

FACADE REVIEW



December 4, 2012

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

**Re: FACADE ORDINANCE - Facade Review – Revised Preliminary S.P.
 Panera Bread Drive Thru Retrofit, PSP12-0047**
 Façade Region: 1, Zoning District: TC-1, Building Area: 468 S.F., 1-Story Addition.

Dear Ms. McBeth;

The following is the Facade Review for Preliminary and Final Site Plan Approval of the above referenced project based on the drawings prepared by Dennis D. Smith, AIA, dated 9/4/12. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials (AKA Façade Chart) of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Chart, if any, are highlighted in bold.

	West	South	East	North	Ordinance Maximum (Minimum)
Brick	91%	83%	92%	NA	100% (30%)
EIFS	9%	8%	8%	NA	25%
Fabric Awning	0%	9%	0%	NA	10%

Building - As shown above the percentages of all proposed materials are in full compliance with the Façade Ordinance. A Section 9 Waiver is not required for this project. No façade material sample board was provided however the drawings indicate that all colors are to match existing. It should be noted that Façade Chart footnote 6 requires that the adjacent materials (brick) must extend behind the Fabric Awning.


Canopy - A “New Drive Thru Canopy” is indicated on the Site Plan, Sheet 2. No architectural drawings were provided for the canopy. Section 2520.12 of the Façade Ordinance states that canopies are considered separate facades and are to be constructed of materials matching the building. The applicant should submit architectural drawings of the proposed canopy, prior to Final Site Plan Approval. This can be handled administratively, providing that the design is in full compliance. Refer to section 2520.12 of the Façade Ordinance for specific requirements.

Notes to the Applicant: The City of Novi requires Façade Inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. This should occur immediately after the materials are delivered. Materials must be approved before installation on the building. Please use the Novi Building Department's Online Inspection Portal by following the link below. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>

If you have any questions regarding this project please do not hesitate to call.

Sincerely,
DRN & Architects PC

A handwritten signature in black ink, appearing to read "Douglas R. Necci". The signature is fluid and cursive, written over the printed name below.

Douglas R. Necci, AIA

FIRE REVIEW



September 6, 2012

October 16, 2012

November 20, 2012 (revised)

TO: Barbara McBeth, Deputy Director of Community Development
Joseph Shelton, Fire Marshal

RE: Panera Bread – Drive Thru

SP#: JSP12-0048 & PSP12-0047

CITY COUNCIL

Mayor
Bob Gatt

Mayor Pro Tem
Dave Staudt

Terry K. Margolis

Andrew Mutch

Justin Fischer

Wayne Wrobel

Laura Marie Casey

City Manager
Clay J. Pearson

**Director of Public Safety
Chief of Police**
David E. Molloy

Director of EMS/Fire Operations
Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

Project Description:

Proposal is for an added "Drive Thru" at existing building and an added 18'x26' building addition.

Comments:

1. **APPROVED 10/16** - One Fire Hydrant will be required to be relocated as shown on plans.
2. **APPROVED 10/16** - The FDC may need to be relocated due to the new addition. Detailed plans and possibly a revised sprinkler system plan will be required if FDC is moved.
3. **Will be addressed upon fire alarm submittal – APPROVED 10/16** - Horn Strobe device above FDC (exterior) will need to be moved if FDC is moved. A revised fire alarm system plan may be required.
4. **Will be addressed upon fire sprinkler submittal – APPROVED 10/16** - New 18'x26' addition will be required to have fire sprinklers added and connected to existing system. A Fire Sprinkler system permit will be required and detailed plans provided.

Recommendation:

The above plan has been re-reviewed and is recommended for **APPROVAL**, as the items listed above have been addressed by the applicant. Items #3 & #4, will be addressed during fire inspections and construction.

This review is consistent with two previous reviews on 9/6 & 10/16.

Sincerely,

Andrew Copeland – Inspector II/CFPE
City of Novi – Fire Dept.

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

SEIBER, KEAST ENGINEERING, LLC

CIVIL ENGINEERING
SITE DESIGN

7125 ORCHARD LAKE ROAD, SUITE 314
WEST BLOOMFIELD, MICHIGAN 48325
(248) 562-7357

December 6, 2012

Kristen Kapelanski, AICP, Planner
City of Novi – Planning Department
45175 West 10 Mile Road
Novi, Michigan 48375

Re: **PANERA BREAD DRIVE THRU, JSP12-0048, PSP12-0028**
Preliminary Site Plan and Special Land Use

Dear Ms. Kapelanski:

Attached please find eleven (11) sets of Site Plans for the subject project. In response to comments received from the City of Novi Plan Review Center, dated December 5, 2012, we offer the following:

PLANNING REVIEW (12/05/12)

Ordinance Requirements

1. **Building Setback**: We are requesting a setback modification from the Planning Commission.
2. **Parking Setback**: Application for a variance has been made to the ZBA.
3. **Drive Thru Bypass Lane**: Application for a variance has been made to the ZBA.
4. **Drive Thru Canopy**: Elevations for the canopy confirming that it will be built of materials matching the building and in compliance with Novi's Façade Ordinance, will be provided at Final Site Plan, per page 1 of Façade Review from DRN & Associates, Architects, PC, and dated December 4, 2012.
7. **Photometric Plan**: Will be provided at Final Site Plan.
8. **Signs**: A sign permit will be obtained per ordinance requirements.

ENGINEERING REVIEW (12/04/12)

All items in the Engineering Review relate to items required when the plan is submitted for Final Site Plan. Inasmuch as approval of the Preliminary Site Plan is recommended, we have made no changes to the Preliminary Site Plan in response to the Engineering Review. We agree to address all items indicated at Final Site Plan.

TRAFFIC REVIEW (Birchler Arroyo 12/04/12)

Page 2 - Trip Generation and Drive-Through Use:

6. & 7. The applicant's traffic engineer, Wilcox Professional Services, LLC, has provided the requested additional calculations and revised queuing analysis. Birchler Arroyo, the city's traffic engineer, has indicated that they found satisfactory results from the new analysis.

SEIBER, KEAST ENGINEERING, LLC

Ms. Kristen Kapelanski, AICP
December 6, 2012
Page 2 of 2

Page 4 - Vehicular Access Locations

15. As indicated, the existing curb to curb driveway dimension of approximately 88 feet does not conform to the city standard of 105 feet. This plan proposes to lessen that to 82 feet in the interest of improving the overall flow of traffic in and out of the driveway and drive thru lane. Therefore, a Planning Commission waiver of the minimum spacing standard is being requested.

Page 5 – 6 - Parking and Circulation

19. a. We agree to shift the proposed "new drive-thru directional sign" one foot south. This change will be shown on the Final Site Plan.
20. A variance for the required 18-ft wide bypass lane has been requested from the ZBA.
21. Parking Spaces are dimensioned to face of curb (e-w) and are 9.5' to back of curb. This will be clarified with more detail on the Final Site Plan.
22. – 25. As requested, signage and pavement striping details will be provided on the Final Site Plan.

LANDSCAPE REVIEW (12/03/12)

Inasmuch as approval of the Preliminary Site Plan is recommended, we have no comments responding to the Landscape Review except that we agree that an irrigation plan will be submitted at Final Site Plan.

FIRE DEPARTMENT REVIEW (11/20/12)

Items 3 and 4 will be addressed during fire inspections and construction, as requested.

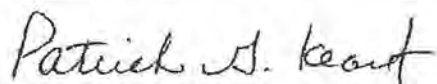
FAÇADE REVIEW (DRN & ASSOCIATES, ARCHITECTS, PC (12/04/12)

Architectural drawings of the proposed canopy will be submitted for review prior to Final Site Plan Approval, as requested.

Please feel free to call if there are any questions relating the above responses or the Site Plan.

Sincerely,

SEIBER, KEAST ENGINEERING, LLC



Patrick G. Keast, P.E.

encl.

cc: Mike Kalfayan, Panera, LLC
Caty Gaboian, Law Kingdon Architecture

PRELIMINARY SITE PLAN

**PANERA BREAD DRIVE THRU
& BUILDING ADDITION—PHASE 6**

**CITY CENTER PLAZA
SECTION 15 AND 22, CITY OF NOVI
OAKLAND COUNTY, MICHIGAN**

PREPARED FOR:
PANERA, LLC
13080 BURNS ROAD
CARLETON, MI 48117
734.231.1732

LEGAL DESCRIPTION

Part of Lots 10, 14, 15, 16 and 17 of "Supervisor's Plat No. 3", as recorded in Liber 54 of Plats, on Page 84, Oakland County Records, and Lots 1, 2, 3, 4, and 5 of "Railroad Subdivision", as recorded in Liber 92 of Plats, on Pages 16, 17 and 18, Oakland County Records; being a part of the Northeast 1/4 of Section 22, Town 1 North, Range 8 East, City of Novi, Oakland County, Michigan; more particularly described as commencing at the Northeast Corner of said Section 22; thence Due South, 138.57 feet, along the East line of said Section 22 and the centerline of Novi Road, to the Southerly right-of-way of Grand River Avenue (50 ft. 1/2 right-of-way); thence North 70°38'08" West, 34.88 feet, along the Southerly right-of-way of said Grand River Avenue, to the Westerly right-of-way of said Novi Road (33 ft. 1/2 right-of-way); thence Due South, 149.89 feet (recorded as 150.02 feet), along the Westerly right-of-way of said Novi Road, to the Northeast corner of Lot 14 of said "Supervisor's Plat No. 3"; thence South 88°49'04" West, 17.00 feet, along the North line of Lot 14 of said "Supervisor's Plat No. 3", to a point on the Westerly right-of-way of said Novi Road (50 ft. 1/2 right-of-way) and the POINT OF BEGINNING; thence Due South, 399.66 feet, along the Westerly right-of-way of said Novi Road, to a point on the Southerly line of Lot 16 of said "Supervisor's Plat No. 3"; thence Due West, 10.00 feet, along the Southerly line of said Lot 16 of said "Supervisor's Plat No. 3", to the Northeast corner of Lot 3 of said "Railroad Subdivision" and a point on the Westerly right-of-way of said Novi Road (50 ft. 1/2 right-of-way); thence Due South, 218.71 feet (recorded as 218.57 feet), along the Westerly right-of-way of said Novi Road, to the Southeast corner of Lot 5 of said "Railroad Subdivision" and the Northeastly right-of-way of Flint Street; thence 125.91 feet along a curve to the right, said curve having a radius of 119.90 feet, a central angle of 60°10'07", and a chord bearing and distance of North 59°54'56" West, 120.20 feet (recorded as arc 124.85 feet, radius of 119.94 ft., central angle of 60°08'36", and a chord of South 69°53'54" East, 119.20 feet), along the Northeastly right-of-way of said Flint Street; thence North 01°43'38" East, 28.66 feet (recorded as South 118°23' West, 29.95 feet), along the Northeastly right-of-way of said Flint Street, to the Northwest corner of said Lot 5 of said "Railroad Subdivision"; thence North 29°49'53" West, 741.38 feet (recorded as South 29°51'45" East, 742.48 feet), along the Northeastly right-of-way of said Flint Street, to the Northwest corner of Lot 1 of said "Railroad Subdivision"; thence South 70°38'08" East, 56.00 feet (recorded as South 70°38'00" East), along the Northerly line of said Lot 1 of said "Railroad Subdivision"; thence North 17°57'33" East, 83.31 feet, along the boundary of said Lot 1 of said "Railroad Subdivision" and an extension thereof, to the Southwest corner of Lot 9 of said "Supervisor's Plat No. 3"; thence South 71°43'28" East, 96.97 feet (recorded as 97.0 feet), along the Southerly line of said Lot 9, to the Southwest corner of Lot 10 of said "Supervisor's Plat No. 3"; thence North 17°00'45" East, 114.90 feet (recorded as 115.1 feet), along the Westerly line of said Lot 10 of said "Supervisor's Plat No. 3", to the Northwest corner of said Lot 10 and the Southerly right-of-way of said Grand River Avenue; thence South 70°38'08" East, 88.10 feet (recorded as South 70°38' East), along the Southerly right-of-way of said Grand River Avenue, to the Northeast corner of said Lot 10 of said "Supervisor's Plat No. 3"; thence South 16°02'43" West, 113.28 feet (recorded as 113.48 feet), along the Easterly line of said Lot 10 of said "Supervisor's Plat No. 3", to the Southeast corner of said Lot 10; thence South 71°43'28" East, 41.97 feet (recorded as 42.0 feet), along the Southerly line of Lot 11 of said "Supervisor's Plat No. 3", to the Southeast corner of said Lot 11; thence South 16°04'51" West, 99.47 feet, along the Westerly line of Lot 12 of said "Supervisor's Plat No. 3", to the Northwest corner of said Lot 14 of said "Supervisor's Plat No. 3"; thence South 80°12'52" East, 59.95 feet (recorded as 60.00 feet), along the Northerly line of said Lot 14 of said "Supervisor's Plat No. 3"; thence North 88°49'04" East, 154.58 feet, along the Northerly line of said Lot 14 of said "Supervisor's Plat No. 3", to the Point of Beginning. All of the above containing 4.368 Acres. All of the above being subject to easements, restrictions, and right-of-ways of record. All of the above being subject to the rights of the public in Novi Road, Grand River Avenue and Flint Street. Tax Parcel Id.: 22-22-227-028

SHEET INDEX

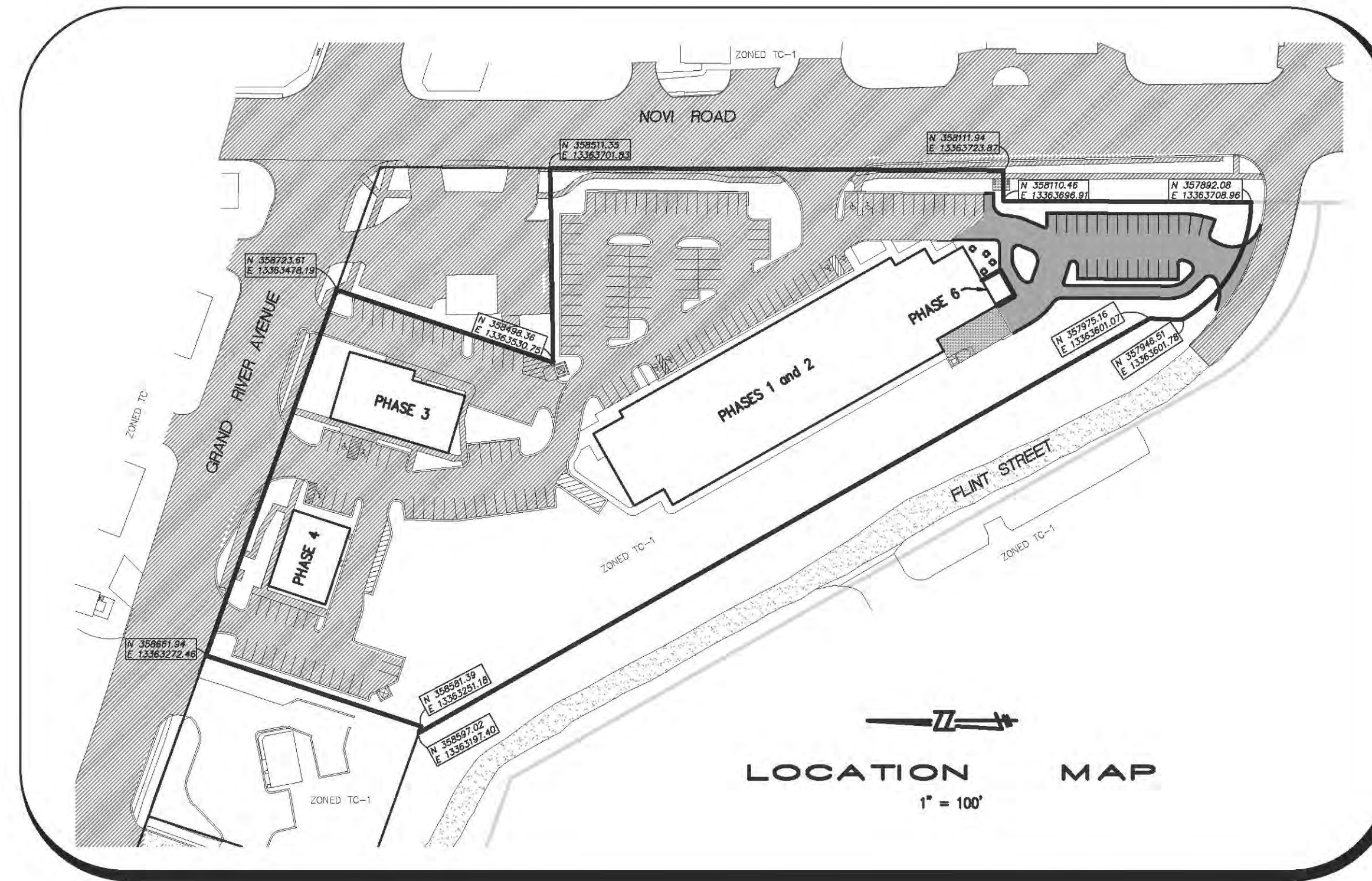
- ENGINEERING PLANS:
1. COVER SHEET
 2. PRELIMINARY SITE PLAN
 3. STORM WATER MANAGEMENT, NOISE IMPACT AND OPEN SPACE PLAN
- ARCHITECTURAL PLANS:
- A 1.0 FLOOR PLAN
 - A 2.0 EXTERIOR ELEVATIONS
 - A 2.1 EXTERIOR ELEVATIONS
- LANDSCAPE PLAN & LANDSCAPE DETAILS:

NOTES

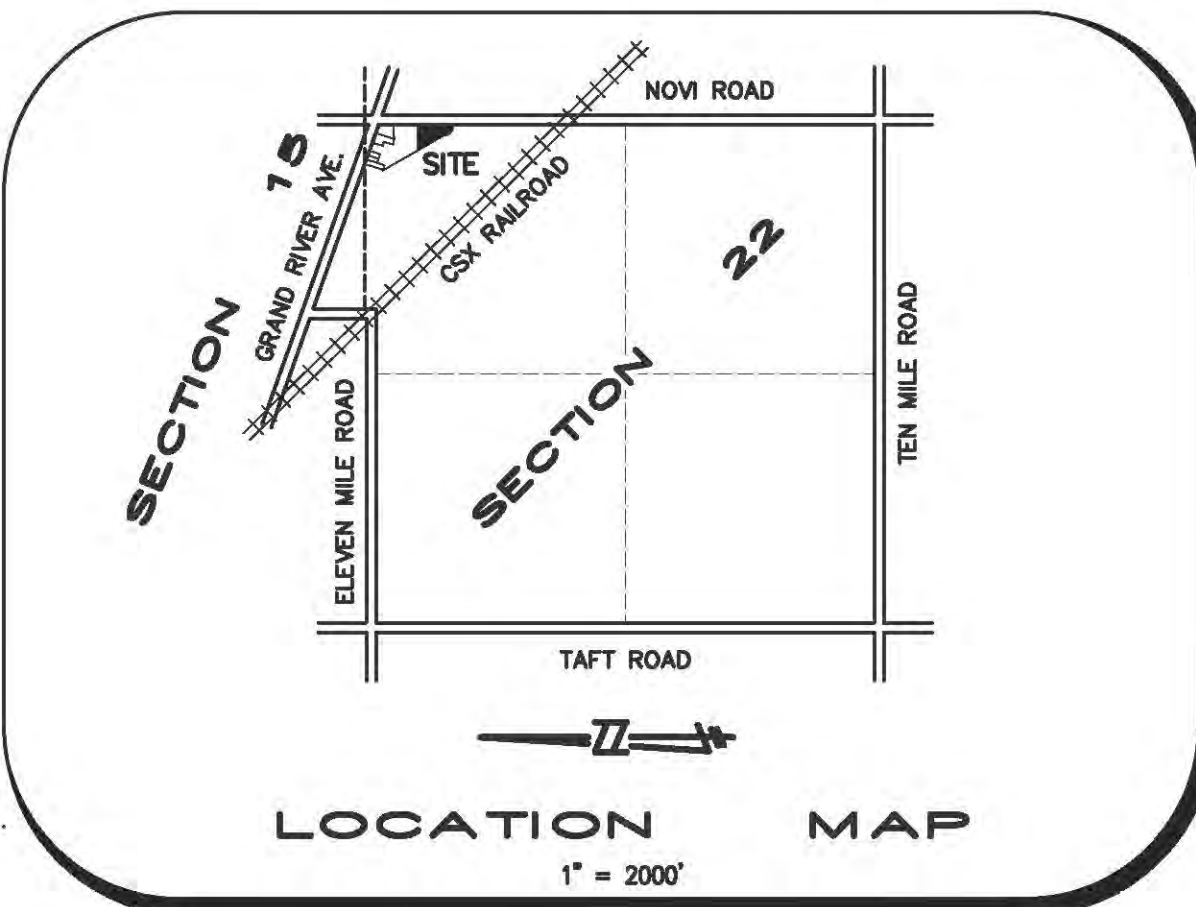
1. ALL WORK SHALL CONFORM TO THE CITY OF NOVI'S CURRENT STANDARDS AND SPECIFICATIONS.
2. THE CONTRACTOR MUST OBTAIN A PERMIT FROM THE CITY OF NOVI FOR ANY WORK WITHIN THE RIGHT-OF-WAY OF FLINT STREET.
3. ALL PAVEMENT MARKINGS, TRAFFIC CONTROL SIGNS, AND PARKING SIGNS SHALL COMPLY WITH THE DESIGN AND PLACEMENT REQUIREMENTS OF THE 2011 MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

FIRE DEPARTMENT NOTES

1. ALL FIRE HYDRANTS AND WATER MAINS SHALL BE INSTALLED AND IN SERVICE PRIOR TO ABOVE FOUNDATION BUILDING CONSTRUCTION.
2. ALL WEATHER ACCESS ROADS CAPABLE OF SUPPORTING A MINIMUM LOAD OF 25 TONS SHALL BE INSTALLED TO PROVIDE ACCESS TO ALL FIRE HYDRANTS AND BUILDING PRIOR TO ABOVE FOUNDATION CONSTRUCTION.
3. BUILDING ADDRESSES SHALL BE POSTED FACING THE STREET DURING ALL PHASES OF CONSTRUCTION. ADDRESSES SHALL BE A MINIMUM OF THREE INCHES IN HEIGHT ON A CONTRASTING BACKGROUND.
4. PROVIDE 4-6" DIAMETER CONCRETE FILLED STEEL POST 48" ABOVE FINISH GRADE AT EACH HYDRANT AS REQUIRED.
5. FIRE LANES SHALL BE POSTED WITH "FIRE LANE - NO PARKING" SIGNS IN ACCORDANCE WITH ORDINANCE #85.99.02.



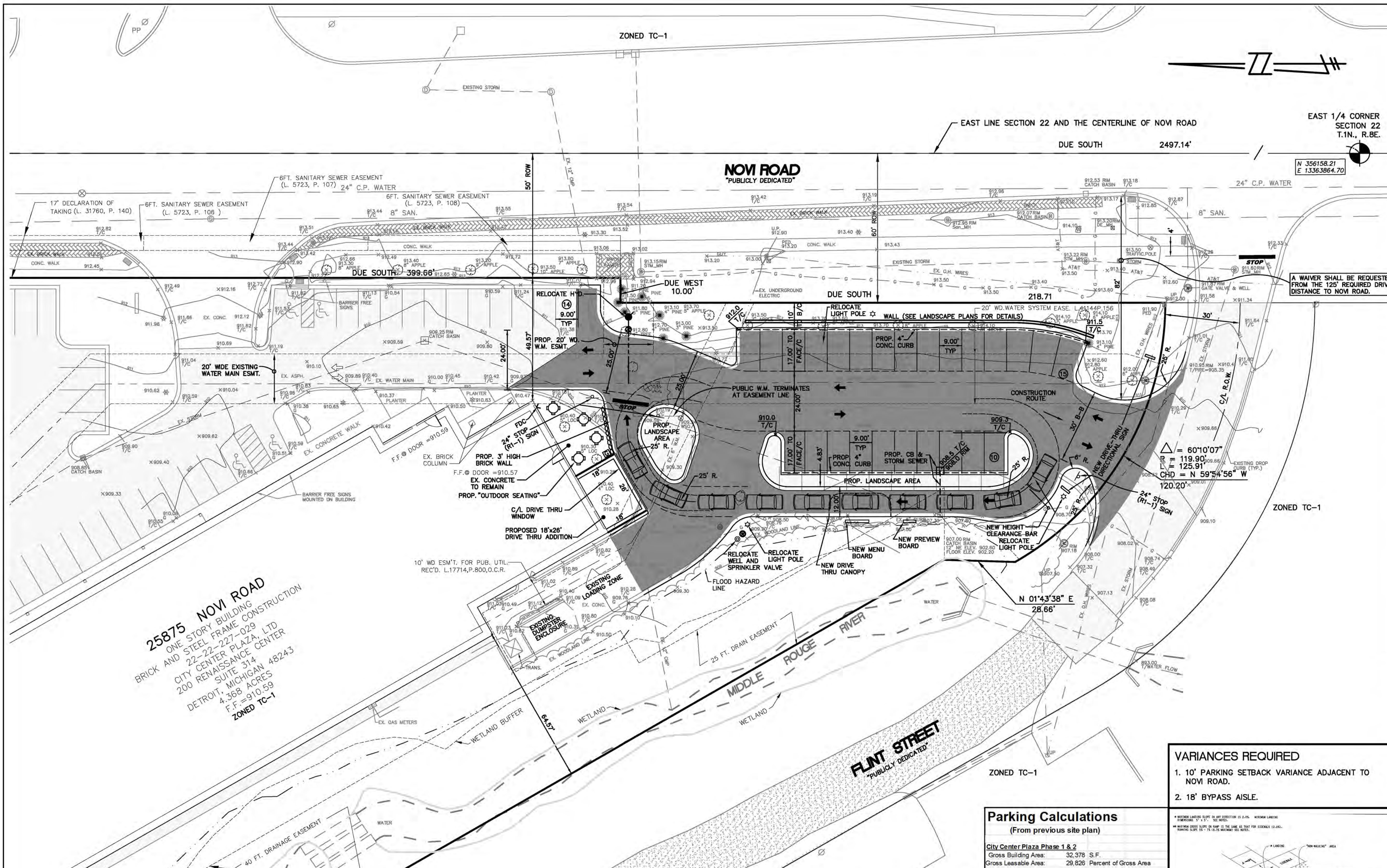
LOCATION MAP
1" = 100'



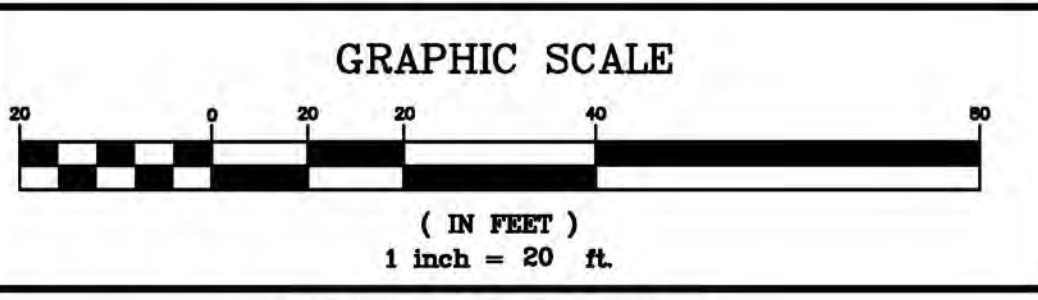
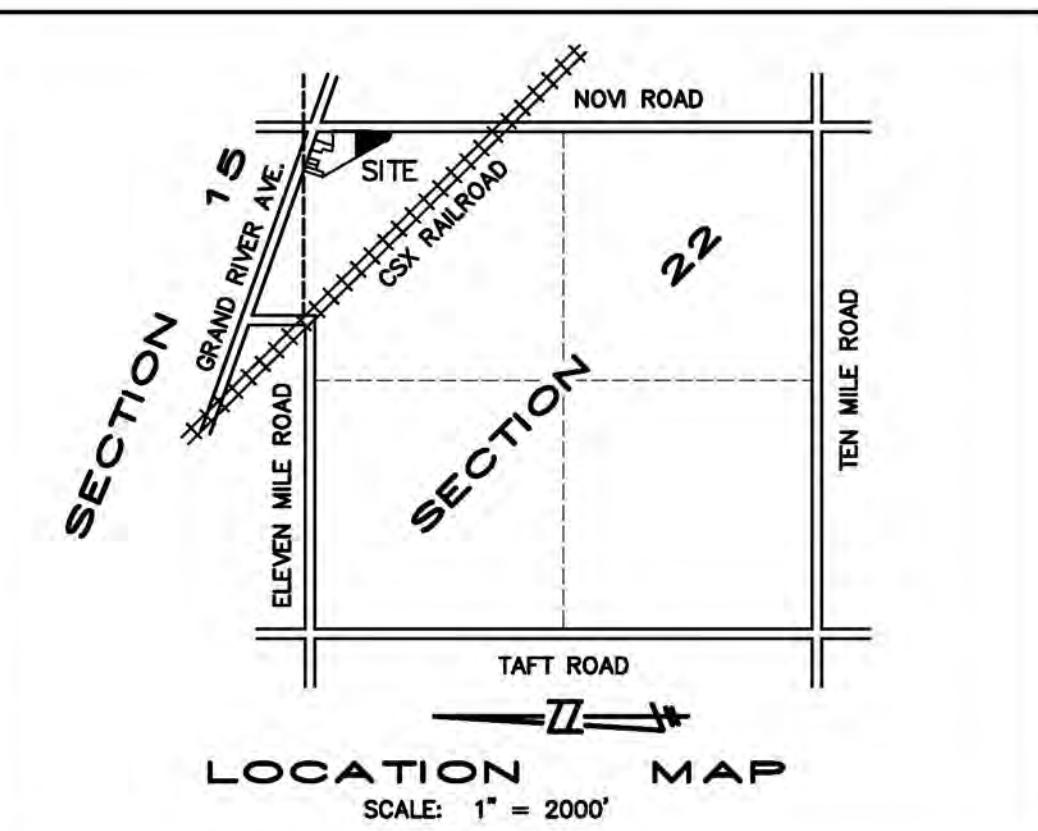
SEIBER, KEAST ENGINEERING, L.L.C.
CONSULTING ENGINEERS
7125 ORCHARD LAKE ROAD • SUITE 314 • WEST BLOOMFIELD, MI • 48325
PHONE: 248.562.7357 FAX: 248.562.7397

SURVEY PROVIDED BY:
AMBIT LAND SURVEYORS, INC.
691 WING STREET
PLYMOUTH, MICHIGAN 48170
PHONE: 734.455.5501

REVISIONS			ENGINEER'S SEAL
NO.	ITEM	DATE	
1.	PER CITY CONSULTANTS	10-3-2012	
2.	PER CITY CONSULTANTS	11-16-2012	
DATE: 9-15-12 DESIGNED BY: A.A. JOB NUMBER: 12-012			
CHECKED BY: P.K. DRAWING FILE: 12-012-01-CV			



25875 NOVI ROAD
 ONE STORY BUILDING
 BRICK AND STEEL FRAME CONSTRUCTION
 22-22-227-029
 CITY CENTER PLAZA LTD
 200 RENAISSANCE CENTER
 DETROIT, MICHIGAN 48243
 SUITE 314
 4.368 ACRES
 T.F. = 910.59
 ZONED TC-1



FLOOD PLAIN NOTE
 BUILDING ADDITION IS NOT WITHIN THE FEMA REGULATED FLOOD HAZARD AREA.

SOIL CLASSIFICATIONS
 The soils classification determined from the Soils Survey of Oakland County, Michigan 1980, published by the United States Department of Agriculture, Soils Conservation Service is 59-Urban Land, (Entire Parcel). Site Plan is graphical representation.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
[Symbol]	[Symbol]	PAVEMENT (ASPHALT)
[Symbol]	[Symbol]	MOUNTABLE CURB
[Symbol]	[Symbol]	MDOT B2 CURB (STANDARD GUT.)
[Symbol]	[Symbol]	MDOT B2 CURB (REVERSE GUT.)
[Symbol]	[Symbol]	STORM SEWER
[Symbol]	[Symbol]	SANITARY SEWER
[Symbol]	[Symbol]	WATER MAIN
[Symbol]	[Symbol]	MANHOLE
[Symbol]	[Symbol]	CATCH BASIN W/ SEDIMENT FILTER
[Symbol]	[Symbol]	END SECTION W/ CONC. RIP-RAP
[Symbol]	[Symbol]	GATE VALVE
[Symbol]	[Symbol]	HYDRANT
[Symbol]	[Symbol]	WETLANDS
[Symbol]	[Symbol]	WETLAND BUFFER
[Symbol]	[Symbol]	CONTOURS
[Symbol]	[Symbol]	SPOT ELEVATION
[Symbol]	[Symbol]	TRAFFIC ARROWS
[Symbol]	[Symbol]	SILT FENCE
[Symbol]	[Symbol]	TREE FENCE
[Symbol]	[Symbol]	STREET LIGHT
[Symbol]	[Symbol]	GARBAGE RECEPTACLE

PROPOSED PAVEMENT

	REMOVED	PROPOSED
PUBLIC	14,628 S.F.	13,587 S.F.
PRIVATE	586 S.F.	561 S.F.

UTILITY WARNING
 UNDERGROUND UTILITY LOCATIONS AS SHOWN ON THE PLAN, WERE OBTAINED FROM UTILITY OWNER AND NOT FIELD LOCATED.
811 Know what's below. Call before you dig.
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF AND/OR RELOCATION OF ALL UTILITIES THAT MAY INTERFERE WITH CONSTRUCTION.

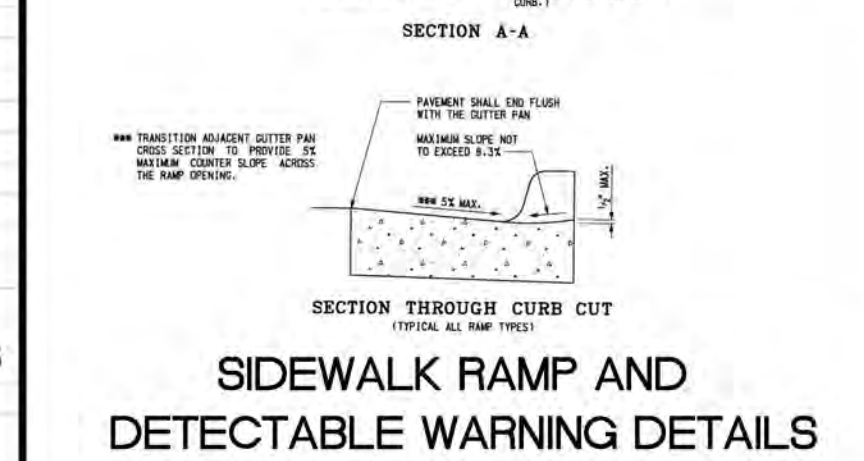
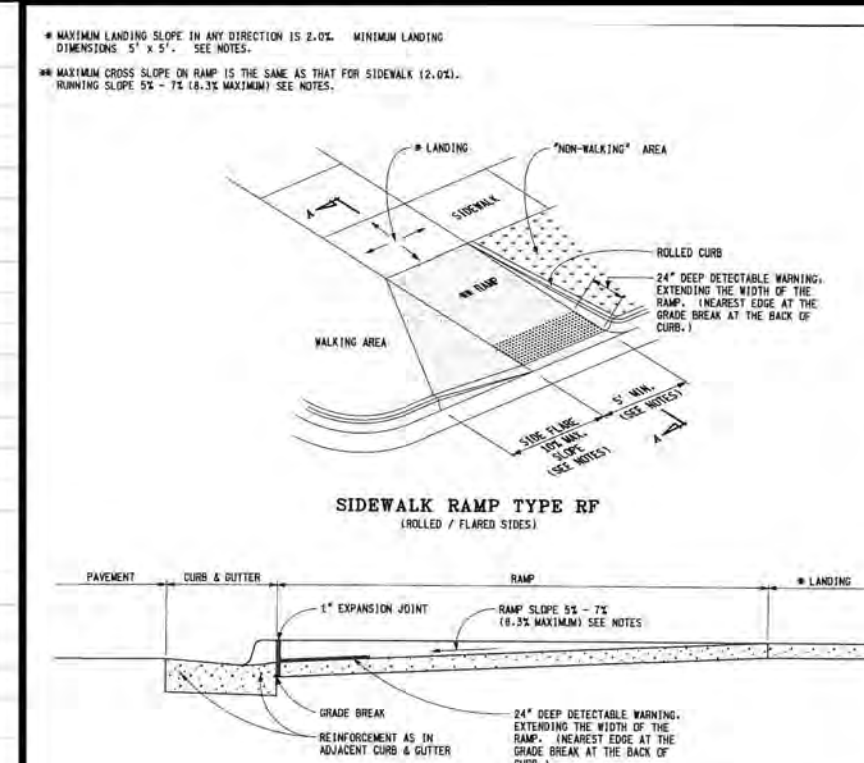
VARIANCES REQUIRED
 1. 10' PARKING SETBACK VARIANCE ADJACENT TO NOVI ROAD.
 2. 18' BYPASS AISLE.

Parking Calculations
 (From previous site plan)

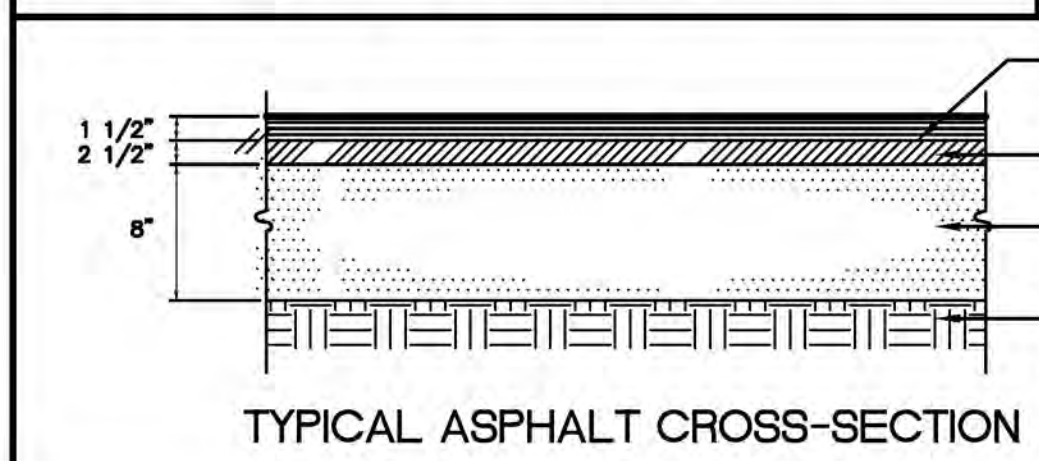
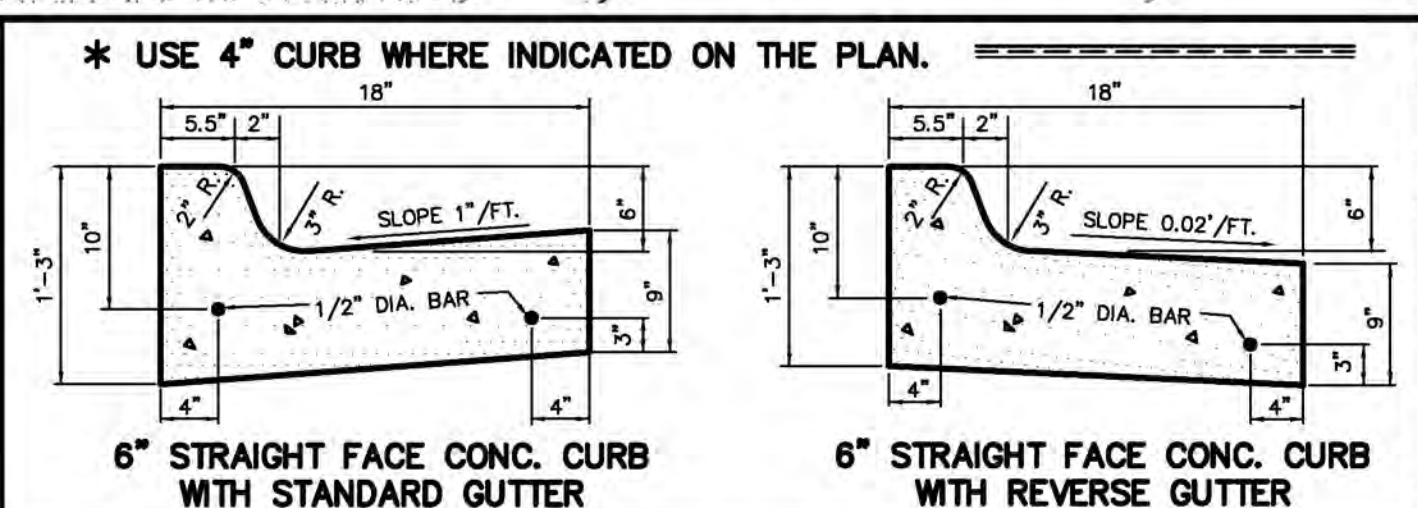
City Center Plaza Phase	Gross Building Area	Gross Leasable Area	Percent of Gross Area
City Center Plaza Phase 1 & 2	32,376 S.F.	29,826	
City Center Plaza Phase 3	6,096 S.F.		
City Center Plaza Phase 4	3,640 S.F.	3,203	Use 88% of Gross Area
City Center Plaza Phase 6	468 S.F.	430	Use 92% of Gross Area
Total Gross Leasable Area:		39,105 S.F.	

Total Parking Required
 (39,105 s.f. / 250 s.f. per space) = 156 Spaces

Existing Parking	204
Existing Parking to be Removed	-30
New Phase 6 Parking	26
Therefore, parking is adequate.	
Barrier Free Spaces: 9 Provided	
7 Required (See Sheet 1)	

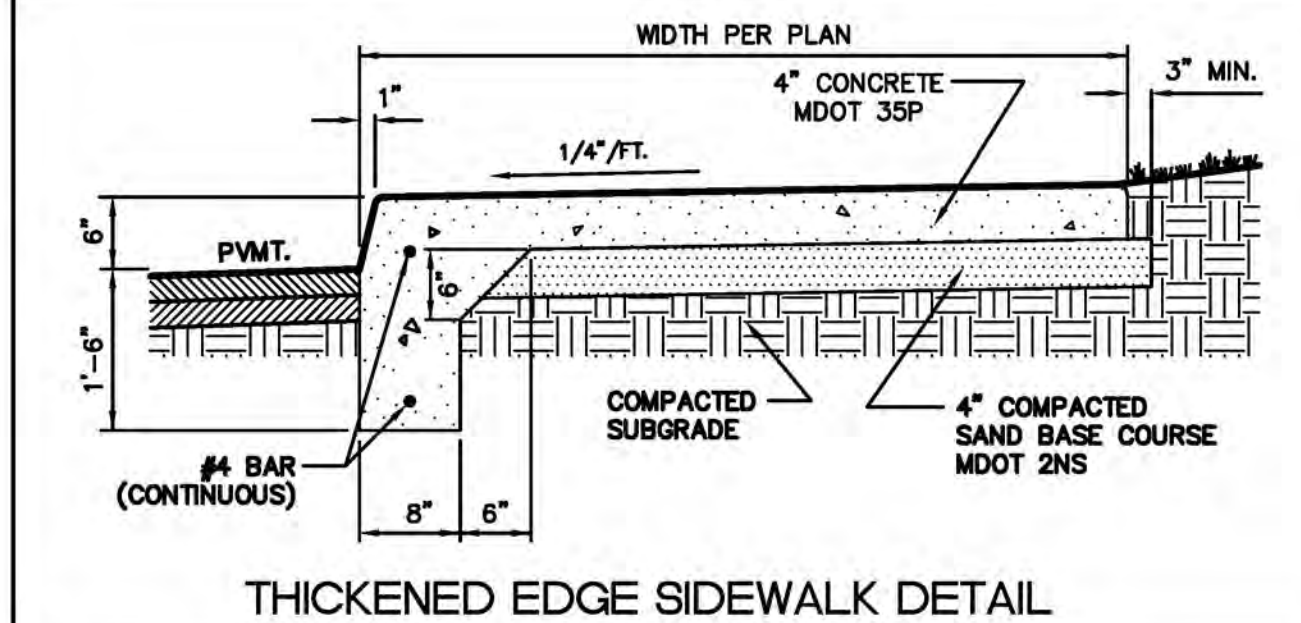


- NOTES**
- EXISTING DOMESTIC WATER SERVICE AND FIRE LINE TO BE RELOCATED TO ACCOMMODATE BUILDING ADDITION.
 - TRASH PICKUP AND DELIVERIES ARE TO OCCUR DURING OFF PEAK HOURS.
 - RIGHT-OF-WAY PERMIT REQUIRED FROM CITY OF NOVI FOR WORK WITHIN THE FLINT STREET RIGHT-OF-WAY.



REFERENCE BENCHMARK
 City of Novi Benchmark (OLD 22-2)
 R.R. Spike, East side of Power Pole, West side of Novi Road, Northeast Corner of Cemetery. Elevation = 914.95 U.S.G.S. Datum

SITE BENCHMARK
 BM1 - Arrow on hydrant located East of Building #25875 Novi Road. Elevation = 913.34 U.S.G.S. Datum
 BM2 - Arrow on hydrant located on the South side of Grand River Avenue, 100' +/- East of Flint Street. Elevation = 906.37 U.S.G.S. Datum



PANERA BREAD DRIVE THRU AND BUILDING ADDITION
CITY CENTER PLAZA PHASE 6
 SECTION 15 & 22, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

NO.	ITEM	DATE
1.	PER CITY CONSULTANTS	10-3-2012
2.	PER CITY CONSULTANTS	11-16-2012

APPLICANT
PANERA, LLC
 ATTN.: MIKE KALFAYAN
 13080 BURNS RD.
 CARLETON, MI 48117
 PHONE: (734)231-1732
 mike.kalfayan@panerabread.com

DATE: 3-29-12 DESIGNED BY: JUB
 CHECKED BY: PK JOB NUMBER: 12-012

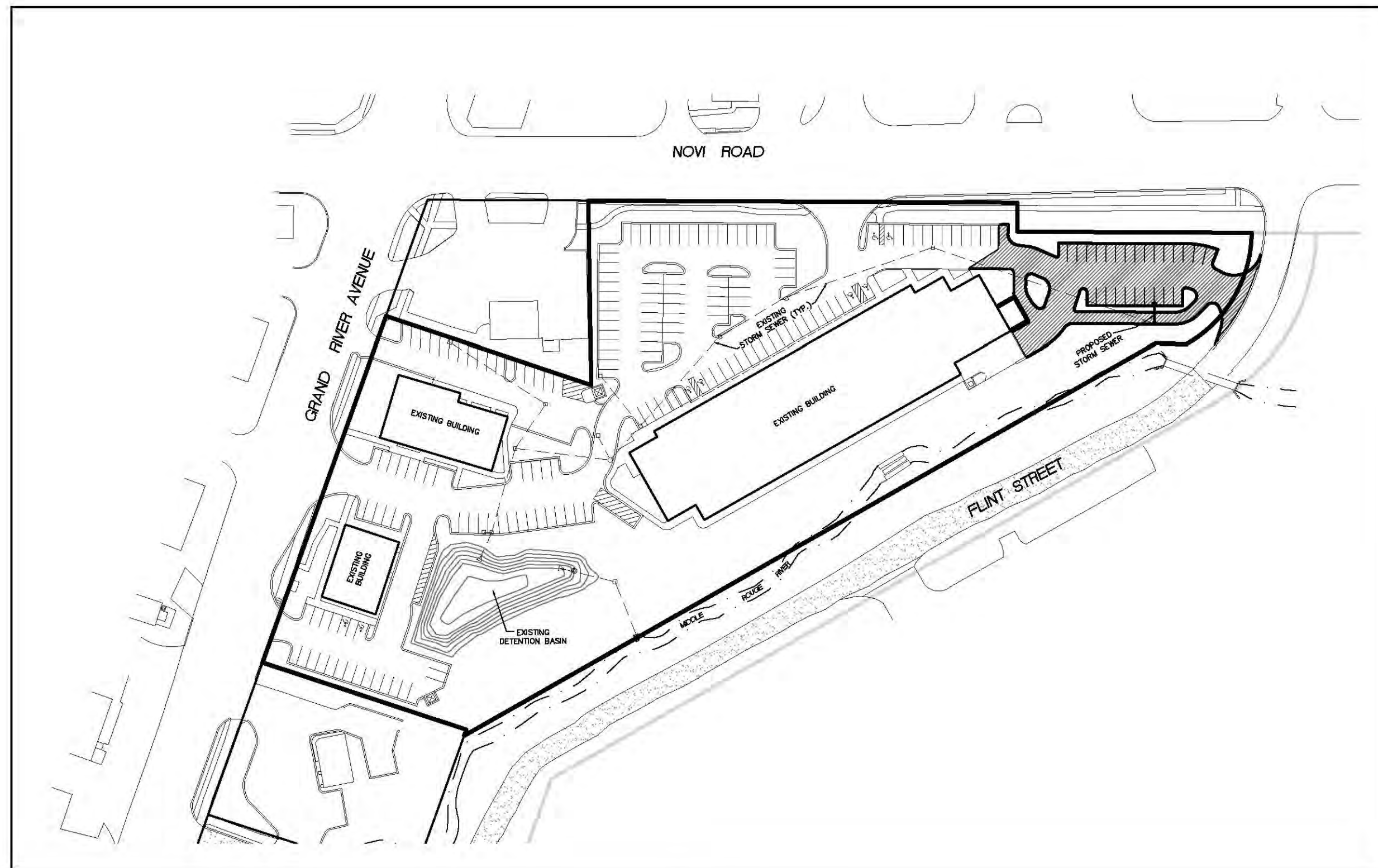
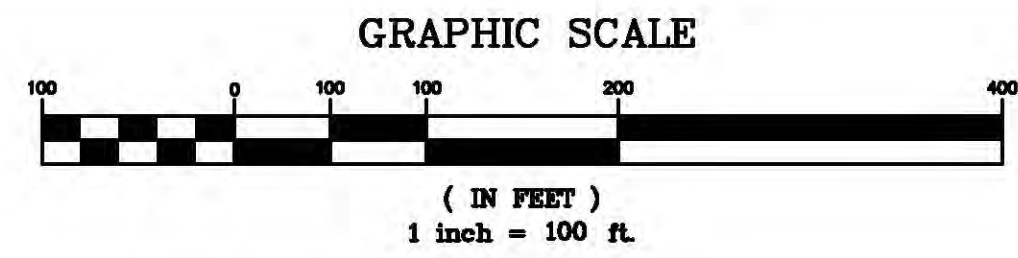
PRELIMINARY SITE PLAN

SEIBER, KEAST ENGINEERING, L.L.C.
 CONSULTING ENGINEERS
 7125 ORCHARD LAKE ROAD • SUITE 314 • WEST BLOOMFIELD, MI • 48325
 PHONE: 248.562.7357 FAX: 248.562.7397

ambit
 land surveyors, inc. www.ambitsurveyors.com

891 WING STREET
 PLYMOUTH, MI 48170
 ph. 800.221.5263
 ph. 734.468.5501
 fax. 877.837.5267

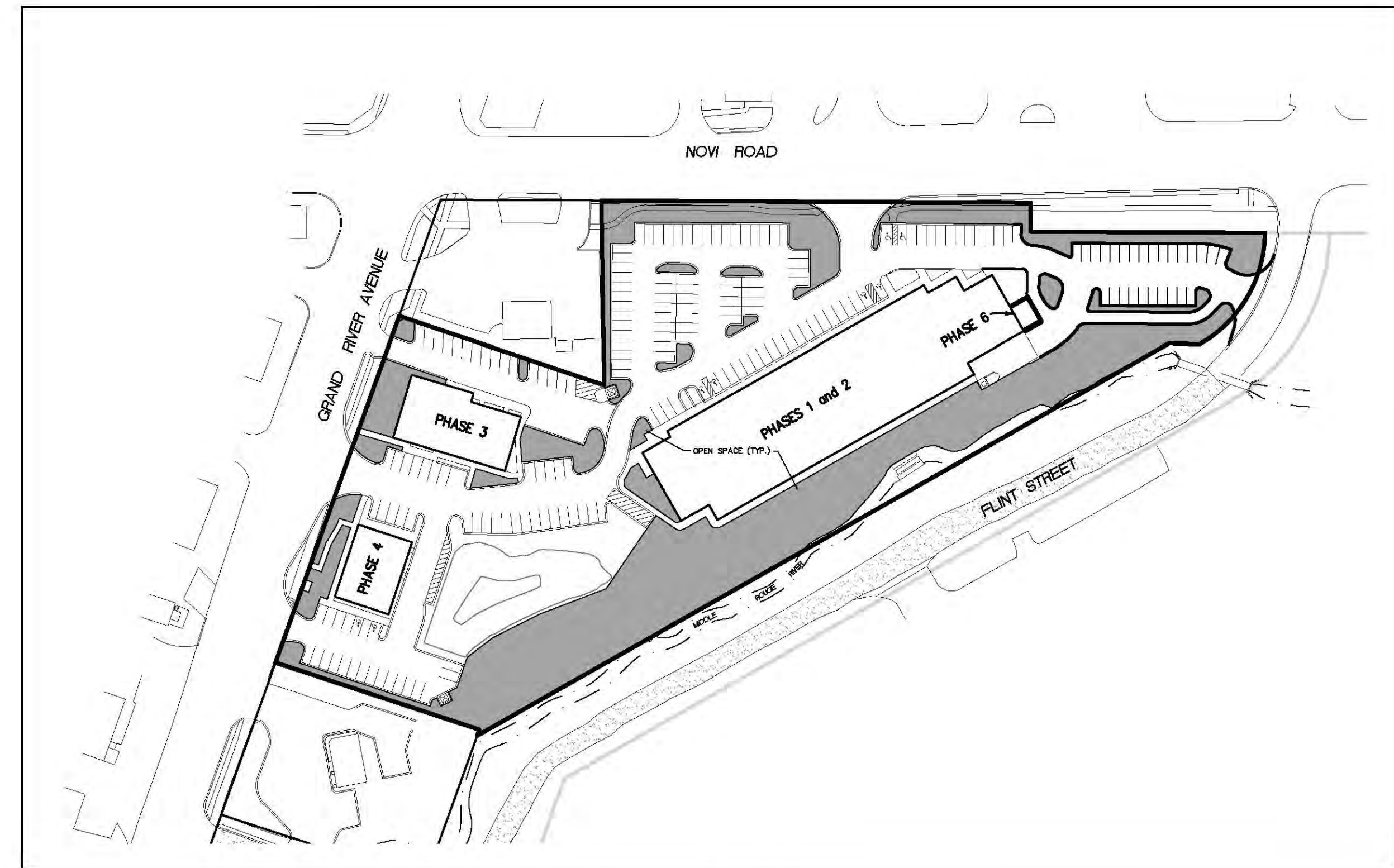
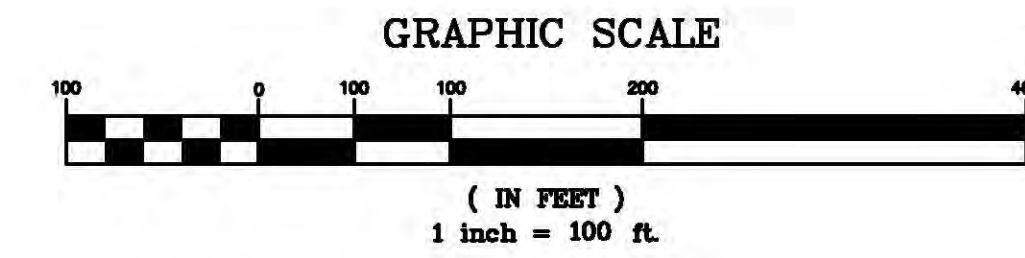
SHEET 2



STORM MANAGEMENT PLAN

NOTES

1. STORM WATER GENERATED ON SITE SHALL BE COLLECTED AND DELIVERED TO EXISTING CITY CENTER PLAZA DETENTION BASIN. NET IMPERVIOUS AREA WILL NOT BE INCREASED, THEREFORE NO MODIFICATIONS TO THE DETENTION BASIN IS REQUIRED.
2. PROPOSED CATCH BASIN SHALL HAVE A 2' SUMP.
3. STORM SEWER PROFILE SHALL BE PROVIDED AT FINAL SITE PLAN.
4. EXISTING IMPERVIOUS AREA: 14,628 S.F.
 PROPOSED IMPERVIOUS AREA: 14,055 S.F.
 NET REDUCTION IN IMPERVIOUS AREAS: 573 S.F.



OPEN SPACE PLAN

OPEN SPACE CALCULATIONS

TOTAL SITE AREA = 4.368 Ac.
 OPEN SPACE AREA REQUIRED = 15% OF 4.368
 = 0.655 Ac.
 OPEN SPACE AREA PROVIDED = 1.56 Ac. - 36%



Customer Driven

Memo

Re: Drive-Thru Sound Pressure Levels From the Menu Board or Speaker Post

The sound pressure levels from the menu board or speaker post are as follows:

1. Sound pressure level (SPL) contours (A weighted) were measured on a typical HME SPP2 speaker post. The test condition was for pink noise set to 84 dBA at 1 foot in front of the speaker. All measurements were conducted outside with the speaker post placed 8 feet from a non-absorbing building wall and at an oblique angle to the wall. These measurements should not be construed to guarantee performance with any particular speaker post in any particular environment. They are typical results obtained under the conditions described above.
2. The SPL levels are presented for different distances from the speaker post:

Distance from the Speaker (Feet)	SPL (dBA)
1 foot	84 dBA
2 feet	78 dBA
4 feet	72 dBA
8 feet	66 dBA
16 feet	60 dBA
32 feet	54 dBA

3. The above levels are based on factory recommended operating levels, which are preset for HME components and represent the optimum level for drive-thru operations in the majority of the installations.

Also, HME incorporates automatic volume control (AVC) into many of our Systems. AVC will adjust the outbound volume based on the outdoor, ambient noise level. When ambient noise levels naturally decrease at night, AVC will reduce the outbound volume on the system. See below for example:

Distance from Outside Speaker	Decibel Level of standard system with 45 dB of outside noise without AVC	Decibel level of standard system with 45 dB of outside noise with AVC active
1 foot	84 dBA	60 dBA
2 feet	78 dBA	54 dBA
4 feet	72 dBA	48 dBA
8 feet	66 dBA	42 dBA
16 feet	60 dBA	36 dBA

If there are any further questions regarding this issue please contact HME customer service at 1-800-848-4468.

Thank you for your interest in HME's products.

NOISE IMPACT STATEMENT

PERMITTED NOISE LEVEL TC-1

NIGHT 70 dp DAY 75 dp

PANERA BREAD DRIVE THRU AND BUILDING ADDITION
 AT CITY CENTER PLAZA PHASE 6
 SECTION 15 & 22, TOWN 1 NORTH, RANGE 8 EAST
 CITY OF NOVI, OAKLAND COUNTY, MICHIGAN

REVISIONS

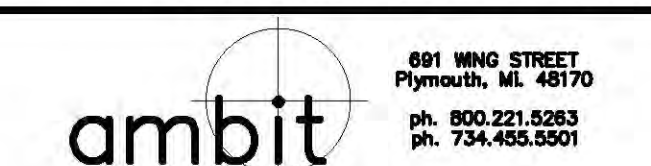
NO.	ITEM	DATE

DATE: 9-28-12 DESIGNED BY: JUB JOB NUMBER: 12-012
 CHECKED BY: PK

STORM WATER MANAGEMENT, NOISE IMPACT AND OPEN SPACE PLAN

SEIBER, KEAST ENGINEERING, L.L.C.

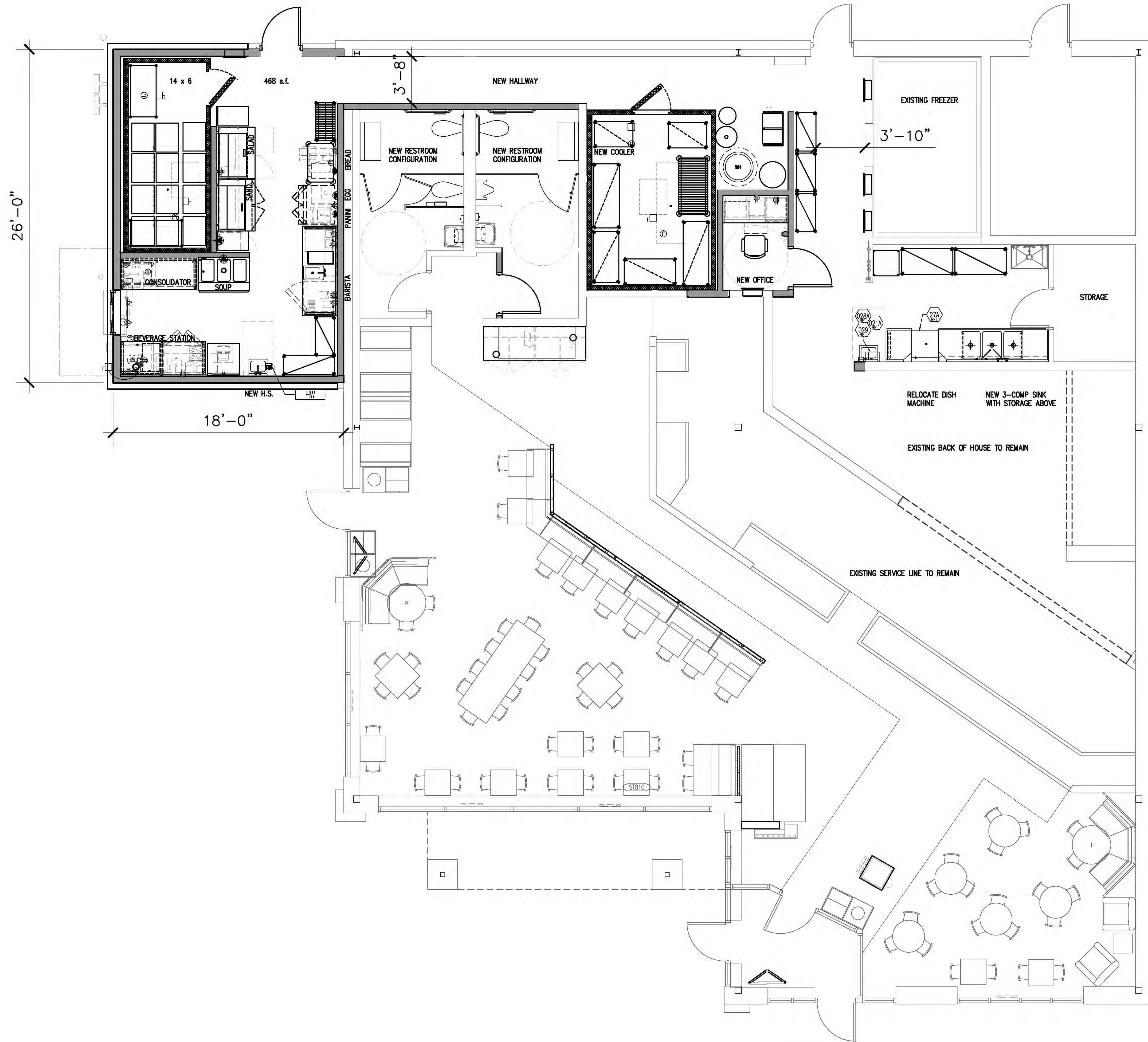
CONSULTING ENGINEERS
 7125 ORCHARD LAKE ROAD • SUITE 314 • WEST BLOOMFIELD, MI • 48325
 PHONE: 248.562.7357 FAX: 248.562.7397



681 WING STREET
 Plymouth, MI 48170
 ph. 800.221.5263
 ph. 734.455.9501

SHEET

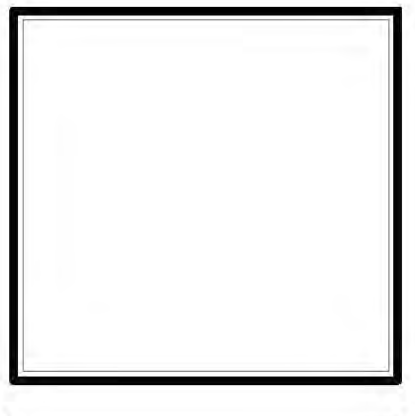
3



BAKERY CAFE:
#667
 SYSTEM: G3 (WARM)
 PROTOTYPE UPDATE: 2011.04

ARCHITECT:

DENNIS D. SMITH, AIA
 345 RIVERVIEW WICHITA, KS 67203
 Phone: (316) 266-0230 Fax: (316) 266-0205
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PANERA BAKERY
CAFE # 0667
 25875 Novi Road
 Novi, MI 48375



PLANNING

REVISION	

ISSUE DATE: 09.04.12
 PROJECT NUMBER: 12166
 DRAWN BY:
 DM: LAW KINGDON
 DPM: TONY DIANZA
 CPM: MIKE KALFAYAN

SHEET NO:
A-1.0
 FLOOR PLAN

EXTERIOR FINISHES:

FACE BRICK [04-10]	FACE BRICK VENEER WITH MASONRY TIES AT 16" O.C. (HORIZONTAL AND VERTICAL ON BLOCK MASONRY WITH INSULATION INSERTS AND WIRE REINFORCING AT 16" O.C. SEE STRUCTURAL DRAWINGS FOR VERTICAL REINFORCING BARS). COLOR TO MATCH EXISTING.
BRICK VENEER [04-11]	BRICK VENEER WITH MASONRY TIES AT 24" O.C. HORIZONTAL AND 16" O.C. VERTICAL ON BUILDING PAPER ON 1/2" GYPSUM SHEATHING ON METAL TRUSS FRAMING OR EXTERIOR STRUCTURAL STUD FRAMING AT 16" O.C. (PROVIDE WEEPHOLES PER MANUFACTURERS REQUIREMENTS). COLOR TO MATCH EXISTING.
[07-30] DECORATIVE CORNICE	MOLDED FIBERGLASS REINFORCED POLYMER MOLDING (PAINT). PAINTED TO MATCH EXISTING.
[08-2] METAL DOOR AND FRAME	HOLLOW METAL DOOR AND FRAME (PAINT). PAINTED TO MATCH SURROUNDING WALL COLOR.


GENERAL NOTES:

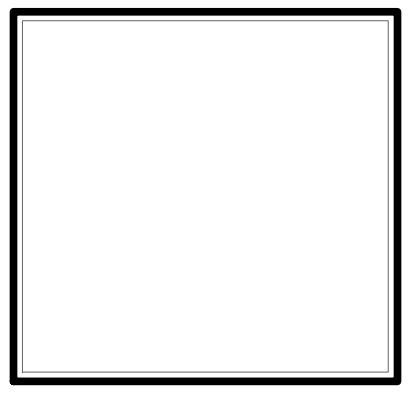
- A. AFTER PATCHING WALL, PAINT ENTIRE WALL FACE TO NATURAL BREAK POINT.
- B. MATERIAL AND FINISHES FOR NEW DRIVE THRU ADDITION TO MATCH EXISTING. REFER ELEVATION DRAWINGS FOR MATERIAL FINISH INFORMATION.
- C. G.C. TO PAINT NEW ADDITION AND PATCH AND REPAIR OTHER SURFACES OF THE BUILDING WHERE SIGNAGE, LIGHTINGS, AND AWNINGS HAVE BEEN MODIFIED OR RELOCATED.
- D. EXTERIOR PLASTER FINAL COAT SHALL MATCH EXISTING BUILDING.

KEYED NOTES: INDICATED BY  SYMBOL

- GENERAL:
- 1.1 NEW 6" CONC. FILLED STEEL BOLLARD.
 - 1.2 NEW 4" CONC. FILLED STEEL BOLLARD.
 - 1.3 NEW GOOSENECK LIGHT.
 - 1.4 NEW BRICK & STONE PILASTERS TO MATCH EXISTING.
 - 1.5 NEW DOOR AND FRAME.
 - 1.6 NEW AWNING
 - 1.7 NEW EXTERIOR WALL MOUNTED LIGHT
 - 1.8 NEW DRIVE THRU WINDOW
- SIGNAGE:
- 4.1 NEW PANERA SIGNAGE.
 - 4.2 NEW DRIVE THRU AWNING. SEE SIGN VENDOR SHOP DRAWINGS.
 - 4.3 NEW DRIVE-THRU SIGNAGE. SEE SIGN VENDOR SHOP DRAWINGS.

BAKERY CAFE: #667
SYSTEM: GS (WARM), PHOTO UPDATE: 2011.01

ARCHITECT:  **DENNIS D. SMITH, AIA**
 345 RIVERVIEW WICHITA, KS 67203
 Phone: (316) 266-0300 Fax: (316) 266-0205
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PANERA BAKERY CAFE # 0667
 25875 Novi Road
 Novi, MI 48375

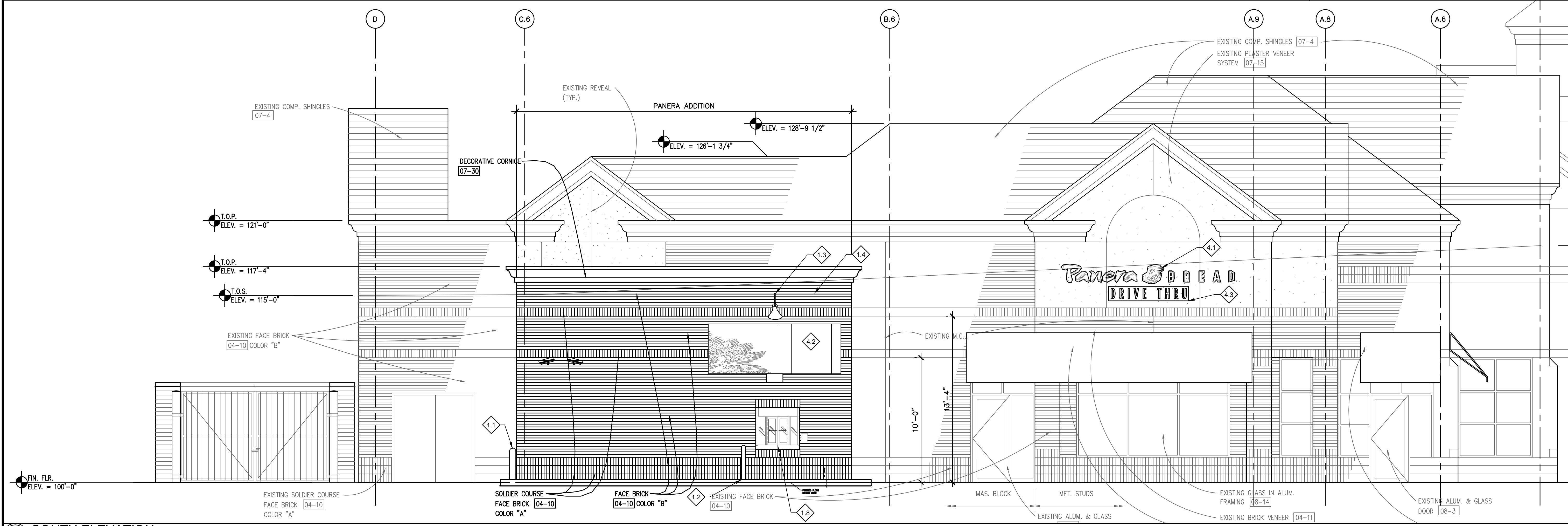


PLANNING

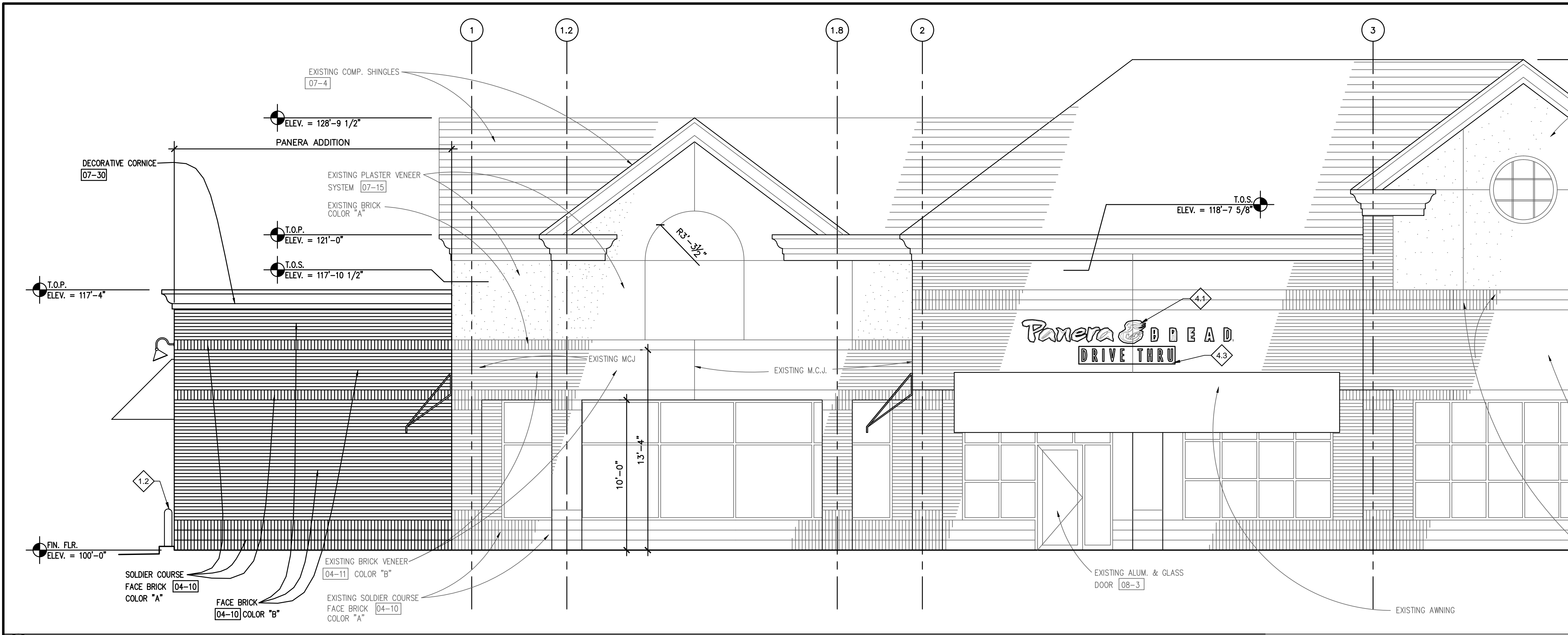
REVISION

ISSUE DATE: 09.04.12
 PROJECT NUMBER: 12166
 DRAWN BY: DM: LAW KINGDON
 DPM: TONY DIANZA
 CPM: MIKE KALFAYAN

SHEET NO:
A-2.0
 EXTERIOR ELEVATIONS



24 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"



22 EAST ELEVATION
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- AFTER PATCHING WALL, PAINT ENTIRE WALL FACE TO NATURAL BREAK POINT.
- MATERIAL AND FINISHES FOR NEW DRIVE THRU ADDITION TO MATCH EXISTING. REFER ELEVATION DRAWINGS FOR MATERIAL FINISH INFORMATION.
- G.C. TO PAINT NEW ADDITION AND PATCH AND REPAIR OTHER SURFACES OF THE BUILDING WHERE SIGNAGE, LIGHTINGS, AND AWNINGS HAVE BEEN MODIFIED OR RELOCATED.
- EXTERIOR PLASTER FINAL COAT SHALL MATCH EXISTING BUILDING.

KEYED NOTES: INDICATED BY SYMBOL

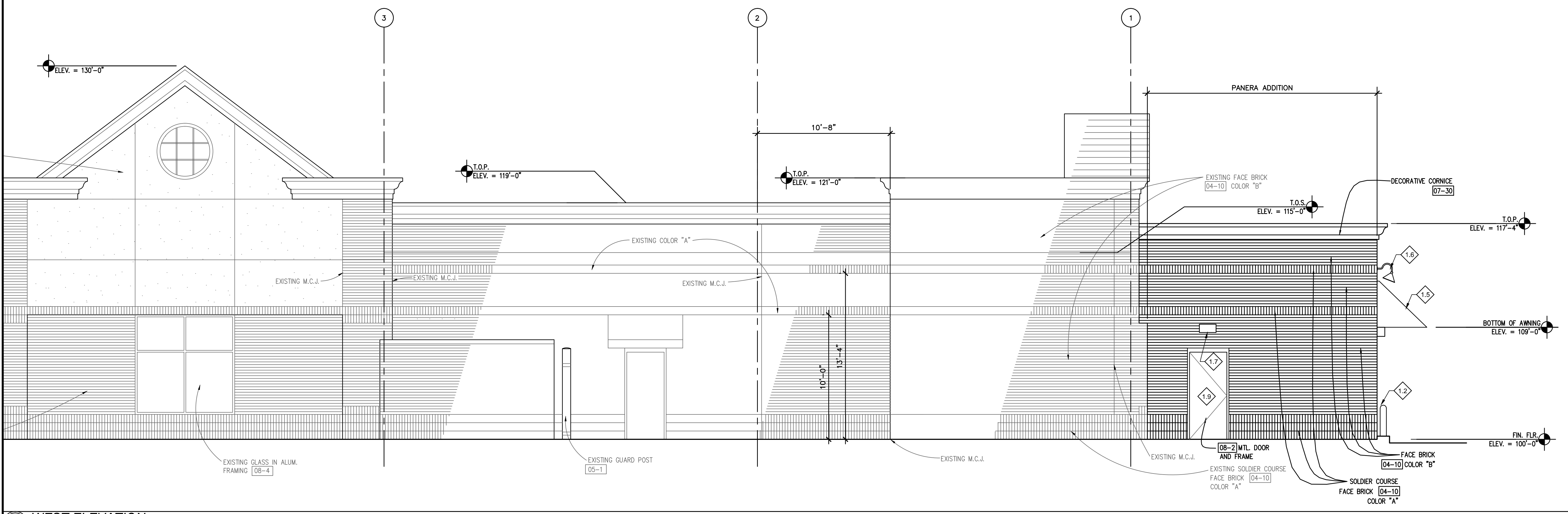
GENERAL:

- NEW 6" CONC. FILLED STEEL BOLLARD.
- NEW 4" CONC. FILLED STEEL BOLLARD.
- NEW GOOSENECK LIGHT.
- NEW BRICK & STONE PILASTERS TO MATCH EXISTING.
- NEW DOOR AND FRAME.
- NEW AWNING
- NEW EXTERIOR WALL MOUNTED LIGHT
- NEW DRIVE THRU WINDOW

SIGNAGE:

- NEW PANERA SIGNAGE.
- NEW DRIVE THRU AWNING. SEE SIGN VENDOR SHOP DRAWINGS.
- NEW DRIVE-THRU SIGNAGE. SEE SIGN VENDOR SHOP DRAWINGS.

EXTERIOR FINISHES: SEE A-5.1



24 WEST ELEVATION
SCALE: 1/4" = 1'-0"

BAKERY CAFE:
#667
SYSTEM: G3 (WARM)
PHOTO UPDATE: 2011.01

ARCHITECT:

DENNIS D. SMITH, AIA
345 RIVERVIEW WICHITA, KS 67203
Phone: (316) 268-0200 Fax: (316) 268-0205
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PANERA BAKERY
CAFE # 0667
25875 Novi Road
Novi, MI 48375

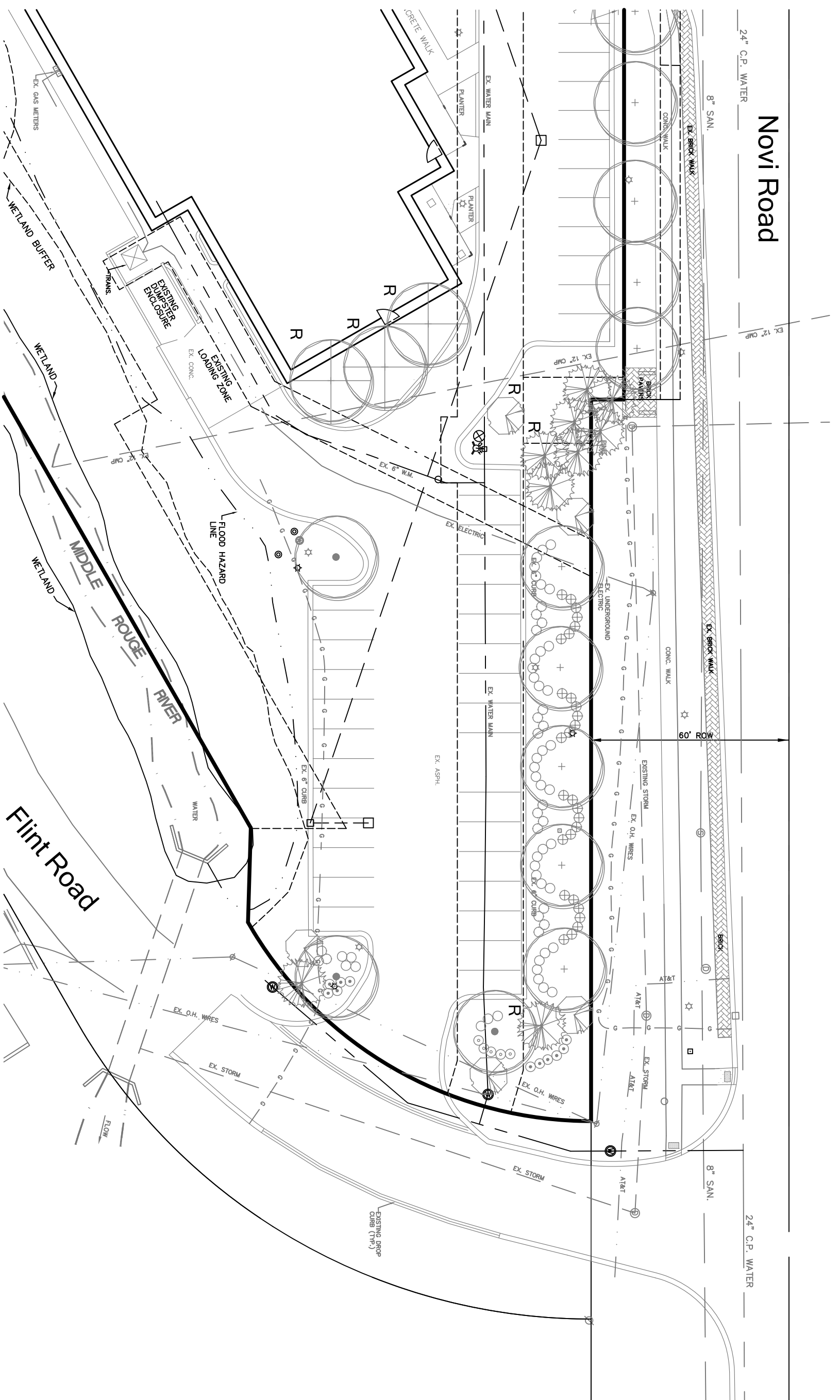
PLANNING

REVISION

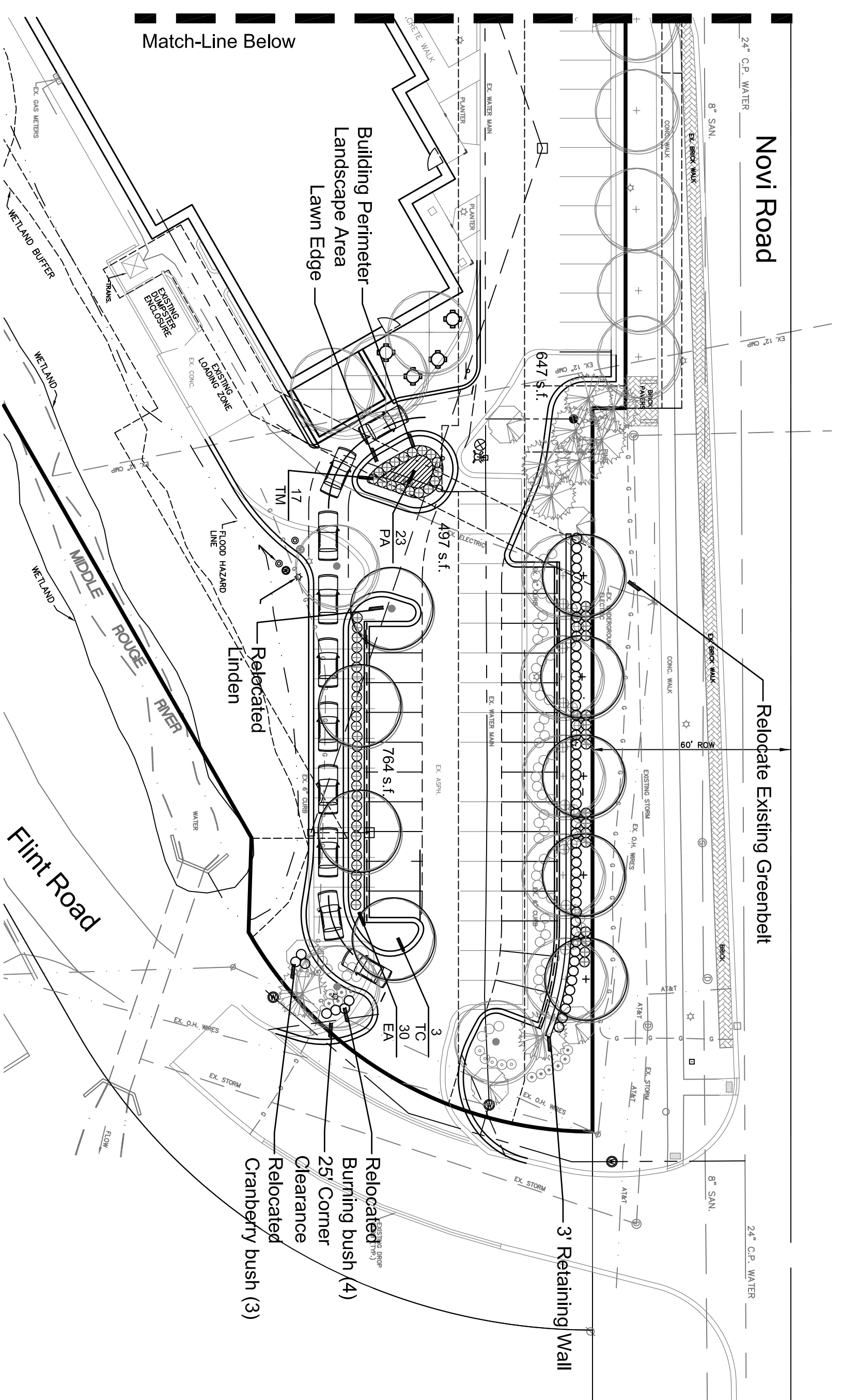
ISSUE DATE: 09.04.12
PROJECT NUMBER: 12166
DRAWN BY:
DM: LAW KINGDON
DPM: TONY DIANZA
CPM: MIKE KALFAYAN

SHEET NO:
A-2.1
EXTERIOR ELEVATIONS

Existing Conditions



Proposed Plan



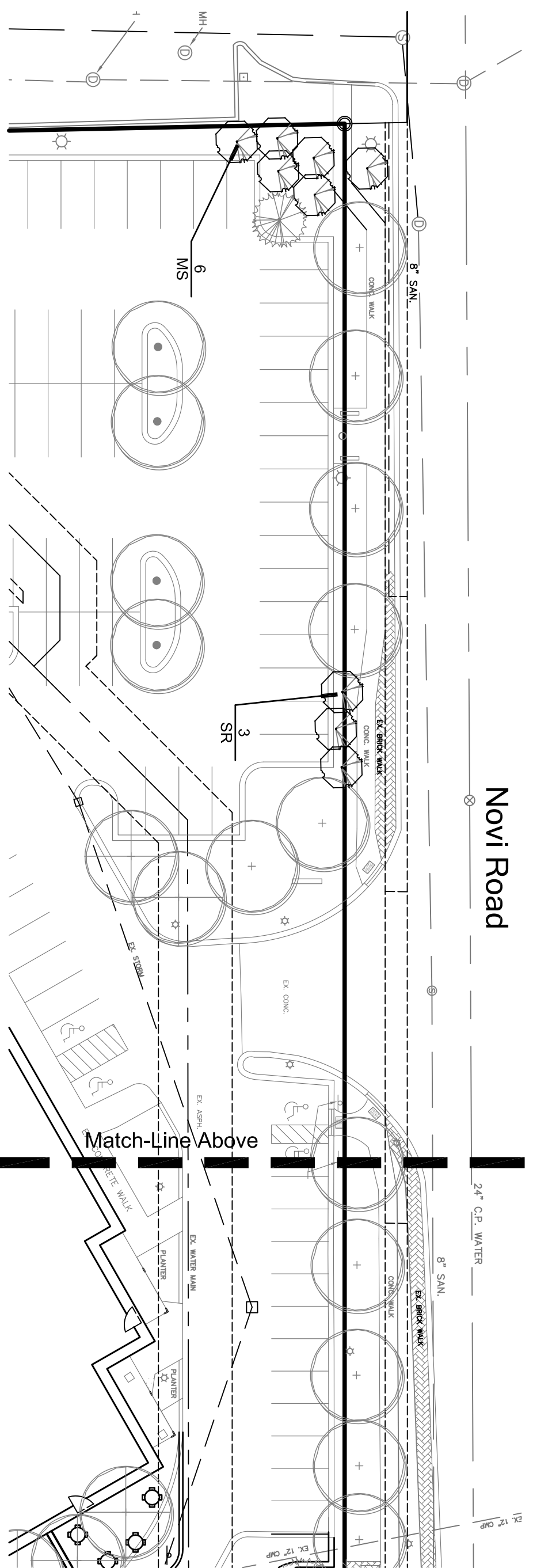
Existing Plant Material Key

Symbol	Symbol	Size	Status
	Honeylocust	4"	Remove
	Bradford Pear	4"	Relocate
	Linden	4"	Remove/Relocate
	Spruce	14-16'	Relocate (if Impacts Exist)
	Crab	2.5"	Save
	Yew	30"	Relocate
	European Cranberry	36"	Relocate
	Spirea	36"	Remove
	Burningbush	36"	Save
	Potentilla	30"	Relocate
	Removed Tree		

Plant List

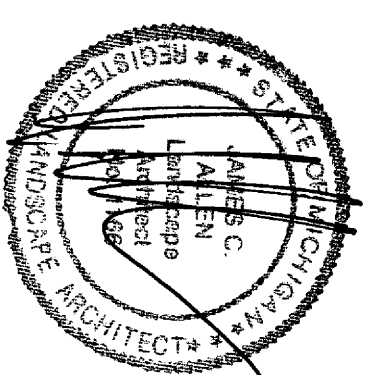
sym.	qty.	botanical name	common name	caliper	spacing	root	height	price	total
EA	30	Eurogynus alba Compact	Compact Burning Bush	3.0"	as shown	B&B	30"-36"	\$ 50.00	\$ 1,500.00
TC	3	Tilia cordata 'Greengate'	Greenspire Linden	3.0"	as shown	B&B	no. 2 cont.	\$ 400.00	\$ 1,200.00
PA	23	Pennisetum setosum	Dwarf Fountain Grass		as shown			\$ 25.00	\$ 575.00
TM	17	Taxus x media 'Densiformis'	Dense Yew		as shown		36"	\$ 50.00	\$ 850.00
MS	6	Malus 'Spring Snow'	Spring Snow Crab	2.5"	as shown	B&B		\$ 250.00	\$ 1,500.00
SR	3	Syringa reticulata	Japanese Flowering Lilac	2.5"	as shown	B&B		\$ 250.00	\$ 750.00
Match		20 s.y. 4" Deep Shredded Hardwood Bark Mulch							\$ 3,000.00
									\$40/s.y. = \$ 800.00
									\$ 10,175.00

Proposed Plan



Landscape Summary

Existing Zoning	TC-1
Parking Lot Landscaping	4,106 s.f.
Parking Space Area	9,580 s.f.
Vehicle Use Area	894 s.f.
Landscape Area Required	4,150 s.f. x 10% = 415 s.f.
9,580 s.f. x 5% = 1,132 s.f.	
Landscape Area Provided	1,411 s.f.
Canopy Trees Required	12 Trees (894/75)
Canopy Trees Provided	12 Trees
Parking Lot Perimeter	
Perimeter	239 l.f.
Trees Required	7 Trees (239 l.f. / 35')
Trees Provided	17 Trees
Building Foundation Landscaping (addition only)	
Perimeter of Building	62 l.f.
Landscape Area Required	496 s.f. (62 l.f. x 8')
Landscape Area Provided	497 s.f.
Greenbelt Plantings (parking modification only)	
Street Frontage	226 l.f.
Trees Required	7 Trees (226 l.f. / 35')
Trees Provided	7 Trees
Sub-Canopy Trees Required	11 Trees (226 l.f. / 20')
Sub-Canopy Trees Provided	11 Trees



Seal:

Title:
 Landscape Plan

Project:
 Panera Bread
 Novi, Michigan

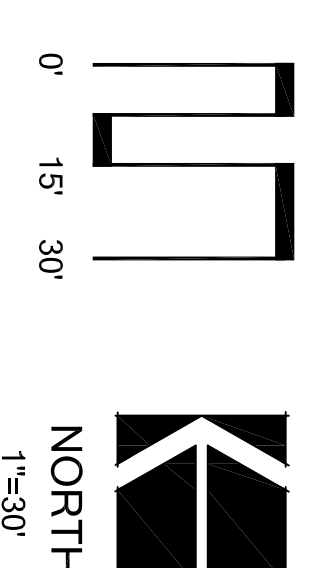
Prepared for:

Panera, LLC
 13080 Burns Road
 Carleton, MI 48117
 734.231.1732

Revision:
 Issued: October 4, 2012
 Submission: November 19, 2012

Drawn By: *ica* Checked By: *ica*

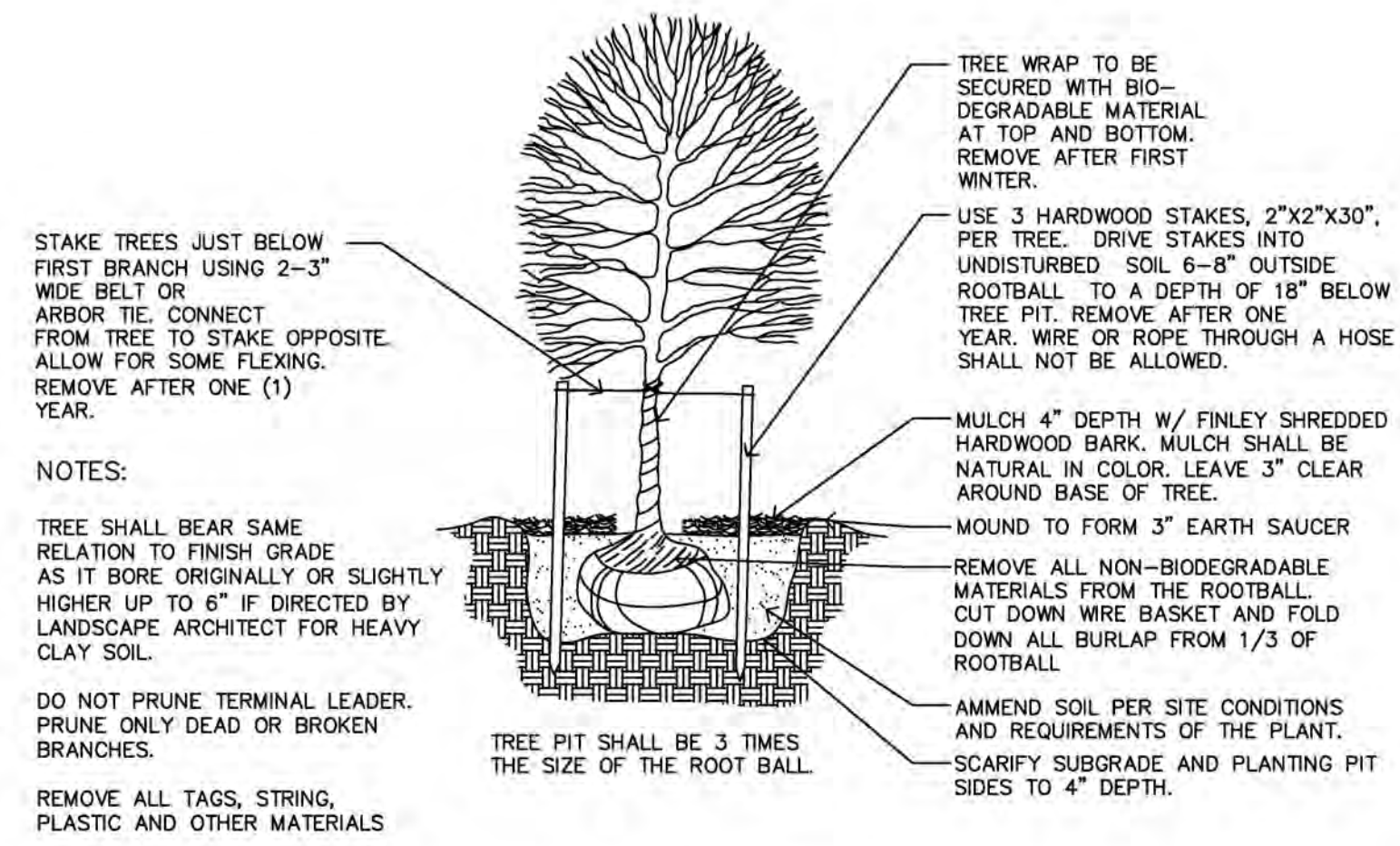
Job Number:
 12-932



Sheet No.

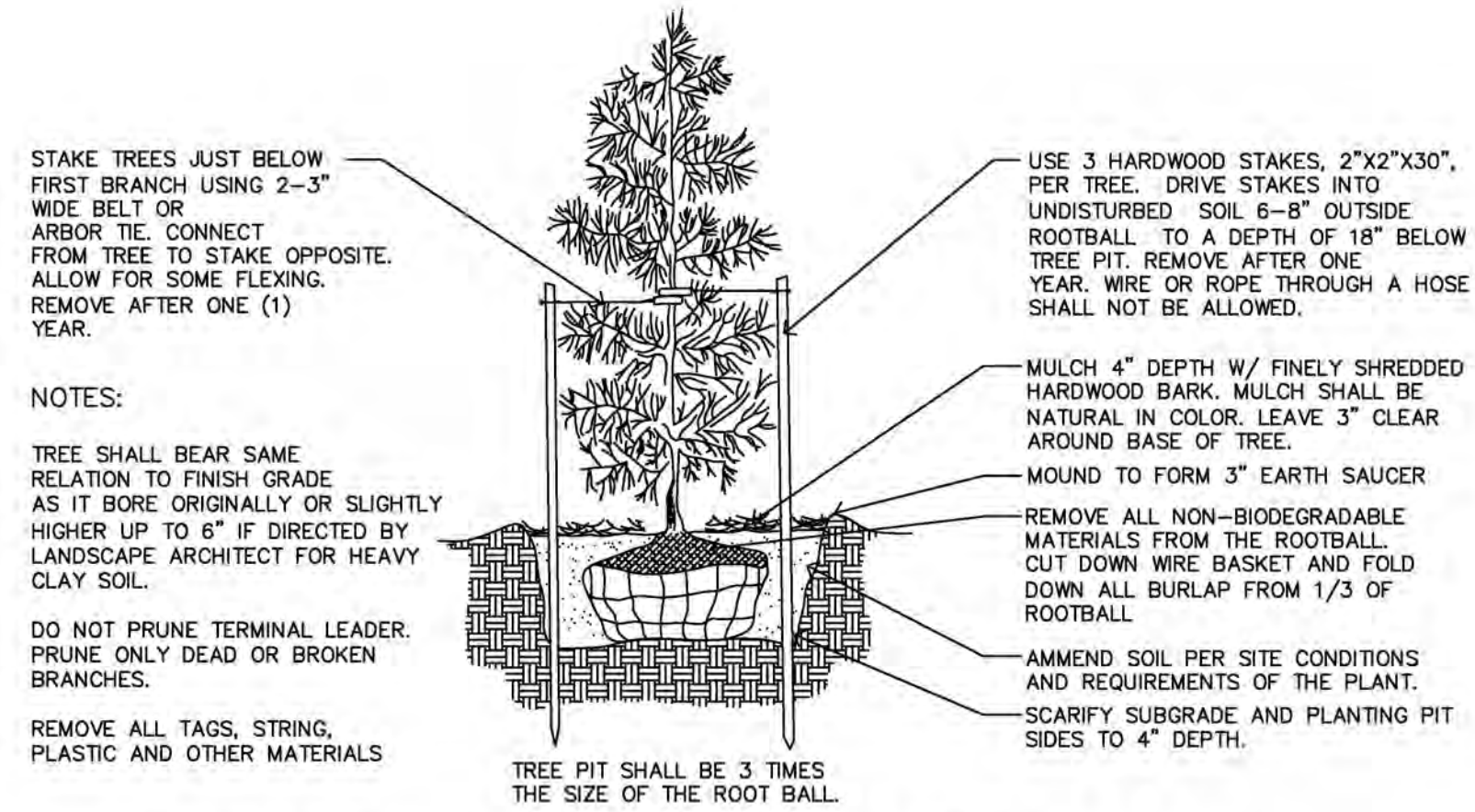
L-1





DECIDUOUS TREE PLANTING DETAIL

NTS



EVERGREEN TREE PLANTING DETAIL

NTS

Landscape Notes

- All plants shall be north Midwest American region grown, No. 1 grade plant materials, and shall be true to name, free from physical damage and wind burn.
- Plants shall be full, well-branched, and in healthy vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized and mulched and shall be guaranteed to exhibit a normal growth cycle for at least two (2) full years following City approval.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, and stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand and 1/3 peat, mixed well and spread to the depth as indicated in planting details.
- All plantings shall be mulched per planting details located on this sheet.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect.
- The City of Novi's Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right, at any stage of the installation, to reject any work or material that does not meet the requirements of the plans and specifications, if requested by owner.
- Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly on top of all mulching in all planting beds.
- All landscape areas shall be provided with an underground automatic sprinkler system.
- Sod shall be two year old 'Baron/Cheridaphi' Kentucky Bluegrass grown in a sod nursery on loam soil.

City of Novi Notes

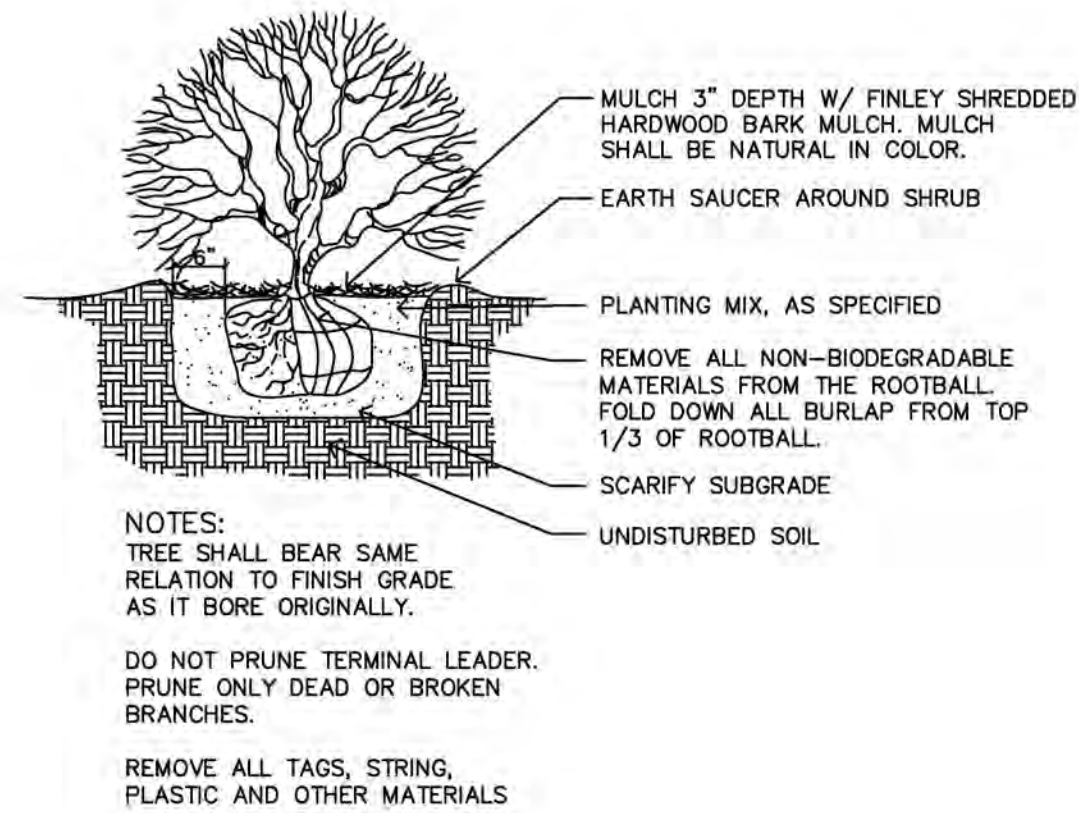
- All landscape islands shall be backfilled with a sand mixture to facilitate drainage.
- All proposed landscape islands shall be curbed.
- All landscape areas shall be irrigated.
- Overhead utility lines and poles to be relocated as directed by utility company of record.
- Evergreen and canopy trees shall be planted a minimum of 10' from a fire hydrant, and manhole, 15' from overhead wires.
- All plant material shall be guaranteed for two (2) years after City Approval and shall be installed and maintained according to City of Novi standards. Replace Failing Material During the Next Appropriate Planting Period.
- All proposed street trees shall be planted a minimum of 4' from both the back of curb and proposed walks.
- All tree and shrub planting beds shall be mulched with shredded hardwood bark, spread to minimum depth of 4". All lawn area trees shall have a 4' diameter circle of shredded hardwood mulch 3" away from trunk. All perennial, annual and ground cover beds shall receive 2" of dark colored bark mulch as indicated on the plant list. Mulch is to be free from debris and foreign material, and shall contain no pieces of inconsistent size.
- All Substitutions or Deviations from the Landscape Plan Must be Approved by the City of Novi Prior to their Installation.

NOTES:
THE APPROXIMATE DATE OF INSTALLATION FOR THE PROPOSED LANDSCAPE WILL BE SPRING 2013.

THE SITE WILL BE MAINTAINED BY THE DEVELOPER IN ACCORDANCE WITH THE STANDARDS SET FORTH IN THE CITY OF NOVI ZONING ORDINANCE. THIS INCLUDES WEEDING AND WATERING AS REQUIRED BY NORMAL MAINTENANCE PRACTICES.

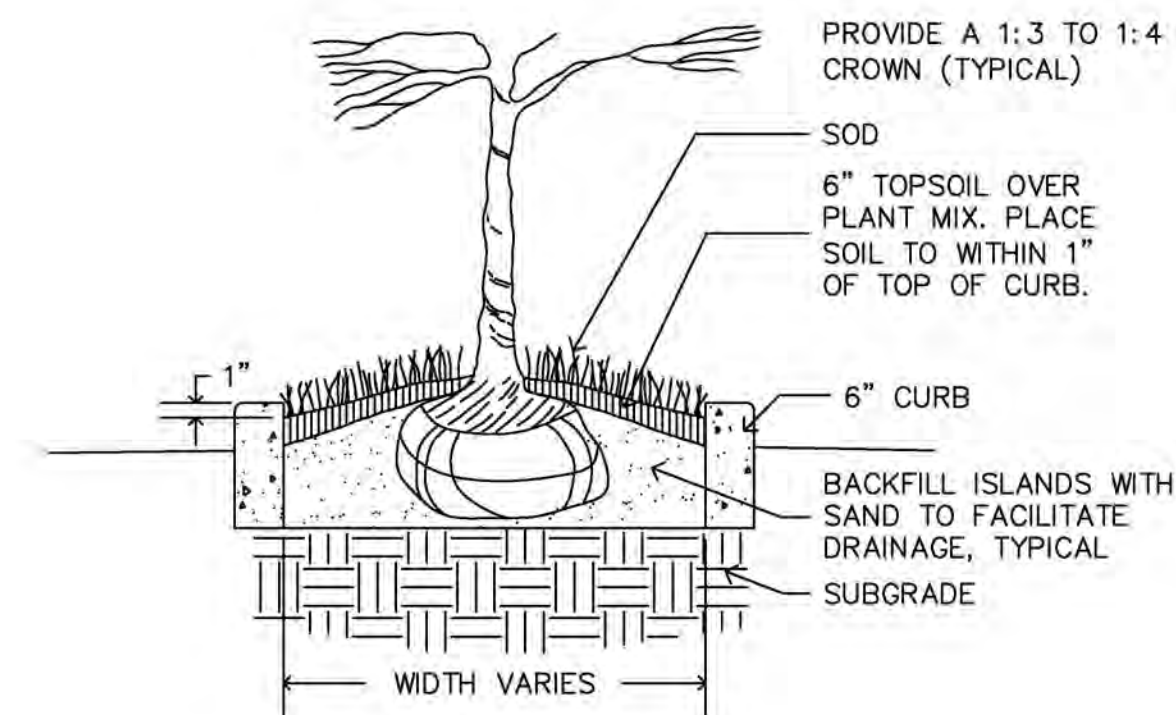
DEVELOPER SHALL BE RESPONSIBLE FOR REPLACING ANY TREES WITHIN UTILITY EASEMENTS THAT ARE DAMAGED THROUGH NORMAL MAINTENANCE OR REPAIRS.

PLANT MATERIALS SHALL BE GUARANTEED FOR 2 YEARS AND SHALL BE MAINTAINED IN ACCORDANCE WITH CITY ORDINANCES. WARRANTY PERIOD BEGINS AT THE TIME OF CITY APPROVAL. WATERING AS NECESSARY SHALL OCCUR DURING THIS WARRANTY PERIOD.



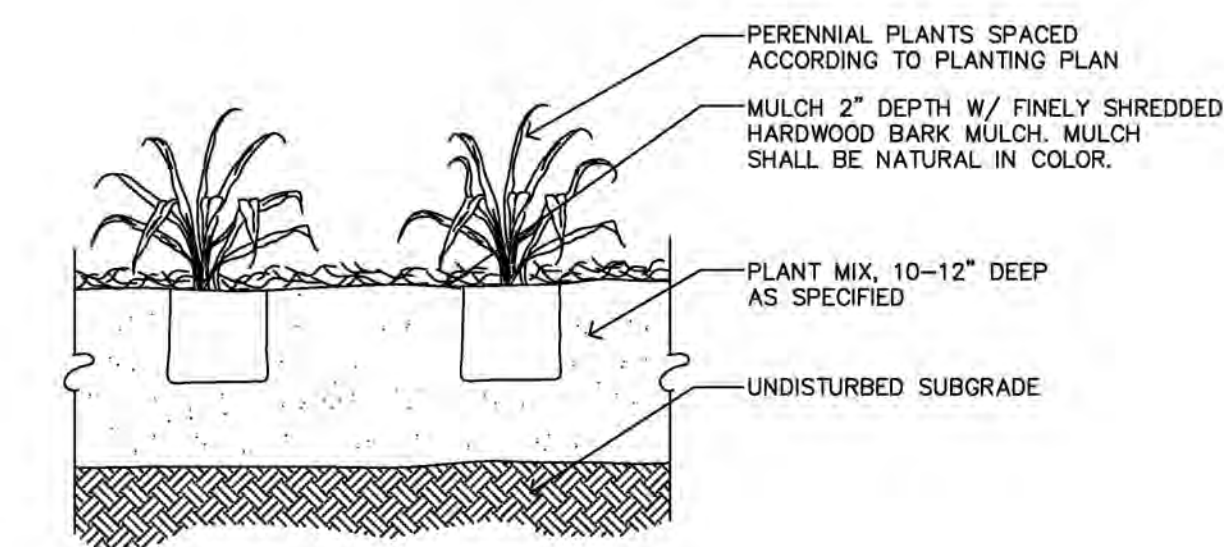
SHRUB PLANTING DETAIL

NTS



CURBED ISLAND DETAIL

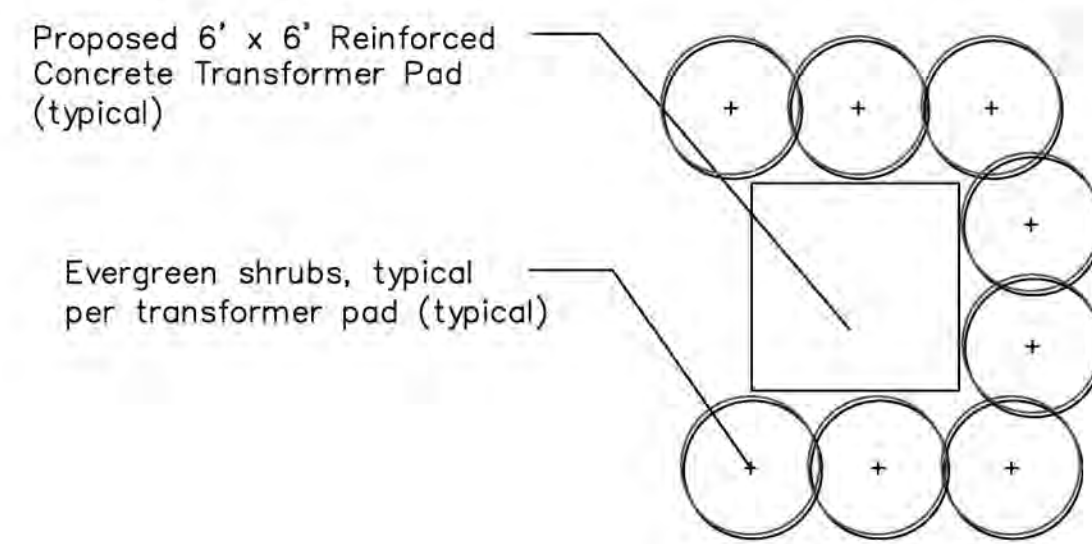
NTS



NOTE:
PERENNIALS TO BE PLANTED UP TO SAUCER AROUND TREE OR SHRUB IN THE AREA.

PERENNIAL PLANTING DETAIL

NTS



General Notes
Transformer Pad shall be screened a minimum of three (3) sides

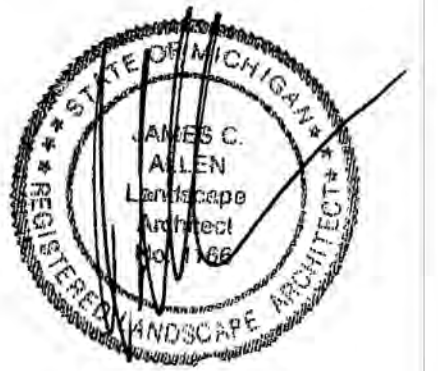
Actual Pad Location and Plant Location is Shown on Sheet SP-1

Provide 24" Clear

TRANSFORMER SCREENING DETAIL

NTS

Seal:



Title:

Landscape Details

Project:

Panera Bread
Novi, Michigan

Prepared for:

Panera, LLC
13080 Burns Road
Carleton, MI 48117
734.231.1732

Revision:

Submission
Submission

Issued:

October 4, 2012
November 19, 2012

Job Number:

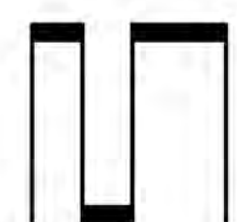
12-032

Drawn By:

jca

Checked By:

jca



NORTH

Sheet No.





EXISTING CONDITIONS
EAST (FRONT) ELEVATION
NOT TO SCALE



EXISTING CONDITIONS
SOUTH ELEVATION
NOT TO SCALE

ARTWORK EXCLUSIVE PROPERTY OF
 SINCE 1917



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676 GEORGE WASHINGTON HIGHWAY
 LINCOLN, RI 02865-4255

401-334-9100 401-334-7799
PHONE FAX

WEB www.mandevillesign.com

APPROVALS
Signatures Required Before Release to Production

Engineering	BY	DATE
Sales	BY	DATE
Estimating	BY	DATE
Production	BY	DATE
Quality Control	BY	DATE

VM PRODUCT NUMBER(S)
#23278-2

WORK ORDER NUMBER(S)

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			
8			
9			
10			
11			
12			

DO NOT SCALE DRAWING

CLIENT



STORE NUMBER **#667**

25875 NOVI RD.,
 NOVI, MI

LOCATION

PROJECT MANAGER **LINDA DRAEGER**

CHECKED BY	DATE	WD ARTIST	05/01/12
			DATE

W-133a

DRAWING NAME



EXISTING AWNING TO REMAIN

EAST ELEVATION
1/8" = 1'-0"



SIGN ELEVATION
3/8" = 1'-0"
REF. DETAILS, SHT. W-133b.2

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SINCE  1917


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PHONE 401-334-9100 FAX 401-334-7799
WEB www.mandevillesign.com

APPROVALS	
<i>Signatures Required Before Release to Production</i>	
Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS		
NO.	BY	DESCRIPTION
1	XX	xxxxxxxxxx
2		
3		
4		
5		
6		
7		

 **Panera**
BREAD.
#667

CLIENT

25875 NOVI RD.,
NOVI, MI

LOCATION

#23278-2
WORK ORDER NUMBER(S)

PROJECT MANAGER **LINDA DRAEGER**

NOTED	GL	09/17/12
SCALE	ARTIST	DATE

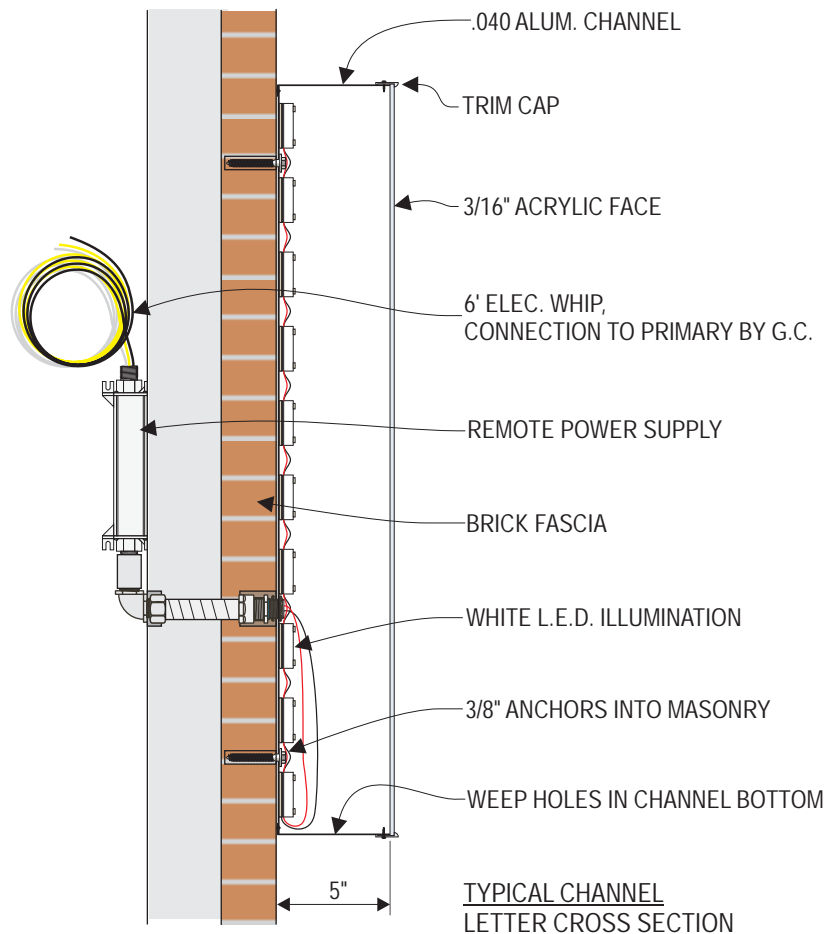
DRAWING NAME **W-133b.1**



'Panera BREAD' SIGN ELEVATION
3/8" = 1'-0"



7.58 SQ.FT. EA.
D/T WALL SIGN ELEVATION (TYP. of 2)
3/8" = 1'-0"



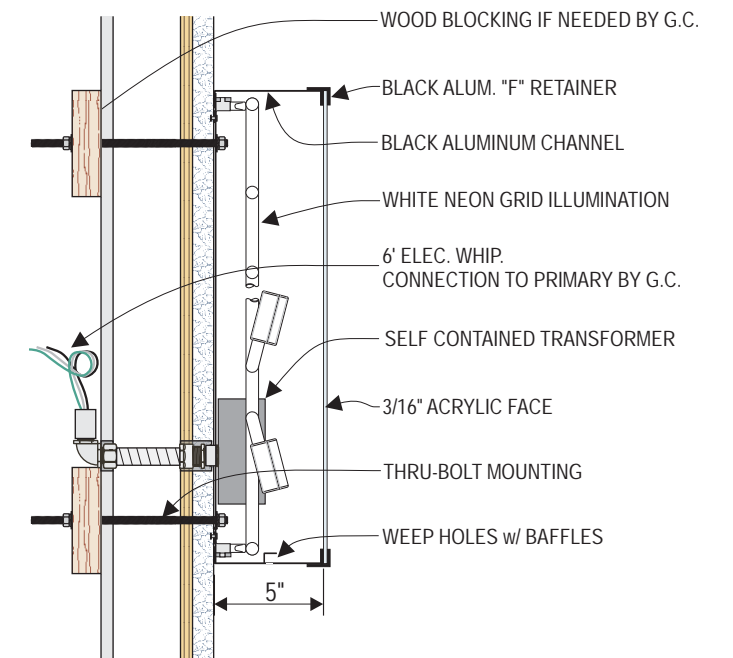
TYPICAL CHANNEL LETTER CROSS SECTION

INTERNALLY ILLUMINATED CHANNEL LETTERS & MOTHER BREAD LOGO

- LETTERS:
- (#2447 WHITE) 3/16" ACRYLIC FACES WITH (230-22 MATTE BLACK) VINYL BORDERS
- MOTHER BREAD LOGO:
- (CLEAR) 3/16" ACRYLIC FACE BACKSPRAYED PMS 1355u
 - (BLACK 230-22) VINYL LOGO DETAIL
- ALL:
- (BLACK) 1" TRIM CAP
 - (BLACK) .040 ALUM. RETURNS, 5" DEEP
 - .040 ALUM. LETTER BACKS
 - (WHITE) L.E.D. ILLUMINATION
 - LOW VOLTAGE POWER SUPPLIES
 - U.L. AND MFG. LABELS
 - WEEP HOLES REQUIRED

ILLUMINATED "DRIVE THRU" SIGN CABINET:

- ALUMINUM CHANNEL LETTER TYPE CONSTRUCTION
- .040 ALUM. RETURNS, 5" DEEP, PAINTED BLACK
- 3/16" THICK WHITE ACRYLIC FACE
- 230-22 MATTE BLACK VINYL COPY
- 1" x 5/8" ALUM. "F" RETAINER PAINTED BLACK
- WHITE NEON TUBE ILLUMINATION
- WEEP HOLES REQUIRED
- 60MA REMOTE TRANSFORMER
- FLUSH WALL MOUNT
- U.L. LABEL



DRIVE THRU BOX SIGN SECTION: N.T.S.

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SINCE 1917



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making your mark.

676 GEORGE WASHINGTON HIGHWAY
LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799

WEB www.mandevillesign.com

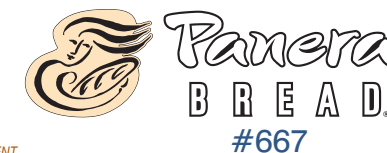
APPROVALS

Signatures Required Before Release to Production

Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS

NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			



CLIENT

25875 NOVI RD.,
NOVI, MI

LOCATION

#23278-2

WORK ORDER NUMBER(S)

PROJECT MANAGER LINDA DRAEGER

NOTED	GL	09/17/12
SCALE	ARTIST	DATE

DRAWING NAME **W-133b.2**



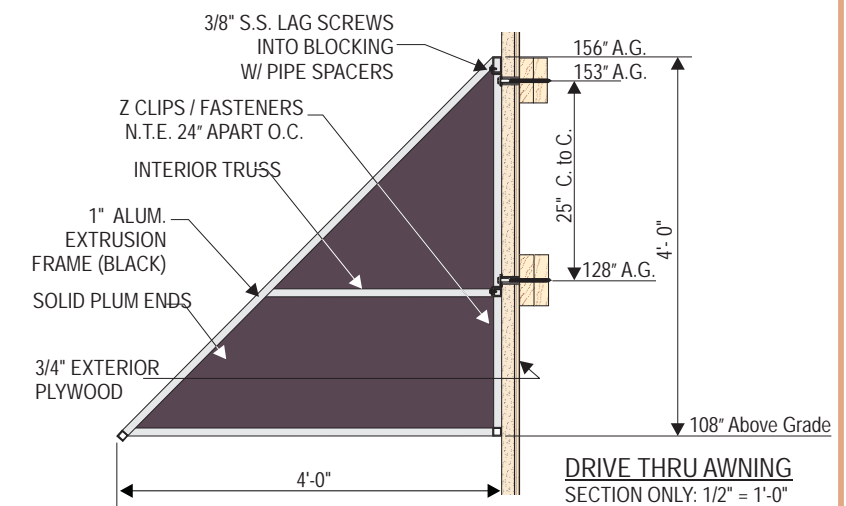
SIGN ELEVATION
 3/8" = 1'-0"
 REF. DETAILS, SHT. W-133b.2



EXTERNALLY ILLUMINATED DRIVE THRU AWNING:

- 1" SQ. ALUMINUM EXTRUSION WELDED FRAME
- FRAME POWDER COATED SEIBERT SILVER #189110
- TRUSS SPACING N.T.E. 36" APART O.C.
- ARLON SIGNTECH SCREEN PRINTED VINYL FABRIC COVER:
 - PLUM TO MATCH SUNBRELLA #4622
 - BUTTERSCOTCH TO MATCH DICKSON SAND #0034, 31" WIDE PANELS & WHEAT BACKGROUND
 - GREEN TO MATCH PANTONE 5763C, 9" WIDE STRIPES
- GRAY PVC TRIM STAPLE COVER
- MOUNTED USING Z-CLIPS & APPROPRIATE ANCHORS
- G.C. TO PROVIDE 2" x 6" BLOCKING AS NECESSARY

- Custom ARLON Panera Bread Plum 6-115-1
- Custom ARLON Panera Bread Yellow 3-140-1
- Custom ARLON Panera Bread Green 4-250-1



ARTWORK EXCLUSIVE PROPERTY OF

SINCE 1917

MANDEVILLE SIGN
making your mark.

676 GEORGE WASHINGTON HIGHWAY
 LINCOLN, RI 02865-4255

PHONE 401-334-9100 FAX 401-334-7799
 WEB www.mandevillesign.com

APPROVALS	
Signatures Required Before Release to Production	
Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS			
NO.	BY	DESCRIPTION	DATE
1	XX	xxxxxxxxxx	00/00/00
2			
3			
4			
5			
6			
7			

CLIENT #667

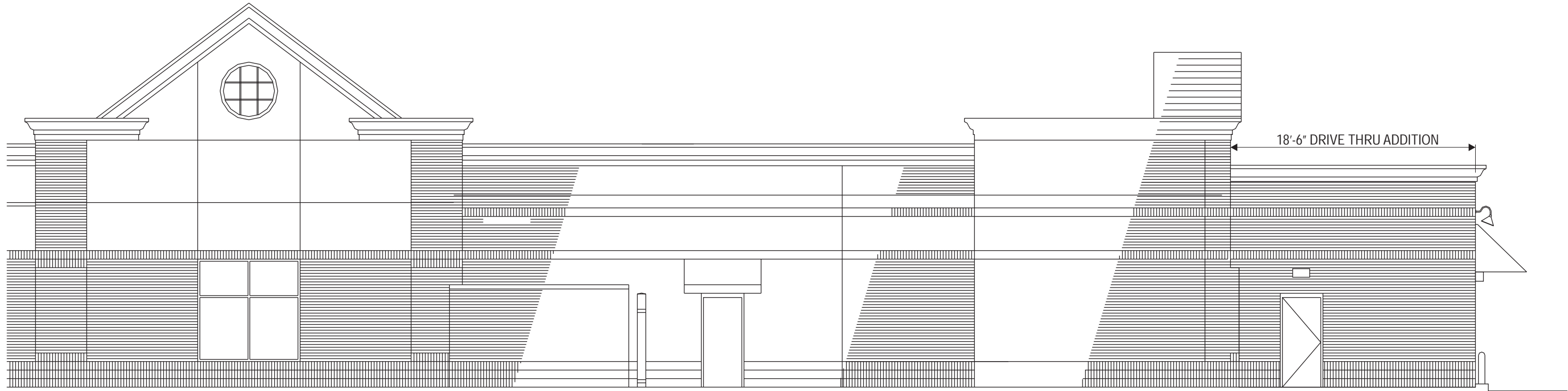
LOCATION 25875 NOVI RD.,
NOVI, MI

#23278-2
 WORK ORDER NUMBER(S)

PROJECT MANAGER LINDA DRAEGER

NOTED	GL	09/17/12
SCALE	ARTIST	DATE

DRAWING NAME **W-133c**



WEST ELEVATION
 1/8" = 1'-0"

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APPROVALS	
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Engineering	DATE
Sales	DATE
Production	DATE
Quality Control	DATE

REVISIONS		
NO.	BY	DESCRIPTION
1	XX	xxxxxxxxxx
2		
3		
4		
5		
6		
7		


Panera
 B R E A D.
 #667

CLIENT

25875 NOVI RD.,
 NOVI, MI

LOCATION

#23278-2
 WORK ORDER NUMBER(S)

PROJECT MANAGER **LINDA DRAEGER**

NOTED	GL	09/17/12
SCALE	ARTIST	DATE

DRAWING NAME **W-133d**