



## REGENCY CENTRE LOT 1 JSP18-35

### REGENCY CENTRE LOT 1, JSP 18-35

Consideration of the request of Oliver/Hatcher Construction for Preliminary Site Plan and Storm Water Management Plan approval for a new 34,782 square foot Research/Development/Office building. The subject property (25150 Regency Drive) contains 2.99 acres and is located in Section 24, north of Grand River Avenue and west of Haggerty Road, in the I-1, Light Industrial District.

### Required Action

Approve or deny the Preliminary Site Plan and Storm Water Management plan.

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	8-17-18	<ul style="list-style-type: none"> <li>• <b>Waiver to allow bicycle parking to be located at the north side of the building</b></li> <li>• Items to be addressed by the applicant prior to Electronic Stamping Set approval</li> </ul>
Engineering	Approval recommended	8-17-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Landscaping	Approval recommended	8-12-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Woodlands	Not Applicable		
Wetlands	Not Applicable		
Traffic	Approval recommended	8-15-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>
Façade	Approval recommended	8-15-18	<ul style="list-style-type: none"> <li>• The proposed building is in full compliance with the façade ordinance.</li> </ul>
Fire	Approval recommended	8-1-18	<ul style="list-style-type: none"> <li>• Items to be addressed by the applicant prior to Final Site Plan approval</li> </ul>

**MOTION SHEET**

**Approval – Preliminary Site Plan**

In the matter of Regency Centre Lot 1 JSP18-35, motion to **approve** the Preliminary Site Plan based on and subject to the following:

- a. Waiver from Section 5.16 of the Zoning Ordinance to allow bicycle parking on the north side of the building rather than at the southern public entrance because employees are more likely to use the bicycle parking than customers, which is hereby granted;
- b. The findings of compliance with Ordinance standards in the staff and consultant review letters and the conditions and the items listed in those letters being addressed on the Final Site Plan; and
- c. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**- AND -**

**Approval – Stormwater Management Plan**

In the matter of Regency Centre Lot 1 JSP18-35, motion to **approve** the Stormwater Management Plan based on and subject to the following:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on the Final Site Plan; and
- b. *(additional conditions here if any)*

*(This motion is made because the plan is otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

**- OR -**

**Denial – Preliminary Site Plan**

In the matter of Regency Centre Lot 1 JSP18-35, motion to **deny** the Preliminary Site Plan...*(because the plan is not in compliance with Article 3, Article 4, and Article 5 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)*

**-AND-**

**Denial – Stormwater Management Plan**

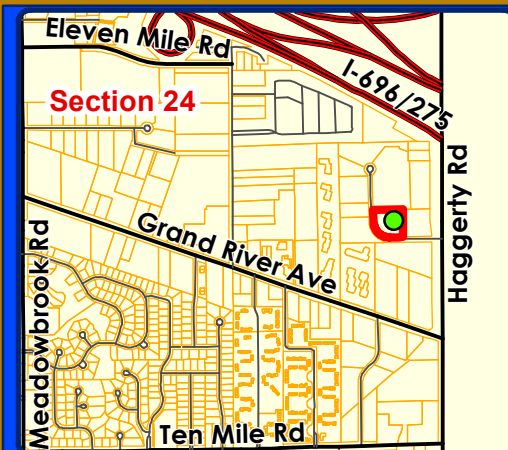
In the matter of Regency Centre Lot 1 JSP18-35, motion to **deny** the Stormwater Management Plan...*(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)*

MAPS  
Location  
Zoning  
Future Land Use  
Natural Features


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# REGENCY CENTRE LOT 1: JSP18-35

## LOCATION




**LEGEND**

 Subject Property

**City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
cityofnovi.org

Map Author: Lindsay Bell  
Date: 09/05/2018  
Project: REGENCY LOT 1 JSP18-35  
Version #: 1

0 35 70 140 210 Feet  
1 inch = 167 feet

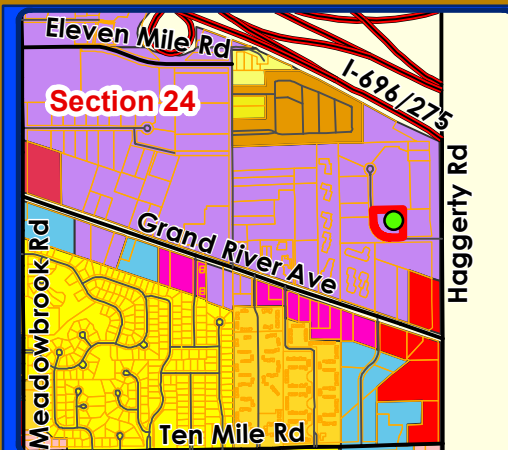
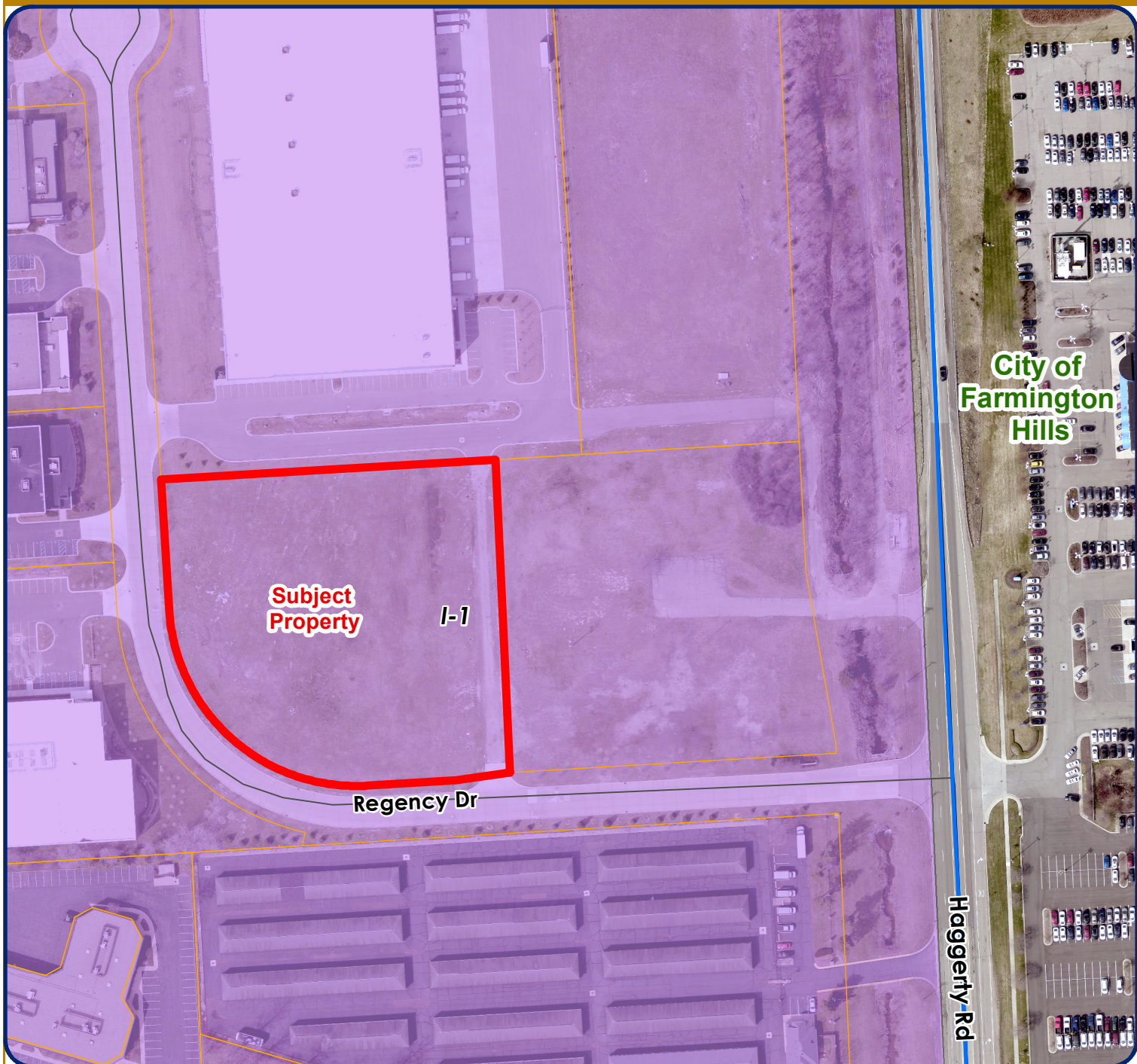


**MAP INTERPRETATION NOTICE**

Map information depicted is not intended to replace or substitute for any official or primary source. This map was intended to meet National Map Accuracy Standards and use the most recent, accurate sources available to the people of the City of Novi. Boundary measurements and area calculations are approximate and should not be construed as survey measurements performed by a licensed Michigan Surveyor as defined in Michigan Public Act 132 of 1970 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.

# REGENCY CENTRE LOT 1: JSP18-35

## ZONING



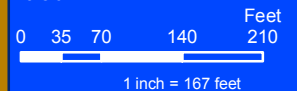
- R-1: One-Family Residential District
- R-2: One-Family Residential
- R-4: One-Family Residential District
- RM-1: Low-Density Multiple Family
- RM-2: High-Density Multiple Family
- MH: Mobile Home District
- B-1: Local Business District
- B-3: General Business District
- GE: Gateway East District
- I-1: Light Industrial District
- NCC: Non-Center Commercial District
- OS-1: Office Service District
- Subject Property

City of Farmington Hills



**City of Novi**  
 Dept. of Community Development  
 City Hall / Civic Center  
 45175 W Ten Mile Rd  
 Novi, MI 48375  
[cityofnovi.org](http://cityofnovi.org)

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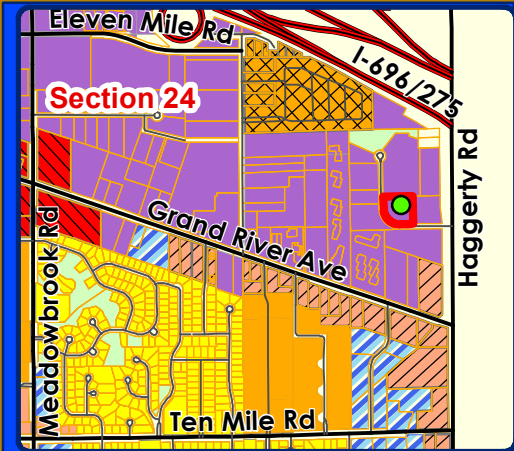


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# REGENCY CENTRE LOT 1: JSP18-35

## FUTURE LAND USE



### LEGEND

FUTURE LAND USE

- Single Family
- Multiple Family
- Mobile Home Park
- Community Office
- Industrial RD Tech
- Local Commercial
- Community Commercial
- TC Gateway
- Private Park
- Subject Property



### City of Novi

Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
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1 inch = 167 feet

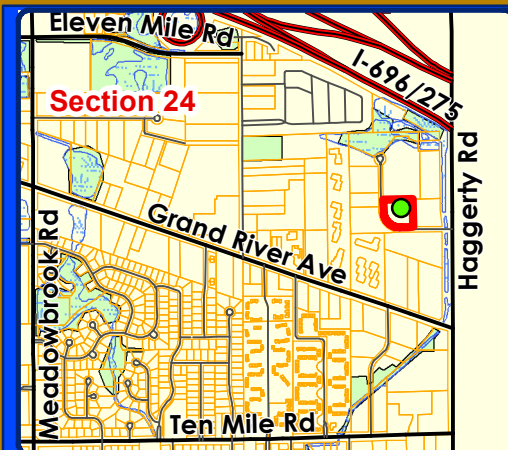


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# REGENCY CENTRE LOT 1: JSP18-35

## NATURAL FEATURES




**LEGEND**

- WETLANDS
- WOODLANDS
- Subject Property

 **City of Novi**  
Dept. of Community Development  
City Hall / Civic Center  
45175 W Ten Mile Rd  
Novi, MI 48375  
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**SITE PLAN**

(Full plan set available for viewing at the Community Development Department.)

Consultants

Project title

PROPOSED BUILDING FOR  
**REGENCY CENTRE**

LOT 1 REGENCY DRIVE  
NOVI, MICHIGAN 48375

Issued draft

PRE-APP MTG. 05.20.18  
REV. PER SITE PLAN 07.27.18

Sheet title

**ELEVATIONS**

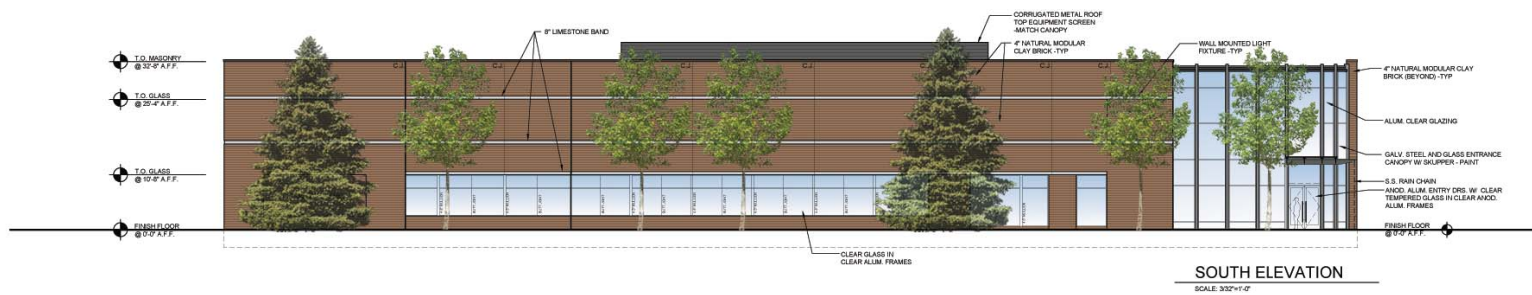
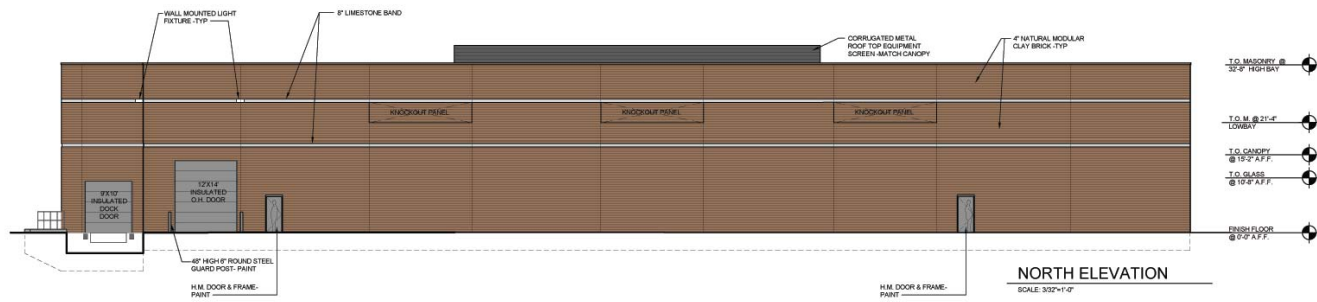


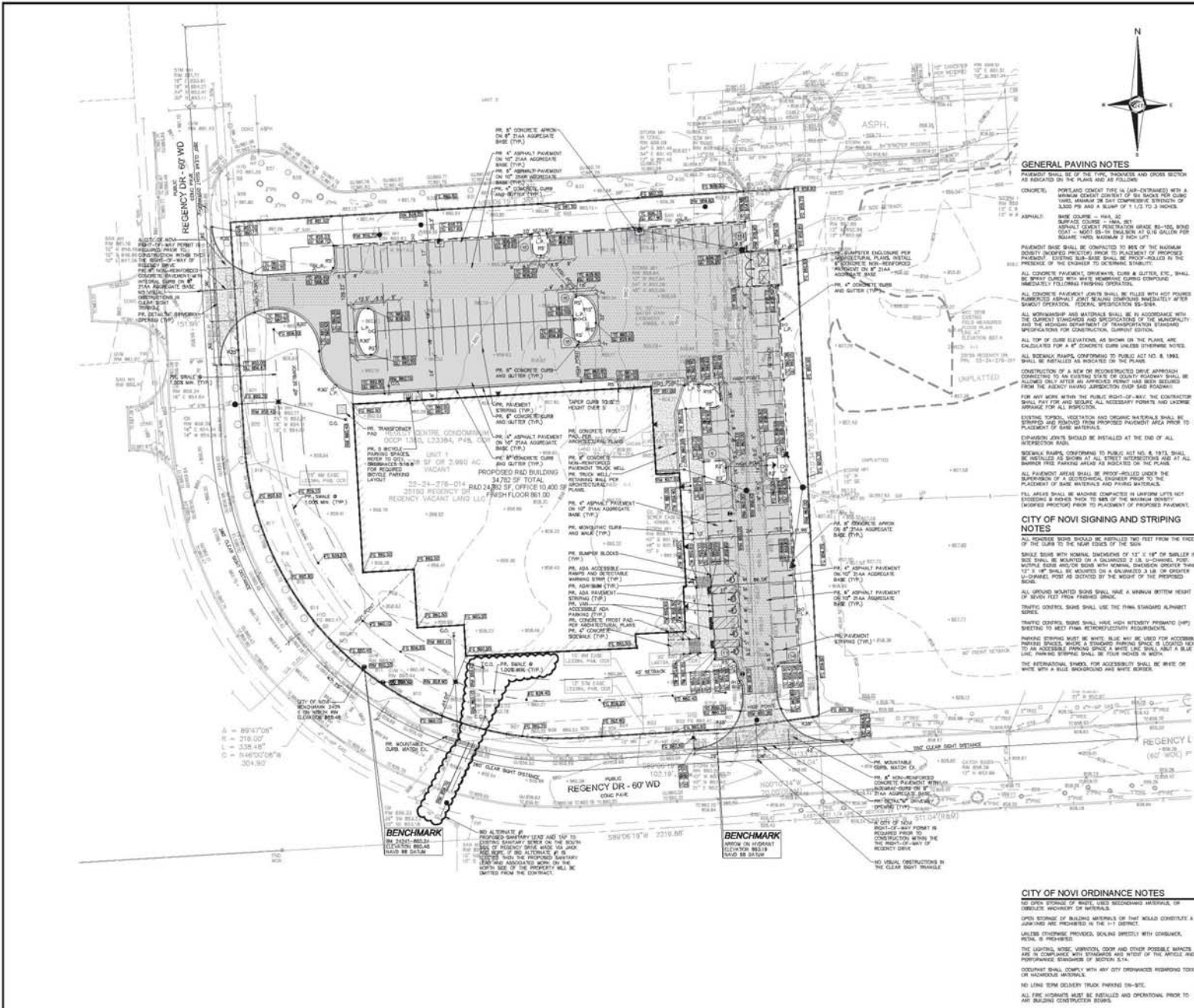
Project no.

2033.18

Sheet no.

A.201





**GENERAL PAVING NOTES**

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

**CONCRETE:** PORTLAND CEMENT TYPE I (AS-EXTRACTED) WITH A MINIMUM CEMENT CONTENT OF 10% BASED ON CUMULATIVE WEIGHT MINIMUM OF 3,000 LBS PER CUBIC YARD. MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

**ASPHALT:** BASE COURSE - HMA 50 SURFACE COURSE - HMA 501

CONCRETE PAVEMENT SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY INDEXED PROPORTION PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO OBTAIN DENSITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURBS & GUTTERS, ETC., SHALL BE SPREAD CURVED WITH WEAR SURFACING CURBS CONFORMING IMMEDIATELY FOLLOWING PROPOSED OPERATIONS.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POWERED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SMOOTH OPERATION. FEDERAL SPECIFICATION SS-304.

ALL WORKSHIPPED AND MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT SPECIFICATIONS AND VARIATIONS OF THE MICHIGAN DEPARTMENT OF TRANSPORTATION, STANDARD SPECIFICATIONS FOR CONSTRUCTION OF HIGHWAYS AND BRIDGES.

ALL TOP OF CURB ELEVATIONS AS SHOWN ON THE PLANS ARE CALCULATED FOR A 4" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALKS SHALL BE CONFORMED TO PUBLIC ACT NO. 4 1963 SHALL BE REPAVED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING DRIVE OR QUANTITY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN OBTAINED FROM THE AGENT HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL FILE WITH AND OBTAIN ALL NECESSARY PERMITS AND LICENSES APPLICABLE FOR ALL WORK.

EXISTING CURBS, SIDEWALKS AND SIGNAGE MATERIALS SHALL BE STRIPPED AND REPAVED PRIOR TO PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION AIDS.

SIDEWALK PAVING CONFORMING TO PUBLIC ACT NO. 4 1973 SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL INTERSECTION FREE PAVING AREAS AS INDICATED ON THE PLANS.

ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A REGISTERED ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND FINISH MATERIALS.

FILL AREAS SHALL BE MAJOR COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 4 INCHES FROM TO MAX OF THE MAXIMUM DENSITY (WETTER PROTECT) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

**CITY OF NOVI SIGNING AND STRIPING NOTES**

NOVI SIGNING SHOULD BE INSTALLED TWO FEET FROM THE FACE OF THE CURB TO THE NEAR EDGES OF THE ROAD.

SMALL SIGNS WITH NORMAL DIMENSIONS OF 12" X 18" OR SMALLER IN SIZE SHALL BE MOUNTED ON A CONCRETE 2 IN. CROWNED JOINT WITHIN 20 FEET AND ON SIGNS WITH NORMAL DIMENSIONS GREATER THAN 12" X 18" SHALL BE MOUNTED ON A CONCRETE 2 IN. CROWNED JOINT CHANNEL POST AS INDICATED BY THE WIDTH OF THE PROPOSED SIGN.

ALL GROUND MOUNTED SIGNS SHALL HAVE A MINIMUM BOTTOM HEIGHT OF 5 FEET FROM FINISHED GRADE.

TRAFFIC CONTROL SIGNS SHALL USE THE FINAL STANDARD ALPHABET SERIES.

PAVING LEGEND

- PROPOSED CONCRETE PAVEMENT
- PROPOSED 4" ASPHALT PAVEMENT
- PROPOSED 8" ASPHALT PAVEMENT

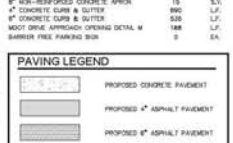
**ADJACENT LAND ZONING AND USE**

ADJACENT LAND	OWNER	PERMISSION	REMARKS
TO THE NORTH	...	...	...
TO THE SOUTH	...	...	...
TO THE WEST	...	...	...
TO THE EAST	...	...	...

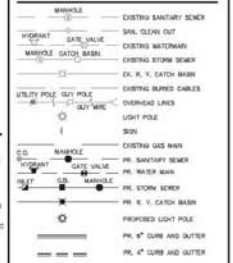
**ESTIMATED QUANTITIES**

DESCRIPTION	QUANTITY	UNIT	PRICE
8" ASPHALT ON 12" SUB-BASE	2,300	SQ. YD.	...
4" ASPHALT ON 12" SUB-BASE	1,500	SQ. YD.	...
CONCRETE CURBS AND GUTTERS	1,000	LF.	...
NON-REINFORCED CONCRETE PAVEMENT	300	SQ. YD.	...
8" NON-REINFORCED CONCRETE	300	SQ. YD.	...
CONCRETE CURBS & GUTTERS	800	LF.	...
CONCRETE CURBS & GUTTERS	500	LF.	...
MOISTURE CURE MEMBRANE	100	SQ. YD.	...

**PAVING LEGEND**



**LEGEND**



**CITY OF NOVI ORDINANCE NOTES**

NO OPEN STORAGE OF WHEEL LOAD BEARING MATERIALS OR OBSCURE SIGNIFICATION OF MATERIALS.

OPEN STORAGE OF BUILDING MATERIALS OR THAT WOULD CONSTITUTE A HAZARD ARE PROHIBITED IN THE 1-1 DISTRICT.

UNLESS OTHERWISE PROVIDED, SIGNING DIRECTLY WITH CONSUMER, RETAIL IS PROHIBITED.

THE LIGHTING, WIRE, APPROVAL, COORD AND OTHER SPECIAL SERVICES ARE TO BE COMPLETED WITH STRAINERS AND WITHIN THE APPLICABLE PERFORMANCE SPECIFICATIONS OF SECTION 5.14.

CONTRACTOR SHALL COMPLY WITH ALL CITY ORDINANCES RELATING TO TRUCK OR HAZARDOUS MATERIALS.

NO LONG TERM DELIVERY TRUCK PARKING ON-SITE.

ALL FIRE ALARMS MUST BE INSTALLED AND OPERATIONAL PRIOR TO ANY BUILDING CONSTRUCTION BEGINS.

**NF ENGINEERS**  
 CIVIL ENGINEERS  
 LAND SURVEYORS  
 LAND PLANNERS

NOWAK & FRANK ENGINEERS  
 44777 WOODWARD AVE.  
 PONTIAC, MI 48342-5002  
 TEL: (248) 332-7931  
 FAX: (248) 332-8337



PROJECT  
 Ari-EI - Novi  
 Regency Drive  
 West of Haggerty  
 North of Grand River

CLIENT  
 Ari-EI Enterprises  
 29355 Northwestern Hwy  
 Suite 301  
 Southfield, MI 48034

Contact:  
 Scott Lebovitz  
 Phone: (248) 557-3800  
 Email: scott@ari-el.com

PROJECT LOCATION  
 Part of the Northeast 1/4 of  
 Section 24, Town 1 North,  
 Range 8 East, City of Novi,  
 Oakland County, Michigan

SHEET  
 Preliminary Paving and  
 Grading Plan

**811**  
 Know what's below  
 Call before you dig.

DATE ISSUED/REVISED  
 2018-02-20 ISSUED FOR PERMITS PLAN REVIEW  
 2018-02-20 REVISED PER PERMITS PLAN REVIEW

DRAWN BY  
 T. Wood

DESIGNED BY  
 T. Wood

APPROVED BY  
 J. Longhart

DATE  
 June 20, 2018

SCALE 1" = 30'

N/E JOB NO  
 J875-02

SHEET NO  
 C3



## PLANNING REVIEW

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# PLAN REVIEW CENTER REPORT

August 17, 2018

**Planning Review**  
**Regency Centre Lot 1**  
 JSP 18-35

## PETITIONER

Oliver Hatcher Construction

## REVIEW TYPE

Preliminary Site Plan

## PROPERTY CHARACTERISTICS

<b>Section</b>	24	
<b>Site Location</b>	North of Regency Drive, West of Haggerty Road; 22-24-276-014	
<b>Site School District</b>	Novi Community School District	
<b>Site Zoning</b>	I-1: Light Industrial District	
<b>Adjoining Zoning</b>	North	I-1: Light Industrial District
	East	I-1: Light Industrial District
	West	I-1: Light Industrial District
	South	I-1: Light Industrial District
<b>Current Site Use</b>	Vacant	
<b>Adjoining Uses</b>	North	Light Industrial
	East	Vacant
	West	Light Industrial
	South	Self-Storage Facility
<b>Site Size</b>	2.99 acres	
<b>Plan Date</b>	June 20, 2018	

## PROJECT SUMMARY

The applicant is proposing a new 34,782 square foot Research/Development/Office building on a 2.99 acre vacant parcel. The parcel is on the north and east corner of Regency Drive, west of Haggerty Road. The proposed spec building does not have an identified tenant at this time. The site is planned and zoned for Light Industrial use.

## RECOMMENDATION

Approval of the ***Preliminary Site Plan is recommended.*** The plan mostly conforms to the requirements of the Zoning Ordinance, with a few deviations to be addressed in subsequent Site Plan submittals. All reviews recommend approval. **Planning Commission's approval for Preliminary Site Plan and Storm Water Management Plan is required.**

## ORDINANCE REQUIREMENTS

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 3 (Zoning Districts), Article 4 (Use Standards), Article 5 (Site Standards), and any other applicable provisions of the Zoning Ordinance. **Please see the attached charts for information pertaining to ordinance requirements.** Items in **bold** below must be addressed and incorporated as part of the Final Site Plan submittal:

1. Accessory Structures (Sec 4.19.2.A): A transformer is shown in the exterior side yard west of the building. A transformer is considered an accessory structure and should be located in the rear yard. Location must meet the 10 ft. setback requirement and screening is required. **The applicant should consider relocation of proposed transformer and provide proper screening, OR must request a Zoning Board of Appeals variance for transformer location in the exterior side yard.**
2. Lighting and Photometric Plan (Sec. 5.7.2): **Complete the Statistics chart and include notes that address the Ordinance requirements. Adjust lighting levels at the main entrance to meet the 1.0 fc minimum. See chart for additional details.**
3. Bicycle Parking (Section 5.16): Five bicycle parking spaces are proposed near the rear entrance of the building. The ordinance states that "bicycle parking facilities shall be located along the principal building entrance approach line and be clearly visible and easily accessible from the approach and building entrance being served." **The bicycle parking should be moved to serve the public entrance on the south side of the building. In addition, details of the bicycle parking layout needs to be shown and dimensioned.**
4. Plan Review Chart: There are additional minor clarifications requested in the Plan review chart. Please refer to the chart for additional details.
5. Other Reviews:
  - a. Engineering Review: Additional comments to be addressed with Final Site Plan. Engineering recommends approval.
  - b. Landscape Review: Landscape recommends approval with comments to be addressed in Final Site Plan Submittal. Refer to review letter and chart for more comments.
  - c. Wetlands Review: No impacts to regulated Wetlands are proposed. Wetland Review is not necessary.
  - d. Woodlands Review: No impacts to regulated Woodlands are proposed. Woodland Review is not necessary.
  - e. Traffic Review: Additional comments to be addressed with Final Site Plan. Traffic recommends approval.
  - f. Facade Review: Façade consultant recommends approval. The proposed design is in full compliance with façade ordinance. See letter for additional details.
  - g. Fire Review: Fire recommends approval. Additional comments to be addressed with Final Site Plan.

#### **NEXT STEP: PLANNING COMMISSION MEETING**

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This Site Plan is scheduled to go before Planning Commission for consideration on **September 12, 2018 at 7:00 p.m.** Please provide the following **no later than 12:00pm, September 6, 2018** if you wish to keep this schedule.

1. Site Plan submittal in PDF format (maximum of 10MB). **NO CHANGES MADE.**
2. A response letter addressing ALL the comments from ALL the review letters and a request for waivers as you see fit.
3. A color rendering of the Site Plan (Optional to be used for Planning Commission presentation).
4. A sample board of building materials as requested by our Façade Consultant.

#### **FINAL SITE PLAN SUBMITTAL**

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After receiving Planning Commission's approval of the Preliminary Site Plan, and the Zoning Board of Appeals' action on your variance request (if needed), please follow the Final Site Plan Checklist and submit for approval:

1. Six copies of Final Site Plan sets addressing all comments from Preliminary review,

2. Response letter addressing ALL the comments from ALL the review letters and **refer to sheet numbers where the change is reflected.**
3. [Final Site Plan Application](#)

### **ELECTRONIC STAMPING SET SUBMITTAL AND RESPONSE LETTER**

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After receiving Final Site Plan approval, plans addressing the comments in all of the staff and consultant review letters should be submitted electronically for informal review and approval prior to printing Stamping Sets. A letter from either the applicant or the applicant's representative addressing comments in this and other review letters and associated charts is to be submitted with the electronic stamping set. This letter should address all comments in ALL letters and ALL charts and **refer to sheet numbers where the change is reflected.**

### **STAMPING SET APPROVAL**

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Stamping sets are still required for this project. After having received all of the review letters from City staff the applicant should make the appropriate changes on the plans and submit **10 size 24" x 36" copies with original signature and original seals on the cover sheet (subsequent pages may use electronic seal with signature)**, to the Community Development Department for final Stamping Set approval.

*If required, drafts for all legal documents with a legal transmittal are to be submitted along with stamping sets.*

### **SIGNAGE**

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Exterior Signage is not regulated by the Planning Division or Planning Commission. Sign permit applications that relate to construction of a new building or an addition to an existing building may be submitted, reviewed, and approved as part of a site plan application. Proposed signs shall be shown on the preliminary site plan. Alternatively, an applicant may choose to submit a sign application to the Building Official for administrative review. Following preliminary site plan approval, any application to amend a sign permit or for a new or additional sign shall be submitted to the Building Official. Please contact the Ordinance Division 248.735.5678 for information regarding sign permits.

### **PRE-CONSTRUCTION MEETING**

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**A Pre-Construction meeting is required for this project.** Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or [smarchioni@cityofnovi.org](mailto:smarchioni@cityofnovi.org)] in the Community Development Department.

### **CHAPTER 26.5**

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Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0484 or [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org).



A handwritten signature in black ink that reads "Lindsay Bell". The signature is written in a cursive, flowing style.

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Lindsay Bell – Planner



## PLANNING REVIEW CHART

**Review Date:** August 17, 2018  
**Review Type:** Preliminary Site Plan  
**Project Name:** Regency Centre Lot 1, JSP18-35  
**Location:** North of Regency Dr, West of Haggerty Road  
**Plan Date:** 7/27/18  
**Prepared by:** Lindsay Bell, Planner  
**E-mail:** [lbell@cityofnovi.org](mailto:lbell@cityofnovi.org) **Phone:** 248.347.0484

<b>Bold</b>	To be addressed with the next submittal
<u>Underline</u>	To be addressed with final site plan submittal
<b><u>Bold and Underline</u></b>	Requires Planning Commission and/or City Council Approval
<i>Italics</i>	To be noted

Item	Required Code	Proposed	Meets Code	Comments
<b>Zoning and Use Requirements</b>				
<b>Master Plan</b> <i>(adopted August 25, 2010)</i>	Industrial Research Development and Technology	Research & Development	Yes	
<b>Area Study</b>	N/A		NA	
<b>Zoning</b> <i>(Effective December 25, 2013)</i>	I-1: Light Industrial District	No Change	Yes	
<b>Uses Permitted</b> (Sec 3.1.18.C)	R&D treated as Special Land Use when adjacent to residential, otherwise as Principle Permitted Use	R&D, not adj to residential	Yes	34,782 sf proposed: 24,382 R&D + 10,400 office
<b>Non-Residential Open Storage</b> <i>(Sec3.14.1.B.iv)</i>	Permitted as Special Land Use when conducted in conjunction with and accessory to otherwise permitted use in I-1	Not proposed	NA	
<b>Height, bulk, density and area limitations (Sec 3.1.18)</b>				
<b>Frontage on a Public Street.</b> <i>(Sec. 5.12)</i>	Frontage on a Public Street is required	Frontage on Regency Drive on two sides	Yes	
<b>Access to Major Thoroughfare</b> <i>(Sec. 5.13)</i>	Vehicular access shall be provided only to an existing or planned major thoroughfare or freeway service drive <i>OR</i> access driveway on other street type is not across street from existing or planned single-family uses	Access from Regency Drive – not across from residential	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Minimum Zoning Lot Size</b> for each Unit in Ac (Sec 3.6.2.D)	Except where otherwise provided in this Ordinance, the minimum lot area and width, and the maximum percent of lot coverage shall be determined on the basis of off-street parking, loading, greenbelt screening, yard setback or usable open space	2.99 acres	Yes	
<b>Minimum Zoning Lot Size</b> for each Unit: Width in Feet			NA	
<b>Open Space Area</b>	----	----	----	----
<b>Maximum % of Lot Area Covered</b> (By All Buildings) (Sec 3.6.2.D)		26.71%	Yes	
<b>Building Height</b> (Sec. 3.1.18.D)	40 ft.	32.67 ft.	Yes	
<b>Building Setbacks</b> (Sec 3.1.18.D)				
Front (south)	40 ft.	44 ft.	Yes	
Side (north)	20 ft.	129.2 ft.	Yes	
Side (east)	20 ft.	86.6 ft.	Yes	
Exterior Side (west)	40 ft. (dual frontage)	45 ft.	Yes	
<b>Parking Setback</b> (Sec 3.1.18.D) & Refer to applicable notes in Sec 3.6.2				
Front (south)	40 ft. (See 3.6.2.E)	42 ft	Yes	
Side (north)	10 ft.	20 ft	Yes	
Side (east)	10 ft.	11.98 ft	Yes	
Exterior Side (west)	40 ft. (dual frontage)	69 ft	Yes	
<b>Note To District Standards</b> (Sec 3.6.2)				
<b>Exterior Side Yard Abutting a Street</b> (Sec 3.6.2.C)	All exterior side yards abutting a street shall be provided with a setback equal to front yard.	Proposed	Yes	
<b>Off-Street Parking in Front Yard</b> (Sec 3.6.2.E)	Off-street parking is allowed in front yard if: - the site is a minimum 2 acre site, - does not extend into the minimum required front yard setback of the district, - cannot occupy more than 50% of the area between min. front yard setback & bldg. setback, - must be screened by brick wall or landscaped berm 2.5 ft tall - lighting compatible with	Parking proposed in front yard -Meets (2.99 acres)  -Provided  -Provided  -Landscape screening shown  -Yes	Yes	<b>See landscape letter for comments</b>

Item	Required Code	Proposed	Meets Code	Comments
	surrounding neighborhood			
<b>Off-Street Parking in Side and Rear Yards</b> (Sec 3.6.2.F)	Off-street parking is allowed in side and rear yards if the site does not abut residential. If it does, additional conditions apply: <ul style="list-style-type: none"> <li>i. shall not occupy more than 50% of side yard area abutting residential</li> <li>ii. parking setback no less than 100 ft from res district</li> </ul>	Not adjacent to residential	NA	
<b>Setback from Residential District - Building</b> (Sec 3.6.2.H)	I-1 and I-2 districts, five (5) feet of horizontal setback for each foot of building height, or one-hundred (100) feet, whichever is greater.		NA	
<b>Wetland/ Watercourse Setback</b> (Sec 3.6.2.M)	A setback of 25 ft. from wetlands and from high watermark course shall be maintained		NA	
<b>Additional Height</b> (Sec 3.6.2.O)	Additional heights for selected building is allowed based on conditions listed in Sec 3.6.2.O	Applicant not requesting	NA	
<b>Parking setback screening</b> (Sec 3.6.2.P)	Required parking setback area shall be landscaped per Sec 5.5.3.		Yes	<b>See Landscaping comments</b>
<b>Modification of parking setback requirements</b> (Sec 3.6.2.Q)	The Planning Commission may modify parking setback requirements based on conditions listed in Sec 3.6.2.Q		NA	
<b>Parking and Loading Requirements</b>				
<b>Number of Parking Spaces</b>  Industrial or research Establishments & related offices (Sec.5.2.12.E)	One space for each 700 sf usable floor area OR 5 spaces plus 1 for each 1.5 employees on largest shift  34,782 sf proposed: 24,382 R&D + 10,400 office 34,782/700 = 49.7 Required Parking: 50 Spaces OR 5 + 146/1.5 = 102 spaces	Total Parking Proposed = 103 spaces	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Parking Space Dimensions and Maneuvering Lanes</b> (Sec. 5.3.2)	- 90° Parking: 9 ft. x 19 ft. - 24 ft. two way drives - 9 ft. x 17 ft. parking spaces allowed along 7 ft. wide interior sidewalks as long as detail indicates a 4" curb at these locations and along landscaping	24 ft. drives min proposed  9 ft. x 17 ft. spaces proposed as well as 9 X19 ft spaces	Yes	
<b>Parking stall located adjacent to a parking lot entrance</b> (public or private) (Sec. 5.3.13)	Shall not be located closer than twenty-five (25) feet from the street right-of-way (ROW) line, street easement or sidewalk, whichever is closer	Minimum distance is maintained	Yes	
<b>End Islands</b> (Sec. 5.3.12)	- End Islands with landscaping and raised curbs are required at the end of all parking bays that abut traffic circulation aisles. - The end islands shall generally be at least 8 feet wide, have an outside radius of 15 feet, and be constructed 3' shorter than the adjacent parking stall as illustrated in the Zoning Ordinance	Appears to comply	Yes	<b>Show measurements on the plan to verify conformance</b>
<b>Barrier Free Spaces</b> <i>Barrier Free Code</i>	For 104 spaces, 5 barrier free required	5 barrier free shown	Yes	
<b>Barrier Free Space Dimensions</b> <i>Barrier Free Code</i>	- 8' wide with an 8' wide access aisle for van accessible spaces - 8' wide with a 5' wide access aisle for regular accessible spaces	2 van accessible shown 3 regular BF shown	Yes	
<b>Barrier Free Signs</b> <i>Barrier Free Code</i>	One sign for each accessible parking space.	Shown	Yes	
<b>Minimum number of Bicycle Parking</b> (Sec. 5.16.1)	5% of required auto spaces, min 2 spaces  50 required auto = 3 spaces	5 proposed	Yes	
<b>Bicycle Parking General requirements</b> (Sec. 5.16)	- No farther than 120 ft. from the entrance being served - When 4 or more spaces are required for a building with multiple entrances, the spaces shall be provided in multiple locations	Proposed  One location to serve NW rear entrance	Yes  <b>No</b>	<b>Consider moving to public entrance on the south side – or waiver from the PC would be required</b>

Item	Required Code	Proposed	Meets Code	Comments
	<ul style="list-style-type: none"> <li>- Spaces to be paved and the bike rack shall be inverted "U" design</li> <li>- Shall be accessible via 6 ft. paved access from street</li> </ul>	Design shown on sheet L3	Yes  Yes	
<b>Bicycle Parking Lot layout</b> (Sec 5.16.6)	Parking space width: 6 ft. One tier width: 10 ft. Two tier width: 16 ft. Maneuvering lane width: 4 ft. Parking space depth: 2 ft. single, 2 ½ ft. double	Layout not shown	<b>No</b>	<b>Provide bike parking layout detail in the plan set</b>
<b>Loading Spaces</b> (Sec. 5.4.3)	Loading area in the rear yard, unless abutting residential or interior side yard if adjacent to I, EXPO or EXO district	Truck well in rear (north) yard	Yes	
<b>Accessory Structures</b>				
<b>Dumpster</b> (Sec 4.19.2.F)	<ul style="list-style-type: none"> <li>- Located in rear yard</li> <li>- Attached to the building or no closer than 10 ft. from building if not attached</li> <li>- Not located in parking setback</li> <li>- If no setback, then it cannot be any closer than 10 ft, from property line.</li> <li>- Away from Barrier free Spaces</li> </ul>	Dumpster enclosure in rear/side (east) yard outside of parking setback	Yes	
<b>Dumpster Enclosure</b> (Sec. 21-145. (c))	<ul style="list-style-type: none"> <li>- Screened from public view</li> <li>- A wall or fence 1 ft. higher than height of refuse bin</li> <li>- And no less than 5 ft. on three sides</li> <li>- Posts or bumpers to protect the screening</li> <li>- Hard surface pad</li> <li>- Screening Materials: Masonry, wood or evergreen shrubbery</li> </ul>	Details included in plans – Sheet sp102	Yes	
<b>Roof top equipment and wall mounted utility equipment</b> (Sec. 4.19.2.E.ii)	All roof top equipment must be screened and all wall mounted utility equipment must be enclosed and integrated into the design and color of the building	No rooftop equipment shown	No?	<b>Response letter refers to 48" high RTU screen – but not shown on sheet A.201 as indicated</b>
<b>Roof top appurtenances screening</b>	Roof top appurtenances shall be screened in accordance with applicable facade regulations, and shall not be visible from any street, road or adjacent property.	Not shown		See above

Item	Required Code	Proposed	Meets Code	Comments
<b>Transformer/ Generator</b> (Sec 4.19.2.A)	Provide location of any proposed transformers/ generators etc.	Transformer pad shown in exterior side yard at NW corner of the building	No	<b>Accessory structures to be located in the rear yard and screened with landscaping – ZBA variance will be required for this location</b>
<b>I-1 District Required Conditions (Sec 3.14)</b>				
<b>Outdoor Storage of above ground storage tanks</b> (Sec. 3.14.1.B.ii)	Outdoor placement of above-ground storage tanks of not more than 600 capacity per tank and accessory to an otherwise permitted use. Additional conditions apply.	Not Proposed	NA	
<b>Outdoor Storage of recreational equipment</b> (Sec. 3.14.1.B.iii)		Not Proposed	NA	
<b>Other</b> (Sec 3.14.2)	Unless otherwise provided, dealing directly with consumer at retail, is prohibited.	Note on sheet C3	Yes	
<b>Adjacent to Freeway ROW</b> (Sec 3.14.4)	Where a permitted use abuts a freeway right-of way, special conditions listed in section 3.14.4 apply	Not adjacent to freeway ROW	NA	
<b>Planning Commission findings for permitted uses (Sec 3.14.3)</b>				
<b>Protecting current and future residential uses from adverse impact</b> Sec 3.14.3.A	The scale, size, building design, façade materials, landscaping and activity of the use is such that current and future residential uses will be protected from adverse impacts.	Not adjacent to residential	NA	
<b>Long term truck parking</b> Sec 3.14.3.B	No long term delivery truck parking on site	Note on sheet C3	Yes	
<b>Performance standards</b> Sec 3.14.3.C	The lighting, noise, vibration, odor and other possible impacts are in compliance with standards and intent of the article and performance standards of Section 5.14	Note on plan	Yes	
<b>Storage and/use of material</b> Sec 3.14.3.D	The storage and/or use of any volatile, flammable or other materials shall be fully identified in application and shall comply with any city ordinances regarding toxic or	Note on plan	Yes	

Item	Required Code	Proposed	Meets Code	Comments
	hazardous materials.			
<b>Hazardous material checklist</b> Sec 3.14.3.E	Compliance of City's hazardous materials checklist	Checklist provided	Yes	
<b>Sidewalks and Pathways</b>				
<b>ARTICLE XI. OFF-ROAD NON-MOTORIZED FACILITIES</b> Sec. 11-256. Requirement. (c) & Sub. Ord. Sec. 4.05,	<ul style="list-style-type: none"> <li>- In the case of new streets and roadways to be constructed as part of the project, a sidewalk shall be provided on both sides of the proposed street or roadway.</li> <li>- Sidewalks along arterials and collectors shall be 6 feet or 8 feet wide as designated by the "Bicycle and Pedestrian Plan," but not along industrial service streets per Subdivision Ordinance.</li> <li>- Whereas sidewalks along local streets and private roadways shall be five (5) feet wide.</li> </ul>	<p>NA</p> <p>Not shown</p> <p>NA</p>	Yes	Regency Drive is industrial service street – no sidewalk required.
<b>Pedestrian Connectivity</b>	<ul style="list-style-type: none"> <li>- Whether the traffic circulation features within the site and parking areas are designed to assure safety and convenience of both vehicular and pedestrian traffic both within the site and in relation to access streets</li> <li>- Building exits must be connected to sidewalk system or parking lot.</li> </ul>	One sidewalk on east side of the site to the main door	Yes	
<b>Lighting and Photometric Plan (Sec. 5.7)</b>				
<b>Intent (Sec. 5.7.1)</b>	Establish appropriate minimum levels, prevent unnecessary glare, reduce spillover onto adjacent properties & reduce unnecessary transmission of light into the night sky	Provided	Yes	
<b>Lighting Plan (Sec. 5.7.A.i)</b>	Site plan showing location of all existing & proposed buildings, landscaping, streets, drives, parking areas & exterior lighting fixtures	Mostly provided – no landscaping shown; light pole locations shown on landscape	Yes	<b>See landscaping letter for any conflicts with light placement</b>



Item	Required Code	Proposed	Meets Code	Comments
		plan		
<b>Building Lighting</b> (Sec. 5.7.2.A.iii)	Relevant building elevation drawings showing all fixtures, the portions of the walls to be illuminated, illuminance levels of walls and the aiming points of any remote fixtures.	Shown	Yes	
<b>Lighting Plan</b> (Sec.5.7.2.A.ii)	Specifications for all proposed & existing lighting fixtures	Provided	Yes	<b>Provide hours of operation</b>
	Photometric data	Provided	Yes	
	Fixture height	Provided	Yes	
	Mounting & design	Provided	Yes	
	Glare control devices (Also see Sec. 5.7.3.D)	Provided	Yes	
	Type & color rendition of lamps	Provided	Yes	
	Hours of operation	Not provided	<b>No</b>	
	Photometric plan illustrating all light sources that impact the subject site, including spill-over information from neighboring properties	Provided	Yes	
<b>Maximum Height</b> (Sec. 5.7.3.A)	Height not to exceed maximum height of zoning district (40 ft.) (or 25 ft. where adjacent to residential districts or uses)	25 foot max indicated	Yes	
<b>Standard Notes</b> (Sec. 5.7.3.B)	<ul style="list-style-type: none"> <li>- Electrical service to light fixtures shall be placed underground</li> <li>- Flashing light shall not be permitted</li> <li>- Only necessary lighting for security purposes &amp; limited operations shall be permitted after a site's hours of operation</li> </ul>	Notes not provided	<b>No</b>	<b>Provide notes in plans</b>
<b>Security Lighting</b> (Sec. 5.7.3.H)  Lighting for security purposes shall be directed only onto the area to be secured.	<ul style="list-style-type: none"> <li>- All fixtures shall be located, shielded, and aimed at the areas to be secured.</li> <li>- Fixtures mounted on the building and designed to illuminate the facade are preferred.</li> </ul>	Notes not provided	<b>No</b>	<b>Provide notes on plans to verify conformance</b>
<b>Average Light Levels</b> (Sec.5.7.3.E)	Average light level of the surface being lit to the lowest light of the surface being lit shall not exceed 4:1	Does not exceed	Yes	

Item	Required Code	Proposed	Meets Code	Comments
<b>Type of Lamps</b> (Sec. 5.7.3.F)	Use of true color rendering lamps such as metal halide is preferred over high & low pressure sodium lamps	LED proposed	Yes	
<b>Min. Illumination</b> (Sec. 5.7.3.k)	Parking areas: 0.2 min	0.5 fc min shown	Yes	<b>Include walkways and building entrances in Statistics table</b>
	Loading/unloading areas: 0.4 min	0.7 fc min shown	Yes	
	Walkways: 0.2 min	0.2 fc min shown	Yes	<b>Address main entrance light levels to provide 1.0 fc minimum</b>
	Building entrances, frequent use: 1.0 min	0.2 fc shown at main entrance	<b>No</b>	
	Building entrances, infrequent use: 0.2 min	Appears to comply	Yes	
<b>Max. Illumination adjacent to Non-Residential</b> (Sec. 5.7.3.K)	When site abuts a non-residential district, maximum illumination at the property line shall not exceed 1 foot candle	Does not exceed	Yes	
<b>Cut off Angles</b> (Sec. 5.7.3.L)	When adjacent to residential districts - All cut off angles of fixtures must be 90° - maximum illumination at the property line shall not exceed 0.5 foot candle		NA	
<b>Other Requirements</b>				
<b>Design and Construction Standards Manual</b>	Land description, Sidwell number (metes and bounds for acreage parcel, lot number(s), Liber, and page for subdivisions).	Provided	Yes	
<b>General layout and dimension of proposed physical improvements</b>	Location of all existing and proposed buildings, proposed building heights, building layouts, (floor area in square feet), location of proposed parking and parking layout, streets and drives, and indicate square footage of pavement area (indicate public or private).	Provided	Yes	
<b>Economic Impact Information</b>	- Total cost of the proposed building & site improvements - Number of anticipated jobs created (during construction & after building is occupied, if known).	Estimated cost: \$2.25 mil Employees: 146 Construction jobs: 25	Yes	
<b>Development and Street Names</b>	Development and street names must be approved by the Street Naming Committee before Preliminary Site Plan	Name approval for business not required	NA	<u>Contact Hannah Smith at 248-347-0475 to schedule a meeting with the Committee</u>

Item	Required Code	Proposed	Meets Code	Comments
	approval			
<b>Development/ Business Sign</b>	Signage if proposed requires a permit. Can be considered during site plan review process or independently.	None shown	NA	<u>For sign permit information contact Maureen Underhill 248-735-5602.</u>

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. Please refer to those sections in Article 3, 4, and 5 of the zoning ordinance for further details.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

## ENGINEERING REVIEW

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# PLAN REVIEW CENTER REPORT

August 17, 2018

## Engineering Review

Regency Centre Lot 1  
JSP18-0035

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### Applicant

Oliver Hatcher

### Review Type

Preliminary Site Plan

### Property Characteristics

- Site Location: West of Haggerty Road, North of Regency Drive
- Site Size: 2.99 acres
- Plan Date: 07/27/18
- Design Engineer: Nowak & Fraus Engineers

### Project Summary

- Construction of an approximately 34,782 square-foot industrial/office building and associated parking. Site access would be provided by two curb cuts from Regency Drive.
- Water service would be provided by existing 12-inch water main along the east side of the site. A 2-inch domestic lead and a 8-inch fire lead would be provided to serve the building. Existing fire hydrants would be relocated as part of the site work.
- Sanitary sewer service would be provided by existing 10-inch sanitary sewer on the site. A single 6-inch sewer lead from the building would connect to existing 10-inch sanitary sewer.

Storm water would be collected by a single storm sewer collection system and would discharge to existing storm sewer.

### Recommendation

**Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended.**

**Comments:**

The Preliminary Site Plan meets the general requirements of the design and construction standards as set forth in Chapter 11 of the City of Novi Codified Ordinance, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

**Additional Comments (to be addressed upon Final Site Plan submittal):**

General

1. A right-of-way permit will be required from the City of Novi for work in the Regency Drive right-of-way.
2. Provide the City's standard detail sheets for water main (5 sheets-rev. 02/16/2018), sanitary sewer (3 sheets- rev. 02/16/2018), storm sewer (2 sheets-rev. 02/16/2018), and paving (2 sheets-rev. 03/05/2018) at the time of the printed Stamping Set submittal. These details can be found on the City's website:  
<http://cityofnovi.org/Government/City-Services/Public-Services/Engineering-Division/Engineering-Standards-and-Construction-Details.aspx>
3. A same-side/opposite-side driveway spacing **Waiver**, granted by the Planning Commission, may be required for the proposed location of one or both of the entrance drives with respect to the existing adjacent drives. The Engineering Department would support this waiver request.
4. Provide a traffic control sign table listing the quantities of each sign type proposed for the development. Provide a note along with the table stating all traffic signage will comply with the current MMUTCD standards.
5. Show existing utility and access easements on the plans. Show any existing access easement along the existing gravel road.
6. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan submittal highlighting the changes made to the plans addressing each of the comments in this review.

Water Main

7. Provide a profile for all proposed water main 8-inch and larger.
8. Show on utility plan the proposed 20-foot wide water main easement around the relocated fire hydrant.
9. Provide three (3) signed and sealed sets of revised utility plans along with the MDEQ permit application (06/12 rev.) for water main construction. The Streamlined Water Main Permit Checklist should be submitted to the Engineering Division for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

10. Provide a sanitary sewer basis of design on the utility plan.

11. Provide and show on the plans access easement to the sanitary sewer monitoring manhole if not placed within the public right-of-way.
12. Include invert elevations on the sanitary sewer lead(s).

#### Storm Sewer

13. A minimum cover depth of 3 feet shall be maintained over all storm sewers.
14. Label the 10-year HGL on the storm sewer profiles, and ensure the HGL remains at least 1-foot below the rim of each structure.
15. Match the 0.80 diameter depth above invert for pipe size increases.
16. Inlets are only permitted in paved areas and when followed by a catch basin within 50 feet.
17. Revise pipe material labels and/or quantities table to show consistent material type. 8-inch PVC SDR26 can be used for roof drain leads.
18. A Storm Drain Facility Maintenance Easement will be required for this site over structures with oil/gas separators. Provide an access easement for maintenance over the structures and include an access easement to the structures from the public road right-of-way.

#### Storm Water Management Plan

19. Provide the SWMP for the Regency Centre Regional Detention Basin.
20. Provide information and calculations showing that the site is in accordance with the previously approved SWMP for the overall development.

#### Paving & Grading

21. Revise swale to the required minimum 2% swale slope.
22. Provide additional spot grades as necessary to demonstrate that a minimum 5-percent slope away from the building is provided for a minimum distance of ten feet around the perimeter of the building.
23. Revise curb height to transition from 4-inch to 6-inch height at the northeast building/truckwell corner and at the peninsulas at the high point on the east side of the building.
24. A paved, clear access route to bicycle parking must be provided in accordance with the Zoning Ordinance. Refer to traffic review for additional comments.

#### Soil Erosion and Sediment Control

25. SESC permit is required. A full review has not been done at this time. The review checklist detailing all SESC requirements is attached to this letter. An informal review will be completed with the Final Site Plan if SESC plans are included in the submittal.

#### Off-Site Easements

26. Any off-site easements anticipated must be executed **prior to final approval of the plans.**

- a. Drainage easements are required to the east and north where runoff will be conveyed in storm sewer across private property.

**The following must be submitted at the time of Final Site Plan submittal:**

27. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
28. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
29. Draft copies of any off-site easements, a recent title search, and legal escrow funds must be submitted to the Community Development Department for review and approved by the Engineering Division and the City Attorney prior to getting executed.

**The following must be submitted at the time of Stamping Set submittal:**

30. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
31. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.
32. Executed copies of any required off-site easements must be submitted to the Community Development Department.

**The following must be addressed prior to construction:**

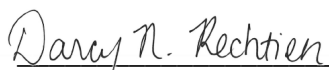
33. A pre-construction meeting shall be required prior to the commencement of any site work. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
34. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting (no application fee).



35. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
36. A permit for work within the right-of-way of Regency Drive must be obtained from the City of Novi. The application is available from the City Engineering Division and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Division at 248-347-0454 for further information.
37. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the Water and Sewer Senior Manager after the water main plans have been approved.
38. Construction Inspection Fees, to be determined once the construction cost estimate is submitted, must be paid prior to the pre-construction meeting.
39. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted with Community Development.

To the extent this review letter addresses items and requirements that require the approval of or a permit from an agency or entity other than the City, this review shall not be considered an indication or statement that such approvals or permits will be issued.

Please contact Darcy Rechten at (248) 735-5695 with any questions.



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Darcy N. Rechten, P.E.

cc: Theresa Bridges, Engineering  
George Melistas, Engineering  
Lindsay Bell, Community Development



## CITY OF NOVI ENGINEERING DIVISION SOIL EROSION AND SEDIMENTATION CONTROL PLAN CHECKLIST

PROJECT: SESC Application #: SE -  
 Contact Name: DATE COMPLETED:  
 Phone Number: DATE OF PLAN:  
 Fax Number: **STATUS:**

General Requirements – Following the initial Soil Erosion and Sedimentation Control permit application to the Community Development Department, all SESC plan revisions shall be submitted directly to the Engineering Department for further review and/or permit approval. One (1) copy of revised soil erosion plans, including response letter addressing the comments below, shall be submitted for each subsequent review until the plan has been given approval by the Engineering Department, at which point five (5) copies will be required for permit approval. Plans shall be signed and sealed, and the bond must be submitted to the Treasurer’s Office prior to permit issuance.

ITEM NO.	ITEM	Provided on Plans	COMMENTS
1.	Plan shall be at scale of not more than 1" = 200', include legal description, location, proximity to lakes, streams or wetlands, slopes, etc.	<input type="checkbox"/>	
2.	Plan shall include a soil survey or a written description of soil types of the exposed land area.	<input type="checkbox"/>	
3.	Plan shall show the limits of earth disruption.	<input type="checkbox"/>	
4.	Plan shall show tree protection fencing and location of trees to be protected.	<input type="checkbox"/>	
5.	Plan shall show all existing and proposed on-site drainage and dewatering facilities (i.e. structure details, rim elev., etc.)	<input type="checkbox"/>	
6.	Detailed sequence of construction shall be provided on plans structured similar to the following, supplemented with site specific items: 1) Install tracking mat, 2) Install temp. SESC measures, 3) Construct storm water basins and install treatment structures, if applicable, 4) Install storm sewer, with inlet protection to follow immediately, 5) Remove all temp. SESC measures once site is stabilized.	<input type="checkbox"/>	
7.	Plan must address maintenance of soil erosion and sedimentation control measures (temporary and permanent)	<input type="checkbox"/>	

8.	Provide a note stating if dewatering is anticipated or encountered during construction a dewatering plan must be submitted to the Engineering Division for review.	<input type="checkbox"/>	
9.	A grading plan shall be provided, or grade information shown on plan.	<input type="checkbox"/>	
10.	Note that it is the developer's responsibility to grade and stabilize disturbances due to the installation of public utilities.	<input type="checkbox"/>	
11.	The CSWO shall be listed on permit application.	<input type="checkbox"/>	
12.	Plan sealed by registered civil engineer with original signature.	<input type="checkbox"/>	
13.	An itemized cost estimate (Silt Fence, Inlet Filters, Topsoil/Seed/Mulch, Const. Access, etc.) shall be provided.	<input type="checkbox"/>	The SESC financial guarantee will be \$ . The SESC inspection fees will be \$ .
14.	Potential stockpile areas shall be shown on the plan, with note stating a ring of silt fence will be installed surrounding any stockpiled material.	<input type="checkbox"/>	
15.	Sediment basin: Provide filter on standpipe outlet structure until site is stabilized, then removed. Noted on plan and standpipe detail(s).	<input type="checkbox"/>	
16.	Provide a note on the plan stating the storm water basin will be stabilized prior to directing flow to the basin.	<input type="checkbox"/>	
17.	Pretreatment Structures: Noted to inspect weekly for sediment accumulation until site is stabilized, and will clean as required.	<input type="checkbox"/>	.
18.	Attach the Oakland County standard detail sheet.	<input type="checkbox"/>	
19.	Construction mud tracking entrance: 75'x20', 6" of 1" to 3" stone, on geotextile fabric.	<input type="checkbox"/>	
20.	Silt fence: 6" anchor trench, stakes 6' on center. Prominent line type on plan, with legend.	<input type="checkbox"/>	
21.	Provide Silt Sack with overflow capability as the inlet protection, and provide detail on plans.	<input type="checkbox"/>	
22.	Catch basin inlet filters shall be provided on existing roadways along construction route for reasonable distance from site.	<input type="checkbox"/>	
23.	Street sweeping and dust control shall be noted on plan as responsibility of contractor.	<input type="checkbox"/>	
24.	Vegetation shall be established within 5 days of final grade, or whenever disturbed areas will remain unchanged for 30 days or greater. 3-4" of topsoil will be used where vegetation is required.	<input type="checkbox"/>	
25.	Vegetated buffer strips (25' wide wherever possible) shall be created or retained along the	<input type="checkbox"/>	

	edges of all water bodies, water courses or wetlands.		
26.	Diversion berms or terracing shall be implemented where necessary.	<input type="checkbox"/>	
27.	All drainage ditches shall be stabilized with erosion control blanket and shall utilize check dams as necessary. Drainage ditches steeper than 3% shall be sodded.	<input type="checkbox"/>	
28.	Slopes steeper than 1V:6H (16%) shall be stabilized with erosion control blanket. Add this note as a general note, and also in a prominent location near any berm, etc. where a significant slope is proposed.	<input type="checkbox"/>	
29.	All culvert end sections must contain grouted rip-rap in accordance with ordinance specifications.	<input type="checkbox"/>	

**ADDITIONAL COMMENTS:**

1. Please note that installation of silt fencing or tree protection fencing shall not occur prior to the initial City pre-construction meeting. When natural features exist on the site, inspection of staking may be required prior to installation of the fencing.
2. **Provide an estimated time of earth disruption at the next submittal. At that time, an inspection fee will be provided.**

Reviewed By: Lindon Ivezaj (248) 735-5694

## LANDSCAPE REVIEW

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# PLAN REVIEW CENTER REPORT

August 12, 2018

## Preliminary Site Plan - Landscaping

Regency Center #1

JSP#18-35

### Review Type

Preliminary Landscape Review

### Property Characteristics

- Site Location: 25150 Regency Drive
- Site Acreage: 2.99 acres
- Site Zoning: I-1
- Adjacent Zoning: I-1
- Plan Date: 7/27/2018

### Ordinance Considerations

This project was reviewed for conformance with Chapter 37: Woodland Protection, Zoning Article 5.5 Landscape Standards, the Landscape Design Manual and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed and incorporated as part of the revised Preliminary Site Plan submittal. Underlined items need to be included in Final Site Plans. Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review and the accompanying Landscape Chart is a summary and not intended to substitute for any Ordinance.

### Recommendation

The plan is **recommended for approval**. Please address the comments below in Final Site Plans.

### Ordinance Considerations

Existing Soils (Preliminary Site Plan checklist #10, #17)

Provided.

Existing and proposed overhead and underground utilities, including hydrants.(LDM 2.e.(4))

1. Provided.
2. There are no overhead utility lines in the vicinity of the project.
3. **Please provide at least 10 feet of space between the tree and the hydrant in the central island in the easternmost parking bay.**

Existing Trees (Sec 37 Woodland Protection, Preliminary Site Plan checklist #17 and LDM 2.3 (2))

1. No woodland trees. Existing landscape trees are located and identified.
2. Five street trees are being removed and are replaced on site. As the 5 trees were planted as street trees, not woodland replacement trees, and a sufficient number of street trees remain, the 5 trees do not need to be replaced, if desired.

Adjacent to Residential - Buffer (Zoning Sec. 5.5.3.B.ii and iii)

Property is not adjacent to Residential.

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Zoning Sec. 5.5.3.B.ii and iii)

The project fronts an industrial subdivision road (Regency Drive) so no right-of-way berms or landscaping are required.

Industrial Subdivision Frontage (Zoning Sec 5.5.3.E.iii & LDM 2.b)

1. The project fronts an industrial subdivision road (Regency Drive) with a frontage of 544 lf, less entry drives.
2. The required large greenbelt trees requirement is met with the 20 existing street trees remaining. The required subcanopy trees, shrubs, additional massing and parking area screening are all provided.

Parking Lot Landscaping (Zoning Sec. 5.5.3.C.)

1. Based on the vehicular use areas, 2,244 sf of islands and 11 trees are required. 2,611 sf of islands and 11 trees are provided.
2. **Please provide the required spacing between the fire hydrant and the canopy tree in the easternmost parking bay.**
3. **Please either increase the area of the northwest island to at least 400sf or move one of the trees in that island to a different location with at least 200sf per tree.**

Parking Lot Perimeter Canopy Trees (Zoning Sec. 5.5.3.C.(3) Chart footnote)

The required 24 perimeter trees are provided.

Loading Zone screening (Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)

The loading zone at the rear of the building is screened from Regency Drive by the building.

Building Foundation Landscape (Zoning Sec 5.5.3.D.)

1. The required foundation area is provided.
2. Greater than 60% of the frontage is landscaped.

Plant List (LDM 2.h. and t.)

1. Provided.
2. 11 of 18 species proposed (61%) are native to Michigan.

Planting Notations and Details (LDM)

Provided.

Storm Basin Landscape (Zoning Sec 5.5.3.E.iv and LDM 1.d.(3))

The site's storm water detention will be handled by the development's regional detention basin.

Irrigation (LDM 1.a.(1)(e) and 2.s)

The proposed landscaping must be provided with sufficient water to become established and survive over the long term. Please note how this will be accomplished if an irrigation plan is not provided.

Proposed topography. 2' contour minimum (LDM 2.e.(1))

Provided.

Snow Deposit (LDM.2.q.)

Provided.

Proposed trees to be saved (Sec 37 Woodland Protection 37-9, LDM 2.e.(1))

Twenty of the street trees will be preserved.

Corner Clearance (Zoning Sec 5.9)

Provided.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.735.5621 or rmeader [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org).



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Rick Meader – Landscape Architect



## LANDSCAPE REVIEW SUMMARY CHART – Preliminary Site Plan

**Review Date:** August 12, 2018  
**Project Name:** JSP18 – 0035: REGENCY CENTER #1  
**Plan Date:** August 27, 2017  
**Prepared by:** Rick Meader, Landscape Architect E-mail: [rmeader@cityofnovi.org](mailto:rmeader@cityofnovi.org)  
 Phone: (248) 735-5621

Items in **Bold** need to be addressed by the applicant before approval of the Preliminary Site Plan.  
Underlined items need to be addressed for Final Site Plan.

Item	Required	Proposed	Meets Code	Comments
<b>Landscape Plan Requirements (LDM (2))</b>				
<b>Landscape Plan</b> (Zoning Sec 5.5.2, LDM 2.e.)	<ul style="list-style-type: none"> <li>▪ New commercial or residential developments</li> <li>▪ Addition to existing building greater than 25% increase in overall footage or 400 SF whichever is less.</li> <li>▪ 1"=20' minimum with proper North. Variations from this scale can be approved by LA</li> <li>▪ Consistent with plans throughout set</li> </ul>	Scale 1"=30'	Yes	
<b>Project Information</b> (LDM 2.d.)	Name and Address	Yes	Yes	
<b>Owner/Developer Contact Information</b> (LDM 2.a.)	Name, address and telephone number of the owner and developer or association	Yes	Yes	
<b>Landscape Architect contact information</b> (LDM 2.b.)	Name, Address and telephone number of RLA	Yes	Yes	
<b>Sealed by LA.</b> (LDM 2.g.)	Requires original signature	Yes	Yes	<u>Need for Final Site Plans</u>
<b>Miss Dig Note</b> (800) 482-7171 (LDM.3.a.(8))	Show on all plan sheets	Yes	Yes	
<b>Zoning</b> (LDM 2.f.)	Include all adjacent zoning	<u>Parcel:</u> I-1 <u>North, South, East,</u> <u>West:</u> I-1	Yes	
<b>Survey information</b> (LDM 2.c.)	<ul style="list-style-type: none"> <li>▪ Legal description or boundary line survey</li> <li>▪ Existing topography</li> </ul>	Yes	Yes	Description on Cover Sheet, Topo on C-1
<b>Existing plant material</b> <b>Existing woodlands or wetlands</b>	▪ Show location type and size. Label to be saved or removed.	<ul style="list-style-type: none"> <li>▪ Sheet C1</li> <li>▪ No woodlands exist on site.</li> </ul>	Yes	<b>5 street trees are being removed. As they were not planted as</b>

Item	Required	Proposed	Meets Code	Comments
(LDM 2.e.(2))	<ul style="list-style-type: none"> <li>Plan shall state if none exists.</li> </ul>	<ul style="list-style-type: none"> <li>5 street trees are being removed and are being replaced closer to the building</li> </ul>		<b>woodland replacement trees, and a sufficient number of street trees remain, the 5 trees do not need to be replaced.</b>
<b>Soil types (LDM.2.r.)</b>	<ul style="list-style-type: none"> <li>As determined by Soils survey of Oakland county</li> <li>Show types, boundaries</li> </ul>	Sheet L2	Yes	
<b>Existing and proposed improvements (LDM 2.e.(4))</b>	Existing and proposed buildings, easements, parking spaces, vehicular use areas, and R.O.W	Yes	Yes	
<b>Existing and proposed utilities (LDM 2.e.(4))</b>	<ul style="list-style-type: none"> <li>Overhead and underground utilities, including hydrants</li> <li>Show all proposed light posts on landscape plan to avoid on-site conflicts with landscaping</li> </ul>	Yes	Yes	<ol style="list-style-type: none"> <li>The tree in the island in the middle of the easternmost parking bay is less than 10 feet from the fire hydrant.</li> <li><b>Please widen that island to allow room for the hydrant, light post and tree.</b></li> </ol>
<b>Proposed grading. 2' contour minimum (LDM 2.e.(1))</b>	Provide proposed contours at 2' interval	Spot elevations provided on Sheet C3	Yes	
<b>Snow deposit (LDM.2.q.)</b>	Show snow deposit areas on plan	Two areas are indicated	Yes	
<b>LANDSCAPING REQUIREMENTS</b>				
<b>Parking Area Landscape Requirements LDM 1.c. &amp; Calculations (LDM 2.o.)</b>				
<b>General requirements (LDM 1.c)</b>	<ul style="list-style-type: none"> <li>Clear sight distance within parking islands</li> <li>No evergreen trees</li> </ul>	Yes	Yes	
<b>Name, type and number of ground cover (LDM 1.c.(5))</b>	As proposed on planting islands	Yes	Yes	Lawn seed is indicated on islands and overall site.
<b>General (Zoning Sec 5.5.3.C.ii)</b>				
<b>Parking lot Islands (a, b. i)</b>	<ul style="list-style-type: none"> <li>A minimum of 200 SF to qualify</li> <li>A minimum of 200sf unpaved area per tree planted in an island</li> <li>6" curbs</li> <li>Islands minimum width 10' BOC to BOC</li> </ul>	Yes	Yes	<ol style="list-style-type: none"> <li><b>Please increase area of islands as necessary where utilities prevent planting of required trees (in parking lot area on east side of building)</b></li> <li><b>The northwestern island's area should</b></li> </ol>

Item	Required	Proposed	Meets Code	Comments
				either be increased to at least 400sf or one of its trees needs to be located elsewhere.
<b>Curbs and Parking stall reduction (c)</b>	Parking stall can be reduced to 17' and the curb to 4" adjacent to a sidewalk of minimum 7 ft.	Yes	Yes	
<b>Contiguous space limit (j)</b>	Maximum of 15 contiguous spaces	15 is maximum bay length	Yes	
<b>Plantings around Fire Hydrant (d)</b>	No plantings with matured height greater than 12' within 10 ft. of fire hydrants	Tree in easternmost island is less than 10 feet from the hydrant.	No	<ol style="list-style-type: none"> <li>1. No new or existing plantings are shown near existing hydrants.</li> <li>2. <b>To assist contractors, please add a note to the plans stating that all trees are to be at least 10 feet from hydrants or utility structures and 5 feet from underground lines.</b></li> <li>3. <b>As noted above, the tree in the easternmost island needs to be located at least 10 feet from the hydrant, either by increasing the area of the islands or by relocating the hydrant.</b></li> </ol>
<b>Landscaped area (g)</b>	Areas not dedicated to parking use or driveways exceeding 100 sq. ft. shall be landscaped	Yes	Yes	
<b>Clear Zones (LDM 2.3.(5))</b>	25 ft corner clearance required. Refer to Zoning Section 5.5.9	Yes	Yes	
<b>Category 1: For OS-1, OS-2, OSC, OST, B-1, B-2, B-3, NCC, EXPO, FS, TC, TC-1, RC, Special Land Use or non-residential use in any R district (Zoning Sec 5.5.3.C.iii)</b>				
A = Total square footage of vehicular use areas up to 50,000sf x 7.5%	<ul style="list-style-type: none"> <li>• <math>A = x \text{ sf} * 7.5 \% = A \text{ sf}</math></li> <li>• <math>50,000 * 7.5\% = 3750 \text{ sf}</math></li> </ul>	NA		
B = Total square footage of additional paved vehicular use	<ul style="list-style-type: none"> <li>• <math>B = x \text{ sf} * 1\% = B \text{ sf}</math></li> <li>• <math>(xxx - 50000) * 1\% = xxx \text{ sf}</math></li> </ul>	NA		

Item	Required	Proposed	Meets Code	Comments
areas (not including A or B) over 50,000 SF) x 1 %				
<b>Category 2: For: I-1 and I-2 (Zoning Sec 5.5.3.C.iii)</b>				
A. = Total square footage of vehicular use area up to 50,000 sf x 5%	A = 44,883 sf * 5% = 2244 sf			
B = Total square footage of additional paved vehicular use areas over 50,000 SF x 0.5%	B = 0.5% x 0 sf = B SF			
<b>All Categories</b>				
C = A+B Total square footage of landscaped islands	2244 + 0 = 2244 SF	2,611 sf	Yes	
D = C/200 Number of canopy trees required	2244/200 = 11 Trees	11 trees	Yes	
<b>Perimeter Green space</b>	<ul style="list-style-type: none"> <li>▪ 1 Canopy tree per 35 lf</li> <li>▪ Perimeter within 20 feet of building does not need to be included in calculation.</li> <li>▪ 810 lf/35 = 24 trees</li> </ul>	24 provided	Yes	
<b>Accessway perimeter</b>	<ul style="list-style-type: none"> <li>▪ 1 canopy tree per 35 lf on each side of road, less widths of access drives.</li> <li>▪ xxx/35</li> </ul>			Access drive perimeter is included in overall parking lot perimeter length calculation.
<b>Parking land banked</b>	<ul style="list-style-type: none"> <li>▪ NA</li> </ul>	No		
<b>Berms, Walls and ROW Planting Requirements</b>				
<b>Berms</b>				
<ul style="list-style-type: none"> <li>▪ All berms shall have a maximum slope of 33%. Gradual slopes are encouraged. Show 1ft. contours</li> <li>▪ Berm should be located on lot line except in conflict with utilities.</li> <li>▪ Berms should be constructed with 6" of top soil.</li> </ul>				
<b>Residential Adjacent to Non-residential (Sec 5.5.3.A) &amp; (LDM 1.a)</b>				
<b>Berm requirements (Zoning Sec 5.5.A)</b>	Site is not adjacent to residential	None		
<b>Planting requirements (LDM 1.a.)</b>	LDM Novi Street Tree List	NA		
<b>Adjacent to Public Rights-of-Way (Sec 5.5.B) and (LDM 1.b)</b>				
<b>Berm requirements (Zoning Sec 5.5.3.A.(5))</b>	Site is not adjacent to Haggerty Road so this requirement does not			

Item	Required	Proposed	Meets Code	Comments
	apply			
<b>Cross-Section of Berms (LDM 2.j)</b>				
Slope, height and width	<ul style="list-style-type: none"> <li>▪ Label contour lines</li> <li>▪ Maximum 33%</li> <li>▪ Min. 3 feet flat horizontal area</li> <li>▪ Minimum 3 feet high</li> <li>▪ Constructed of loam with 6' top layer of topsoil.</li> </ul>	NA		
Type of Ground Cover		NA		
Setbacks from Utilities	Overhead utility lines and 15 ft. setback from edge of utility or 20 ft. setback from closest pole	NA		
<b>Walls (LDM 2.k &amp; Zoning Sec 5.5.3.vi)</b>				
<b>Material, height and type of construction footing</b>	Freestanding walls should have brick or stone exterior with masonry or concrete interior	Wall loading well is proposed.	TBD	<u>Please indicate wall elevations and provide construction details with construction documents.</u>
<b>Walls greater than 3 ½ ft. should be designed and sealed by an Engineer</b>		No details provided		
<b>ROW Landscape Screening Requirements (Sec 5.5.3.B. ii)</b>				
<b>Greenbelt width (2)(3) (5)</b>	Parking: 20 ft. No Pkg: 25 ft	NA		Greenbelt width equals front building setback
Min. berm crest width	None	NA		
Minimum berm height (9)	None	NA		
3' wall	(4)(7)	NA		
<b>Canopy deciduous or large evergreen trees</b> Notes (1) (10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 60 lf</li> <li>▪ xxx/60 = x trees</li> <li>▪ No Pkg: 1 per 35 ft</li> <li>▪ xxx/35 = x trees</li> </ul>	NA		<b>See Industrial Subdivision calculations below.</b>
<b>Sub-canopy deciduous trees</b> Notes (2)(10)	<ul style="list-style-type: none"> <li>▪ Parking: 1 tree per 20 lf</li> <li>▪ xxx/20 = x trees</li> <li>▪ No Pkg: 1 per 40 ft</li> <li>▪ xxx/40 = x trees</li> </ul>	NA		
<b>Canopy deciduous trees in area between sidewalk and curb</b> (Novi Street Tree List)	<ul style="list-style-type: none"> <li>▪ Parking &amp; No Parking: 1 tree per 35 lf</li> <li>▪ xxx/35 = xx trees</li> </ul>	NA		
<b>Non-Residential Zoning Sec 5.5.3.E.iii &amp; LDM 2.b</b>				
Refer to Planting in ROW, building foundation landscape, parking lot landscaping and LDM				

Item	Required	Proposed	Meets Code	Comments
<b>Interior Street to Industrial subdivision</b> <i>(LDM 2.b)</i>	<ul style="list-style-type: none"> <li>▪ 1 canopy deciduous or 1 large evergreen per 35 l.f. along ROW</li> <li>▪ No evergreen trees closer than 20 ft.</li> <li>▪ 1 sub canopy trees per 40 l.f. of total linear frontage</li> <li>▪ Plant massing for 10% of ROW frontage</li> <li>▪ 592 lf – 48 lf (access ways) = 544lf</li> <li>▪ Lg Trees: 544/35 = 16</li> <li>▪ Subcanopy: 544/40 = 14</li> <li>▪ Shrubs: 544/20 = 27</li> <li>▪ Massing: 10% * 544 = 54LF</li> <li>▪ 3 foot berm or 3 foot evergreen hedge needs to screen parking lot from Regency Drive – in addition to shrub requirement above.</li> </ul>	<ul style="list-style-type: none"> <li>▪ 20 existing street trees to remain</li> <li>▪ 15 subcanopy trees</li> <li>▪ 32 shrubs away from building are part of 4 massed evergreen areas along frontage</li> <li>▪ Evergreen hedge or evergreen trees screen parking lot as required.</li> </ul>	<ul style="list-style-type: none"> <li>▪ Yes</li> <li>▪ Yes</li> <li>▪ Yes</li> <li>▪ Yes</li> </ul>	<p>Please indicate on the landscape plan where the building address number will be and be sure that the number is easily seen from Regency as the site is approached from the east (ie not blocked by plantings).</p>
<b>Screening of outdoor storage, loading/unloading</b> <i>(Zoning Sec. 3.14, 3.15, 4.55, 4.56, 5.5)</i>		Loading zone is screened from east by sunken well and landscaping, from west and south by building	Yes	
<b>Transformers/Utility boxes</b> <i>(LDM 1.e from 1 through 5)</i>	<ul style="list-style-type: none"> <li>▪ A minimum of 2ft. separation between box and the plants</li> <li>▪ Ground cover below 4" is allowed up to pad.</li> <li>▪ No plant materials within 8 ft. from the doors</li> </ul>	Transformer at northwest corner of building is screened per the detail	Yes	
<b>Building Foundation Landscape Requirements (Sec 5.5.3.D)</b>				
<b>Interior site landscaping SF</b>	<ul style="list-style-type: none"> <li>▪ Equals to entire perimeter of the building less paved access points x 8 with a minimum width of 4 ft.</li> <li>▪ (795-115)lf x 8ft = 5440 SF</li> </ul>	8,088 sf	Yes	
<i>Zoning Sec 5.5.3.D.ii. All items from (b) to</i>	If visible from public street a minimum of 60%	All but 10lf of the frontage facing	Yes	This requirement is based on linear feet

Item	Required	Proposed	Meets Code	Comments
(e)	of the exterior building perimeter should be covered in green space	Regency Dive is landscaped.		facing the road, not area. The calculation can be simplified.
<b>Detention/Retention Basin Requirements (Sec. 5.5.3.E.iv)</b>				
<b>Planting requirements</b> (Sec. 5.5.3.E.iv)	<ul style="list-style-type: none"> <li>▪ Clusters shall cover 70-75% of the basin rim area</li> <li>▪ 10" to 14" tall grass along sides of basin</li> <li>▪ Refer to wetland for basin mix</li> </ul>	Detention goes to existing regional detention basin so no new landscaping is required.		
<b>Phragmites Control</b> (Sec 5.5.6.C)	<ul style="list-style-type: none"> <li>▪ Any and all populations of <i>Phragmites australis</i> on site shall be included on tree survey.</li> <li>▪ Treat populations per MDEQ guidelines and requirements to eradicate the weed from the site.</li> </ul>	A note has been added to Sheet C1 that no <i>Phragmites</i> was found on site.	Yes	
<b>LANDSCAPING NOTES, DETAILS AND GENERAL REQUIREMENTS</b>				
<b>Landscape Notes – Utilize City of Novi Standard Notes</b>				
<b>Installation date</b> (LDM 2.i. & Zoning Sec 5.5.5.B)	Provide intended date	Fall 2019	Yes	
<b>Maintenance &amp; Statement of intent</b> (LDM 2.m & Zoning Sec 5.5.6)	<ul style="list-style-type: none"> <li>▪ Include statement of intent to install and guarantee all materials for 2 years.</li> <li>▪ Include a minimum one cultivation in June, July and August for the 2-year warranty period.</li> </ul>	Yes	Yes	
<b>Plant source</b> (LDM 2.n & LDM 3.a.(2))	Shall be northern nursery grown, No.1 grade.	Yes	Yes	
<b>Irrigation plan</b> (LDM 2.s.)	A fully automatic irrigation system or a method of providing sufficient water for plant establishment and survival is required on Final Site Plans.	No		<ol style="list-style-type: none"> <li>1. Please add irrigation plan or information as to how plants will be watered sufficiently for establishment and long- term survival.</li> <li>2. If xeriscaping is used, please provide information about plantings included.</li> </ol>

Item	Required	Proposed	Meets Code	Comments
<b>Other information</b> (LDM 2.u)	Required by Planning Commission	NA		
<b>Establishment period</b> (Zoning Sec 5.5.6.B)	<b>2 yr. Guarantee</b>	Yes/No	No	Please change General Landscaping Note #6 to 2 years.
<b>Approval of substitutions.</b> (Zoning Sec 5.5.5.E)	City must approve any substitutions in writing prior to installation.	Yes/No	No	Please change the large note on Sheet L2 to add "in writing"
<b>Plant List (LDM 2.h.) - Include all cost estimates</b>				
Quantities and sizes	Refer to LDM suggested plant list	Yes	Yes	
Root type		Yes	Yes	
Botanical and common names		Yes	Yes	11 of 18 (61%) species used are native to Michigan.
Type and amount of lawn		Lawn is indicated to be seed	Yes	
Cost estimate (LDM 2.t)		For all new plantings, mulch and sod as listed on the plan	Yes	Yes
<b>Planting Details/Info (LDM 2.i) - Utilize City of Novi Standard Details</b>				
Canopy Deciduous Tree	Refer to LDM for detail drawings	Yes	Yes	
Evergreen Tree		Yes	Yes	
Shrub		Yes	Yes	
Perennial/ Ground Cover		Yes	Yes	
Tree stakes and guys. (Wood stakes, fabric guys)		Yes	Yes	
Tree protection fencing	Located at Critical Root Zone (1' outside of dripline)	Yes	Yes	
<b>Other Plant Material Requirements (LDM 3)</b>				
<b>General Conditions</b> (LDM 3.a)	Plant materials shall not be planted within 4 ft. of property line	Yes	Yes	
<b>Plant Materials &amp; Existing Plant Material</b> (LDM 3.b)	Clearly show trees to be removed and trees to be saved.	Yes	Yes	
<b>Landscape tree credit</b> (LDM3.b.(d))	Substitutions to landscape standards for preserved canopy trees outside woodlands/ wetlands should be approved by LA. Refer to Landscape tree Credit Chart in LDM	No		



Item	Required	Proposed	Meets Code	Comments
<b>Plant Sizes for ROW, Woodland replacement and others</b> (LDM 3.c)	2.5" canopy trees 6' evergreen trees		Yes	
<b>Plant size credit</b> (LDM3.c.(2))	NA	No		
<b>Prohibited Plants</b> (LDM 3.d)	No plants on City Invasive Species List	None proposed	Yes	
<b>Recommended trees for planting under overhead utilities</b> (LDM 3.e)	Label the distance from the overhead utilities	No overhead wires		
<b>Collected or Transplanted trees</b> (LDM 3.f)		No		
<b>Nonliving Durable Material: Mulch</b> (LDM 4)	<ul style="list-style-type: none"> <li>▪ Trees shall be mulched to 3" depth and shrubs, groundcovers to 2" depth</li> <li>▪ Specify natural color, finely shredded hardwood bark mulch. Include in cost estimate.</li> <li>▪ Refer to section for additional information</li> </ul>	Yes	Yes	<b>Please change City of Novi Note #8 to read natural in color vs dark in color</b>

**NOTES:**

1. This table is a working summary chart and not intended to substitute for any Ordinance or City of Novi requirements or standards.
2. The section of the applicable ordinance or standard is indicated in parenthesis. For the landscape requirements, please see the Zoning Ordinance landscape section 5.5 and the Landscape Design Manual for the appropriate items under the applicable zoning classification.
3. Please include a written response to any points requiring clarification or for any corresponding site plan modifications to the City of Novi Planning Department with future submittals.

TRAFFIC REVIEW

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AECOM  
27777 Franklin Road  
Southfield  
MI, 48034  
USA  
aecom.com

**Project name:**  
JSP18-0035 Regency Centre Lot #1 Preliminary  
Traffic Review

**To:**  
Barbara McBeth, AICP  
City of Novi  
45175 10 Mile Road  
Novi, Michigan 48375

**From:**  
AECOM

**Date:**  
August 15, 2018

**CC:**  
Sri Komaragiri, Lindsay Bell, George Melistas,  
Theresa Bridges, Darcy Rechten, Hannah Smith

# Memo

**Subject:** JSP 18-0035 Regency Centre Lot #1 Preliminary Traffic Review

The preliminary site plan was reviewed to the level of detail provided and AECOM **recommends approval** for the applicant to move forward with the condition that the comments provided below are adequately addressed to the satisfaction of the City.

## GENERAL COMMENTS

1. The applicant, Oliver Hatcher Construction, is proposing a 34,782 S.F. building on the east side of Regency Drive. The building consists of 24,382 S.F. of research and development space and 10,400 S.F. of office space.
2. Regency Drive is under the city of Novi's jurisdiction and is located on the west side of Haggerty Road, north of Grand River Avenue.
3. The site is 2.99 acres and currently zoned as I-1.
4. Summary of traffic-related waivers/variances:
  - a. The applicant has not indicated any traffic-related waivers or variances at this time.
  - b. **A Planning Commission waiver is required for same-side driveway spacing for the proposed driveway on the west side of the site and the existing driveway to the north.**
  - c. **If driveway width dimensions are not updated, a waiver may be required.**

## TRAFFIC IMPACTS

1. AECOM performed an initial trip generation estimate based on the ITE Trip Generation Manual, 10<sup>th</sup> Edition, as follows:

ITE Code: 760 – Research and Development (R&D)

Development-specific Quantity: 34,782 SF GFA R&D (R&D may include office, so the office space was not calculated separately as the R&D only calculations provided more conservative estimates)

Zoning Change: N/A

Trip Generation Summary				
	Estimated Trips	Estimated Peak-Direction Trips	City of Novi Threshold	Above Threshold?
AM Peak-Hour Trips	15	11	100	No
PM Peak-Hour Trips	17	14	100	No
Daily (One-Directional) Trips	560	N/A	750	No

- The number of trips does not exceed the City's threshold of more than 750 trips per day or 100 trips per either the AM or PM peak hour. AECOM recommends performing the following traffic impact study in accordance with the City's requirements.

Trip Impact Study Recommendation	
Type of Study:	Justification
None	N/A

## EXTERNAL SITE ACCESS AND OPERATIONS

The following comments relate to the external interface between the proposed development and the surrounding roadway(s).

- The applicant is proposing to remove an existing curb cut along Regency Drive near the eastern site boundary and is proposing two new points of access to the development, one on the south side of the site and one on the west side of the site.
  - Two points of access are permitted based on the site frontage being in excess of 300', and the City has approved having two driveways. (Section 11.216(d)(b))
  - The driveway widths are proposed at 24' wide for both driveways, which does not meet driveway width requirements for an industrial street driveway. The applicant should review Figure IX.1 of the City's Code of Ordinances and update the width to coincide with the dimensions provided. **If driveway width dimensions are not updated, a variance may be required.**
  - The radius dimensions of both driveways are the standard dimensions for an industrial street driveway.
- The applicant has indicated the available amount of sight distance at each site exit point, which is in compliance with Figure XIII-E of the city's Code of Ordinances.
- The applicant should provide driveway spacing dimensions between each same-side driveway. Reference Section 11-216.d.1.d of the City's Code of Ordinances for more information.
  - A Planning Commission waiver is required for same-side driveway spacing for the proposed driveway on the west side of the site and the existing driveway to the north, and the applicant has indicated that they will seek one if required. It should be noted that the dimension between the driveways has not been provided at this time.**
  - The applicant has indicated that a shared access easement with the driveway to the north is not proposed.
- The applicant is proposing to close off an existing off-street stub to the property to the north, which could serve as an internal connection.

# INTERNAL SITE OPERATIONS

The following comments relate to the on-site design and traffic flow operations.

## 1. General Traffic Flow

- a. The site generally appears to be accessible to all vehicles.
- b. The applicant provided truck patterns for entering and exiting the loading area on the north side of the building, and it appears accessible as designed.
- c. The radii dimensions of the landscape islands are in compliance with City standards. The applicant should provide width dimensions of the landscape islands throughout the site. Note that landscape islands shall have a minimum width of 10 feet.
- d. The applicant has proposed a dumpster enclosure in the northeast corner of the site. The proposed location of the dumpster is likely to prohibit access to the nearest parking space(s) along the northern property line, and the applicant should consider relocating the dumpster or adjusting the parking layout to be in compliance with Section 5.4.4 of the Zoning Ordinance.
  - i. The applicant indicated that any conflict between employee parking would be short in duration and easily mitigated.

## 2. Parking Facilities

- a. The applicant has indicated that 102 parking spaces are required based on facility size and shift staffing.
  - i. The applicant is proposing 103 parking spaces, five (5) of which are accessible.
  - ii. One of the proposed accessible parking spaces is required to be van accessible. On sheet C3 there are two (2) spaces that are labeled van accessible.
- b. The proposed parking lot parking space dimensions are generally in compliance with City standards; however, note that six inch curbs are required along all landscape areas, except when **in front of** a 17' parking space where a four inch curb is permitted when a clear two foot overhang is provided.
  - i. There are a few areas where the grading plan indicates four inch curb on landscape islands/peninsulas. The landscaped end island near the northeast corner of the building and the middle peninsulas on the easterly side of the building on either side of the access aisle should be revised to six inch curb.
  - ii. The applicant should reference Section 5.5.3.C.ii for additional information about required curb heights in relation to parking space length, and should update the site plan notes, details and grading information accordingly.
- c. The applicant is proposing parking blocks at the accessible parking spaces. The applicant should remove the two outside parking blocks as the grade change in front of these two spaces can serve as the barrier between the sidewalk and the parking spaces. The remaining three parking blocks should be updated to coincide with the following requirements:
  - i. The applicant should position the proposed parking blocks such that they are located so that the face of the parking block is 17' from the access aisle.
  - ii. The parking blocks should be positioned such that there is a clear three foot aisle between them to facilitate pedestrian access. The applicant should add this note to the detail.
  - iii. The parking block detail shown on sheet C8 indicates 8' in length. The parking blocks should be revised to 6' in length to allow for the clear three foot aisle between them, as applicable.
- d. The proposed aisle widths are in compliance with City standards.
- e. The applicant is required to provide 5% of the required automobile spaces for bicycle parking which results in five required bicycle parking spaces. The applicant has provided five bicycle parking spaces.
  - i. The applicant shall provide bicycle parking layout including individual space dimensions to review compliance with Figure 5.16.6 of the City of Novi's Zoning Ordinance. Likewise, the layout should include a four foot wide access aisle.
  - ii. The applicant has located the bicycle parking facility on the north side of the building, near the rear entrance.

- iii. The applicant is required to provide a paved route that has a minimum six foot width between the adjacent street and the bicycle parking facility per Section 5.16.5.C of the Zoning Ordinance.
  - iv. The applicant should consider access to the bicycle parking area. The currently proposed location is grade separated and not easily accessible from the street. The applicant should revise the bicycle parking facility so that it can be accessed without the obstacle of a curb.
3. Sidewalk Requirements
- a. The proposed sidewalk widths are in compliance with City standards.
  - b. The applicant has indicated sidewalk ramps at the accessible parking spaces and has included the applicable sidewalk ramp detail.

## SIGNING AND STRIPING

1. All on-site signing and pavement markings shall be in compliance with the Michigan Manual on Uniform Traffic Control Devices (MMUTCD). The following is a discussion of the proposed signing and striping.
- a. The applicant should provide a signing quantities table and additional details (MMUTCD designation and proposed size) shall be provided in future submittals.
    - i. The label of the "Van Accessible" sign on sheet SP.102 should be "R7-8p".
  - b. The applicant has provided the applicable signing notes.
  - c. The applicant has provided the applicable notes and details related to proposed pavement markings.

Should the City or applicant have questions regarding this review, they should contact AECOM for further clarification.

Sincerely,

**AECOM**



Maureen N. Peters, PE  
Senior Traffic/ITS Engineer



Paula K. Johnson, PE  
Senior Traffic Engineer

## FAÇADE REVIEW

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August 15, 2018

City of Novi Planning Department  
 45175 W. 10 Mile Rd.  
 Novi, MI 48375-3024

*Facade Review Status Summary:*  
**Approved, full compliance.**

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE – Preliminary Site Plan Review  
**Regency Centre Lot 1, PSP18-35**  
 Façade Region: 3, Zoning District: I-1

Dear Ms. McBeth:

The following is the Facade Review for Final Site Plan for the above referenced project based on the drawings prepared by Biddison Architecture and Design, dated 6/20/18. This project is subject to the Façade Ordinance Section 5.15. The building is located approximately 590’ of a major thoroughfare (Haggerty Rd.) and is therefore considered Façade Region 3. The percentages of materials proposed for each façade are as shown in the tables below. Materials in non-compliance are highlighted in bold.

<b>Façade Region 3</b>	West (Front)	East	North	South	Ordinance Maximum (Minimum)
Brick	98%	98%	98%	98%	100%
Flat Metal (Coping)	2%	2%	2%	2%	50%

Although the building is located in Façade Region 3, Section 5.15.13 of the Ordinance requires that buildings be in context with other buildings in the neighboring area with respect to percentages of materials used and overall aesthetic quality. In this case nearby building have significant amounts of brick. The drawings lack specific notations as to the primary façade material; however the material appears to be graphically illustrated as Brick on the elevations. The applicant should provide a sample board as required by Section 5.15.4.D of the Façade Ordinance to verify the color and type of façade material to be used.



No roof equipment screening is indicated on the elevations. The applicant should note that all roof top equipment must be screened from view from all vantage points both on and off-site using materials compliant with Section 5.15. In this case this would include the highway overpass located north of the site on Haggerty Road.

The dumpster detail on sheet appears to indicate brick veneer however, like the building, specific notations as to the proposed material are lacking. It is assumed the dumpster will be brick to match the building.

**Recommendation** – Assuming that the proposed material for both the building and dumpster enclosure are in fact natural fired clay brick, the design is in full compliance with the Façade Ordinance. The applicant should provide a sample board as required by Section 5.15.4.D of the Façade Ordinance to verify the color and type of all proposed façade materials.

**Notes to the Applicant:**

1. Façade Ordinance requires inspection(s) for all projects. Materials displayed on the approved sample board will be compared to materials delivered to the site. It is the applicant's responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department's Online Inspection Portal with the following link. Please click on "Click here to Request an Inspection" under "Contractors", then click "Façade".

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

If you have any questions regarding this project please do not hesitate to call.

Sincerely,  
DRN & Architects PC



Douglas R. Necci, AIA

## FIRE REVIEW

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August 1, 2018

TO: Barbara McBeth- City Planner  
Sri Ravali Komaragiri- Plan Review Center  
Lindsay Bell-Plan Review Center  
Hannah Smith-Planning Assistant

RE: Regency Centre Lot #1

PSP# 18-0113

**CITY COUNCIL**

**Mayor**  
Bob Gatt

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David E. Molloy

**Director of EMS/Fire Operations**  
Jeffery R. Johnson

**Assistant Chief of Police**  
Erick W. Zinser

**Assistant Chief of Police**  
Scott R. Baetens

**Project Description:**

**Build a single story industrial building that is 34,782 S.Q.F.T.**

**Comments:**

- **All** fire hydrants **MUST** in installed and operational prior to any building construction begins.
- **CORRECTED 8/1/18-FDC MUST** be within 100' from a fire hydrant. (IFC 2012 912.2.3).
- **MUST ADD A FIRE HYDRANT TO THE NORTH SIDE OF THE STRUCTURE.** Fire hydrant spacing is no more than 300' from fire hydrant to fire hydrant. (Not as the crow flies). Novi city ordinance 11-68(F)(1)c.
- **CORRECTED 8/1/18-**Turning radius on the northwest corner of the building doesn't meet city standards, 50' outside and 30' inside turning radius.
- **CORRECTED 8/1/18-MUST** provide to the Fire Marshal's office a filled out Hazardous Chemical Survey.

**Recommendation:**

**APPROVED WITH CONDITIONS**

Sincerely,

Kevin S. Pierce-Fire Marshal  
City of Novi – Fire Dept.

cc: file

**Novi Public Safety Administration**  
45125 Ten Mile Road  
Novi, Michigan 48375  
248.348.7100  
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

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CIVIL ENGINEERS

LAND SURVEYORS

LAND PLANNERS

**September 6, 2018**

**City of Novi  
Community Development Department  
45175 West Ten Mile Road  
Novi, Michigan 48375**

**Attn: Ms. Lindsay Bell  
Planner**

**Re: JSP 18-35 - Regency Centre Lot 1  
Response to Plan Review Center Report**

Dear Ms. Bell,

We are in receipt of the City of Novi – Plan Review Center Report (dated August 17, 2018) for the referenced property. We have reviewed the comments and recommendations noted in that Report, and offer the following responses to address those items:

**Planning Review – Dated August 17, 2019**

1. The proposed transformer will be relocated to the north side of the building, within the parking lot. A sketch of the revised location has been included with this resubmittal, for your reference.
2. The Photometric Plan, and associated Statistics Chart, will be revised to meet the Ordinance Requirements.
3. We are requesting a waiver to allow for the bicycle parking to be located on the north side of the building. Bicycle parking is much more likely to be utilized by employees than any customers / visitors to the proposed facility.
4. The requested revisions and minor clarifications, as noted in the Plan Review Chart, will be provided on the revised plan set.

**Planning Review Chart – Dated August 17, 2018**

- Off-Street Parking in Front Yard – All comments from the Landscape Review will be addressed on the revised plan set.
- Parking Setback Screening - All comments from the Landscape Review will be addressed on the revised plan set.
- End Islands – Additional measurements for the end islands will be provided on the revised plan set.
- Bicycle Parking General Requirements - We are requesting a waiver to allow for the bicycle parking to be located on the north side of the building. Bicycle parking is much more likely to be utilized by employees than any customers / visitors to the proposed facility.
- Bicycle Parking Lot Layout – Details for the layout of the proposed bicycle parking will be provided on the revised plans.
- All Roof Top Equipment and Wall Mounted Utility Equipment will be enclosed and integrated into the design and color of the building. This will be noted on sheet A.201.

NOWAK & FRAUS ENGINEERS

- A note will be added to sheet A.201 stating that "All Roof Top Appurtenances will be screened in accordance with the applicable facade regulations and shall not be visible from any street, road or adjacent property."
- Transformer / Generator - The proposed transformer will be relocated to the north side of the building, within the parking lot. A sketch of the revised location has been included with this resubmittal, for your reference.
- Lighting Plan - All comments from the Landscape Review, relative to potential conflicts with site lighting, will be addressed on the revised plan set.
- Lighting Plan – Site lighting will be operated via photocells and will run from dusk to dawn.
- Lighting Plan Standard Notes will be added to the revised site photometric study.
- Security Lighting notes will be added to the site photometric plan to verify conformance.
- A revised photometric Lighting Plan will be included. The Statistics Table showing the Minimum Illumination of Walkways and Building Entrances will be added. A minimum 1.0 FC will be provided at the Main Entrance to comply with the minimum lighting levels shown in Section 5.7.3.k.

#### **Engineering Review – Dated August 17, 2018**

##### **General**

1. A right-of-way permit will be secured from the City of Novi, for all work within the Regency Drive right-of-way.
2. The City's Standard Detail Sheets will be provided on the revised plan set, as requested.
3. A Waiver is being requested from the Planning Commission to allow for the proposed drive approaches to be installed at their planned locations. It is our understanding that the Engineering Department is in support of this waiver being granted.
4. The only traffic control signage proposed for this development is the proposed handicap and van accessible signage for the parking stalls. The requested table and notation will be provided on the revised plan set.
5. All existing utility easements are shown on the plans. There are no existing access easements on this parcel.
6. As requested, a letter will be submitted with the Final Site Plan Package, detailing all plan changes.

##### **Water Main**

7. A profile will be provided on the revised plans, for all water main 8" in diameter and larger, as requested.
8. The proposed 20-foot water main easement will be shown on the revised plans, for the proposed hydrant relocation, as requested.
9. The requested plan sets and applications for MDEQ permitting will be provided with the Final Site Plan Submittal.

##### **Sanitary Sewer**

10. A sanitary sewer basis of design will be provided on the revised plans, as requested.
11. The proposed monitoring manhole is being installed within the vicinity of the existing public sewer. It is assumed that an easement already exists for the existing sewer. If an easement does not exist, one will be provided.
12. Invert elevations of the proposed sewer lead will be provided on the revised plan set, as requested.

**Storm Sewer**

13. Where possible, a minimum cover depth of 3-feet will be provided over the proposed storm sewers. Details will be noted on the revised plan set.
14. As requested, the 10-year HGL will be noted on the revised plan set. Where possible, the HGL will be designed to be a minimum of 1-foot below the rim elevation of the structures.
15. As requested, the revised plan set will match 0.80 diameter depth above invert for pipe size increases, where possible.
16. As requested, inlet structures will only be provided when they are in paved areas and followed by a catch basin within 50-feet.
17. The proposed roof drain leads will be revised to PVC SDR 26, as requested.
18. Details regarding any required oil/gas separators, and any required access easements will be finalized as part of the Final Site Plan.

**Storm Water Management Plan**

19. Details regarding the SWMP for the Regency Center Regional Detention Basin will be finalized during the Final Site Plan approval process.
20. Details and calculations regarding the proposed site and regional basin will be finalized on the Final Site Plan, as requested.

**Paving & Grading**

21. Swale grades will be revised to a minimum slope of 2% on the revised plan set, as requested.
22. Additional spot elevations will be provided around the building footprint on the revised plan set, as requested.
23. The proposed curb height will be clarified at the noted locations on the revised plan set, as requested.
24. We are requesting a waiver to allow for the bicycle parking to be located on the north side of the building. Bicycle parking is much more likely to be utilized by employees than any customers / visitors to the proposed facility.

**Soil Erosion and Sediment Control**

25. A SESC permit will be secured for the proposed development, as requested.

**Off-Site Easements**

26. It is not anticipated that any off-site easement will be required for the proposed development. If they become necessary, they will be secured prior to final plan approval, as requested.
  - a. Drainage easements currently exist to allow for the storm drainage to existing the property and be conveyed to the regional detention system.

**Landscape Review – Dated August 12, 2018**

- Existing and proposed overhead and underground utilities, including hydrants – As requested, the tree location will be revised to provide 10 feet of space between the tree and hydrant.
- Parking Lot Landscaping – the northwest parking island and tree locations will be revised, as requested.
- Irrigation – the requested information regarding landscape establishment will be noted on the final site plan.

### **Landscape Review Summary Chart – Dated August 12, 2018**

- Sealed by LA. – as requested the final site plan submittal will be signed by the Landscape Architect.
- Existing plant material – we note that the 5 trees being removed do not need to be replaced.
- Existing and proposed utilities – as requested, the tree location and island will be revised to provide adequate spacing.
- Parking lot islands – as requested these changes to the curb islands, and trees will be made to meet the ordinance requirement.
- Plantings around fire hydrant – the requested note regarding plantings around utility structures. will be added to the landscape plan
- Material, height and type of construction footing – as requested, truck dock retaining wall details will be provided on the architectural plans for final site plan submittal.
- Interior street to industrial subdivision – the location of the building address will be included on the landscape plan, as requested.
- Irrigation plan – as requested, information regarding the establishment of landscape plantings will be included on the landscape plan., xeriscaping is not proposed.
- Establishment period – the general landscaping not #6 will be changed to 2 years.
- Nonliving durable material: mulch – The requested note #8 will be revised as requested.

### **AECOM Review – Dated August 15, 2018**

#### **General Comments**

- A Planning Commission waiver is being requested for same-side driveway spacing. The engineering department supports this request.
- As requested, the driveway widths will be updated to 36 feet.

#### **External Site Access and Operations**

- The driveway widths will be revised to 36 feet, as requested
- A Planning Commission waiver for driveway spacing is being requested. The driveway spacing will be provided on the final site plan submittal.

#### **Internal Site Operations**

- All landscape islands are dimensioned appropriately.
- As requested, the curb height will be revised to reflect a 6-inch curb at the drive aisles and 4-inch at the end of parking stalls.
- The outside parking blocks will be removed, as requested. The requested details, notes and dimensions will be added to the plans.
- As requested, the bicycle parking layout will be included on the plans.
- We are requesting a waiver to allow for the bicycle parking to be located on the north side of the building. Bicycle parking is much more likely to be utilized by employees than any customers / visitors to the proposed facility.

#### **Signing and Striping**

- The only proposed traffic control signage is the handicap accessible stalls. The quantity for this sign is included in the estimated quantities on page C3. As requested, the van accessible sign will be labeled R7-8P.



Ms. Lindsay Bell  
JSP 18-35 - Regency Centre Lot 1.  
September 6, 2018  
Page 5

**DRN & Associates, Architects, PC Review – Dated August 15, 2018**

- As requested, a material sample board will be provided. The plans will note the primary façade material.
- All roof top equipment will be screened from view from all vantage points. Roof top screening details will be provided on the plans.
- As requested, additional details will be provided for the dumpster enclosure material. The dumpster enclosure material will match the building facade

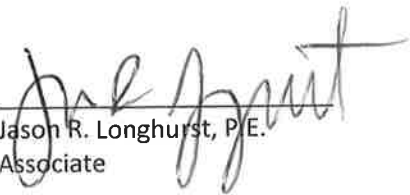
**Fire Department Review – Dated August 1, 2018**

- A fire hydrant will be added to the north side of the building, as requested.

Please feel free to contact us at (248) 332-7931 should you have any additional questions or comments.

Sincerely,

NOWAK & FRAUS ENGINEERS

  
Jason R. Longhurst, P.E.  
Associate

NOWAK & FRAUS ENGINEERS