

ZONING BOARD OF APPEALS
CITY OF NOVI
Community Development Department
(248) 347-0415

CASE NO. PZ13-0050 25795 MEADOWBROOK ROAD

Location: 25795 Meadowbrook Road

Zoning District: I-1, Light Industrial District

The applicant is requesting an extension of the variance granted in ZBA 12-036 for one 24 square foot oversized real estate sign located at 25795 Meadowbrook Road. The property is located east of Meadowbrook Road and south of 11 Mile Road.

Ordinance Sections:

CITY OF NOVI, CODE OF ORDINANCE, Section 28-6 (4) states: "Sale, rental or lease sign which identifies the sale, rental, or lease of the non-residential property... be...not less than one-half the distance between the principal building and adjacent street and not higher than ten (10) feet nor more than 16 square feet in area.

City of Novi Staff Comments:

The applicant is requesting a variance to allow continued placement of an oversized real estate marketing sign previously approved under ZBA06-011 for 1 year and ZBA07-021 and ZBA 06-011 for 2 years and ZBA 12-036 for 1 year. The existing 24 square foot sign exceeds the allowed sign area of 16 square feet. Staff does not support granting further variances as the failure to grant relief will not unreasonably prevent or limit the use of the property and will not result in substantially more than mere inconvenience or inability to attain a higher economic or financial return.

Standards for Granting a Sign Variance

CITY OF NOVI, CODE OF ORDINANCES, Section 28-16 addresses Sign Variance Appeals:

- The request is based upon circumstances or features that are exceptional and unique to the property and do not result from conditions that exist generally in the City or that are self-created, specifically_____.
- The failure to grant relief will unreasonably prevent or limit the use of the property and will result in substantially more than mere inconvenience or inability to attain a higher economic or financial return because _____.
- The grant of relief will not result in a use of structure that is incompatible with or unreasonably interferes with adjacent or surrounding properties, will result in substantial justice being done to both the applicant and adjacent or surrounding properties, and is not inconsistent with the spirit of the ordinance because_____.



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RECEIVED
 AUG 14 2013
 CITY OF NOVI
 COMMUNITY DEVELOPMENT

For Official Use Only

ZBA Case No. 2230050 ZBA Date: 10/8/13 Payment Received: \$ 300 (Cash)

Check # _____ Include payment with cash or check written to "City of Novi."

TO BE COMPLETED BY APPLICANT - PLEASE PRINT

Please submit one original signed application and 13 copies of all supporting documentation relevant to the appeal.

Applicant's Name Lawrence D. Hadley Date 08/14/13

Company (if applicable) Expedition Real Estate

Address 41200 Bridge St. City Novi ST MI ZIP 48375

*Where all case correspondence is to be mailed.

Applicant's E-mail Address: larry@expeditionre.com

Phone Number (248) 019-9700 FAX Number (248) 476-6777

Request is for:

Residential Construction (New/ Existing) Vacant Property Commercial Signage

1. Address of subject ZBA case: 27595 25975 Meadowbrook Rd. ZIP 48375

2. Sidwell Number: 5022 - 23-226-037 - 99 99 009 823 may be obtained from Assessing Department (248) 347-0485

3. Is the property within a Homeowner's Association jurisdiction? Yes No

4. Zoning: RA R-1 R-2 R-3 R-4 RT RM-1 RM-2 MH OS-1 OS-2 JSC OST OTHER

5. Property Owner Name (if other than applicant) Equity Ventures II, LLC

6. Does your appeal result from a Notice of Violation or Citation Issued? Yes No

7. Indicate ordinance section(s) and variances requested:

1. Section 28-6-1 Variance requested Oversized sign on Meadowbrook Rd, which is further than 1/2 the
2. Section _____ Variance requested distance between the principal building and the adjacent street.
3. Section _____ Variance requested _____
4. Section _____ Variance requested _____

8. Please submit an accurate, scaled drawing of the property showing:

- a. All property lines and dimensions correlated with the legal description.
- b. The location and dimensions of all existing and proposed structures and uses on property.
- c. Any roads, easements, drains, or waterways which traverse or abut the property and the lot area and setback.
- d. Dimensions necessary to show compliance with the regulations of this Ordinance.

9. State the practical difficulties which prevent conformance with the Zoning Ordinance requirements (attach separate sheet if necessary):

The topography of the site creates difficulty in complying with the distance requirement for the sign, as the sign would not be visible from Meadowbrook Rd. This limits the ability to market the property to prospective tenants, creating an economic hardship.

10. Describe any unique circumstances regarding the property (i.e., shape, topography, etc.) which are not common to other properties in the area and which prevent strict compliance with the Zoning Ordinance:

The upward slope of the site makes it impossible for the sign to be seen at the required maximum distance from the building.

SIGN CASES ONLY:

Your signature on this application indicates that you agree to install a Mock-Up Sign ten (10) days before the scheduled ZBA meeting.

Failure to install a mock-up sign may result in your case not being heard by the Board, postponed to the next scheduled ZBA meeting, or cancelled. A mock-up sign is **NOT** to be the actual sign. Upon approval, the mock-up sign must be removed within five (5) days of the meeting. If the case is denied, the applicant is responsible for all costs involved in the removal of the mock-up or actual sign (if erected under violation) within five (5) days of the meeting.

Variance approval is void if permit not obtained within one hundred eighty (180) days of date of decision.

There is a five (5) day hold period before work/action can be taken on variance approvals.


All property owners' within 300 feet of ZBA property address will be notified of the ZBA case and variance requests.

PLEASE TAKE NOTICE:

The undersigned hereby appeals the determination of the Building Official/ Inspector or Ordinance Officer made

Construct New Home/Building Addition to Existing Home/Building Accessory Building

Use Signage Other


Applicants Signature

8-14-13
Date


Property Owners Signature

8-14-2013
Date

DECISION ON APPEAL

Granted Denied Postponed by Request of Applicant Board

The Building Inspector is hereby directed to issue a permit to the Applicant upon the following terms and conditions:

Chairperson, Zoning Board of Appeals

Date

MARQUE CORPORATE CENTERS NOVI TECHNICAL CENTER

SIGN
LOCATION

MEADOWBROOK ROAD

X

*

←-- N



25825

TO 11 MILE ROAD

25688

25685

25681

25657

25653

25649

25673

25677

25661

25665

25669

25603

25921

25917

25913

25909

25903

25901

Existing sign for 25975 Meadowbrook

EXPEDITION
REAL ESTATE

FOR LEASE

(248)

919-9700

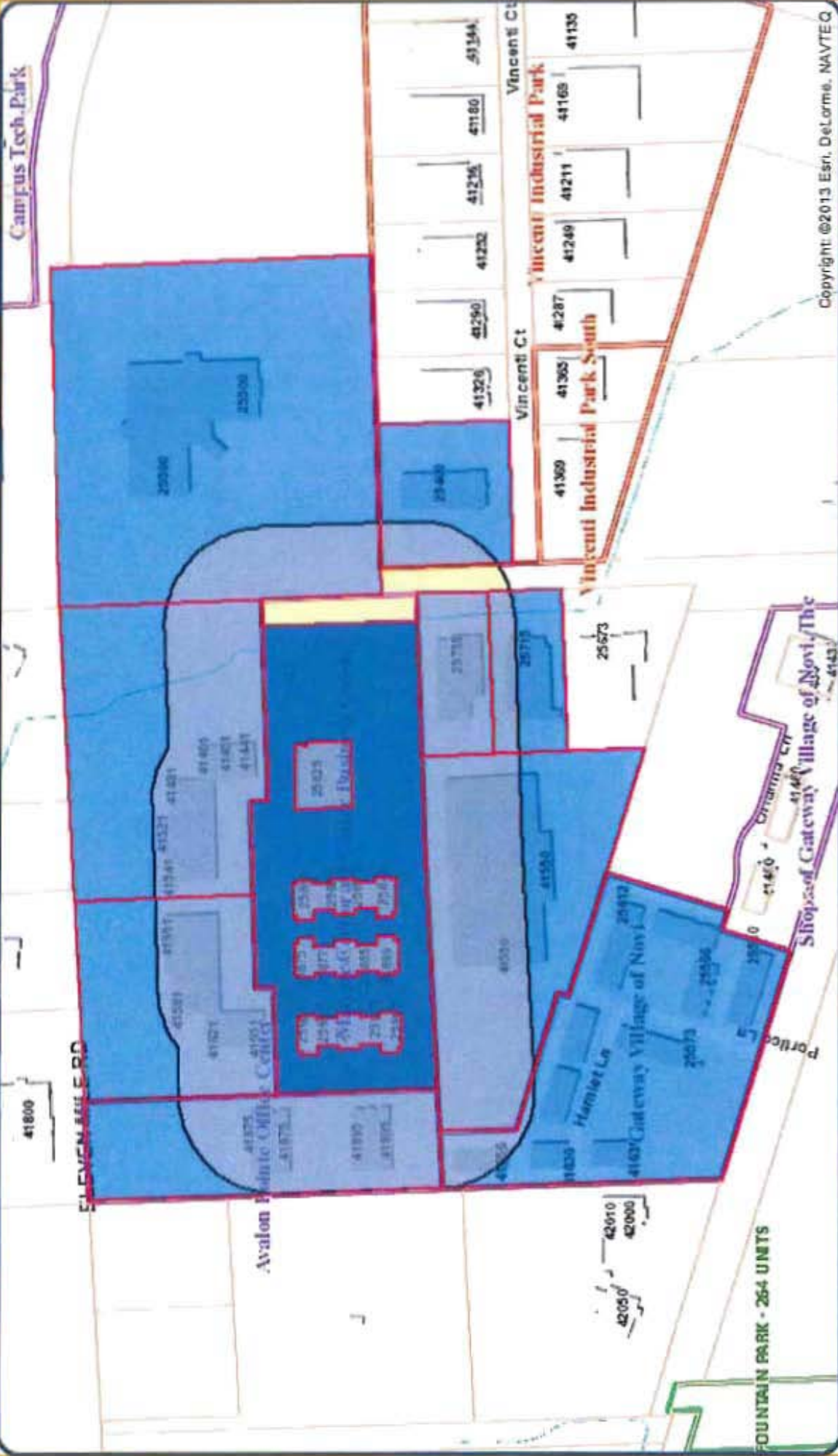
CONTACT

LARRY HADLEY

(248) 767-7870

EXPEDITIONRE.COM

Novi, MI
25795 Meadowbrook Rd



Map Produced Using the
City of Novi, Michigan
Internet Mapping Portal

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Scale: 1 inch = 424 feet
0 215 430 860 Feet

Author: [i]
Date: 9/18/2013

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