

cityofnovi.org

Starbucks JSP13-38

Starbucks JSP13-38

Public hearing at the request of Northern Equities Group for Preliminary Site Plan utilizing the Retail Service Overlay option, Special Land Use Permit and Stormwater Management Plan approval. The subject property is 0.74 acres in Section 12 of the City of Novi and located on the northwest corner of Twelve Mile Road and Cabot Drive in the OST, Planned Office Service Technology District. The applicant is proposing a 2,032 square foot Starbucks restaurant with an accessory drive-through.

Required Action

Approval/denial of the Preliminary Site Plan, Special Land Use Permit and Stormwater Management Plan

REVIEW	RESULT	DATE	COMMENTS
Planning	Approval recommended	06-14-13	<ul style="list-style-type: none"> • Variance required for deficient building setback in the northern yard (50 ft. required, 45 ft. provided) • Variances required for deficient parking setbacks in western and northern yard (20 ft. required, 15 ft. and 10 ft. provided) • Variance required for the lack of a bypass lane for drive-through • Variance required for deficient accessory structure (dumpster) setback (20 ft. required, 15 ft. provided) • Items to be addressed on the Final Site Plan submittal
Engineering	Approval recommended	06-14-13	<ul style="list-style-type: none"> • Executed License Agreement with ITC required for the proposed driveway in the ITC-owned property • Items to be addressed on the Final Site Plan submittal
Traffic	Approval recommended	06-07-13	<ul style="list-style-type: none"> • Planning Commission waiver of traffic study requirements noted in Site Plan Manual required or applicant must submit additional traffic analyses • Declaration from City Traffic Engineer required to allow curb-return encroachment • Items to be addressed on the Final Site Plan submittal
Landscaping	Approval recommended	06-17-13	<ul style="list-style-type: none"> • Waiver required for lack of interior parking lot landscaping • Waiver required for lack of building

			foundation landscaping <ul style="list-style-type: none">• Items to be addressed on the Final Site Plan.
Façade	Approval recommended	06-13-13	Items to be addressed on the Final Site Plan submittal.
Fire	Approval recommended	06-05-13	Items to be addressed on the Final Site Plan submittal

Motion sheet

Approval – Special Land Use Permit

In the matter of Starbucks, JSP13-38, motion to **approve** the Special Land Use permit based on the following findings:

- a. Relative to other feasible uses of the site:
 - The proposed use will not cause any detrimental impact on existing thoroughfares *(as indicated by the submitted traffic analyses)*;
 - Subject to satisfying the requirements in the Engineering Review the proposed use will not cause any detrimental impact on the capabilities of public services and facilities *(because the plan adequately addresses and provides for water and sanitary sewer service and management of the increased stormwater volumes)*;
 - The proposed use is compatible with the natural features and characteristics of the land *(because the plan does not impact any natural features)*;
 - The proposed use is compatible with adjacent uses of land *(as indicated in the staff and consultant review letters)*;
 - The proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use;
 - The proposed use will promote the use of land in a socially and economically desirable manner;
 - The proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.
- b. *(additional comments here if any)*

(This motion is made because the plan is otherwise in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Preliminary Site Plan

In the matter of Starbucks, JSP13-38, motion to **approve** the Preliminary Site Plan with Retail Service Overlay Option based on and subject to the following:

- a. Planning Commission finding, which is hereby made, that the proposed plan is consistent with the following standards as noted in Section 2302A.2.b:
 - i. The plan is in keeping with the stated intent of the Retail Service Overlay to provide a limited amount of retail and personal service establishments to serve the employees and visitors to nearby office use areas;
 - ii. The plan is in keeping with the stated intent of the OST, Planned Office Service Technology District to encourage and allow development of high tech, multi-use office/laboratory/production uses; and
 - iii. The proposed plan will not have an adverse impact on the site and on the adjacent lands and uses with respect to landscaping, screening, off-street parking, vehicular and pedestrian circulation and the compatibility of its physical design with respect to adjacent buildings;
- b. Zoning Board of Appeals variance for the deficient building setback in the northern yard (50 feet required, 45 feet provided);

- c. Zoning Board of Appeals variance for the deficient parking setback in the western yard (20 feet required, 15 feet provided);
- d. Zoning Board of Appeals variance for the deficient parking setback in the northern yard (20 feet required, 10 feet provided);
- e. Zoning Board of Appeals variance for the lack of a drive-through bypass lane;
- f. Zoning Board of Appeals variance for the deficient accessory structure (dumpster) setback (20 feet required, 15 feet provided);
- g. Applicant providing the executed License Agreement with ITC for the proposed driveway in the ITC-owned property;
- h. Planning Commission waiver of traffic study requirements outlined in the Site Plan and Development Manual which is hereby granted and acceptance of the traffic analyses submitted for review and approval;
- i. Declaration from City Traffic Engineer to permit a curb-return encroachment on the adjacent property;
- j. Planning Commission waiver for the deficient interior parking lot landscaping which is hereby granted (1,006 square feet required, 744 square feet provided);
- k. Planning Commission waiver for the deficient foundation landscaping which is hereby granted (1,792 square feet required, 1,252 square feet provided);
- l. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on Final Site Plan; and
- m. *(additional conditions here if any)*

(This motion is made because the plan is otherwise in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Approval – Stormwater Management Plan

In the matter of Starbucks, JSP13-38, motion to **approve** the Stormwater Management Plan, based on and subject to:

- a. The findings of compliance with Ordinance standards in the staff and consultant review letters, and the conditions and items listed in those letters being addressed on Final Site Plan; and
- b. *(additional conditions here if any)*

(This motion is made because the plan otherwise in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

Denial – Special Land Use Permit

In the matter of Starbucks, JSP13-38, motion to **deny** the Special Land Use Permit...(because the plan is not in compliance Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

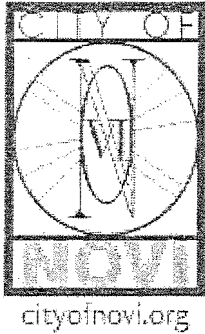
Denial – Preliminary Site Plan

In the matter of Starbucks, JSP13-38, motion to **deny** the Preliminary Site Plan...(because the plan is not in compliance with Article 23A, Article 24 and Article 25 of the Zoning Ordinance and all other applicable provisions of the Ordinance.)

Denial – Stormwater Management Plan

In the matter of Starbucks, JSP13-38, motion to **deny** the Stormwater Management Plan...(because the plan is not in compliance with Chapter 11 of the Code of Ordinances and all other applicable provisions of the Ordinance.)

PLANNING REVIEW



PLAN REVIEW CENTER REPORT

June 14, 2013

Planning Review

Starbucks

JSP13-38

Petitioner:

Northern Equities Group

Review Type

Preliminary Site Plan with Retail Service Overlay

Property Characteristics

- Site Location: Northwest corner of Cabot Drive and Twelve Mile Road (Section 12)
- Site Zoning: OST, Planned Office Service Technology
- Adjoining Zoning: North, South, East and West: OST
- Current Site Use: Vacant
- Adjoining Uses: North and East (across Cabot Drive): Professional offices; West: ITC utility corridor; South (across Twelve Mile Road): vacant, ITC Headquarters, Holiday Inn Express
- School District: Novi Community School District
- Site Size: 0.74 acres
- Plan Date: 06-03-13

Project Summary

The parcel in question is located at the northwest corner of Cabot Drive and Twelve Mile Road in Section 12 of the City of Novi. The property totals 0.74 acres. The current zoning of the property is OST, Planned Office Service Technology. The applicant has proposed a 2,032 sq. ft. Starbucks restaurant with an accessory drive-through (with associated parking, landscaping and stormwater facilities) utilizing the Retail Service Overlay Option.

The Retail Service Overlay Option is intended "...to provide a limited amount of retail and personal service establishments to serve the employees of and visitors to the nearby office use areas." The option allows additional uses not typically permitted in the OST District provided certain conditions are met and subject to the Special Land Use requirements outlined in Section 2516.2(c). A drive-through restaurant is a use permitted under this option.

Recommendation

Provided the noted variances and waivers are granted, approval of the **Preliminary Site Plan is recommended**. The applicant will be seeking several variances and waivers from the Zoning Board or Appeals and Planning Commission as detailed in this and in the accompanying staff and consultant review letters. The applicant has met the standards of the Retail Service Overlay Option and there are only minor planning related items to be addressed on the Final Site Plan submittal.

Special Land Use Considerations

In the OST District any developments utilizing the Retail Service Overlay provisions are subject to the considerations for Special Land Uses outlined in the Zoning Ordinance. Section 2516.2(c) of the Zoning Ordinance includes specific factors the Planning Commission shall consider in the review of the request:

- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on existing thoroughfares in terms of overall volumes, capacity, safety, vehicular turning patterns, intersections, view obstructions, line of sight, ingress and egress, acceleration/deceleration lanes, off-street parking, off-street loading/unloading, travel times and thoroughfare level of service.
- Whether, relative to other feasible uses of the site, the proposed use will cause any detrimental impact on the capabilities of public services and facilities, including water service, sanitary sewer service, storm water disposal and police and fire protection to service existing and planned uses in the area.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with the natural features and characteristics of the land, including existing woodlands, wetlands, watercourses and wildlife habitats.
- Whether, relative to other feasible uses of the site, the proposed use is compatible with adjacent uses of land in terms of location, size, character, and impact on adjacent property or the surrounding neighborhood.
- Whether, relative to other feasible uses of the site, the proposed use is consistent with the goals, objectives and recommendations of the City's Master Plan for Land Use.
- Whether, relative to other feasible uses of the site, the proposed use will promote the use of land in a socially and economically desirable manner.
- Whether, relative to other feasible uses of the site, the proposed use is (1) listed among the provision of uses requiring special land use review as set forth in the various zoning districts of this Ordinance, and (2) is in harmony with the purposes and conforms to the applicable site design regulations of the zoning district in which it is located.

Additionally, for properties eligible for the Retail Service Overlay Option that are north of Twelve Mile Road and east of M-5 (as noted in Section 2302A.2.b of the Zoning Ordinance), the Planning Commission must make a finding that the plan is consistent with the following standards:

- Is in keeping with the stated intent of the Retail Service Overlay to provide a limited amount of retail and personal service establishments to serve the employees and visitors to nearby office use areas;
- Is in keeping with the stated intent of the OST, Planned Office Service Technology District to encourage and allow development of high tech, multi-use office / laboratory / production uses; and
- That the proposed plan will not have an adverse impact on the site and on the adjacent lands and uses with respect to landscaping, screening, off-street parking, vehicular and pedestrian circulation and the compatibility of its physical design with respect to adjacent buildings.

Ordinance Requirements

This project was reviewed for conformance with the Zoning Ordinance with respect to Article 23A (Planned Office Service Technology District), Article 24 (Schedule of Regulations), Article 25 (General Provisions) and any other applicable provisions of the Zoning Ordinance. Items in **bold** below must be addressed by the applicant.

1. **Retail Service Overlay:** The applicant is utilizing the Retail Service Overlay Option which allows an applicant to develop properties for uses not usually permitted in the OST District. The applicant has generally met the conditions that apply to properties using this option.

This is the only fast food drive-through restaurant proposed at the intersection of a non-residential collector and major arterial road. The hours of operation of the use must be limited to 6AM to 10PM. **The applicant should include a note on the plans limiting the hours of operation.** A total of 15% of the site must be maintained as open space. Although it appears the site will meet this requirement, the applicant has not clearly provided the open space calculations. **A sheet titled 'Open Space Plan' shall be included in the plan set providing area calculations for open space and identifying those areas which count towards open space.** The proposed building is approximately 2,032 square feet, consistent with ordinance requirements for fast food restaurants. An access point has been provided to the adjacent non-residential street, Cabot Drive. An indoor and outdoor dining area has been provided. The proposed façade has met the standards of the façade ordinance and will be complementary to the design of other buildings in the area. The drive-through lane has been screened with landscaping. Traffic Impact information (see note later in this letter) and Noise Impact Statement have been provided. **A public hearing to be held by the Planning Commission is required.**

2. Building Setbacks: Buildings in the OST District must be setback 50 feet from all property lines. The plan indicates a 45 foot building setback in the northern yard. **The applicant has indicated they will seek a variance from the Zoning Board of Appeals for this deficiency.**
3. Parking Setbacks: Parking areas in the OST District must be setback 20 feet from all property lines. The plan indicates a 15 foot parking setback in the western yard and a 10 foot setback in the northern yard. **The applicant has indicated they will seek a variance from the Zoning Board of Appeals for these deficiencies.**
4. Drive-through Bypass Lane: The Zoning Ordinance requires an 18 foot bypass lane to be provided adjacent to all drive-through lanes. **No bypass lane has been provided and the applicant has indicated they will seek a variance from the Zoning Board of Appeals for this deficiency.**
5. Accessory Structure Setback: Accessory structures must be setback the same as parking from all property lines, in this case, 20 feet. The proposed dumpster is 15 feet from the adjacent property line. **The applicant has indicated they will seek a variance from the Zoning Board of Appeals for this deficiency.**
6. Traffic Study: The applicant has submitted a Traffic Impact Study as required by the Zoning Ordinance. **However, the study submitted does not evaluate all potential impacts of the proposed development and the Planning Commission must determine whether they wish to waive the need for a full Traffic Study.** See the traffic review letter for additional information.
7. Use of the ITC Utility Corridor: The applicant has proposed an access drive through the adjacent ITC Corridor. **A copy of the executed license agreement permitting this access drive must be provided to the City.** See the engineering review letter for additional information.
8. Signage: Exterior Signage is not regulated by the Planning Division or Planning Commission. Please contact Jeannie Niland (248.347.0438) for information regarding sign permits.

Response Letter

A letter from either the applicant or the applicant's representative addressing comments in this, and in the other review letters, is requested to be submitted prior to the Planning Commission meeting and with the next set of plans addressing each of the comments listed above and in other review letters.

Chapter 26.5

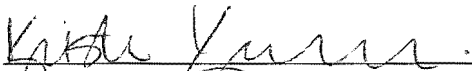
Chapter 26.5 of the City of Novi Code of Ordinances generally requires all projects be completed within two years of the issuance of any starting permit. Please contact Sarah

Marchioni at 248-347-0430 for additional information on starting permits. The applicant should review and be aware of the requirements of Chapter 26.5 before starting construction.

Pre-Construction Meeting

Prior to the start of any work on the site, Pre-Construction (Pre-Con) meetings must be held with the applicant's contractor and the City's consulting engineer. Pre-Con meetings are generally held after Stamping Sets have been issued and prior to the start of any work on the site. There are a variety of requirements, fees and permits that must be issued before a Pre-Con can be scheduled. If you have questions regarding the checklist or the Pre-Con itself, please contact Sarah Marchioni [248.347.0430 or smarchioni@cityofnovi.org] in the Community Development Department.

If the applicant has any questions concerning the above review or the process in general, do not hesitate to contact me at 248.347.0586 or kkapelanski@cityofnovi.org.



Kristen Kapelanski, AICP – Planner
kkapelanski@cityofnovi.org or 248-347-0586

Planning Review Summary Chart

Starbucks JSP13-38

Preliminary Site Plan Review

Plan Dated: 06-03-13

Item	Required	Proposed	Meets Requirements?	Comments
Master Plan	Office RD Tech	Office RD Tech	Yes	
Zoning	OST	OST	Yes	
Use (Sec. 2301A and 2302A)	Office and Retail Service Overlay uses	Starbucks restaurant	Yes	Public Hearing required. Planning Commission finding of factors listed in Section 2302A.2.b required.
Building Height (Sec. 2400)	Maximum 46 feet	Approximately 20 feet	Yes	
Retail Service Overlay Provisions (Sec. 2302A)				
Number of fast food restaurants	Only one fast food restaurant is permitted at the intersection of a minor arterial road and arterial road or at the intersection of an arterial or major arterial and non-residential collector	One fast food restaurant at the intersection of a non-residential collector and a major arterial road	Yes	
Hours of operation	Limited to 6AM to 10PM	Hours of operation not indicated	Yes?	Applicant should include a note on the plans indicating the hours of operation
Open Space	A minimum of 15% must be landscaped open space	Open space calculations not provided	Yes?	Applicant should provide the required open space calculations
Building Size	Freestanding fast food restaurants must be between 1,800 sq. ft. and 10,000 sq. ft.	2 032 sq. ft.	Yes	
Vehicular and pedestrian connections	Sites must be connected to non-residential streets and neighboring properties	Access drive onto Cabot Drive provided, connection to Cabot Drive sidewalk provided	Yes	
Façade	Architectural design and			See façade review comments for

Item	Required	Proposed	Meets Requirements?	Comments
	facade materials shall be compatible with and complementary to other developed buildings in the area			additional information.
Outdoor Seating	Outdoor dining area must be provided	Outdoor dining area shown	Yes	The applicant should include a trash receptacle in the outdoor dining area.
Amenities	Pedestrian plazas and landscape amenities must be provided	Landscape amenities included	Yes	
Access	Access shall be provided from the non-residential collector road only	Access drive onto Cabot Drive provided. No access to Twelve Mile Road indicated	Yes	
Drive-through use	Drive-through must be accessory to an indoor dining use	Indoor dining area provided	Yes	
Drive-through lane screening	Drive-through lanes shall be screened from view from adjacent properties by the building, a decorative brick wall or landscaping planted to achieve a minimum opacity of 90% during the summer and 80% during the winter	Landscape screening provided		See landscape review letter.
Additional Studies	Traffic Impact Statement and Noise Impact Statement required	Traffic Study and Noise Impact Statement submitted	Yes	See the traffic review letter for additional information. Planning Commission waiver of full Traffic Study required.
Building Setbacks (Sec. 2400)				

Item	Required	Proposed	Meets Requirements?	Comments
Front (south)	50 feet	69 feet	Yes	
Exterior Side (east)	50 feet	82 feet	Yes	
Interior Side (west)	50 feet	50 feet	Yes	
Rear (north)	50 feet	45 feet	No	Applicant had indicated they will seek a variance from the Zoning Board of Appeals.
Parking Setbacks (Sec. 2400)				
Front (south)	20 feet	22 feet	Yes	
Exterior Side (east)	20 feet	22 feet	Yes	
Interior Side (west)	20 feet	15 feet	No	Applicant has indicated they will seek a variance from the Zoning Board of Appeals.
Rear (north)	20 feet	10 feet	No	Applicant has indicated they will seek a variance from the Zoning Board of Appeals.
Number of Parking Spaces (Sec. 2505)	<p>One for each employee plus one for each two persons allowed in the seating and waiting area</p> <p>41 people/2 = 22 spaces</p> <p>4 employees = 2 spaces</p> <p>24 spaces required</p>	29 spaces	Yes	
Parking Space Dimensions (Sec. 2506)	9' x 19' parking space dimensions (9' x 17' if overhang on 7' wide interior sidewalk or landscaped area as long as detail indicates 4" curb) and 24' wide drives.	9' x 17' parking space dimensions with 24' wide drive for 90° parking layout.	Yes	A 4" curb should be indicated wherever 17' parking spaces are proposed.

Item	Required	Proposed	Meets Requirements?	Comments
Barrier Free Spaces (Barrier Free Code)	2 accessible spaces; 1 space must be van accessible	2 van accessible spaces	Yes	
Barrier Free Space Dimensions (Barrier Free Code)	8' wide with a 5' wide access aisle (8' wide access aisle for van accessible)	8' wide with a 8 wide access aisle	Yes	
Barrier Free Signs (Barrier Free Design Graphics Manual)	One barrier free sign is required per space.	One barrier free sign provided for each space.	Yes	
Loading Spaces (Sec. 2303A and Sec. 2507)	5 square feet per front foot of building = 25 x 5 = 125 sq. ft. All loading shall be in the rear yard or interior side yard if double fronted lot.	360 sq. ft. provided in the interior side yard	Yes	
Loading Space Screening (Sec. 2303A.1)	In the OST District, view of loading and waiting areas must be shielded from rights of way and adjacent properties by a solid ornamental wall, an earth berm or plantings.	Landscape screening provided		See landscape review letter
Stacking Spaces for Drive-through (Sec. 2506)	The distance between the order board and the pick-up window shall store 4 vehicles, and 4 vehicles shall be stored in advance of the menu board (not including the vehicles at the pick-up window and menu board).	4 vehicles stored in advance of the menu board and 4 vehicles stored between the menu board and pick-up window.	Yes	
Drive-through Lane Delineated (Sec. 2506)	Drive-through lanes shall be striped, marked, or otherwise delineated.	Pavement markings indicated	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Bypass Lane for Drive-through (Sec. 2506)	Drive-through facilities shall provide 1 bypass lane. Such bypass lane shall be a minimum of 18' in width, unless otherwise determined by the Fire Marshal.	No bypass lane provided	No	Applicant has indicated they will seek a variance from the Zoning Board of Appeals.
Width and Centerline Radius of Drive-through Lanes (Sec. 2506)	Drive-through lanes shall have a minimum 9' width and centerline radius of 25'.	12' width. Centerline radius not clearly indicated	Yes?	Applicant should indicate the centerline radius.
Drive-through Lanes Separation (Sec. 2506)	Drive-through lanes shall be separate from the circulation routes and lanes necessary for ingress to, and egress from, the property.	Drive-through lanes are situated on the north side of the proposed structure wrapping around to the west side of the building	Yes	
Accessory Structure Setback-Dumpster (Sec. 2503)	Accessory structures should be in the rear yard and setback a minimum of 10' from any building unless structurally attached to the building and setback the same as parking from all property lines.	Dumpster enclosure setback 17 feet from the proposed building and setback 15 feet from adjacent property line in the side yard.	No	Applicant has indicated they seek a variance from the Zoning Board of Appeals for the deficient dumpster setback.
Dumpster (Chap. 21, Sec. 21-145)	Screening of not less than 5 feet on 3 sides of dumpster required, interior bumpers or posts must also be shown. Enclosure to match building materials and be at least one foot taller than height of refuse bin.	Screening details meeting ordinance requirements provided	Yes	

Item	Required	Proposed	Meets Requirements?	Comments
Exterior Signs	Exterior Signage is not regulated by the Planning Division or Planning Commission.			Please contact <u>Jeannie Niland (248.347.0438)</u> in the <u>Community Development Department</u> .
Exterior Lighting (Sec. 2511)	Photometric plan and exterior lighting details needed at final site plan.	Photometric plan not provided		Photometric plan must be submitted at the time of final site plan submittal.
Sidewalks (City Code Sec. 11-276(b)) Non-Motorized Master Plan	A 6' wide sidewalk shall be constructed along Twelve Mile Road as required by the City's Pedestrian and Bicycle Master Plan. Building exits must be connected to sidewalk system or parking lot.	A 6' wide is shown along Twelve Mile Rd. with building exits connected to sidewalk system.	Yes	

Prepared by Kristen Kapelanski, (248) 347-0586 or kkapelanski@cityofnovi.org

ENGINEERING REVIEW



cityofnovi.org

PLAN REVIEW CENTER REPORT

June 14, 2013

Engineering Review

Starbucks

JSP13-0038

Petitioner

Northern Equities, applicant

Review Type

Preliminary Site Plan

Property Characteristics

- Site Location: N. of Twelve Mile Rd. and W. of Cabot Dr.
- Site Size: 0.74 acres
- Plan Date: June 6, 2013

Project Summary

- Construction of an approximately 2,032 square-foot building and associated parking. Site access would be provided a driveway off of Cabot Dr. and a driveway through the ITC Corridor to parcel 50-22-12-400-063.
- Water service would be provided by a domestic lead extended from the 12-inch water main adjacent to Twelve Mile Rd., along with an additional hydrant on site.
- Sanitary sewer service would be provided by extending a sanitary lead and monitoring manhole from the existing 8-inch sanitary sewer adjacent to Cabot Dr.
- Storm water would be collected by a single storm sewer collection system and treated for the 100-year storm event volume in an on-site underground detention system before discharging into the existing storm sewer at Twelve Mile Rd and Cabot Dr.

Recommendation

Approval of the Preliminary Site Plan and Preliminary Storm Water Management Plan is recommended pending the applicant submits an executed License Agreement with ITC for the proposed driveway located in the ITC property.

Comments:

The Preliminary Site Plan meets the general requirements of Chapter 11, the Storm Water Management Ordinance and the Engineering Design Manual with the following items to be addressed at the time of Final Site Plan submittal (further engineering detail will be required at the time of the final site plan submittal):

Additional Comments (to be addressed prior to the Final Site Plan submittal):

General

1. Revise note 15 on the plan set to state that minimum ground slope for any part of the site, except for the protective slope around the building, shall be two (2) percent. A minimum five (5) percent slope away from the building for a minimum distance of ten (10) feet shall be provided.
2. The City standard detail sheets are not required for the Final Site Plan submittal. They will be required with the Stamping Set submittal.
3. Submit a completed Non-Domestic User Survey to Community Development.

Water Main

4. Provide the diameter, material type, and valve location for the proposed domestic lead.
5. Provide the material type, diameter, and profile for the proposed fire hydrant and water main.
6. Three (3) sealed sets of revised utility plans along with the MDEQ permit application (1/07 rev.) for water main construction and the Streamlined Water Main Permit Checklist should be submitted to the Engineering Department for review, assuming no further design changes are anticipated. Utility plan sets shall include only the cover sheet, any applicable utility sheets and the standard detail sheets.

Sanitary Sewer

7. Provide an access easement for the sanitary sewer monitoring manhole or relocate the monitoring manhole to within the existing sanitary sewer easement adjacent to Cabot Dr.

Storm Sewer

8. Provide a profile of the proposed storm sewer showing a minimum cover of 3 feet and all catch basin sumps. Indicate all structure types, diameter and the 10-year hydraulic grade line for the storm sewer.
9. Verify that the proposed catch basin does not conflict with the existing sanitary sewer adjacent to Cabot Dr.

Storm Water Management Plan

10. Provide a sheet or sheets titled "Storm Water Management Plan" (SWMP) that complies with the Storm Water Ordinance and Chapter 5 of the Engineering

Design Manual (refer to the runoff coefficients, 1V:4H allowable basin slopes, etc.).

11. The SWMP must detail the storm water system design, calculations, details, and maintenance as stated in the ordinance. The SWMP must address the discharge of storm water off-site, and evidence of its adequacy must be provided. This should be done by comparing pre- and post-development discharge rates and volumes. The area being used for this off-site discharge should be delineated and the ultimate location of discharge shown. **The SWMP must satisfy each individual requirement listed in Section 2.3 Underground Detention of Chapter 5 of the Engineering Design Manual.**
12. An adequate maintenance access route to the basin outlet structure and any other pretreatment structures shall be provided (15 feet wide, maximum slope of 1V:5H, and able to withstand the passage of heavy equipment). Verify the access route does not conflict with proposed landscaping.
13. Provide critical elevations (bankfull and 100-year storm hydraulic grade lines) on the underground detention system cross-section and storm sewer profile demonstrating that the detention system is 3 feet above ground water and has the required 1 foot of freeboard between the high water elevation and the subgrade below the pavement.
14. Provide manufacture specifications for the proposed underground detention system including material type, size, bedding requirements, and any other applicable information.
15. Provide a detail for the proposed outlet control structure.
16. Revise the composite "c" coefficient to reflect a value of 0.95 for building and pavement areas and a value of 0.35 for grass area versus 0.9 and 0.2 as provided.

Paving & Grading

17. Provide details for the proposed pavement cross-section(s).
18. Provide the existing and proposed ground elevation contours, with a two-foot contour interval extending one hundred (100) feet past the boundary of the site
19. Consider providing a non-motorized connection to the existing H.C.O.C. 2 parcel to eliminate potential conflict between pedestrians and vehicles at the proposed bailout drive.
20. Provide a detail for each proposed ramp with elevations to demonstrate a level landing adjacent to each ramp and general ADA compliance.
21. Revise the plan set to indicate a continuous concrete sidewalk through the proposed driveway.
22. Provide a ROW side walk cross-section indicating 4" thick of 4000 psi concrete (8" thick through commercial/industrial drives) over 6" thick of 21AA crushed limestone meeting MDOT gradation specifications. The stone base shall extend a minimum of 6" beyond the forms. Sand is not an allowed sub base within the right-of-way.

Off-Site Easements

23. Provided an executed License Agreement with ITC for the proposed facilities within the ITC property prior to Final Site Plan submittal.
24. Provide an ingress/egress easement for the proposed access drives on parcel 50-22-12-400-038 and parcel 50-22-12-400-063.
25. Provide a temporary construction easement for all off-site work outside of the right-of-way.
26. All off-site easements must be executed prior to final approval of the plans. Drafts shall be submitted at the time of the Preliminary Site Plan submittal.

The following must be submitted at the time of Final Site Plan submittal:

27. A letter from either the applicant or the applicant's engineer must be submitted with the Final Site Plan highlighting the changes made to the plans addressing each of the comments listed above and indicating the revised sheets involved.
28. An itemized construction cost estimate must be submitted to the Community Development Department at the time of Final Site Plan submittal for the determination of plan review and construction inspection fees. This estimate should only include the civil site work and not any costs associated with construction of the building or any demolition work. **The cost estimate must be itemized** for each utility (water, sanitary, storm sewer), on-site paving, right-of-way paving (including proposed right-of-way), grading, and the storm water basin (basin construction, control structure, pretreatment structure and restoration).
29. An executed License Agreement with ITC for the proposed facilities within the ITC property must be submitted to the Community Development Department.

The following must be submitted at the time of Stamping Set submittal:

30. An executed copy of the private ingress/egress easement for shared use of the drive entry to parcel 50-22-12-400-063 must be submitted to the Community Development Department.
31. An executed temporary construction easement for all off-site work outside of the right-of-way must be submitted to the Community Development Department. A draft copy of the maintenance agreement for the storm water facilities, as outlined in the Storm Water Management Ordinance, must be submitted to the Community Development Department with the Final Site Plan. Once the form of the agreement is approved, this agreement must be approved by City Council and shall be recorded in the office of the Oakland County Register of Deeds.
32. A draft copy of the 20-foot wide easement for the water main to be constructed on the site must be submitted to the Community Development Department.

33. A draft copy of the 20-foot wide access easement for the sanitary sewer monitoring manhole must be submitted to the Community Development Department.
34. Executed copies of all required off-site easements must be submitted to the Community Development Department.


The following must be addressed prior to construction:

35. A pre-construction meeting shall be required prior to any site work being started. Please contact Sarah Marchioni in the Community Development Department to setup a meeting (248-347-0430).
36. A City of Novi Grading Permit will be required prior to any grading on the site. This permit will be issued at the pre-construction meeting. Once determined, a grading permit fee must be paid to the City Treasurer's Office.
37. A Soil Erosion Control Permit must be obtained from the City of Novi. Contact Sarah Marchioni in the Community Development Department (248-347-0430) for forms and information.
38. A permit for work within the right-of-way of Cabot Dr. must be obtained from the City of Novi. The application is available from the City Engineering Department and should be filed at the time of Final Site Plan submittal. Please contact the Engineering Department at 248-347-0454 for further information.
39. A permit for water main construction must be obtained from the MDEQ. This permit application must be submitted through the City Engineer after the water main plans have been approved.
40. Construction Inspection Fees to be determined once the construction cost estimate is submitted must be paid prior to the pre-construction meeting.
41. A storm water performance guarantee, equal to 1.5 times the amount required to complete storm water management and facilities as specified in the Storm Water Management Ordinance, must be posted at the Treasurer's Office.
42. An incomplete site work performance guarantee for this development will be calculated (equal to 1.5 times the amount required to complete the site improvements, excluding the storm water facilities) as specified in the Performance Guarantee Ordinance. This guarantee will be posted prior to TCO, at which time it may be reduced based on percentage of construction completed.
43. A street sign financial guarantee in an amount to be determined (\$400 per traffic control sign proposed) must be posted at the Treasurer's Office.

Engineering Review of Preliminary Site Plan
Starbucks
JSP13-0038

June 14, 2013
Page 6 of 6

Please contact Adam Wayne at (248) 735-5648 with any questions.



cc: Ben Croy, Engineering
Brian Coburn, Engineering
Kristen Kapelanski, Community Development Department
Michael Andrews, Water & Sewer Dept.

TRAFFIC REVIEW

June 7, 2013

Barbara McBeth, AICP
Deputy Director of Community Development
City of Novi
45175 W. Ten Mile Rd.
Novi, MI 48375

**SUBJECT: Starbucks Coffee Shop at 12 Mile and Cabot, JSP13-0038,
Traffic Review of Preliminary Site Plan, PSP13-0110**

Dear Ms. McBeth:

At your request, we have reviewed the above and offer the following recommendation and supporting comments.

Recommendation

We recommend approval of the preliminary site plan, subject to the items shown below in **bold** being satisfactorily addressed on (or in advance of) the final site plan.

Site Description

What is the applicant proposing, and what are the surrounding land uses and road network?

1. The applicant is proposing to construct a 2,032-s.f. coffee shop with both walk-in and drive-through service. Primary access would occur in an unrestricted fashion on the west side of Cabot Drive about 120 ft north of the southbound stop bar. Secondary access would be provided via a driveway to the west, connecting to the north-south shared drive serving both the neighboring bank and the office building north of the bank (see our attached aerial photo). A one-way "escape lane" is also proposed, from the drive-through lane near the menu board to the neighboring office building north of the Starbucks site.
2. Twelve Mile Road adjacent to the site is a 45-mph, six-lane major arterial under the jurisdiction of the Road Commission for Oakland County (RCOC). Cabot Drive adjacent to the site is a 30-mph non-residential collector under City jurisdiction. The intersection of westbound 12 Mile and Cabot Drive is equipped with a fully-actuated signal and serves large through volumes in both peak hours, as well as large turning volumes – for the eastbound left turn in the AM peak hour and both the southbound right turn and east-to-westbound U turn in the PM peak hour (all three of these turning volumes were predicted to be in the 300-400 vehicle range in the 2006 traffic study for ITC). The first west-to-eastbound crossover west of Cabot is unsignalized but was expected in the 2006 study to serve fewer than 100 vehicles per hour in each peak hour.

Trip Generation and Traffic Impact Study

How much new traffic would be generated? Was a traffic study completed and was it acceptable?

- At the pre-application stage, an 1,800-s.f. coffee shop (with both walk-in and drive-through service) was envisioned, which we confirmed would have been expected to generate 1,473 one-way vehicle trips per day, or well over the City's 750-trip threshold calling for a full traffic impact statement. As indicated above, the applicant is now proposing a 2,032-s.f. drive-through coffee shop. Our trip generation forecast (summarized in the table below) largely agrees with one prepared by the applicant's new traffic consultant (Parsons), but also provides the required daily trip generation estimate.

Trip Generation by Proposed 2,032-s.f. Starbucks¹

Land Use	ITE Use	Size / Trip Type	Week-day	AM Peak Hour			PM Peak Hour		
				In	Out	Total	In	Out	Total
Coffee Shop with Drive-Through Window	937	2,032 s.f.	1,663	104	100	204	44	43	87
		-40% Pass-By	-665	-42	-40	-82	-18	-17	-35
		New Trips	998	62	60	122	26	26	52

¹ A trip is a one-directional movement into or out of the site. The numbers in first row of the table are total driveway trips, forecasted using data and methodology recommended by the Institute of Transportation Engineers. Shaded cells meet or exceed City of Novi thresholds calling for a full traffic impact statement, in which both the site access drives and one or more off-site intersections are evaluated for planning, operational, and traffic safety concerns. Pass-by trips are driveway trips already en route to primary destinations elsewhere. The 40% pass-by assumption by Parsons is conservatively low, as newer data for fast-food restaurants typically average about 50% in the PM peak hour.

- We have reviewed the "Traffic Analysis" prepared by Parsons, dated 6-3-13. The report's trip generation forecast and observations of gaps and queuing on Cabot Drive are acceptable and appreciated. However, we must note for the record that the study submitted does not constitute a full traffic impact statement. **After reviewing our comments below, the Planning Commission should decide whether it wishes to waive the traffic study requirements specified in the *City of Novi Site Plan and Development Manual*, or whether it wishes to request from the applicant additional traffic analyses related to the proposed development.**
- The Parsons report presents (in Table 2) an abbreviated version of its trip distribution model, showing the assumed percentages and associated volumes of *total site traffic* entering and exiting the main site drive on Cabot. This study approach disregards the fact that – by definition – new and pass-by trips are distributed differently. Per standard practice and Chapter 5 of ITE's *Trip Generation Handbook, 2nd Edition*, the distribution of new trips should generally be reciprocal between those approaching and departing the site; for example, if 18% are assumed to approach via southbound Cabot in the PM peak hour, that percentage of new trips should be assumed to return to the north after visiting the site. On the other hand, it would be typical to assume that that same percentage of pass-by trips would continue south by exiting onto east- or westbound 12 Mile.
- Although the use of the proposed main access drive can be expected to depend on the queuing situation on adjacent Cabot Drive, as well as likely walking trips from and to nearby office buildings, neither factor was apparently considered in developing the applicant's trip model.

7. To address our operational concerns regarding the Cabot access drive, the applicant's traffic study conducted the following data collection activities and analyses:
- a. Gap observations of Cabot's southbound traffic stream were made in the PM peak hour to determine the gaps available to Starbucks' entering left turns. The distribution of available gaps generated a total of 193 "effective gaps," or 1.9 times the forecasted 102 entering left turns. A nationally recommended rule of thumb in traffic engineering is that "no traffic control or turn restrictions are likely to be needed" if the number of effective gaps is about twice the number of vehicles turning. Hence, Parsons' assumptions and analysis indicate a marginally adequate gap availability for entering left turns.
 - b. According to the preliminary site plan, Cabot's center lane affords a total of 88 ft of space to entering left-turn traffic, measured from the north end of the boulevard island to the south edge of the proposed access drive. The traffic study's stated assumption that this space could shelter three vehicles waiting to turn left into the site is questionable, since that would afford only 20 ft per waiting vehicle, assuming that the trailing vehicle could enter the center lane via a very sharp taper only 28 ft long. Given imperfect driver behavior (e.g., not always pulling forward to a point of minimum turning radius before turning), we would expect no more than two vehicles to typically succeed in obtaining safe refuge in the center lane. Hence, entering left-turn traffic may occasionally spill back into the inner northbound lane of Cabot, thus requiring a heightened state of alertness on the part of all northbound drivers, as well as the use of the outer through lane as a passing lane.
 - c. As a check of the analysis reflected in the traffic study, we applied two independent analytical methods and found the likely need for a three-vehicle stacking capacity in Cabot's center lane. First, the American Association of State Highway and Transportation Officials (AASHTO) states on page 714 of its 2004 "Green Book" that "At unsignalized intersections, the storage length, exclusive of taper, may be based on the number of turning vehicles likely to arrive in an average two-minute period within the peak hour." In this case, Parsons' forecast of 102 entering left-turn vehicles in the AM peak hour would suggest a $(102/30=)$ 3.4-vehicle stacking space. Alternatively, per Figure 5-15 of ITE's 1988 "Brown Book," 75 ft (effectively three vehicles) of storage would be appropriate for 102 left-turn vehicles having to turn against the southbound through volume forecasted for the AM peak hour (in the prior study for ITC). It is important to remember that not all of the center lane will actually be available to shelter entering left-turn vehicles, as those vehicles must drive a certain minimum taper to enter the lane (typically 25-50 ft).
 - d. Since the availability of northbound gaps on Cabot was not determined, little is known about the difficulty customers may experience in finding a gap to safely and conveniently exit the site to the north. This raises two safety issues of some concern:
 - (i) Customers may choose to reduce their exiting delay by attempting a two-stage left turn, wherein they turn into the center lane and wait for a northbound gap. This could have adverse consequences for drivers desiring to use that center lane to enter the office building across Cabot to the east.
 - (ii) Customers waiting to turn left out of the site driveway may have more limited visibility to the south than they realize, due to southbound vehicles queued for the traffic signal.

- e. At our request, observations were made of the longest southbound queue on Cabot, by peak hour, signal cycle, and lane. The concern was that existing queues may occasionally block ingress and/or egress at the proposed site driveway. Although the 120 ft available between the stop bar and the south edge of the drive would ordinarily only accommodate five vehicles, field observations showed that 6-7 vehicles typically queue in the right lane in this area due to vehicles pulling out past the stop bar in anticipation of completing a right turn on red. The field study found that:
 - (i) Queuing in the right lane is significantly longer than in the left lane, since many drivers plan to enter one of the two M-5 on-ramps shortly after turning.
 - (ii) *A six-vehicle queue was found to be exceeded in none of the AM signal cycles sampled, but 13 (or 42%) of the PM signal cycles sampled.* However, to quote the traffic study: “Although it would appear on the surface that the percent of time the right lane would block traffic is significant, in reality these queues only extended beyond the [proposed] drive during the tail end of the traffic signal cycle...”
8. Based on the above-described analyses, the study does not “anticipate the proposed location of the Cabot Drive access will create any traffic or safety concerns.” While the study submitted allays some of our prior site access concerns, it also confirms our recollection of witnessing significant back-ups on southbound Cabot in the PM peak hour. Two major offsetting factors complicate our assessment of the study’s conclusions. While the stacking capacity of Cabot’s center lane for entering left turns may have been optimistically overstated at three vehicles, the assumed percent of all entering traffic represented by that movement – 98% in the AM peak hour and 81% in the PM peak hour – likely has been overestimated as well. Not only do we believe that more entering traffic is likely to approach from the north, some of the traffic approaching the site from the east on 12 Mile may bypass Cabot to enter via a series of right turns utilizing the shared bank drive.

Vehicular Access Locations

Do the proposed “driveway” locations meet City spacing standards?

- 9. Yes. As now designed, the proposed access drive on Cabot would be 142 ft north of 12 Mile Road (near-curb to near-curb). This spacing slightly exceeds the City’s minimum same-side driveway spacing of 125 ft, based on Cabot’s 30-mph speed limit at this location.

Vehicular Access Improvements

Will there be any improvements to the abutting road(s) at the proposed access point(s)?

- 10. No, and none are appropriate.

Access Drive Design and Control

Are the proposed design, pavement markings, and signage satisfactory?

- 11. The north curb return of the main access drive would encroach 13 ft on the frontage of the adjacent parcel. Per Sec 11-216(a)(2) of the City’s Design and Construction Standards, this “shall be permitted only upon written certifications from the adjacent property owner

agreeing to such encroachment and/or when the traffic engineer has determined that such encroachment is necessary to preserve the safety of the road.” **We recommend that the City Traffic Engineer declare the curb-return encroachment necessary to preserve safety.**

12. As now designed, the proposed main access drive would be 33 ft wide (not the 42.7 ft as dimensioned at the right-of-way line), and it would be equipped with curb returns having 25-ft radii. These dimensions slightly exceed City standards for a commercial driveway but are appropriate given the driveway’s expected use.
13. **A 24-inch STOP (R1-1) sign should be proposed 4 ft in advance of the Cabot sidewalk.**

Pedestrian Access

Are pedestrians safely and reasonably accommodated?

14. In his submittal letter, the applicant has stated that “We expect that tenants within the park will use the interconnected sidewalks to walk to this facility.” Given the propensity of pedestrians to avoid unduly circuitous routes, we are concerned that some people walking between the first office building north and Starbucks may choose to walk in the “escape lane” between the two sites, as well as in the drive-through lane itself. **As a minimum mitigation of this safety concern, two No Pedestrians symbol (R9-3) signs should be proposed, one below the proposed north-facing DO NOT ENTER sign at the north end of the “escape lane,” and the other facing southeast near the property line.**
15. **The proposed east-west crosswalk across the parking lot must include an ADA-compatible ramp at its east end, and the crosswalk itself needs to be detailed, both dimensionally and with respect to color (it must be white).**

Circulation and Parking

Can vehicles safely and conveniently maneuver through the site?

16. No. The drive-width opening at the north end of the parking lot, where the main access drive splits between the lot and the drive-through lane, scales only 20 ft wide (face-to-face). **The curb on one or both sides of this opening will have to be pulled back to satisfy the City requirement for accommodating two-way traffic flow with at least a 24-ft-wide driving surface (i.e., 22 ft plus an assumed 1-ft gutter pan on each side, per Sec 2506.2 of the Zoning Ordinance).** This is especially important at this location in the site, which we would expect to serve the highest volumes of site circulation traffic.
17. The drive-through lane would have an acceptable centerline radius of 26.5 ft, be 12-ft wide, and be “distinctively delineated” (per wording in Sec 2506.12g of the Zoning Ordinance) by curbs. However, **the lack of a drive-through bypass lane requires a variance of Sec 2506.12d requiring such.**
18. All parking spaces scale 16.5 ft long to the face of curb or walk. **All spaces will therefore have to be lengthened by 0.5 ft and dimensioned as 17 ft long to the face (not back) of**

the curb. A plan note should also be provided to ensure that all parking space dimensions – width as well as length – are referenced to the face of curb or walk.

19. The curb at the southeast corner of the building pad should have its radius increased to 20 ft and its offset from the east parking lot aisle reduced to 2-3 ft. This will improve large-truck circulation without negatively impacting the space available for outdoor dining.
20. Along the secondary western access drive, the 5-ft curb radius near the fire hydrant should be increased to 10 ft (to better facilitate coverage by the typical street sweeper), and the two curb return radii at the bank drive should be dimensioned.
21. Extraneous messages which may appear to be intended pavement markings should be removed from paved areas. For example, the words ONE WAY appearing both at the entrance to the drive-through lane and midway up the so-called escape lane should be removed, and the arrows shown solid to indicate that they will actually be applied to the pavement (via white paint or thermoplastic). The plan should also clarify whether or not the nearby words DRIVE THRU ONLY are intended as pavement markings; if they are, their color should be indicated as white.
22. The plan details labeled “Typ. Parking Space Layout,” in the upper left corner of sheet SP-1, should be augmented to specify MMUTCD-required colors. Specifically, these include the use of blue for marking barrier-free spaces and adjacent crosshatched access aisles, and the use of white for marking non-barrier-free spaces and wheelchair symbols in barrier-free spaces. Also, where a barrier-free space abuts a non-barrier-free space, abutting blue and white lines shall be used. (Note: The artist’s rendition of the completed building and adjacent parking incorrectly shows all pavement markings white.)
23. The size and words LOADING ZONE should be removed from the zone itself, and instead appear as a note to the side. Per standard Novi practice, the loading zone should be noted as being applied with 4-inch-wide yellow striping 4 ft on-center, and a NO PARKING LOADING ZONE (R7-6) sign should be proposed in the landscaped area directly west of the zone. Also, it appears that the loading zone will be separated from the drive-through lane by a narrow, 6-inch high curb. To enhance the curb’s visibility and minimize unnecessary tire contact, this curb should be painted yellow (on all three sides).
24. The NO PARKING FIRE LANE sign (denoted FLS) on the north side of the west access drive, a short distance west of the loading zone, is shown facing the wrong direction and must be rotated 180 degrees. Also, the Fire Marshal should indicate whether or not he would like additional fire lane signs along the west drive to its intersection with the shared bank drive (more important if use of the parking lot frequently approaches capacity).
25. The egress from the drive-through lane lacks any pavement markings or signs reminding drivers not to proceed north in that lane. A standard, south-facing DO NOT ENTER (R5-1) sign should be proposed on the east side of the lane immediately south of the building

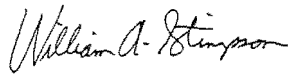
projection housing the service window (this sign may be mounted on the façade at a 5-ft height).

26. The "B.F. Sign Detail" appearing at the bottom of plan sheet SP-1 should be revised to label the VAN ACCESSIBLE plate as a R7-8P, and the minimum clearance under that sign should be increased to 6'-3" (this will not affect the upper sign's clearance).
27. The note pointing to one of the outdoor dining seats as a Van Accessible Barrier Free Sign appears incorrect and should be removed.
28. The final site plan should include a Signing Quantities table.

Sincerely,
CLEARZONING, INC.



Rodney L. Arroyo, AICP
President



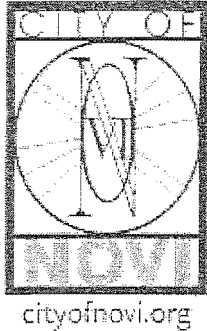
William A. Stimpson, P.E.
Director of Traffic Engineering

Attachment:
Aerial photo of site vicinity



Proposed Starbucks Site

LANDSCAPE REVIEW



PLAN REVIEW CENTER REPORT

June 17, 2013

Preliminary Site Plan

Starbucks JSP13-38

Review Type

Preliminary Landscape Review

Property Characteristics

- Site Location: 12 Mile / Cabot Drive
- Site Zoning: OST – Office Service Technology
- Adjacent Zoning: OST – Office Service Technology
- Current Use: Vacant
- Plan Date: 6/3/2013

Recommendation

Approval of the Preliminary Site Plan for Starbucks JSP 13-38 is recommended provided that the Applicant can address concerns noted below or receives the necessary waivers from the Planning Commission.

Ordinance Considerations

Adjacent to Public Rights-of-Way – Berm (Wall) & Buffer (Sec. 2509.3.b.)

1. A 3' tall berm is required along the right-of-ways adjacent to parking areas. No berm is proposed on either Twelve Mile or Cabot Drive. These have been provided with the exception of those areas where mature vegetation currently exists.
2. Right-of-way greenbelt planting calculations have been provided. One canopy tree or large evergreen is required per 40 LF of frontage; one sub-canopy tree is required per 25 LF of frontage. These requirements have been met.
3. Required 25' clear vision areas have been depicted at each access point.

Street Tree Requirements (Sec. 2509.3.b.)

1. One street tree is required per 35 LF adjacent to parking; one street tree is required per 45 LF where there is no parking. This requirement has been met.

Parking Landscape (Sec. 2509.3.c.)

1. A total of 1,006 SF of interior parking landscape area is required. Only 744 LF has been provided. **This requirement has not been met. The Applicant will need to provide the balance of the parking lot landscape area or seek a waiver from the Planning Commission.**
2. A total of fourteen (14) Parking Lot Canopy Trees are required and have been provided.
3. Snow storage areas are depicted on the plan as required.

Parking Lot Perimeter Canopy Trees (Sec. 2509.3.c.(3))

1. Perimeter Parking Lot Canopy Trees are required per 35 LF surrounding parking and access areas. Parking lot trees at the pavement perimeter may be counted toward this requirement. This requirement has been met.

Building Foundation Landscape (Sec. 2509.3.d.)

1. A minimum 4' wide landscape bed is required around the entire building foundation with the exception of access areas. This requirement has been met.
2. A total of 1,792 SF of building foundation landscape area is required. Only 1,252 SF has been provided. **This requirement has not been met. The Applicant will need to provide the balance of the parking lot landscape area or seek a waiver from the Planning Commission.** A waiver may be granted if practical difficulties exist due to parcel size and configuration or where the site would be enhanced by an alternative design solution. Landscaping must be proposed in other areas that offset the loss.

Retail Service Overlay – Drive-through Screening

1. Drive-through lanes must be screened from view from adjacent properties by the building, a decorative brick wall or landscaping. Adjacent mature existing trees to remain serve to screen the drive-through from the adjacent property.

Plant List (LDM)

1. The Plant List meets the requirements of the Ordinance and Landscape Design Manual.
2. Material costs have been provided.

Planting Notations and Details (LDM)

1. The Planting Notations and Details meet the requirements of the Ordinance and Landscape Design Manual.

Irrigation (Sec. 2509 3.f.(6)(b))

1. An Irrigation Plan must be provided upon Stamping Set submittal.

Storm Basin Landscape (LDM)

1. A total of 70-75% of the storm basin rim area must be landscaped with large shrubs. This requirement has been met.

Please follow guidelines of the Zoning Ordinance and Landscape Design Guidelines. This review is a summary and not intended to substitute for any Ordinance. For the landscape requirements, see the Zoning Ordinance landscape section on 2509, Landscape Design Manual and the appropriate items in the applicable zoning classification.


Reviewed by: David R. Beschke, RLA

FACADE REVIEW



Phone: (248) 880-6523
 E-Mail: dnecci@drnarchitects.com
 Web: drnarchitects.com



DRN & ASSOCIATES, ARCHITECTS, PC

50850 Appiebrooke Dr., Northville, MI 48167

June 13, 2013

City of Novi Planning Department
 45175 W. 10 Mile Rd.
 Novi, MI 48375-3024

Attn: Ms. Barb McBeth – Director of Community Development

Re: FACADE ORDINANCE - Preliminary Site Plan Review
 Starbucks, PSP13-0110, Façade Region: 1, Zoning District: OST

Dear Ms. McBeth:

The following is the Façade Review for Preliminary Site Plan Approval of the above referenced project based on the drawings prepared by Faude Architects, dated May 29, 2013. The percentages of materials proposed for each façade are as shown on the table below. The maximum percentages allowed by the Schedule Regulating Façade Materials of Ordinance Section 2520 are shown in the right hand column. Materials in non-compliance with the Façade Schedule are highlighted in bold.

Façade Region 1	North	East	West	South	Ordinance Maximum (Minimum)
Brick	90%	90%	85%	80%	100% (30%)
Flat Metal (Rood Screen)	10%	10%	15%	20%	50%

As shown above the percentage all materials are in full compliance with the Façade Chart. The applicant has provided a color rendering in lieu of a sample board which indicates carefully coordinated colors that are consistent with the Ordinance. A Section 9 Waiver is not required for this project.

Notes to the Applicant: Façade Ordinance requires inspection(s) for the above listed façade materials. Materials displayed on the approved sample board (rendering) will be compared to materials delivered to the site. It is the applicant’s responsibility to request the inspection of each façade material at the appropriate time. Inspections may be requested using the Novi Building Department’s Online Inspection Portal with the following link. Please click on “Click here to Request an Inspection” under “Contractors”, then click “Façade”.

<http://www.cityofnovi.org/Services/CommDev/OnlineInspectionPortal.asp>.

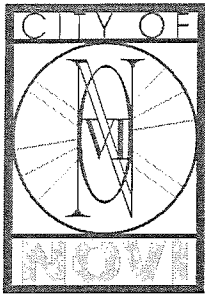
If you have any questions regarding this project please do not hesitate to call.

Sincerely,
 DRN & Associates, Architects PC



Douglas R. Necci, AIA

FIRE REVIEW



May 8, 2013

June 5, 2013

TO: Barbara McBeth, Deputy Director of Community Development
Kristen Kapelanski

RE: **Starbucks Cabot and Twelve Mile**
PSP# 13-0088
PSP# 13-0110

CITY COUNCIL

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Jeffery R. Johnson

Assistant Chief of Police
Victor C.M. Lauria

Assistant Chief of Police
Jerrod S. Hart

Project Description: 1,996 S.F. Proposed Building
2,032 S.F.

Comments:

1. No Parking Signs required in secondary access.
2. All parking and roadway surfaces designed to support a minimum of 35 ton.
3. The new building greater than 175' from a hydrant. Additional hydrant is required. (Sec. 11-68.f.h)
June 5, 2013 Corrected- Hydrant added on site plan to SW corner of lot.

Recommendation: Recommend Approval with conditions

Sincerely,

Joseph Shelton- Fire Marshal
City of Novi – Fire Dept.

cc: file

Novi Public Safety Administration
45125 W. Ten Mile Road
Novi, Michigan 48375
248.348.7100
248.347.0590 fax

cityofnovi.org

APPLICANT RESPONSE LETTER

June 20, 2013

Barbara McBeth, AICP
City of Novi Planning Department
45175 W. Ten Mile
Novi, MI 48375-3024

RE: Proposed Starbuck's
12-Mile Road and Cabot Drive
Novi, Michigan
Our Project No. 12100

Dear Barb,

We thank you for the recommendation for approval for the proposed Starbucks on 12 Mile Road and Cabot Drive, within the newly created Retail Service Overlay in the OST District. The Starbucks will service the 1.5 million square feet of office/research space in the Haggerty Corridor Corporate Park. Access is off Cabot Drive, which was re-configured approximately 10 years ago to accommodate a left hand turn into the site as part of a bank branch that was proposed for the site. Patrons may either exit onto Cabot or through a secondary means of ingress and egress to the west. We expect that tenants within the park will use the interconnected sidewalks to walk to this facility. We have received positive feedback over the years from tenants who have heard of the potential of having a Starbucks at this location. As we market the available space in the offices nearby we certainly see excitement in response from prospective tenants when the possibility of this Starbucks is mentioned. Even though it is a small site, it will provide a big boost to the overall marketing of the Haggerty Corridor Corporate Park.

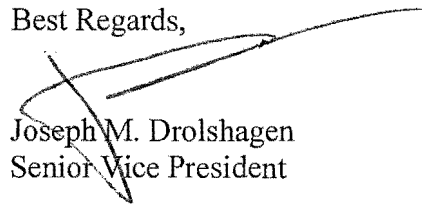
As you know we have worked diligently over the last few weeks to modify the Starbucks site plan and building interior to attempt to minimize the variances that were identified in the pre-application meeting. As part of this effort, we re-engineered the site to include underground detention, instead of detaining under the ITC Towers. This entailed a substantial cost, but helped make the site more workable per the ordinance. We are still going in for variances on the plan as identified below but have kept them to a minimum given the size of the site. In 10 years, other than minor sign variances, we have met the OST ordinance in all aspects for the development of every one of the 23 buildings Northern Equities Group developed in the Park.

Attached is the traffic study that was performed by Parsons Engineering. This study concludes that the engineers "do not anticipate the proposed location off Cabot Drive will create any traffic or safety concerns." We have also performed a Noise Impact Statement for the external speaker in the drive through which concludes that the noise levels will below those requirements in the ordinance.

We have also included the proposed ITC Easements that have been agreed upon with ITC.

With the approval of this site plan, we will be adding a highly anticipated amenity to the Haggerty Corridor Corporate Park. We look forward to a positive review from the Planning Commission and to continuing the development of our full-service, Class A Office Park.

Best Regards,



Joseph M. Drolshagen
Senior Vice President

Response Letter:

Planning: (These comments relate to the Comments in Planning Review Summary Chart as well as the Letter summary)

Retail Service Overlay Provisions (Sec. 2302A)

1. Hours of operation will be added to the site data.
2. Open space calculations will be indicated on the landscape plan. In addition a sheet titled 'Open Space Plan' will be included in the plan set per requirement.
3. A public hearing will be arranged by the City.
4. Outdoor seating will be added to the site plan. Trash receptacles will be added to the site plan in the outdoor seating area.
5. Additional Studies: Applicant requests a waiver of a full Traffic Study. Applicant's 6/3/13 Traffic Analysis Study done by Parsons indicates that a full study is not required. Applicant requests a waiver of a full Traffic Study.

Building setbacks (Sec. 2400):

1. North: this setback remains 45.52 feet. Applicant will seek a variance of 4.48 feet from the Zoning Board of Appeals

Parking setbacks (Sec. 2400):

1. West: Applicant will seek a variance of 5 feet from the Zoning Board of Appeals. It should be noted that the westerly property consists of the ITC land for its towers, driveway and bank branch, and the M-5 entrance ramp.
2. North: Applicant will seek a variance of 10 feet from the Zoning Board of Appeals. It should be noted that the property to the north is the parking lot and office building known as Haggerty Corporate Office Centre II (HCOC II), owned by an affiliate of the Applicant.
3. A 4" curb will be indicated wherever 17' parking spaces are proposed.
4. By Pass Lane (Sec 2506): Due to the size of the site a full by-pass lane cannot be provided. However, a bailout drive to HCOC II to the north has been included which we believe meets the intent of the requirement. (Starbucks, in their requirements, do not require a by-pass lane.) Applicant will seek a variance from the Zoning Board of Appeals.
5. The centerline radius of the drive thru lane will be added.
6. The dumpster enclosure will be relocated but will still require a variance from the Zoning Board of Appeals which Applicant will seek.
7. Photometric plan will be submitted at time of final site plan approval.

General: ITC Easements have been drawn up and agreed upon. We are awaiting final paperwork from ITC to complete this process

Engineering: All comments pertaining to final site plan/site engineering plans and will be addressed during full site engineering review. Specific comments are below.

General:

1. Note will be revised.
2. Comment Noted
3. Comment Noted.

Water Main:

- 4-5 Will be provided at Final Site plan.
6. Will be provided to Engineering for review.

Sanitary Sewer:

7. Final design and solution will be provided at Final Site plan

Storm Sewer:

- 8-9 Will be provided at Final Site plan

Storm Water Management Plan:

- 10-15 Will be provided at Final Site plan
16. Will be revised accordingly at Final Site Plan

Paving and Grading:

- 17-18 Will be Provided at Final Site plan
- 19 : Applicant respectfully disagrees. We do not anticipate walking traffic down this incline - sidewalks are conveniently located nearby.
- 20-22 Will be provided at Final Site plan.

Off-site easements:

23. ITC Easements have been drawn and written and agreed upon by both parties. We are waiting final paperwork from ITC and will submit prior to Final Site Plan Approval.
24. Ingress/Egress easement with Haggerty Corporate Office Centre II (-038) and Citizens Banking – First Merit (-063) will be provided.
25. Temporary Easement with ITC has been drawn and agreed upon and will be provided.
26. Comment Noted.

Items to be provided at Time of Final Site plan Submittal:

27. Letter will be provided indicating changes to plan and sheets will be highlighted.
28. Itemized cost estimate will be provided.
29. License agreement with ITC will be provided and submitted to Community Development

Items to be provided at time of Stamping Sets:

30. Executed Copy of Private Ingress/Egress Easement for shared use to parcel 50-22-400-063 (Citizens Bank –now First Merit – Bank branch will be submitted.
31. Temporary Construction easement will be provided.
- 32-34. All will be provided to Community Development Department.

Items to be provided prior to construction:

- 35-43 Comments noted

Traffic:

1. Due to the size of the site a by-pass lane cannot be provided. However, a bailout drive has been included to the property to the north that is owned by an affiliate of Applicant. The secondary access services the bank to the west, the HCOC IV and HCOC V offices buildings and continues to Cabot Drive to the north. We believe that this addresses all of

the traffic concerns for this .75 acre site. Starbucks had input into the design of the Bypass/bailout lane alternative and is happy with the design outcome.

2. Agree. Please note that the ITC Corporate headquarters across 12 Mile road to the southwest of the site is not expected to impact this site; ITC has a full cafeteria on its first floor with coffee service similar to a Starbucks type café as well as lunch/break rooms on each of its 6 floors that also serve coffee.
3. Applicant stands by the Traffic Study performed by Parsons. Starbucks newest store design increased the square footage slightly or 232 square feet which is less than 12.89%. The revised store layout was then fitted on the site and we worked with the city to minimize the variances of the site.
4. Applicant is requesting a waiver of the Traffic Study requirement – It has performed a study by Parsons that concludes that a full study is not warranted. In addition, per the Clearzoning “no improvements to the abutting roads are appropriate” i.e. the existing physical aspects of the intersection at Cabot Drive, the improvements at 12 Mile Road and M-5. The results and conclusions of further traffic studies would not provide any additional actionable information.
5. Applicant stands by the Traffic report performed by Parsons. To address the northbound return traffic, there are 4 points of access into the first phase of Haggerty Corridor Corporate Park: 12 Mile and Cabot, 12 Mile and the secondary “Bank Drive” (which runs through to HCOC IV and HCOC V and to Cabot Road to the north), access at 13 Mile Road and Cabot and at Lewis Drive and Haggerty. These are convenient return trip alternatives. The driveway to the west that has been provided in the plan is the key option that we have incorporated into the design. By turning right, tenants are able to easily head back north. In addition, from this point as well as from Cabot, a tenant may turn onto westbound 12 Mile Road and then right again onto northbound M-5 to the 13 Mile Road exit. It is a quick right onto Cabot Drive at that point. Many of our tenants choose the 13 Mile entrance into the park, and this will be a natural alternative to go northbound.
6. Applicant stands by the Traffic Study performed by Parsons and believes that providing walking access to serve the nearby employees and visitors to this location is an important goal of the retail Service Overlay that has been met with this plan
7. The Applicant stands by the calculations in the report done by the Parsons rather than conjecture and believe that there is not only adequate stacking on northbound Cabot Drive, but in combination with the ten car stacking in the drive-thru lane, the 29 car parking on site and other parking at nearby parking lots off-site, as well as the secondary access out of the site, that there will be no interference with the flow of traffic on Cabot Drive.
8. There were no observed back-ups. Cabot Drive access is not changed. See excerpt from report:

“Based on the results of this study, we do not anticipate the proposed location of the Cabot Drive access will create any traffic or safety concerns. This analysis showed the non-existent queues and the extensive number of gaps on southbound Cabot Drive in the morning peak hour, which is the peak hour of the proposed use, will not result in either delay to drivers leaving the site or creation of any queues in the northbound Cabot left turn lane. Furthermore, during the afternoon peak hour when the site will generate significantly less traffic than its peak morning hour (86 vehicles versus 204), northbound left turn queues are not expected to exceed the length of the Cabot left turn lane, nor will any turn movements be appreciably hindered by southbound queues from the signal. As a result, we see no need for any modifications to the street system, nor the need to restrict any of the movements at the Cabot Drive access.” In addition, the afternoon drive-home demand for coffee is far less than the morning demand. Per Traffic report – no back-ups anticipated during peak PM hours. “Thus, these movements are not expected to be hindered by the queues extending from 12 Mile Road. Furthermore, the volume of traffic projected to turn left out of the site in the afternoon peak hour is virtually non-existent.”

9. We agree with the consultants that the driveway spacing slightly exceeds (13.60%) what is required.
10. Agree.
11. The North Curb return of Access Drive encroachment of 13 feet will be permitted via a written certification of the adjacent property owner, which is an affiliated entity of the owner of this parcel.
12. Agree that the drive slightly exceeds (10%) the City’s standards (30’) for a commercial driveway.
13. The stop sign will be indicated on the plan.
14. The requested signs will be added to the plan.
15. The ramp will be added to the plan and will be detailed upon submittal of engineering plans.
16. The island adjacent to the drive thru lane will be modified to provide the 24 foot minimum drive.
17. Due to the size of the site a by-pass lane cannot be provided. However, a bailout drive has been included.
18. The curb lines will be modified to provide the 17 foot dimension from the end of the space to the face of the curb.
19. This curb line will be modified as requested.
20. This curb line will be modified as requested.
21. The pavement markings will be modified as requested.
22. The required colors of the pavement markings will be indicated on the parking detail.

23. The loading zone label will be removed and replaced with a note which indicates the size, color and spacing of the pavement markings.
24. The sign will be rotated.
25. The do not enter sign will be added to the site plan.
26. The sign designation will be added to the detail.
27. This note will be modified to point to the appropriate sign.
28. A sign quantity table will be added to the final site plan.

Landscape:

1. Parking Landscape (Sec 2509.3.c): Due to size of site and other requirements, we are unable to meet this requirement. A waiver of this requirement is requested from the Planning Commission. We have provided 74% of this requirement.
2. Building Foundation Landscape (Sec. 2509.3.d) Due to size of site and other requirements, we are unable to meet this requirement. A waiver of this requirement is requested from the Planning Commission. We have provided 70% of the requirement.
3. Irrigation plan will be submitted.

Fire:

1. Fire lane signs will be added to the secondary access drive.
2. The parking lot will be designed to accommodate 35 ton vehicles, this will be included with full engineering plans.
3. A hydrant will be included in the southwest corner of the site.

Joseph M. Drolshagen
June 3, 2013
Page 5 of 6

queues blocking traffic and the gaps were extensive; as a result, it is expected there will be virtually no queue in the left turn lane even with the projected left turn volume of 102 vehicles. During the afternoon peak hour, there are 35 vehicles expected to make this movement. Since this is on average only one vehicle every two minutes, it is clear there would be no risk of northbound left turns queuing into a through lane. Even on the outside chance that did occur, it should be noted the northbound through volume is extremely low and with a second northbound through lane, through traffic would not be obstructed in such a way as to create backups into 12 Mile Road.

Conclusions and Recommendations

Based on the results of this study, we do not anticipate the proposed location of the Cabot Drive access will create any traffic or safety concerns. This analysis showed the non-existent queues and the extensive number of gaps on southbound Cabot Drive in the morning peak hour, which is the peak hour of the proposed use, will not result in either delay to drivers leaving the site or creation of any queues in the northbound Cabot left turn lane. Furthermore, during the afternoon peak hour when the site will generate significantly less traffic than its peak morning hour (86 vehicles versus 204), northbound left turn queues are not expected to exceed the length of the Cabot left turn lane, nor will any turn movements be appreciably hindered by southbound queues from the signal. As a result, we see no need for any modifications to the street system, nor the need to restrict any of the movements at the Cabot Drive access.

Please feel free to contact us if you should have any questions.

Sincerely,

PARSONS



Joseph A. Marson, P.E., PTOE
Principal Associate

TRAFFIC ANALYSIS

June 3, 2013

Mr. Joseph M. Drolshagen
Sr. Vice President
Northern Equities Group
39000 Country Club Drive
Farmington Hills, MI 48331

RE: Traffic Analysis for the Proposed Starbucks Coffee Shop, Novi, Michigan

Dear Mr. Drolshagen:

Parsons has conducted a traffic analysis for the proposed Starbucks Coffee shop in Novi, Michigan. The Starbucks' site is in the northwest quadrant of 12 Mile Road and Cabot Drive, just east of M-5. The proposed coffee shop will be 2,032 square feet and will have a drive through window. The site plan, by TDJ Consulting, Inc. dated June 3, 2013, shows two driveways, one located on Cabot drive approximately 170 feet north of 12 Mile Road and the other via the existing Citizens Bank access road to the west, which provides access to 12 Mile Road and also leads to Cabot Drive to the north via parking lots for other businesses. The Cabot Drive access would provide full access for all turning movements; it would appear this drive could be moved northerly so the driveway radius overlaps the property to the north, thus allowing improved alignment with the office driveway across Cabot Drive. Cabot Drive is controlled by a traffic signal at 12 Mile Road, while the bank access road is controlled by a stop sign at 12 Mile Road and operates as a right-in/right-out drive.

The purpose of this analysis was to identify if drivers entering or exiting the site at Cabot Drive would be adversely affected as a result of backups (queues) from the signal or the available gaps in traffic during peak morning and afternoon hours. The following describes the data collection, analysis, results and recommendations as a result of this study.

Trip Generation

The estimated number of generated trips by a development is typically calculated based on rates published by Institute of Transportation Engineers (ITE) in *Trip Generation*, 9th Edition. The *Trip Generation* land use category No. 937 - Coffee/Donut Shop with Drive-Through Window was used to determine the estimated number of AM and PM peak hour trips from the Starbucks. Pass-by trips were also calculated in this analysis for informational purposes. Pass-by trips are "trips made as intermediate stops on the way from an origin to a primary trip destination; for example, someone on their way to work in the morning traveling 12 Mile Road stopping at Starbucks to get a cup of coffee. The pass-by rate, pass-by trips, and the projected weekday peak-hour net new traffic volumes for the 2,032 square foot proposed coffee shop are shown in Table 1. The estimated total *new* trips that would be generated were used in the subsequent analyses.



Table 1: Projected Weekday Peak-Hour Site-Generated Trips

Development	Trip Type	A.M. Peak Hour			P.M. Peak Hour		
		Entering	Exiting	Total	Entering	Exiting	Total
Coffee Shop with Drive-Through Window (2,032 SF)	Total Trips	104	100	204	43	43	86
	Pass-by Trips* (40%)	(-42)	(-40)	(-82)	(-17)	(-17)	(-34)
	Total Net New Retail Trips	62	60	122	26	26	52

*Value based on "Evaluating Traffic Impact Studies: A Recommended Practice for Michigan Communities."

An estimate of the distribution of the trips associated with the proposed project was made based on 2012 traffic counts by the Road Commission for Oakland County (RCOC) in conjunction with past turning movement data conducted for Cabot Drive contained in the report titled "A Traffic Impact Study of the Proposed New ITC Holding Corporation Headquarters" by Birchler Arroyo Associates, Inc. (now known as Clearzoning) dated October 2006. Most traffic will come from and go to 12 Mile Road via either Cabot Drive or the Citizens Bank access road. The results of the distribution analysis for the Cabot Road driveway are shown in Table 2 along with the estimated traffic volume based on the trip generation information in Table 1. The remaining traffic will access the drive via the Citizens Bank access road.

Table 2: Projected Cabot Drive Peak Hour Turning Movements

Movement	A.M. Peak Hour		P.M. Peak Hour	
	Percent	Volume	Percent	Volume
Northbound Left In	98%	102	81%	35
Southbound Right In	1%	1	18%	8
Eastbound Left Out	16%	16	1%	1
Eastbound Right Out	43%	43	49%	21

Gap and Queue Analysis at Proposed Cabot Drive Access

The ability of traffic to turn into or out of the proposed drive is affected by the number of gaps in Cabot Drive traffic as well as the influence of southbound Cabot Drive queues that build from the traffic signal at 12 Mile Road that may block the driveway. The outbound left-turning movement from the Starbucks' drive onto Cabot Drive and the inbound (northbound) Cabot Drive left turn into Starbucks' drive would be the movements most affected by the availability of *gaps* in the Cabot Drive traffic stream. All movements would be affected by queues extending beyond the proposed driveway.

Gap Study Discussion

It may be seen in Table 2 above the outbound left turn movements are extremely low. Thus, in terms of gaps, the availability of gaps is most critical for the inbound (northbound) left turning vehicles.

Typically, gaps of 6 to 9 seconds in length between successive vehicles are needed to allow the entry of one vehicle into the traffic stream. Longer gaps can accommodate more vehicles; for example, gaps of 14 to 16 seconds in length can typically accommodate three vehicles. When the number of gaps of various sizes are multiplied by the number of vehicles each size gap can accommodate, and the results are totaled, they are referred to as the total effective gaps. If the total number of effective gaps is about twice the number of vehicles entering the roadway, no traffic control or restrictions are likely to be needed.

Parsons conducted a gap study and a queue study on southbound Cabot Drive at the location of the proposed Starbucks' drive during the 7:30-8:30 AM and 5:00-6:00 PM peak hours on Tuesday, May 28, 2013. The results of both surveys are attached.

The results of the gap survey and calculation of the number of total effective gaps are presented in Table 3.

Table 3: Southbound Cabot Drive Gap Survey Results

Gap Length	A.M. Peak Hour			P.M. Peak Hour		
	Number of Gaps	Gap Factor	Total Effective Gaps	Number of Gaps	Gap Factor	Total Effective Gaps
6 – 9 seconds	1	1	1	9	1	9
10 – 13 seconds	3	2	6	2	2	4
14 – 16 seconds	0	3	0	1	3	3
17 – 19 seconds	2	4	8	2	4	8
20 – 22 seconds	2	5	10	2	5	10
> 22 seconds ⁽¹⁾	28	6	168	44	6	264
Total:	36		193	60		298

⁽¹⁾ Many of the morning and afternoon peak hour gaps in the greater than 22 seconds category were actually significantly greater than that; many were greater than 99 seconds. The limitations of the gap counting machine precluded identification of the length of these larger gaps.

For the morning peak hour it was found that there were 36 gaps greater than six seconds (or 193 effective gaps). The number of northbound left turns projected during the morning peak hour is 102 vehicles. And since most of the gaps larger than 22 seconds were much greater than that, it is clear there will be more than adequate gaps in morning traffic to accommodate the proposed site traffic.

For the afternoon peak hour it was found that there were 60 gaps greater than six seconds (or 298 effective gaps). The number of northbound left turns projected during the afternoon peak hour is 35 vehicles. Thus, there are also more than adequate gaps in traffic for the afternoon peak hour.

Queue Study Discussion

The queue study was completed at the same time as the gap study. The queue study identified the *maximum* number of vehicles stacked for each traffic signal cycle for each of the southbound lanes. Since the traffic signal is actuated, the cycle length can vary in length. It was observed in the field that the number of vehicles that could back up in either of the two southbound lanes was six (6) before the queue would begin to block the proposed driveway. Although it would appear, based on

the distance from the stop bar to the south edge of the driveway, only five vehicles could stack before extending into the driveway, field observations found it was actually between six and seven vehicles. The reason for this was in part due to where drivers stop at the signal. The stop bar is about 40 feet from the northerly westbound through lane of 12 Mile Road; since all drivers are looking for opportunities to turn right on red, they invariably pull up to where visibility is best and to minimize delay in taking advantage of turning right on red.

It was also observed, and as evidenced by the data, that the backups typically are longer in the right lane than the left lane, since most drivers appear to be destined for M-5, for which both M-5 ramps are located on the north side of 12 Mile Road. Typically the southbound Cabot Drive queue builds starting at the time the signal turns from green to red and slowly builds until shortly after the light turns green again, at which time it begins to dissipate.

The detailed results of the queue study are attached and a summary is presented in Table 4.

Table 4: Summary of Queue Study Results

Length of Maximum Queue	No. of Signal Cycles			
	A.M. Peak Hour		P.M. Peak Hour	
	Left Lane	Right Lane	Left Lane	Right Lane
More than six vehicles	0	0	3	13
Six vehicles or less	45	45	28	18

It may be seen from Table 4 for the morning peak hour, which is the peak period for the Starbucks traffic generation, that there were no occurrences of queues longer than six vehicles in either of the two lanes. In fact, there were never any queues, since southbound Cabot Drive traffic was extremely low in volume and either arrived on a green signal or made a stop and turned right on red.

During the afternoon peak hour, the left lane queued to more than six vehicles during only three of the 31 cycles observed. Since more traffic is destined to M-5 in the afternoon, the right turn lane had more frequent and longer queues; the queue extended to more than six vehicles 13 times during the peak hour. Most of these occurred soon after the half hour mark (5:00 PM and 5:30 PM), consistent with quitting times. Although it would appear on the surface the percent of time the right lane would block traffic is significant, in reality these queues only extended beyond the drive during the tail end of the traffic signal cycle, since the queue does not exist throughout the signal cycle. This was evident from the gap study for the afternoon peak hour that showed almost 300 effective gaps. During the afternoon peak hour the highest turning movements at the driveway are expected to be the northbound left turn in with 35 vehicles and eastbound right turn out (21 vehicles). Thus, these movements are not expected to be hindered by the queues extending from 12 Mile Road. Furthermore, the volume of traffic projected to turn left out of the site in the afternoon peak hour is virtually non-existent.

The adequacy of the northbound Cabot Drive center left turn lane storage length for the peak hours was considered. Based on our estimate of the where left turning drivers would queue, the storage length would allow for three vehicles waiting to turn left before extending into the left of the two northbound lanes. During the morning peak hour, as discussed earlier, there were no

Joseph M. Drolshagen
June 3, 2013
Page 5 of 6

queues blocking traffic and the gaps were extensive; as a result, it is expected there will be virtually no queue in the left turn lane even with the projected left turn volume of 102 vehicles. During the afternoon peak hour, there are 35 vehicles expected to make this movement. Since this is on average only one vehicle every two minutes, it is clear there would be no risk of northbound left turns queuing into a through lane. Even on the outside chance that did occur, it should be noted the northbound through volume is extremely low and with a second northbound through lane, through traffic would not be obstructed in such a way as to create backups into 12 Mile Road.

Conclusions and Recommendations

Based on the results of this study, we do not anticipate the proposed location of the Cabot Drive access will create any traffic or safety concerns. This analysis showed the non-existent queues and the extensive number of gaps on southbound Cabot Drive in the morning peak hour, which is the peak hour of the proposed use, will not result in either delay to drivers leaving the site or creation of any queues in the northbound Cabot left turn lane. Furthermore, during the afternoon peak hour when the site will generate significantly less traffic than its peak morning hour (86 vehicles versus 204), northbound left turn queues are not expected to exceed the length of the Cabot left turn lane, nor will any turn movements be appreciably hindered by southbound queues from the signal. As a result, we see no need for any modifications to the street system, nor the need to restrict any of the movements at the Cabot Drive access.

Please feel free to contact us if you should have any questions.

Sincerely,

PARSONS



Joseph A. Marson, P.E., PTOE
Principal Associate

ATTACHMENTS

GAP SURVEY DATA
QUEUE SURVEY DATA

PARSONS

26777 Central Park Blvd, Suite 275

Southfield, Michigan 48076

248-936-1150

File Name : GapStudy_AM_Cabot

Site Code : Cabot Dr

Start Date : 5/28/2013

Page No : 1

Directions Printed: Southbound

Start Time	Volume	2 - 3	4 - 5	6 - 7	8 - 9	10 - 11	12 - 13	14 - 15	16 - 17	18 - 19	20 - 21	22 - 23	24 - 25	26 - 27	28 - 29	>29	Int. Total	Average
7:30:00 AM	7	0	1	0	0	0	0	0	0	0	0	1	0	0	0	5	7	>29
7:45:00 AM	11	0	1	0	0	0	0	0	0	1	0	0	0	0	1	8	11	>29
8:00:00 AM	14	0	0	0	1	0	2	0	0	0	0	1	0	0	0	8	12	>29
8:15:00 AM	2	0	0	0	0	0	1	0	0	1	0	0	0	0	0	6	8	>29
Grand Total	34	0	2	0	1	0	3	0	0	2	0	2	0	0	1	27	38	>29
Total %		0.0	5.3	0.0	2.6	0.0	7.9	0.0	0.0	5.3	0.0	5.3	0.0	0.0	2.6	71.1		

PARSONS

26777 Central Park Blvd, Suite 275
 Southfield, Michigan 48076
 248-936-1150

File Name : GapStudy_PM_Cabot

Site Code : Cabot Dr

Start Date : 5/28/2013

Page No : 1

Directions Printed: Southbound

Start Time	Volume	2 - 3	4 - 5	6 - 7	8 - 9	10 - 11	12 - 13	14 - 15	16 - 17	18 - 19	20 - 21	22 - 23	24 - 25	26 - 27	28 - 29	>29	Int. Total	Average
5:00:00 PM	0	2	0	0	1	1	0	1	0	1	0	0	0	0	1	8	15	>29
5:15:00 PM	1	4	0	3	1	0	0	0	0	0	0	1	1	0	0	9	19	24 - 25
5:30:00 PM	3	1	0	0	1	0	1	0	0	0	0	0	2	1	1	11	18	>29
5:45:00 PM	0	2	0	3	0	0	0	0	0	1	1	1	0	1	1	8	18	28 - 29
Grand Total	4	9	0	6	3	1	1	1	0	2	1	2	3	2	3	36	70	>29
Total %		12.9	0.0	8.6	4.3	1.4	1.4	1.4	0.0	2.9	1.4	2.9	4.3	2.9	4.3	51.4		

Location: SB Cabot Drive at 12 Mile Road, Novi, Michigan

Day/Date: Tuesday, May 28, 2013

Time: 7:30-8:30 AM

Survey by: JAM

Weather: Cloudy / 54 deg.

Cycle No.	Maximum Backup (no. of vehicles)		Cycle No.	Maximum Backup (no. of vehicles)	
	Left Lane	Right Lane		Left Lane	Right Lane
1	0	0	25	0	0
2	0	0	26	0	0
3	0	0	27	0	0
4	0	0	28	0	0
5	0	0	29	0	0
6	0	0	30	0	0
7	0	0	31	0	0
8	0	0	32	0	0
9	0	0	33	0	0
10	0	0	34	0	0
11	0	0	35	0	0
12	0	0	36	0	0
13	0	0	37	0	0
14	0	0	38	0	0
15	0	0	39	0	0
16	0	0	40	0	0
17	0	0	41	0	0
18	0	0	42	0	0
19	0	0	43	0	0
20	0	0	44	0	0
21	0	0	45	0	0
22	0	0	46		
23	0	0	47		
24	0	0	48		

Location: SB Cabot Drive at 12 Mile Road, Novi, Michigan

Day/Date: Tuesday, May 28, 2013

Time: 5:00-6:00 PM

Survey by: AUM

Weather: Occasional light rain

Cycle No.	Maximum Backup (no. of vehicles)		Cycle No.	Maximum Backup (no. of vehicles)	
	Left Lane	Right Lane		Left Lane	Right Lane
1	1	5	25	2	0
2	4	8	26	0	3
3	4	12	27	0	3
4	3	13	28	0	5
5	7	19	29	0	0
6	3	10	30	0	2
7	0	4	31	1	3
8	7	11	32		
9	1	3	33		
10	4	7	34		
11	0	3	35		
12	1	6	36		
13	1	4	37		
14	1	6	38		
15	2	8	39		
16	3	8	40		
17	2	6	41		
18	4	10	42		
19	8	8	43		
20	1	7	44		
21	4	7	45		
22	4	6	46		
23	0	3	47		
24	1	0	48		

SITE PLAN



PROPOSED SITE PLAN

SCALE: 1" = 20'



NORTHERN
EQUITIES
GROUP



FAUDIE
ARCHITECTURE
12000 WOODLAND DRIVE
SUITE 100
ANN ARBOR, MI 48106
734.769.1100
www.faudie.com

STARBUCKS COFFEE COMPANY
12 MILE ROAD / CABOT DRIVE, NOVI, MI

DATE: 12-1-10
ISSUE: 12-1-10
DRAWN BY: [blank]
CHECKED BY: [blank]
PROJECT NO.: 12-100
DATE: 9/10/11
SHEET NO.: 1
UNIT: PS&P-1

MAPS
Location
Zoning
Future Land Use
Natural Features

Starbucks JSP13-38

Location

Subject Property

Cabot Drive

Twelve Mile Road

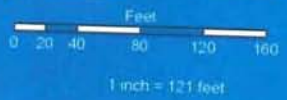
Map Author: Kristen Kopelanski
Date: 06-18-13
Project: Starbucks JSP13-38
Version #: 1.0

Map Legend
Subject Property



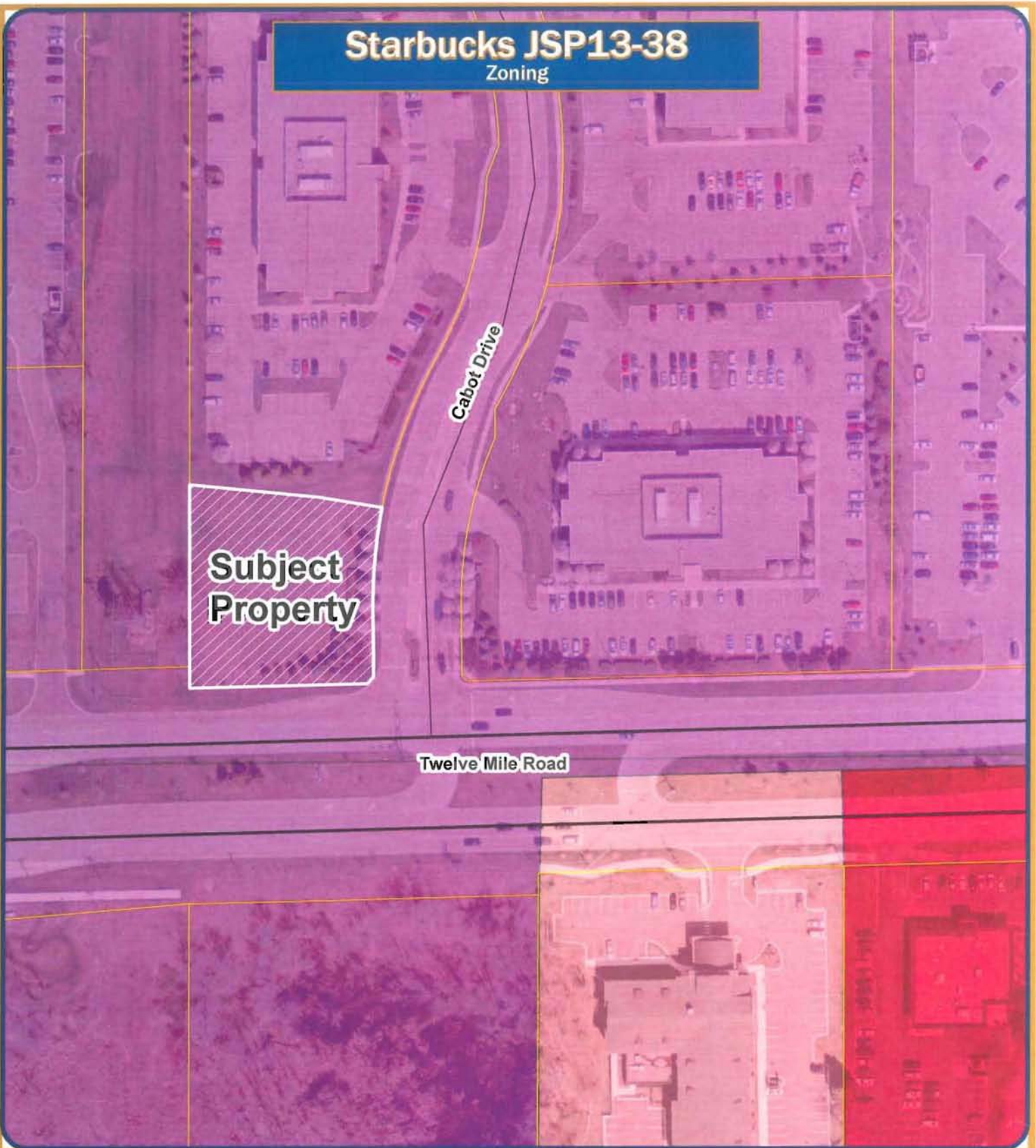
City of Novi
Planning Division
Community Development
45175 W Ten Mile Rd
Novi, MI 48375
cityofnovi.org

MAP INTERPRETATION NOTICE
Map information depicted is not intended to replace or substitute for any official or primary source. This map was prepared to meet National Map Accuracy Standards and was the most recent available source available to the people of the City of Novi. Boundary inaccuracies and data omissions are apparent and should not be considered as errors or omissions. Information is derived from Michigan Surveyors as defined in Michigan Public Act 237 of 1976 as amended. Please contact the City GIS Manager to confirm source and accuracy information related to this map.



Starbucks JSP13-38

Zoning



Subject Property

Cabot Drive

Twelve Mile Road

Map Author: Kristen Kapolanski
 Date: 06-18-13
 Project: Starbucks JSP13-38
 Version #: 1.0

Map Legend

-  Subject Property
-  B-2: Community Business District
-  B-3: General Business District
-  OST: Office Service Technology



City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 121 feet

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Starbucks JSP13-38

Future Land Use

Subject Property

Cabot Drive

Twelve Mile Road

- Map Legend**
-  Subject Property
 -  Office RD Tech
 -  Community Commercial
 -  Utility



City of Novi
 Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
cityofnovi.org



1 inch = 121 feet

Map Author: Kristen Kapelanski
 Date: 06-18-13
 Project: Starbucks JSP13-38
 Version #: 1.0

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Starbucks JSP13-38

Natural Features

Subject Property

Cabot Drive

Twelve Mile Road

Map Author: Kristen Kapelanski
 Date: 06-18-13
 Project: Starbucks JSP13-38
 Version #: 1.0

Map Legend

-  Subject Property
-  Wetlands
-  Woodlands

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City of Novi

Planning Division
 Community Development
 45175 W Ten Mile Rd
 Novi, MI 48375
 cityofnovi.org



1 inch = 121 feet

SUPPORT LETTERS FROM
OFFICE PARK OCCUPANTS

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

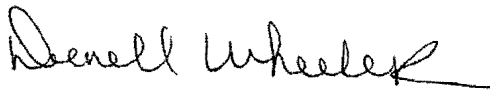
Dear Ms. McBeth:

I work for Ecolab, Inc. and our offices are located at 28550 Cabot Drive Ste. 100 Novi, Mi. 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Denell Wheeler
28550 Cabot Drive Ste. 100
Novi, Mi 48377



February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work at ShindelRock and our offices are located at 28100 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Michelle DeBerry
ShindelRock
28100 Cabot Drive, Ste. 102
Novi, MI 48377

CABOT DRIVE
COFFEE
HOUSE PUBLIC
REVIEW/COMMENT
LETTERS.



February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

David Shindel

David Shindel
ShindelRock
28100 Cabot Drive, Ste. 102
Novi, MI 48377

February 9, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for The Arts Institute of Michigan and our offices are located at 28125 Cabot Dr. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Dave Wertheimer 

Dave Wertheimer
Ai Michigan
28125 Cabot Drive
Novi MI 48377



February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Ecolab and our offices are located at 28550 Cabot Drive, Suite 100, Novi, Michigan. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Mary Giese
Field Support Supervisor
Eastern Great Lakes Area
Ecolab Inc.
28550 Cabot Drive - Suite 100
Novi, MI 48377
T 248.697.0210
F 248.697.0230
mary.giese@ecolab.com

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

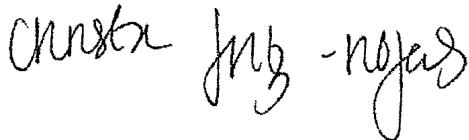
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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in black ink that reads "Christa Fritz-Nogas". The signature is written in a cursive, flowing style.

Christa Fritz-Nogas
28550 Cabot Drive #100
Novi, MI 48377

AGC Automotive Americas Co.
Detroit Sales Office
28850 Cabot Drive
Suite 1100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for AGC Automotive Americas and our offices are located at 28850 Cabot Drive, Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Karen Smith
AGC Automotive Americas
28850 Cabot Drive, Suite 1100
Novi, MI 48377

February 08, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for AGC Automotive Americas and our offices are located at 28850 Cabot Drive, Suite 1100, Novi, MI. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Janet Twydell
AGC Automotive America
28850 Cabot Drive, Suite 1100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Farmers Insurance Group and our offices are located at 28850 Cabot Drive, Ste 100, Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

Leslie Willis

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

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Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

MARY ORR

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

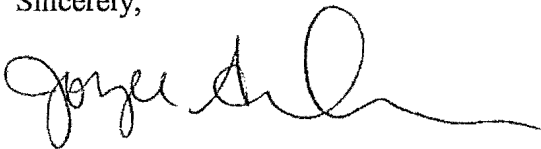
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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in black ink, appearing to read "Joyce Armbruster". The signature is fluid and cursive, with a long horizontal flourish extending to the right.

28850 Cabot Drive, Ste 100
Novi, MI 48377

Joyce Armbruster

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

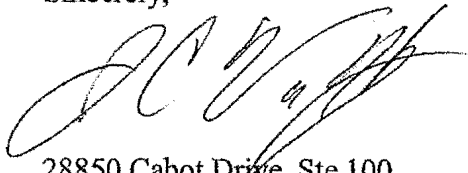
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Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

Jason VanHoey

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

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Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

Craig Babiarz

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

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Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

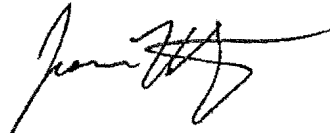
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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely, *Jan Hetzner*



28850 Cabot Drive, Ste 100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375


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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Andrew Jadlo

28850 Cabot Drive, Ste 100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

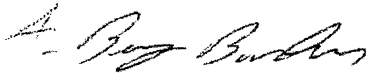
Dear Ms. McBeth:

I work for Farmers Insurance Group and our offices are located at 28850 Cabot Drive, Ste 100, Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377
A. Benjamin Barker

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

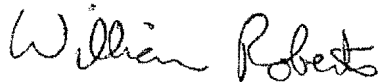
Dear Ms. McBeth:

I work for Farmers Insurance Group and our offices are located at 28850 Cabot Drive, Ste 100, Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

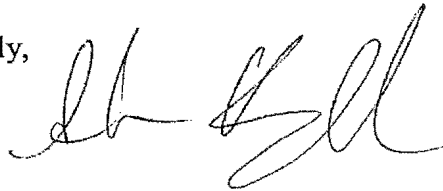
Dear Ms. McBeth:

I work for Farmers Insurance Group and our offices are located at 28850 Cabot Drive, Ste 100, Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377

Adam Ringwald

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

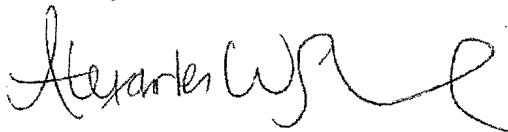
Dear Ms. McBeth:

I work for Farmers Insurance Group and our offices are located at 28850 Cabot Drive, Ste 100, Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



28850 Cabot Drive, Ste 100
Novi, MI 48377
Alexander W Sherwood

The Art Institute of Michigan

February 14, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

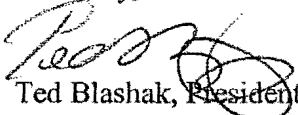
Dear Ms. McBeth:

I work for the Art Institute of Michigan and our offices are located at 28125 and 28175 Cabot Drive, Novi Michigan. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For our faculty, staff, students, visitors to the gallery, and general business meetings, it would be convenient to have a source closer allowing our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I, and my staff, only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. Our support staff and students would also patronize the coffee shop in the morning going to and from classes.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Ted Blashak, President
The Art Institute of Michigan
28125 Cabot Drive, Suite 120
Novi, MI 48377



Financial
Architects, Inc.

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mil Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Melissa Scheib

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331



**Financial
Architects, Inc.**

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mil Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331



**Financial
Architects, Inc.**

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331



**Financial
Architects, Inc.**

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331



Financial
Architects, Inc.

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mil Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331



**Financial
Architects, Inc.**

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331



**Financial
Architects, Inc.**

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mil Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Financial Architects, Inc. and our offices are located at 39395 W. 12 Mile Road. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possible prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Financial Architects, Inc.
Suite 102
39395 West 12 Mile Road
Farmington Hills, MI 48331

Nabtesco

Nabtesco Motion Control Inc.
28850 Cabot Drive, Suite 300
Novi, Michigan 48377

www.nabtescomotion.com
Phone : (248) 553-3020
Fax : (248) 553-3070
Toll Free : (866) 74-TOUGH

February 27, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

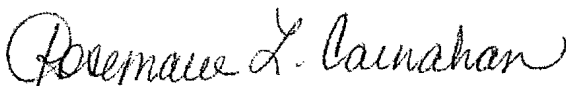
Dear Ms. McBeth:

I work for Nabtesco Motion Control, Inc. and our offices are located at 28850 Cabot Drive, Suite 300. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Rosemarie L. Carnahan
Office Manager
Nabtesco Motion Control, Inc.
28850 Cabot Drive, Suite 300
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Freescale Semiconductor and our offices are located at 28125 Cabot Drive, Suite 100. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in black ink, appearing to read "J Shelly". The signature is fluid and cursive, with a large, sweeping flourish at the end.

Jamie Shelly
Freescale Semiconductor
28125 Cabot Drive, Suite 100
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375


Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Freescale and our offices are located at 28125 Cabot Dr. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Peg Lawson
Freescale
28125 Cabot Dr.
Novi, Mich 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

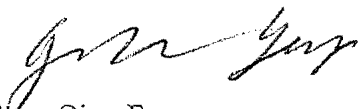
Dear Ms. McBeth:

I work for Freescale and our offices are located at 28125 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Ghan Qing Feng
Suite 100
28125 Cabot Drive
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375


Dear Ms. McBeth:

I work for Freescale Semiconductor and our offices are located at 28125 Cabot Drive, Novi, MI. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Donna Donnelly

{Your name}

{Office Address}

28125 CABOT DR ST100
NOVI, MI 48377



CITIZENS
BANK

February 20, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

We are employees of Citizens Bank, and our office is located at 28001 Cabot Drive. It is our understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. This would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. It would also be a great time saver for those employees who only have an hour for lunch as it is almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. Our group would also patronize the coffee shop in the morning.

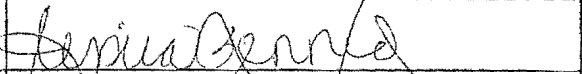
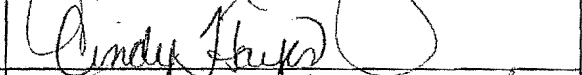
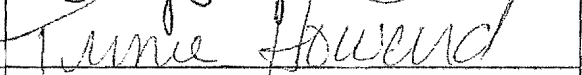



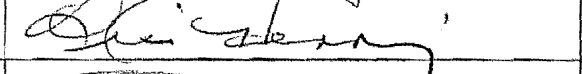


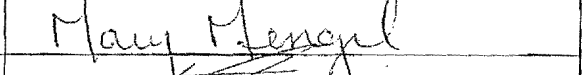

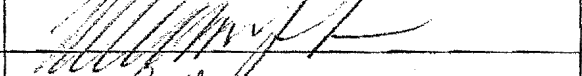
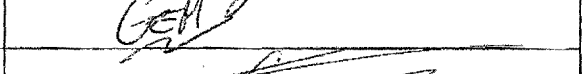


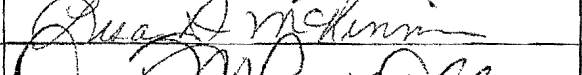
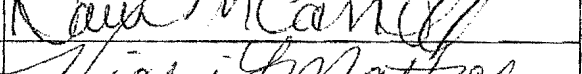


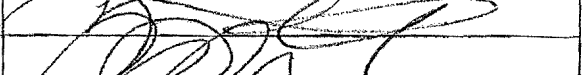
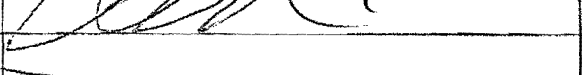
We appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Citizens Bank
Novi Hub



NAME - PLEASE PRINT	SIGNATURE
Mary Paul	M. Paul
BRAE FAUBEL	B. Faubel
Kate Ritter	Kate Ritter
KILEE JOHNSON	Kilee M. Johnson
CASSANDRA Kelsey	C. Kelsey
SASON BARTETT	S. Bartett
Travis Jackson	Travis Jackson
KIRK ANDERSON	Kirk Anderson
Adele Stallworth	Adele Stallworth
Tari Schwartz	Tari Schwartz
Peter Lambropoulos	Peter Lambropoulos
Marc Ritter	Marc Ritter
TOOD FROO	Tood Froo
JOHN MCCLEAR	John McClear
SANDRA MISRESSE	Sandra Misresse
CARIS LUNDZ	Caris Lundz
William Sanders	William Sanders
John L. Klehm	John L. Klehm
TIM DEIGGS	Tim Deiggs
Stacy Sant	Stacy Sant
ANN M Williams	Ann M Williams
TIMOTHY J. COLLINS	Timothy J. Collins
HUGH PORTER	Hugh Porter
Denise Schwartz	Denise Schwartz

NAME - PLEASE PRINT	SIGNATURE
Jessica Kennedy	
Cindy Hayes	
Trinie Howard	
ANGELA YATES	
Matthew Dant	
TODD CRYSLER	
LISA HENNING	
Brian Fix	
Steven P. Peacock	
MARY MENDEL	
Todd A. Seehase	
Matt Nelson	
George March	
Mark Mactala	
William Johnson	
LISA D. MCKINNON	
Dawn Carroll	
Vicki Mattioli	
Peggy Cummins	
Marvin Rankin	
Key Kassa	

FANNING HOWEY

February 25, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

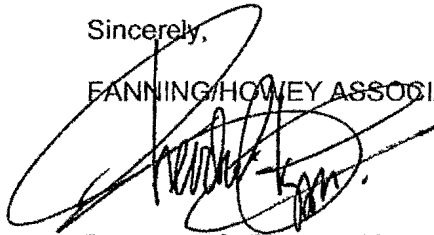
I work for Fanning Howey Associates, Inc. and our offices are located at 28001 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

FANNING/HOWEY ASSOCIATES, INC.



Theodore G. Pappas, AIA
Executive Director, Principal

tgp/klw

enclosure(s)

ARCHITECTURE | ENGINEERING

28001 Cabot Drive | Suite 110 | Novi, MI 48377
248.848.0123 | fax 248.848.0133 | www.fhai.com

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

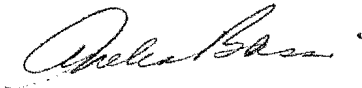
Dear Ms. McBeth:

I work for Shindel, Rock, & Associates, P.C. and our offices are located at 21800 Cabot Dr, Suite 102, Novi, Mi 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

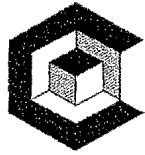
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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Amelia Bassi
28100 Cabot Dr #102
Novi, Mi 48377



CORNERSTONE
Environmental Group, LLC

39395 W. Twelve Mile Road, Suite 103 • Farmington Hills, MI 48331 • (877) 633-5520 • Fax: (248) 994-5456

February 19, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Re: Proposed Siting a Coffee Shop or Equivalent at 12 Mile and Cabot Drive

Dear Ms. McBeth:

I am the principal in charge of the Farmington Hills office the engineering firm of Cornerstone Environmental Group, LLC. Our office is located at the intersection of 12 Mile Road and Haggerty and we are immediately adjacent to the City of Novi. Since we opened this office in July 2006 we have been requesting our landlord, the Northern Equities Group, to open a Starbucks or its equivalent somewhere near this intersection. Many of us live north of our office and refuse to drive to Novi Road or Orchard Lake Road to reach the closest Starbucks. There are Panera Breads closer but the quality of their product is not what we desire.

It is my understanding that Northern Equities Group has submitted plans to the City of Novi for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. We are optimistic that Northern Equities Group will be able to convince Starbucks or another high end coffee retailer to locate in this area. This use is a **necessary** addition to the area and will be highly trafficked.

We use businesses such as Starbucks for informal offsite meetings when we need a more casual atmosphere or need an opportunity think creatively. This would have great advantages for my employees, our clients and myself personally and I envision patronizing it regularly.

We appreciate your consideration and we look forward to the opening of a coffee shop at this location shortly so we can spend our money in Novi.

Sincerely,

Cornerstone Environmental Group, LLC

Adam Larky, P.E.
Office Manager

cc: Brian Hughes – Northern Equity Group

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

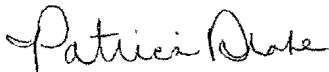
I work for the Timken Corporation and our offices are located at 28775 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Patricia Drake



Patricia Drake
28875 Cabot Drive
Novi, MI 48377



CITIZENS
BANK

Commercial Real Estate Department

James D. Misaros Phone: (248) 324-8506
Vice President Fax: (248) 324-8529
Suite 250, 28001 Cabot Dr., Novi, MI 48377
Email: james.misaros@citizensbanking.com

Citizens Bank - Michigan's Largest State
Headquartered, Full Service Bank

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Citizens Bank and our offices are located at 28001 Cabot Dr. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

James D. Misaros
Citizens Bank
Suite 250
28001 Cabot Dr.
Novi, MI 48377

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

We work for Preh Inc. and our offices are located at 28850 Cabot Dr. Ste 1300. It is our understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. We believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, We think it would be a great time saver as many of us only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. We would also patronize the coffee shop in the morning.

We appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Jennifer D. Mable
Robert Eckhardt
Laura Cigggett
Christina Raschke
Christian Raschke

Janice Weber
Dej
By Jan

EGOMEZ
Nick

Preh Inc.
28850 Cabot Dr. Ste. 1300

Lydall Thermal/Acoustical
North American Automotive
Sales and Technical Center

28875 Cabot Drive
Suite 900
Novi, Michigan 48377

Telephone 248 277-4900
Facsimile 248 536-5599
www.lydall.com



February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I represent Lydall Thermal/Acoustical, Inc with offices located at 28875 Cabot Drive, Suite 900. We are a new business resident of Novi, having relocated here from Troy, MI. We are in the process of relocating additional resources from our North Carolina development facility to our new technical center in Northern Equities' Haggerty Corridor Corporate Park. Our presence and growth, as an automotive supplier, is atypical of the business climate in this region. Rather than downsizing, we are investing in our future here in Novi. We are excited to be part of the Novi community and look forward to building a partnership with the City of Novi as we continue in our investments.

It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. I think it would be a great time saver as our service to our customers is important, our individual lunch time is limited, and it would minimize the time necessary to drive outside the office park on busy roads to get coffee/lunch/snacks in a timely manner. I, personally, as well as our customers and employees, would also patronize the coffee shop in the morning hours as well.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in black ink, appearing to read 'Douglas J. Kröll', written over a horizontal line.

Douglas J. Kröll
Vice President - Engineering
Office: (248) 277-4930

Cabot Technology Centre
28850 Cabot Drive • Suite 900
Novi, MI 48377-2955
248/449-9000
Fax: 248/449-9001

RLM Environmental Services

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for RLM Environmental Services/RLM Global Services and our offices are located in the Cabot Technology Centre at 28850 Cabot Drive Suite 900. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Linda VanVliet

Cabot Technology Centre
28850 Cabot Drive • Suite 900
Novi, MI 48377-2955
248/449-9000
Fax: 248/449-9001

RLM Environmental Services

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

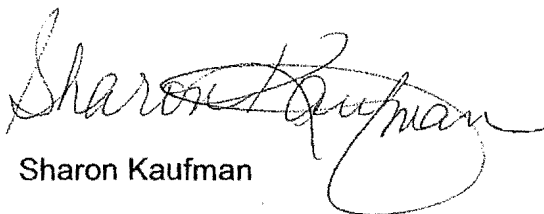
Dear Ms. McBeth:

I work for RLM Environmental Services and our offices are located at 28850 Cabot Dr. Suite 900. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,


Sharon Kaufman

RLM Environmental Services

Cabot Technology Centre
28850 Cabot Drive • Suite 900
Novi, MI 48377-2955
248/449-9000
Fax: 248/449-9001

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for RLM Environmental Services and our offices are located at 28850 Cabot Dr. Suite 900 Novi, Michigan. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



John Saksa
28850 Cabot Drive
Suite 900
Novi, Michigan 48377-2955

February 12th, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for the Timken Company and our offices are located at 28875 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Christina Patrick
The Timken Company
28875 Cabot Drive
Novi, MI 48377

Cabot Technology Centre
28850 Cabot Drive • Suite 900
Novi, MI 48377-2955
248/449-9000
Fax: 248/449-9001

RLM Environmental Services

February 9, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for RLM Environmental Services and our offices are located at 28850 Cabot Drive, Novi. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Linda Mortz
President
RLM Environmental Services



Foamex

Foamex International Inc.
28700 Cabot Drive, Suite 500
Novi, MI 48377
248.553.1010
248.553.1040 Fax

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Foamex and our offices are located at 28700 Cabot Drive, Suite 500 in Novi. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

We often need catering and meal brought in and would love to have a closer option for such light meals. For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner.

I would also patronize the coffee shop in the morning. I come into the area around 6:30 or 7:00 in the morning and some places are not even open at that time.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Lyn Hewitt
Human Resource Coordinator
Foamex International



February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for SSDC-Disability Services. Our offices are located at 28125 Cabot Drive, Novi 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

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I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in cursive script that reads "Rita Rousseau".

Rita Rousseau

28125 Cabot Drive, Suite 201
Novi, MI 48377
Rita.rousseau@assurant.com
Phone (248) 344-4444 ext 282
Fax (248) 344-1623



Lydall Thermal/Acoustical
North American Automotive
Sales and Technical Center

28875 Cabot Drive
Suite 900
Novi, Michigan 48377

Telephone 248 277-4900
Facsimile 248 536-5599
www.lydall.com



February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I represent Lydall Thermal/Acoustical, Inc with offices located at 28875 Cabot Drive, Suite 900. We are a new business resident of Novi, having relocated here from Troy, MI. We are in the process of relocating additional resources from our North Carolina development facility to our new technical center in Northern Equities' Haggerty Corridor Corporate Park. Our presence and growth, as an automotive supplier, is atypical of the business climate in this region. Rather than downsizing, we are investing in our future here in Novi. We are excited to be part of the Novi community and look forward to building a partnership with the City of Novi as we continue in our investments.

It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. I think it would be a great time saver as our service to our customers is important, our individual lunch time is limited, and it would minimize the time necessary to drive outside the office park on busy roads to get coffee/lunch/snacks in a timely manner. I, personally, as well as our customers and employees, would also patronize the coffee shop in the morning hours as well.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in black ink, appearing to read "Douglas J. Kroll", written over a horizontal line.

Douglas J. Kroll
Vice President - Engineering
Office: (248) 277-4930

February 10, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for ARCADIS and our offices are located at 28550 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Mark Klemmer
28550 Cabot Drive

Cabot Technology Centre
28850 Cabot Drive • Suite 900
Novi, MI 48377-2955
248/449-9000
Fax: 248/449-9001

RLM Environmental Services

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for RLM Environmental Services/RLM Global Services and our offices are located in the Cabot Technology Centre at 28850 Cabot Drive, Suite 900. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



John Perreca

RLM Environmental Services

Cabot Technology Centre
28850 Cabot Drive • Suite 900
Novi, MI 48377-2955
248/449-9000
Fax: 248/449-9001

February 11, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for R L M Environmental and our offices are located at 28850 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Jerry Wilson
Engineered Sales Manager
R L M Environmental Services Inc
28850 Cabot Drive
Suite 900
Novi, MI 48377

February 13, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

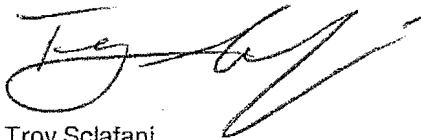
Dear Ms. McBeth:

I work for ARCADIS and our offices are located at 28550 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in black ink, appearing to read 'Troy Sciafani', with a stylized flourish at the end.

Troy Sciafani
Geologist
ARCADIS U.S., Inc.



FAMILY MEDICINE CENTER

Jeffrey D. Joshowitz, D.O.
Board certified

Lewis Medical Office Centre
39475 Lewis Drive
Suite 140
Novi, MI 48377

Phone: 248-489-0766
Fax: 248-489-0788

February 12, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375


Dear Ms. McBeth:

I work for Family Medicine Center and our offices are located at 39475 Lewis Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

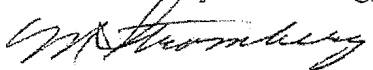
For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,


Jeffrey D. Joshowitz, D.O.
39475 Lewis Drive
Ste 140
Novi, MI 48377

Office Staff: Marilyn Stromberg, Lourdes Konkright, Mellisa Kyte









February 12, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I am a partner at ShindelRock and our offices are located at 28100 Cabot Dr., Suite 102. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is lacking as of now. Currently, there is no coffee shop in the vicinity and the closest ones are more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as most of our staff only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks without having to rush. I would also patronize the coffee shop in the morning, and I believe many of our staff would as well.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in cursive script that reads "Maria Montie".

Maria Montie

February 12, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Ecolab and our offices are located at 28550 Cabot Drive Suite 100. Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

A handwritten signature in cursive script that reads "Chris Herriman".

Chris Herriman
28550 Cabot Drive
Suite 100
Novi, MI 48377

February 12, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Ecolab and our offices are located at 28550 Cabot Drive Suite 100. Novi, MI 48377. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Danielle Spigno
28550 Cabot Drive
Suite 100
Novi, MI 48377

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

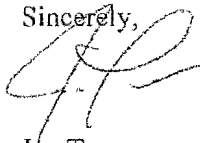
Dear Ms. McBeth:

I work for Foamex and our offices are located at 28700 Cabot Dr. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,



Joe Tome
28700 Cabot Drive
Novi, MI 48377



ELLISON
TECHNOLOGIES

Integrating Advanced Manufacturing Technologies

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Ellison Technologies and our offices are located at 29050 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Brett Avery
ELLISON TECHNOLOGIES
29050 Cabot Drive
Novi, MI 48377



ELLISON
TECHNOLOGIES

Integrating Advanced Manufacturing Technologies

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

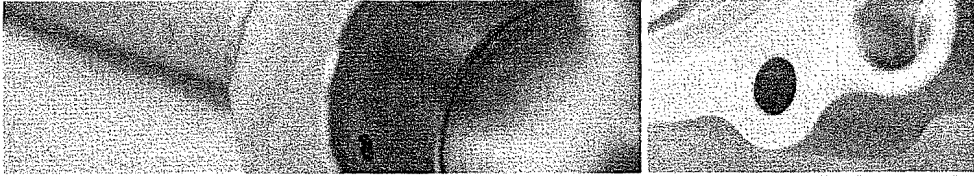
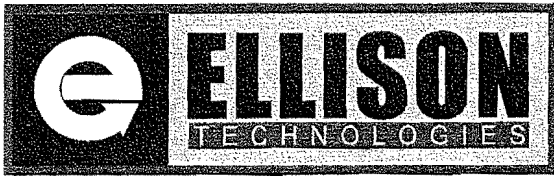
I work for Ellison Technologies and our offices are located at 29050 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Jeff Conn
ELLISON TECHNOLOGIES
29050 Cabot Drive
Novi, MI 48377



Integrating Advanced Manufacturing Technologies

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

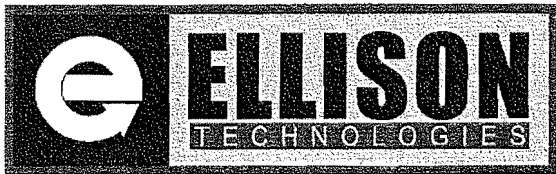
I work for Ellison Technologies and our offices are located at 29050 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Kevin Rowe
ELLISON TECHNOLOGIES
29050 Cabot Drive
Novi, MI 48377



Integrating Advanced Manufacturing Technologies

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

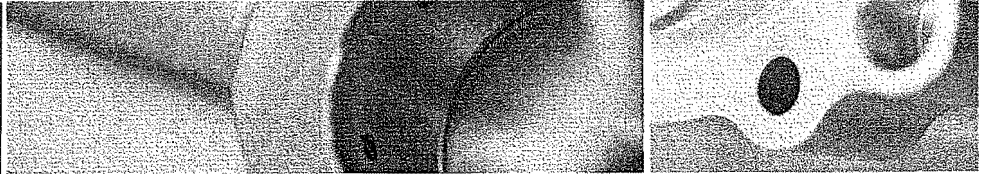
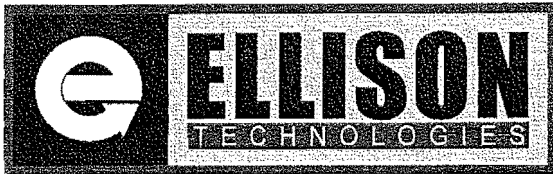
I work for Ellison Technologies and our offices are located at 29050 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Frank Beeckman
ELLISON TECHNOLOGIES
29050 Cabot Drive
Novi, MI 48377



Integrating Advanced Manufacturing Technologies

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Ellison Technologies and our offices are located at 29050 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Jason Lazar
ELLISON TECHNOLOGIES
29050 Cabot Drive
Novi, MI 48377



ELLISON
TECHNOLOGIES

Integrating Advanced Manufacturing Technologies

February 8, 2008

Ms. Barbara McBeth
Director of Planning
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Members of the Planning Commission
City of Novi
45175 W. Ten Mile Road
Novi, MI 48375

Dear Ms. McBeth:

I work for Ellison Technologies and our offices are located at 29050 Cabot Drive. It is my understanding that Northern Equities Group has submitted plans to the city for a building at the corner of Cabot Drive and Twelve Mile Road that will house a coffee shop. I believe this use would be an excellent addition to the area and one that is much needed. Currently, there is no coffee shop in the vicinity and the closest ones are all more than two miles away.

For business meetings, it would be convenient to have a source closer that would allow our company to pick up coffee and breakfast pastries, and possibly prepared lunches as well. Personally, I think it would be a great time saver as I only have an hour for lunch and it's almost impossible to drive outside the office park the almost two miles on busy roads to get coffee/lunch/snacks in a timely manner. I would also patronize the coffee shop in the morning.

I appreciate your consideration and hope that you are in support of this site plan as well.

Sincerely,

Nancy Johnson
29050 Cabot Drive
Novi, MI 48377