten Mile Road
Novi, Michigan 48375

Re: Preliminary Site Plan Submittal
Applicant's Operational Narrative for
Living & Learning Enrichment Campus
801 Griswold Street, Novi, Michigan

Dear City of Novi:

First, we thank you for your enthusiastic support of our organization and the repurposing of our new property at 801 Griswold, Novi. We appreciate your willingness to help us to work through the challenges involved in this unique project. This property promises to be the only location in Michigan, and possibly the country, for specialized social & job skills training, along with independent living programming for individuals with autism and related challenges.

This letter provides a description of Living and Learning, its services, and a narrative for planned renovations to the property. Please review the attached drawings that reflect the planned renovations.

Living and Learning Enrichment Center:

Our mission is to help individuals with autism and related challenges to reach their full potential in work, relationships, and in the community. The purpose of this organization is to serve this "forgotten population" of teens and adults who have autism and related challenges by offering a variety of programs that will enhance their lives and provide much needed support for their families.

This property represents the possibility for LLEC to fulfill on our vision to be the nation's model in teen and adult autism services and support. With the large main building, ample acreage, multiple microbusinesses, and a variety of nearby resources, LLEC will expand our current programming and create additional programming to cover a host of much-needed programs and support for our clientele.

Our services include social skills programming, music and art therapy, life skills, IT training and certification, vocational training, job skills and job placement. Through our on-site microbusinesses, our clients will benefit from job skills training and even short and long-term employment.

Additional services we plan to offer at the new campus:

The new 14-acre Living and Learning Enrichment Campus ("LLEC"), with its expansive site and numerous buildings, will allow us to achieve exponential growth in our current programs, offer them to more people, and expand our curriculum through new experiences.

From lavender fields and alpacas grazing, hands-on workshops and summer camp programs, the Living and Learning Campus will inject the community with new programs and experiential opportunities to grow. This means more jobs for individuals with disabilities—we want to crush the 90 percent unemployment rate for people with autism. With the proximity to several apartment communities, we will create programming to support clients in living independently, for those who are able. This will help give much-needed peace of mind to parents and families.

The scope of planned site work:

Please refer to Preliminary Site Plan for scope of the proposed new site work including the following:

- The project will utilize the following existing buildings: Existing Residence, Existing Garage and Existing Guest House. The existing buildings in the rear of the property (Existing Tool Barn, Existing Carriage House and existing Green House) will not be upgraded at this time.
- One-way circle drive will be widened to 20' for Fire Truck access. We will save the existing paver brick driveway and widen the drive to 20' using new pavement. Soil testing has been performed to show the existing paver bricks can support the Fire Truck loads.
- Widening existing access road at 8 Mile to 20' for Fire truck access to rear buildings, widening existing gate for fire truck access, and new Knox Box for emergency access. New bollard will be installed on drive 150' from 8 Mile entrance to indicate limit for fire truck access, per Fire Marshal instruction.
- New bioretention area.
- No curbs are proposed on site.
- New gravel for parking spaces (26 parking lot spaces and 3 garage spaces)
- New bollard will be installed in front of the existing bridge to restrict truck access over the bridge from the circle drive.
- Existing aluminum fencing located in Front of circle drive will be removed and repurposed on the site as shown on the site plan.
- Proposed Alpaca shelter construction to be included, as indicated below.

The scope of existing building renovations:

We plan the following renovations to all buildings:

1. **Main House / Existing Residence:** (Main operations & Staff offices). Planned renovations include life safety and accessibility improvements planned to convert this residential use building into an educational use building. Please see Preliminary Site Plan Architectural Sheet for renovation scope detail.
2. **Existing Guest House:** (Residence of Director & family). No changes planned to this building.
3. **Well House:** No changes planned to this building.
4. **Existing Garage:** No changes planned to this building.
5. **Proposed Alpaca Shelter:** (Stable for Alpacas). This includes construction of a 1/4-acre fenced yard for six Alpacas along with an open-air shelter.

Parking requirements:

Our operation is unique in that we have mostly part-time staff and nearly all our clients would be dropped-off for programs, since few of our clients are able to drive.

We propose 26 total off-street parking spaces, including 2 ADA barrier-free spaces.

- A. 8 staff parking spaces near guest house and existing garage.
- B. 1 resident space near guest house.
- C. 2 ADA barrier-free spaces in front of main building.
- D. 17 parking spaces to be added along circular entrance/exit drive
- E. A bike rack for 2 bikes will be installed as indicated on Plans.

Total staff projected:

We currently employ 12 full-time staff and approximately 22 part-time contract program facilitators. Several of our full-time staff have significant job responsibilities outside of our facility, therefore are rarely on-site. We will have office/work stations for 7 staff members at our location and 2-3 program staff on site at any given time, which represents the number of staff parking spots required.

The following is the number of possible occupants for each of the buildings, which includes staff and clients, receiving job-skills training:

- Main House: 7 Full time staff members, with 22 part-time staff members (2-3 will be on site at different days and times) with a total of 29 staff.
- Guest House: 2 residents
- Alpaca Farm: 1 staff member + 2 – 3 additional workers possible
- Maximum number of 21 staff at any one time.



Total clients projected:

- Current maximum number of individuals attending concurrent programs: 25 (projected to increase to 50 – 75 for certain programs within 6 months of relocation to the estate).
- The majority of our clients are unable to drive and will not require parking.
- To date, we have not had more than 2-4 driving clients on site at any given time.
- We do not anticipate a need for on-site bus parking, as we do not host school or other field trip groups.

Responses to the City Zoning Ordinance factors to be considered by the Planning Commission:

Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.

***Response:** This existing 14+ parcel is surrounded by roadways on all sides. The new projected staff and client volumes for the site are limited. To improve the traffic safety, we plan to use the Eight Mile entrance for emergency egress only and to make two of the specific existing driveway openings one-way to enter and one way to exit the site.*

Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.

***Response:** This existing property is mostly self-contained in respect to its own well water, septic system, and natural storm water drainage. We plan to increase capacities and to maintain these same systems. We appreciate the Novi Fire Department for their willingness to perform a site visit and working with us to develop the site circulation for City emergency vehicles.*

Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.

***Response:** This site's unique natural features and characteristics will be preserved as the proposed new plans include maintaining the existing buildings, landscaping and to not remove any trees unless necessary.*

Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.

***Response:** This site's residential and historical character will be preserved and remain intact as it is surrounded by compatible multi-family zoned parcels in both Novi to the north and Northville to the south.*

Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.

***Response:** This new proposed land use is a community-care based facility is a low-impact operation and consistent with the adjacent multi-family land uses. The new propose campus will appear very similar to its current appearance.*

Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.

***Response:** This proposed project will benefit the community by helping to create meaningful lives for people who have autism and related challenges and providing to them the skills they will need to be contributing members.*



Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Response: *The following responses are as follows:*

- 1) *We believe that this proposed new land use is consistent with the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance.*
- 2) *This campus will appear very similar to it's a current appearance with this change of use. The parcel is heavily wooded, limited work is planned for the classic buildings and site, and proposed educational type use of this property will continue to harmonize well with the surrounding existing multi-family districts.*

Pursuant to Ordinance Sec. 3.6.2 the maximum front and exterior side yard setback requirement when adjacent to roads and drives (other than planned or existing section line road right-of-way) is 75 feet.

Response: *We are requesting a variance to this ordinance due to the limited availability of frontage needed to meet the parking requirements.*

Pursuant to Ordinance Sec. 5.3.2, drive aisles adjacent to parking shall be 24 feet for 2-way drives.

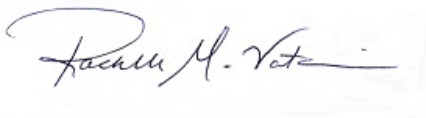
Response: *We are requesting a variance to the 24' foot requirement for the 2-way drive isle adjacent to the residence and 8 staff parking spaces. We are requesting that this drive isle remain intact and unchanged. This drive, and the 8 designated parking spaces, will only be utilized by staff members, and not for client or public use.*

Whether, relative to other feasible uses of the site, the proposed use will require a dumpster on site with appropriate screening enclosure. (Ordinance Sect. 4.19.2.F)

Response: *We do not anticipate the need for a dumpster, as our existing center produced minimal amounts of rubbish while at maximum capacity, and plan to utilize the city's curbside trash pickup services. We also have a contractor available who can pick up larger items and/or excess trash to be taken directly to the dump.*

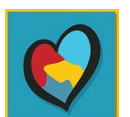
Thank you, again, for your ongoing support. Please contact Denise Stein, ddstein@livingandlearningcenter.org, if you have questions, comments, or require additional information.

Respectfully submitted,



Rachelle Vartanian
President & Founder of Living & Learning Enrichment Center

Copy: Design and engineering team



SEIBER KEAST ENGINEERING, LLC

ENGINEERING CONSULTANTS

Clif Seiber, P.E.
Patrick G. Keast, P.E.
Azad W. Awad
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Jason M. Emerine, P.E.

100 MainCentre, Suite 10
Northville, MI 48167
Phone No. 248.308.3331
E-mail: be@seiberkeast.com

September 9, 2020

Ms. Lindsay Bell, Planner
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Re: **Living & Learning Enrichment Campus
Preliminary Site Plan Review
JSP 19-008**

Dear Ms. Bell:

In accordance with your Staff Review dated August 28, 2020 for the Preliminary Site Plan submittal, we offer the following comments in response. The comment numbers shown below corresponds to the comments contained in the consultant or staff review letters where applicable.

PLANNING REVIEW:

Planning Review Chart:

Applicant Response to all items in **Bold**:

Page 1 of 7

Maximum % of Lot Area Covered: 25% per Sec 3.1.1.E – Provide lot coverage calculation of ALL existing buildings.

Applicant Response: Lot Coverage Calculation:

- Existing Main Residence	=	3,438 s.f (includes porch and overhang)
- Existing Accessory Buildings	=	6,400 s.f.
- Proposed Alpaca Shed	=	192 s.f.
Total Lot Coverage	=	10,030 s.f (0.23 Ac.)
Site Area	=	14.79 Ac.
Lot Coverage %	=	1.56% < 25% Max Lot Coverage

The Lot Coverage Calculation will be revised on the Site Plan as requested.

Page 2 of 7

Parking Setback (Sec 3.6.2): For non-residential uses in residential districts, the ordinance requires a front parking setback equal to the front building setback, or 75 feet.

Applicant Response: The applicant will be requesting a variance from the ZBA as further detailed in the letter below under *Zoning Board of Appeals Variance Requests*. Dimensions will be added to the Site Plan as requested.

Accessory Buildings (Sec 4.19.1): The aggregate of accessory buildings shall not exceed 1,500 s.f.

Applicant Response: The applicant will be requesting a variance from the ZBA as further detailed in the letter below under *Zoning Board of Appeals Variance Requests*.

Number of Accessory Buildings (Sec 4.19.1.J): No more than 2 detached accessory buildings are permitted on lots over 21,780 s.f.

Applicant Response: The applicant will be requesting a variance from the ZBA as further detailed in the letter below under *Zoning Board of Appeals Variance Requests*.

End Islands (Sec 5.3.12): End Islands and curbs are required, see traffic review letter.

Applicant Response: The applicant will be requesting a DCS Variance for the end island requirement. Please see the discussion under *Identified City Council Waivers / DCS Variances*.

Page 6 of 7

Article XI. Off-Road Non-Motorized Facilities: 8 ft concrete sidewalk is required along Griswold and 8 Mile.

Applicant Response: The applicant will be requesting a waiver from the City Council as further detailed in the letter below under *Identified City council Waivers / DCS Variances*.

Identified City Council Waivers / DCS Variances:

- 1) **Non-Motorized Plan:** The Applicant has not proposed to provide sidewalks along 8 Mile Road or Griswold Street as shown in the Non-Motorized Master Plan.

Applicant Response: The applicant will be requesting a Design and Construction Variance Request for the absence of new sidewalk on the south side of 8 Mile Road and along the north side of Griswold Street. Additionally, the applicant will be requesting a waiver from the City Council to waive payment of the sidewalk construction into the sidewalk fund.

Justification for DCS Variance and Waiver:

8 Mile Road:

- The proposed site is bordered on the west by the City of Northville and to the south by Northville Township. Providing a sidewalk on the south side of 8 Mile Road will not provide a tangible connection the existing City of Novi sidewalk system or

provide any connections to existing sidewalk systems in the City of Northville or Northville Township.

- 8 Mile Road to the west of the site crosses over an existing railroad by a highway bridge. The existing bridge does not currently provide adequate room pedestrian crossings on the north or south side of the bridge. Extending a sidewalk along 8 Mile Road to the west side of the property will result in a dead end sidewalk. It should be noted the existing City of Novi sidewalks on the north side of 8 Mile Road also do not extend to the bridge crossing. Rather, the sidewalk turns north along Brickscape Drive. Additionally, 8 Mile Road ramps upward significantly at the north west corner of the site to accommodate the bridge crossing. The road is approximately 25 feet higher than the north east property corner of the LLEC property. This would require a considerable amount of fill for sidewalk construction and potential relocation of existing bridge approach barrier rails. A sidewalk in this area does not appear feasible.
- It should be noted there are no sidewalks located on the south side of 8 Mile Road within Northville Township until east of Meadowbrook Country Club (Appx. 1.4 Miles east)

Griswold Road:

- Similar to 8 Mile Road, there are no existing sidewalk systems on either side of Griswold Road to connect to extending south into Northville Township. The nearest sidewalks along Griswold Road are approximately 1,400-1,500 ft to the south as you enter the City of Northville.
 - There is currently an existing pedestrian crossing stub over 8 Mile Road on the south side of Griswold Street without a sidewalk connection to this stub. Adding sidewalk on the north side of Griswold Road will not connect this pedestrian crossing stub. Additionally, there is not currently a pedestrian crossing or signalization to the north side of Griswold Street at the 8 Mile intersection. We do not anticipate that LLEC clients will walk to our facility, as we serve people from across the Metro Detroit area and do not specifically serve clients in the immediate area surrounding our facility.
- 2) **6' Path from Bicycle Rack to Griswold Road:** The Applicant will also be requesting a Design and Construction Variance Request from the requirement of providing a 6 ft path from the proposed bicycle rack to Griswold Road. For the same reasons listed above, there is not an existing or proposed sidewalk in the Griswold Street ROW to make a connection.
- 3) **Two-Way Driveway:** The Applicant will be requesting an Administrative Variance from the required 30 ft wide drive requirement for the two-way driveway at the Existing Guest House. The existing driveway is approximately 16' wide. Additionally a DCS Variance will be requested to keep the existing drive approach to Baseline Road in its current configuration. The employees of the LLEC will only use this driveway and Emergency Vehicle access is not required per a preliminary site review and site visit by the City of Novi Fire Marshal. City Council approval of this variance is required.

- 4) **Drive Approach Radii at 8 Mile Road:** If required, the Applicant will be requesting a Design and Construction Variance Request for the required curb radii at the approach to 8 Mile Road. This approach will be used for Emergency Vehicles only to access the existing accessory buildings at the rear of the site. The Applicant will make use of the existing curb cut at 8 Mile Road to provide the required 20 ft wide access road and the required 30'/50' turning movements can be performed within 8 Mile Road.
- 5) **Gravel Parking Spaces / No Curbs / No End Islands:** The applicant is requesting a Design and Construction Variance Request for use of gravel parking spaces, no use of curbs on the site and no end islands as shown in the Preliminary Site Plan to maintain the general character of the site. It should be noted that the existing one-way driveway in front of the Existing Main Residence will be widened to 20' as required by the City of Novi Fire Marshal for emergency vehicle access using concrete paving designed according to City of Novi Standards. In lieu of curbs, the Applicant could provide 4" bumper blocks at the ends of each parking space to better define their locations. Additionally, the two van accessible parking spaces beyond the existing paver brick will be paved with concrete rather than gravel to assure compliance with Accessible Space / ADA standards. City Council approval of these variances will be required.
- 6) **Drive Approach Site Distances:** Please see the Traffic Review response to External Site Access and Operations Item 3 below for a listing of existing and provided site distances for the existing approaches to Baseline Road and Griswold Street. The applicant is requesting a Design and Construction Variance Request for use of the existing approaches with the currently provided Site Distances.

Zoning Board of Appeals Variance Requests:

- 1) **Parking Setbacks (Section 3.6.2.B):** For non-residential uses in residential districts, the ordinance requires a front parking setback equal to the front building setback, or 75 feet.

Applicant Response: ZBA variance request from the front parking setback requirement of 75 feet. The Existing Main Residence at the front of the property will be the center of operations for the Living & Learning Enrichment Campus (LLEC). The existing one-way driveway in front of the Existing Residence will be the main entrance for LLEC client drop off and will provide 17 parking spaces. Additionally, 9 staff parking spaces are provided on the west side of the Existing Main Residence accessed from Baseline Road. Given the sloping topography and existing layout of the site, parking in front of the Existing Main Residence is the best location for the parking required for the site.

- 13 of the parking spaces along Griswold Road will require a variance with spaces ranging from 16.2' – 60.5' from the proposed 30' Right-of Way Line.
- 11 of the parking spaces along Baseline Road may require a variance with spaces ranging from 31.3' – 75' from the existing Baseline Road back of curb.

- 2) Accessory Buildings – Area (Section 4.19.1):** The aggregate of accessory buildings shall not exceed 1,500 s.f.

Applicant Response: ZBA variance request from the accessory building maximum requirement of 1,500 s.f. The applicant is requesting an additional 192 s.f. Alpaca Shed accessory building for use by the LLEC and its clients. Currently none of the existing accessory buildings are in a suitable location for reuse to house the Alpaca. The location shown in the Site Plan will allow daily use and viewing of the animals. The Alpaca Farm will provide multiple programming and revenue opportunities, including: job training, short and long-term employment, revenue from shearing and selling the valuable alpaca fiber, and revenue from breeding and selling offspring. The purpose of the Alpaca shed is to provide shelter from the elements, including harsh winter snow and winds and other, unpleasantly cold, wet, or excessively hot weather.

The following is a list of the existing accessory structures on site:

- Existing Guest House	= 1,063 s.f
- Existing Garage	= 950 s.f.
- Existing Well House	= 203 s.f.
- Existing Greenhouse / Shed	= 424 s.f.
- Existing Shed	= 112 s.f.
- Existing Carriage House	= 1,677 s.f.
- Existing Tool Barn	= <u>1,971.s.f.</u>
Total Area	= 6,400 s.f.

The total floor area for the existing structures will be added to the Preliminary Site Plan as requested.

- 3) Accessory Building – Number (Section 4.19.1):** No more than 2 detached accessory buildings are permitted on lots over 21,780 s.f.

Applicant Response: ZBA variance request to add an additional accessory building for the Alpaca Shed as discussed above. Adding the Alpaca Shed will bring the total number of accessory buildings to eight (8). The total area of the existing property is 14.79 Acres and the addition of the 192 s.f. Alpaca Shed is small relative to the remainder of the site.

ENGINEERING REVIEW:

All engineering review comments discussed in the review letter will be addressed at the time of Final Site Plan submittal. The Soil Erosion and Sedimentation Control Plan checklist and application for permit will be submitted to the City of Novi at the Final Site Plan submittal.

General:

- 2) Two ties to an established section or quarter section corner will be provided on the Final Site Plan as requested.
- 3) The area of disturbance will be provided in the Final Site Plan.
- 4) A City of Novi established benchmark will be provided in the Final Site Plan as requested.

- 5) The 30' wide half-width ROW is shown in the Preliminary Site Plan and will be dedicated to the City of Novi during the Final Site Plan process. The preliminary Site Plan will be revised to show the ROW as "Proposed 30' Right-of Way Line".
- 6) The Applicant will reach out to the Oakland County to determine if Old Baseline Road has a dedicated ROW or if additional ROW needs to be dedicated in the future.
- 7) It is noted that a right-of-way permit will be required from the City of Novi, Wayne County Road Commission and Road Commission for Oakland County.
- 8) The Non-Domestic User Survey Form will be included with the Final Site Plan submittal to Novi.
- 9) The City's standard detail sheets for paving will be included with the Stamping Set submittal to Novi.

Utilities:

- 10) No connections to public utilities are proposed.
- 11) Please see the attached letter from Powell Engineering & Associates, LLC regarding the existing septic system and Coordination with the Oakland County Health Department.

Paving & Grading:

- 12) All paving details will be removed from the Final Site Plan and notes will be provided referring to the City of Novi Standard Detail Sheets.
- 13) As discussed previously in this response letter, a Design and Construction Standards Variance will be requested for sidewalks required along 8 Mile Road and Griswold Street.
- 14) An administrative variance will be requested for the proposed two-way drive at the Existing Guest House. This driveway will be used solely by employees of the LLEC.
- 15) As discussed previously in this response letter, a Design and Construction Standards Variance will be requested for lack of curbs, end islands and gravel parking spaces to maintain the general character of the site. If required, the Applicant could provide 4" bumper blocks at the ends of each parking space to better define their locations.
- 16) The existing bridge on-site will only be accessible to employee vehicular travel as noted in the Preliminary Site Plan.

Storm Water Management:

- 17) Comment noted.
- 18) Comment noted and will be addressed in the Final Site Plan submittal.

TRAFFIC REVIEW:

External Site Access and Operations:

- 1) **a.** The one-way drive in front of the Existing Main Residence will be widened to 20' as previously discussed meeting all entrance and interior radius requirements per Ordinance. The existing two-way driveway will remain as it currently is. A design variance request will be provided to maintain the existing driveway width (appx. 16') and approach radii

that do not meet Ordinance standards. The drive connection to 8 Mile Road will utilize the existing curb cut with at 8 Mile and the driveway will be widened to 20' as required for Emergency Vehicle access as discussed previously.

b. As discussed previously, a design variance request will be provided to maintain the existing driveway width of approximately 16 ft.

- 3) The LLEC will be making use of existing driveway approaches at Baseline Road and Griswold Street. Per Figure VIII-E of the City Code of Ordinances the following Site Distances are required:

Baseline Road (25 MPH) = 260'

Griswold Street (35 MPH) = 360'

Available Site Distances at Drive Approaches

Baseline Road

Existing 2-Way Approach: 260' Provided to the West (to Old Novi Road)
230' to Griswold Intersection

Existing 1-Way In Approach: 260' Provided to the West (to Old Novi Road)
75' to Griswold Intersection

Griswold Street

Existing 1-Way Out Approach: 360' Provided to the East (toward 8 Mile Road)
250' Provided to the Baseline Intersection

Site Distances will be added to the Site Plan as requested. A design variance request will be provided of required for the existing approach Site Distances provided.

Internal Site Operations:

- 1) **a.** The Applicant will only request a variance for lack of a loading zone if required.
b. The existing drive approaches on Baseline Road are dimensioned on the Preliminary Site Plan to be 157 ft apart. Per City Ordinance Sec 11-216.d.1 for Commercial Drive Approaches, the required driveway spacing for a 25 MPH road (Baseline Road) is 105 ft.
- 2) **c.i.3.** If required, 4" bumper blocks can be provided to prevent cars from entering the landscape areas and to define parking space locations.
c.ii. As discussed previously in this letter the Application will be requesting a variance to allow gravel parking spaces.
c.iii. As discussed previously in this letter, the ADA parking spaces will be fully paved concrete. The Preliminary Site Plan will be revised to clarify the parking space paving materials.
d.ii. The Applicant will be requesting a variance from the requirement to provide a 6' path from the bicycle rack to the street. There are not any existing or proposed sidewalks on Baseline Road or Griswold Street.
- 3) The Preliminary Site Plan reoved the 5' wide nature path that was previously shown in the Concept Plan submittal to Novi for Pre-Application review.

Signing and Striping:

- 1) **a.** The Site Plan will be revised to provide a sign table indicating size of all signs.
b. The Site Plan will be revised to include a "Do Not Enter" sign will be added as requested.
- 2) The requested notes and details relating to proposed signing will be added to the Site Plan as requested.

Ms. Lindsay Bell, Planner

September 9, 2020

Page 8

- 3) The requested notes relating to space striping will be added to the Site Plan as requested. However, should the gravel parking spaces be approved, parking striping at the gravel spaces will be difficult. 4" bumper blocks can be installed in lieu of curbs and will also show parking space locations.
- 4) A detail will be added to the Site Plan for the international symbol for accessibility as requested.

Very Truly Yours,

SEIBER KEAST ENGINEERING, LLC

A handwritten signature in blue ink, appearing to read 'R. Emerine', with a stylized flourish at the end.

Robert J. Emerine, P.E.

September 8, 2020

Mr. Rick Meader, Landscape Architect
City of Novi Community Development
45175 West 10 Mile
Novi, MI 48375

RE: Living and Learning

Dear Mr. Meader:

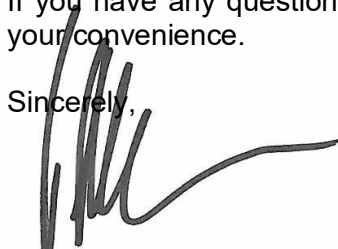
Below are our responses to your review dated August 25, 2020.

Landscape Comments:

- Rain garden planting costs will be added to the landscape cost estimate.
- Additional parking lot landscape area and trees will be provided.
- Bumper blocks will be shown in lieu of curbing to protect landscaping and also maintain the site character.
- The site is currently served by an irrigation system. The current irrigation will be modified based on the proposed plan.
- Additional tree protection fencing will be added along the north drive and will also be shown on the grading and demolition plans.
- The WCDPS clear vision line will be shown for the 8 Mile entry.
- A canopy tree will be planted to replace the large oak, located near the western access drive, after the tree is removed.
- No phragmites is present on the site. A note stating this will be added to the plans.
- The planting dates are located on Sheet L-2 under "Notes".
- The dogwoods will be single stem and noted on the plans.

If you have any questions or comments regarding this response, please contact me at your convenience.

Sincerely,



James C. Allen
Allen Design L.L.C.



Powell
Engineering
& Associates, LLC

4700 Cornerstone Drive
White Lake, MI 48383
Phone: (248)714-9895
Fax: (248)694-9222
Email: help@powelleng.net

August 24, 2020

Bob (Robert) Emerine
Seiber, Keast Engineering, LLC
100 Main Centre, Suite 10
Northville, Michigan 48167

RE: Living & Learning Enrichment Center (801 Griswold St., Northville)
P.E. Job #20-427

Dear Mr. Emerine;

Based upon Powell Engineering's analysis of the original use of the septic systems and the proposed use as represented by the learning center administration, the existing septic systems are adequately designed for the proposed change of use. The Oakland County Health Department has been contacted has no reason to disagree with our assessment. The Health Department does not have an application or permit for change of use. As far as they are concerned, the City of Novi can allow the change of use and the continued use of the existing septic systems.

Feel free to provide the City of Novi our analysis of the septic systems to hopefully approve the change of use. If in the future any of the septic systems were to fail, then the Health Department would be called in to review and possibly require an engineer to evaluate or design a replacement.

Please let us know if you need our further involvement and feel free to contact our office with any questions or concerns you may have.

Sincerely,

POWELL ENGINEERING & ASSOCIATES, LLC
Consulting Engineers

Michael C. Powell, P.E.
President

cc: Owner
File P:\2020\20-427 Massey Estate (801 Griswold, Novi)\docs\Ltr_2020-08-24 Novi Learning Center.doc